

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: MAY 9, 2022

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR OF COMMUNITY DEVELOPMENT
BELINDA DEINES, PRINCIPAL PLANNER

SUBJECT: CONDITIONAL USE PERMIT CUP21-0014 TO CONSTRUCT A 1,168 SQUARE-FOOT ADDITION AND AN ATTACHED THREE-CAR GARAGE TO A NONCONFORMING DUPLEX LOCATED IN THE RESIDENTIAL SINGLE FAMILY 4 (RSF 4) ZONING DISTRICT AT 34071 CALLE LA PRIMAVERA

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Conditional Use Permit CUP21-0014.

PROPERTY OWNER: Manny Kim

APPLICANT: Stan Andrade, Architect

REQUEST: To construct a 1,168 square-foot addition and an attached three-car garage to a nonconforming duplex located in the Residential Single Family 4 (RSF 4) Zoning District at 34071 Calle La Primavera.

LOCATION: 34071 Calle La Primavera (APN: 682-142-04)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius on April 25, 2022, published within a newspaper of general circulation on April 25, 2022, and posted on April 25, 2022 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301(e) (Class 1 – Existing Facilities) in that the project involves additions to existing structures less than 50 percent of the floor area before the addition, or 2,500 square feet, whichever is less.

ISSUES:

- Is the proposal consistent with the Dana Point General Plan and Dana Point Municipal Code (DPMC)?
- Does the proposal satisfy all findings required pursuant to the DPMC for approval of a CUP?
- Is the proposed project compatible with and an enhancement to the site and surrounding neighborhood?

BACKGROUND: The subject site is located at 34071 Calle La Primavera, between La Cresta and Mazo Drive, within the Residential Single Family 4 (RSF 4) Zoning District. The site is 5,673 square feet in size and currently contains a two-story, 2,750 square-foot residential duplex with an attached 634 square-foot, three-car garage. The lot itself is narrow, measuring less than 50' in width. The site is surrounded by duplexes to the west and single-family dwellings to the north, east, and south.

The property was originally developed in 1971 under County of Orange jurisdiction with approval of Adjustment Permit A-968 to permit the construction of a two-family dwelling on a vacant site of less than the required area and to reduce the rear setback from 25' to 15'. At the time, duplexes were a permitted use, but because the site provided less than the required area, the Adjustment Permit was required. Today, according to DPMC Section 9.09.020, the RSF 4 Zoning District does not allow residential duplex uses. Therefore, the existing duplex is considered a legal, nonconforming use under current zoning.

DISCUSSION: The application's plans include the remodel and addition over 10% of the gross floor area to an existing residential duplex, including a new three-car attached garage with one uncovered tandem parking stall.

While all new construction would comply with current parking and building height standards of the DPMC, the total proposed expansion exceeds 10% of the existing gross floor area of a structure containing a nonconforming residential use. The application proposes to convert the existing attached three-car garage, located in the rear of the structure, into a living area. An upper-level residential addition is proposed above the existing garage in compliance with the minimum 15' rear setback, as granted by Adjustment Permit A-968.

Development standards for this property are set forth in the City's Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RSF 4 District. Table 1 summarizes applicable RSF 4 District zoning designation development standards and the project's conformance with those requirements:

Table 1: Compliance with RSF 4 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback	20' minimum	20'	Yes
Side Setbacks	5' minimum	5'; 5'	Yes
Rear Setback	25' minimum	15'	Yes (1)
Height	24' maximum	22.5'	Yes
Lot Coverage	45% maximum	45%	Yes
Landscape Coverage	25% minimum	43.3%	Yes
Parking Required	3 car garage 1 tandem stall	3 car garage 1 tandem stall	Yes
(1) Setback is compliant with Adjustment Permit A-968 approved in 1971 under County of Orange jurisdiction.			

To comply with DPMC parking requirements for duplexes on lots less than 50' wide, the existing living area in the front of the structure will be converted into a new attached three-car garage with a single uncovered tandem parking stall. Current parking standards require the provision of four covered parking spaces for a duplex. However, DPMC Section 9.35.080(E)(4) states that one uncovered tandem space may be allowed in lieu of one covered garage space for duplex lots which are less than 50' in width, subject to the approval of a Conditional Use Permit by the Planning Commission and in accordance with the following standards:

- Prior to issuance of building permits, the recordation of a tandem parking agreement and management plan with the title for the property shall be provided to the satisfaction of the Director of Community Development.
- Prior to issuance of Certification of Occupancy, at least one 24-inch box tree shall be planted in the front yard setback or other alternative decorative paving and landscaping to screen the street views.
- The setback and design of the garage and the driveway shall provide adequate articulation and structural details to the garages and front elevation.

The proposed three-car garage and tandem parking space have been designed to comply with size, articulation, and maneuvering standards, pursuant to DPMC 9.35. The proposed garage consists of black metal and glass panels to complement the existing structure. The proposed two-story structure, including the garage, would be 22.5' in height, below the 24' height limit for a structure with less than 3:12 roof pitch.

In addition to the new garage, the proposed project includes aesthetic and physical improvements to the living area and to the exterior of the existing residential structure. Proposed improvements to the structure itself include the addition of a third bedroom and

a third bathroom to the lower level unit, and the addition of a balcony along the frontage of the upper level unit. Exterior improvements include a new concrete patio in the rear yard and a new concrete driveway in the front yard.

The project, as designed, complies with all applicable development standards, including setbacks, parking, lot coverage, landscape area, and height limits. No deviations are requested.

Conditional Use Permit CUP21-0014

Pursuant to DPMC Section 9.63.065, expansion of a nonconforming residential use greater than 10% requires approval of a Conditional Use Permit by the Planning Commission. The expansion may be subject to conditions to promote neighborhood compatibility and enhancement. Furthermore, DPMC Section 9.35.080(E)(4) states that one uncovered tandem space may be allowed in lieu of one covered garage space for duplex lots which are less than 50' in width, subject to approval of a Conditional Use Permit by the Planning Commission.


DPMC Section 9.65.060 stipulates that the Planning Commission shall make the following three (3) findings for approval of CUP21-0014:

1. *That the proposed conditional use is consistent with the General Plan;*
2. *That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings or structures; and*
3. *That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in this Code and required by the Commission or Council in order to integrate the use with existing and planned uses in the vicinity.*

The recommended findings for approval of the CUP are outlined in the draft Resolution No. 22-05-09-XX, attached to this report as Action Document 1.

CORRESPONDENCE: Staff has not received any correspondence for this project to date.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan and Dana Point Zoning Code. The project has been found to comply with all development standards, and staff recommends that the Planning Commission adopt the attached draft Resolution, approving Conditional Use Permit CUP21-0014 subject to the findings and conditions of approval contained therein.


Belinda Deines, Principal Planner


Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 22-05-09-XX

Supporting Documents

2. Vicinity Map
3. Color and Material Sample Board
4. Site Photos
5. Architectural Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 22-05-09-XX

RESOLUTION NO. 22-05-09-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CUP21-0014 TO CONSTRUCT A 1,168 SQUARE-FOOT ADDITION AND AN ATTACHED THREE-CAR GARAGE TO A NONCONFORMING DUPLEX LOCATED IN THE RESIDENTIAL SINGLE FAMILY 4 (RSF 4) ZONING DISTRICT AT 34071 CALLE LA PRIMAVERA

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Andrade Architects, Inc., (the "Representative"), filed an application on behalf of Manny Kim, (the "Applicant"), the owners of of real property commonly referred to as 34071 Calle La Primavera (APN: 682-142-04) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Conditional Use Permit to allow for the additions and alterations to an existing residential duplex, which is nonconforming to current development standards, and for the provision of an attached three-car garage with a tandem uncovered parking space at the Property; and

WHEREAS, the property was originally developed in 1971 under County of Orange jurisdiction with approval of Adjustment Permit A-968 to permit the construction of a two-family dwelling on a vacant site of less than the required area and to reduce the rear setback from 25' to 15'; and

WHEREAS, said verified application constitute a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the Project is Categorically Exempt per Section 15301 (e) (Class 1 – Existing Facilities); and

WHEREAS, the Planning Commission did, on the 9th day of May, 2022, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Conditional Use Permit CUP21-0014.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CUP21-0014 subject to the following conditions of approval:

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 7

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 2

Findings:

Conditional Use Permit CUP21-0014

1. That the proposed conditional use is consistent with the General Plan in that the residential addition over 10% to an existing duplex of nonconforming use is consistent with the goals of the Land Use Element to encourage revitalization of existing development and removal of constraints that prevent these desirable changes. The proposed addition complies with all applicable standards in the Dana Point Municipal Code. No more than 50% of the total linear length of all walls will be demolished, which allows the legal, nonconforming duplex to remain. A single uncovered tandem parking stall will be provided to meet duplex parking requirements.
2. That the nature, condition, and development of adjacent uses, buildings, and structure have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures in that the remodel and addition to an existing duplex would have no impact on surrounding structures or uses as the project involves additions within the allowable building envelope, including conversion of the existing three-car garage into living area and conversion of existing living area into a three-car garage. The proposed parking configuration with the tandem parking stall will be screened by front yard landscaping improvements, as required by the Municipal Code.
3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in the Municipal Code and required by the Commission or Council in order to integrate the use with existing and planned uses in the vicinity in that the proposed addition complies with all applicable development standards in the RSF 4 Zoning District and the previously granted variance for the 15' rear setback that runs with the land, Adjustment Permit A-968. Furthermore, the subject lot is of sufficient area to accommodate placement of the proposed tandem parking space without impacting the Property's compliance with all other standards. The tandem parking arrangement complies with the minimum dimensions and maneuvering area for a duplex on a lot less than 50' in width.

Conditions:

Responsible Departments/Divisions:

PWE

Public Works and Engineering Department

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 8

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 3

CD	Community Development Department
PLN	Planning Division
BLD	Building Division

A. General:

1. Approval of this application allows for a 1,168 square-foot addition, an attached three-car garage, a single uncovered tandem parking stall, and a general remodel of an existing residential duplex at 34071 Calle La Primavera. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission in compliance with applicable provisions of the Dana Point General Plan and Municipal Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
6. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 9

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 4

approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The project shall meet all water quality requirements. (PWE)
9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California, and Cox Communication Services for the provision of water, sewer, electric, telephone, and cable television services. The applicant is responsible to coordinate any potential conflicts or existing easements. (PWE)
10. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control measures. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits. (PWE)
11. The applicant, property owner, or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. (PWE)
12. All improvements or work in the right of way will require a separate

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 10

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 5

Encroachment Permit from the Public Works Department. (PWE)

13. The existing storm drain curb inlet shall be protected in place at all times. Any damage to the existing curb inlet shall be repaired per the City Engineer. (PWE)
14. The final configuration of the driveway and entrance to the proposed garage shall be per Public Works approval. The location of the driveway in the public right of way is shown as conceptual for entitlement purposes. (PWE)

B. Prior to Issuance of a Grading Permit:

15. The applicant shall submit an application for a grading permit. The proposed scope of work may be processed as a Minor Grading Permit (minimum fee grading permit) per DPMC8.01.060(a) and 8.01.090. The application shall include a grading and drainage plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies for a Minor Grading Permit Application. (PWE)
16. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual. (PWE)
17. The project shall meet all water quality requirements including Low Impact Development (LID) implementation. (PWE)
18. A performance bond may be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by the Director of Public Works, prior to the issuance of a Certificate of Occupancy. (PWE)
19. Separate submittal for review, approval, and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements. (PWE)
20. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and geotechnical reports, prior to approval of footing inspection. (PWE)

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 11

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 6

21. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint. (PWE)
22. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. The report should also include locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control, and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report. (PWE)

C. Prior to Issuance of a Building Permit:

23. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan. (BLD)
24. All documents prepared by a professional shall be wet-stamped and signed. (BLD).
25. Demolition plans shall be submitted indicated the linear feet of the walls to remain, walls to be modified but not removed, and walls to be demolished. The total linear feet of all walls to be demolished, interior and exterior, shall not exceed 50 percent of the total linear feet of the existing walls. (PLN)
26. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief. (BLD)
27. The Applicant, or Applicant's Agent(s), shall submit payment for all supplemental fees, including school, park, water, sewer, and other impact-related fees. (BLD)
28. The construction site shall be posted with signage indicating that

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 12

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 7

construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays. (BLD)

29. Prior to the issuance of a building and/or demolition permit, the owner and project contractor shall attend a pre-demolition/construction site meeting with a Building Inspector and a representative from the Planning Division to ensure that demolition of all existing interior and exterior walls shall not exceed 50 percent as identified on the project plans. (CD)
30. Should the proposed demolition of existing interior and exterior walls exceed 50 percent in linear feet, the nonconforming duplex shall be converted to a single-family dwelling in compliance with the land use designations of the RSF 4 Zoning District. The Applicant, or Applicant's Agent(s), shall submit a revision to remove the second kitchen and eliminate any improvements which establishes a duplex use. (CD)
31. The Applicant, or Applicant's Agent(s), shall submit a tandem parking agreement and management plan provided to the satisfaction of the Director of Community Development. Upon the Director's approval, the tandem parking agreement and management plan shall be recorded with the title for the property. (PLN)
32. Prior to commencement of framing, the Applicant, or Applicant's Agent(s), shall submit a setback certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CUP21-0014. The City's standard "Setback Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval. (CD)
33. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CUP21-0014. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted. (CD)

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 13

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 8

Prior to Issuance of a Certificate of Use and Occupancy:

34. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual. (PWE)
35. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint. (PWE)
36. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls. (PWE)
37. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record. (PWE)
38. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record. (PWE)
39. Public Works/Engineering Department final approval will be required for all permits. (PWE)
40. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval. All landscaping of the subject property shall be installed (per plan) prior to final inspection by the Planning Division. (CD)

PLANNING COMMISSION AGENDA REPORT

CUP21-0014

MAY 9, 2022

Page 14

Planning Commission Resolution No. 22-05-09-XX

CUP21-0014

Page 9

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 9th day of May, 2022 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Gabbard, Chair
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

