

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** MARCH 14, 2022

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
BRENDA WISNESKI, DIRECTOR  
DANNY GIOMETTI, SENIOR PLANNER

**SUBJECT:** SITE DEVELOPMENT PERMIT (SDP21-0018) TO PERMIT THE CONSTRUCTION OF A THREE-STORY SINGLE-FAMILY DWELLING ON A HILLSIDE LOT WITH A ROOF DECK AND RETAINING WALLS LOCATED AT 25172 MANZANITA DRIVE.

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**RECOMMENDATION:** That the Planning Commission adopt the attached draft Resolution approving Site Development Permit SDP21-0018 (Action Document 1).

**APPLICANT:** Peters Architecture

**OWNERS:** Hendaya Capital, LLC

**REQUEST:** Approval of a Site Development Permit to permit the construction of a three-story single-family dwelling (SFD) on a hillside lot with a roof deck and retaining walls.

**LOCATION:** 25172 Manzanita Drive (APN 682-137-08)

**NOTICE:** Notice of the Public Hearing was mailed via first class mail to property owners within a 500-foot radius of the subject site, published within a newspaper of general circulation on March 1, 2022, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on March 1, 2022.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 - Construction or Conversion of Small Structures) since the project consists of the construction of a new SFD on a hillside condition lot with a roof deck and retaining walls.

**ISSUES:**

1. Is the proposal consistent with the Dana Point General Plan, the Dana Point Zoning Code (DPZC)?
2. Does the proposal satisfy all findings required pursuant to the DPZC for approval of a SDP?
3. Is the proposed project compatible with and an enhancement to the site and surrounding neighborhood?

**BACKGROUND:**

The subject site is located northwest of the intersection of Crystal Lantern and Pacific Coast Highway within the Residential Single Family 22 (RSF 22) Zoning District on the City's Zoning Map, and is designated Residential 22 D.U./AC in the City's Land Use Policy Diagram included in the Land Use Element of the General Plan. The subject site is surrounded by a mixture of single-family, duplex and multiple-family development with structures ranging from one (1) to four (4) stories (Supporting Document 2 - Vicinity Map). A previously approved three-story SFD is under construction on the abutting lot, just north of the subject site (25166 Manzanita Drive) which utilized the City's hillside condition requirements for approval. This project was approved by the Planning Commission on \_\_\_\_.

The 2,929 square foot, vacant lot contains a significant upslope of 45.15% from Manzanita Drive and therefore qualifies as a hillside condition lot. A three-story residential structure with a roof deck proposed with a hillside condition is subject to the approval of a Site Development Permit (SDP) in accordance with the provisions of DPZC Sections 9.05.110(a)(4) & 9.05.230, respectively. Additionally, the project includes the construction of perimeter and landscape retaining walls exceeding 30-inches in height, which is also subject to the approval of an SDP pursuant to Section 9.05.120 of the DPZC.

**DISCUSSION:**

Site improvements include the construction of a 2,190 square foot, three story, SFD with an attached, 400 square foot garage, a 167 square foot roof deck and perimeter retaining walls exceeding 30-inches in height. The 882 square foot first floor contains a two-car garage, with direct entry into a hallway with access to a downstairs laundry room, elevator, internal staircase, and private bedroom with an ensuite bathroom and closet. The main entry to second floor can be accessed via an exterior, at grade staircase along the eastern side yard of the property and internally via the internal stair and/or elevator. The 1,183 square foot, second floor contains the kitchen, dining and main living area providing direct access to a 149 square foot deck facing Manzanita Drive. An additional bedroom with an ensuite bathroom as well as an office/bedroom and a hall bath complete the second (main) floor. The 565 square foot third floor is accessed via the interior stairwell or elevator, serving the

master bedroom with ensuite bathroom, walk-in-closet, and a private outdoor garden with exterior shower. The third floor also provides access to a 460 square foot deck. The deck provides exterior staircase access to the 167 square foot roof deck.

The total height of the SFD is 32'-1 ½" as measured from the lowest finished grade to the top of highest roof ridge, where a 33-foot maximum height limit is permitted for structures with a 6:12 roof pitch utilizing the hillside condition regulations (Section 9.05.110(a)(4)(D) of the DPZC). Additionally, the roof deck is 28'-11 ½" as measured from the lowest finished surface to the surface of the roof deck, where a 29-foot maximum height limit is permitted for structures with less than a 3:12 roof pitch utilizing the hillside condition regulations (Section 9.05.110(a)(6) of the DPZC). Both the third and second story frontages are setback from each story below, creating private outdoor living areas via exterior decks facing Manzanita Drive. The proposed saw-tooth style roof will project above a portion of the third level deck, providing partial shade (Supporting Document 3 – Architectural Plans).

The proposed SFD mimics a modern architectural style, incorporating a mixture of white smooth stucco, distressed linear brick and natural wood siding exterior walls, black metal trim and natural wood soffits. Openings include black metal framed doors and windows and natural wood garage door, gates, and fences (See sheets A4 through A7 of Supporting Document 3). The project complies with all applicable development standards, including setbacks, lot coverage, and height limit. Table 1 below summarizes the RSF 22 and General Development Standards (Chapter 9.05 DPZC) applicable to the proposed development (See Sheets A4 through A7 of Supporting Document 3 – Finish Materials and Renderings).

**Table 1: Compliance with RSF 22 and General Development Standards**

<b>Development Standard</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Compliant with Standard</b>
Maximum Lot Coverage	60%	50%	Yes
Maximum Height (Hillside Condition)	33 feet	32'-1 ½"	Yes
Roof Deck Surface	29 feet	28'-11 ½"	Yes
Minimum Front Yard Setback	7'-6"	7'-6"	Yes
Minimum Side Yard Setback	4'-0"	4'-0"	Yes
Minimum Rear Yard Setback	7'-6"	10'-0"	Yes
Minimum Landscape Coverage	20%	22%	Yes
Floor Area Ratio	.75 Maximum	.75	Yes
Driveway Length/Garage Setback	20 feet	20 feet	Yes
Parking Required	2 stalls in a garage	2 stalls in a garage	Yes

**SITE DEVELOPMENT PERMIT:**

**HILLSIDE CONDITION / THREE-STORY RESIDENTIAL DESIGN REQUIREMENTS**

Pursuant to Section 9.05.110(a)(4) of the DPZC, residential structures proposed in a hillside condition may be three stories in accordance with the provisions contained therein. A hillside condition is a lot with a topographic slope condition of 20 percent or greater as determined by calculating the vertical differential between the highest elevation at the front or rear property line and the lowest elevation along the opposing property line. Accordingly, the lot contains a 45.15 percent slope from the low point on the front lot line to the highest point along the rear property line (See Sheet 2 – Topographic Survey of Supporting Document 3).

The design utilizes three stories and the increased height allowed for lots in a hillside condition, as specified by DPZC Section 9.05.110(a)(7). The proposed SFD incorporates a 6:12 pitched roof element as well as a roof deck and is designed at the maximum allowed 33-foot and 29-foot height limits, respectively.

The proposed dwelling is also designed in accordance with the remaining provisions contained in Section 9.05.110(a)(4) as follows:

- A. A hillside condition shall mean a lot with a topographic slope percentage, as defined in Section 9.75.190 of this Title, either front to rear or side to side, of twenty (20) percent or greater.*

The slope of the lot is 45.15 percent and therefore qualifies as a hillside condition lot.

- B. New dwellings proposing three-stories must provide additional setbacks at the second (five feet) and third level (10 feet) from the street level of the structure.*

The second story of the SFD has an average, additional setback area of five (5) feet times the total width of the structure at the street elevation (32 feet) as described/depicted on the cover sheet, and more clearly illustrated on Sheet A3 of Supporting Document 3. The calculation requires 160 square feet of additional average setback area and the design provides 161 square feet of additional setback at the second story.

The third story of the SFD has an average, additional setback area of ten (10) feet times the total width of the structure at the street elevation (32 feet) as described/depicted on the cover sheet, and more clearly illustrated on Sheet A3 of Supporting Document 3. Although the calculation requires 320 square feet of additional average setback area, a total of 744 square feet of additional yard setback is provided at the third story.

- C. Residential structures having three (3) stories shall be limited to a maximum Floor Area Ratio (FAR) of .75, excluding garage area.*



A maximum FAR of .75 is permitted. For the subject lot the maximum FAR would equate to 2,196 square feet of habitable area and non-required parking stall area in a garage. Proposed FAR for the dwelling is .75 (2,190 square feet).

- D. Building height shall be measured as specified in Subsection (a)(2) of this Section, and in no case may the overall height of the structure exceed thirty-three (33) feet or as specified in Subsection (a)(7) of this Section.*

As specified in the hillside condition requirements, the building height of the structure is measured from finished grade to a maximum height limit of thirty-three (33) feet for roof pitches of 6:12 or greater (highest roof ridge) and a maximum height limit of twenty-nine (29) feet for roof pitches of 3:12 or less (surface of roof deck), and therefore is a compliant design.

- E. The applicant shall demonstrate a reduction in grading as compared to standard two-story design:*

The applicant has provided Sheet A-2 of the architectural plans which demonstrates the difference in grading between a SFD utilizing the normal development standards versus the hillside condition development standards. Applying the residential building height requirements to the applicant's proposal: an additional 27 cubic yards (CU) of grading (excavation) into the rear yard is necessary to account for the lost square footage that would otherwise be allocated within the additional height and story proposed in the SFD using the hillside condition requirements.

- F. The height of the third story shall not exceed a height of fourteen (14) feet above the upper property line or upper street curb elevation, as measured perpendicular to any point along said line or curb.*

The height of the structure extends above the upper property line elevation nearly 6'-2".

- G. Three story developments on hillside properties shall include story pole staking:*

A preliminary staking plan was submitted and approved by the Planning Division prior to the property being staked. The applicant provided a staking plan stamped by California registered professional engineer that the lot had been staked in accordance with the staking plan approved by the Planning Division.

#### RESIDENTIAL ROOF DECK

Section 9.05.230 (Roof Decks) of the DPZC states that roof decks are permitted subject to approval of a SDP(M). Pursuant to the roof deck requirements, the permitted area of all roof decks per dwelling unit may not exceed twenty-five (25) percent of the roof area of the story directly below the deck or 300 square feet, whichever is less. The proposed 167 square foot

roof deck located atop the SFD comprises 21% of the roof area of the story directly below the deck and is also less than 300 square feet and is therefore in compliance with the above-mentioned requirement. Additionally, it is designed to not be visible from all sides of the SFD or from the grade below in accordance with Section 9.05.230(a). The roof deck will be integrated into the proposed roof framing, with the required 42-inch-high guardrail concealed by 6:12 pitched roof elements. The guard rail and roof deck surface will not project above the required height limits of 33-feet and 29-feet, respectively, as measured from the structure low point (finished grade). The roof deck will be integrated into the framing of the roof and any visible portions will be architecturally compatible with the proposed structure. Access to the roof deck will be provided via an exterior stairway from the third-floor deck and is designed to be architecturally compatible with the proposed SFD. Therefore, the proposed roof deck is designed in accordance with the size and design limitations required pursuant to Section 9.05.230 of the DPZC.

#### INCREASED HEIGHT FOR RETAINING WALLS

Pursuant to Section 9.05.120(d)(2), retaining walls exceeding 30-inches in height and visible from the public right-of-way require the review and approval of a SDP(M). The 45.15 percent slope of subject site results requires multiple perimeter and landscape retaining walls. The project proposes the construction of over height retaining walls which climb the slope along either side yard, retaining earth and creating access around the proposed SFD.

The proposed retaining wall system along the eastern side yard commences in the public right-of-way along Manzanita Drive at two (2) feet and follows the grade of the side yard up approximately seven (7) feet at its highest point in the backyard. From the southeastern corner, the wall extends nearly eleven (11) feet parallel to the back of the structure. This retaining wall system creates spaces for a series of concrete steps following the natural up-slope to access the SFD and rear yard. The proposed retaining wall system along the western side yard commences in the public right-of-way along Manzanita Drive at two (2) feet and extends to the northwestern back corner of the proposed SFD, reaching a maximum height of nearly fifteen (15) feet (See Sheet 2 & A1 of Supporting Document 3 – Grading Plan and Site Wall Plan). A series of four (4) stepped retaining walls which face Manzanita Drive are proposed between the western property line wall and the SFD. The proposed SFD will block the tallest portions of the retaining walls, therefore views of the walls from Manzanita Drive, would be limited.

The retaining walls will be finished with smooth stucco, matching the lighter colored portions of the proposed SFD. A condition requiring landscape screening is included for portions of the retaining walls that would be visible from Manzanita Drive (See Sheet A8 of Supporting Document 3 – Landscape Plan). Additionally, an encroachment permit for the portions of walls located within the public right-of-way will also be required. The proposed retaining walls are consistent with residential development on sloping lots seen throughout the City, as well as the adjacent property which is currently under construction (25166 Manzanita Drive).

Pursuant to Section 9.71.050 “Basis for Action on Site Development Permit Applications” of

the DPZC, every Site Development Permit requires the following findings:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and,
2. That the site is suitable for the proposed use and development; and,
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines; and,
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture; and,
5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 3 (Section 15303) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA); and

Staff finds the SDP requests for the abovementioned single-family dwelling in a hillside condition, residential roof deck and increased height for retaining walls are consistent with the basis of approval as outlined in Section 9.71.050 of the DPZC. Responses supporting the abovementioned findings are detailed in the attached draft Planning Commission Resolution included as Action Document 1.

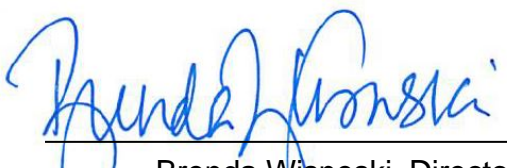
**CORRESPONDENCE:**

To date, the City has received no correspondence related to the subject application.

**CONCLUSION:**

Based on the above analysis, Staff has determined that the project is consistent with the policies and provisions of the City of Dana Point General Plan and the DPZC, and that the Planning Commission findings articulated in the draft resolution, supporting approval of the subject requests can be made. Therefore, staff recommends approval of SDP21-0018, subject to the conditions contained in the attached draft resolution.

  
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Danny Giometti  
Associate Planner

  
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Brenda Wisneski, Director  
Community Development Department

**ACTION DOCUMENT:**

1. Draft Planning Commission Resolution No. 22-03-14-XX

**SUPPORTING DOCUMENTS**

2. Vicinity Map
3. Architectural Plans, Grading Plan, Topographic Survey and Renderings

**Action Document 1: Draft Planning Commission Resolution No. 22-03-14-XX**

**RESOLUTION NO. 22-03-14-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT (SDP21-0018) TO PERMIT THE CONSTRUCTION OF A THREE-STORY SINGLE-FAMILY DWELLING ON A HILLSIDE LOT WITH A ROOF DECK AND RETAINING WALLS LOCATED AT 25172 MANZANITA DRIVE.**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Hendaya Capital, LLC, (the "Owner") is the owner of real property commonly referred to as 25172 Manzanita Drive (APN 682-137-08) (the "Property"); and

WHEREAS, the Owner authorized Peters Architecture (the "Applicant") and the Applicant caused to be filed a verified application for a Site Development Permit to permit the construction of a three-story single-family dwelling (SFD) on a hillside lot with a roof deck and retaining walls; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 - Construction or Conversion of Small Structures) since the project consists of the construction of a new SFD on a hillside condition lot with a roof deck and retaining walls; and

WHEREAS, the Planning Commission did, on the 14<sup>th</sup> day of March, 2022, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission Review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Site Development Permit SDP21-0018.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Site Development Permit SDP21-0018, subject to conditions:
  - 1. That the site design is in compliance with the development standards

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of the Dana Point Zoning Code...

**Hillside Condition / Three-Story Residential Design Requirements**

in that, the design of the proposed SFD meets all development standards related to DPZC Section 9.05.110(a)(4) relative to three-story residential structures located in a hillside condition.

**Residential Roof Deck**

in that the proposed 167 square foot roof deck complies with Section 9.05.230 (roof Decks of Chapter 9.05 (General Development Standards) of the DPZC. The roof deck is appropriately designed to not be visible from any sides of the proposed structure or from the grade below, and no portion of the roof deck will project above the maximum height limits of 33-feet for the 6:12 pitched roof and 29-feet for the roof deck surface. The proposed access stairway will utilize materials consistent with the structure's exterior finish materials, resulting in a design which is architecturally compatible with the proposed SFD.

**Increased Height for Retaining Walls**

in that in that the proposed retaining walls are permitted in all required yards pursuant to General Development Standards (Chapter 9.05) Section 9.05.120(d)(2) subject to the approval of Minor Site Development Permit. Although small portions of the proposed retaining and stepped landscape walls may be visible to public view, the walls follow the natural topography of the hillside and will be finished with white smooth stucco to match the SFD as well as drought tolerant landscaping for screening.

2. That the site is suitable for the proposed use and development...

**Hillside Condition / Three-Story Residential Design Requirements**

in that the subject site contains a 45.15 percent topographic slope commensurate with the calculation stipulated by DPZC Section 9.05.110(a)(4) for hillside development, and the SFD meets all related development standards contained therein. Therefore, the site is suitable for the proposed SFD.

**Residential Roof Deck**

in that roof decks are permitted as an accessory use in all residential zoning districts. Additionally, the steep topography of the site limits the ability to create useable yard space without significant grading. The roof deck provides additional useable, flat outdoor yard area without the need for additional grading. Therefore, the site is suitable for the proposed roof deck.

**Increased Height for Retaining Walls**

In that the proposed grading and structural retaining walls on the hillside lot, provides the necessary front, side, and rear yards to construct a conforming SFD within a buildable footprint on a lot that otherwise would be extremely challenging to build on as well as provide ingress and egress to the SFD. Additionally, the proposed landscape walls create high-quality terraced landscape planters which will encourage plants to mature to naturally screen and enhance the open space areas of the lot.

3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines...

**Hillside Condition / Three-Story Residential Design Requirements**  
in that, the dwelling is designed in accordance with the requirements for residential structures in a hillside condition, and although incorporating the additional story and height permitted, is designed in a manner meeting Urban Design Element Policy 5.3 to "Encourage buildings and exterior spaces that are carefully-scaled to human size and pedestrian activity."

**Residential Roof Deck**  
in that pursuant to Policy 5.2 of the Urban Design Element of the General Plan, the proposed roof deck encourages site and building design that takes advantage of the City's excellent climate to maximize indoor-outdoor spatial relationships, by creating an elevated private outdoor open space that is accessible from the SFD.

**Increased Height for Retaining Walls**  
in that the proposed retaining and planter walls are sited thoughtfully and incorporate finishes consistent with the proposed dwelling and include landscaping that will mitigate impacts to surrounding properties and along Manzanita Drive.

4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture...

