CITY OF DANA POINT PLANNING COMMISSION AGENDA REPORT

DATE: MARCH 14, 2022

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

BRENDA WISNESKI, DIRECTOR OF COMMUNITY DEVELOPMENT

JUSTIN R. POLEY, ASSISTANT PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP22-0005 AND SITE

DEVELOPMENT PERMIT SDP21-0013, TO PERMIT THE CONSTRUCTION OF A THIRD STORY ADDITION TO AN EXISTING NONCONFORMING, THREE-STORY SINGLE-FAMILY DWELLING LOCATED ON A LOT WITH A HILLSIDE CONDITION AND ADMINISTRATIVE MODIFICATION OF STANDARDS AMS21-0006 TO PERMIT A REDUCTION IN THE SETBACK FOR A PROPOSED THIRD STORY DECK ASSOCIATED WITH THE PROPOSED ADDITION LOCATED AT 34191 BLUE LANTERN STREET

RECOMMENDATION: That the Planning Commission adopt the attached resolution

approving Coastal Development Permit, Site Development Permit, and Administrative Modifications of Standards. (Action

Document 1).

OWNER: Mike Carey

APPLICANT: Mike Carey

REQUEST: Approval of a Coastal Development Permit and Site Development

Permit to permit the construction of a third story addition to an existing, nonconforming, three-story single-family dwelling located on a lot with a hillside condition, and an Administrative Modification of Standards to permit a reduction in the setback for a proposed third story deck associated with the proposed

addition.

LOCATION: 34191 Blue Lantern (APN: 682-245-19)

NOTICE: Notices of the Public Hearing were mailed to property owners

within a 500-foot radius on February 28, 2022, published within a newspaper of general circulation on February 16, 2022, and posted on February 28, 2022, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, Dana Point

Library, as well as on the City of Dana Point website.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the

project is Categorically Exempt per Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that the project proposes construction of a third story addition to an existing single family residence with an associated deck.

ISSUES:

- 1. Is the proposal consistent with the City's adopted Dana Point General Plan, Zoning Code (DPZC), and Local Coastal Plan (LCP)?
- 2. Does the project satisfy all the findings pursuant to the Dana Point Zoning Code (DPZC) required for approving a for approval of a Coastal Development Permit (CDP), Site Development Permit (SDP) and an Administrative Modifications of Standards (AMS)?
- 3. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?

BACKGROUND: The subject property is a 7,200 square foot lot developed with a 1,862 square foot, two-story, single-family dwelling (SFD) and an attached non-conforming two-car garage that is not internally connected to the SFD originally constructed in 1972. The subject property is zoned "Residential Single-Family 7" (RSF 7), and is located in the City's Coastal Overlay District, but outside of the appeals jurisdiction of the California Coastal Commission. The subject site is located near the intersection of Blue Lantern and Pacific Coast Highway and contains steep topography similar to many of the lots located along Blue Lantern Street already containing residential structures built into the hillside (Supporting Documents 2 and 3). The surrounding properties largely contain single-family residential development of which the majority are three-stories and contain decks and balconies.

On September 14, 2009, the existing residential structure received administrative approval of Minor Site Development Permit SDP09-0014(M) to permit a second and third story addition totaling approximately 973 square feet. Although approved, only the second story addition and remodel associated with SDP09-0014(M) were implemented.

The structure is legal nonconforming for various deficiencies related to the current DPZC. Although the required RSF 7 front yard setback is a minimum of 20 feet, the lot is shallow and is eligible for a reduced front and rear yard setback of up to 9.5' per Section 9.05.190 of the DPZC (Building Setbacks on Shallow/Narrow Sites). The existing residence, however, is only setback 6' – 11.5 inches (") from the front property line. In addition, the structure is deficient in it only provides an undersized two-car garage and exceeds the maximum height for a three-story residential structure in a hillside condition.

<u>DISCUSSION:</u> The proposed project includes the construction of a third story addition to

the existing non-conforming three-story single-family dwelling located on a lot containing a hillside condition consistent with DPZC Section 9.05.110(a)(4)(A), and to permit a reduction in the setback for a proposed third story deck associated with the addition. As noted above, the existing SFD is nonconforming. Consequently, a Minor Site Development Permit is required for an expansion of more than ten (10) percent of the gross floor area, in addition to the Site Development Permit required for the third story on a hillside condition lot. An Administrative Modifications of Standards (AMS) is required for the project to permit encroachment of a proposed third story deck into the required setback area applicable to third story additions. A CDP is required since the proposed project is in the Coastal Overlay District.

COASTAL DEVELOPMENT PERMIT

A Coastal Development Permit is required for the project because the proposed additions are considered development within the City's Coastal Overlay Zone. In addition, per DPZC Section 9.69.030(a)(3), applications for development, not located within the appeals area of the Coastal Overlay District but which require any other discretionary permit require that action on the Coastal Development Permit be taken by the Planning Commission.

The existing floor plan of the SFD contains three bedrooms, two bathrooms, kitchen/dining area, a second story deck and an attached non-conforming two-car garage located on the first-floor level. The proposed addition will include an additional bedroom, bathroom and office as well as an expanded pantry area all located on the third floor.

Table 1 summarizes applicable RSF 7 development standards and the project's conformance with those requirements:

Table 1: Compliance with RSF 7 Development Standards

Development Standard	Requirement	Proposed/Existing	Compliant with Standard
Front Setback	9'-5" minimum	6'-11.5"	No
Side Setbacks (interior)	5' minimum	5 feet	Yes
Side Setback (exterior)	10' minimum	10+ feet	Yes
Rear Setback	25'	27'–2.5"	Yes
Height			
Existing:	31' maximum Roof pitch 3/12 or greater but less than 6/12	33.25'	No
Proposed addition:	29' maximum* (Less than 3/12	28' – 9"	Yes

PLANNING COMMISSION AGENDA REPORT CDP22-0005, SDP21-0013, AND AMS21-0006 MARCH 14, 2022 PAGE 4

	roof pitch)		
Lot Coverage	60% maximum	23.59%	Yes
Parking Required	2-car garage	Undersized 2-car	No
		garage	
Landscape	25 %	2%	Yes

^{*} SDP is required to allow three-story flat-roofed structures (flat – 3/12 roof pitch) up to 29 feet

Other than the aforementioned nonconformities, the remainder of the site and the proposed additions (see discussion below) meet the provisions of the City's Local Coastal Program. Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

- 1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).
- If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).
- 3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).
- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.
- 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.
- 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.
- 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.

The required findings are articulated in the attached draft Resolution identified as Action Document 1.

SITE DEVELOPMENT PERMIT

Residential Structure in a Hillside Condition

Pursuant to DPZC Section 9.05.110(a)(4), the property qualifies as a "Hillside Condition" lot possessing a slope exceeding 20 percent. The hillside condition allows residential structure to be three stories and a 29 foot height limit (for roofs with less than a 3/12 pitch), with the approval of a Site Development Permit. DPZC Section 9.05.110(a)(4) also stipulates seven specific provisions each of which are discussed below.

• Subsection (A): For purposes of this Section, a hillside condition shall mean a lot with a topographic slope percentage, as defined in Section 9.75.190 of this Title, either front to rear or side to side, of twenty (20) percent or greater. The topographic slope percentage shall be calculated by determining the vertical differential between the highest elevation point of the property at the front or rear property line (whichever is higher) and the lowest elevation point along the opposing rear or front property line (whichever is lower) or between the highest elevation point along the higher side property line to the lowest elevation point along the opposing, lower side property line and dividing that vertical differential by the horizontal distance between the two (2) points.

The subject site contains a 20 percent slope when calculated as prescribed by Section 9.05.110(a)(4)(A), meeting the minimum required 20 percent required to qualify as a lot with a hillside condition.

• Subsection (B): Three story structures shall be designed so that the third story has an average additional yard setback area of ten (10) feet times the total width of the structure at the street elevation.

The width of the existing structure at the street elevation is 49'-6" and therefore the proposed third story addition must provide an average, additional yard setback area of 495 square feet. The third story addition is designed to be stepped back to reduce massing, and as designed exceeds the required average additional yard setback area per Section 9.05.110(a)(4) by providing approximately 590 square feet of additional yard setback area.

Additionally, pursuant to Subsection B, setback encroachments are permitted as specified in Section 9.05.080. The applicant is requesting an AMS to increase the deck encroachment on the third story, which is further discussed in the AMS section below.

Subsection (C): Residential structures having three (3) stories shall be limited to a
maximum Floor Area Ratio (FAR) of .75 the area of the lot, excluding garage area.
The amount of garage area in excess of that required for minimum compliance
with parking standards, as specified in Section 9.35.070 of this Title, shall be
considered part of the floor area when calculating the FAR.

The total FAR for the residence, inclusive of the existing habitable areas and the proposed additions is .32:1 (32%): well under the .75 maximum allowed.

• Subsection (D): Building height shall be measured as specified in Subsection (a)(2) of this Section, and in no case may the overall height of the structure exceed thirty-three (33) feet or as specified in Subsection (a)(7) of this Section.

The proposed roof has a pitch of .5/12 establishing a maximum building height of 29' pursuant to DPZC Section 9.05.110(a)(7) for lots in a hillside condition. The height of the proposed third story addition will be 28' - 9" as measured from the existing grade (structure low point) located in front of the existing garage, in compliance with DPZC Section 9.05.110(a)(2), and under the maximum height specified in Subsection (a)(7).

 Subsection (E): The applicant shall demonstrate that the proposed design will result in a reduction in grading and the disruption to existing topography that would be incurred with a standard two (2) story design on the subject site, pursuant to Subsection (a)(2) of this Section, to the satisfaction of the Director of Community Development.

The project scope of work includes a third story addition at the same vertical plane of the second floor below it, and no grading is required to implement the proposed project, and it therefore complies with Subsection (E).

 Subsection (F): The height of the third story shall not exceed a height of fourteen (14) feet above the upper property line or upper street curb elevation, as measured perpendicular to any point along said line or curb.

The vertical elevation of the upper property line (as indicated on Sheets A1.1 and A3.1) is 230.5' NAVD, while the highest portion of the proposed roof line for the third story addition is at a vertical elevation of 232.92' NAVD 88. Therefore, the structure is 2.42' higher than the vertical elevation of the upper property line and well under the fourteen (14) foot maximum.

 Subsection (G): Applications for Site Development Permits to allow three (3) story developments on hillside properties shall include story pole staking as described in the City's application requirements for a Site Development Permit.:

Story pole staking representing the proposed third story additional was installed at the subject site on March 1, 2022. A staking plan was provided to the Planning Division on March 7, 2022 and the height of the story poles was surveyed and stamped by a licensed land surveyor certifying the height of the proposed story poles on March 7, 2022, and is provided as Supporting Document 5.

Expansion of Nonconforming Structures Conforming as to Use

As noted above, there are three nonconformities related to the existing structure. In accordance with DPZC Section 9.63.030(a), nonconforming structures conforming as to use may be expanded provided the proposed expansion meets the current DPZC requirements and contributes positively to neighborhood. Expansions of ten (10) or more require a Minor Site Development Permit. As detailed above, the proposed additions, except for the requested AMS, comply with both the current RSF 7 development standards, and the provisions applicable to residential structures in a hillside condition, and are consistent with surrounding single family development. Consequently, findings supporting the proposed additions relative to the expansion of a nonconforming structure conforming as to use can be made.

Section 9.71.050 of the DPZC stipulates four findings to approve the Site Development Permit, requiring that the project:

- 1. Compliance of the site design with development standards of this Code.
- 2. Suitability of the site for the proposed use and development.
- 3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.
- 4. Site and structural design which is appropriate for the site and function of the proposed use(s), without requiring a particular style or type of architecture.

The recommended findings for approval of both of the SDPs required to implement the proposed project are outlined in the draft Resolution No. 22-03-14-XX, attached to this report as Action Document 1.

ADMINISTRATIVE MODIFICATIONS OF STANDARDS

Per Section 9.61.090 of the DPZC, projects can request an AMS for minor deviation from certain development standards including setbacks, if the property is constrained due to lot size, shape, location, or physical constraints. Under the Hillside Ordinance (Section 9.05.110(a)(4)) the second and third-floor living areas and decks are subject to increased setbacks to reduce the massing of three-story structures. The project is requesting a deviation from the additional setback requirement for the third-floor deck since the site contains steep topography and is irregularly shaped resulting in a reduction of the buildable area onsite, as well as limiting usable open space.

The project is proposing a third story deck which will extend out to the building footprint of the second story below to provide for additional outdoor living area for the SFD. Due

to the subject site's triangular shape and the 20% percent slope on the property, the strict application of the additional setback requirement creates difficulty in creating usable private open space adjacent to habitable areas on the subject site. The inclusion of the third story deck will create usable open space directly accessible from the both the existing and proposed habitable areas. The third story deck will extend to the same plane as the second story below the deck and nearest to Blue Lantern. To mitigate any impacts to the massing of the structure, the required guardrail for the proposed deck incorporates a partially open, wrought iron design so as to not diminish the impact of the greater than required additional average setback on the third floor. Exhibit 1 illustrates the requested encroachment proposed.

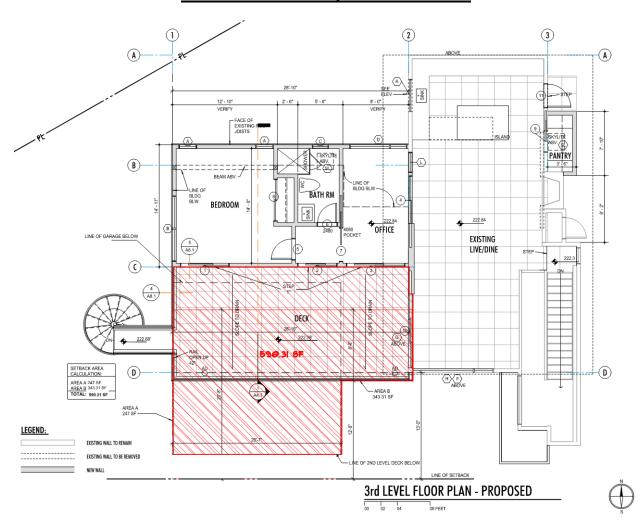


Exhibit 1: Third Story Deck & Addition

While the project is requesting an AMS, the project's design complies with the intent of Section 9.05.110(a)(4) to reduce the massing of the three-story structure. Staff has

PLANNING COMMISSION AGENDA REPORT CDP22-0005, SDP21-0013, AND AMS21-0006 MARCH 14, 2022 PAGE 9

surveyed the neighborhood (Supporting Document 4) and identified the majority of the residential development on Blue Lantern Street are three-stories with little to no setbacks for the second and third-floor living areas and/or decks; therefore, the request would not grant a special privilege.

Section 9.61.090 of the DPZC stipulates a minimum of four (4) findings to approve a Administrative Modifications of Standards:

- 1. That there are practical difficulties or unnecessary hardships created by strict application of the Zoning Code due to physical characteristics of the property; and
- 2. The administrative modification does not constitute a grant of special privileges which are not otherwise available to surrounding properties in similar conditions and will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity; and
- 3. The administrative modification places suitable conditions on the property to protect the public health, safety, and welfare and surrounding properties.
- 4. For development within the coastal zone, that the administrative modification would not result in significant adverse impacts either individually or cumulatively to coastal access/recreation opportunities or coastal resources, and the development would be consistent with the policies of the Local Coastal Program certified land use plan.

The recommended findings for approval of the AMS are outlined in the draft Resolution No. 22-03-14-XX, attached to this report as Action Document 1.

CORRESPONDENCE: To date, no correspondence has been received concerning the subject project. The property is not located within a homeowner's association.

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the Dana Point Local Coastal Program, City of Dana Point General Plan and Zoning Ordinance. Staff recommends the Planning Commission adopt the attached draft resolution, approving CDP22-0005, SDP21-0013, and AMS21-0006 subject to findings and conditions of approval.