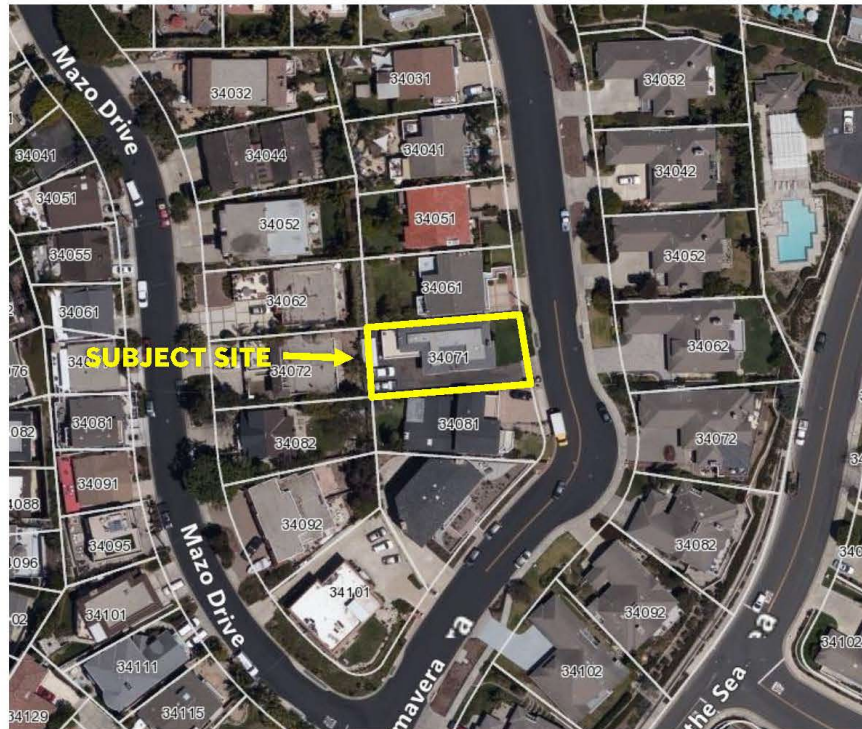
SUPPORTING DOCUMENT 2: Vicinity Map



City of Dana Point
Public Hearing Notice for CUP21-0014
Community Development Department
Belinda Deines, Principal Planner
33282 Golden Lantern
Dana Point, CA 92629-1805

IMPORTANT PUBLIC HEARING NOTICE
This May Affect Your Property

VICINITY MAP



Project: Conditional Use Permit CUP21-0014
Applicant: Stan Andrade, Architect
Location: 34071 Calle La Primavera



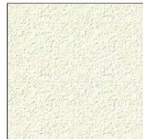
PLANNING COMMISSION AGENDA REPORT

CUP21-0014

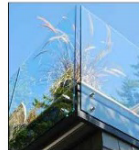
MAY 9, 2022

Page 16

SUPPORTING DOCUMENT 3: Color and Material Sample Board



SMOOTH STUCCO
MFR: OMEGA
PRODUCT: STUCCO
COLOR/FINISH: 420 FLORAL WHITE/
SMOOTH COAT
LOCATION: EXTERIOR WALLS



GLASS GUARDRAIL
COLOR/ FINISH: CLEAR GLASS
LOCATION: ROOF DECK/ UPPER LEVEL BALCONY



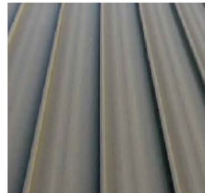
METAL AND GLASS GARAGE DOORS
COLOR/FINISH: BLACK METAL WITH
GLASS PANELS
LOCATION: GARAGE DOORS
COURTYARD GATE



ROOFING
LOCATION: FLAT ROOF
MATERIAL: PVC ROOF MATERIAL
MANUFACTURER: GAF
COLOR/FINISH: GREY



EXTERIOR WINDOWS & DOORS
COLOR/ FINISH: BLACK METAL FRAME/
CLEAR GLASS
LOCATION: (N) DOOR & WINDOW



ROOFING
LOCATION: SLOPED ROOF
MATERIAL: STANDING SEAM METAL ROOF
COLOR/FINISH: CHARCOAL

<small>DRAWN BY: JC DATE: 2/2/22 XGS #: 2118 SHEET:</small> MSB	MATERIAL SAMPLES BOARD	PRIMAVERA DUPLEX 34071 CALLE LA PRIMAVERA DANA POINT, CA 92629	 2881 SOUTH COAST HIGHWAY LAGUNA BEACH, CA 92651 PHONE 949.765.7424 FAX 949.765.7425 ANDRA@ARCHITECTS.COM ANDRADE ARCHITECTS, INC. <small>ANDRADE ARCHITECTS, INC. EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR OTHERWISE MISUSED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ANDRADE ARCHITECTS, INC.</small>
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SUPPORTING DOCUMENT 4: Site Photos





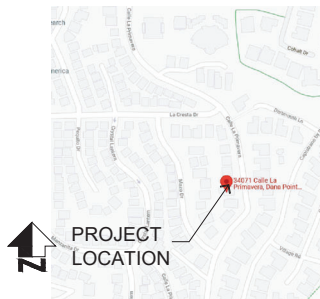
SUPPORTING DOCUMENT 5: Architectural Plans

SEE ATTACHMENT

LA PRIMAVERA DUPLEX

34071 CALLE LA PRIMAVERA, DANA POINT CA. 92629

VICINITY MAP



CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH 2019 CALIFORNIA RESIDENTIAL CODE (CRC); 2019 CALIFORNIA BUILDING CODE (CBC); 2019 CALIFORNIA PLUMBING CODE (CPC); 2019 CALIFORNIA ELECTRICAL CODE (CEC); 2019 CALIFORNIA MECHANICAL CODE (CMC); 2019 BUILDING ENERGY EFFICIENCY STANDARDS (BEES); 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AS AMENDED BY CITY ORDINANCE.

SEPARATE PERMITS

PRIOR TO ISSUANCE OF A BUILDING PERMIT THE FOLLOWING APPROVALS ARE REQUIRED:

- PLANNING DEPARTMENT
- BUILDING DEPARTMENT
- PUBLIC WORKS

SEPARATE REVIEW, APPROVAL AND PERMITS ARE REQUIRED FOR THE FOLLOWING:

- DEMOLITION

GENERAL NOTES

- SUBMIT SEPARATE PLANS, CALCULATIONS AND PERMITS FOR ALL FENCES POOLS AND RETAINING WALLS
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM
- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS BEFORE COMMENCING ANY WORK
- HOUSE NUMBER WILL BE VISIBLE AND LEGIBLE FROM THE STREET
- FINISH GRADE WITHIN 10' OF THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING FOR IMPERVIOUS SURFACES AND 5% FOR NATURAL GRADE.

PROJECT INFORMATION TABLES

ZONING STANDARDS				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (yes/no)
USE	-	DUPLEX	DUPLEX	NO
ZONE/PRD	RSF-4	RSF-4	RSF-4	-
SPECIFIC PLAN				
LOT SIZE	8,700 SF	5,673 SF	5,673 SF	NO
LOT WIDTH	50.00'	49.97'	49.97'	NO
LOT DEPTH	75.00'	113.48'	113.48'	YES
MAX. LOT COVERAGE	45%	2,552 SF/33.17%	2,552 SF/45%	YES
MAX. BUILDING HEIGHT	24.00'/2 ST.	21.16'/2 ST.	22.50'/2 ST.	YES
LOWEST POINT	143.46	143.46	143.46	-
Max. # of stories	2	2	2	YES
Roof Slope	FLAT	FLAT	FLAT	-
FLOOR AREA RATIO	-	-	-	-
SETBACKS:				
Front Yard	20'-0"	20'-0"	20'-0"	YES
Side Yard (L)	5'-0"	5'-0"	5'-0"	YES
Side Yard (R)	5'-0"	5'-0"	5'-0"	YES
Rear Yard	25'-0"	15'-0"	15'-0"	NO
OPEN SPACE	N/A	N/A	N/A	N/A
LANDSCAPE AREA	25% / 1,245 SF	1,389 SF	2,457 SF	YES
IRRIGATED LANDSCAPE AREA	N/A	N/A	N/A	N/A
PARKING	3	3	3	YES

PROJECT DATA				
DESCRIPTION	EXISTING	PROPOSED	TOTAL	REMODEL
FLOOR AREA:				
LOWER LEVEL	1,255' SF	+ 648' SF	1,902' SF	N/A
UPPER LEVEL	1,521' SF	+ 519' SF	2,040' SF	N/A
TOTAL LIVING AREA	2,774' SF	+ 1,168' SF	3,942' SF	N/A
GARAGE AREA	645' SF	+ 6' SF	651' SF	N/A
GROSS FLOOR AREA				
ELEVATED DECK/TERRACE	566' SF	-231' SF	335' SF	
MECHANICAL				

DEMOLITION (LINEAR FT.)	EXISTING	REMOVED	REMAINING	DEMO TOTAL %
EXTERIOR WALLS	404'-10"	203'-11"	200'-11"	50.37%
INTERIOR WALLS	394'-8"	194'-0"	200'-8"	49.16%
TOTAL WALLS	799'-6"	397'-11"	401'-7"	49.77%

IMPERVIOUS SURFACES	LOT AREA		% OF LOT AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED
STRUCTURE	1,898' SF	2,553' SF	33.46%	45.00%
HARDSCAPE (W/ DRIVEWAY)	2,137' SF	1,894' SF	37.67%	30.00%
TOTAL	4,035' SF	4,241' SF	71.13%	75.00%

PROJECT DESCRIPTION

- REMODEL AND LIVING EXTENSION OF AN EXISTING RESIDENTIAL DUPLEX INCLUDING NEW 3 CAR GARAGE
- NEW DRIVEWAY

PROJECT DATA

APN:	682-142-04
TRACT:	862
LOT:	16
CONSTRUCTION TYPE:	V8 FULLY SPRINKLED
OCCUPANCY:	R-3U

PROJECT DIRECTORY

PROPERTY OWNER:
MANNY KIM
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

ARCHITECT:
ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949-715-7474
FAX: 949-715-7475

LANDSCAPE DESIGN:
ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949-715-7474
FAX: 949-715-7475

SHEET INDEX

ARCHITECTURAL:

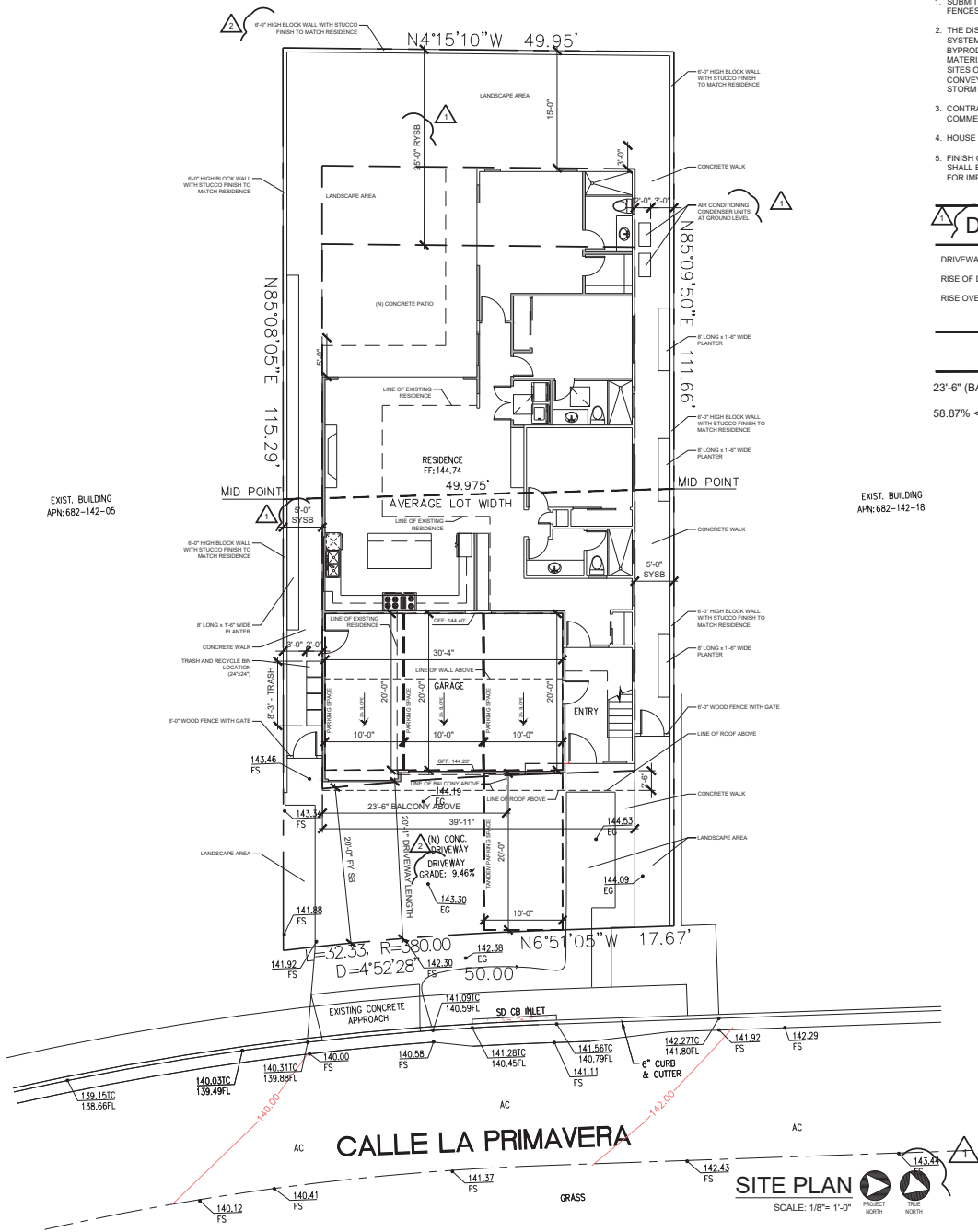
- G.001 COVER SHEET
- A.001 SITE PLAN
- A.100a EXISTING FLOOR PLANS
- A.100b EXISTING ELEVATIONS
- A.100c DEMO CALCULATIONS
- A.100d SQUARE FOOTAGE CALCULATIONS
- A.100e LOWER LEVEL SQUARE FOOTAGE CALCULATIONS
- A.101 UPPER LEVEL LOWER LEVEL FLOOR PLAN
- A.102 UPPER LEVEL FLOOR PLAN
- A.103 ROOF PLAN
- A.201 EXTERIOR ELEVATIONS
- A.202 EXTERIOR ELEVATIONS
- A.301 BUILDING SECTIONS
- 1 OF 1 TOPOGRAPHIC SURVEY
- L.101 LANDSCAPE PLAN

REVISIONS

- 1/16/22 CUP COMMENT RESPONSE
- 3/28/22 CUP COMMENT RESPONSE

DRAWN BY: JC
CHECKED BY: SA
DATE: 4/7/22
JOB #: 2116
SHEET

G.001



- ### GENERAL NOTES
- SUBMIT SEPARATE PLANS, CALCULATIONS AND PERMITS FOR ALL FENCES POOLS AND RETAINING WALLS
 - THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM
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DRIVEWAY GRADIENT

DRIVEWAY LENGTH FROM PROPERTY LINE: 20'-1"

RISE OF DRIVEWAY: 144.20' - 142.30' = 1.9'