**Hillside Condition / Three-Story Residential Design Requirements**  
in that the lot contains a significant slope and the structural design of the SFD utilizes the provisions in the City's height ordinance relative to a "hillside condition", and the site design through the placement of the SFD and the construction of the proposed retaining walls creates a level building pad that is appropriate for the site and function of the proposed SFD use while not requiring a particular architectural style.

**Residential Roof Deck**

in that, although not requiring a particular style of architecture to achieve a site and structural design that is appropriate for the site, the proposed 6:12 pitch hip roof elements sloping up towards the roof deck guardrails will create an additional roof line intersection into the saw-tooth roof framing, utilizing materials compatible with the exterior of the SFD.

**Increased Height for Retaining Walls**

in that the retaining and landscape walls will be finished in a smooth stucco to match portions of the exterior of the SFD. Although the walls are appropriate for the site and function of the single-family residential use, they do not require a specific architectural style.

5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 3 (Section 15303) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) **in that the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 Construction or Conversion of Small Structures)** since the project consists of the construction of a new SFD on a hillside condition lot with a roof deck and retaining walls.

**Conditions:**

**A. General:**

1. Approval of this application is to allow the construction of a three-story SFD on a hillside condition lot with a roof deck and retaining walls located at 25172 Manzanita Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action.



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If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday

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through Saturday, with no construction activity permitted on Sundays or Federal holidays.

9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
13. Separate review, approval, and permits are required for:
  - Separate Structures
  - Retaining Walls
  - Site Walls over 3 ft.
  - Fire Sprinklers
  - Demolition of Structures
14. The applicant shall apply for an encroachment permit to install all improvements in the right of way, including portions of retaining and site walls, a sidewalk behind the curb and gutter, which satisfies the most recent requirements outlined in the City's Public Works and Engineering Encroachment Conditions and Standard Drawings.
15. The applicant shall apply for an Address Assignment from Public Works prior to any application for permits. The Address Assignment shall assign the addresses for all proposed units and City permits.

**B. Prior to Building Plan Check Submittal:**

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16. Building(s) shall comply with most current editions of the Building Code with all local amendments.
17. Project "Conditions of Approval" shall appear on the submitted drawings.
18. Building plan check submittal shall include the following construction documents:
  - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
  - Energy Calculations (2 sets)
  - Structural Calculations (2 sets)
  - Soils/Geology Report (3 sets)
  - Drainage Plans (4 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.
19. Fire Department review maybe required. Submit plans directly to the Orange County Fire Authority for their review.
20. Minimum roofing classification is Class "A".
21. Fire-rated Construction: Plans should clearly identify and detail the fire-rated construction for any construction due to close proximity to the property line.
22. Separate review, approval, and permits are required for separate structures.
23. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CAL Green requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
24. Through the application of an encroachment permit, the owner shall be required to install a sidewalk behind the curb and gutter, which satisfies the most recent requirements outlined in the City's Public Works and Engineering manual.

**C. Prior to the Issuance of a Grading Permit**

25. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works

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Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

26. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual.
27. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy.
28. Separate submittal for review, approval and permits are required for project walls and temporary shoring as needed. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements.
29. All walls required to be construction to facilitate the grading operations or establishment of the design PAD grades and rough grading certification shall be issued concurrently with the grading permit. This includes but not limited to temporary shoring walls, permanent shoring walls, property line masonry walls, or other structures as determined by the Director of Public Works.
30. A separate performance bond shall be required for the construction and continued maintenance of any temporary shoring or walls required to protect all neighboring property, improvements and/or structures. The performance bond may be to 100% of the proposed improvements and/or construction costs. The performance bond for shoring or temporary improvements shall be released by Director of Public Works, when protection of all neighboring improvements is no longer required due to grading or construction operations.

**D. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:**

31. South Coast Water District will not allow any of the following within the

existing easement: retaining/site walls, stairs, concrete slabs, and the AC unit.

32. South Coast Water District requires access for maintenance purposes to the sewer main and manholes at all times and any proposed improvements shall not restrict this access.
33. Calculations shall be submitted to South Coast Water District for all pressure/forces our sewer main will experience due to the proposed improvements adjacent to the sewer main (stairs, retaining walls, house, etc.)
34. SCWD will require an encroachment maintenance agreement for the proposed planting area within our easement and reserves the right to restrict what is planted over and within our easement. Any turf and/or grass shown within our easement is acceptable, however trees planted within the easement will not be allowed.
35. All plans shall be based off the best available information. The applicant shall hire a licensed surveyor to stake the easement limits prior to approval by SCWD.
36. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
37. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
38. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
39. The applicant shall submit a certification from the Geotechnical Engineer of Record for the required temporary shoring or wall construction for grading

operations. The certification shall be submitted for review and approval by the City Engineer by separate submittal. The temporary structure certification by the geotechnical engineer shall approve the construction of temporary structures as being substantially completed in conformance with the recommendation of the project geotechnical report, all field observations, and any field modifications or additional recommendations required. The certification shall state the temporary structures are approved and suitable from a geotechnical standpoint.

40. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
41. Approvals are required from:
  - Planning Division
  - Public Works & Engineering Services
  - Obtain Orange County Fire Authority Approval
  - Obtain "Will Serve" letter from Water District.
  - Provide an SDG&E service work order for proposed service location
42. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
43. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
44. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.
45. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City's standard

PLANNING COMMISSION RESOLUTION NO. 22-03-14-XX  
SITE DEVELOPMENT PERMIT SDP21-0018  
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"Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.

46. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of SDP21-0018. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
47. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Director of Community Development, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.

**E. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:**

48. Verification of all conditions of approval is required by all City Departments.
49. All structural best management practices (BMPs), including landscaping, shall be constructed, and installed in conformance with approved plans and specifications.
50. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
51. A written approval, in accordance with the City's standard certification template, by the Geotechnical Engineer of Record approving the construction as being in conformance with the approved plan from a geotechnical standpoint.

PLANNING COMMISSION RESOLUTION NO. 22-03-14-XX  
SITE DEVELOPMENT PERMIT SDP21-0018  
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52. A Final As-Built Drainage Plan shall be submitted for review and approval prior to Public Works approval.
53. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
54. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
55. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 14<sup>th</sup> day of March 2022, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

Eric Nelson, Chairman  
Planning Commission

ATTEST:

---

Brenda Wisneski, Director  
Community Development Department



## Supporting Document 2: Vicinity Map



City of Dana Point  
**SDP21-0018**  
**Danny Giometti, Senior Planner**  
Community Development Department  
33282 Golden Lantern (Danny Giometti, Senior Planner)  
Dana Point, CA 92629-1805

### VICINITY MAP



**Project :** SDP21-0018  
**Applicant:** Peters Architecture  
**Location:** 25172 Manzanita Drive



**Supporting Document 3:** Architectural Plans, Grading Plan, Topographic Survey and Renderings

See Attachment



Peters Architecture expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission and consent of Peters Architecture.

# CASA DE MANZANITA

new 3-story plus roof deck single-family dwelling with attached garage

25172 Manzanita Drive, Dana Point, CA 92629



Peters Architecture  
23177 La Cadena Drive  
Suite 101  
Laguna Hills, CA 92653  
(949) 916-4800  
info@capeters.com  
www.capeters.com

## GENERAL NOTES

1. AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.

2. ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS ARE INDICATED ON SITE/PLOT PLAN.

3. WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAMD), (714) 396.2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.

4. THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.

5. THE PERMIT APPLICATION MUST BE SIGNED BY THE PROPERTY OWNER, OR LICENSED CONTRACTOR, OR AUTHORIZED AGENT AT THE TIME THE PERMIT IS TO BE ISSUED.

A. FOR OWNER-BUILT PERMITS: OWNER'S SIGNATURE CAN BE VERIFIED WITH OWNER'S DRIVER LICENSE. OWNER'S REPRESENTATIVES MUST PRESENT OWNER'S APPROVAL WITH A NOTARIZED LETTER FROM THE OWNER.  
B. FOR CONTRACTOR BUILDING PERMITS: PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE THE FOLLOWING:

i. NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS.  
ii. CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD.

iii. COPY OF CONTRACTORS STATE LICENSE OR POCKET ID.  
iv. COPY OF CITY BUSINESS TAX REGISTRATION CERTIFICATE OR A NEWLY PAID RECEIPT FOR ONE.

6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

7. (TWO) SETS OF PLANS WILL BE REQUIRED DURING PERMIT ISSUANCE. PLANS MUST BE: (R106.3.2.2. & R106.3.3.3.)  
A. QUALITY BLUE OR BLACK LINE DRAWINGS WITH UNIFORM AND LIGHT BACKGROUND COLOR.

B. MAX. 36" X 48" SIZE WITH MINIMUM 1/8" LETTERING SIZE.  
C. STICKY BACK DETAILS MUST PRODUCE PRINTS WITHOUT CONTRASTING SHADES OF BACKGROUND COLOR.

8. FOR NEW BUILDINGS AND ADDITIONS, ONE COPY OF ONLY THE ARCHITECTURAL SET IS REQUIRED FOR THE COUNTY TAX ASSESSOR (CALIFORNIA REVENUE AND TAXATION SECTION 72).

9. SUBMITTAL OF COPY OF VALID CAL-OSHA PERMIT IS REQUIRED PRIOR TO PERMIT ISSUANCE.

10. ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.

11. A RE-INSPECTION FEE MAY BE CHARGED FOR AN INSPECTION WHICH IS NOT ACCESSIBLE, OR APPROVED PLANS ARE NOT ON SITE, OR JOB IS NOT READY.

12. ALL GENERAL CONTRACTORS, SUB-CONTRACTORS, ARCHITECTS AND ENGINEERS CONDUCTING BUSINESS WITHIN THE CITY ARE REQUIRED TO MAINTAIN A CURRENT CITY BUSINESS LICENSE AS DESCRIBED IN THE MUNICIPAL CODE.

13. A SEPARATE PUBLIC WORKS PERMIT WILL BE REQUIRED FOR ANY APPROACH TO PRIVATE DRIVEWAY, SEWER LATERALS, CURBS, CURB CORES, STREET IMPROVEMENTS OR ANY WORK IN THE PUBLIC RIGHT OF WAY OR PARKLANDS.

14. PER LOCAL REQUIREMENTS, THE WORKING HOURS ARE BETWEEN 7:00 AM TO 7:00 PM MONDAY THROUGH THURSDAY; 7:00 AM TO 5:00 PM ON FRIDAY AND 9:00 AM TO 5:00 PM ON SATURDAY WITH NO WORK ON SUNDAY OR HOLIDAYS.

15. ALL SPECIAL INSPECTORS SHALL BE REGISTERED WITH THE CITY PRIOR TO PERFORMING ANY INSPECTIONS AND SHALL ALSO NOTIFY THE BUILDING OFFICIAL OF EACH JOB LOCATION THEREAFTER.

16. BUILDING SHALL BE PROVIDED WITH APPROVED ADDRESS AND NUMBERS OR LETTERS. EACH CHARACTER SHALL BE A MINIMUM 4 INCHES HIGH AND A MINIMUM OF 0.5 INCH WIDE. THEY SHALL BE INSTALLED ON A CONTRASTING BACKGROUND AND BE PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CBC 502.1.

17. COMPLY WITH CBC SEC. 3306 REGARDING PROTECTION OF PEDESTRIANS DURING CONSTRUCTION.

## DEMOLITION NOTES

1. A SEPARATE PERMIT MUST BE OBTAINED FOR ALL DEMOLITION WORK.

2. A SEPARATE PERMIT SHALL BE OBTAINED FOR ALL WORK IN THE RIGHT-OF-WAY.

2. CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATION.

3. NO WORK WHATSOEVER SHALL BE STARTED WITHOUT FIRST NOTIFYING THE INSPECTOR AND SOIL ENGINEER.

4. AQMD NOTIFICATION IS REQUIRED BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE BUILDING AND SAFETY DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.

5. CONTRACTOR OR OWNER TO OBTAIN ADJOINING NEIGHBOR'S WRITTEN PERMISSION TO REMOVE ANY WALLS AND/OR FENCES THAT STRADDLE SHARED PROPERTY LINES OF SUBJECT PROPERTY AND SAID ADJOINING NEIGHBOR.

## DEMOLITION NOTES CONT.

6. CONTRACTOR SHALL OBTAIN APPROVED TEMPORARY EXCAVATION PLANS, WHEN REQUIRED, PRIOR TO THE REMOVAL OF ANY RETAINING STRUCTURES AND PRIOR TO ANY GRADING WORK.

7. CONTRACTOR SHALL PROVIDE 30-DAY MIN. WRITTEN NOTICE TO THE OWNER AND/OR TENANT OF NEIGHBORING PROPERTY PRIOR TO DEMOLISHING AND/OR REPLACING SEWER LATERAL(S) AND CLEANOUT(S), WATER SERVICE, GAS SERVICE, OR ANY OTHER EASTERLY PROPERTY UTILITY(S) THAT PASSES THROUGH SUBJECT PROPERTY.

8. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES PRIOR TO REMOVING ANY EQUIPMENT OR FEATURES RELATED TO UTILITIES.

9. ALL CONSTRUCTION WASTE TO COMPLY WITH MINIMUM CITY REQUIREMENTS FOR RE-USE AND/OR RECYCLING.

10. ALL UTILITIES IN NEW CONSTRUCTION TO BE LOCATED UNDERGROUND.

11. OBTAIN CAL-OSHA PERMIT FOR ANY DEMOLITION WORK THAT INVOLVES ASBESTOS/HAZARDOUS WASTE REMOVAL/DISPOSAL/ABATEMENT.

## HILLSIDE CONDITION COMPLIANCE NOTES

A. FOR PURPOSES OF THIS SECTION, A HILLSIDE CONDITION SHALL MEAN A LOT WITH A TOPOGRAPHIC SLOPE PERCENTAGE, AS DEFINED IN SECTION 9.75.190 OF THIS TITLE, EITHER FRONT TO REAR OR SIDE TO SIDE, OF TWENTY (20) PERCENT OR GREATER. THE TOPOGRAPHIC SLOPE PERCENTAGE SHALL BE CALCULATED BY DETERMINING THE VERTICAL DIFFERENTIAL BETWEEN THE HIGHEST ELEVATION POINT OF THE PROPERTY AT THE FRONT OR REAR PROPERTY LINE (WHICHEVER IS HIGHER) AND THE LOWEST ELEVATION POINT ALONG THE OPPOSING REAR OR FRONT PROPERTY LINE (WHICHEVER IS LOWER) OR BETWEEN THE HIGHEST ELEVATION POINT ALONG THE HIGHER SIDE PROPERTY LINE TO THE LOWEST ELEVATION POINT ALONG THE OPPOSING, LOWER SIDE PROPERTY LINE AND DIVIDING THAT VERTICAL DIFFERENTIAL BY THE HORIZONTAL DISTANCE BETWEEN THE TWO (2) POINTS.

B. THREE (3) STORY STRUCTURES SHALL BE DESIGNED SO THAT THE SECOND STORY HAS AN AVERAGE, ADDITIONAL YARD SETBACK AREA OF FIVE (5) FEET TIMES THE TOTAL WIDTH OF THE STRUCTURE AT THE STREET ELEVATION AND THE THIRD STORY, AN AVERAGE ADDITIONAL YARD SETBACK AREA OF TEN (10) FEET TIMES THE TOTAL WIDTH OF THE STRUCTURE AT THE STREET ELEVATION. THIS ADDITIONAL SETBACK AREA SHALL OCCUR ON THE PORTIONS OF THE STRUCTURE HAVING THREE (3) STORIES EXPOSED ABOVE GRADE. MAXIMUM ALLOWED PROJECTIONS INTO THE ADDITIONAL SETBACK AREAS ARE AS SPECIFIED IN SECTION 9.05.080 (PROJECTIONS INTO REQUIRED YARD AREAS) OF THIS CHAPTER.

C. RESIDENTIAL STRUCTURES HAVING THREE (3) STORIES SHALL BE LIMITED TO A MAXIMUM FLOOR AREA RATION (FAR) OF .75 THE AREA OF THE LOT, EXCLUDING GARAGE AREA. THE AMOUNT OF GARAGE AREA IN EXCESS OF THAT REQUIRED FOR MINIMUM COMPLIANCE WITH PARKING STANDARDS, AS SPECIFIED IN SECTION 9.35.070 OF THIS TITLE, SHALL BE CONSIDERED PART OF THE FLOOR AREA WHEN CALCULATING THE FAR.

D. BUILDING HEIGHT SHALL BE MEASURED AS SPECIFIED IN SUBSECTION (a)(2) OF THIS SECTION, AND IN NO CASE MAY THE OVERALL HEIGHT OF THE STRUCTURE EXCEED THIRTY-THREE (33) FEET OR AS SPECIFIED IN SUBSECTION (a)(7) OF THIS SECTION.

E. THE APPLICANT SHALL DEMONSTRATE THAT THE PROPOSED DESIGN WILL RESULT IN A REDUCTION IN GRADING AND THE DISRUPTION TO EXISTING TOPOGRAPHY THAT WOULD BE INCURRED WITH A STANDARD TWO (2) STORY DESIGN ON THE SUBJECT SITE, PURSUANT TO SUBSECTION (a)(2) OF THIS SECTION, TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT.