Assistant Planner

Brenda Wisneski **Director of Community Development**

PLANNING COMMISSION AGENDA REPORT CDP22-0005, SDP21-0013, AND AMS21-0006 MARCH 14, 2022 PAGE 10

ACTION DOCUMENT:

1. Draft Planning Commission Resolution 22-03-14-XX

SUPPORTING DOCUMENTS:

- 2. Vicinity Map
- 3. Site Photos
- 4. Neighborhood Photos
- 5. Story Pole Staking Certification
- 6. Project Plans

Action Document 1: Planning Commission Resolution 22-03-14-XX

RESOLUTION NO. 22-03-14-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP22-0005 AND SITE DEVELOPMENT PERMIT SDP21-0013, TO PERMIT THE CONSTRUCTION OF A THIRD STORY ADDITION TO AN EXISTING NONCONFORMING, THREE-STORY SINGLE-FAMILY DWELLING LOCATED ON A LOT WITH A HILLSIDE CONDITION AND ADMINISTRATIVE MODIFICATIONS OF STANDARDS AMS21-0006 TO PERMIT REDUCTION IN THE SETBACK FOR A PROPOSED THIRD STORY DECK ASSOCIATED WITH THE PROPOSED ADDITION LOCATED AT 34191 BLUE LANTERN STREET

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Mike Carey ("Applicant") is the owner of real property commonly referred to as 34191 Blue Lantern Street (APN: 682-245-19) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit, and Site Development Permit for the construction of a third story addition to an existing, nonconforming, three-story single-family dwelling located on a lot with a hillside condition, and an Administrative Modification of Standards to permit a reduction in the setback for a proposed third story deck associated with the proposed addition.

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the Project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures) in that the Project proposes construction of a third story addition to an existing single family residence with an associated deck; and

WHEREAS, the Planning Commission did, on the 14th day of March, 2022, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP22-0005, Site Development Permit SDP21-0013, and Administrative Modification of Standards AMS21-0006.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

 The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP22-0005, subject to conditions:
 - 1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) in that, the design of the proposed addition and improvements comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property). The project will further General Plan Urban Design Element Goal No. 2, which states that development should "preserve the individual positive character and identity of the City's communities" in that the property is maintained as a single-family dwelling that is architecturally compatible and in scale with the developed neighborhood.
 - 2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) in that, the project is not located between the nearest public roadway and the sea or shoreline and is located outside of the appeals jurisdiction of the Coastal Overlay Zone. In addition, the property is an already developed lot, zoned for residential use, located in a community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exists nearby at City, County, and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.
 - 3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 New Construction or Conversion of Small Structures) in that the Project proposes construction of a third story addition to an existing single family residence with an associated deck.

- 4. That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources in that, the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA), and not located adjacent to any parks or recreation areas and therefore the proposed improvements would not result in adverse impacts.
- 5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that, the subject site is an already developed property located in an established area of residential uses with no natural landforms present and the proposed project will not require any grading activity while being constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.
- 6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that, the proposed project is complementary to surrounding development in terms of mass and size and the modifications to the residence are consistent with the developed neighborhood in that most of the residential development on Blue Lantern Street are three-story residential structures.
- 7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs in that, the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and the Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.
- C. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Site Development Permit 21-0013, subject to conditions:

- 1. That the site design is in compliance with the development standards of the Dana Point Zoning Code (DPZC) in that: (1) the proposed project complies with all of the applicable provisions of Section 9.05.110(a)(4) related to residential structures in a hillside condition and all other development standards of the RSF 7 zoning district, with the exception of the requested Administrative Modification of Standards (AMS); (2) the although the existing structure contains three nonconformities, the proposed structure may be expanded pursuant to Section 9.63.030(a) since the proposed expansion meets the current requirements of the DPZC, save the AMS requested as part of the proposed project.
- 2. That the site is suitable for the proposed use and development in that: (1) the subject site contains a the requisite 20 percent slope to allow a residential structure in a hillside condition to contain three stories and site is suitable to accommodate the proposed additions meeting the provisions, except the requested AMS, required for such structures as stipulated in DPZC Section 9.05.110(a)(4); (2) the site contains a previously developed single-family dwelling (SFD) that is nonconforming as to the front yard setback, height, and the required parking stall dimensions and despite these nonconformities the site is suitable for the proposed use and development of a third story addition that can be implemented while meeting the applicable DPZC requirements relative to the expansion of nonconforming structures conforming as to use stipulated in Section 9.63.030(a).
- 3. That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines in that the modern design of the project is in character and scale with the neighborhood. Section II.C Architectural Character of the City's Design Guidelines requires "Larger buildings should be designed to reduce their perceived height and bulk by segmenting their mass into smaller parts." The project achieves this design requirement of the Design Guidelines by stepping back the third floor beyond what is required per Section 9.05.110(a)(4) of the DPZC to reduce the massing of the structure as much as possible, and thus the design satisfies this finding related to both the requested SDPs for (1) residential structures in a hillside condition, and (2) the expansion of nonconforming structures conforming as to use.
- 4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style in

that the project is a contemporary design that is consistent with the mix of architectural styles in the neighborhood. The design of the project complies with the setback requirements of the Zoning Ordinance and General Plan. The additional setback for the third floor reduces the massing to improve the design of the project without impacting the privacy of the adjacent properties. The third-floor deck which encroaches into the additional setback area meets the intent of Section 9.05.110(a)(4) in that the project design reduces the massing of the structure as much as possible while still providing usable outdoor living space. Both of these design elements are appropriate for the site and structural design of the structure and proposed use by meeting the requirements for the nonconforming SFD in a hillside condition that although will match the architecture of the existing structure do not require a particular architectural style.

- D. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Administrative Modification of Standards 21-0006, subject to conditions:
 - 1. That there are practical difficulties or unnecessary hardships created by strict application of the Zoning Code due to physical characteristics of the property in that the topography and irregular shape of the site are hardships for the property because it limits the buildable area of the lot and areas thereon that can be used as prate open space. The projection of the third floor deck allows the project to create additional outdoor living area without creating additional massing.
 - 2. The administrative modification does not constitute a grant of special privileges which are not otherwise available to surrounding properties in similar conditions and will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity in that the majority of the street is comprised of three story structures which do not comply with the additional setback requirements identified in Section 9.0.110(a)(4) of the DPZC for third floor living areas or decks.
 - 3. The administrative modification places suitable conditions on the property to protect the public health, safety, and welfare and surrounding properties in that the project is conditioned to ensure the proposed deck that will be placed on top of what is now a roof will comply with all applicable Building Codes, and the required quardrail will be of an partially open design

to ensure the reduced massing intended for three-story structures pursuant to DPZC Section 9.05.110(a)(4) is achieved process.

4. For development within the coastal zone, that the administrative modification would not result in significant adverse impacts either individually or cumulatively to coastal access/recreation opportunities or coastal resources, and the development would be consistent with the policies of the Local Coastal Program certified land use plan in that the property is an already developed lot, zoned for residential use and located in a community that does not contain public access ways or areas of recreation. Moreover, adequate public access to coastal access/recreation opportunities or coastal resources exists nearby at City, County, and State beaches; therefore, the project conforms to the public access and recreation policies of the City's Local Coastal Program.

Conditions:

A. General:

- Approval of this application permits the construction of a third story addition and deck on an existing non-conforming single-family dwelling located on a hillside condition lot at 34191 Blue Lantern. Subsequent submittals for this Project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan and Zoning Code.
- Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
- The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would

have been the same for the amendment as for the approved plans, the Director may approve the amendment without requiring a new public hearing.

- Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
- 5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
- 6. The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
- The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
- 9. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
- The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
- 11. The construction site shall be posted with signage indicating that construction not commence before 7:00 A.M. and must cease by 8:00 P.M., Monday through Saturday. No construction activities shall be permitted on Sundays or Federal holidays.

- 12. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
- B. Prior to issuance of a building permit or release on certain related inspections, the applicant shall meet the following conditions:
 - The applicant shall obtain all applicable permits for the proposed improvements, including any that may be required from outside agencies.
 - 14. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
 - 15. This resolution shall be copied in its entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans submitted to the City of Dana Point Building/Safety Division for plan check.
 - 16. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
 - Prior to the commencement of any work within the public right-of-way, the applicant shall apply and be approved for an encroachment permit.
 - 18. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of this entitlement. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted. (PLNG)
 - 19. Prior to commencement of framing, the applicant shall verify, by

survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the City, from finish wall materials to property-lines included as part of these entitlements. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval. (PLNG)

- C. Prior to the issuance of a certificate of use and occupancy or during operation of the project the applicant shall meet the following:
 - 20. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, finish architecture/materials, approved through this discretionary action, and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, CA, held on this 14^{th} day of March, 2022, by the following vote, to wit:

	AYES:		
	NOES:		
	ABSENT:		
	ABSTAIN:		Eric Nelson, Chair Planning Commission
ATTEST:			
	neski, Director Development Departmer	– nt	

PLANNING COMMISSION AGENDA REPORT CDP22-0005, SDP21-0013, AND AMS21-0006 MARCH 14, 2022 PAGE 20

Supporting Document 2: Vicinity Map



Supporting Document 3:

Site Photos



14-FRONT&SIDE ELEVATION



15-STREET VIEW



Supporting Document 4: Neighborhood Photos















PLANNING COMMISSION AGENDA REPORT CDP22-0005, SDP21-0013, AND AMS21-0006 MARCH 14, 2022 PAGE 24

Supporting Document 5: Story Pole Staking Certification



March 7, 2022

Location:

34191 Blue Lantern St Dana Point, CA

To Whom It May Concern:

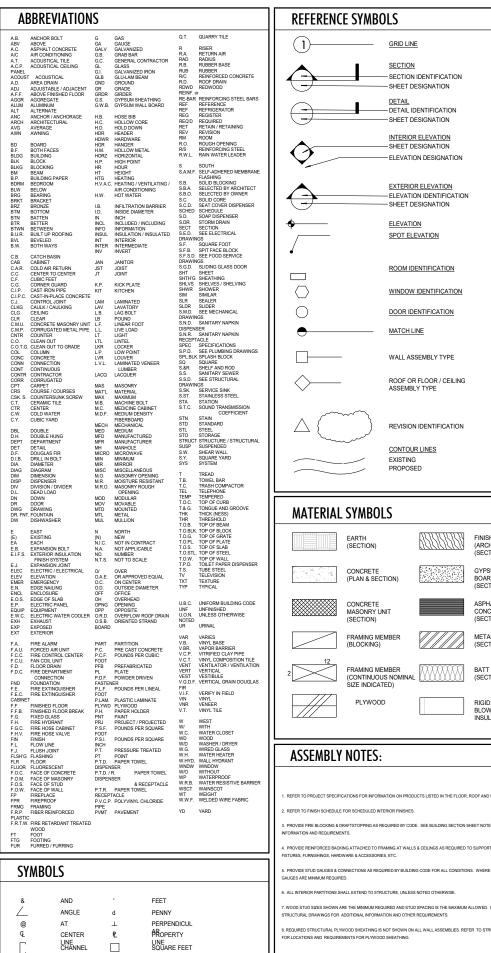
I, Charles Bonadiman, PLS 8922, hereby attest that I am a Professional Land Surveyor, licensed in the State of California and that I performed an inspection of the story poles erected at 34191 Blue Lantern St. I certify the story poles substantially conform to the plans provided by Ward Young, dated 02/17/2022, as to heights and locations as shown thereon.

ED LAND SUR

PLANNING COMMISSION AGENDA REPORT CDP22-0005, SDP21-0013, AND AMS21-0006 MARCH 14, 2022 PAGE 25

Supporting Document 6: Project Plans

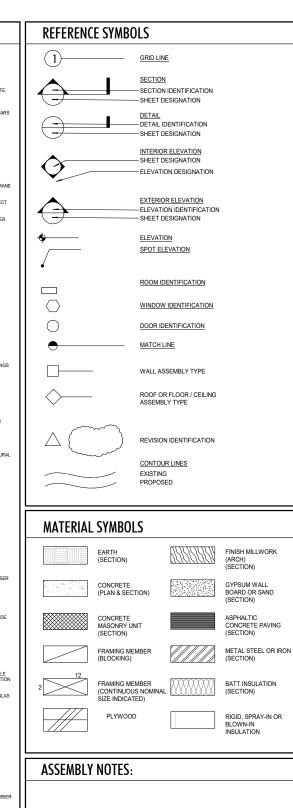
See Attachment



DIAMETER

POUND

These drawings are instruments of service and are the property of Ward-Young Architects, A California Corporation. All designs and other information on these drawings are for use on the specified project and shall not be used otherwise without the written permission of Ward-



ROOF, FLOOR & CEILING ASSEMBLIES 1"=1'-0"



A LOW SLOPE ROOF ASSEMBLY

- CLASS A LOW SLOPE ROOFING
- ROOFING UNDERLAYMENT PER MFR.& SELF- ADHERED W.P.
 MEMBRANE PER SPECIFICATIONS
 & CODE
- TAPERED RIGID INSULATION, SLOPED 1/4" / FT. (1/4" MIN
- THICKNESS) · PLYWOOD SHEATHING, S.S.D.
- RAFTERS, S.S.D.
- 4" CERTASPRAY CLOSED CELL FOAM (R-26), ESR-2669
- 8" BATT INSUL (R-25)
- 5/8" G.W.B.
- · SCHEDULED FINISH

B TERRACE ASSEMBLY

DEFERRED APPROVALS:

FIRE SPRINKLER SYSTEM

2. SKYLIGHTS

OBTAIN DEFERRED APPROVAL FROM THE AUTHORITIES HAVING JURISDICTION FOR THE FOLLOWING ITEMS PRIOR TO PROCEEDING WITH

1. FIRE SPRINKLER SYSTEM
AN AUTOMATIC FIRE SPRINKLER IS REQUIRED BY C.R.C. R313.2.
CONTRACTOR SHALL DESIGN & INSTALL SYSTEM IN ACCORDANCE WITH
C.R.C. R313.3/mPp4 313. DYSTEM SHALL INCORPORATE FREEZE
PROTECTION MEASURES CONFORMING TO ALL LOCAL AND STATE
REGULATIONS. A SEPARATE PERMIT IS REQUIRED FROM THE FIRE
DEPARTMENT FOR THE FIRE SPRINKLER SYSTEM.

- PEDESTAL PAVER SUPPORTS (2"
- CLASS A LOW SLOPE ROOFING SYSTEM
- ROOFING UNDERLAYMENT PER MFR. & SELF-ADHERED W.P. MEMBRANE PER SPECIFICATION: CODE
- TAPERED RIGID INSULATION. SLOPED 1/4"/FT (1/4" MIN. THICKNESS)
- FLOOR SHEATHING, S.S.D.
- FLOOR JOISTS, S.S.D. 4" CERTASPRAY CLOSED CELL
- FOAM (R-26) ESR-2669
- 8" BATT INSULATION (R-25)
- 5/8" G.W.B.
- SCHEDULED FINISH

WALL ASSEMBLIES

1 TYPICAL EXTERIOR WALL

- EXTERIOR SIDING SYSTEM: EATERIOR SIDING STSTEM:
 SEE ELEVATIONS FOR TYPES AND
 LOCATIONS. WOOD SIDING SYSTEM: SEE
 CRC SECTION R337 COMPLIANCE
- WATER RESISTIVE BARRIER. VERIFY COMPATIBILITY RQMNTS @ MTL SIDING
- PLYWOOD SHEATHING, S.S.D. 2x6 STUDS (OR AS NOTED) @ 16" O.C.,
- R-23 BLOW-IN INSULATION W/ INTEGRAL VAPOR RETARDER
- G.W.B. (OMIT AT CRAWLSPACE)
- 2 TYPICAL INTERIOR PARTITION



- 5/8" G.W.B.
- 2x4/2x6 STUDS @ 16" O.C., S.S.D.
- 5/8" G.W.B.



NOTE: PROVIDE INSULATION FOR SOUND DEADENING AT ALL BEDROOMS, BATHROOMS, AND

GENERAL NOTES:

- ALL WORK SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND BEST TRADE PRACTICES. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND/OR LOCAL CODES, LAWS AND ORDINANCES RULES AND REGULATIONS. REFERENCES IN THE SPECIFICATIONS TO "CODE" OR TO "BUILDING CODE" NOT OTHERWISE IDENTIFIED SHALL WEAN THE CALIFORNIA BUILDING CODE, 2013 EDITION, TOGETHER WITH ADDITIONS, AND IN EFFECT ON THE DATE OF RECEIPT OF BIDS, NOTHING IN THE DRAWINGS IS TO BE CONSTRUED AS OR PERMITTING WORK THAT IS CONTRARY TO THESE RULES, REGULATIONS, AND
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. WRITTEN DIMENSIONS ARE TO BE USED, DO NOT SCALE PLANS. ANY VARIATION DIMENSIONS ARE 10 BE USED, UN OIL SCALE PLANS, ANY VARIATIE WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IF DISCREPANC INCONSISTENCIES OR UNANTICIPATED CONDITIONS ARE ENCOUNTERED.