RISE OVER RUN: 1.7/20.08' = .0946 DRIVEWAY GRADIENT

BALCONY WIDTH CALCULATION

23'-6" (BALC) / 39'-11" (BUILDING WIDTH) = 0.5887 = 58.87%

58.87% < 60.00%

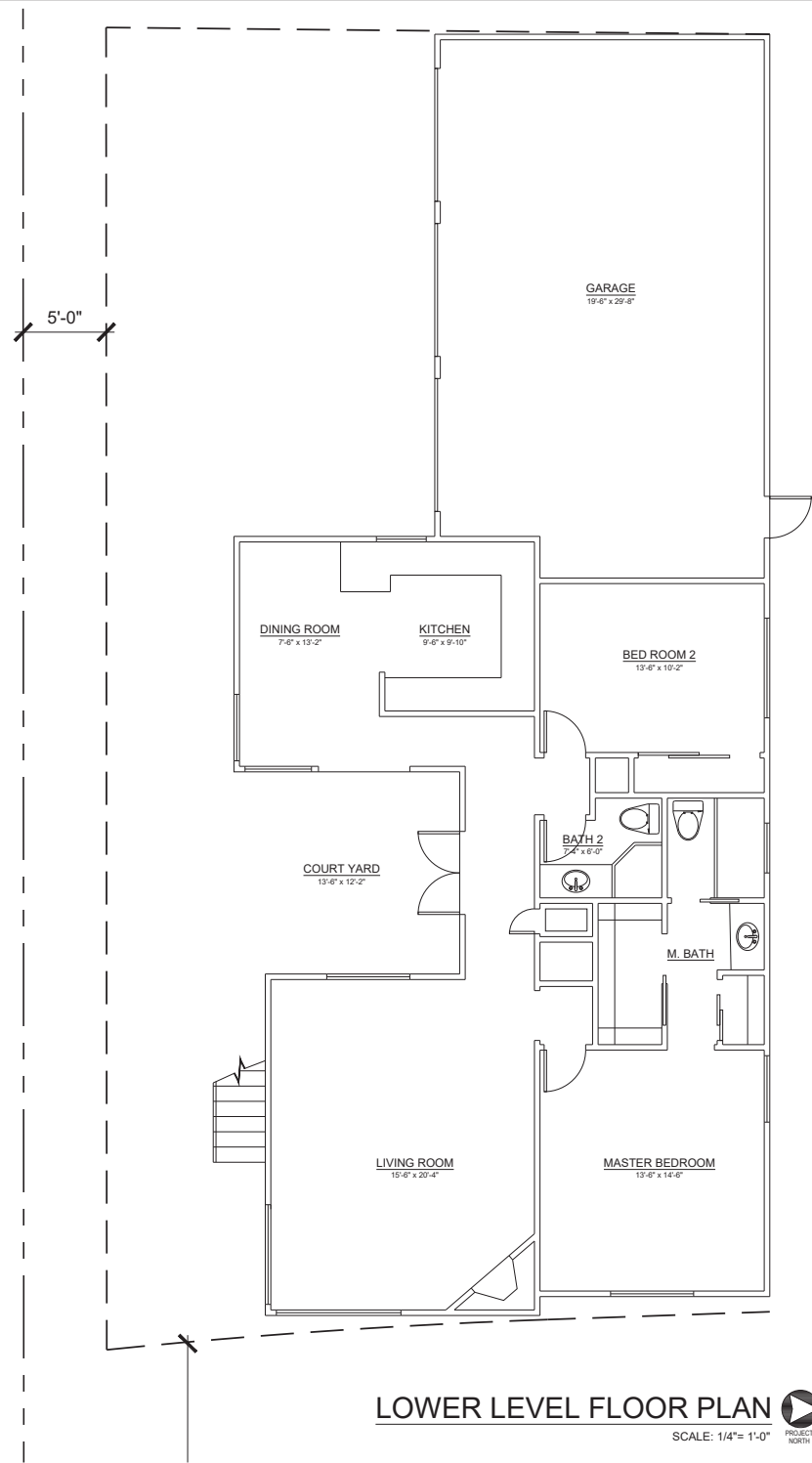
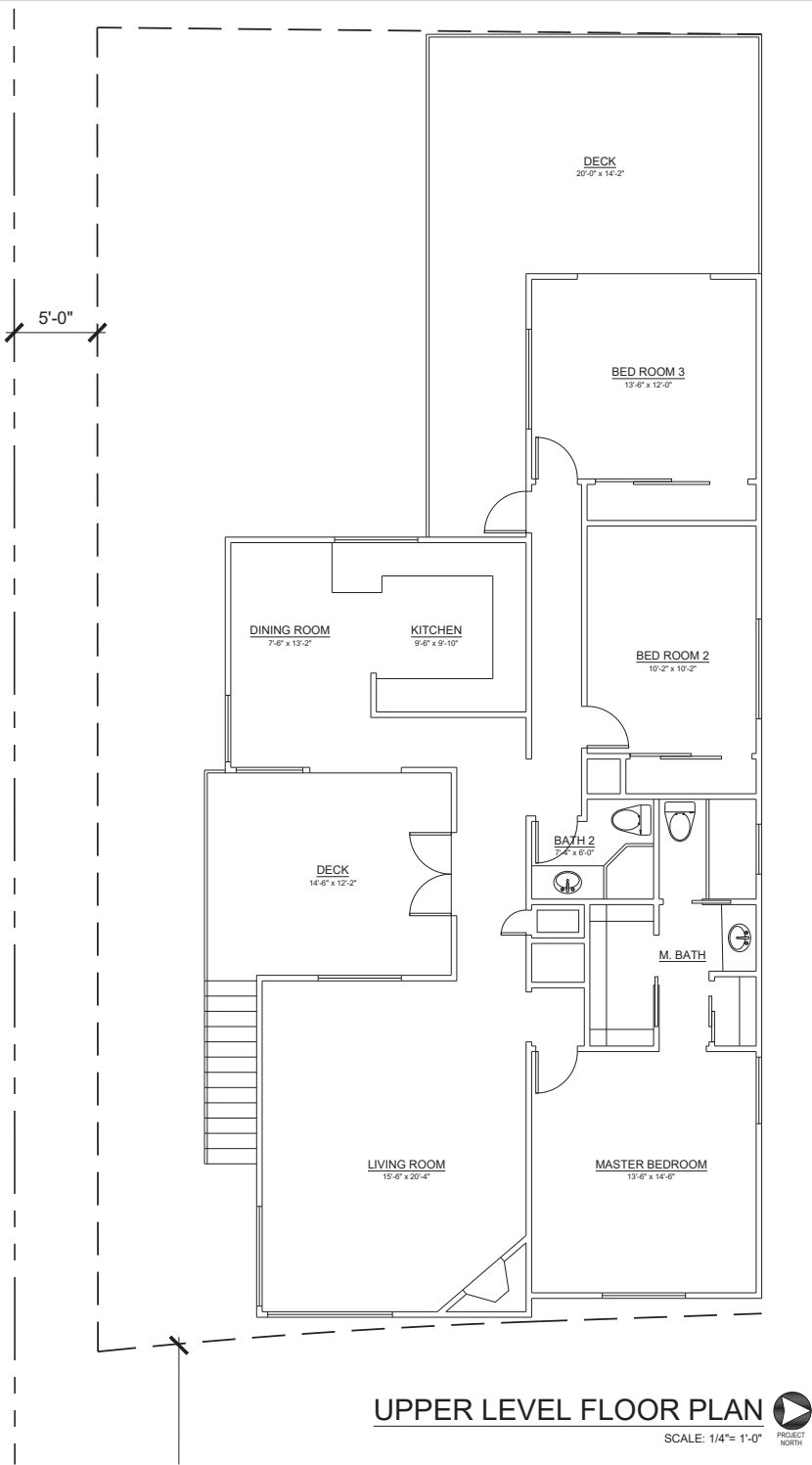
LA PRIMAVERA DUPLEX
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

SITE PLAN

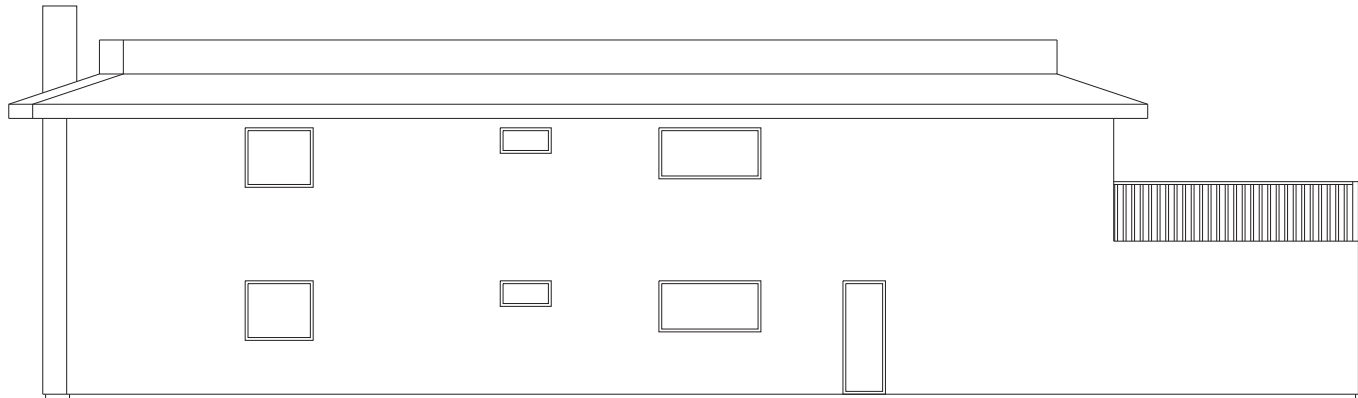
REVISIONS	
1/18/22	1/18/22
CUP COMMENT	RESPONSE
3/28/22	3/28/22
CUP COMMENT	RESPONSE

DRAWN BY: JC
CHECKED BY: SA
DATE: 4/7/22
JOB #: 2116
SHEET:

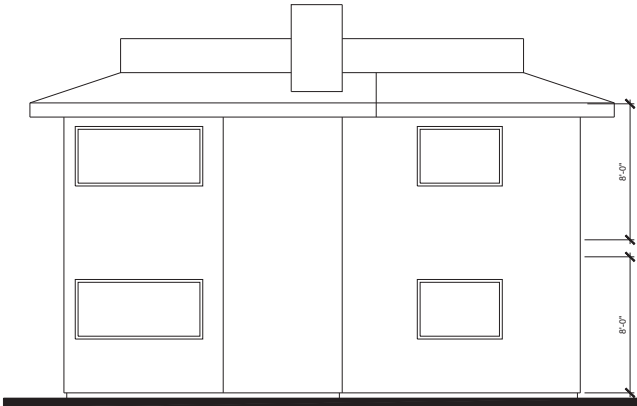
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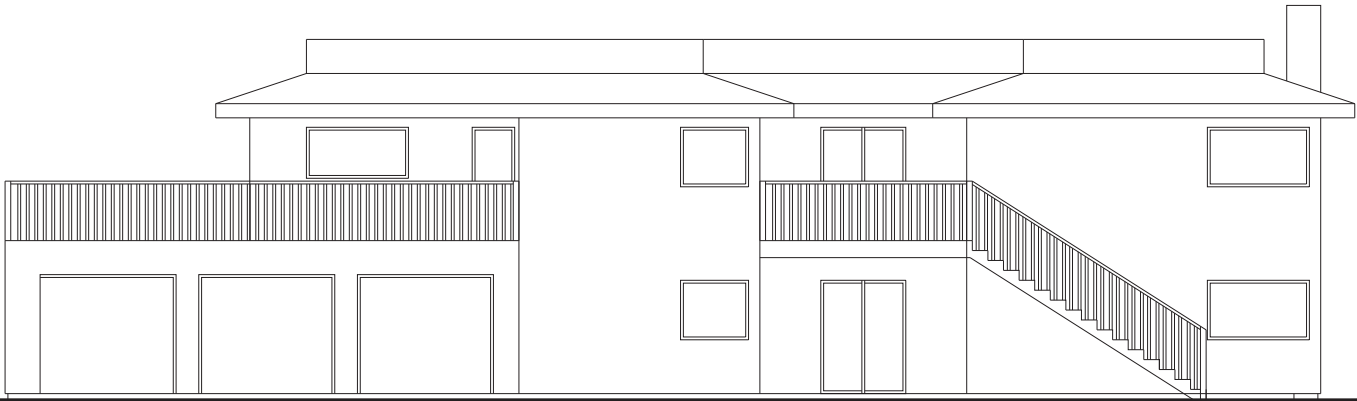
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△	3/28/22 CUP COMMENT RESPONSE
△	
△	



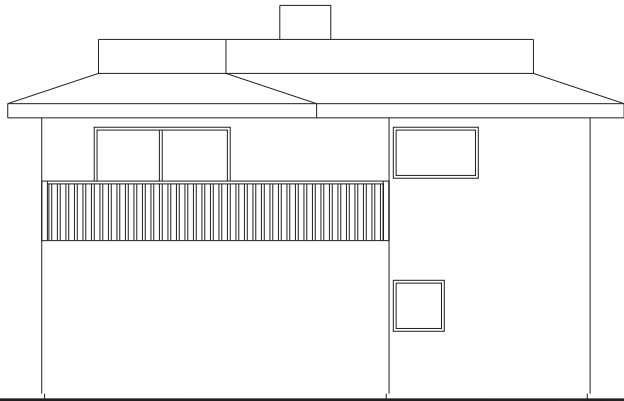
RIGHT ELEVATION
NORTH SCALE: 1/4"= 1'-0"



FRONT ELEVATION
EAST SCALE: 1/4"= 1'-0"



LEFT ELEVATION
SOUTH SCALE: 1/4"= 1'-0"



REAR ELEVATION
WEST SCALE: 1/4"= 1'-0"