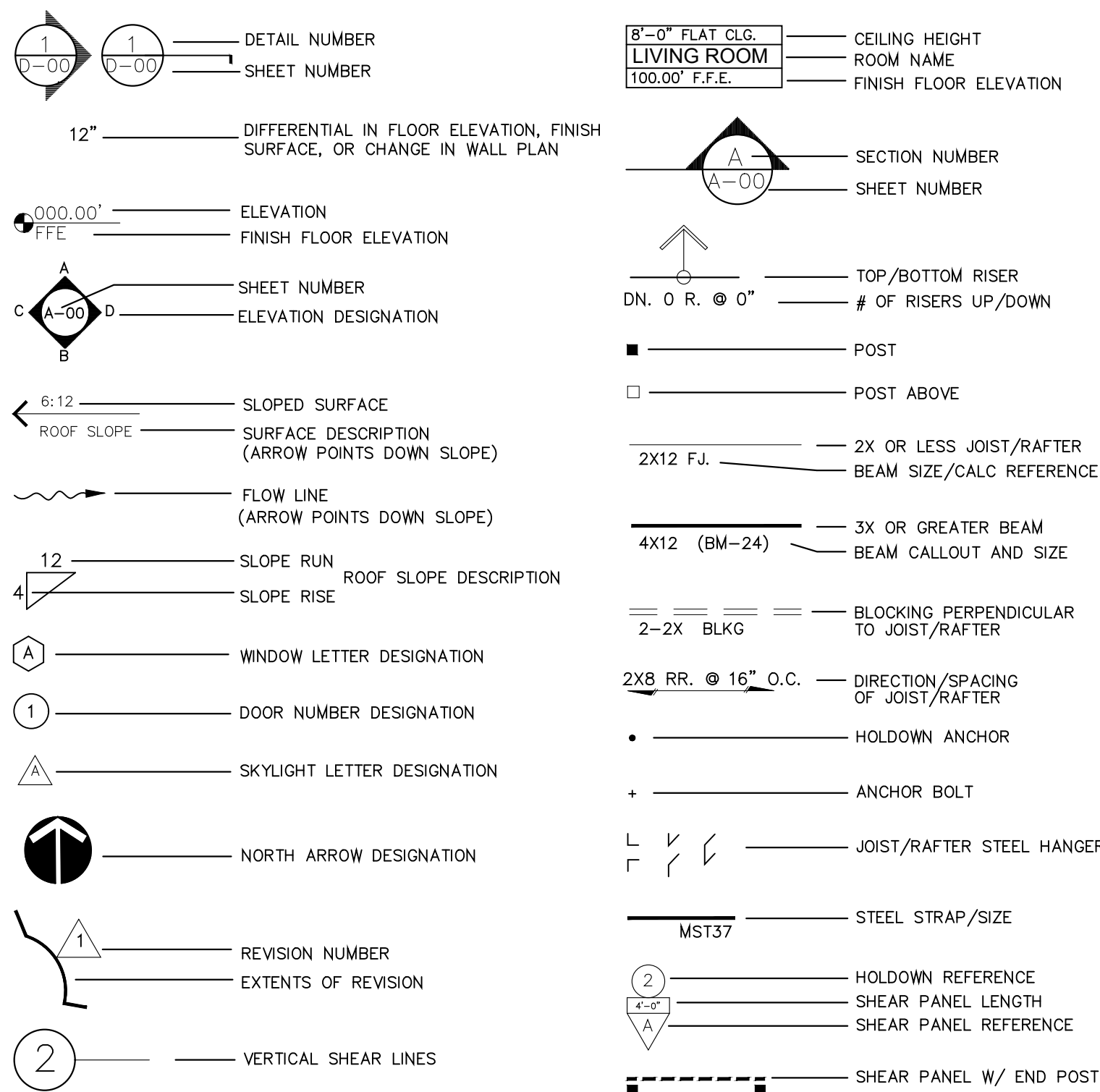
F. THE HEIGHT OF THE THIRD STORY SHALL NOT EXCEED A HEIGHT OF FOURTEEN (14) FEET ABOVE THE UPPER PROPERTY LINE OR UPPER STREET CURB ELEVATION, AS MEASURED PERPENDICULAR TO ANY POINT ALONG SAID LINE OR CURB.

G. APPLICATIONS FOR SITE DEVELOPMENT PERMITS TO ALLOW THREE (3) STORY DEVELOPMENTS ON HILLSIDE PROPERTIES SHALL INCLUDE STORY POLE STAKING AS DESCRIBED IN THE CITY'S APPLICATION REQUIREMENTS FOR A SITE DEVELOPMENT PERMIT.

H. SITE MUST BE STAKED A MINIMUM OF 7 DAYS PRIOR TO HEARING. THE STAKING SHALL FIRST BE REVIEWED AND APPROVED BY THE STAFF PLANNER.

I. THE FOLLOWING ADDITIONAL CONDITIONS SHALL BE MET:  
A. PLANNING FINAL REQUIRED.  
B. SETBACK CERTIFICATION REQUIRED.  
C. BUILDING HEIGHT CERTIFICATION REQUIRED.

## SYMBOL LEGEND



## ABBREVIATION LEGEND

A.B.	ANCHOR BOLT	IUT	TRUSS JOIST HANGER
A.H.	ACTUAL HEIGHT	LAND.	LANDING
A.W.	AWNING WINDOW	L.B.	LAG BOLT
BLKG.	BLOCKING	MAX.	MAXIMUM
BM.	BEAM	M.B.	MACHINE BOLT
BN.	BOUNDARY NAIL	MIN.	MINIMUM
B.O.W.	BOTTOM OF WALL	ML.	MICROLAM
C.FRAME.	CALIFORNIA FRAME	O.C.	ON CENTER
CB.	COLUMNBASE	OP.	OPERABLE
C.H.	CRITICAL HEIGHT	P.A.	POST ABOVE
CLG.	CEILING	P.S.A.	POST/STRAP ABOVE
CLR.	CLEAR	PB.	POSTBASE
CC.	COLUMNCAP	P.C.	PIPE COLUMN
COL.	COLUMN	PC.	POSTCAP
CONC.	CONCRETE	PL.	PARALAM
CONT.	CONTINUOUS	PLINE.	PROPERTY LINE
C.W.	CASEMENT WINDOW	R.B.	ROOF BEAM
DET.	DETAIL	REIN.	REINFORCEMENT
DIA.	DIAMETER	REQ.	REQUIRED
DIM.	DIMENSION	R.R.	ROOF RAFTER
D.J.	DECK JOIST	SECT.	SECTION
DN.	DOWN	SHT.	SHEET
EMB.	EMBEDMENT	SIM.	SIMILAR
ELEV.	ELEVATION	SK.	SKewed
E.N.	END NAILING	SL.	SLOPED
E.W.	EACH WAY	ST./MST./CMST./TS.	STRAP
F.A.	FROM ABOVE	STL.	STEEL
FB.	FLOOR BEAM	SBACK.	STRONGBACK
F.F.E.	FINISH FLOOR ELEVATION	T&B	TOP AND BOTTOM
F.J.	FLOOR JOIST	THK.	THICK
FLR.	FLOOR	T.J.	TRUSS JOIST
FX.	FIXED	T.O.W.	TOP OF WALL
GA.	GAUGE	T.S.	TUBE STEEL
GL.	GLULAM	TYP.	TYPICAL
JST.	JOIST	U.N.O.	UNLESS NOTED OTHERWISE
HD.	HOLDOWN	U.W.A.	UNDER WALL ABOVE
HORZ.	HORIZONTAL	VERT.	VERTICAL
HT.	HEIGHT	V.I.F.	VERIFY IN FIELD
HU/HUC/HUTF	WOOD BEAM HANGER	W.W.F.	WELDED WIRE FABRIC
		W/	WITH

## PROPERTY OWNER

HENDAYA CAPITAL LLC  
CARLOS ESPONDA MORALES, AGENT  
(949) 542-2906  
CLUB CAMPESTRE 33  
QUERETARO, QRO., MEXICO, 76190

## LEGAL DESCRIPTION

LOT NO. 128  
TRACT NO. 968  
MAP BOOK 31, PAGES 1-4  
APN: 682-137-08  
LOT AREA: 2,928 S.F.

## ZONING

GENERAL PLAN USE: RESIDENTIAL 14-22 DU/AC  
ZONE: RSF 22  
SPECIFIC PLAN AREA: NOT IN AREA  
COASTAL ZONE: NOT IN ZONE  
PRD ZONE: NOT IN ZONE  
HOA: NOT IN HOA

## OCCUPANCY

OCCUPANCY: R3/U WITH 1-HOUR SEPARATION  
CONSTRUCTION TYPE: V-B  
NO. OF UNITS: 1  
NO. OF STORIES: 3 + ROOF DECK  
SPRINKLERS: NFPA 13D FULLY SPRINKLERED PER SECTION 313.2

THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

## FLOOR AREAS

ZONING CODE  
(PER SEC 9.05.110(a)4.C, AS MEASURED FROM OUTSIDE FACE OF EXTERIOR WALLS AND EXCLUDING GARAGE)

FLOOR AREA RATIO (FAR):  
= 0.75 LOT AREA,  
LOT AREA = 2,928 S.F.  
MAX ALLOW FLOOR AREA = 2,196 S.F.

PROPOSED FLOOR AREAS:  
FIRST FLOOR = 442 SF  
SECOND FLOOR = 1,183 SF  
THIRD FLOOR = 565 SF  
TOTAL = 2,190 SF  
GARAGE AREA = 400 S.F.

## SETBACK AREAS

SECOND STORY AVERAGE ADDITIONAL YARD SETBACK AREA PER SECTION 9.05.110(a)4.B = 5' X TOTAL STREET ELEVATION STRUCTURE WIDTH  
= 5' X 32' STRUCTURE WIDTH = 160 S.F.

PROVIDED SECOND STORY AREA = 161 S.F.

THIRD STORY AVERAGE ADDITIONAL YARD SETBACK AREA PER SECTION 9.05.110(a)4.B = 10' X TOTAL STREET ELEVATION STRUCTURE WIDTH  
= 10' X 32' STRUCTURE WIDTH = 320 S.F.

PROVIDED THIRD STORY AREA = 744 S.F.

## LOT COVERAGE

SECTION 9.09.030 RESIDENTIAL DEVELOPMENT STANDARDS

MAXIMUM LOT COVERAGE PER 9.09.030 FOOTNOTE 12  
= 50% X LOT AREA, LOT AREA = 2,928 S.F.  
MAXIMUM = 1,464 S.F.

MINIMUM LANDSCAPE COVERAGE PER 9.09.030  
= 20% X LOT AREA, LOT AREA = 2,928 S.F.  
MINIMUM = 585.6 S.F.

PROPOSED AREAS:  
BUILDING COVERAGE = 1,289 S.F. = 44%  
LANDSCAPE COVERAGE = 646 S.F. = 22%  
PAVING COVERAGE = 993 S.F. = 34%  
LOT AREA = 2,928 S.F. = 100%

## ON-SITE PARKING

(2) FULL SIZE SPACES LOCATED IN GARAGE

## SCOPE OF WORK

1. CONSTRUCTION OF NEW 3-STORY PLUS ROOF DECK SINGLE-FAMILY DWELLING WITH ATTACHED 2-CAR GARAGE ON PREVIOUSLY UNDEVELOPED LOT.

## JURISDICTIONS

STATE OF CALIFORNIA  
COUNTY OF ORANGE  
CITY OF DANA POINT

## APPLICABLE CODES

2019 TRIENNIAL EDITION OF TITLE 24, CALIFORNIA CODE OF REGULATIONS:

PART 1 - CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (CAC)

PART 2.5 - CALIFORNIA RESIDENTIAL BUILDING CODE (CBC)

PART 3 - CALIFORNIA ELECTRICAL CODE (CEC)  
PART 4 - CALIFORNIA MECHANICAL CODE (CMC)  
PART 5 - CALIFORNIA PLUMBING CODE (CPC)  
PART 6 - CALIFORNIA ENERGY CODE (CEC)  
PART 9 - CALIFORNIA FIRE CODE (CFC)  
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

2019 TITLE-24 ENERGY REGULATIONS

2020 ORANGE COUNTRY FIRE CODE

2021 DANA POINT MUNICIPAL CODE

## CONSULTANTS

SURVEYOR:  
JONES, CAHL & ASSOCIATES, INC.  
(714) 848-6322  
18090 BEACH BOULEVARD, SUITE 12  
HUNTINGTON BEACH, CA 92648

GEOTECHNICAL INVESTIGATION:  
SOIL PACIFIC INC.  
(714) 492-8586  
(714) 879-1203  
675 N ECKHOFF, SUITE A  
ORANGE, CA 92668

CIVIL ENGINEERING:  
TOAL ENGINEERING  
(949) 492-8586  
139 AVENIDA NAVARRO  
SAN CLEMENTE, CA 92672

## SHEET INDEX

COVER	PROJECT INFORMATION
C-1	SURVEY
C-2	PRELIMINARY GRADING PLAN
A-1	SITE PLAN & SITE WALL PLAN
A-2	LAYOUT COMPARISON PLANS
A-3	FLOOR & ROOF PLANS
A-4	EXTERIOR ELEVATIONS & MATERIALS
A-5	EXTERIOR ELEVATION, SECTION & MATERIALS
A-6	CONCEPTUAL MODEL VIEWS
A-7	CONCEPTUAL MODEL VIEWS
A-8	LANDSCAPE PLAN

## BUILDING HEIGHTS

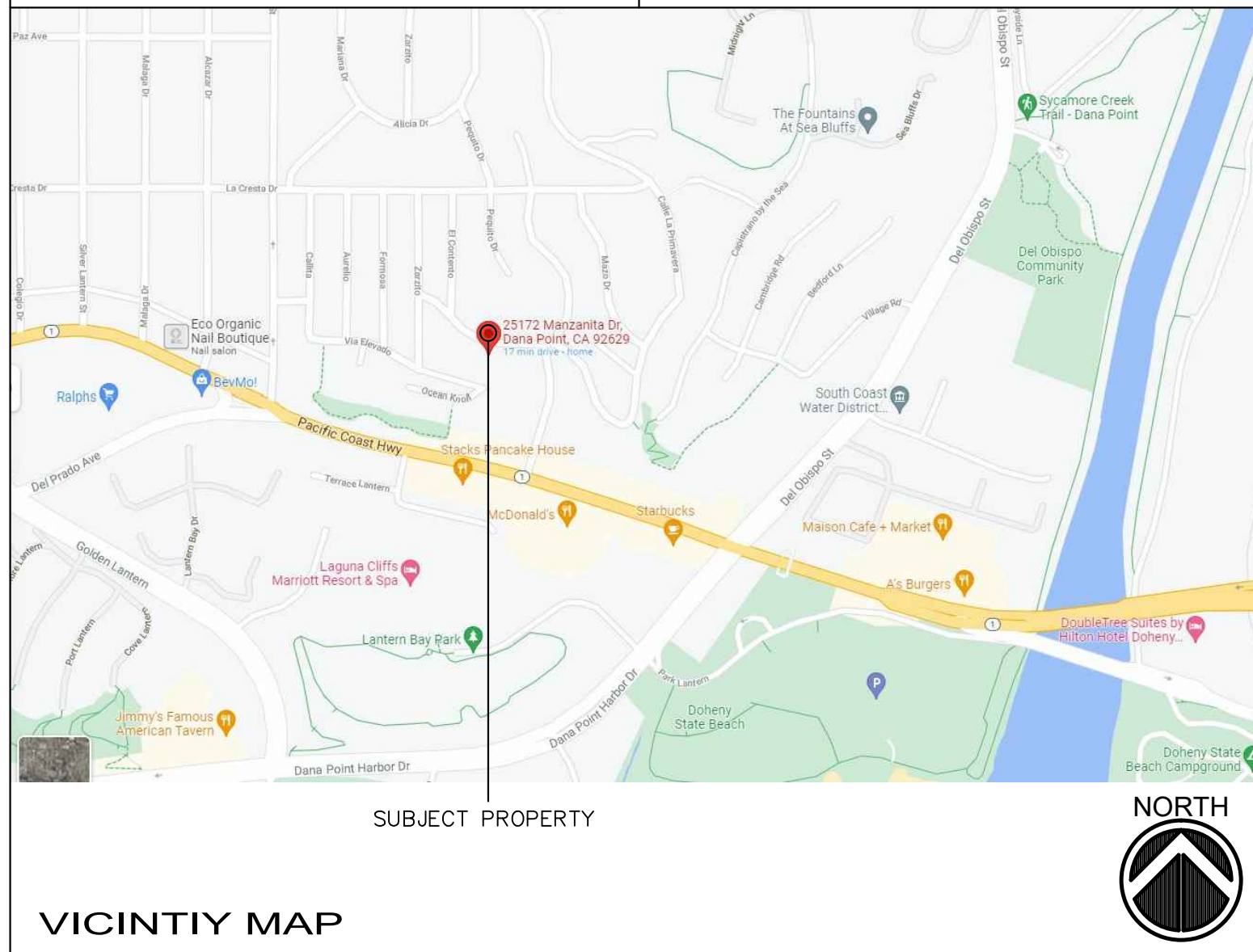
SECTION 9.05.110 MEASUREMENT OF BUILDING HEIGHT

MAXIMUM NUMBER OF STORIES PER SEC 9.05.110(a)4 = 3 STORIES

HILLSIDE CONDITION PER SECTION 9.05.110(a)4.A TOPOGRAPHIC SLOPE PERCENTAGE OF 20% OR GREATER. ACTUAL TOPOGRAPHIC SLOPE = (HIGHEST ELEVATION POINT AT REAR - HIGHEST ELEVATION POINT AT FRONT) / HORIZONTAL DISTANCE  
= (118.90' - 88.25') / 67.88'  
= 30.65' / 67.88'  
ACTUAL TOPOGRAPHIC SLOPE = 45.15%

MAXIMUM BUILDING HEIGHT PER SEC 9.05.110(a)7 (WITH ROOF PITCH OF 6:12 OR GREATER) = 33 FT.

PROPOSED MAXIMUM BUILDING HEIGHT = 29.96 FT.

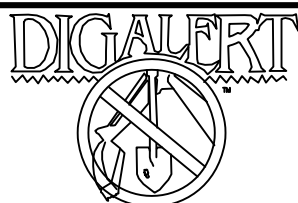
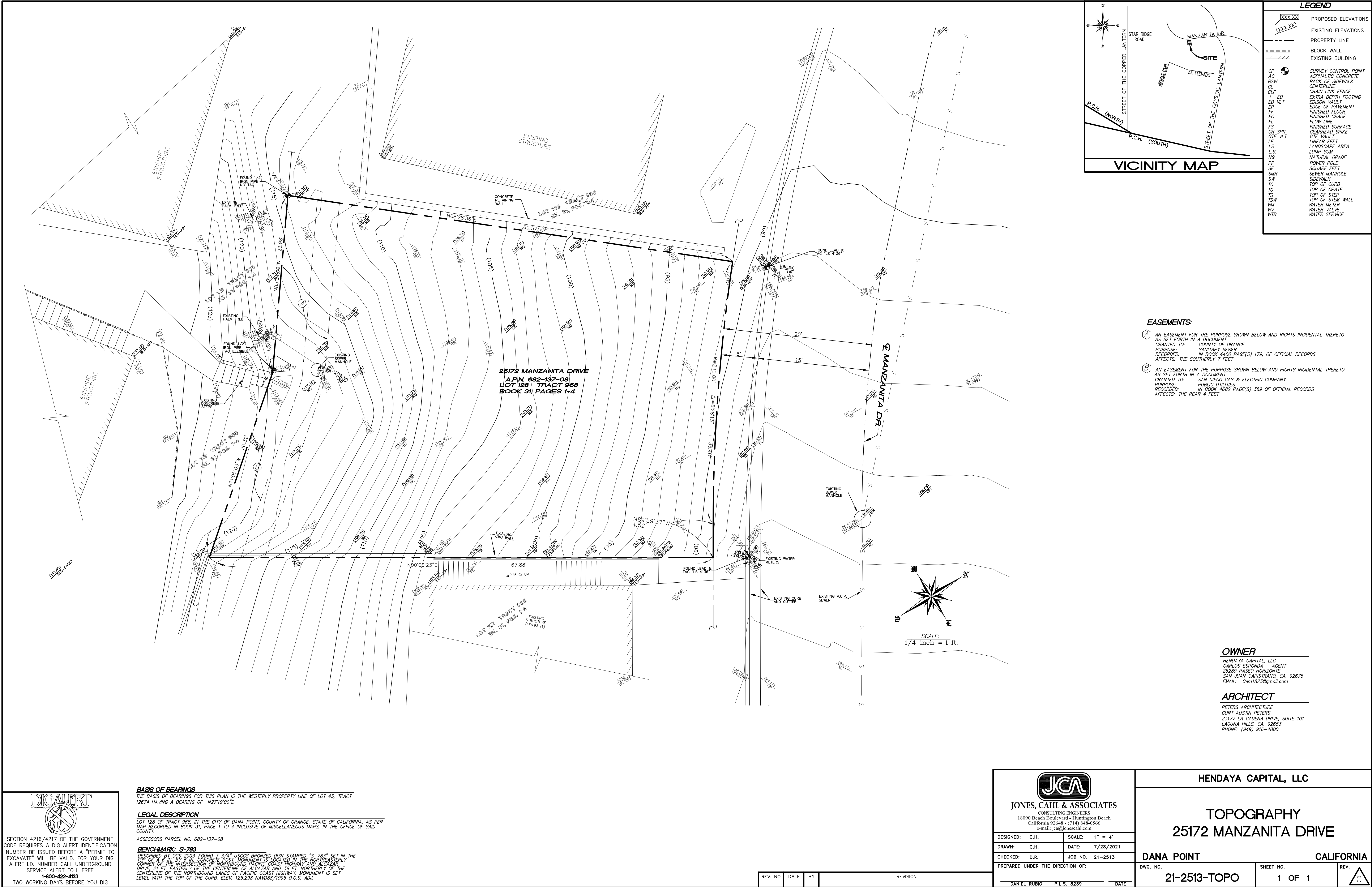


REVISIONS
1 2021-09-03 SITE DEVELOPMENT PERMIT SUBMITTAL
2 2021-12-29 SITE DEVELOPMENT PERMIT RESUBMITTAL
3 2022-02-07 SITE DEVELOPMENT PERMIT RESUBMITTAL

## PROJECT INFORMATION

## COVER





SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4393 TWO WORKING DAYS BEFORE YOU DIG

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS PLAN IS THE WESTERLY PROPERTY LINE OF LOT 43, TRACT 12674 HAVING A BEARING OF N27°19'00"E

**LEGAL DESCRIPTION**  
LOT 128 OF TRACT 968, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGE 1 TO 4 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF SAID COUNTY.