SHEET INDEX

A0.1	GENERAL NOTES & PROJECT INFORMATION
A0.1	EXISTING SURVEY
A1.1	SITE PLAN
A2.1	1ST & 2ND LEVEL FLOOR PLANS
A2.2	PROPOSED 3RD LEVEL FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A4.1	ROOF PLAN & SECTION
A5.1	INTERIOR ELEVATIONS
A8.1	DETAILS
MPE0.1	CALGREEN NOTES
MPE0.2	T-24 COMPLIANCE REPORT
MPE2.1	MPE PLAN
SP1	SPECIFICATIONS
STRUCTU	RAL
SN-1	STRUCTURAL NOTES & DETAILS
SN-2	STRUCTURAL NOTES & DETAILS
S1.1	FOUNDATION PLANS
S2.1	SECOND FLOOR FRAMING PLANS
S3.1	ROOF FRAMING PLANS
SD.1	STRUCTURAL DETAILS
SD.2	STRUCTURAL DETAILS

CALGREEN MANDATORY MEASURES

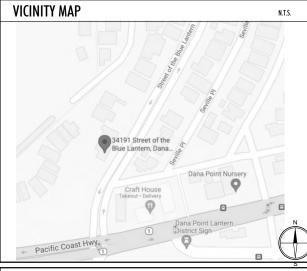
REFER TO SHEET MPEO.1 FOR THE FOLLOWING CALGREEN MANDATORY

- WATER EFFICIENCY AND CONSERVATION
- · MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
- ENVIRONMENTAL QUALITY
- INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS

LAND USE APPLICATION

1"=1'-0"

	LAND USE APPL	The second contract of the second contract of the	1
	Existing	Proposed Development	Zone Code Requireme
General Plan Designation	RESIDENTIAL 3.5-7 DU/AC	RESIDENTIAL 3.5-7 DU/AC	
Zoning	RSF 7	RSF 7	
PRD			
Specific Plan			
Lot Area (sf)	7399	7399	Line
Lot Width (ft)	183'-6"	183'-6"	
Lot depth (ft)	92'	92'	
Setback Yards			
Front (ft)	6'-11 1/2"	6'-11 1/2"	
Side (ft)	5'-0"	5'-0"	
Side (ft)	5'-0"	5'-0"	
Rear (ft)	6'-11 1/2"	6'-11 1/2"	
Gross Floor Area (sf)	1865.38	2325.38	
Floor Area Ratio	25.2%	31.14%	
Building Coverage (%)	23.59%	23.59%	
Building Height (ft)	20.5770	20.3770	
Landscaping (%)	54.68%	54.68%	
Paving (%)	1		
Parking Spaces		2	
Surrounding Land Uses			
North		RESIDENTIAL	
South		RESIDENTIAL	
East		RESIDENTIAL	
West		COMMERCIAL	



PROJECT INFORMATION

PROJECT DESCRIPTION:
PROPOSED ADDITION OF 460 SF FOR OFFICE & BEDROOM AREA IN THIRD FLOOR OF EXISTING REMODEL OF EXISTING DINING AREA IN THIRD

ADDITION OF EXTERIOR SPIRAL STAIR.

BUILDING AREA: 460 NEW SF

PROJECT LOCATION: 34191 BLUE LANTERN ST DANA POINT, CA 92629

APPLICABLE CODES: CRC 2019 CBC 2019

OWNER: MIKE & THERESA CAREY PLEASANTON, CA 94566

ARCHITECT: WARD - YOUNG ARCHITECTS 3435 MT. DIABLO BLVD. SUITE 210 LAFAYETTE, CA 94549 (530) 587-3859 CONTACT: TIM WARD EMAIL: TWARD@WYARCH.COM

STRUCTURAL ENGINEERING: R.M. VOLPE & ASSOCIATES INC. 20321 LAKE FOREST DR. SUITE D6 LAKE FOREST, CA 92630 PHONE: (949) 305 - 4700 CONTACT: BOB VOLPE EMAIL: BOB@RMVOLPE.COM

PROJECT INFORMATION

As indicated

GENERAL NOTES &

Description Date

02/17/2022

REVISION

WARD

Lafayette, CA 94549

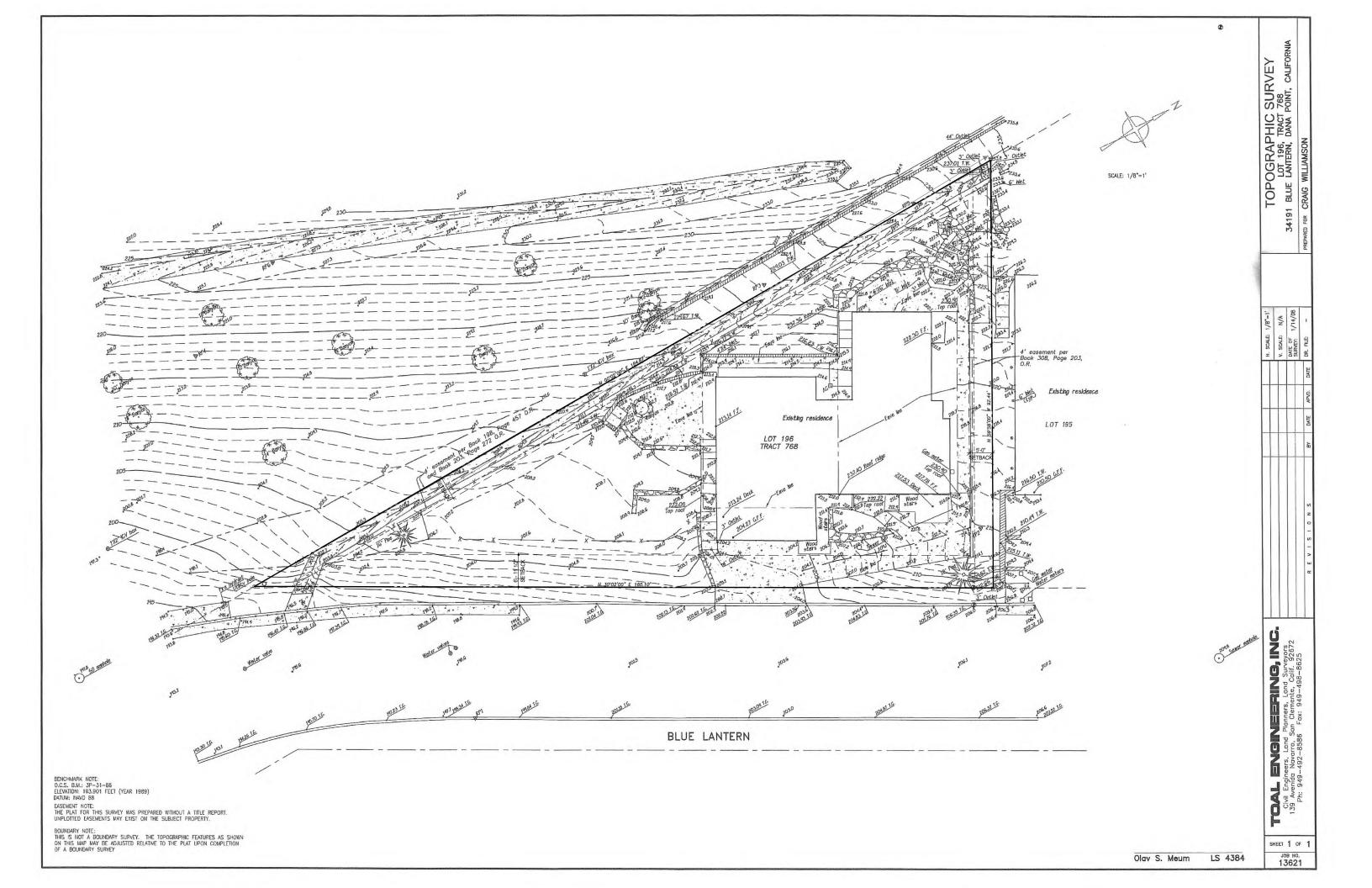
925 283-3278 voice

925 283-1663 fax www.wyarch.com

YOUNG

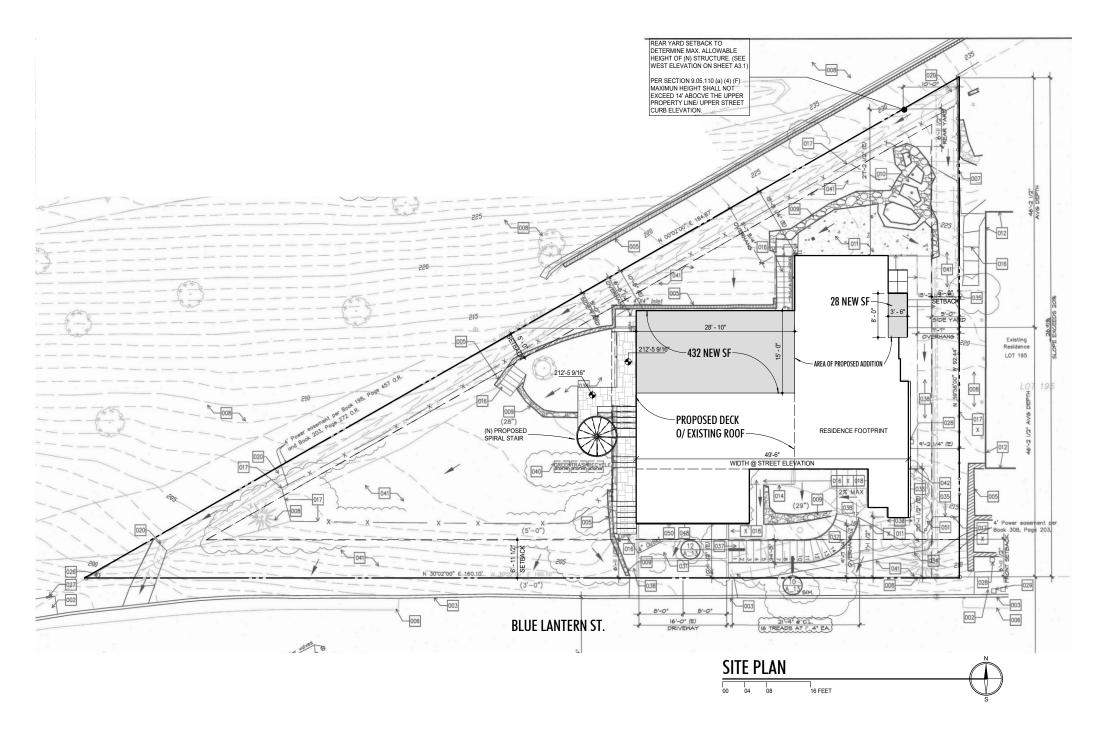
3435 Mt. Diablo Blvd., Suite 210

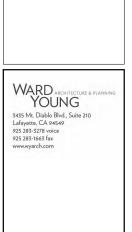
01-03-2022



LEGEND

FOUND NOTHING FOUND OR EXISTING EXISTING CONTOUR BUILDING SETBACK LINE P.U.E. M.P.E. TREE WITH DIAMETER & TYPE $\bigcirc_{20"}$ \boxtimes TREE TO BE RAINSTORE DRYWELL & SCHEDULE KEY, CONVEYANCE TRENCH VEGETATION PROTECTION FENCING EROSION CONTROL BARRIER UTILITY LINE







REVISIONS			
No.	Description		Date
	REVISION	0	2/17/202

PROJECT

SCALE PROJECT

1/8" = 1'-0"

DRAWN CHECKED

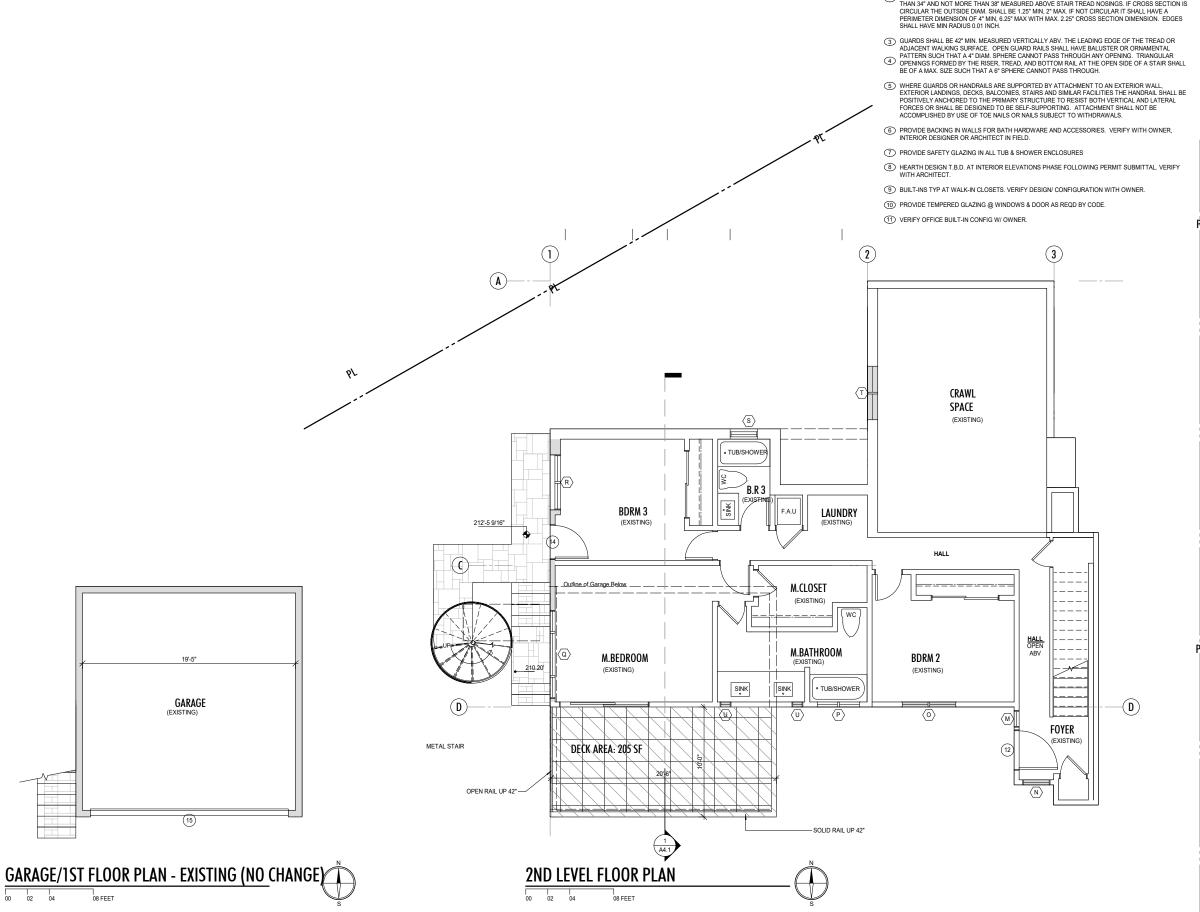
Author Checker

DATE
01-03-2022

SITE PLAN

- -

41.1



FLOOR PLAN NOTES:

UNILESS OTHERWISE NOTED: GRID AND DIMENSION LINES ARE ON FACE OF STUD. DOOR & WINDOW LOCATING DIMENSIONS ARE TO THE CENTER OF ROUGH OPENINGS. WINDOWS WITHOUT DIMENSIONS ARE LOCATED AT THE CENTER OF THE WALL OR HAVE A 1.5" RETURN AT THE CORNER, U.O.N. DOORS WITHOUT DIMENSIONS ARE LOCATED AT THE CENTER OF THE WALL OR HAVE A 1.5" RETURN AT THE CORNER, U.O.N.

RETURN AT THE CORNER, U.O.N..

(2) HANDRAIL SLOPE SHALL BE UNIFORM & CONTINUOUS THE FULL LENGTH OF THE STAIR, NOT LESS THAN 34" AND NOT MORE THAN 36" MEASURED ABOVE STAIR TREAD NOSINGS. IF CROSS SECTION IS CIRCULAR THE OUTSIDE DIAM. SHALL BE 1.25" MIN, 2" MAX. IF NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF 4" MIN, 6.25" MAX WITH MAX. 2.25" CROSS SECTION DIMENSION. EDGES SHALL HAVE MIN RADIUS 0.01 INCH.