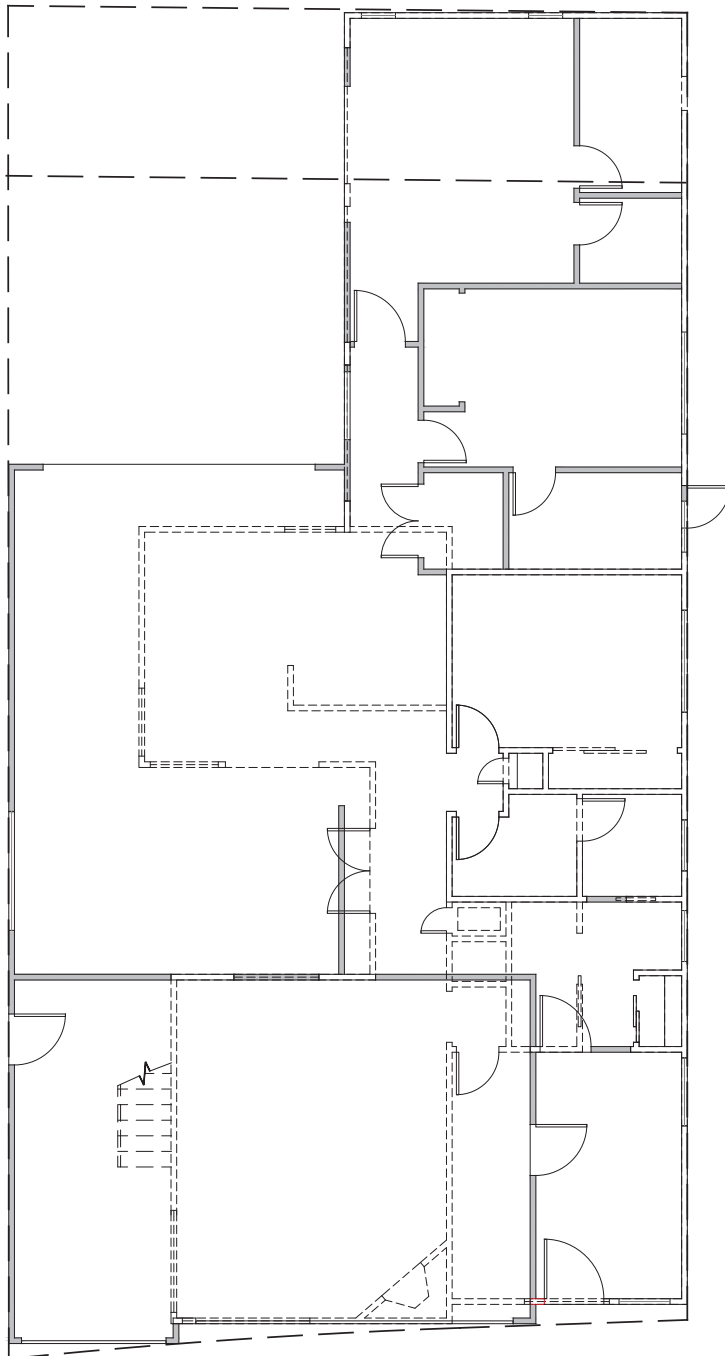


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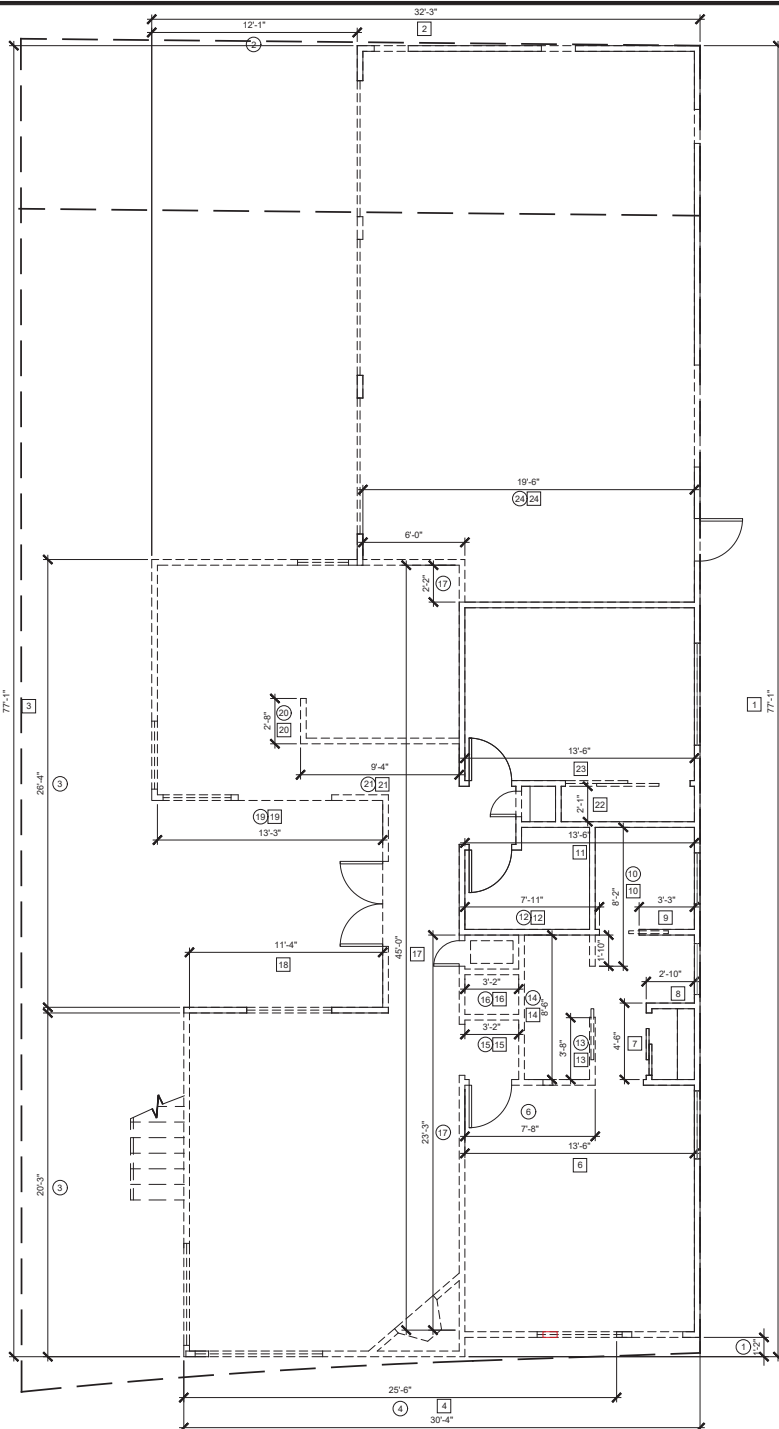
EXISTING ELEVATIONS

REVISIONS	
1/16/22	
△	CUP COMMENT RESPONSE
3/28/22	
△	CUP COMMENT RESPONSE
△	
△	

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CHECKED BY:	SA
DATE:	4/7/23
JOB #:	2116
SHEET:	



LOWER LEVEL DEMO OVERLAY
SCALE: 1/4"= 1'-0"
PROJECT NORTH



LOWER LEVEL DEMO CALC
SCALE: 1/4"= 1'-0"
PROJECT NORTH

FIRST FLOOR DEMO CALCS	
EXISTING WALLS	DEMO WALLS
1 77'-1"	1 1'-2"
2 32'-3"	2 12'-1"
3 77'-1"	3 46'-7"
4 30'-4"	4 25'-6"
5 NOT USED	5 -
6 13'-6"	6 7'-8"
7 4'-6"	7 0'-0"
8 2'-10"	8 0'-0"
9 3'-3"	9 0'-0"
10 8'-2"	10 1'-10"
11 13'-6"	11 0'-0"
12 7'-11"	12 0'-0"
13 3'-8"	13 3'-8"
14 8'-6"	14 8'-6"
15 3'-2"	15 3'-2"
16 3'-2"	16 3'-2"
17 45'-0"	17 25'-6"
18 11'-4"	18 0'-0"
19 13'-3"	19 13'-3"
20 2'-8"	20 2'-8"
21 9'-4"	21 9'-4"
22 2'-1"	22 0'-0"
23 13'-6"	23 0'-0"
24 19'-6"	24 6'-0"
TOTAL EXISTING WALL LENGTH: 405'-7" FT	
TOTAL PROPOSED WALL LENGTH DEMOLITION: 170'-0" FT	
TOTAL PROPOSED WALL LENGTH DEMOLITION - FIRST FLOOR	

ANDRAE ARCHITECTS, INC.
288 SOUTH COAST HIGHWAY
DANIMBERG, CA 92621
TEL: 949.278.1775
FAX: 949.278.1775
ANDRAEARCHITECTS.COM

ANDRAE ARCHITECTS, INC.

LA PRIMAVERA DUPLEX
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

FIRST FLOOR DEMO CALCS

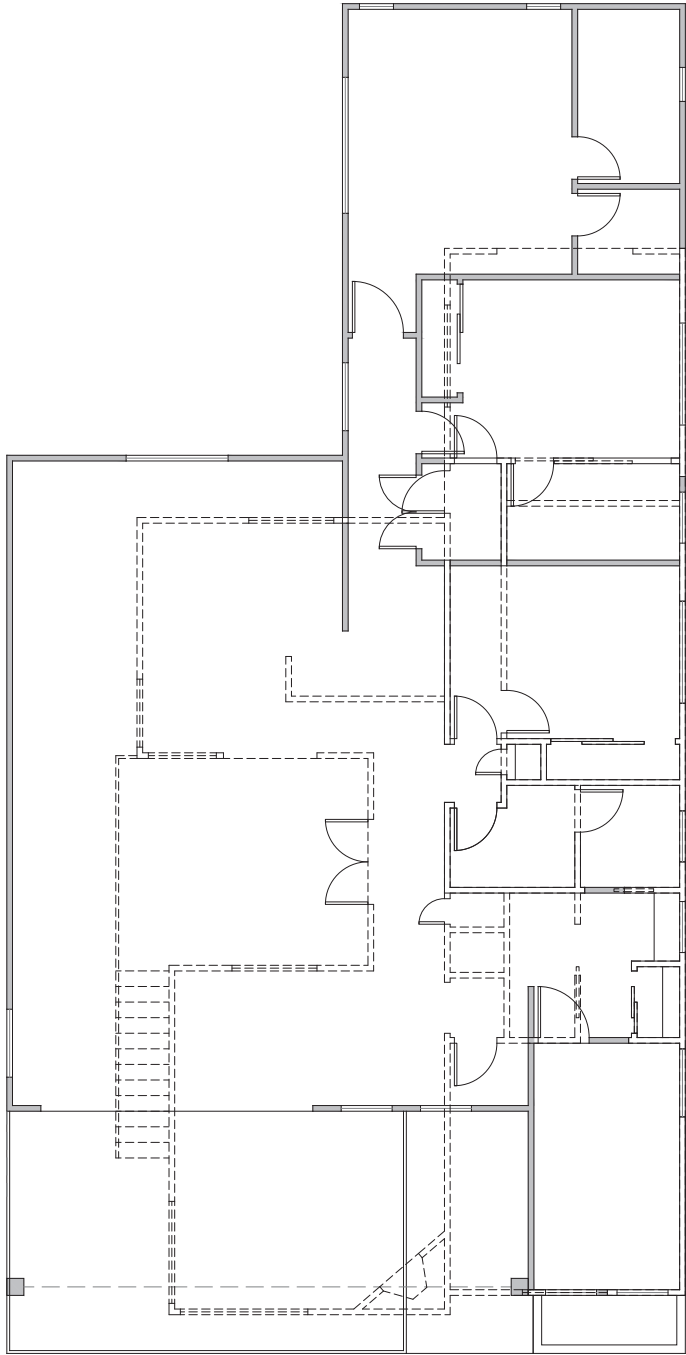
REVISIONS

1/18/22
CUP COMMENT
RESPONSE

3/28/22
CUP COMMENT
RESPONSE

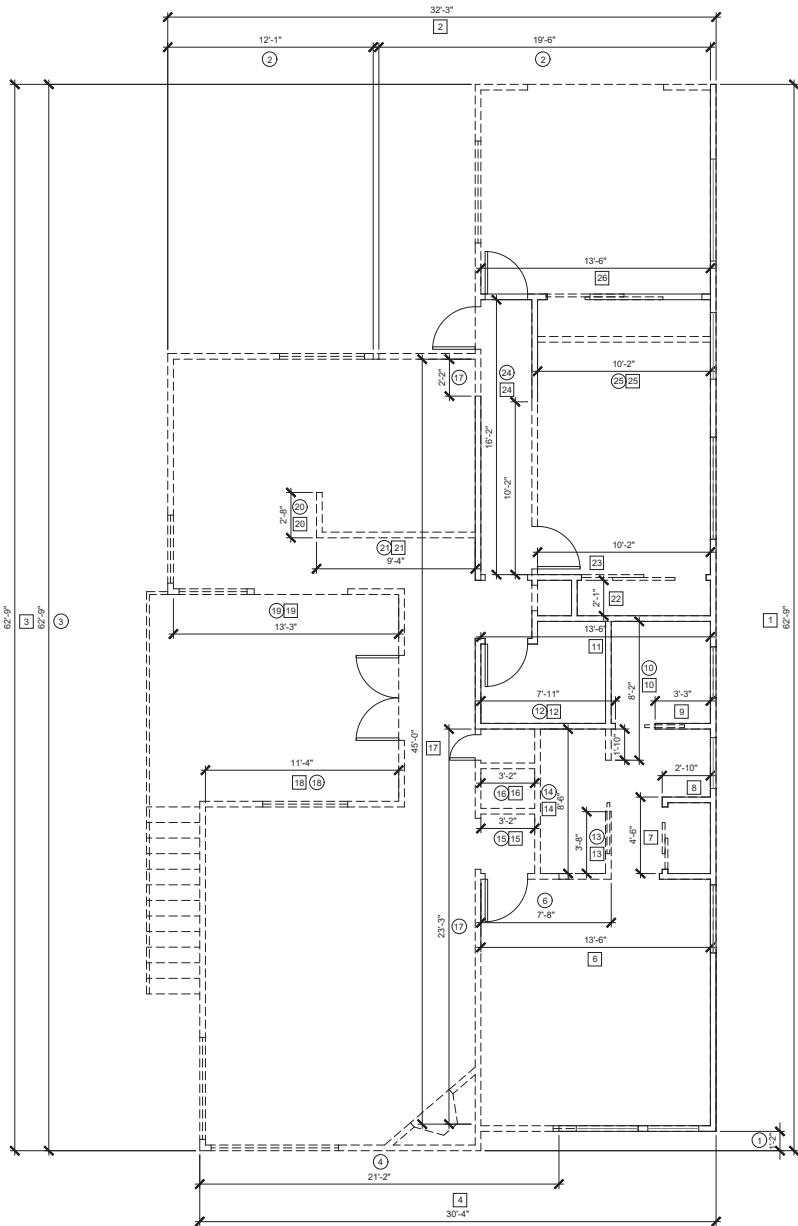
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DATE: 4/7/22
JOB #: 2116
SHEET:

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UPPER LEVEL DEMO OVERLAY

SCALE: 1/4"= 1'-0"



UPPER LEVEL DEMO CALC

SCALE: 1/4"= 1'-0"



SECOND FLOOR DEMO CALCS

EXISTING WALLS

- 1 62'-9"
- 2 32'-3"
- 3 62'-9"
- 4 30'-4"
- 5 NOT USED
- 6 13'-6"
- 7 4'-6"
- 8 2'-10"
- 9 3'-3"
- 10 8'-2"
- 11 13'-6"
- 12 7'-11"
- 13 3'-8"
- 14 8'-6"
- 15 3'-2"
- 16 3'-2"
- 17 45'-0"
- 18 11'-4"
- 19 13'-3"
- 20 2'-8"
- 21 9'-4"
- 22 2'-1"
- 23 10'-2"
- 24 16'-2"
- 25 10'-2"
- 26 13'-6"

TOTAL EXISTING WALL LENGTH:
393'-11" FT

DEMO WALLS

- 1 2'-1"
- 2 31'-7"
- 3 62'-9"
- 4 21'-2"
- 5 -
- 6 7'-8"
- 7 0'-0"
- 8 0'-0"
- 9 0'-0"
- 10 1'-10"
- 11 0'-0"
- 12 0'-0"
- 13 3'-8"
- 14 8'-6"
- 15 3'-2"
- 16 3'-2"
- 17 25'-6"
- 18 11'-4"
- 19 13'-3"
- 20 2'-8"
- 21 9'-4"
- 22 0'-0"
- 23 0'-0"
- 24 10'-2"
- 25 10'-2"
- 26 0'-0"

TOTAL PROPOSED
WALL LENGTH DEMOLITION:
227'-11" FT

170'-0" 405'-7" = 41.9149%

TOTAL PROPOSED WALL LENGTH DEMOLITION - FIRST FLOOR

227'-11" 393'-11" = 57.8584%

TOTAL PROPOSED WALL LENGTH DEMOLITION - SECOND FLOOR

397'-11" 799'-6" = 49.7711%

TOTAL PROPOSED WALL LENGTH DEMOLITION - COMBINED

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DEMO CALCS


REVISIONS

- 1/16/22
CUP COMMENT
RESPONSE
- 3/28/22
CUP COMMENT
RESPONSE


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SHEET:

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PROPOSED S.F. CALCULATIONS - LOWER LEVEL




AREA OF EXISTING GARAGE CONVERTED INTO LIVING SPACE		
DIMENSION	SUB-TOTAL	
EG1. 20.16 x 30.25	610.04 S.F.	
EG2. 13.84 x 2.50	34.60 S.F.	
TOTAL		644.64 S.F.