**ASSESSORS PARCEL NO.** 682-137-08  
**BENCHMARK: S-783**  
DESCRIBED BY OCS 2003-FOUND 3.3/4" USGS BRONZED DISK STAMPED "S-783" SET IN THE TOP OF A 6 IN. BY 6 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE NORTHEASTERLY CORNER OF THE INTERSECTION OF NORTHBOND PACIFIC COAST HIGHWAY AND ALCAZAR DRIVE. 21 FT. EASTERLY OF THE CENTERLINE OF ALCAZAR AND 39 FT. NORTHERLY OF THE CENTERLINE OF THE NORTHBOND LANES OF PACIFIC COAST HIGHWAY. MONUMENT IS SET LEVEL WITH THE TOP OF THE CURB. ELEV. 125.298 NAVD83/1985 O.C.S. ADJ.

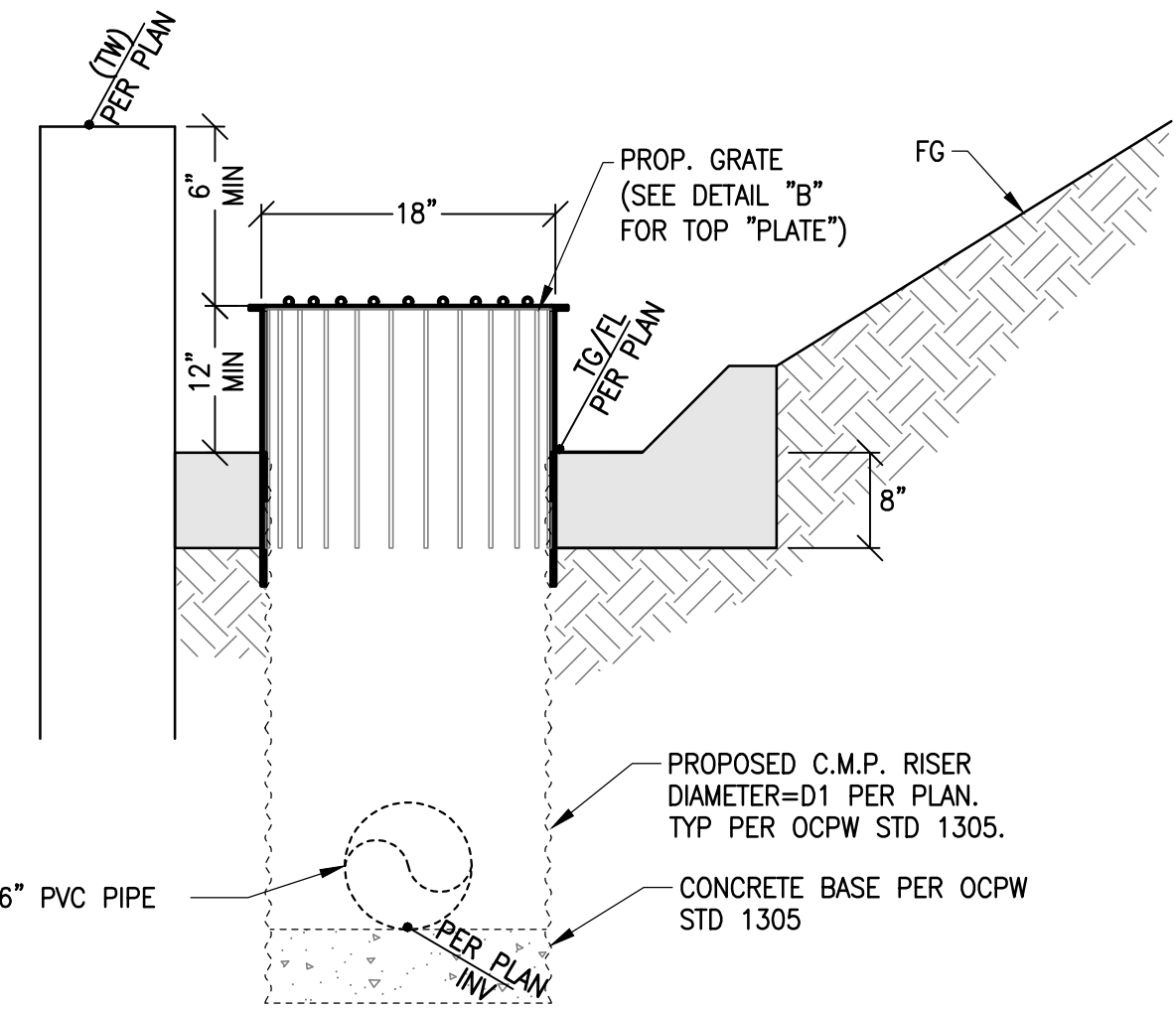
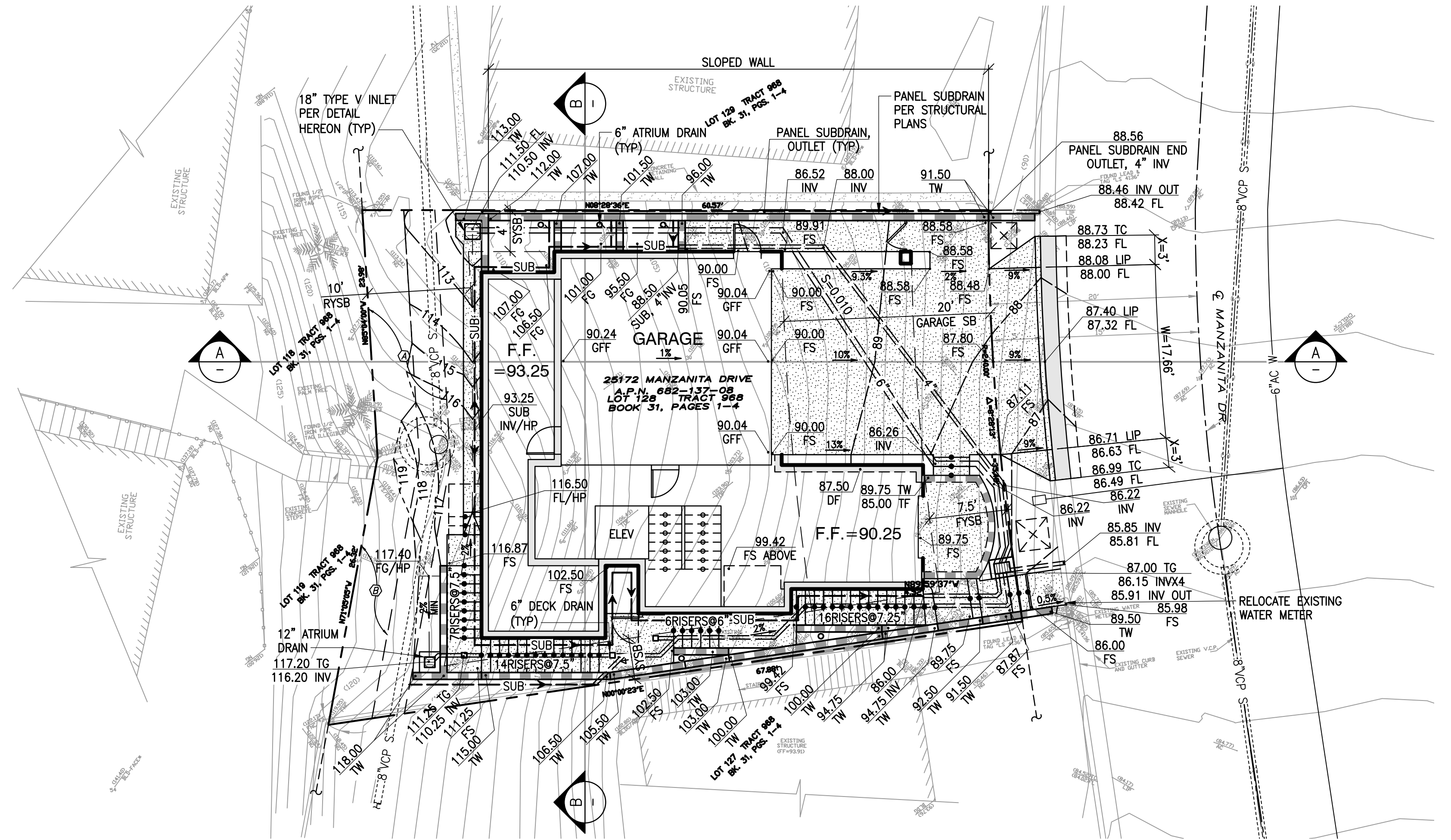


# LEGEND

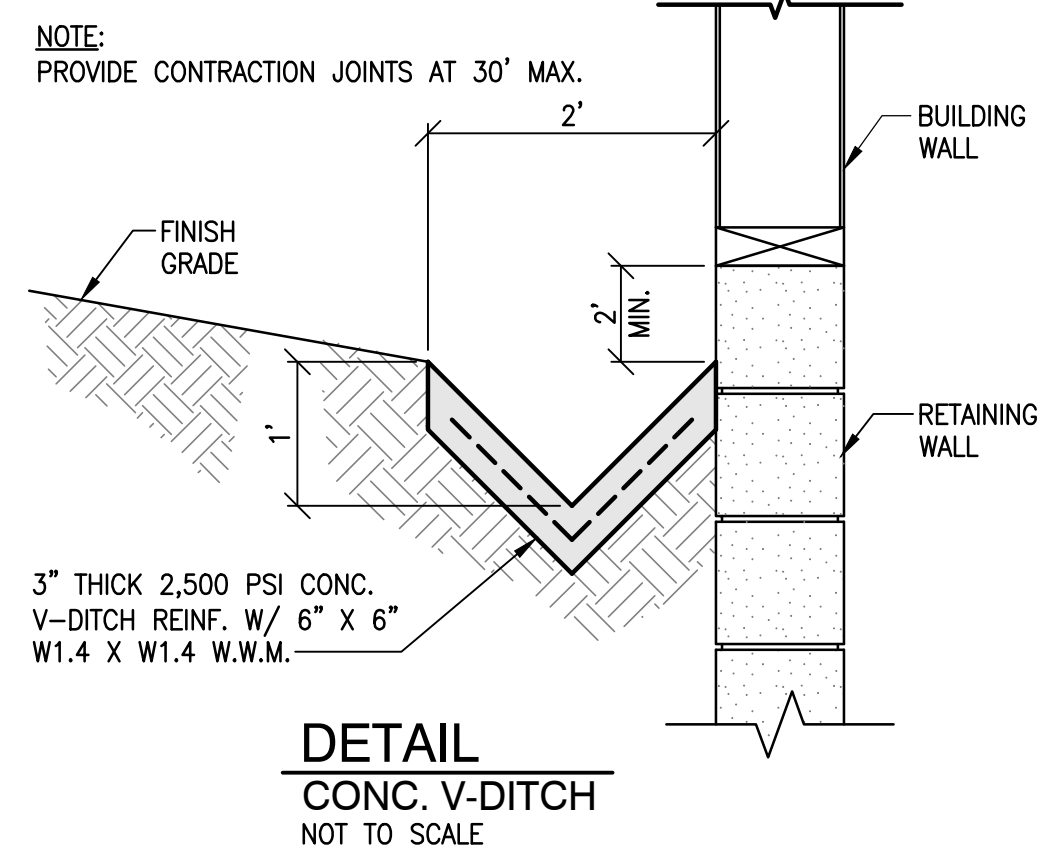
100	EXISTING CONTOUR	F.F.	PROPOSED FINISHED FLOOR
100	PROPOSED CONTOUR	GB	GRADE BREAK
100.00	SPOT ELEVATION	INV	INVERT OF PIPE
	PROPOSED CONCRETE PAVING	TG	TOP OF GRATE
FM	PROP. FORCE MAIN	P.L.	PROPERTY LINE
4"	PROPOSED STORM DRAIN	TW	TOP OF WALL
SUB	PROP. SUBDRAIN	TF	TOP OF FOOTING
	PROPOSED BEARING/RETAINING WALL	BW	BOTTOM OF WALL
	EXISTING SCREEN WALL	W.F.	WATER FEATURE
	PROPOSED SCREEN WALL	T.P.	TOP OF PILASTER
	PROPOSED RETAINING WALL	PAD	PROPOSED PAD ELEVATION
	GRADING LIMITS	T/SLAB	PROPOSED TOP OF SLAB
DS	DOWNSPOUT	FS	PROPOSED FINISHED SURFACE
	GEOGRID LIMITS	FG	PROPOSED FINISHED GROUND
	TREE BOX	P.A.	PLANTER AREA
		F.P.	FIRE PIT

# EASEMENTS

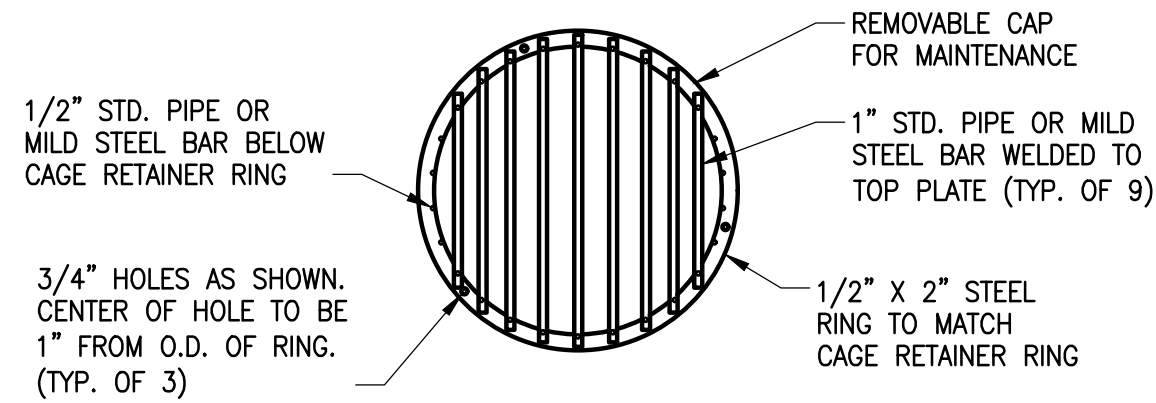
- A** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT  
 GRANTED TO: COUNTY OF ORANGE  
 PURPOSE: SANITARY SEWER  
 RECORDED: IN BOOK 4400 PAGE(S) 179, OF OFFICIAL RECORDS  
 AFFECTS: THE SOUTHERLY 7 FEET
- B** AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT  
 GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDED: IN BOOK 4682 PAGE(S) 389 OF OFFICIAL RECORDS  
 AFFECTS: THE REAR 4 FEET