WARD

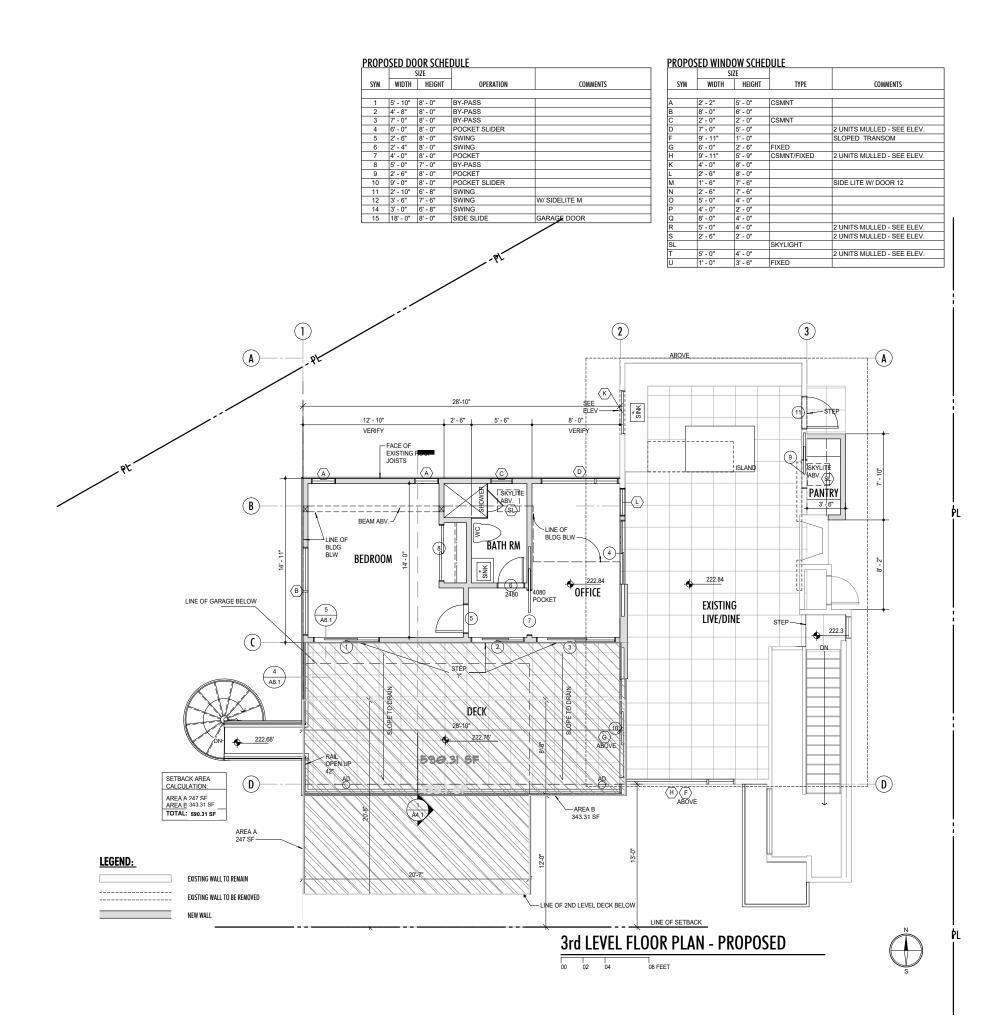
925 283-1663 fax www.wyarch.com

YOUNG 3435 Mt. Diablo Blvd., Suite 210 Lafayette, CA 94549 925 283-3278 voice

No. Description Date REVISION 02/17/2022

1/4" = 1'-0' CV 01-03-2022

1ST & 2ND LEVEL FLOOR PLANS





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No.	Description		Date
	REVISION	0	2/17/2022

PROJECT

SCALE PROJECT

1/4" = 1'-0"

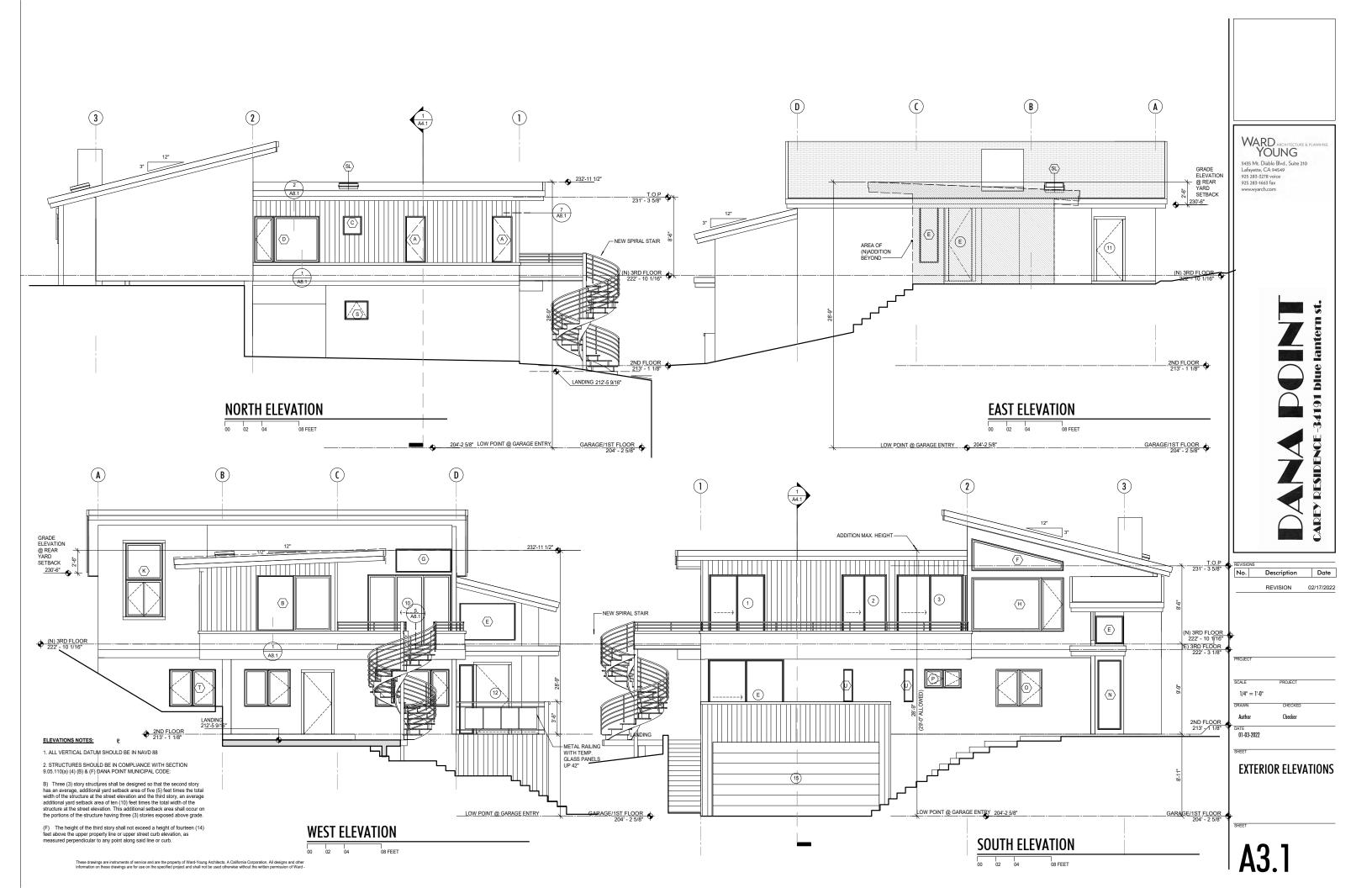
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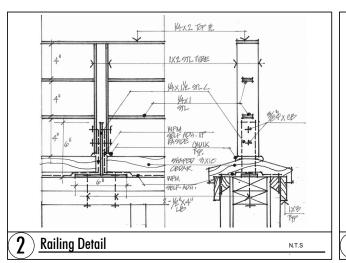
CV TW

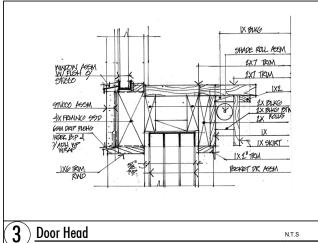
DATE
01-03-2022

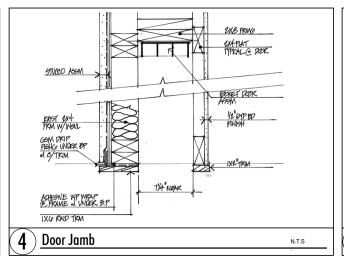
PROPOSED 3RD LEVEL FLOOR PLAN

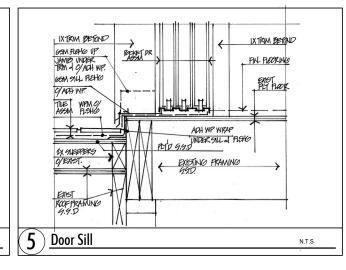
A2.2

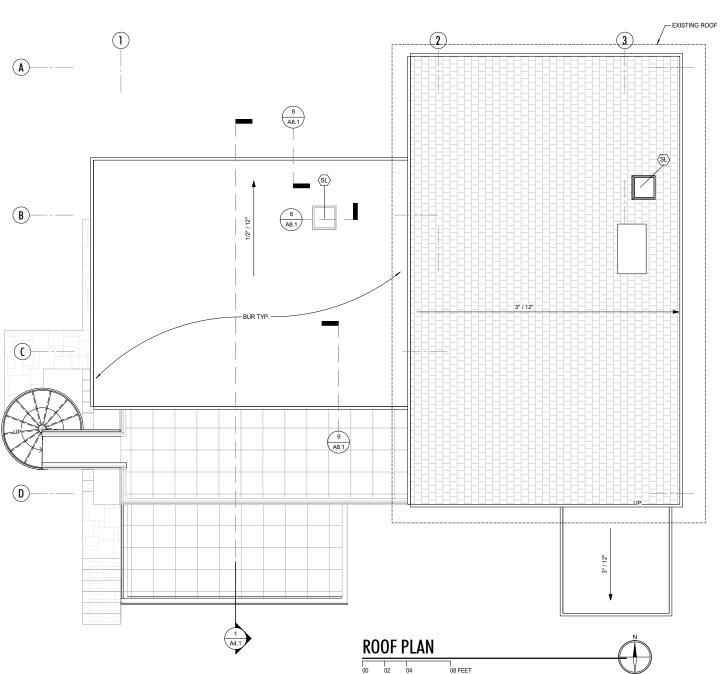


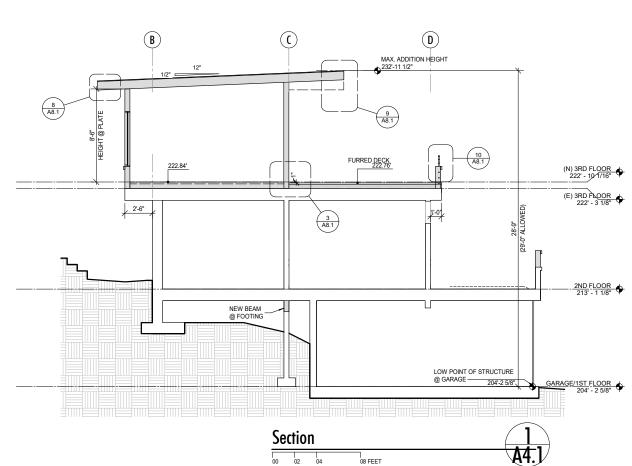














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	Description REVISION	

PROJECT

SCALE PROJECT

As indicated

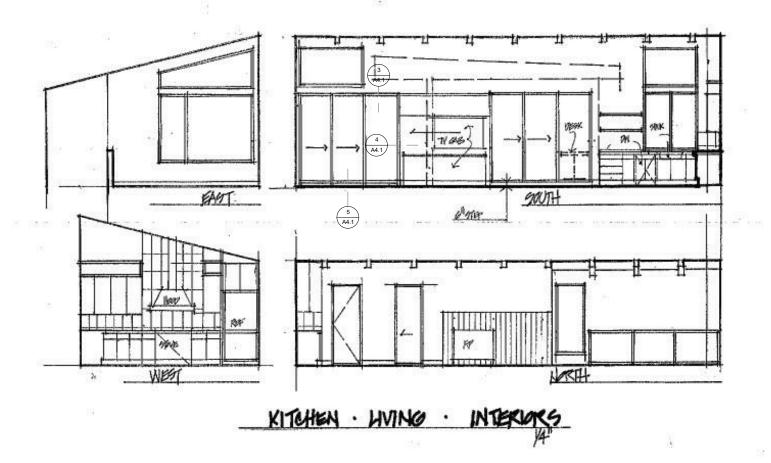
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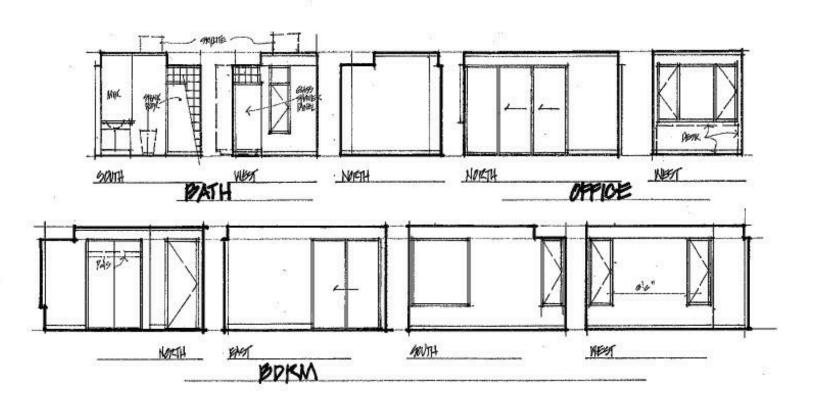
Author Checker

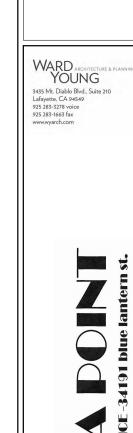
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01-03-2022

ROOF PLAN & SECTION

Λ*1* 1







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No.	Description	Date
	REVISION	02/17/2022

PROJECT

SCALE PROJECT

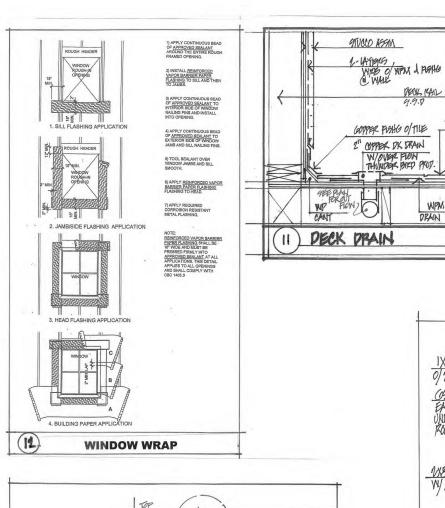
1/4* = 1'-0"

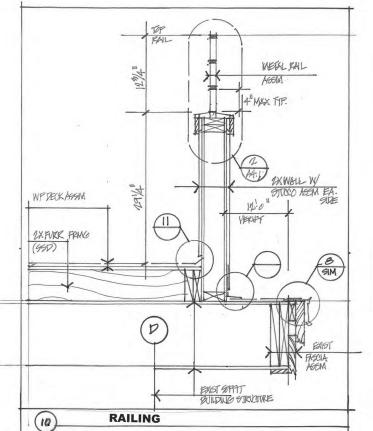
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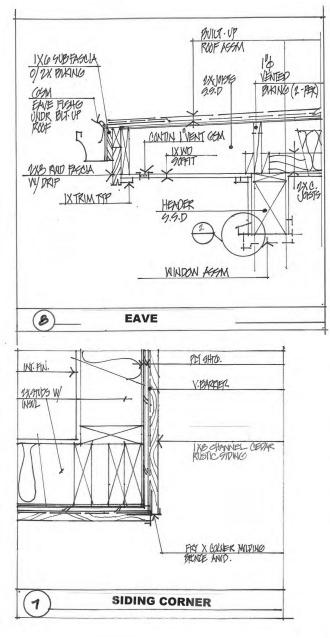
DATE 01-03-2022

INTERIOR ELEVATIONS

A5.1







(0)

(9)

PROK MAIL FRANKO 9.9.0

WPM 01

DRAIN FIGHE

THE OX

BUX.