AREA OF EXISTING LIVING SPACE		
DIMENSION	SUB-TOTAL	
E1. 18.41 x 14.16	260.89 S.F.	
E2. 13.84 x 23.84	329.95 S.F.	
E3. 4.84 x 12.16	54.85 S.F.	
E4. 8.92 x 19.41	173.13 S.F.	
TOTAL		818.63 S.F.



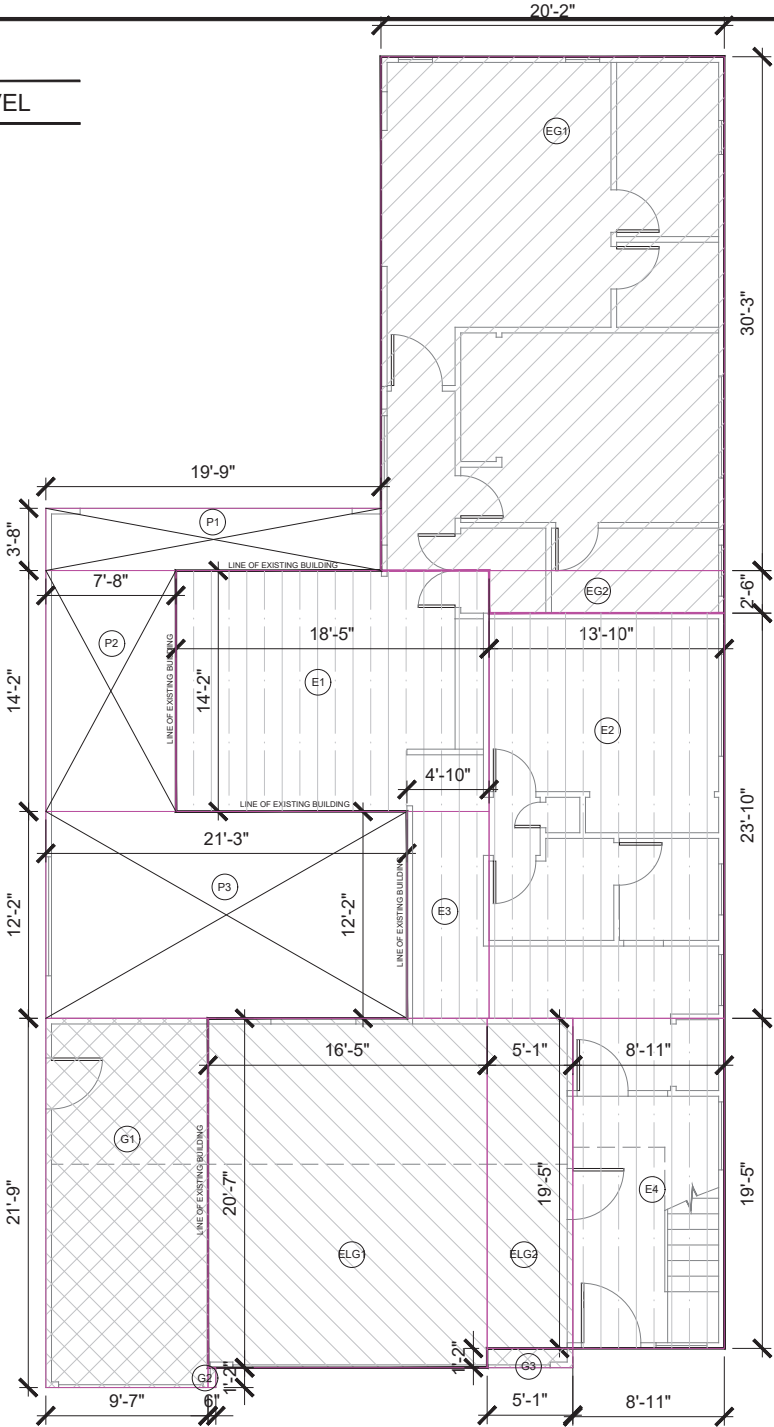
AREA OF PROPOSED LIVING SPACE		
DIMENSION	SUB-TOTAL	
P1. 19.75 x 3.66	72.29 S.F.	
P2. 7.66 x 14.16	108.47 S.F.	
P3. 21.25 x 12.16	258.40 S.F.	
TOTAL		439.16 S.F.



AREA OF EXISTING EXISTING LIVING SPACE CONVERTED INTO GARAGE		
DIMENSION	SUB-TOTAL	
ELG1. 16.41 x 20.58	337.71 S.F.	
ELG2. 5.08 x 19.41	98.60 S.F.	
TOTAL		436.31 S.F.



AREA OF PROPOSED GARAGE SPACE		
DIMENSION	SUB-TOTAL	
P1. 9.58 x 21.75	208.37 S.F.	
P2. .50 x 1.16	00.58 S.F.	
P3. 5.08 x 1.16	5.89 S.F.	
TOTAL		214.84 S.F.

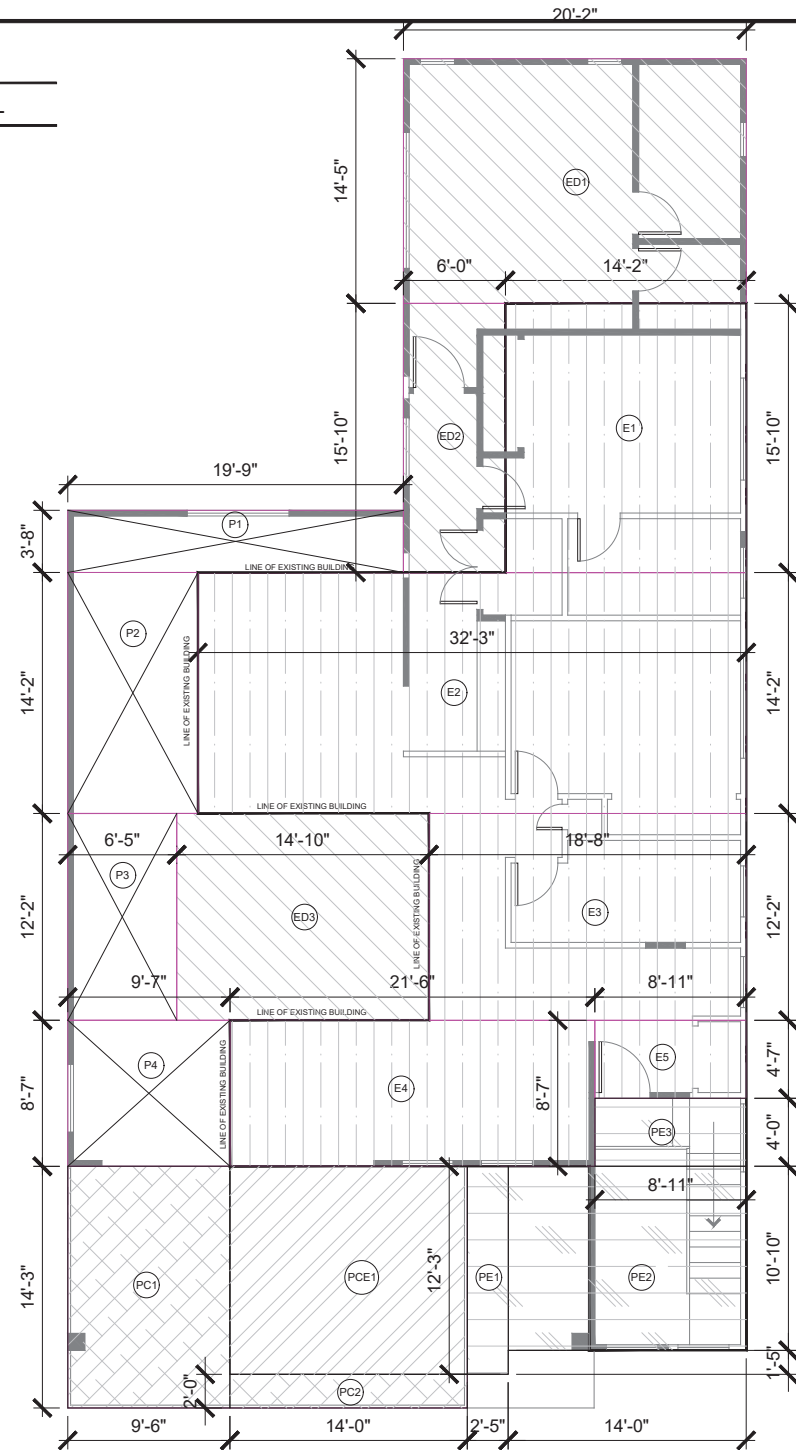


LOWER LEVEL SQUARE FOOTAGE PLAN

SCALE: 1/4" = 1'-0"

PROPOSED S.F. CALCULATIONS - UPPER LEVEL

	AREA OF EXISTING LIVING SPACE	
	DIMENSION	SUB-TOTAL
	E1. 14.16 x 15.83	224.15 S.F.
	E2. 32.25 x 14.16	456.66 S.F.
	E3. 18.66 x 12.16	226.91 S.F.
	E4. 21.50 x 8.58	184.47 S.F.
	E4. 8.92 x 4.58	40.85 S.F.
	TOTAL	1,133.04 S.F.
	AREA OF EXISTING EXISTING DECK CONVERTED INTO NEW LIVING SPACE	
	DIMENSION	SUB-TOTAL
	ED1. 20.16 x 14.41	290.51 S.F.
	ED2. 15.83 x 6.00	94.98 S.F.
	ED3. 14.83 x 12.16	180.33 S.F.
	TOTAL	565.82 S.F.
	AREA OF PROPOSED LIVING SPACE	
	DIMENSION	SUB-TOTAL
	P1. 19.75 x 3.66	72.28 S.F.
	P2. 7.66 x 14.16	108.47 S.F.
	P3. 6.42 x 12.16	78.06 S.F.
	P4. 9.58 x 8.58	82.20 S.F.
	TOTAL	341.01 S.F.
	AREA OF PROPOSED COVERED PATIO	
	DIMENSION	SUB-TOTAL
	PC1. 9.50 x 14.25	135.38 S.F.
	PC2. 14.00 x 2.00	28.00 S.F.
	TOTAL	163.38 S.F.
	AREA OF EXISTING LIVING CONVERTED TO COVERED PATIO	
	DIMENSION	SUB-TOTAL
	PCE1. 14.00 x 12.25	171.50 S.F.
	TOTAL	171.50 S.F.
	PREVIOUS EXISTING LIVING - REMOVED SF - NOT USED FOR PROPOSED SF	
	DIMENSION	SUB-TOTAL
	PE1. 2.42 x 12.25	29.65 S.F.
	PE2. 14.00 x 10.83	151.62 S.F.
	PE3. 8.92 x 4.00	35.68 S.F.
	TOTAL	216.95 S.F.



UPPER LEVEL SQUARE FOOTAGE PLAN

SCALE: 1/4"= 1'-0"

LA PRIMAVERA DUPLEX
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

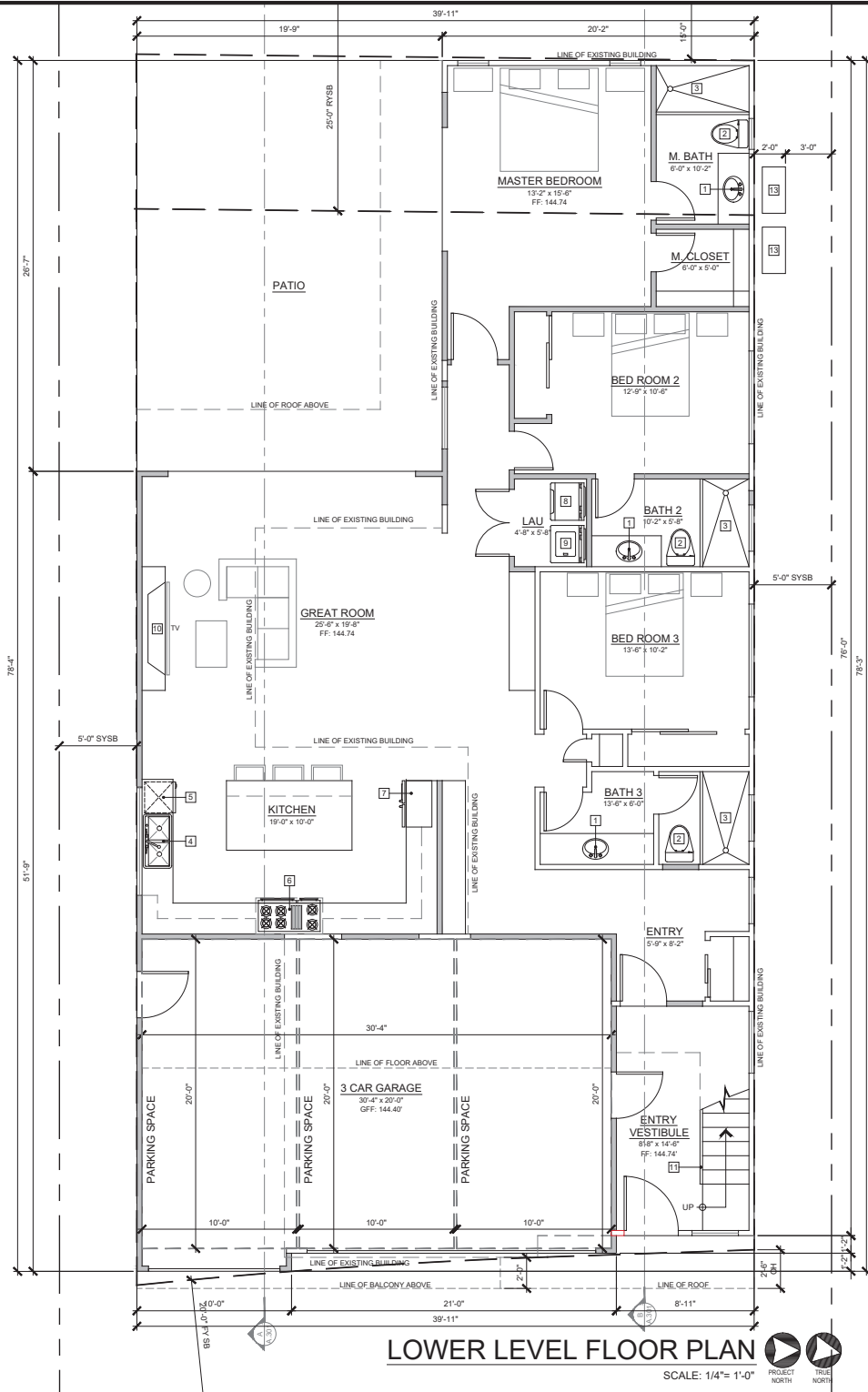
SQUARE FOOTAGE CALC
UPPER LEVEL

REVISIONS	
△	1/16/22 CUP COMMENT RESPONSE
△	3/28/22 CUP COMMENT RESPONSE
△	
△	

DRAWN BY: JC
CHECKED BY: SA
DATE: 4/7/22
JOB #: 2116
SHEET: 1

A.100f

ANDRADE ARCHITECTS, INC.
288 SOUTH CONSTITUTION
DANA POINT, CA 92629
TEL: 949.261.7878
FAX: 949.261.7878
ANDRADEARCHITECTS.COM
ANDRADE ARCHITECTS, INC.