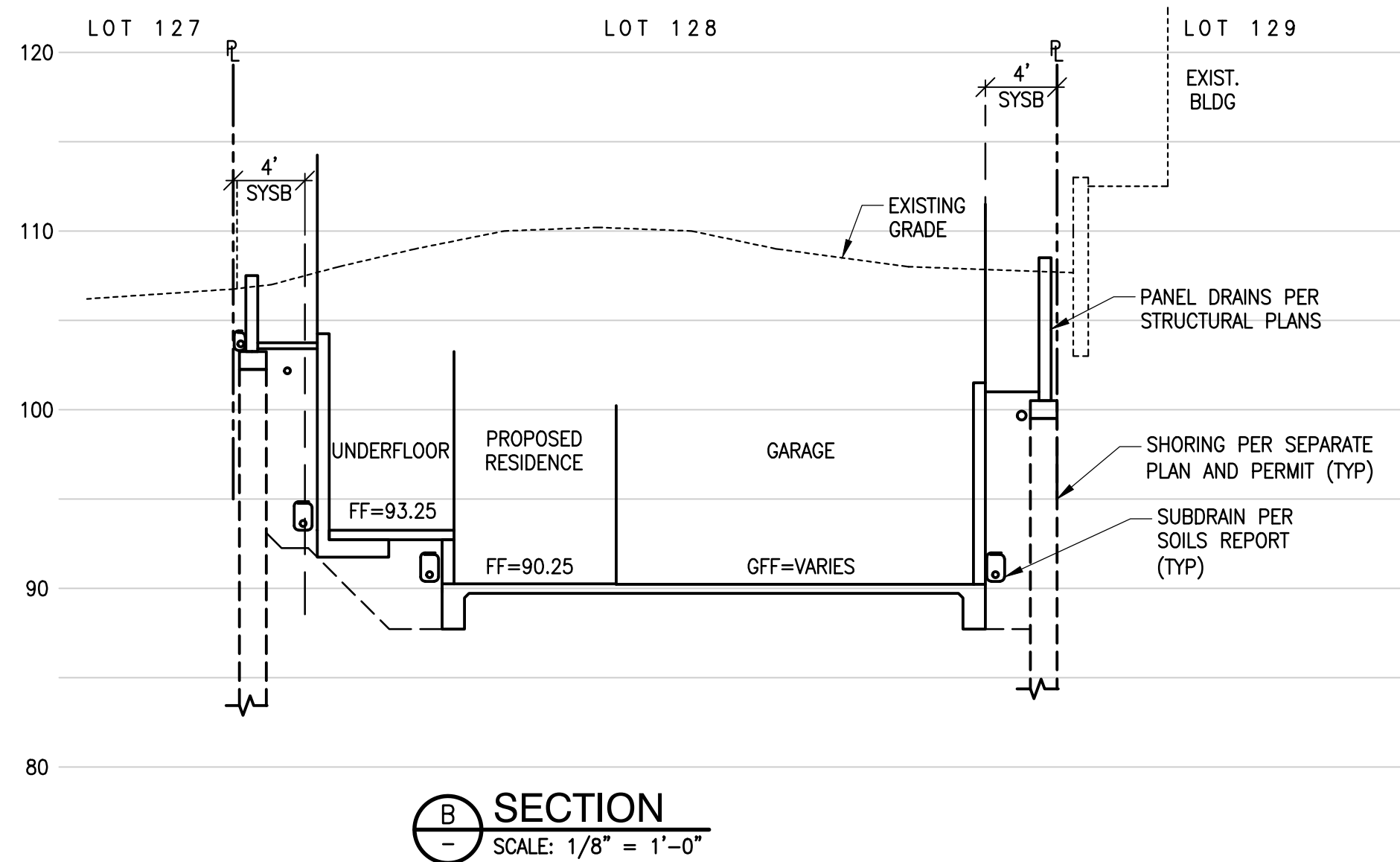
DETAIL  
NOT TO SCALE



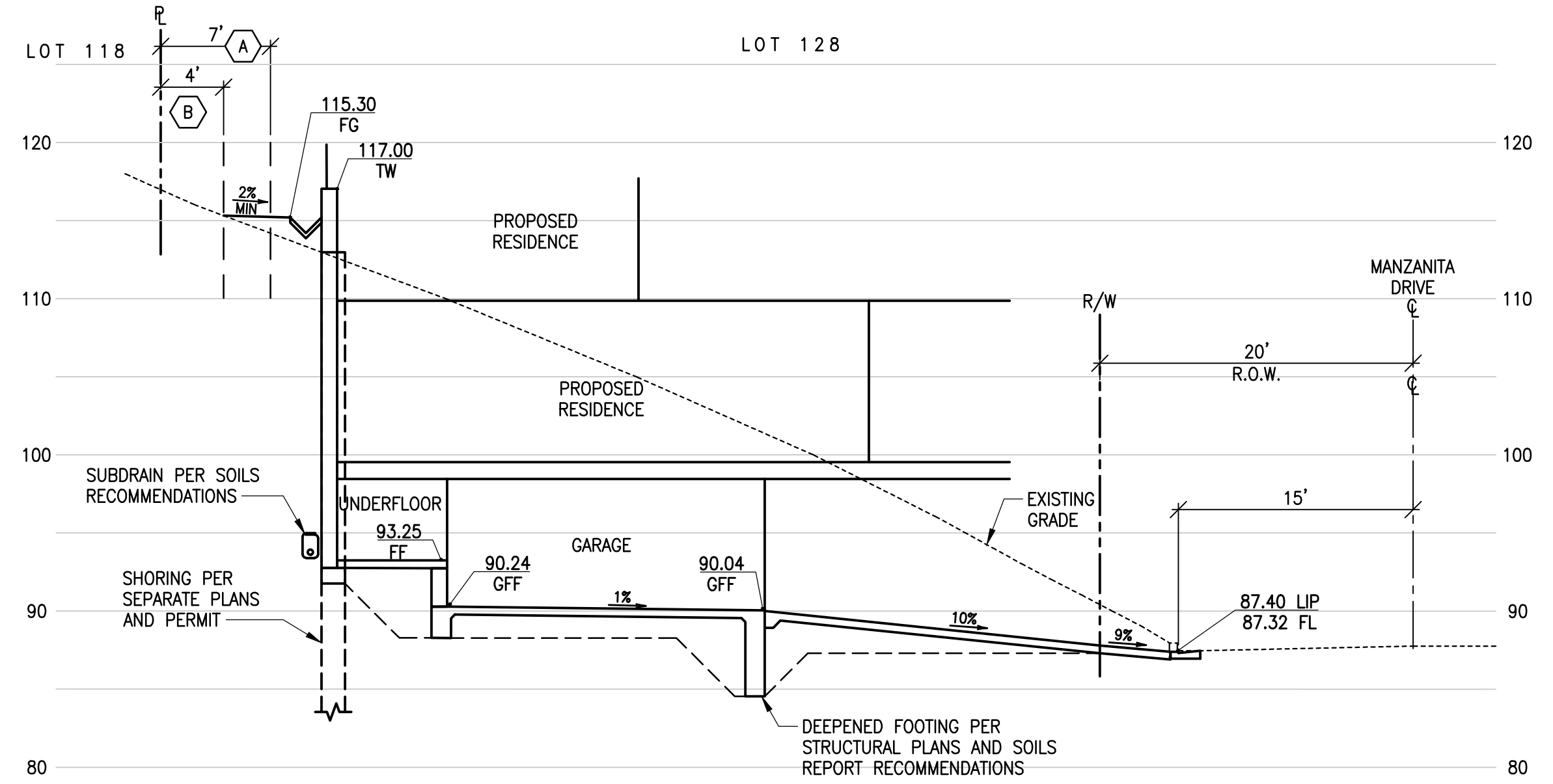
DETAIL  
CONC. V-DITCH  
NOT TO SCALE



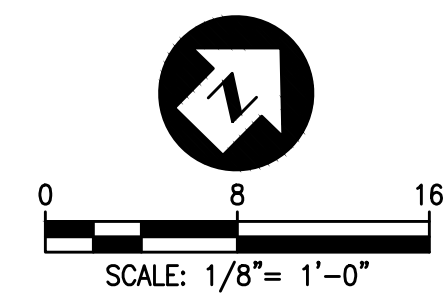
DETAIL "B"  
TOP PLATE FOR TYPE V INLET  
NOT TO SCALE



SECTION  
SCALE: 1/8" = 1'-0"



SECTION  
SCALE: 1/8" = 1'-0"



PRELIMINARY PLAN NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: 1" = 8'	DESIGNED: A.H.V.	DRAWN: A.H.V.	CHECKED: C.R.
DATE: 11/29/2021			
PROJECT NO.: 21241	ENGINEER OF WORK		

PLANS PREPARED BY:  
**TOAL ENGINEERING, INC.**  
 CIVIL ENGINEERING  
 LAND SURVEYING  
 STORMWATER QUALITY  
 139 Avenida Novato  
 San Clemente, CA 92673  
 (949) 492-8550  
 www.toalengineering.com

BENCHMARK
O.C.S.B.M.: 3B-52-68
DATUM: NAVD 88
ELEVATION: 18.235 FT.
ADJUSTED: 1989

APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	
CITY PLANNING DEPARTMENT	DATE

PLANS REVIEWED BY:  
 CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES  
 33282 GOLDEN LANTERN  
 DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER  
 RCE #59239 EXP. 06/30/19

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT  
 PRELIMINARY GRADING PLAN  
 25172 MANZANITA DRIVE, DANA POINT, CA  
 LOT 128 TRACT 968  
 APN: 691-137-08

C-1
PLAN CHECK NO. 
1 OF 1 SHEETS



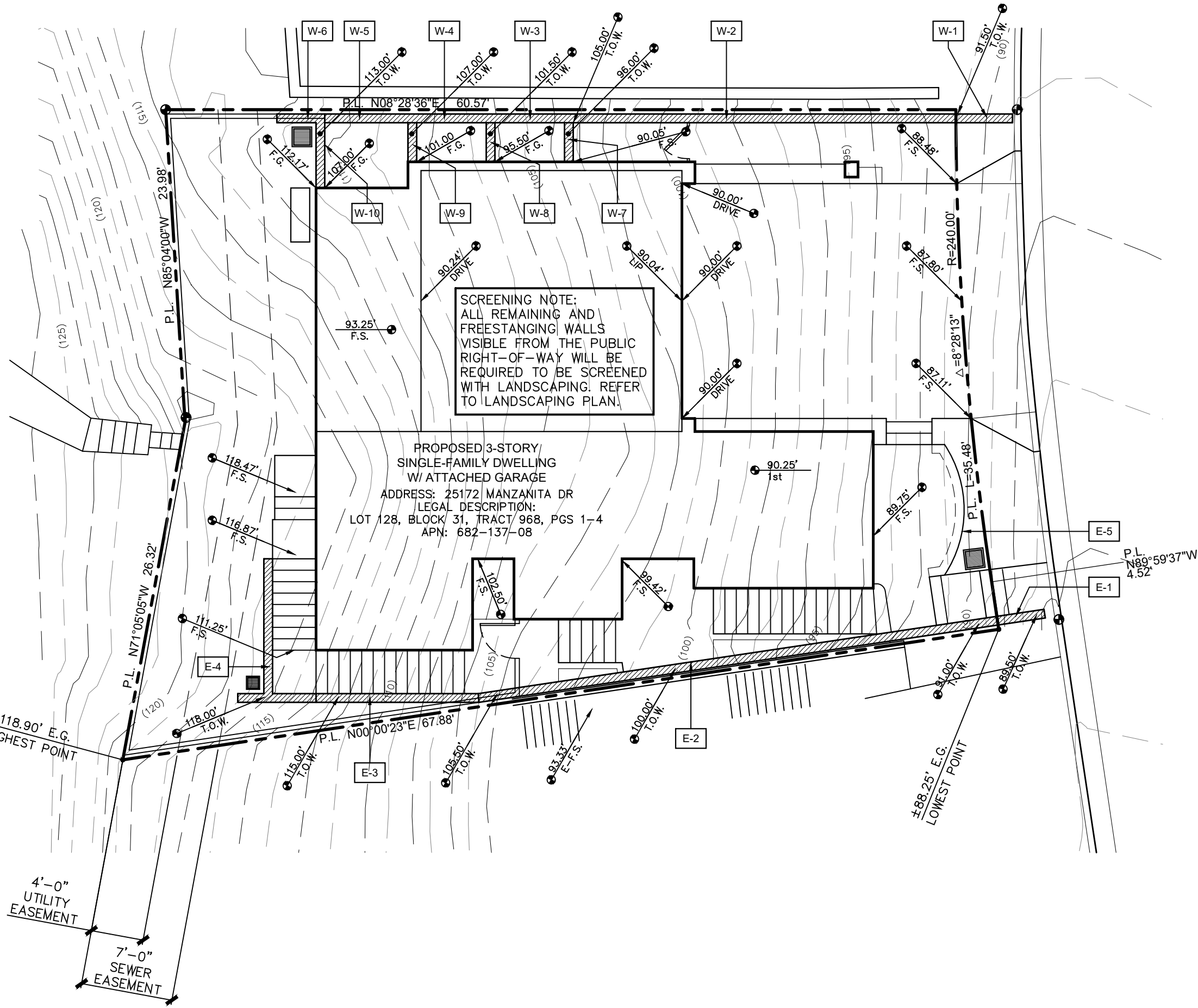
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SITE WALL LEGEND				
WALL TAG	WALL LENGTH	MAXIMUM WALL HEIGHT	FACES STREET	FINISH MATERIAL
WESTERLY WALLS				
W-1	4'-4"	2.0'	NO	STUCCO
W-2	29'-4"	14.95'	NO	STUCCO
W-3	6'-0"	11.5'	NO	STUCCO
W-4	6'-0"	7.0'	NO	STUCCO
W-5	7'-0"	3.0'	NO	STUCCO
W-6	3'-7"	1.5'	NO	STUCCO
W-7	3'-0"	5.95'	YES	STUCCO
W-8	3'-0"	6.0'	YES	STUCCO
W-9	3'-0"	6.0'	YES	STUCCO
W-10	5'-0"	6.0'	YES	STUCCO
EASTERLY WALLS				
E-1	3'-8"	2.0'	NO	STUCCO
E-2	42'-3"	3.5'	NO	STUCCO
E-3	18'-6"	4.75'	NO	STUCCO
E-4	10'-4"	6.75'	YES	STUCCO
E-5	12'-7"	1.87'	YES	STUCCO

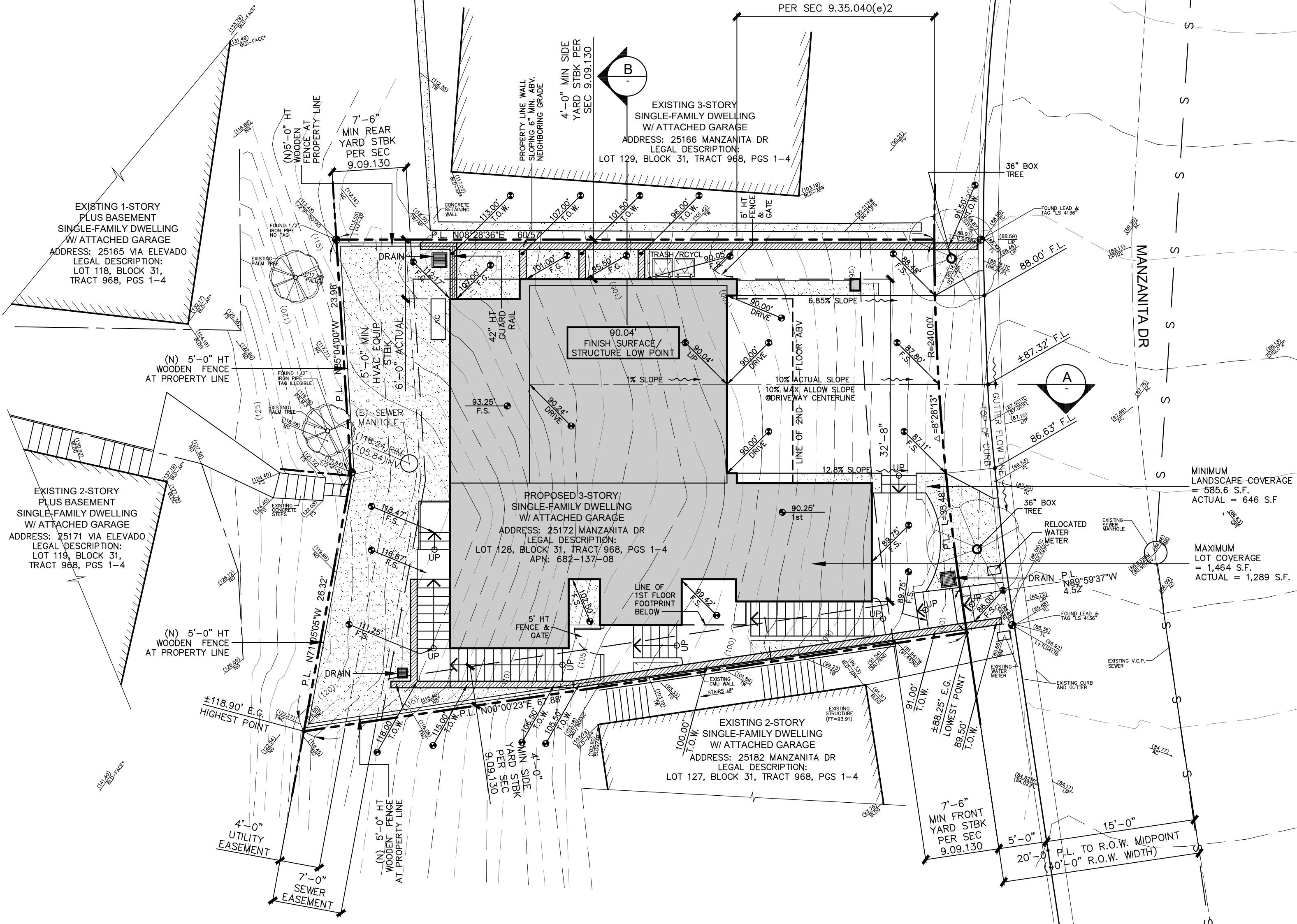
SLOPE PERCENTAGE CALCULATION

HIGHEST POINT ALONG P.L. (S.E. CORNER)  
=118.90'  
LOWEST POINT ALONG P.L. (N.E. CORNER)  
=88.25'  
VERTICAL DIFFERENCE  
=118.90'-88.25'=30.65'  
HORIZONTAL DISTANCE BETWEEN POINTS  
= 67.88'  
SLOPE PERCENTAGE  
=30.65'÷67.88'=45.1%

SITE PLAN LEGEND	
GRAPHIC	DESCRIPTION
	BUILDING FOOTPRINT AREA
	HARDSCAPE IMPERVIOUS SURFACES
	PLANTED PERVIOUS SURFACES
	SITE RETAINING WALL
	PROPERTY LINE
	LINE OF FLOOR ABOVE
	EXISTING TOPOGRAPHY
	FINISHED SURFACE
	INDICATES TOP OF CURB
	INDICATES FLOW LINE
	FINISH SURFACE
	TOP OF WALL
	TOP OF RAIL
	EXISTING POINT ELEVATION
	PROPOSED POINT ELEVATION
	PROPOSED SURFACE ELEVATION
	EXISTING POINT ELEVATION
	DRAINAGE SURFACE FLOW DIRECTION
	AREA DRAIN
	DOWNSPOUT



SITE WALL PLAN  
SCALE: 1/8"=1'-0"



SITE PLAN  
SCALE: 1/8"=1'-0"