ASSIM

PLY9HTG al ROOF JOIST

WY DRIFE

2×4@16

(990)

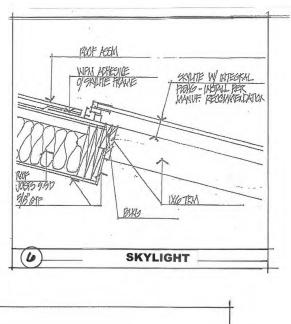
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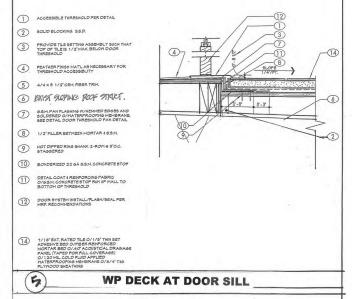
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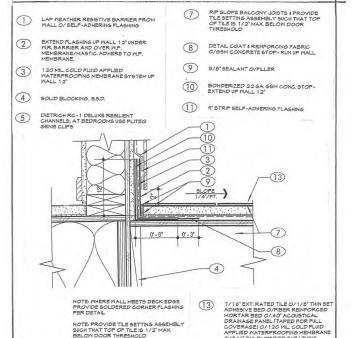
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CHRRYWAM O/GOM

HISTO MIN G

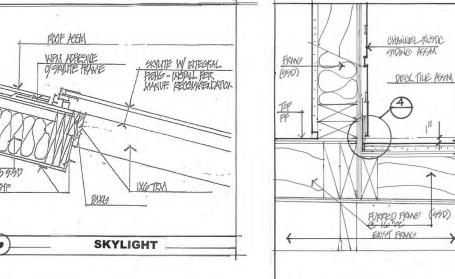




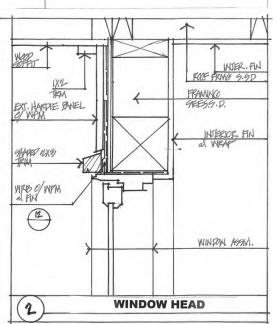


WP DECK ASSEMBLY

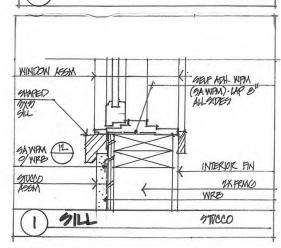
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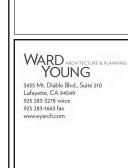


(3)



WP DECK AT WALL







	REVISION	02/17/202
PROJECT		
FROSECT		
SCALE	PROJECT	
1/4" = 1'-0		
DRAWN	CHECKED	

DETAILS

Author

01-03-2022

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES

GENERAL: REFER TO CALIFORNIA GREEN BUILDING STANDARDS CODE FOR SPECIFIC REQUIREMENTS AND ADDITIONAL INFORMATION FOR THE FOLLOWING MANDATORY MEASURES.

DIV 4.1 PLANNING & DESIGN

SITE DEVELOPMENT - 4.106

A PLAN IS DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION 4.106.2 A PLAN IS DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTROLTION A.106.3 CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A STORM DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING THE BUILDINGS.
4.106.4 PROVIDE ELECTRIC VEHICLE CHARGING STATION TO FACILITATE FUTURE INSTALLATION & USE OF EV

CHARGERS. INSTALL A LISTED RACEWAY TO ACCOMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT

DIV 4.2 ENERGY EFFICIENCY

GENERAL - 4.201: 4.201.1 LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY

DIV 4.3 WATER EFFICIENCY AND CONSERVATION

INDOOR WATER USE - 4.303:

4.303.1 PLUMBING FIXTURES (WATER CLOSETS & URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

COMPLY WITH THE FOLLOWING:

4.303.1.1 THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.

TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE

SPECIFICATION FOR TANK-TYPE TOILETS.

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH

VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.
4.303.1.2 THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED .125 GALLONS PER FLUSH FOR WALL MOUNTED URINALS AND 0.5 GALLONS PER FLUSH FOR FLOOR MOUNTED URINALS. 4.303.1.3.1 SINGLE SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAT 1.8 GALLONS PER MINUTE

AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS SPECIFICATION FOR SHOWERHEAUS.

4.303.1.3.2 WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GAL PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

4.303.1.4.1 THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4 303 1 4 2 THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS JTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE

4.303.1.4.3 METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.2

4.303.1.4.4 THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI. AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE

4.303.2 PLUMBING FIXTURES & FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CPC, AND SHALL MEET THE

OUTDOOR WATER USE - 4.304
4.304.1 OUTDOOR WATER USE FOR RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO
OR GREATER THAN 500 SF SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT; OR 2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION

DIV 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

ENHANCED DURABILITY AND REDUCED MAINTENANCE - 4.406

4406.1 ANNULAR SPACES AROUND PIPES ELECTRIC CABLES CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SLICH OPENINGS. WITH CEMENT MORTAR CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY

CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING - 4.408
4.408.1 RECYCLE ANDIOR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING: SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN PER SECTION 4.408.2, UTILIZE A WASTE MANAGEMENT COMPANY PER SECTION 4.408.3, COMPLY WITH A WASTE STREAM REDUCTION ALTERNATIVE PER SECTION 4.408.4. OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT. SEE SECTION 4.408.1 FOR EXCEPTIONS.

BUILDING MAINTENANCE AND OPERATION - 4.410 4.410.1 AT TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER, AND SHALL BE PLACED IN THE BUILDING. SEE CODE SECTION FOR INFO REQUIRED TO

DIV 4.5 - ENVIRONMENTAL QUALITY

FIREPLACES - 4.503

4 503 1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH US EPA NSPS EMISSIONS LIMITS WHERE APPLICABLE AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOOD STOVES, PELLET STOVES

4.504.1 USE COMPOSITE WOOD PRODUCTS MADE WITH EITHER CALIFORNIA AIR RESOURCES BOARD APPROVED NO ADDED FORMALDEHYDE (NAF) RESINS OR ULTRA-LOW EMITTING FORMALDEHYDE (ULEF) RESINS 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS

4.504.2.2 PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
4.504.2.3 AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND

4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN

4.504.3 CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. 4.594.4 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED (P3) ACCORDANCE WITH ACCA 4QM. IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE. OR

SHALL BE CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM), OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM; OR MEET CALIFORNIA DEPT. OF PUBLIC HEALTH. "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CALIFORNIA DEPT. OF PUBLIC REAL IT, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE VORGANI CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS", VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).

4.504.5 HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS

USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION

4.504.5.1 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT FORMALDEHYDE LIMITS FOR COMPOSITE WOOD PRODUCTS HAVE BEEN USED.

INTERIOR MOISTURE CONTROL - 4,565
4,595.2 A VAPOR RETARDER AND CAPILLARY BREAK SHALL BE INSTALLED AT SLAB ON GRADE FOUNDATIONS.
4,595.3 VERTY MAZAMUM MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS NOT

INDOOR AIR QUALITY AND EXHAUST - 4.506

4.506.1 EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING

I. FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL THAT SHALL BE CAPABLE OF ADJUSTMENT SETYLER A RELATIVE HUMIDITY RANGE OF \$ 50 % TO A MAXIMUM OF 80%. A HUMIDITY CONTROL THAT SHALL BE CAPABLE OF ADJUSTMENT SETYLER A RELATIVE HUMIDITY RANGE OF \$ 50 % TO A MAXIMUM OF 80%. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL. (I.E. BUILT-

ENVIRONMENTAL COMFORT - 4.507

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4.507.2 HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED ISING THE FOLLOWING METHODS:

SING THE FULLOWING METHODS.

THE HEAT LOSS AND HEAT GAIN SHALL BE ESTABLISHED ACCORDING TO ANSI/ACCA2 MANUAL J-2016 OR EQUIVALENT; THE HEAT LOSS AND HEAT GAIN STALLE BE STALLED ADDITIONAL STATE OF METHODS.

PRIRE HANDBOOKS; OR OTHER EQUIV. DESIGN SOFTWARE OR METHODS.

DUCT SYSTEMS SHALL BE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2016 OR EQUIVALENT; ASHRAE HANDBOOK R OTHER EQUIVALENT DESIGN METHODS.

3. HEATING AND COOLING EQUIPMENT SHALL BE SELECTED ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT: OR OTHER EQUIV. DESIGN SOFTWARE OR METHODS

MECHANICAL. PLUMBING & ELECTRICAL NOTES

(G1) THE CONTRACTOR SHALL DESIGN & PROVIDE HEATING, COOLING, VENTILATION, PLUMBING, FIRE SUPPRESSION, AND ELECTRICAL SYSTEMA SINDICATED. REFER TO SPECIFICATIONS AND MPAE PLANS. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE ANDIOR LOCAL CODES, LAWS, ORDINANCES, ROLLEAND AND REGULATIONS INCLUDING BUT NOT LUITED TO THE REQUIREMENTS CONTAINED IN THE NOTES BELOW. COMPLY W/ THE REQUIREMENTS OF CALIF, TITLE 24, ENERGY CALICULATIONS AND MANDATORY MEASURES

© ELECTRICAL/MECHANICAL/PLUMBING LAYOUT IS SCHEMATIC. REFER TO SPECIFICATIONS FOR PRODUCT SUBMITTAL DATA AND SHOP DRAWING REQUIREMENTS. VERIFY ALL LAYOUTS IN FIELD W/OWNER & ARCHITECT. CONTRACTOR SHALL SCHEDULE A WALK-THROUGH WHEN THE STRUCTURE IS SUBSTANTIALLY FRAMED. NOTIFY

DO NOT SOFFIT FOR FLECT/MECH/PLUMB SYSTEMS UNLESS SPECIFICALLY NOTED ON PLANS. IF ADDITIONAL SOFFITS ARE REQUIRED. REVIEW WITH ARCHITECT IN ADVANCE FOR APPI

PROVIDE ACCESS AND WORKING SPACE CLEARANCES FOR SERVICE, INSPECTION AND REPLACEMENT OF APPLIANCES AND EQUIPMENT AS REQUIRED BY CODE AND MFR.

FID FIRE SPRINKLER SYSTEM

PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH ALL STATE AND LOCAL REGULATIONS. SEE SHEET A0.1 FOR DEFERRED APPROVAL REQUIREMENTS AND SPECIFICATIONS FOR SPRINKLER SYSTEM

MECHANICAL

HVAC SYSTEMS SHALL BE SIZED, DESIGNED AND EQUIPMENT SELECTED USING THE METHODS OUTLINED IN CALGREEN RESIDENTIAL MANDATORY MEASURES, SEC 4.507 - ENVIRONMENTAL COMFORT. (M2)

(M3) PROVIDE COMBUSTION AIR TO MECHANICAL ROOMS & EQUIPMENT AS REQUIRED BY CODE & EQUIPMENT MFR.

SMOOTH INTERFER EXPANSIST DUCTS SPARLE COMPTET WITH COME SECTIONS 3014, A HIDS SPARLE BE OF PINISTEM METALS. WITH SMOOTH INTERFOR SURFACES AND SHALL NOT BE ASSEMBLED WITH SCREWS OR OTHER FASTENING MEANS THAT EXTEND INTO THE DUCT THAT WOULD CATCH LINT. CLOTHES DRYGE EXHAUST DUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CLOTHES DRYGE MANUFACTURER'S INSTALLATION INSTRUCTIONS. LISTED CLOTHES DRYGE TRANSITION DUCTS NOT MORE THAT 6 FEET IN LENGTH SHALL BE PERMITTED TO BE USED IN CONNECTION WITH DOMESTIC DRYER EXHAUSTS. FLEXIBLE CLOTHES DRYER TRANSITION DUCTS SHALL NOT BE CONCEALED WITHIN CONSTRUCTION UNLESS PROVIDED WITH AN ENGINEERED SYSTEM OR OTHERWISE

CLOTHES DRYFR EXHAUST DUCTS SHALL COMPLY WITH CMC SECTION 504.4 AND SHALL BE OF RIGID METAL WITH

CONCEALED WITHIN CONSTRUCTION UNLESS PROVIDED WITH AN ENGINEERED 3 3 1 EM OF OTHERWISE.

PERMITTED OR REQUIRED BY THE DRYER MANUFACTURER'S INSTRUCTIONS AND APPROVED BY THE AUTHORITY HAVING JURISDICTION, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED. HORIZONTAL AND VERTICAL LENGTH OF 14 ET INCLUDING (2) 90 DEGREE FLROWS. A LENGTH OF TWO ET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. CLOTHES DRYER SHALL VENT TO OUTSID AND BE EQUIPPED WITH A BACK-DRAFT DAMPER.

FERMINATE HORIZONTAL OR SIDE WALL MECHANICAL DRAFT VENTING SYSTEMS NOT LESS THAN 4' BELOW OR 4 HORIZONTALLY FROM, AND NOT LESS THAN 1' ABOVE A DOOR, AN OPERABLE WINDOW OR A GRAVITY AIR INLET INTO A BUILDING PER CMC 802.8.1 (SEE CMC SECTION 802.8.2 FOR VENT TERMINALS OF DIRECT VENT APPLIANCES.) DIRECT VENT APPLIANCES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. THE VENT HEIGHT SHALL BE ABOVE THE ANTICIPATED SNOW DEPTH.

PROVIDE MECHANICAL WHOLE BUILDING VENTILATION IN ACCORDANCE WITH SECTION 4 OF ASHRAE STANDARD
82.2. A LOCAL EXHAUST FAN CAN BE USE TO MEET THIS REQUIREMENT. LOCAL FAN MUST OPERATE AT 1 SONE
OR LESS AT .25 IN. W.C. AND MUST VENT DIRECTLY TO THE OUTSIDE. CHAPTER 4 OF THE RESIDENTIAL
COMPLIANCE MANUAL. AIRFLOW SHALL BE CONFIRMED THROUGH FIELD VERIFICATION AND DIAGNOSTIC

M9 TESTING EXHAUST VENTS SHALL BE PROVIDED W/ BACK-DRAFT DAMPERS.

Ø110 WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS THAT CLOSE WHEN FAN IS OFF COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2.

M1) BATHROOM EXHAUST FANS SHALL BE RATED AT 50 CFM MIN AND 1 SONE MAX.

EXHAUST FANS FOR BATHROOMS THAT CONTAIN A SHOWER. TUB. OR TUB/SHOWER SHALL COMPLY WITH THE (12) REQUIREMENTS INCLUDED IN CALGREEN RESIDENTIAL MANDATORY MEASURES, SECTION 4.506, INDOOR AIR QUALITY AND EXHAUST

CONTRACTOR SHALL PROVIDE MECHANICAL SYSTEMS MANUAL WHICH SHALL INCLUDE: EXPLANATION OF BASIC VENTILATION SYSTEM CONCEPT AND EXPECTED PERFORMANCE, INSTALLATION MANUALS FOR ALL EQUIPMENT, SYSTEM OPERATION INSTRUCTIONS, AND SYSTEM AND EQUIPMENT MAINTENANCE REQUIREMENTS.

HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AS REQUIRED BY CALGREEN RESIDENTIAL MANDATORY MEASURES SECT. 702

WHEN PROVIDED, RADIANT IN-FLOOR HYDRONIC HEATING SYSTEM SHALL BE INSTALLED PER CMC CHAPTER 12

GAS LITH IZATION APPLIANCES IN GARAGES AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE AND ARE NOT GAS UI ILLZA ITON APPLIANCES IN GARAGES AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE AND ARE NO PART OF THE LIVING SPACE OF A DWELLING UNIT SHALL BE INSTALLED SO THAT BURNERS AND BURNER (GNITION DEVICES ARE LOCATED NOT LESS THAN 18 INCHES ABOVE THE FLOOR UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT - NFPA 54:9.10.1. APPLIANCES INSTALLED IN GARAGES, WAREHOUSES, OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE SHALL BE GUARDED AGAINST SUCH DAMAGE BY BEING INSTALLED BEHIND PROTECTIVE BARRIERS OR BY BEING ELEVATED OR LOCATED OUT OF THE NORMAL PATH OF VEHICLES (CMC 305.1).

PROVIDE OPENINGS TO CONNECT INDOOR SPACES FOR COMBUSTION AIR WHERE REQUIRED. EACH OPENING PROVIDE OPENINGS I D CONNECT INDOOR SPACES FOR COMBIGS HOW AIR WHERE REQUIRED. EACH OPENING SHALL HAVE A FREE AREA OF NOT LESS THAN 1 SO. IN. PER 1,000 BTUIN OF THE TOTAL INPUT RATING OF APPLIANCES IN THE SPACE, BUT NOT LESS THAN 100 SQ. IN. ONE OPENING SHALL COMMENCE WITHIN 12 INCHES OF THE TOP, AND ONE OPENING SHALL COMMENCE WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE. THE DIMENSIONS OF AIR OPENINGS SHALL NOT BE LESS THAN 3 INCHES. CMC 701.5

GAS VENTS OVER 12" IN DIAMETER OR WITHIN 8 FEET OF A VERTICAL WALL SHALL TERMINATE NOT LESS THAN 3 P
FEET ABOVE THE HIGHEST POINT WHERE THEY SHALL NOT PASS THROUGH THE ROOF AND A LEAST 2 FEET
HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET. GAS VENTS SMALLER THAN 12" IN DIAMETER A
MORE THAN 8 FEET AWAY FROM A VERTICAL WALL MAY TERMINATE A MINIMUM 1 FOOT ABOVE THE ROOF UP

RESIDENTIAL HVAC SYSTEMS BOTH EXISTING AND NEW, AND PARTS THEREOF SHALL BE INSPECTED IN

ALL PLUMBING FIXTURES ARE TO BE SELECTED BY OWNER. REFER TO SPECIFICATIONS FOR MORE INFORMATION. FIXTURES SHALL BE COMPLIANT WITH ALL STATE AND LOCAL CODES AND REGULATIONS.