LOWER LEVEL FLOOR PLAN

SCALE: 1/4"= 1'-0"



LEGEND	
	EXISTING 2X STUD WALL
	PROPOSED 2X STUD WALL
	PROPERTY LINE

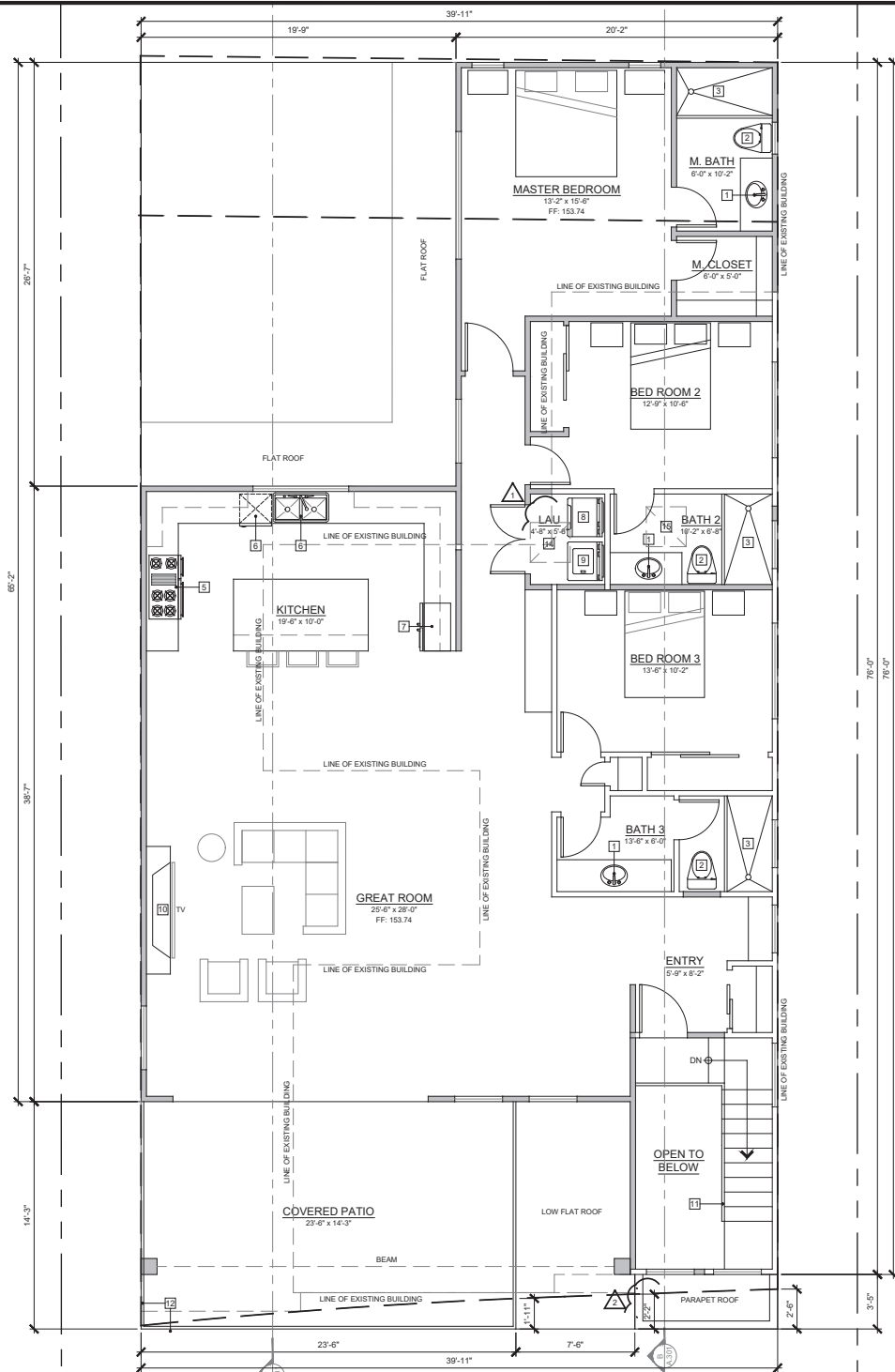
KEYNOTES	
1.	LAVATORY- FAUCET 1.2 GPM TYP. @ 60 PSI
2.	TOILET- 1.28 GPM TYP.
3.	SHOWER - TEMPERED GLASS ENCLOSURE - SHOWERHEAD MIN / MAX TEMP SHALL BE 120° PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES/ PROVIDE 70" HIGH NON ABSORBENT WALL ADJACENT TO SHOWER/ WATER RESISTANT GYPSUM BOARD IS NOT PERMITTED FOR TILE BACKING @ SHOWER/ WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN/ MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. SHOWER HEAD TO HAVE A MAXIMUM FLOW RATE OF 2.0 GPM @ 80 PSI
4.	SINK-FAUCET 1.2 GPM TYP. @ 60 PSI
5.	DISHWASHER
6.	GAS RANGE W/ EXHAUST HOOD ABOVE. VENT TO OUTSIDE AIR, 100 CFM MINIMUM EXHAUST RATE PER SECTION 5 OF ASHRAE 62.2
7.	54" REFRIGERATOR/FREEZER
8.	DRYER (VENT TO OUTSIDE)
9.	WASHER
10.	DIRECT VENT FIREPLACE
11.	WOODEN STAIR GUARDRAIL
12.	EXTERIOR 42" HIGH GUARDRAIL
13.	AIR CONDITIONING CONDENSER
14.	30" x 30" ATTIC ACCESS
15.	F.A.U. IN ATTIC SPACE- PROVIDE GAS, OUTLET, LIGHT FIXTURE AND LIGHT SWITCH. VENT PIPE THROUGH ROOF FOR COMBUSTION AIR PER C.P.C.

LA PRIMAVERA DUPLEX
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

LOWER LEVEL FLOOR PLAN

REVISIONS	
	1/16/22 CUP COMMENT RESPONSE
	3/28/22 CUP COMMENT RESPONSE

DRAWN BY: JC
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DATE: 4/7/22
JOB #: 2116
SHEET:



UPPER LEVEL FLOOR PLAN

SCALE: 1/4"= 1'-0"



- ### KEYNOTES
1. LAVATORY- FAUCET 1.2 GPM TYP. @ 60 PSI
 2. TOILET- 1.28 GPM TYP.
 3. SHOWER - TEMPERED GLASS ENCLOSURE - SHOWERHEAD MIN / MAX TEMP SHALL BE 120° PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES/ PROVIDE 70" HIGH NON ABSORBENT WALL ADJACENT TO SHOWER/ WATER RESISTANT GYPSUM BOARD IS NOT PERMITTED FOR TILE BACKING @ SHOWER/ WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN/ MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. SHOWER HEAD TO HAVE A MAXIMUM FLOW RATE OF 2.0 GPM @ 80 PSI
 4. SINK-FAUCET 1.2 GPM TYP. @ 60 PSI
 5. DISHWASHER
 6. GAS RANGE W/ EXHAUST HOOD ABOVE, VENT TO OUTSIDE AIR, 100 CFM MINIMUM EXHAUST RATE PER SECTION 5 OF ASHRAE 62.2
 7. 54" REFRIGERATOR/FREEZER
 8. DRYER (VENT TO OUTSIDE)
 9. WASHER
 10. DIRECT VENT FIREPLACE
 11. WOODEN STAIR GUARDRAIL
 12. EXTERIOR 42" HIGH GUARDRAIL
 13. AIR CONDITIONING CONDENSER
 14. 30" x 30" ATTIC ACCESS
 15. F.A.U. IN ATTIC SPACE- PROVIDE GAS, OUTLET, LIGHT FIXTURE AND LIGHT SWITCH. VENT PIPE THROUGH ROOF FOR COMBUSTION AIR PER C.P.C.

LEGEND	
	EXISTING 2X STUD WALL
	PROPOSED 2X STUD WALL
	PROPERTY LINE

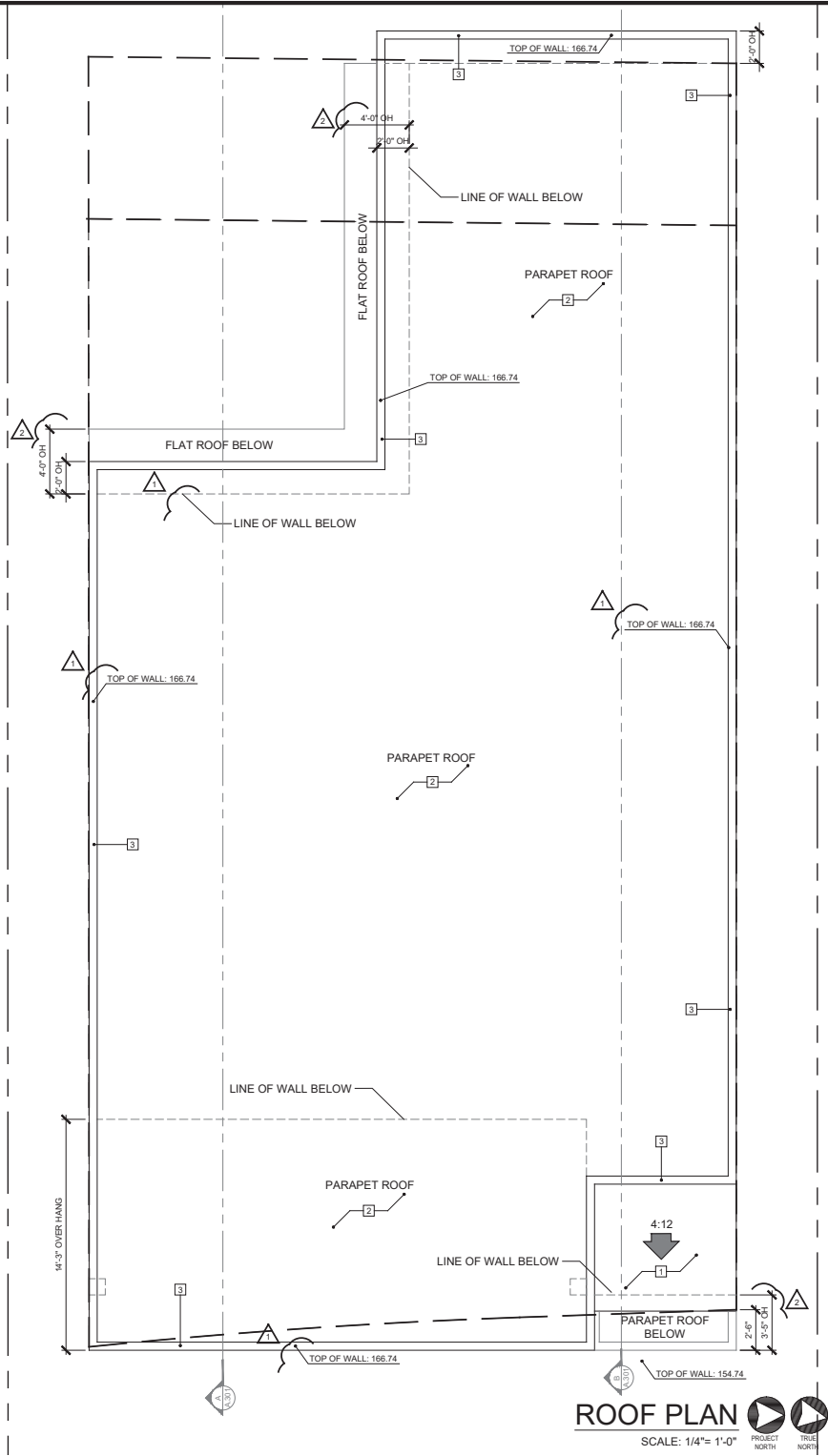
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34071 CALLE LA PRIMAVERA,
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UPPER LEVEL FLOOR PLAN

REVISIONS	
	1/16/22 CUP COMMENT RESPONSE
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DATE: 4/7/22
JOB #: 2116
SHEET:
A.102





#	KEYNOTES
1.	STANDING SEAM METAL ROOF OVER 30# BUILDING PAPER
2.	BUILT UP COMPOSITION ROOFING
3.	6" WIDE x 12" HIGHT PARAPET WALL

NOTES	
1.	PROVIDE 26 GA GI VALLEY FLASHING
2.	PROVIDE GUTTERS @ EAVE W/ DOWNSPOUTS CONNECTED TO GROUND DRAINAGE SYSTEM

ANDRADE ARCHITECTS, INC.
2881 SOUTH COAST HIGHWAY
DANA POINT, CA 92629
TEL: 949.341.7575
FAX: 949.341.7575
ANDRADEARCHITECTS.COM



ANDRADE ARCHITECTS, INC.