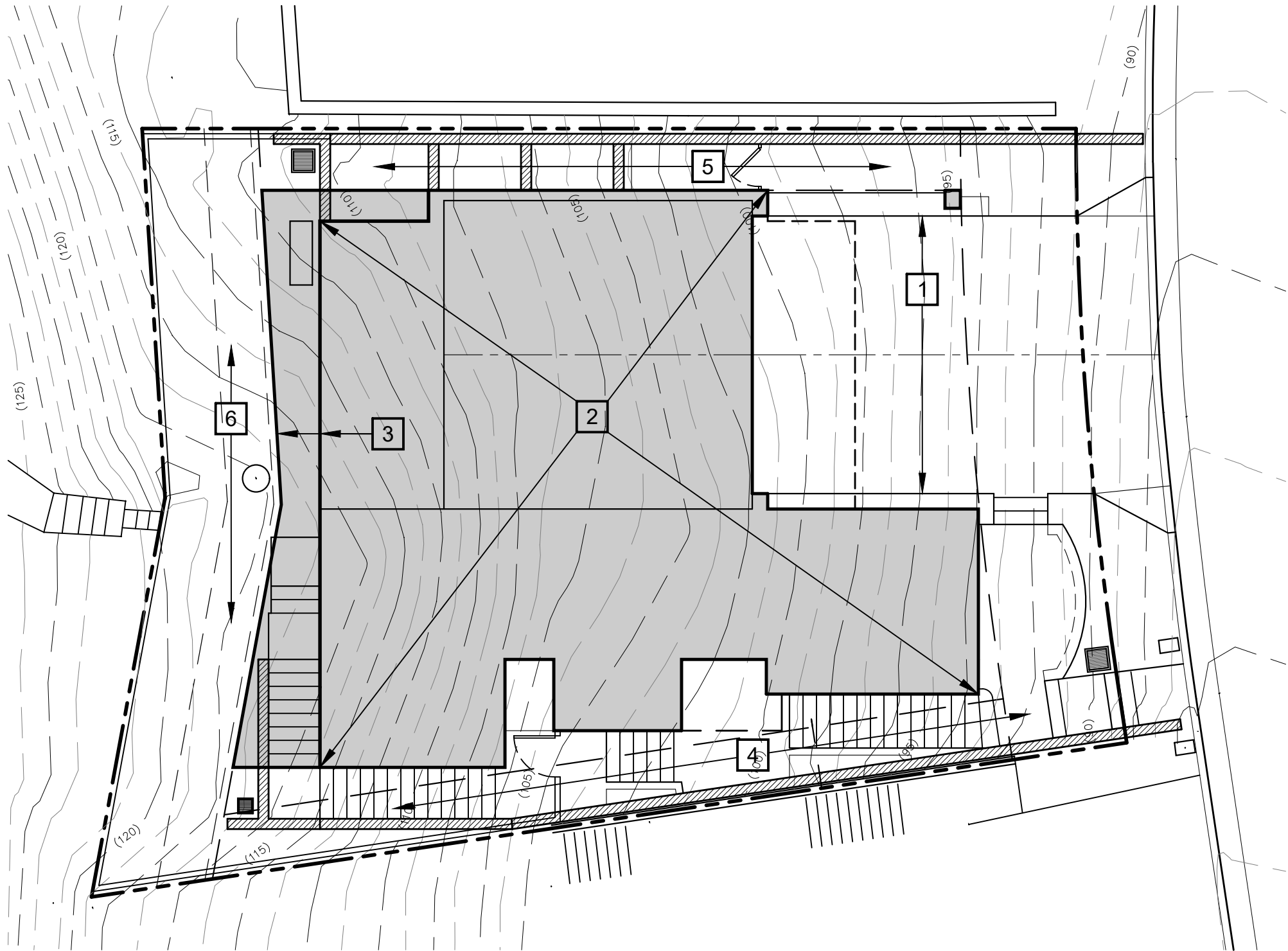
**Peters Architecture**  
23177 La Cadena Drive  
Suite 101  
Laguna Hills, CA 92653  
(949) 916-4800  
info@capeters.com  
www.capeters.com

**Casa de Manzanita**  
25172 Manzanita Drive  
Dana Point, CA 92629

- REVISIONS
- 1 2021-09-03 SITE DEVELOPMENT PERMIT SUBMITTAL
  - 2 2021-12-29 SITE DEVELOPMENT PERMIT RESUBMITTAL
  - 3 2022-02-07 SITE DEVELOPMENT PERMIT RESUBMITTAL

SITE PLAN &  
SITE WALL PLAN

A-1



2-STORY COMPARISON LAYOUT  
RESULTING IN INCREASED GRADING

- 1

DRIVEWAY  
PLACEMENT

THE REMOVAL OF THE THIRD FLOOR WOULD NOT CHANGE THE DRIVEWAY  
PLACEMENT.
- 2

BUILDING  
PAD ELEVATION

THE REMOVAL OF THE THIRD FLOOR WOULD NOT CHANGE THE BUILDING  
PAD ELEVATION.
- 3

BUILDING  
PAD EXTENTS

THE SOUTHERLY EXTENTS OF THE BUILDING PAD WOULD BE EXTENDED TO  
THE REAR SETBACK LINE IN ORDER TO CAPTURE ADDITIONAL FLOOR AREA  
ON THE FIRST AND SECOND FLOORS TO MAKE UP FOR THE LOST FLOOR  
AREA RESULTING FROM THE THIRD FLOOR REMOVAL. THIS INCREASED  
REAR YARD BUILDING PAD, RESULTING IN AN 147 S.F. INCREASE IN BUILDING  
FOOTPRINT AREA, WOULD RESULT IN A SIGNIFICANT INCREASE IN  
EXCAVATION GRADING SINCE IT OCCURS AT THE DEEPEST PORTION OF THE  
BUILDING PAD CUT.

ADDITIONAL EXCAVATION GRADING QUANTITY IF BUILDING FOOTPRINT  
WAS EXTENDED TO REAR YARD SETBACK:

ADDITIONAL BUILDING FOOTPRINT COVERAGE = 147 S.F.

APPROXIMATE CUT DEPTH AT ADDITIONAL FOOTPRINT AREA = 25 FT

RESULTING ADDITIONAL EXCAVATION GRADING

= (147 FT X 25 FT) / 27 CU FT PER CUT YD

= 136 CU YD

4

EASTERLY  
SIDE YARD

NO CHANGE IN THE EASTERLY SIDE YARD WOULD BE MADE.

5

WESTERLY  
SIDE YARD

NO CHANGE IN THE WESTERLY SIDE YARD WOULD BE MADE.

6

REAR  
YARD

NO CHANGE IN THE WESTERLY SIDE YARD WOULD BE MADE.
- 2-STORY COMPARISON LAYOUT
- SCALE: 1/8"=1'-0"
- 
- PROPOSED 3-STORY LAYOUT  
DESIGNED TO MINIMIZE GRADING
- 1

DRIVEWAY  
PLACEMENT

DRIVEWAY IS PLACED ALONG HIGHER PORTION OF STREET, OCCURRING AT  
WESTERLY PORTION OF PROPERTY FRONTAGE, AND IS SLOPED UP FROM  
STREET TO FACE OF GARAGE.

2

BUILDING  
PAD ELEVATION

AS A RESULT OF DRIVEWAY PLACEMENT AND SLOPE, BUILDING PAD IS  
ELEVATED ABOVE THE STREET LEVEL.

IF DRIVEWAY WAS PLACED ALONG LOWER PORTION OF STREET,  
OCCURRING AT EASTERLY PORTION OF PROPERTY FRONTAGE, AND WAS  
SLOPED DOWN FROM STREET TO FACE OF GARAGE, THE RESULTING  
BUILDING PAD WOULD BE LOCATED AT LEAST THREE FEET LOWER  
RESULTING IN SIGNIFICANTLY INCREASED EXCAVATION GRADING.

ADDITIONAL EXCAVATION GRADING QUANTITY IF DRIVEWAY WAS  
POSITIONED AT EASTERLY PORTION OF PROPERTY FRONTAGE  
AND DRIVEWAY WAS NOT SLOPED UPWARD:

BUILDING FOOTPRINT COVERAGE = 1,289 S.F.

APPROXIMATE BUILDING PAD ELEVATION REDUCTION = 3 FT

RESULTING ADDITIONAL EXCAVATION GRADING

= (1,289 FT X 3 FT) / 27 CU FT PER CUT YD

= 143 CU YD

3

BUILDING  
PAD EXTENTS

THE SOUTHERLY EXTENTS OF THE BUILDING PAD HAS BEEN POSITIONED  
AWAY FROM THE REAR SETBACK AS MUCH AS POSSIBLE TO REDUCE  
EXCAVATION GRADING OCCURRING AT THE DEEPEST PORTION OF THE  
GRADING CUT.

4

EASTERLY  
SIDE YARD

LANDINGS AND STAIRS WITHIN THE EASTERLY SIDE YARD HAVE BEEN  
POSITIONED AS CLOSE TO EXISTING GRADE ELEVATIONS AS POSSIBLE TO  
MINIMIZE WALL HEIGHTS AND GRADING AND TO MINIMIZE IMPACT ON  
EASTERLY NEIGHBORING PROPERTY.

5

WESTERLY  
SIDE YARD

LANDINGS AND TERRACE PLANTERS WITHIN THE WESTERLY SIDE YARD  
HAVE BEEN LOCATED TO PROVIDE SIDE YARD PEDESTRIAN ACCESS TO THE  
GARAGE. PROPOSED CUTS IN SIDE YARD HAVE NO IMPACT ON EASTERLY  
RESIDENCE BECAUSE THE PROPERTY RETAINING WALLS AND CUTS IN  
OCCURRING AT THE EASTERLY PROPERTY FAR EXCEED THE MAXIMUM  
ELEVATION AND ARE MUCH MORE EXTENSIVE THAN THOSE PROPOSED IN  
SUBJECT PROPERTY.

6

REAR  
YARD

WALLS WILL NOT BE LOCATED IN THE REAR YARD SINCE MOST OF THE  
REAR YARD IS OCCUPIED BY UTILITY EASEMENTS. THIS WILL RESULT IN  
ONLY MINOR FINISHED GRADING ALONG THE REAR FOOTPRINT OF THE  
BUILDING.

3-STORY PROPOSED LAYOUT

SCALE: 1/8"=1'-0"

Casa de  
Manzanita  
25172 Manzanita Drive  
Dana Point, CA 92629

REVISIONS	
1	2021-09-03 SITE DEVELOPMENT PERMIT SUBMITTAL
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LAYOUT  
COMPARISON  
PLANS

A-2



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FLOOR PLAN LEGEND	
GRAPHIC	DESCRIPTION
	BUILDING FOOTPRINT AREA
	CONCRETE WALL
	MINIMUM REQUIRED ADDITIONAL SETBACK AREA

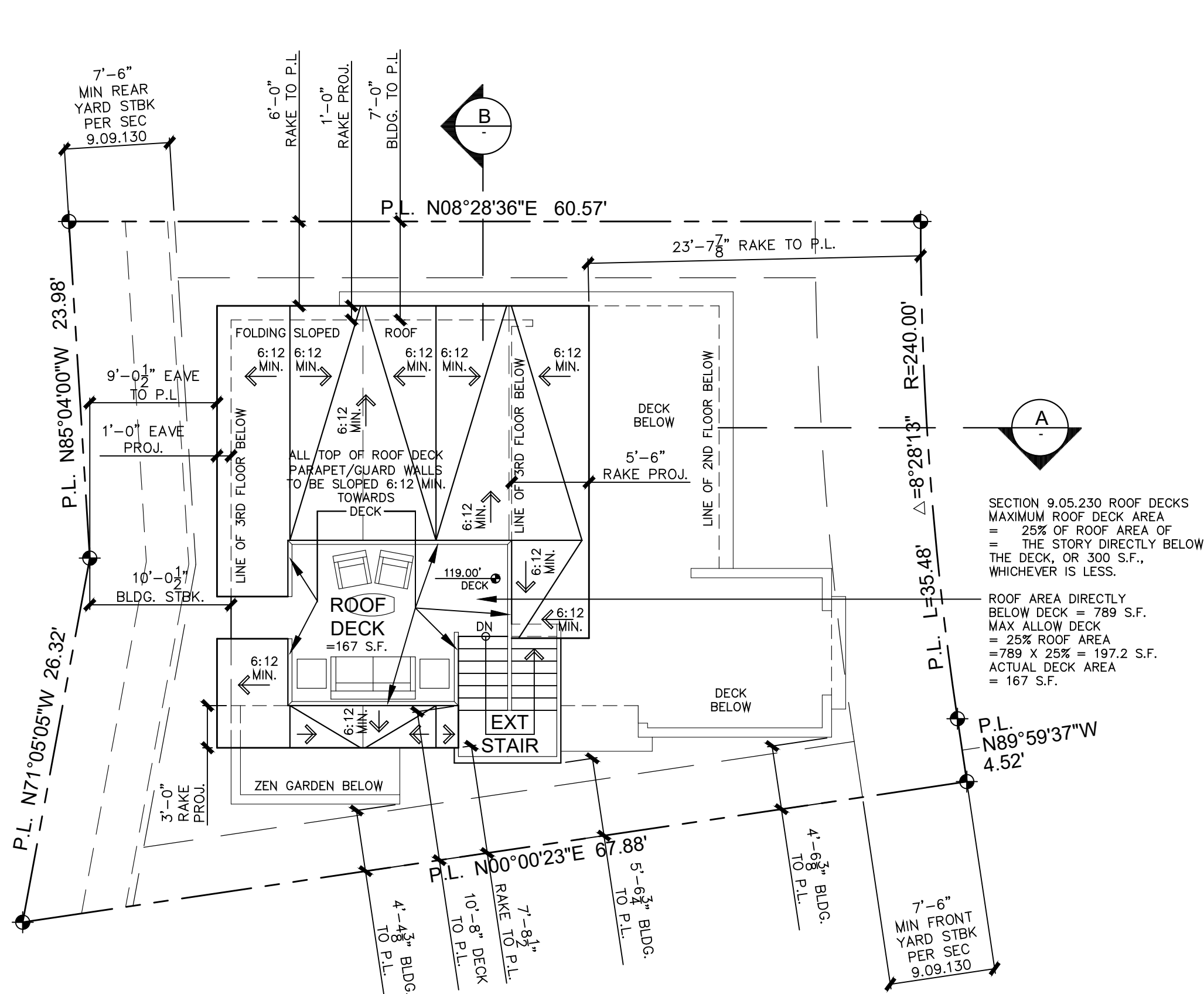
### FLOOR AREAS

**ZONING CODE**  
(PER SEC 9.05.110(a)4.C, AS MEASURED FROM OUTSIDE FACE OF EXTERIOR WALLS AND EXCLUDING GARAGE)

FLOOR AREA RATIO (FAR):  
= 0.75 LOT AREA,  
LOT AREA = 2,928 S.F.  
MAX ALLOW FLOOR AREA = 2,196 S.F.

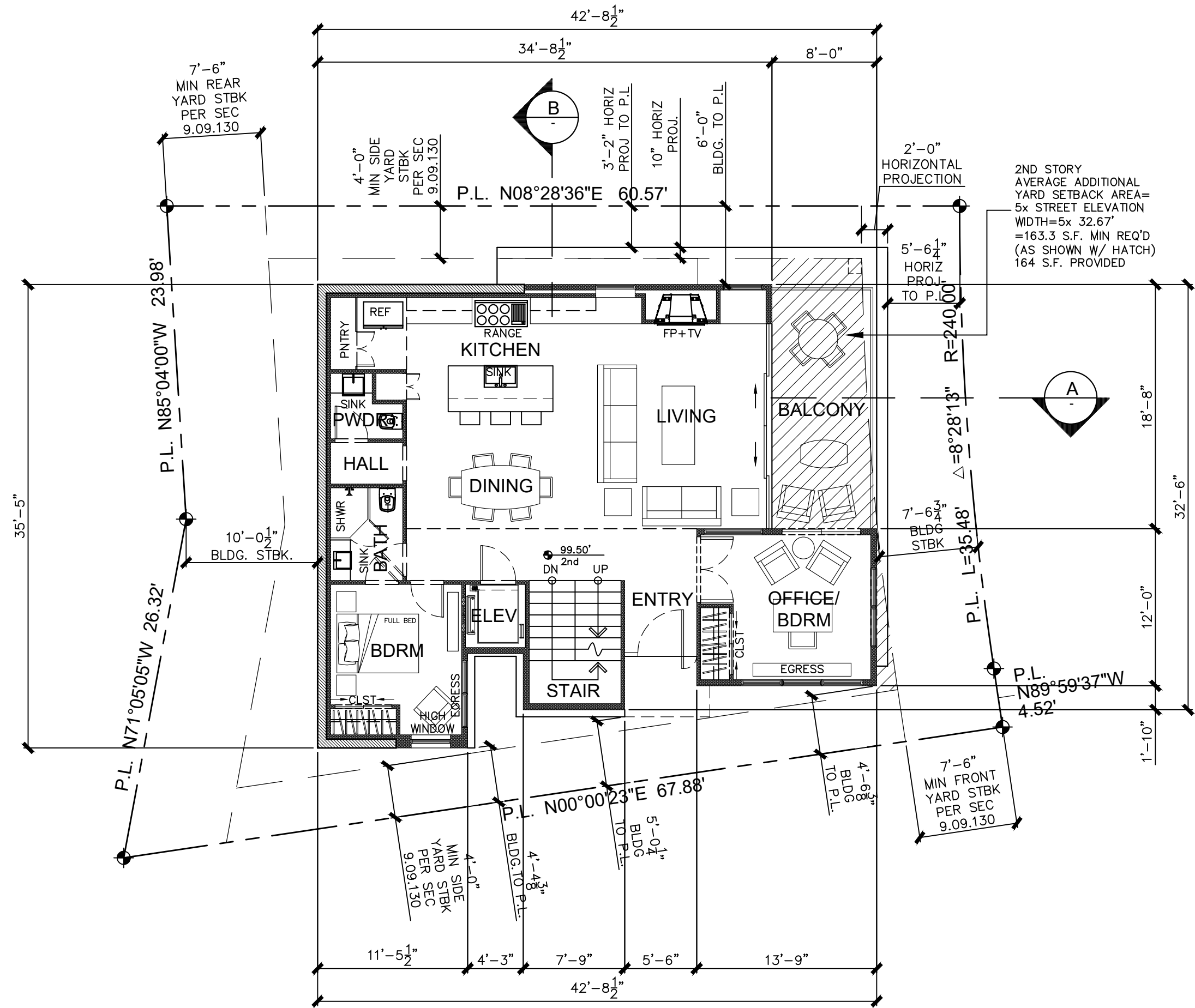
PROPOSED FLOOR AREAS:  
FIRST FLOOR = 442 SF  
SECOND FLOOR = 1,183 SF  
THIRD FLOOR = 565 SF  
ACTUAL FLOOR AREA = 2,190 SF

GARAGE AREA = 400 S.F.