MAXIMUM FLOW RATES OF FIXTURES AND FITTINGS: SEE CALGREEN RESIDENTIAL MANDATORY MEASURES, SHEET MPE 0.1/DIV 4.3, WATER EFFICIENCY AND CONSERVATION

ALL WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A MIN. 36" OF EARTH COVERING, WHEN STRUCTURAL CONDITIONS NECESSITATE INSTALLATION OF WATER PIPING IN EXTERIOR WALLS OR ABOVE

CEILINGS, THE PIPES SHALL BE INSTALLED TO THE INSIDE FACE OF FRAMING AND INSULATED ON THE UNHEATED SIDE OF THE PIPES WITH INSULATION EQUIVALENT TO THE R VALUE REQUIRED FOR THE WALL OR CEILING. PLUMB SINKS ON EXTERIOR WALLS FROM FLOOR BELOW. WATER PIPING SHALL NOT BE INSTALLED OR CONCEALED IN UNHEATED WALLS, CEILINGS AND ATTICS.

THE WATER SUPPLY SYSTEM, INCLUDING HOT AND COLD, SHALL BE DESIGNED AND INSTALLED FOR WINTERIZATION AND FREEZE PROTECTION, SUCH AS ALLOWING FOR ROUTINE DRAINAGE OF THE SYSTEM TO PREVENT FREEZING. THE WATER SUPPLY SHALL BE EQUIPPED WITH A READILY ACCESSIBLE SHUT OFF VALVE. VALVE(S) AND/OR DRAIN PORT(S) WHEN USED SHALL BE READILY ACCESSIBLE, INSULATED FOR PROTECTION FROM FREEZING, AND SHALL BE PROTECTED FROM THE POTENTIAL FOR BACKFLOW.

SECURE ALL EQUIPMENT PER CMC 303.4 & CPC SECTION 507.2. ANCHOR STRAPS FOR WATER HEATER/STORAGE

PLUMBING CONT.

P11

€16

(P9) PROVIDE A PRESSURE RELIEF FOR STORAGE WATER HEATERS PER CPC SEC. 608.3.

PROVIDE HOT WATER RECIRCULATING SYSTEM W/ ALL SECTIONS OF PIPE INSULATED FOR ENTIRE LENGTH. USE 1* THICK, R-4 INSULATION FOR PIPES 2* DIA AND LESS, AND 1-1/2* THICK INSULATION OF PIPES GREAT THAN 2" DIA.

ALL HOT WATER PIPES TO KITCHEN SHALL BE INSULATED FROM HEATING SOURCE TO FIXTURE WITH 1 $^{\rm H}$ THICK, R-4 INSULATION FOR PIPES 2 $^{\rm H}$ DIA AND LESS, AND 1-1/2 $^{\rm H}$ THICK INSULATION FOR PIPES GREATER

SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES. OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, HANDLE POSITION STOP SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURER'S SHALL BE PROVIDED ON SOUCH VALVES AND SHALL BE AUDUST LE PIER WANDAL UTBERS INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120°F. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120°F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THESE PROVISIONS. THE DEVICE(S) USED SHALL BE ASSE 1016 COMPLIANT AND SHALL BE INSTALLED AT ALL APPLICABLE FIXTURES.

ELECTRICAL

(2) INTERIOR LIGHTING: PERMANENTLY INSTALLED LUMINAIRES PROVIDING INDOOR LIGHTING SHALL INSTALLOR LIGHT INVESTIGATIONS OF CEC 150.0(k). ALL INSTALLED LUMINAIRES PROVIDING INDOOR LIGHTING SHALL COMPLY WITH ALL PROVISIONS OF CEC 150.0(k). ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILINGS ARE REQUIRED TO BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT ("IC-RATED") SO THAT INSULATION CAN BE PLACED OVER THEM, HAVE A LABEL CERTIFYING THAT THE LUMINAIRE IS AIRTIGHT WITH AN AIR LEAKAGE LESS THAN 2.0 CEM AT 75 PASCALS. BE SEALED WITH A GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AN CFIN AT 19 ASSAUS, BE SEALED WITH A GASHET TO A CAULTA BETWEEN LOWING THE COURT OF THE CELLING, ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CELLING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CELLING, SHALL NOT CONTAIN SCREW ASSES DOCKETS, SHALL CONTAIN LIGHT COMPLY WITH REFERENCES JOINT APPENDIX JA8, AND ARE MARKED "JA8-2019-E" (CENC 150.0(k)1/C). **E**3

OUTDOOR LIGHTING: LUMINAIRES PROVIDING OUTDOOR LIGHTING SHALL BE HIGH EFFICACY LUMINAIRES IN ACCORDANCE WITH TABLE 150.0-A. LUMINAIRES SHALL BE CONTROLLED BY A MANUAL © ON/OFF SWITCH THAT PERMITS THE AUTOMATIC ACTIONS OF THE FOLLOWING ITEMS, A MOTION SENSOR NOT HAVING AN OVERRIDE OR BYPASS SWITCH, AND FITHER A PHOTOCONTROL, AN ASTRONOMICAL TIME OR AN ENERGY MANAGEMENT CONTROL SYSTEM AND COMPLY WITH CENC. (E5)

ALL ELECTRICAL FIXTURES ARE TO BE SELECTED BY OWNER. REFER TO SPECIFICATIONS FOR MORE INFO. USE SLOPED RECESSED CANS IN ALL SLOPED CEILINGS.

E7 DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8. EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SF. OR HALLWAYS. (E8)

EXHAUST FANS SHALL BE SWITCHED SEPERATELY FROM LIGHTING.

(E9) LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF

€10 NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR WHERE INSTALLED TO COMPLY WITH **€10**

AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER OR VACANCY SENSOR REQUIREMENTS IF COMPLIANT WITH CENC 150(k)2/0 €12) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.

€1 ALL UNDER-CABINET LIGHTING SHALL USE HIGH-EFFICACY LUMINAIRES & SHALL BE SWITCHED SEPARATELY FROM OTHER LUMINAIRES (CENC 150 0(k)2/K)

 $\ensuremath{ \textcircled{\scriptsize 13}}$ SURFACE MOUNTED FIXTURES IN CLOSETS SHALL MEET THE TYPE & LOCATION REQUIREMENTS OF

CONTRACTOR SHALL VERIFY POWER REQUIREMENTS FOR MECHANICAL & PLUMBING EQUIPMENT. CONTRACTOR SHALL VERIFY OWNER REQUIREMENTS FOR AUDIO/VIDEO. TV/SATELLITE. COMPUTER.

TELEPHONE, & SECURITY SYSTEMS. INSTALL STRUCTURED WIRING SYSTEM TO MEET

 $\ensuremath{ \textcircled{\scriptsize 10}}$ Provide Min code required working area at electrical panels per cec article 110.26.

ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS. OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER(S), COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH **€**19 CIRCUIT, OR ANY OTHER MEANS DESCRIBED IN CEC SECTION 210.12.(A)1-6. ALSO SEE ALLOWABLE

SNOW AND ICE MELT HEATING ELEMENTS CANNOT EXCEED 30 VOLTS. IF G.F.C.I. IS PROVIDED VOLTAGE MAY EXCEED 30V BUT NOT MORE THAN 80V, CEC 426.34.

PROVIDE RECEPTACLE OUTLETS SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAT 6'. MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, AND AS SHOWN ON PLANS, PER CEC SECTION 210-52(A)(1). RECEPTACLES SHALL BE LISTED TAMPER RESISTANT, PER CEC SECTION 406.12.

€21 RECEPTACLE OUTLIETS TO SERVE COUNTER TOP SURFACES IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS, AND SIMILAR AREAS OF DWELLING UNITS SHALL BE INSTALLED IN REACH WALL WITH A 12" OR WIDER COUNTER SO THAT NO POINT IS GREATER THAN 24" FROM EACH RECEPTACLE (48" SPACING) EXCEPT DIRECTLY BEHIND KITCHEN SINK, RANGE, OR COUNTER-MOUNTED COOKING UNIT, PER CEC SECTION 210.52(C) €23

PROVIDE G.E.C.I. PROTECTION FOR RECEPTACLES LOCATED AT ALL BATHROOMS: GARAGES (INCLUDING GARAGE DOOR OPENERS); OUTDOORS; KITCHENS WHERE SERVING THE COUNTERTOP

SURFACES; WITHIN 6' OF THE EDGE OF A SINK, BATHTUB, OR SHOWER STALL; LAUNDRY AREAS; ON

CONSTRUCTION POWER POLE; IN CRAWL SPACES; IN UNFINISHED BASEMENTS AND GRADE LEVEL

PORTIONS OF UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS; AND AS SHOWN ON PLANS, PER CEC SECTION 210.8.

PROVIDE AT LEAST TWO 20 AMPERE CIRCUITS FOR COUNTERTOP RECEPTACLES IN KITCHEN. ONE OF THESE CIRCUITS MAY BE COMBINED WITH OUTLETS IN THE KITCHEN, PANTRY, BREAKFAST ROOM OR DINING ROOM PER CEC SECTION 210.52(B) & CEC 210.11.(C).(1).

PROVIDE AT LEAST ONE 20 AMPERE CIRCUIT FOR THE LAUNDRY ROOM PER CEC SECTION 210.52(F).

PROVIDE A DEDICATED 120V 20 AMPERE CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. CEC 210-11(C)(3). €26

SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND EMIT A SIGNAL WHEN THE BATTERY IS LOW. WIRING FOR BE EQUIPPED WITH A BAT LERY BACKUP AND EMIT A SIGNAL WHEN THE BAT LERY IS LOW. WIKING FOR SMOKE & CARBON MONOXIDE (CO) ALARMS SHALL BE PERMANENT AND WITHOUT A DISCONNECTION SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION, I.E. SMOKE DETECTORS SHALL NOT BE INTERCONNECTED WITH ALARMS SYSTEM. SMOKE AND CARBON MONOXIDE (CO) ALARMS SHALL BE INTERCONNECTED SO THAT ALL ALARMS SHALL BE ACTIVATED SIMULTANEOUSLY. CARBON MONOXIDE (CO) ALARMS SHALL COMPLY WITH REQUIREMENTS OF CRC 314 & CRC R315.3. €28)

€29 AN INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES PROVISIONS FOR CONNECTING AT LEAST THREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATIONS SYSTEMS SHALL BE INSTALLED EXTERNALLY AT THE SERVICE ENTRANCE PANEL AS SPECIFIED IN CEC 800,100(B) AND

(3) ALL 125-VOLT, 15 AND 20 AMP RECEPTACLES IN THE DWELLING SHALL BE LISTED AS TAMPER-

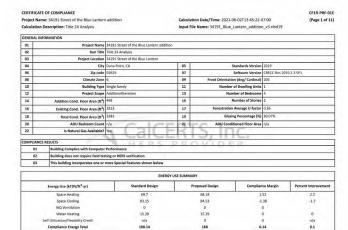
WARD YOUNG 3435 Mt. Diablo Blvd., Suite 210 Lafayette, CA 94549 925 283-3278 voice 925 283-1663 fax



No. Description Date REVISION 02/17/2022

1/4" = 1'-0' 01-03-2022

CALGREEN NOTES



	the features that must be field-way tables below. Registered CF2Rs				gy performance for this com	puter analysis. Additiona
Building-level Verifications: - None - Cooling System Verifications: - None - None - None - None - None - None - None - None - None - None - None - Building System Verifications: - None - None - Building System Ver - None - Building System Ver - None - Building System Ver - None - Building System Ver - None - Building System Ver - None - Building System Ver - None - Building System Ver Building System Ver Building System Ver - None - Building System Ver Building System Ver	erifications:	CalC	ERTS	S, Inc		
01	02	11 los P 5	04	05	06	07
					Number of Ventilation	Number of Water
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Cooling Systems	Heating Systems
Project Name 34191 Street of the Blue Lantern addition	Conditioned Floor Area (ft²) 2281		Number of Bedrooms	Number of Zones		
34191 Street of the Blue	The second second second	Units			Cooling Systems	Heating Systems
34191 Street of the Blue Lantern addition	The second second second	Units			Cooling Systems	Heating Systems
34191 Street of the Blue Lantern addition	2281	Units 1	4	3	Cooling Systems	Heating Systems
34191 Street of the Blue Lantern addition ZONE INFORMATION 01	2281	Units 1	4	3	Cooling Systems 0 06	Heating Systems
34191 Street of the Blue Lantern addition ZONE INFORMATION 01 Zone Name	02 Zone Type HW	Units 1 03 IC System Name	4 O4 Zone Floor Area (ft ²)	3 05 Avg. Ceiling Height	Cooling Systems 0 06 Water Heating System 1	Heating Systems 1 07 Water Heating System

Calculation Date/Time: 2021-06-02T13:45:22-07:00
Input File Name: 34191_Blue_Lantern_addition_v3.ribd19

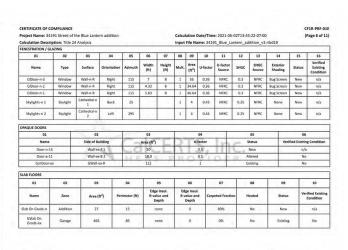
CERTIFICATE OF COMPLIANCE
Project Name: 34191 Street of the Blue Lantern addition
Calculation Description: Title 24 Analysis

REQUIRED SPECIAL FEATURES

DPAQUE SURFAC	ES									
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft²)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Wall-ex-F 1	House 2nd floor	Wall ex	205	Front	275	109.5	90	none	Existing	No
Wall-ex-L1	House 2nd floor	Wall ex	295	Left	406	5	90	none	Existing	No.
Wall-ex-B 1	House 2nd floor	Wall ex	25	Back	275	0	90	none	Existing	No
Wall-ex-R1	House 2nd floor	Wall ex	115	Right	408	100.15	90	none	Existing	No
Wall-ex-F 2	House 3d floor	Wall ex	205	Front	550	143	90	none	Existing	No
Wall-ex-L 2	House 3d floor	Wall ex	295	Left	185	0	90	none	Existing	No
Wall-ex-B 2	House 3d floor	Wall ex	25	Back	330	31.9	90	none	Existing	No
Wall-ex-R 2	House 3d floor	Wall ex	115	Right	229	75.96	.90	none	Existing	No
Wall-n-E	Addition	Wall new	205	Front	122	53.36	90	none	New	n/a
Wall-n-L	Addition	Wall new	295	Left	263	60.7	90	none	New	n/a
Wall-n-B	Addition	Wall new	25	Back	62	0	90	none	New	n/a
Wall-n-R	Addition	Wall new	115	Right	263	137.28	90	none	New	n/a
Interior Wall to Addition 1	House 3d floor>>Addition	Wall Int RO	n/a	n/a	122	0	n/a		Existing	No
Interior Wall to Addition 2	House 3d floor>>Addition	Wall Int RO	n/a	n/a	62	0	n/a		Existing	No
Exterior Floor-n	Addition	Floor Raised new	n/a	n/a	105	n/a	n/a		New	n/a
Floor Over Crawispace-ex 1	Hause 2nd flaar	Floor crawl ex	n/a	n/a	794	n/a	n/a		Existing	No
Floor Over Crawlspace-ex 2	House 3d floor	Floor crawl ex	n/a	n/a	391	n/a	n/a		Existing	No
nterior Floor-ex over Garage	House 2nd floor	Floor Int ex	n/a	n/a	251	n/a	n/a		Existing	No
Interior Floor over House 2nd floor 1	House 3d floor	Floor Int RO	n/a	n/a	377	n/a	n/a		Existing	No

OPAQUE SUR	FACES												
01	0	2	03	04	0.5	5	06	07	08	\neg	09	10	11
Name	Zo	ne Con	struction	Azimuth	Orient	ation Gr	oss Area (ft²)	Window and Door Area (ft2)	Tilt (deg) (Wall Exceptions	Status	Verified Existin Condition
Interior Floo over House 2 floor 2		tion Flo	or Int RO	n/a	n/	a	336	n/a	n/a			New	n/a
GWall-ex-I	Gar	age W	fall Gar	205	Fro	nt	168	0	90		none	Existing	No
GWall-ex-l	Gar	age V	all Gar	295	Le	ft	174	0	90		none	Existing	No
GWall-ex-8	Gar	age V	fall Gar	25	Ba	:k	168	0	90		none	Existing	No
GWall-ex-	Gar	age W	fall Gar	115	Rig	ht	174	112	90		none	Existing	No
Name Cathedral-	Zone	Construction	Azimuth	Orientation	Area (ft²)	Skylight Area (ft ²		x Roof Reflectance	Roof Emittance	Roo		Existing Condition	Existing Construction
Name	Zone	Construction	Azimuth	Orientation	Area (H²)	Skylight Area (ft ²			Roof Emittance	Coo			Existing Construction
ex-under	House 2nd floor	Ceiling cath ex	115	Right	385	0	0,25	0.1	0.85	No	Existing	No	
deck	1 27	11 11 11				1 -	1111	10.0					
Cathedral- ex 1	House 2nd floor	Ceiling cath ex	205	Front	21	0	0.25	0.1	0.85	No	Existing	No	
Cathedral- ex 2	House 3d floor	Ceiling cath ex	25	Back	768	0	3	0.1	0.85	No	Existing	No	
Cathedral-n 1	Addition	Ceiling cath new	25	Back	27	4	3	0.1	0.85	No	New	n/a	
Cathedral-n 2	Addition	Ceiling cath new	295	Left	441	4	0.5	0.1	0.85	No	New	n/a	
GCathedral- ex	Garage	Ceiling cath Gar	115	Right	215	0	0.25	0.1	0.85	No	Existing	No	