LA PRIMAVERA DUPLEX

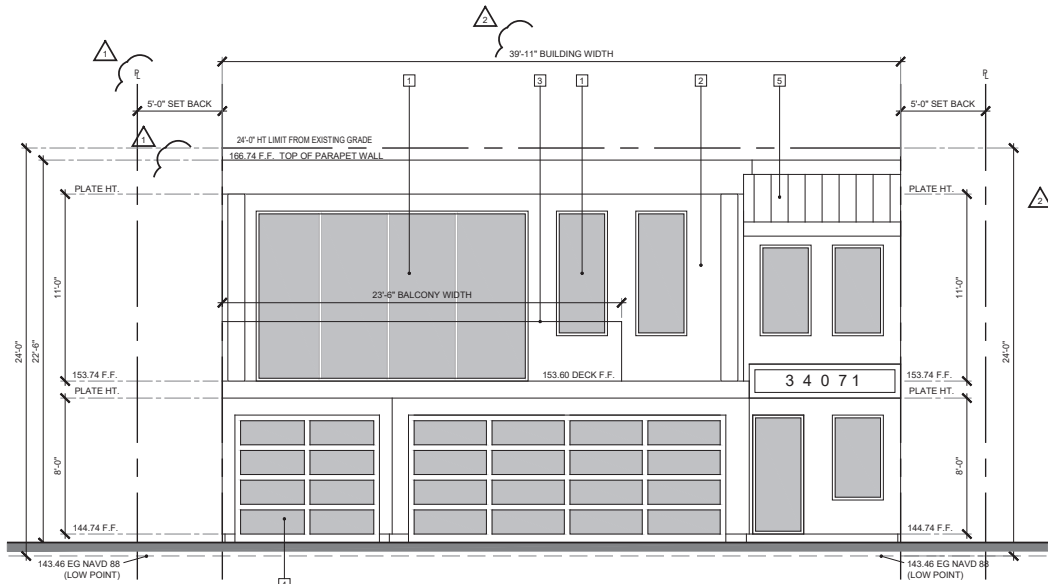
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

ROOF PLAN

REVISIONS	
	1/16/22 CUP COMMENT RESPONSE
	3/28/22 CUP COMMENT RESPONSE
	
	

DRAWN BY:	JC
CHECKED BY:	SA
DATE:	4/7/22
JOB #:	2116
SHEET:	

A.103



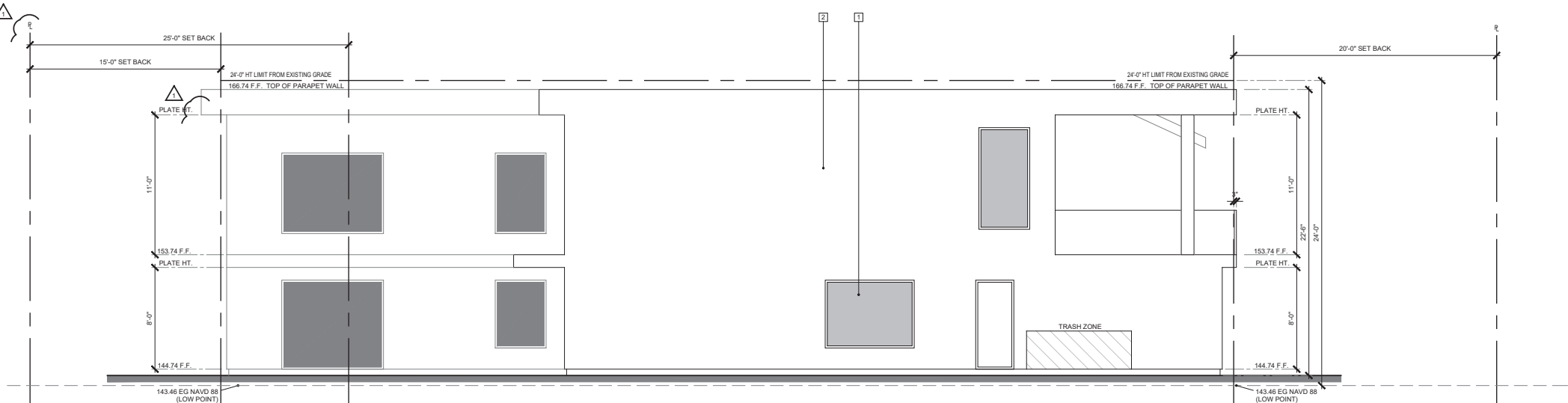
FRONT ELEVATION
EAST
SCALE: 1/4"= 1'-0"

- | # | KEYNOTES |
|----|--------------------------------------|
| 1. | METAL CLAD DOORS & WINDOWS - TYPICAL |
| 2. | SMOOTH STUCCO |
| 3. | GLASS RAILING |
| 4. | GARAGE DOOR WITH GLASS PANELS |
| 5. | STANDING SEAM METAL ROOF |

BALCONY WIDTH CALCULATION

$$23'-6" \text{ (BALC)} / 39'-11" \text{ (BUILDING WIDTH)} = 0.5887 = 58.87\%$$

$$58.87\% < 60.00\%$$



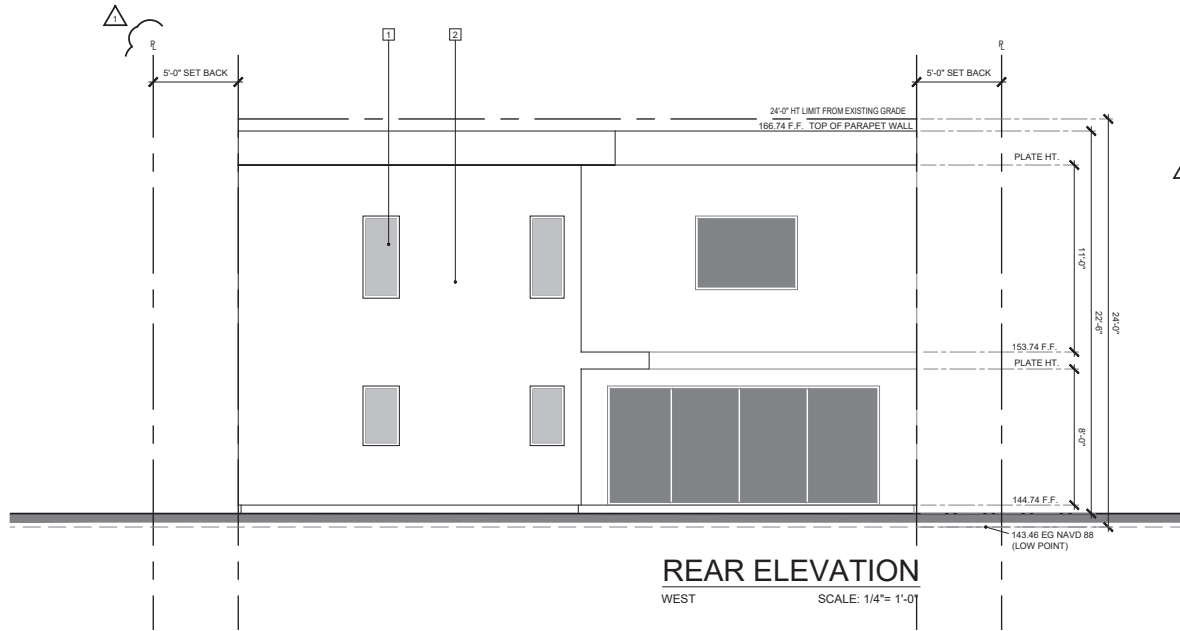
LEFT ELEVATION
SOUTH
SCALE: 1/4"= 1'-0"

LA PRIMAVERA DUPLEX
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

EXTERIOR ELEVATIONS

REVISIONS	
1/16/22	CUP COMMENT RESPONSE
3/28/22	CUP COMMENT RESPONSE

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CHECKED BY: SA
DATE: 4/7/22
JOB #: 21116
SHEET:



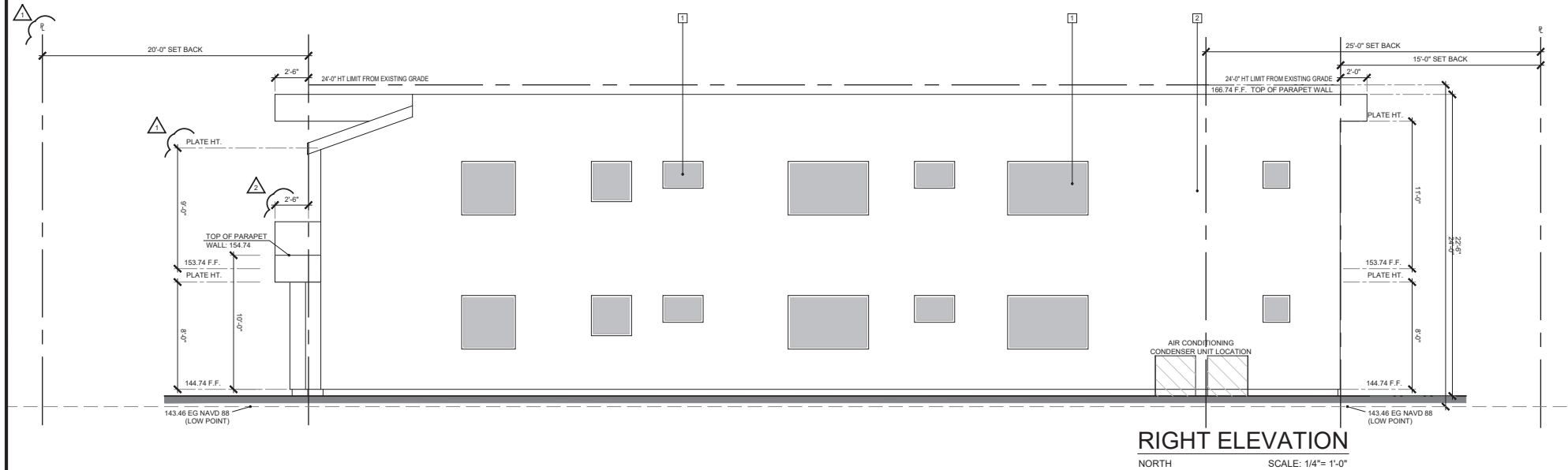
REAR ELEVATION
WEST
SCALE: 1/4"= 1'-0"

KEYNOTES

1. METAL CLAD DOORS & WINDOWS - TYPICAL
2. SMOOTH STUCCO
3. GLASS RAILING
4. GARAGE DOOR WITH GLASS PANELS
5. STANDING SEAM METAL ROOF

BALCONY WIDTH CALCULATION

$$23'-6" \text{ (BALC)} / 39'-11" \text{ (BUILDING WIDTH)} = 0.5887 = 58.87\%$$
$$58.87\% < 60.00\%$$



RIGHT ELEVATION
NORTH
SCALE: 1/4"= 1'-0"

LA PRIMAVERA DUPLEX
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

EXTERIOR ELEVATIONS

REVISIONS

1/16/22	CUP COMMENT RESPONSE
3/28/22	CUP COMMENT RESPONSE

DRAWN BY: JC
CHECKED BY: SA
DATE: 4/7/22
JOB #: 2116
SHEET:

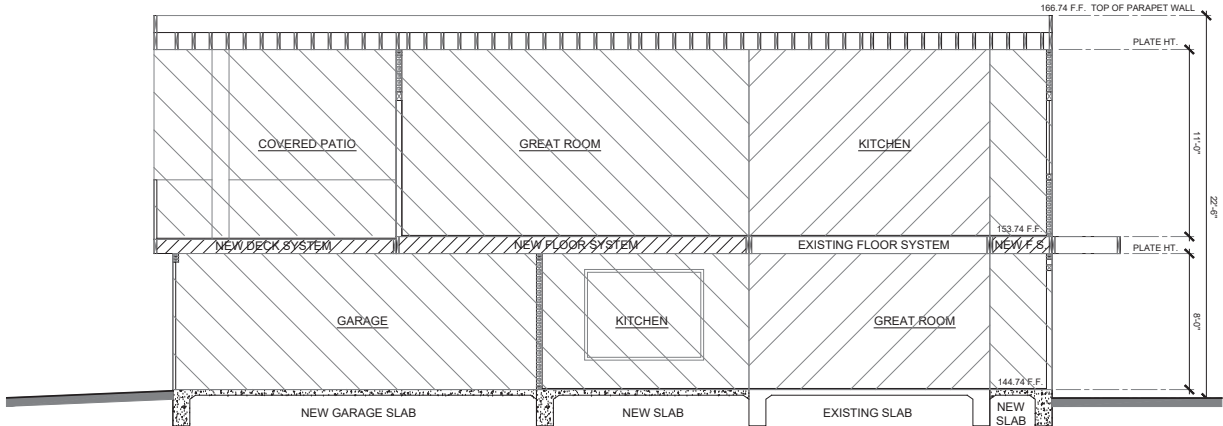
A.202

REVISIONS	
1/16/22	CUP COMMENT RESPONSE
3/28/22	CUP COMMENT RESPONSE

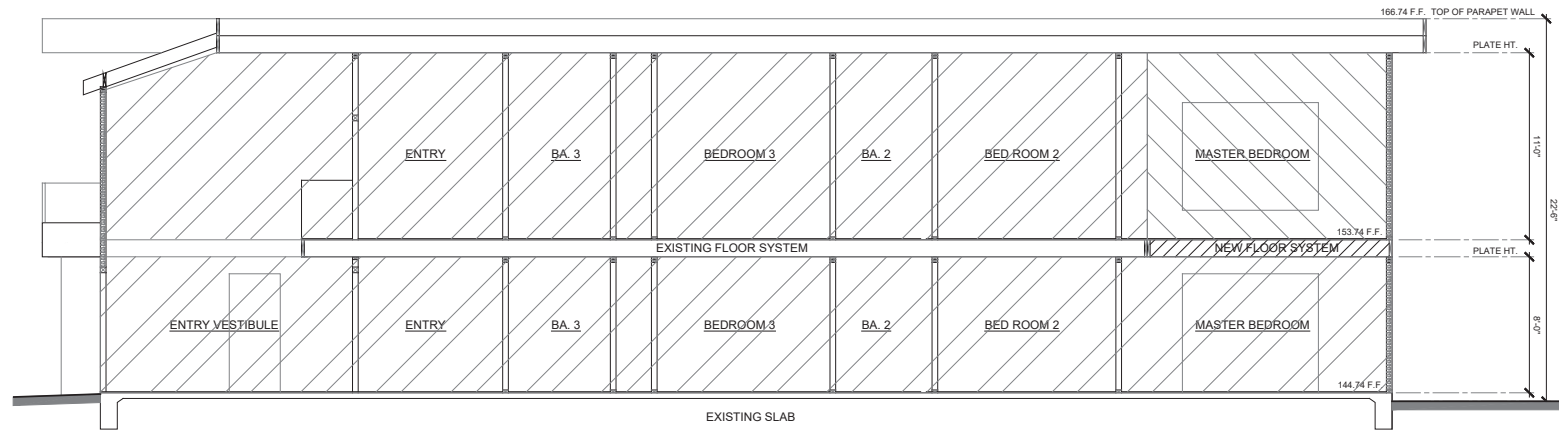
DRAWN BY:	JC
CHECKED BY:	SA
DATE:	4/7/22
JOB #	2116