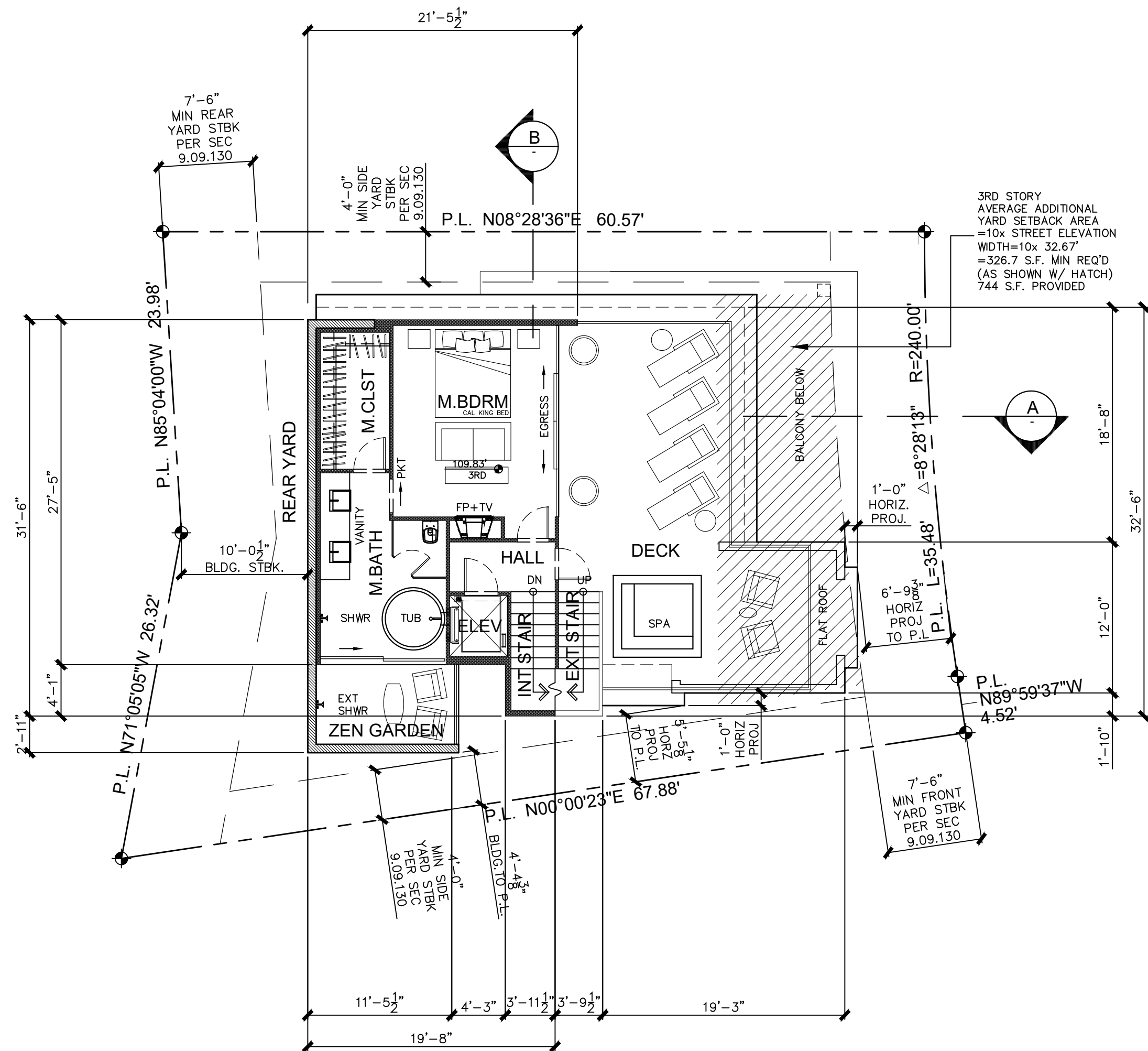
### ROOF PLAN

SCALE: 1/8"=1'-0"



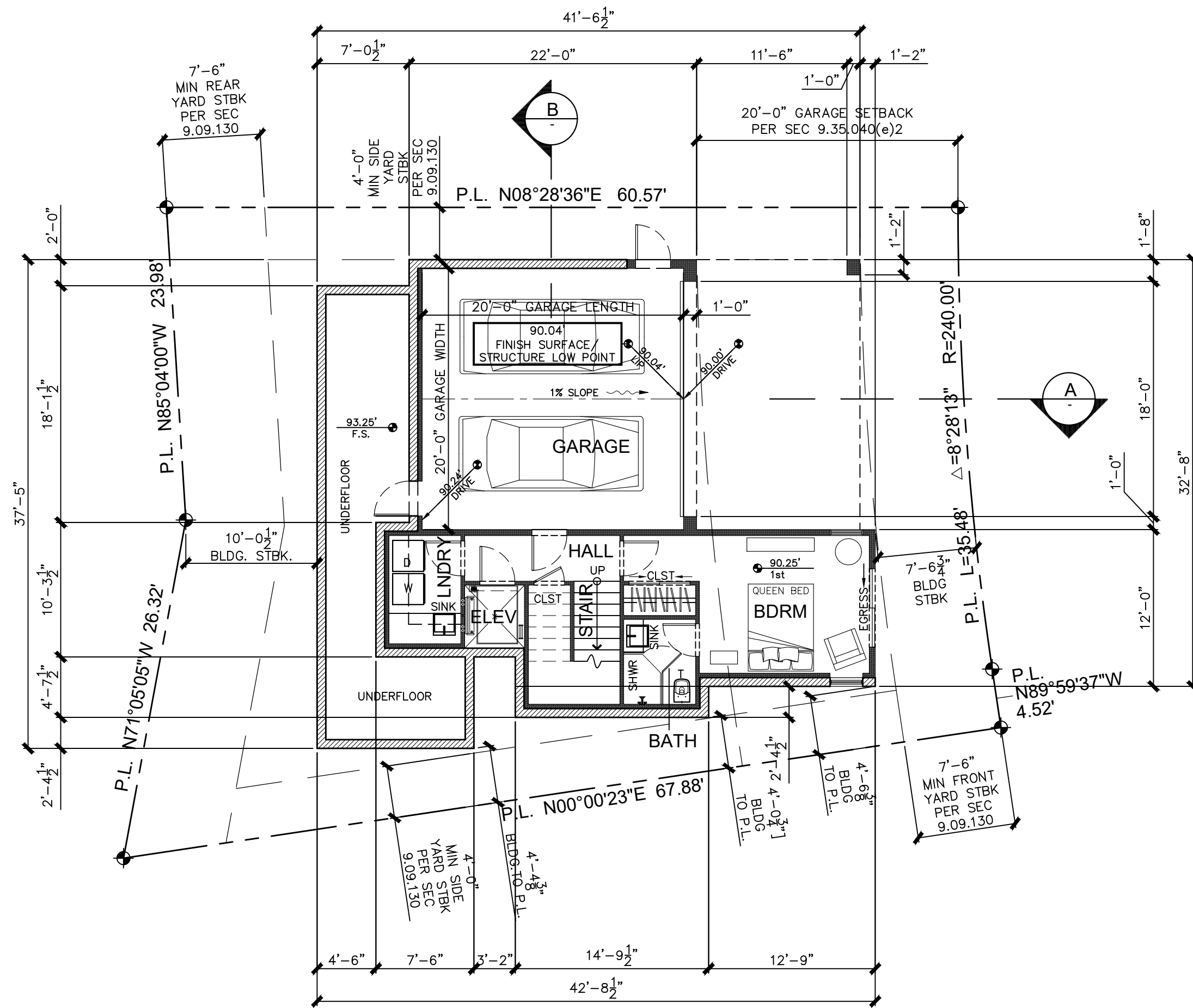
### SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



### THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



### FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



Peters Architecture

23177 La Cadena Drive

Suite 101

Laguna Hills, CA 92653

(949) 916-4800

info@capeters.com

www.capeters.com

## Casa de Manzanita

25172 Manzanita Drive

Dana Point, CA 92629

#### REVISIONS

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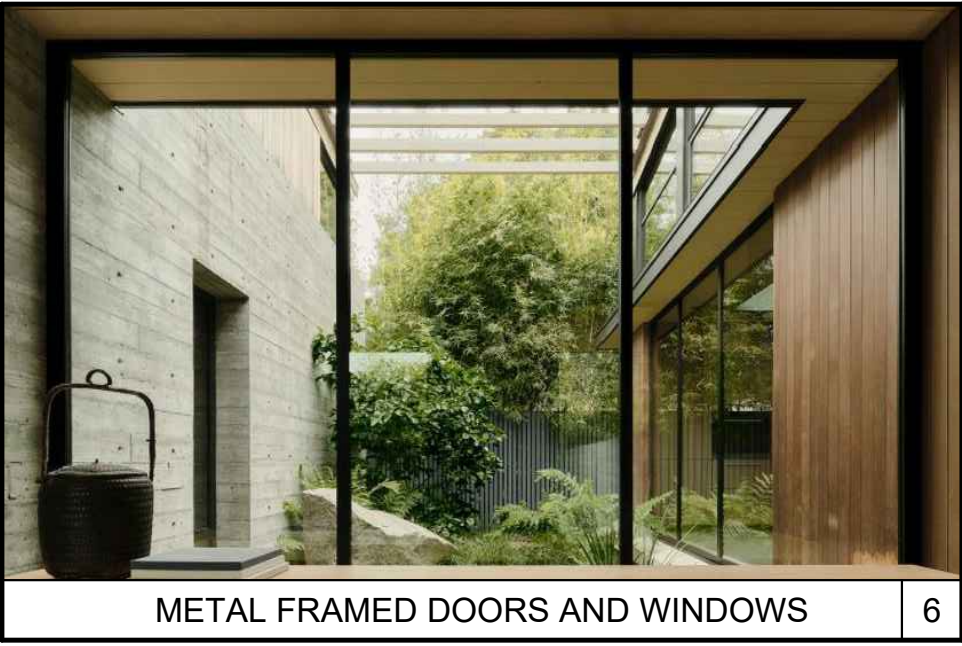
### FLOOR & ROOF PLANS

A-3



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EXTERIOR MATERIALS



6



5



4



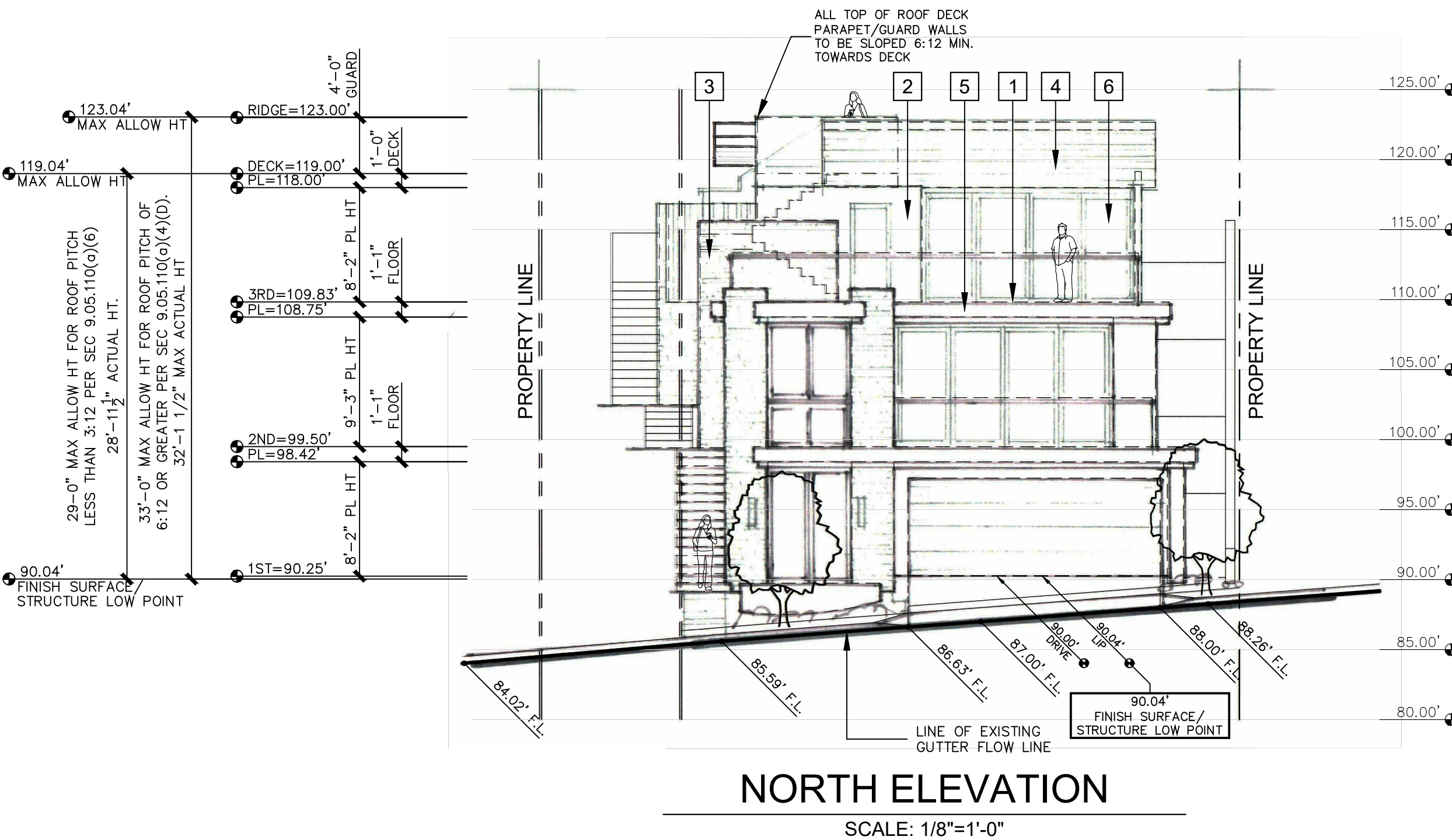
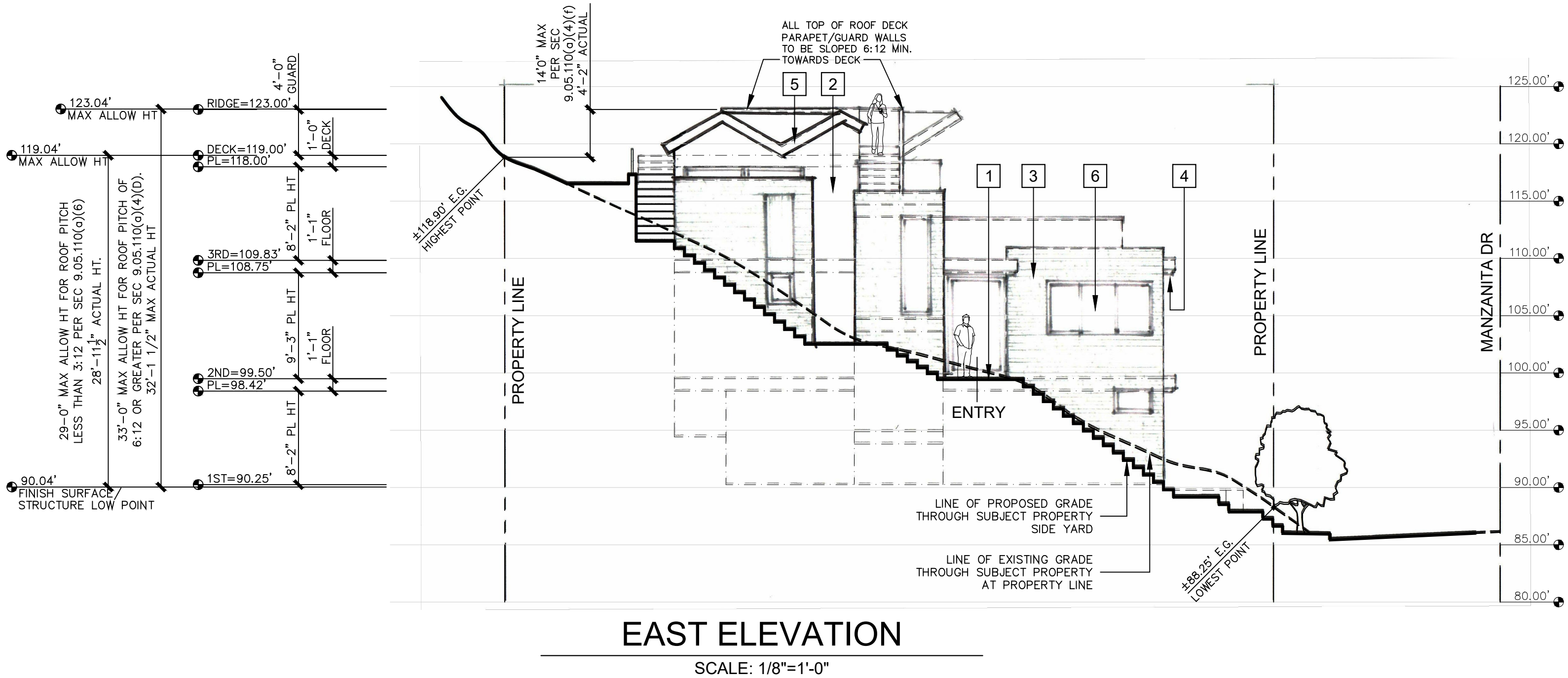
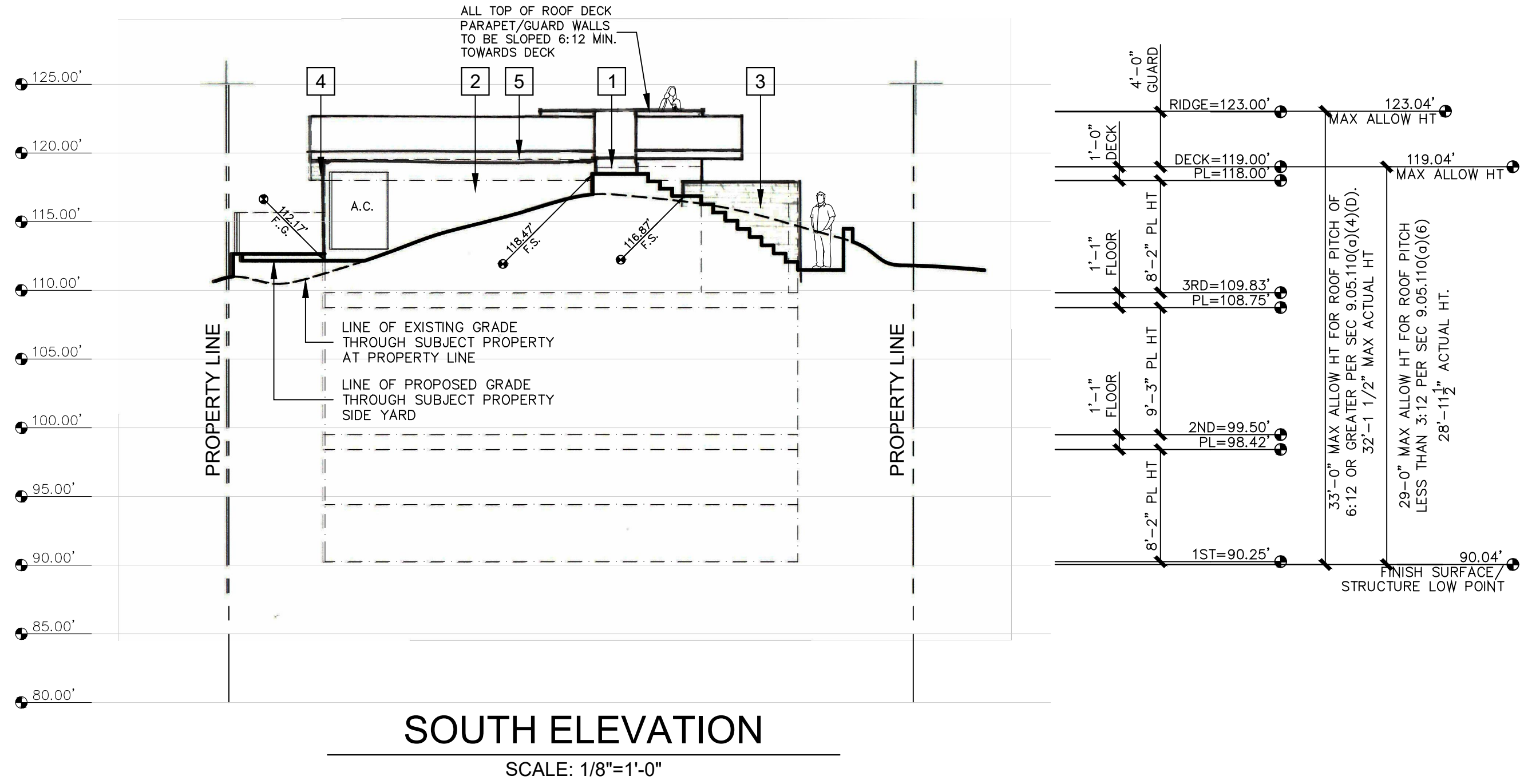
3