TIFICATE OF CI		he Blue Lante	en addition				Calcu	ation [nate/Time	· 2021-06	-02T13-4	5:22-07:00			F1R-PRF-0 Page 5 of 1
ulation Descri			in addition									dition v3.		- 1	rage 3 of 2
diation Descri	puon: mie 2	+ Allalysis					input	riie iva	ine: 3413	1_blue_L	intern_ac	idition_vs.	110019		
ESTRATION / GL	AZING														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Wind-a-M	Window	Wall-ex-F 1	Front	205	1.5	7.5	1	11.25	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
Wind-a-Q	Window	Wall-ex-F 1	Front	205	8	4	-1	32	0.36	NFRC	0.3	NERC	Bug Screen	Altered	No
Wind-a-R	Window	Wall-ex-F1	Frant	205	5	4	1	20	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
GIDoor-a-12	Window	Wall-ex-F 1	Front	205	3.5	7.5	1	26.25	0.36	NFRC	0,3	NFRC	Bug Screen	Altered	No
Wind-a-S	Window	Wall-ex-L 1	Left	295	2.5	2	1	5	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
Wind-a-N	Window	Wall-ex-R1	Right	115	2.5	7.5	1	18.75	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
Wind-a-O	Window	Wall-ex-R1	Right	115	5	4	1	20	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
Wind-a-P	Window	Wall-ex-R 1	Right	115	4	2	1	8	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
GIDoor-ex-E	Window	Wall-ex-R 1	Right	115	10	T	Β,	53.4	1.25	Table 110.6-A	0.8	Table 110.6-8	Bug Screen	Existing	No
Wind-a-K	Window	Wall-ex-F 2	Front	205	14	8	1	32	0.36	NERC	0.3	NFRC	Bug Screen	Altered	No
Wind-a-G	Window	Wall-ex-F 2	Front	205	6	2.5	15	15	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
Wind-ex-E 1	Window	Wall-ex-F 2	Front	205	6	4	1	24	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
GiDoor-a-10	Window	Wall-ex-F 2	Front	205	9	8	1	72	0.36	NFRC	0.3	NERC	Bug Screen	Altered	No
Wind-ex-E 2	Window	Wall-ex-B 2	Back	25	2	6.5	1	13	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Wind-a-F	Window	Wall-ex-R 2	Right	115	9.92	1	1	9.92	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
Wind-a-H	Window	Wall-ex-R 2	Right	115	9.92	5.75	1	57.04	0.36	NFRC	0.3	NFRC	Bug Screen	Altered	No
Wind-ex-E 3	Window	Wall-ex-R 2	Right	115	3	3	1	9	1.28	Table 110.6-A	0.8	Table 110.6-B	Bug Screen	Existing	No
Wind-n-B	Window	Wall-n-F	Front	205	8	6.67	1	53.36	0.36	NFRC	0.3	NFRC	Bug Screen	New	n/a
Wind-n-A 1	Window	Wall-n-L	Left	295	2.17	5	1	10.85	0.36	NFRC	0,3	NFRC	Bug Screen	New	n/a
Wind-n-A 2	Window	Wall-n-L	Left	295	2.17	5	1	10.85	0.36	NFRC	0,3	NERC	Bug Screen	New	n/a
Wind-n-C	Window	Wall-n-L	Left	295	2	2	1	4	0.36	NFRC	0.3	NFRC	Bug Screen	New	n/a
Wind-n-D	Window	Wall-n-L	Left	295	7	5	1	35	0.36	NFRC	0.3	NFRC	Bug Screen	New	n/a



01	RUCTIONS 02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Wallex	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.387	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4
Wall new	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-13	None / None	0.093	Inside Finish: Gypsum Board Cavity / Frame: R-13 / 2x4 Sheathing / Insulation: Wood Siding/sheathing/decking Exterior Finish: 3 Coat Stucco
Wall Gar	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O, C.	R-0	None / None	0.387	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4
Ceiling cath ex	Cathedral Ceilings	Wood Framed Ceiling	2x8 @ 16 in, Q, C.	R-0	Nane / None	0.477	Roofing: Light Roof (Asphalt Shingle Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x8 Inside Finish: Gypsum Board
Ceiling cath new	Cathedral Ceilings	Wood Framed Ceiling	2x10 @ 24 in, O. C.	R-30	None / None	0.035	Roofing: Light Roof (Asphalt Shingle Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-30 / 2x10 Inside Finish: Gypsum Board
Ceiling cath Gar	Cathedral Ceilings	Wood Framed Ceiling	2x8 @ 16 in. O. C.	R-0	None / None	0.477	Roofing: Light Roof (Asphalt Shingle Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x8 Inside Finish: Gypsum Board
Wall Int RD	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board

Project Name: 34191 Str	eet of the Blue Lant	ern addition	Calcu	Calculation Date/Time: 2021-06-02T13:45:22-07:00 (Page									
Calculation Description:	Title 24 Analysis		Input	File Name: 34	191_Blue_Lantern	addition_	v3.ribd19						
OPAQUE SURFACE CONSTR	UCTIONS												
01	02	03	04	05	06	07	08						
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x						
Floor crawl ex	Floors Over Crawlspace	Wood Framed Floor	2x6 @ 16 in. O. C.	R-0	None / None	0.22							
Floor Raised new	Exterior Floors	Wood Framed Floor	2x6 @ 16 in. O. C.	R-19	None / None	0.048	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x6 Sheathing / Insulation: Wood Siding/sheathing/decking						
Floor Int RO	Interior Floors	Wood Framed Floor	246 @ 16 in. O. C.	TFG,	None / None	0.199	Floor Surface: Carpeted Floor Dack: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2xt Ceiling Below Finish: Gypsum Bo						
Floor int ex	Interior Floors	Wood Framed Floor	2x6 @ 16 in, O, C.	R-0	None / None	0.199	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2xt Ceiling Below Finish: Gypsum Bo						
BUILDING ENVELOPE - HER	S VERIFICATION												
01		02			03		04						
Quality Insulation In	stallation (QII)	High R-value Spray I	Foam Insulation	Building Enve	lope Air Leakage		CFM50						
Not Requi	end	Not Regu	ind	Mot I	Required	- 1	n/a						

100 X X X X	Project Name: 34391 Street of the Blue Lantern addition Calculation Date/Time: 2021-06-02713-45:22-07.00 Calculation Description: Title 24 Analysis Input File Name: 34191_Blue_Lantern_addition_v3-ribd19									(Page 9							
WATER HEAT	TING SYSTEM	s															
01	- 1	02		03			14	1 12	05		06	0	7		08	09	10
Name	Syr	item Type	Distr	ibution	Туре	Water Hea	ter Name (#)		Heating stem		mpact ibution	HERS Verification		1	Status	Verified Existing Condition	Exist Wat Heat Syste
DHW es		mestic Hot ter (DHW)	Di	Standar istributi System	ion	Ex Gas S	torage (1)	j. ji	n/a	N	lone	ri/a		1	Existing	No	
WATER HEAT	TERS		-	-										-			
01	02	03		04	05	06	07	08		99	10		11	Т	12	13	14
Name	Heating Element Type	Tank T	уре	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulat R-valu (Int/E:	ion Lor	ndby is or very Eff	1st H Rating Flow R	or NEEA	Heat Pump d or Model		ank Location or Ambient Condition	Status	Verif Exist Condi
Ex Gas Storage	Gas	Small Stu	orage	1	50	0.6-EF	<= 75 kBtu/hr	0		0	n/a	III	n/a		n/a	Existing	N
WATER HEAT	TING - HERS V	/ERIFICATIO	N														
01		02			(33	04			05		06			07		08
Nan	ne	Pipe Insu	lation		Paralle	el Piping	Compact Di	tribution	Compac	Distribu Type	ution	Recirculation	Control	ntrol Central DHW Distribution			
DHW ex	c-1/1	Not Req	uired		Not Re	equired	Not Rec	uired		None		Not Required		- 1	Not Required	No	t Required
SPACE CONE	OITIONING SY	STEMS															
	01			02		03	04		05	-	06	07	08		09	10	11
	Name		Systi	em Typ	e	Heating Nam			Fan Name		ibution	Required Thermost Type			Verified Existing Condition	Heating Equipment Count	Cooli Equipn Cour
н	VAC ex	Heat		coolin	g system	Ex Furn	ace Ex Co	aling	Fan ex	Dui	cts ex	n/a	Existi	ng	No	1	1

	ne: 34191 Street Description: Title		antern ad	ldition							21-06-02T13: ue_Lantern_;			(Pa	ge 10 of 11		
HVAC - HEAT	TING UNIT TYPES																
14.	01				02					03	04						
	Name			- 1	System '	Туре			N	umber of Ur	ts Heating Efficiency						
	Ex Furnace			Ce	entral gas	furnace				1				AFUE-75			
HVAC - COO	LING UNIT TYPES																
01		02		03		0	4		05		06		07	08			
Nar	ne Sy	stem Type	Nu	mber of U	nits	Efficiency	EER/CEER	Effi	clency SEE	R Zo	nally Controlle		Mulit-speed Compressor	HERS V	erification		
Ex Co	oling Cer	itral split AC		1		7)	06		8		Not Zonal	100	Single Speed	Ex Coolii	ng-hers-cool		
HVAC - DIST	RIBUTION SYSTEMS		H														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16		
			Duct Ins	R-value	Duct	ocation	Surfac	e Area	16	- 14	20						
Name	Туре	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Duct 40 ft		
Ducts ex	Unconditioned crawl space	Non- Verified	R-6	R-6	Crawl Space	Crawl Space	n/a	n/a	No Bypass Duct	Existing (not specified)	Ducts ex-hers- dist	Existing + New	No	n/a	n/a		
HVAC FAN S	YSTEMS - HERS VER	IFICATION															
	(1						02					03				
	Na	me				- 0	Verified F	n Watt D	raw			Require	ed Fan Efficac	y (Watts/CFM)			
	Fan ex-	ners-fan					Not	Required					0				
	R VERIFICATION OF										-						

CERTIFICATE OF COMPLIANCE	CF1R-PRF-01
Project Name: 34191 Street of the Blue Lantern addition	Calculation Date/Time: 2021-06-02T13:45:22-07:00 (Page 11 of 11
Calculation Description: Title 24 Analysis	Input File Name: 34191_Blue_Lantern_addition_v3.ribd19
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
1. I certify that this Certificate of Compliance documentation is accurate and con	
Documentation Author Name: Igor Pichko	Documentation Author Signature: 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
Company: Energy Consult LLC	Signature Date: 2021-06-03 17:57:19
Address: 1252 w 22nd st #2	CEA/ HERS Certification Identification (if applicable): R19-14-30005 CERTIFIED ENERGY ANALYST
Cry/State/Zip: San Pedro, CA 90731	Phone: 424-247-7658
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
2. I certify that the energy features and performance specifications identified on	cognitality for the budding drugs identified on this Certificate of Compliance. In Certificate of Compliance and/orm to the resolvements of the SK Pul 1 and Pul 5 of the Collisional Case of Regulations, for the Collisional Case of Regulations, proceedings of the regulation compliance documents, workshore, regulation large processing Compliance (
Company:	Date Styried: 2021-06-04 08:58:52
Ward Young Architecture & Planning	
Ward Young Architecture & Planning Address: 12010 Donner Pass Road, Suite 201	Ucense: c23000

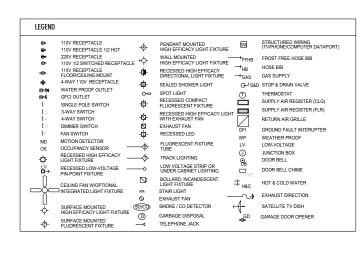
WARD ARCHITECTUR YOUNG 3435 Mt. Diablo Blvd., Suite 210 Lafayette, CA 94549 925 283-3278 voice 925 283-1663 fax www.wyarch.com

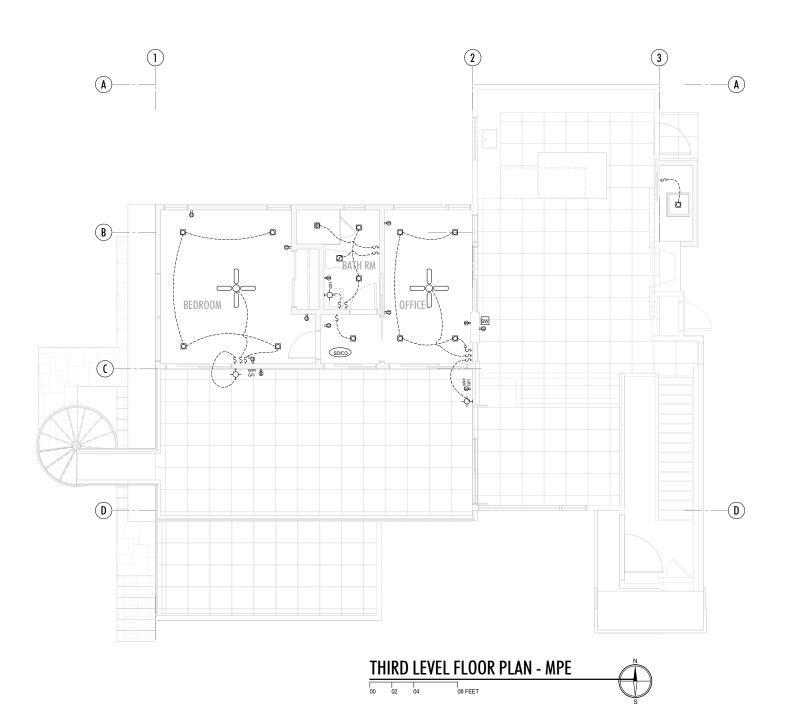
CF1R-PRF-01E

No. Description Date REVISION 02/17/2022

Author DATE 01-03-2022

T-24 COMPLIANCE **REPORT**







No.	Description	Date
	REVISION	02/17/202
	REVISION	02/17/20

PROJECT

SCALE PROJECT

As indicated

01-03-2022

MPE PLAN

MPE2.1

GENERAL REQUIREMENTS

The Work comprises the completed construction required by the Contract Documents. The Contract Documents consist of the Owner-Contractor Agreement and Conditions of the Contract, the Drawings, the Specifications, and all Addenda issued prior to and all Modifications issued after execution of the Contract.