LEGEND

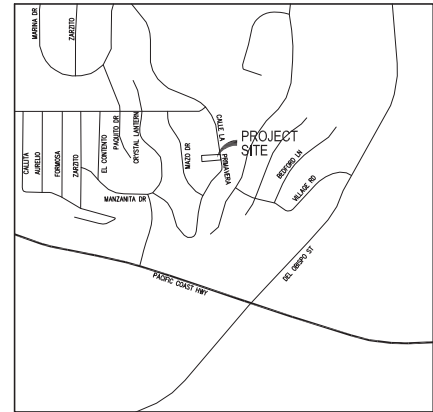
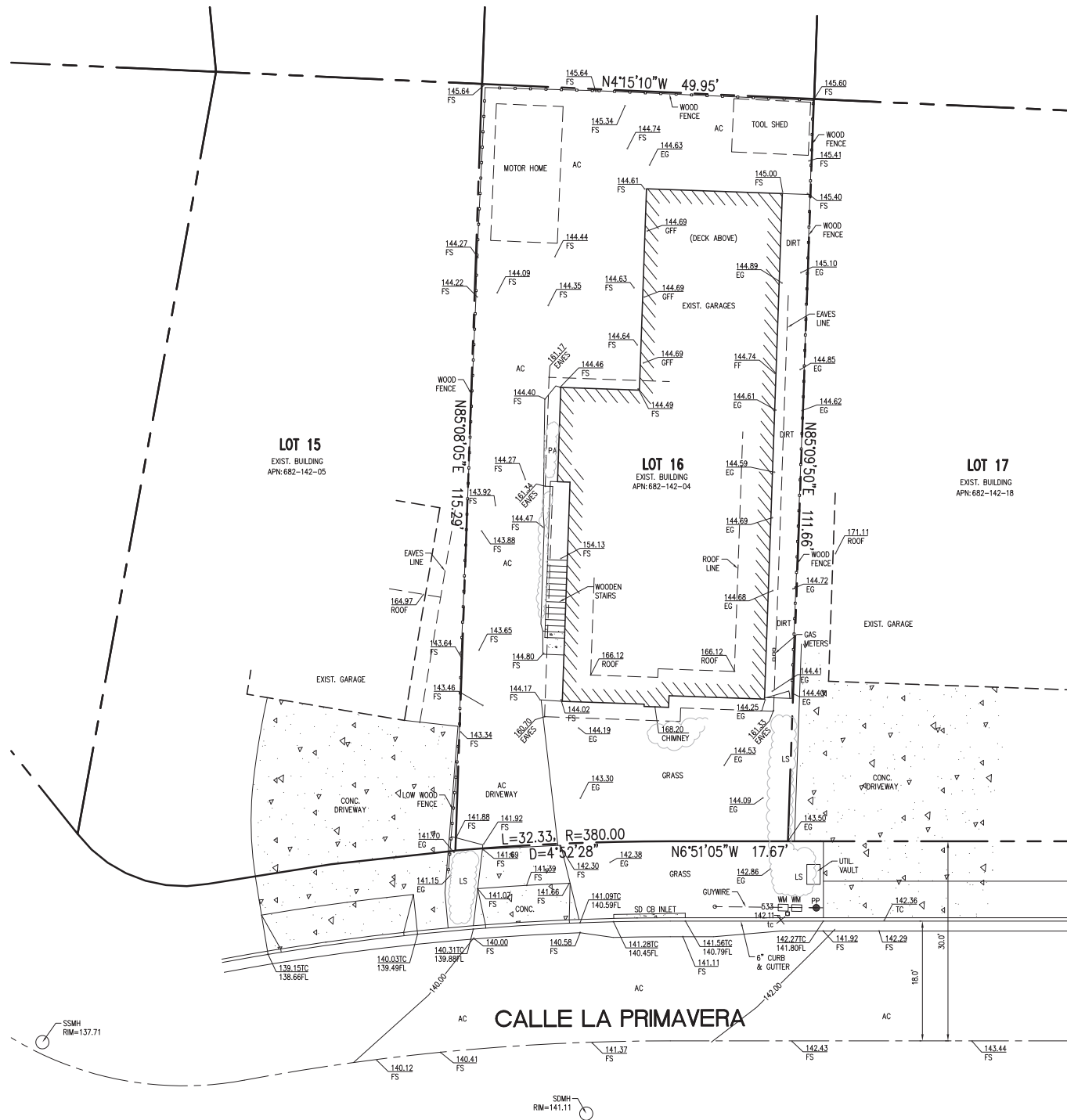
1. IMPROVED EXISTING AREA
2. NEW LIVING AREA



SECTION A
SCALE: 1/4"= 1'-0"



SECTION B
SCALE: 1/4"= 1'-0"



VICINITY MAP
NTS

OWNER:

MANNY KIM
34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

SITE ADDRESS:

34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

LEGAL DESCRIPTION

LOT 16 TRACT 862 MM 30/34-36

APN

682-142-04

LOT AREA

A= 5,673.00 SF/±0.13 AC

DATE OF SURVEY

SEPTEMBER 2021

BENCH MARK:

DESIGNATION: 3P-24-68
DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK
STAMPED "3P-24-68" SET IN THE SOUTHWESTERLY CORNER OF A 4 FT. BY 4 FT.
CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF
THE INTERSECTION OF DEL OBISPO DRIVE AND PACIFIC COAST HIGHWAY, 38.1 FT.
EASTERLY OF THE CENTERLINE OF DEL OBISPO AND 245.1 FT. NORTHERLY OF THE
CENTERLINE OF PCH. MONUMENT IS SET LEVEL WITH THE SIDEWALK.
ELEVATION :15.945' (NAVD83); YEAR LEVELED: 2004

ABBREVIATION

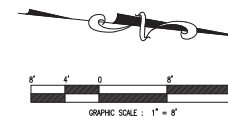
ACFS - ASPHALT CONCRETE
CL - CENTERLINE
CONC - CONCRETE
CPPK - CONTROL POINT PIKE
CPL - CONTROL POINT PL
CPX - CONTROL POINT
DI - DRAIN INLET
DWY - DRIVEWAY
EG - EXISTING GROUND
FD - FOUND
FF - FINISH FLOOR
FL - FLOWLINE
FS - FINISH SURFACE
GAR - GARAGE
IRR - IRRIGATION
LS - LANDSCAPE
NG - NATURAL GROUND
PL - PROPERTY LINE
PK - PIKE
RR - RAILROAD TIES
SMH - SEWER MANHOLE
STP - STEP
SOS - SHOT ON SLOPE
TC - TOP OF CURB
TG - TOP GRATE
TBM - TEMPORARY BENCHMARK
TW - TOP OF WALL
TWf - TOP OF WOOD FENCE
TWSTP - TOP OF WALL STEP
WF - WOODEN FENCE
WM - WATER METER
WI - WROUGHT IRON
INV - INVERT
PA - PLANTER AREA

LEGEND

--- PROPERTY LINE
--- CENTER LINE
/// BUILDING FOOTPRINT
/// EX. BLOCK WALL
CONCRETE PAVEMENT
SPOT ELEVATION
TREE/BUSH
WOOD FENCE
FIRE HYDRANT
WATER VALVE
WATER METER
PALM TREE
IRON FENCE
EXISTING LIGHTPOST








NOTE:

THE BOUNDARY SHOWN ON THIS MAP IS FOR INFORMATION
ONLY AND WERE TAKEN FROM RECORD DATA OR DEED.
PRELIMINARY TITLE REPORT HAS NOT BEEN PROVIDED AT THIS
TIME. ADDITIONAL EASEMENTS MAY AFFECT THE PROPERTY.



GRAND KNIGHT ENGINEERING, Inc. PLANNING ENGINEERING SURVEYING 24881 ALICIA PARKWAY E-243 LAGUNA HILLS, CA 92653 ph 949.228.1570 fx 949.214.6424	TOPOGRAPHIC SURVEY	
	34071 CALLE PRIMAVERA, DANA POINT, CA 92629	SHT. 1 OF 1 SHTS.
	FOR: MANNY KIM	PLAN No. 21-1234-20

SCALE: 1" = 8'
DATE: 09/15/21

PLANTING PALETTE				
PLAN SYMBOL:	BOTANICAL NAME:	COMMON NAME:	CONTAINER:	HEIGHT/ WIDTH:
	MAGNOLIA GRANDIFLORA 'LIL GEM'	MAGNOLIA 'DWARF'	24" BOX	6' H X 4' W
SHRUBS:				
	ANIGOZANTHOS	KANGAROO PAW YELLOW	5 GAL	3' H X 2' W
	BUXUS MICROPHYLLA JAPONICA	JAPANESE BOXWOOD	5 GAL	18" H X 18" W
	FICUS NITIDA	INDIAN LAUREL	15 GAL	6' H X 3' W
	PODOCARPUS MACROPHYLLUS	YEW PINE	15 GAL	6' H X 3' W
	SANSEVERIA TRIFASCIATA	SNAKE PLANT	5 GAL	3' H X 18" W
	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	1 GAL	2' H X 2' W

GROUNDCOVER (G.C.):			
	ARTIFICIAL TURF		
	BUCHLOE DACTYLOIDES	UC VERDE BUFFALO GRASS	PLUGS 6" H
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL 2' H



MAGNOLIA 'DWARF'



KANGAROO PAW



JAPANESE BOXWOOD



FICUS



ARTIFICIAL TURF



UC VERDE BUFFALO GRASS



STAR JASMINE

LIGHTING LEGEND

5	▲ UPLIGHT	ALLIANCE (BULB LED 4 W MMT BULLET LIGHT 5.0W VOLTAGE)	DIRECTIONAL UPLIGHTS BENEATH TREES ONLY, ORIENT AS SHOWN ON PLAN.
27	■ DOWNLIGHT	ALLIANCE (BULB LED 4 W MMT BULLET LIGHT 5.0W VOLTAGE)	ORIENT AS SHOWN ON PLAN.

(33 TOTAL)

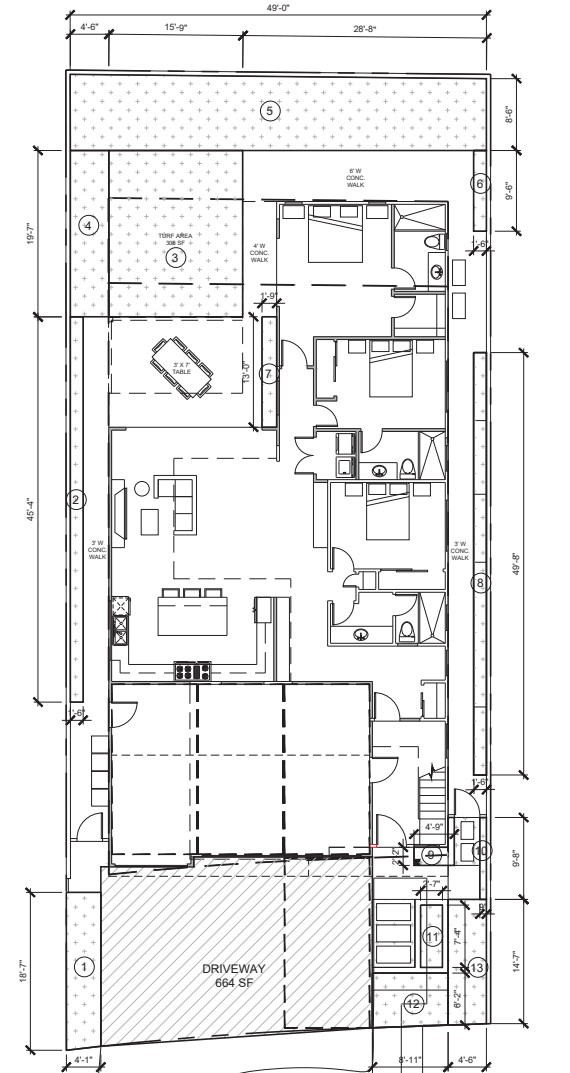
LIGHTING NOTES:

1. FINISH B - AGED BRASS FINISH
2. MOUNTING: GROUND MOUNTED FIXTURES TO BE MOUNTED ON ALLIANCE PERMAPOST
3. INSTALL PER MANUFACTURER INSTRUCTIONS. LIGHTING LOCATIONS PER OWNERS.
4. THE LIGHT SOURCE FOR DIRECTIONAL UPLIGHTS AND FLOODLIGHTS MUST BE SHIELDED FROM DIRECT VIEW FROM NEIGHBORING PROPERTIES.

SQUARE FOOTAGES

TOTAL LOT AREA	5,673 SQ. FT
LESS DRIVEWAY	664 SQ. FT = 5,009 SQ. FT
TOTAL LANDSCAPE AREA (5,673 SF LOT AREA - 2,552 SF LOT COVERAGE - 664 SF DRIVEWAY:	2,457 SQ. FT = 100%
DECORATIVE HARDSCAPE (IMPERVIOUS):	1,230.47 SQ. FT = 50%
SOFTSCAPE (PERVIOUS):	1,226.53 SQ. FT = 50%

MINIMUM LANDSCAPE AREA CALCULATION		
1	16'-7" X 4'-1"	75.89 SF
2	42'-4" X 1'-6"	68 SF
3	19'-7" X 15'-9"	308.43 SF
4	19'-7" X 4'-6"	88.12 SF
5	49'-0" X 8'-6"	416.5 SF
6	9'-6" X 1'-6"	14.25 SF
7	13'-0" X 1'-0"	22.75 SF
8	49'-0" X 1'-6"	74.5 SF
9	4'-9" X 2'-2"	10.29 SF
10	9'-6" X 3'	7.25 SF
11	7'-4" X 2'-7"	16.94 SF
12	8'-1" X 6'-2"	55 SF
13	14'-7" X 4'-6"	65.62 SF
TOTAL		1,226.53 SF



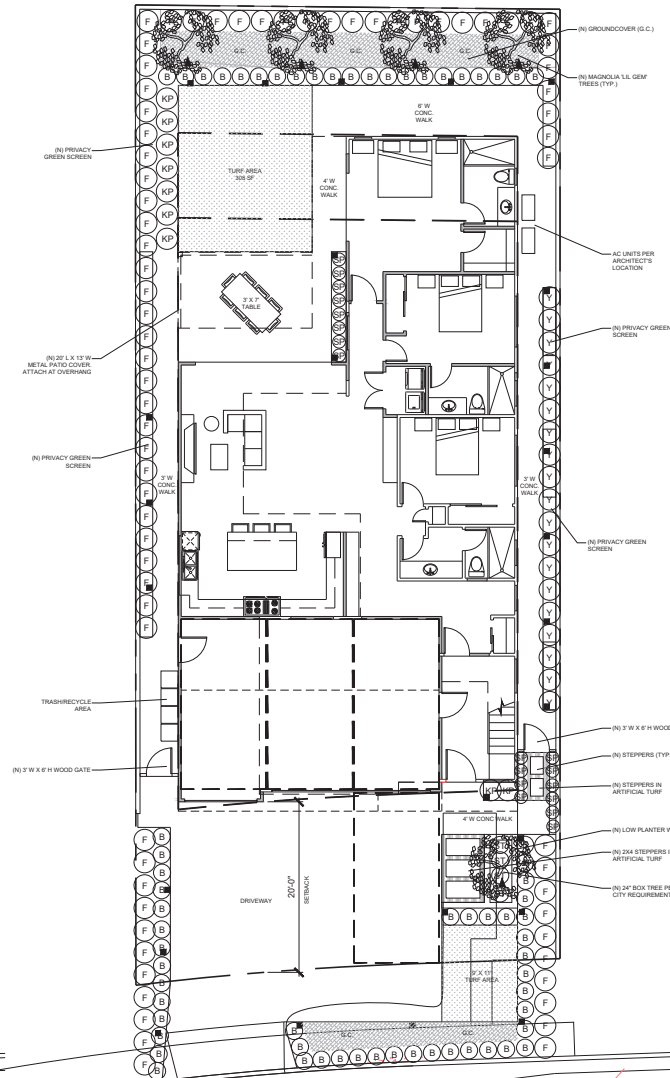
LANDSCAPE AREA PLAN

SCALE: 1/8" = 1'-0"



PROJECT NORTH

TRUE NORTH



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



PROJECT NORTH

TRUE NORTH

LA PRIMAVERA DUPLEX

34071 CALLE LA PRIMAVERA,
DANA POINT, CA 92629

LANDSCAPE PLAN LANDSCAPE AREA PLAN

REVISIONS

△	
△	
△	
△	

DRAWN BY: DM
CHECKED BY: KA
DATE: 04/29/23
JOB #: 2116
SHEET:

L.101