- A. All work shall comply with all state and local codes and ordinances. All work shall be done to the highest standards of craftsmanship and best trade practices
- B. Do not substitute materials, equipment, or methods unless such substitutions have been approved by the Architect. Full and complete Technical Data, Product literature and/or samples shall be supplied to the Architect of all materials proposed for substitution of specified materials, and of workmanship representing artistic techniques specified below.
- C. Rental charges, safety, protection, and maintenance of rented equipment shall be the contractor's responsibility.
- Contractor shall maintain the job clear of trash and debris. All waste materials shall be removed from site or as directed by the recycle procedure prior to substantial tion and prior to final acceptance.
- E. Contractor shall present the building to the Owner for acceptance clean and ready for occupancy. All glass shall be cleaned and polished inside and out, and broken or scratched glass shall be replaced at no cost to the Owner. Floors swept broom clean and Carpets vacuumed. Fixtures, hardware and appliances shall be weshed clean and with a labels removed. Leave no spots, stains or dirt. To all surfaces requiring the application of buffed polish, apply the polish recommended by the manufacturer of the material being polished. The exterior hand raiked free of trash and debris.
- F. Contractor shall verify all dimensions and conditions shown on these Drawings with those at the site. Discrepancies shall be brought to the attention of the Architect for clarification before proposed on with the work
- G. In general, Specifications indicate qualifies of material and workmanship, and Drawings, indicate dimensions, location, quantities, and details of construction. Figured dimensions take precedence over scaled measurements. Detailed Drawings and Specifications take precedence over general Drawings and Specifications. Supplementary details and instruction, approved revision of later fats, and addends take precedence over original documents; information, and existing and septications and adjust in quality, the greater quantity and the better quality shall govern. Work not particularly detailed, marked, or specified shall be the same as similar parts that are detailed, marked, or specified.
- Removal of hazardous materials is not anticipated. If hazardous materials are encountered, the Contractor shall notify Owner/Architect prior to removal or further work
- The owner shall pay for the building permit and any related permit fees. The contractor shall be responsible for coordinating and obtaining the required permits prior to
- Allowances: Include the following allowances in the Base Cost Estimate. Allowances shall cover only the net cost to the Contractor of items not specifically noted in it drawings or in other divisions of these Specifications. Costs for profit, overhead, storage, handling, installation and other expenses shall be included in the Contract Sum unless specifically noted. Contractor shall provide vendors invoice when submitting superinter frequest involving allowances:
 - C. Confactor shall provide ventors invoice when submitting payment reques Light Failures Surface Mount Pendant and Sconces \$1500.00 Exteror Lights \$1000.00 Exteror Lights \$1000.00 Exteror Lights \$3000.00 extra stream = \$3000.00 extra stream = \$3000.00 extra stream = \$1000.00 extra stream = \$10000.00 extra stream = \$10000.00 extra
- Submittals: Prior to ordering, Contractor shall provide for review by owner 2 (tow) copies of submittals including, but not limited to shop drawings, order schedules, and/or product data for the following:
 1. Prefeta Sprial stair
 2. Plumbing Fixtures and Fittings Specified by Owner
 3. Mechanical system layout including zone layout, controls, and equipment
 4. Entry door, int. and Ext. doors and windows
 5. See Structural diverge for additional submittal requirements.
- L. Finish Selection: All items requiring color, pattern, or texture selection shall be submitted to the owner and choice made prior to ordering and installing the item, regardless of whether or not a submittal has been requested.
- M. Project Record Documents: Provide digital photos of all concealed work. I.E. electrical, plumbing, HVAC, etc.

2. SITE WORK

- B. Excavate, fill, and regrade site to finish grades noted on site plan. Spread uniform layer of existing topsoil over proposed landscape areas. Provide fences, barricades, and/or lights around all open tenches, excavations, and other hazards. Contractor shall provide the necessary Safety measures at Hazardous areasilocations and ensure the soundness of the protection as long as he hazard exist.
- C. Backfilling operations are the responsibility of the contractor. Foundation walls shall be adequately set and/or before backfilling. All backfill materials shall be approve granular materials compacted to 90% proctor density. Or as directed by the soil engineer.
- D. Contractor shall be responsible for verifying the location of and capping off the existing utilities prior to commencement of the work.
- E. Landscaping, irrigation, and revegetation is not included in this contract.
- E Provide termite shields at all sills

CONCRETE

Contractor shall provide all the necessary labor, materials, and equipment to complete all concrete shown or noted in these documents. Refer to the General Structural Notes S0.0.

- Concrete for slabs shall be reinforced, and of compression strength as specified in the Structural Drawings.
- B. All concrete formwork shall be adequately tied together and braced to from true lines, square corners, and plumb walls

- Concrete Finishes:

 1. Cast-in-place Concrete shall be poured continuously, with no cold joints. Material shall be adequately vibrated to prevent the occurrences of air pockets and hore;comb effects.

 Pic-cast Concrete: 300 psi smooth face @ CMU walls.

 2. Short Concrete: 300 psi smooth face @ CMU walls.

 3. Short Concrete: 300 psi smooth face @ CMU walls.

 4. Stepalasi NA

 5. Steps Reinforced concrete steps with pea gravel aggregate at entry.
- Concrete slabs shall be poured on compacted materials. Slab surfaces shall be smooth and have even slope as shown on the drawings.
- G. No concrete shall be poured subject to freezing conditions for a minimum of 7 days after concrete pour, or on frozen ground, or if groundwater is present.
- H. Deposit concrete in horizontal layers not over 8 inches dep. Use spouts, elephant trunks or other approved means as necessary to avoid segregation when dropping concrete. Free fall shall not exceed 4 feet unless approved.
- I. Tool all joints and edge to a 1.2 inch radius, and as shown on drawings. Keep mortar lines from filing tooled joints. Maintain 1½ inch tool joint depth. See Structural Drawings for Control, Joint Intervals

essary labor, materials, and equipment to complete all exterior and interior stone, masonry, and all stone veneers, detailed, or indicated in these documents. Refer to the

5. METALS

Contractor shall provide all necessary labor, materials, and equipment to erect all miscellaneous iron and steel as detailed or noted on these Drawings. Refer to the General Structural Notes So.o.

- Submit shop drawings for prefabricated spiral stair and landing as shown.
- All ferrous ungalvanized metal work shall be cleaned of grease, oil, and oxidation and given a shop coat of damp proof rust inhibitive primer after fabrication, including drilling
- C. Structural Metal: See Structural notes on Structural Drawings for requirements concerning structural metal. Unless otherwise noted, welding shall be done by a certified welder.
 All visible joints what be dressed and finished.

 - D. Metal Fabrications
 - abrications

 Railings: Shall be as shown with accessories for attachment.
 Handrail Brackets: VGDF solid wood as shown.
 Use standard framed beam connections by Simpson O.A.E.
 Miscellaneous metal trim shall be 24 GA. galvanized metal.

6. WOOD AND PLASTICS

Contractor shall provide all labor, materials, and equipment to frame up, sheathe, and trim out building as shown or specified in these documents. Refer to General Structural Notes, S0.0.

- Lumber shall conform to the grading rules of the Western Wood Products Association (WWPA) or the Redwood Inspection Service (RIS).

 Floor Sheathing: Shall be Warmboard radiant floor heating panels, APA Stard-Hilor plywood. Panels shall have a nominal thickness of 1 1/8" and t & G edges. Coordinate installation with Pytomic system installation.
- Refer to the General Structural Notes for framing and lumber and connection requirements.
- Wood blocking shall be solid and match the depth of main members. Framing plans show member required for structural purposes only. All blocking and other members required by code red for finish work are in addition to members shows and shall be provided in the contract.
- F. Building Paper 15# Asphalt Emulsion Paper or Tyvex Vapor Barrier.
- Wood fascia shall be 2x paint grade Spruce Fascia Board

- C. Exterior siding as shown. Board and Batt siding shall be Channel Rustic 1x8 Cedar Siding.
 C1. Stucco: Provide 3 coat Portland cement system with acrylic finish coat. Install per manuf. instructions. Provide Attachments & vapor barriers as required.
- Interior door, window, railing, and misc. trim shall be 1x Stain Grade, K.D. DF Wood to the sizes as shown or required.
- Wood flooring shall be as specified by the owner. See Allowance 1.J.5. Incl. additional subfloor and assembly in base bid. See floor assembly C/A0.1. Interior Wood Wainscot shall be 1x T&G Stain Grade cedar grade "B" board as shown.
- Wood Cabinets: Shall conform to Woodwork Institute of California (WIC) 'Manual of Milwork,' latest edition.

 1. The drawings show general design character and intent. Provide shop drawings for actual construction of cabinets to the owner prior to fabrication.

 2. The cabinets shall be specified by owner.

 3. The finish shall be specified by owner.

 4. The door shy she shall be specified by owner.

 5. The cabinet crown shall be specified by owner.

 6. The shewer shall be PB EVEAIME with an EDGE BAND.

 7. The countertops shall be specified by owner.

- Exterior Stairs: Concrete as shown
- J. Closet shelves: ¾" PB Melamine
- Closet Rod: 1-1/8" Dia VGDE

- Hardware Hinges: CONCEALED HINGES AND DRAWER GUIDES Pulls/Knobs: Specified by Owner Catches/Latches: Specified by Owner Shelf Standards/Brackets: Specified by Owner

- A. Thermal insulation Batt insulation to be R-14 fiberglass Kraft faced in walls, R-30 Cathedral fiberglass Kraft faced in roof, R-11 at all interior walls
- B. Roofing Roof shall be Built up roofing 4 ply with base sheet with field applied aggregate coating, verify with T-24 requirements & intall per manuf, instructions.
- Roof Accessories Roof accessories shall be GSM-painted
- Flashing & Sheet Metal All exterior flashings shall be GSM-painted to match roof
 1. Gutters & Downspouls Shall be copper, SBO, size and profile as required. Provide all mounting hardware. All fabrications shall comply with SMACNA Architectural Manual. Provide of opeg patter sample for approval by owner.
- Waterproofing
 1. Door & Window Openings Provide PROTECTO WRAP BT20 XL
- Dampproofing Xypex Concentrate at Below Grade Areas
- Sealant Silicone
 Caulk All caulking shall be paintable silicone, O.A.E.
 Mastic –
 Compression Gaskets –

DOORS, WINDOWS, AND GLASS

Contractor shall supply and install all doors, windows, and glazing as specified in these documents. Doors: Finish and style as specified below or within Working Drawings. Doors shall be sealed, top, bottom, and all sides, and shall be operating snug and smoothly

- A. Exterior entry door; see Schedule Sheet. See drawings for sizes and configuration. Entry Door shall be caulked & weather-stripped. See Division 1.J.9 for allowance
- C. Garage Doors: SBO. See elevations

Windows: All windows shall be caulked and fit snugly and shall operate smoothly. Provide screens at all operating windows. Window supplier shall verify units that require tempered glazing and provide accordingly.

- Mirrors ¼" floated or as specified by owner.
- D. Hardware Selected by owner. See 1.J. Provide 2 (two) hinges for doors up to 60° high, 3 hinges up to 90° high and 4 hinges up to 120° high. Provide doorstop where wall is less than 120 degrees with adjacent walls and where specified herein.

9. <u>FINISHES</u>

Contractor shall provide all material and labor to finish building interior and exterior as shown, noted, scheduled, or specified in these documents.

- A. Gypsum Board shall be 5/8" thick, taped and filled. Provide 5/8" Type 'X' where required by code. Water resistant where required by code. Refer to drawings (finish schedule) for further information. Provide metal corners. Finish shall match existing textures.
- B. Tile Conform with all applicable requirements of the Tile Council of America (TCA) 'Handbook for Ceramic Tile Installation' current edition. Provide samples of tile for Owners' Approval. Seal mortar joints. Caulk edges of tile where they abut plumbing fixtures, trim, and like items to provide a watertight seal.

Use cementitious backer board at walls adjacent to bathtubs and shower receptors in lieu of water resistant gypsum board. Cementitious Backer Board: Durock, O.A.E.

Painting
1. All painting, staining, and varnishing shall be of high quality, free of runs and skips, with a minimum of three (3) coats (including a compatible primer) by produce a finish of even, uniform color, free from motified surface. Out degies nearly. Surfaces not scheduled to be painted or stained shall be left completely free of droppings and accidentally applied metalinis. Remove all removable terms in place not schedule to receive paint, or provide surface protection. It is the intent of the painting specification that all surfaces normally painted are included withert specifically mentioned or not. Provide the best quality grade of the various byse of coatings are regularly manufaces to the painting specification that all surfaces normally painted are considered to the provide state of the painting specification that all surfaces normally painted are included withert specifically mentioned on the Provide the best quality grade of the various byse of coatings are regularly manufaced.

2. The Owner will select colors. Submit samples of each finish color and gloss designated. Submit stains and natural (clear) finishes on the same sceneries and marked found as used in two

The Owner will select colors. Submit samples of each finish color and gloss designated. Submit stains same species and grade of wood as used in Work.

All exterior wood shall be sealed on the back and edges prior to installation. Provide Owner with earn finish in an amount equal to 5'd of the quantity of each color and type used.

Provide Owner with earn finish in an amount equal to 5'd of the quantity of each color and type used.

Siding, Tim. & Soffili

1"Coat - Faller Offiline Exterior Latex

2"Coat - Fuller Offiline Exterior Latex

Refer to davings for further information

Doors and Door Jambs – Stained: Exterior Doors: Pre-finished by manufacturer

Enterior Doors: Pre-firshed by manufacturer
Ferrous Melairs.

1th Coat - Zinc yellow into noxide or other approved primer
2th Coat - Alky disemi-jois canamal
3th Coat - Alky disemi-jois canamal
3th Coat - Alky disemi-jois canamal
3th Coat - Alky disemi-jois canamal
4th Coat - Alky disemi-jois canamal
4th Coat - Alky disemi-jois canamal
4th Coat - Salar Selection Selection Selection
4th Coat - Salar Selection Select

All exposed Concrete:
Concrete vertical surfaces shall be sealed with water based Siloxane "Enviro Seal Double 7" by Hydrozo Inc., O.A.E.
Concrete flatwork shall be sealed with Glaze N Seal "Natural Look" penetrating sealer by Glessner Corp., O.A.E. Omit at perro

10. SPECIALTY ITEMS

Contractor shall provide and install all accessory parts and equipment necessary for complete installation and operation. All work shall be installed per recommendation of the specific manufacturer and shall meet industry standards of workmanship.

A. Fireplace @ Deck: Provide gas & electrical. Unit by owner

11. EQUIPMENT

- 12. FURNISHINGS
- 13. SPECIAL CONSTRUCTION 14. CONVEYING SYSTEMS
- 15. MECHANICAL

Contractor shall provide all labor, materials, and equipment necessary to furnish and install a complete plumbing system and a complete heating/ventilation system. All work shall comply with state and local codes and ordinances. Subcontractor shall coordinate work with all other trades.

- A. Heating/Veritiation System Provide Hydroxic floor system to all areas. Coordinate installation with Subfloor installer. Review layouts with Owner prior to fabrication and installation. Refer to Division 114, Submittals. Conceat pipes within framing at living areas only. Size and balance system per industry standards. Provide make-up air per applicable codes. Provide and size open perior district and very standards. Provide make-up air for perior provide and size open perior district.
- B. Plumbing System: Provide hookup to septic system for sanitary system, water supply to well system and gas to on site propane tank. Make all necessary connections to appliance and equipment. Conceal all plumbing all tiving spaces. Holes for lines through framing shall be neatly cut and of minimum size. Renforce all large outs with selest straps. Protect pipes from mal as crew puncture at framing with hardened stele plates. For those types and as crew puncture at framing with hardened stele plates. For those types from galvanic corrosion. Insulate hot and cold water pipes where they cocur in craw spaces, attic space, or exterior valls. Test all supply and drain lines prior to covering, and flitch systems completely prior to final connections. Water supply shall be copper sanitary lines shall be acts from about 81 ms about 81 ms about 82 ms.
- Water Heater: Tankless type unit, Rinnai R75Lse or applied equal. D. All gutters shall be GSM, size and profile as required. Provide all mounting hardware. All fabrications shall comply with SMACNA Architectural Manual. Downspouls shall be chain assemblies as shown (galv.)
- E. Provide gas hookup to Fireplaces, Range, Dryer, Water Heaters, Furnaces, etc. as applicable.

16. ELECTRICAL

Contractor shall provide all labor, materials, and equipment necessary to install wiring, related fixtures, and controls. All work shall comply with state and local codes and ordinances. Subcontractor shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, & controls.

- Furnish and Install Revised electrical system as shown on the Drawings or described herein. Install per applicable code. All equipment shall be new and bear the U.L. label of approval. Connect to existing service. Make necessary connections to equipment or appliances installed by others. Separate lighting circuits from convenience outlet circuits. Conceal all wring. Holes for lines through framing shall be neatly cut and of minimum size. Reinforce all large cuts with steel straps.
- B. Size new service panel as required (verify requirements with the Owner.) Provide 1 sub-panel. Install ground fault circuit interrupters per Code. Label all circuits, coordinate with PG&E to relocate service to house if required.
- C. Unless otherwise allowed by the Owner, no aluminum wiring will be permitted. All wiring to be Romex copper.
- Interior recessed lights shall be Juno 4" recessed with insulguard. Provide an allowance for all other light fixtures in accordance with Division 1.J.1 inces. Submit fixture catalog cut sheets to Owner for review.
- E. Exterior wall mounted fixtures: Provide an allowance in accordance to Division1.J, Allowances.
- F. Audio/Video System Coordinate requirements with owner. Owner to provide system if applicable. G Home Security System – Coordinate requirements with Owner. Owner to provide system if applicable

J. Switch Outlet Trim: As selected by Owner

- Mounting Heights Centerline of fixture above finish floor, U.O.N. I. Mounting Switches: 52" Convenience Outlets: 12" Thermostat: 60" CATV Outlet" 12" Telephone Jack: 12"

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No. Description Date REVISION 02/17/2022

SCALE 1/4" = 1'-0"

Author 01-03-2022

PROJECT

SPECIFICATIONS

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