2

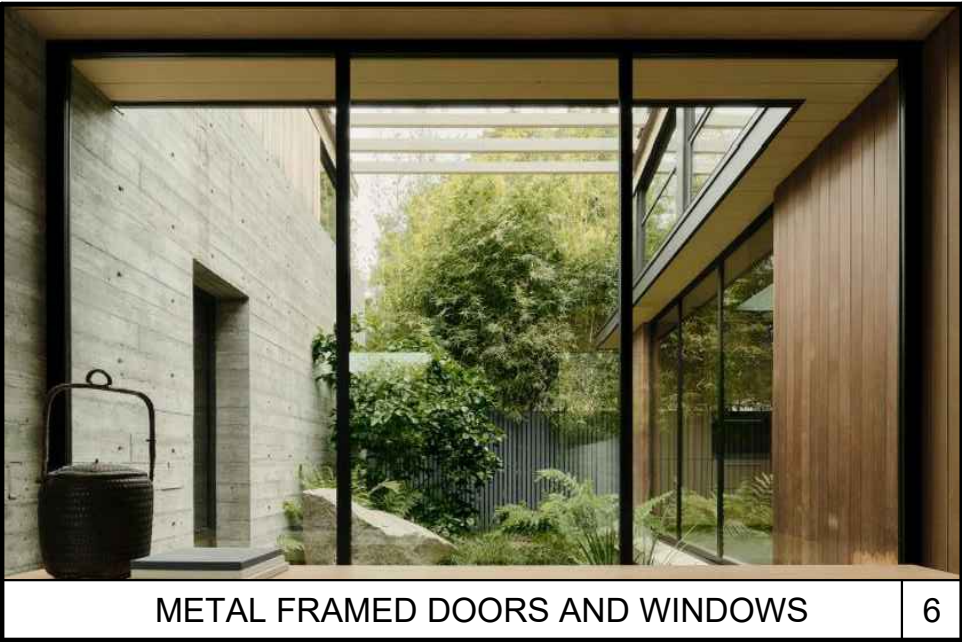


1





EXTERIOR MATERIALS



METAL FRAMED DOORS AND WINDOWS

6



BLACK METAL TRIM

5



NATURAL STAIN WOOD SOFFIT AND SIDING

4



LINEAR BRICK SIDING

3



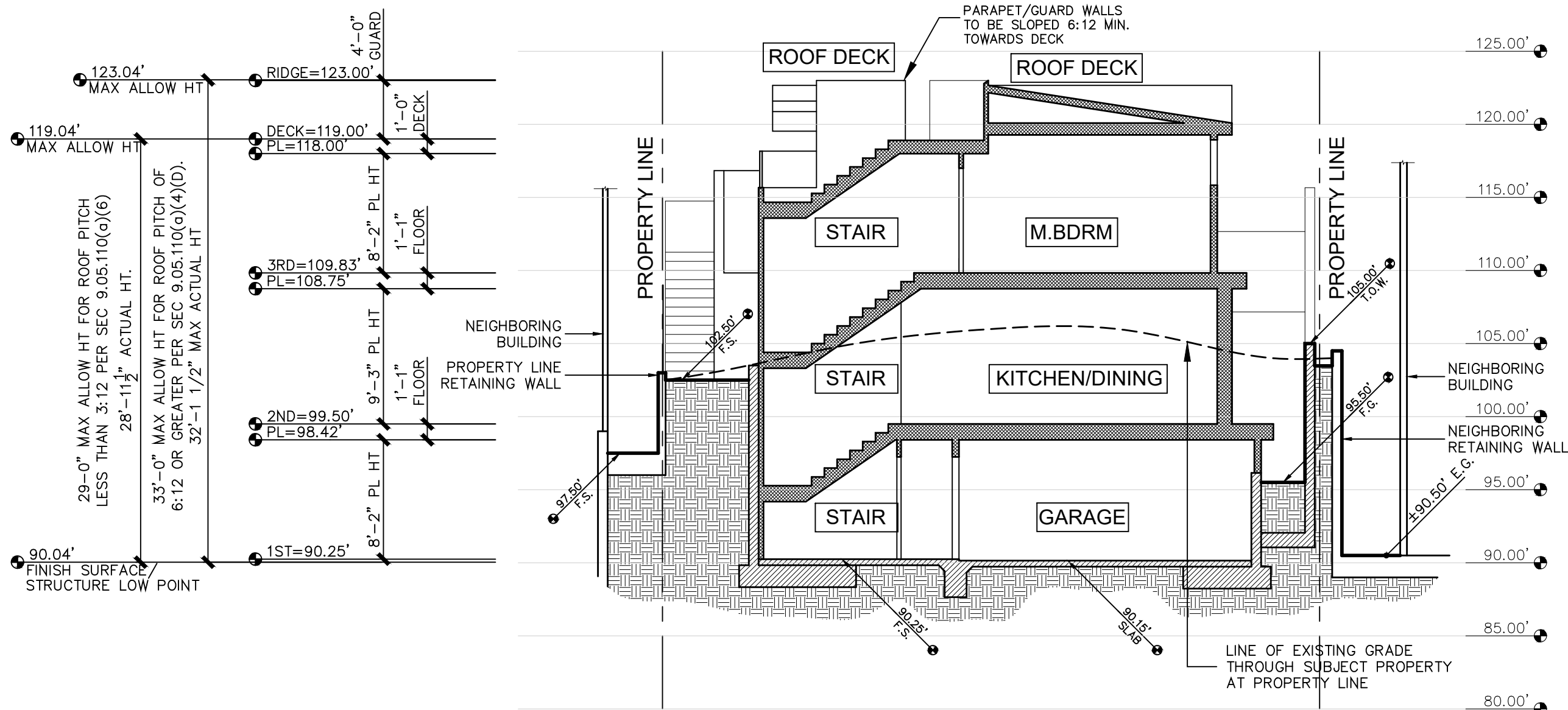
OFF-WHITE STUCCO

2



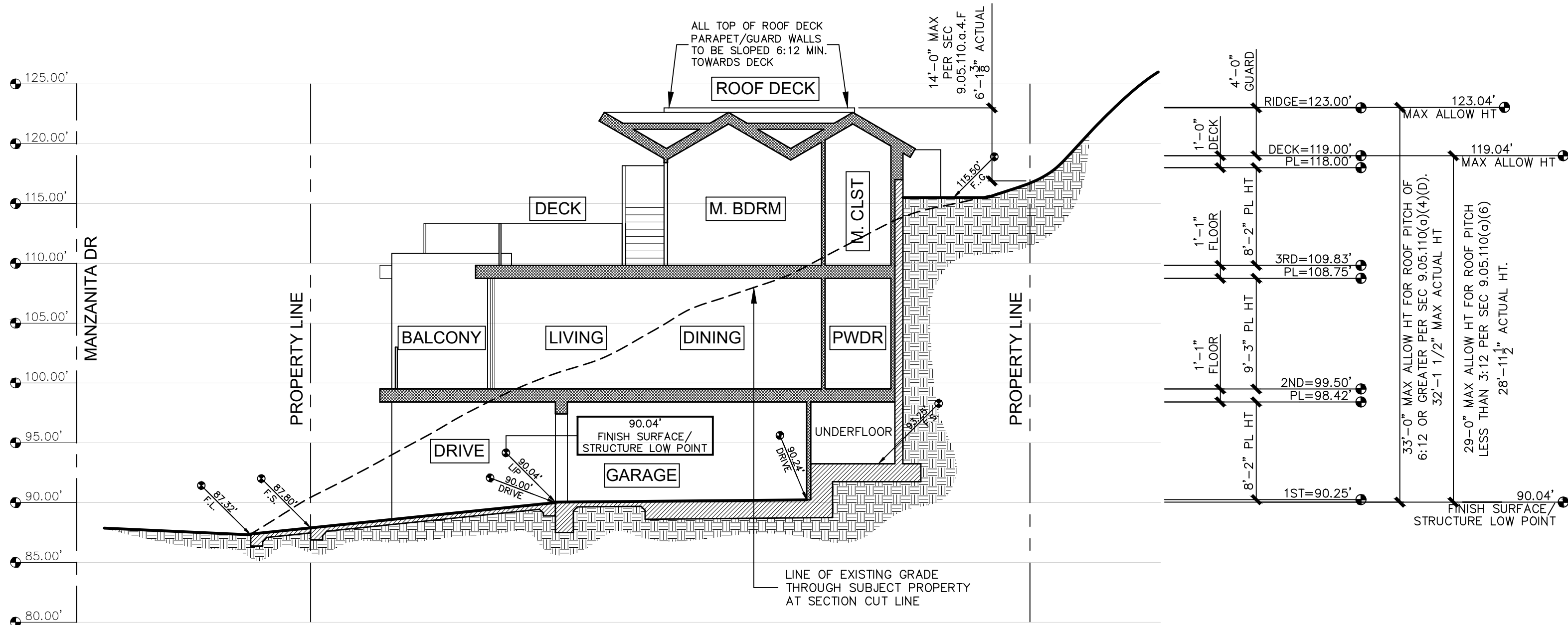
BLACK SLATE FLOORING

1



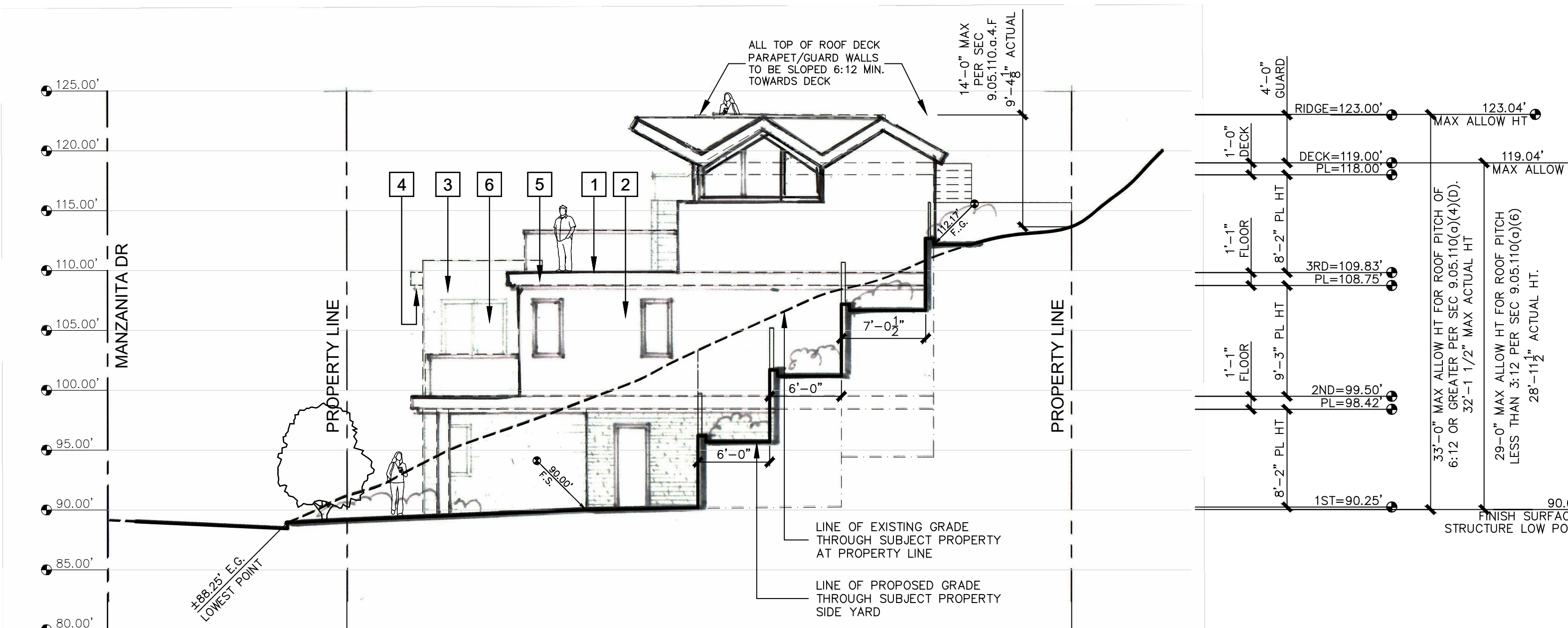
SECTION B

SCALE: 1/8"=1'-0"



SECTION A

SCALE: 1/8"=1'-0"



WEST ELEVATION

SCALE: 1/8"=1'-0"



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STREET LEVEL VIEW FROM NORTHEAST



Manzanita Drive

STREET LEVEL VIEW FROM NORTH



Manzanita Drive

STREET LEVEL VIEW FROM NORTHEAST



Manzanita Drive

STREET LEVEL VIEW FROM NORTHWEST



Manzanita Drive

**Peters Architecture**  
23177 La Cadena Drive  
Suite 101  
Laguna Hills, CA 92653  
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CONCEPTUAL  
MODEL VIEWS



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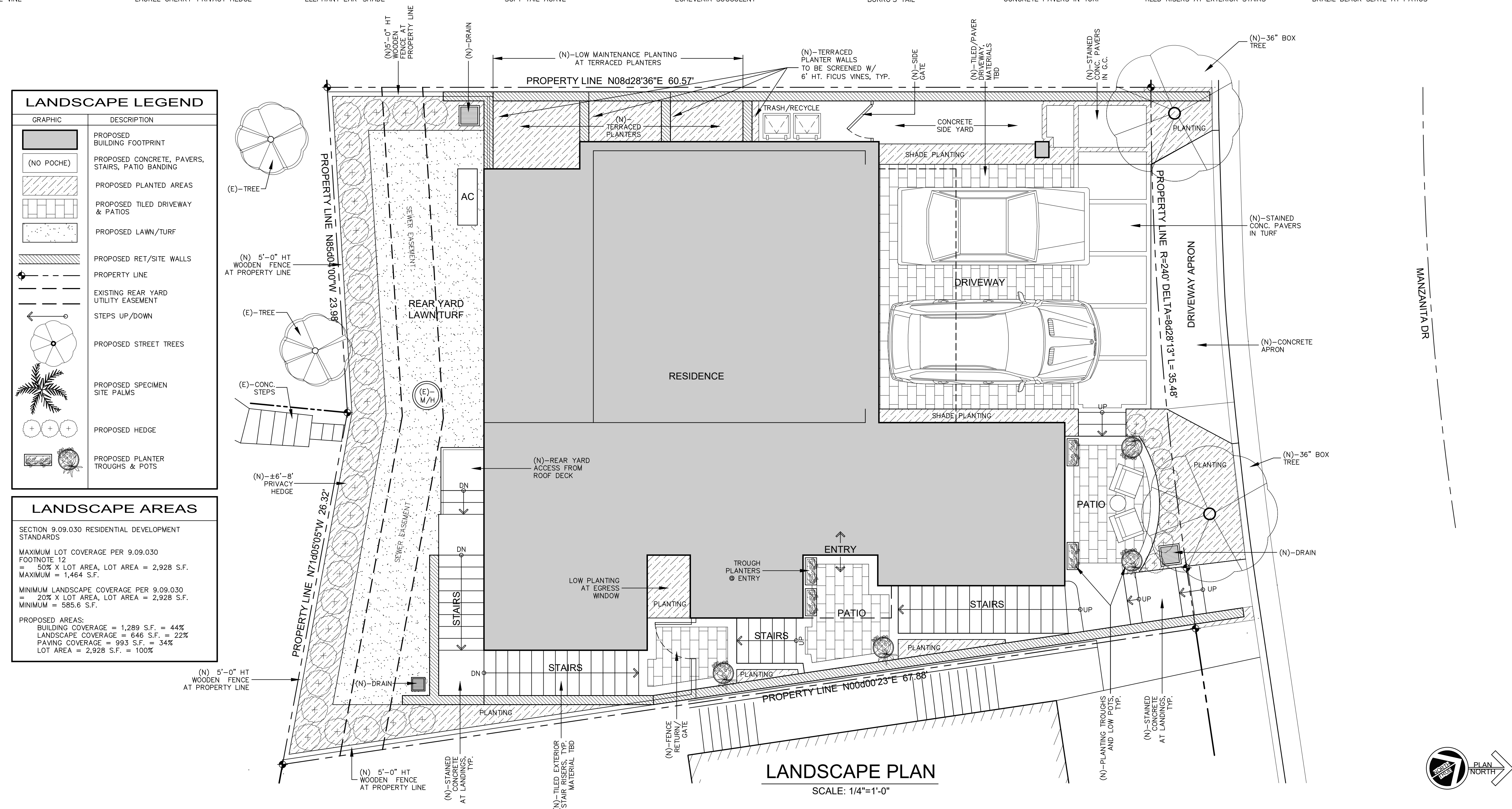
CONCEPTUAL  
MODEL VIEWS

A-7





## POT/MATERIAL IMAGES



**REVISIONS**

- 1 2021-09-03 SITE DEVELOPMENT  
PERMIT SUBMITTAL
- 2 2021-12-29 SITE DEVELOPMENT  
PERMIT RESUBMITTAL
- 3 2022-02-07 SITE DEVELOPMENT  
PERMIT RESUBMITTAL

LANDSCAPE  
PLAN





# CITY OF DANA POINT

PUBLIC WORKS – ENGINEERING SERVICES  
33282 Golden Lantern, Suite 212  
Dana Point, Ca 92629  
949.248.3554  
([www.danapoint.org](http://www.danapoint.org))

---

**DATE:** March 9, 2022  
**TO:** Danny Giametti, Community Development  
**FROM:** Matthew Kunk, Public Works  
**SUBJECT:** PA21-0043 (Conditions of Approval)

---

## Project Information

**Applicant:**  
**Location:** 25172 Manzanita  
**APN:**

We have reviewed the submitted plans and supporting documents for the proposed project. The proposed project involves multiple permits and departments. The timing of these is included in the attached conditions of approval.

The following conditions of approval should be added to the draft resolution for this project.

## **GENERAL CONDITIONS**

1. The applicant shall apply for an Address Assignment from Public Works prior to any application for permits. The Address Assignment shall assign the addresses for all proposed units and City permits.

## **PRIOR TO ISSUANCE OF A GRADING PERMIT:**

2. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The

applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

3. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual.
4. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
5. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy.
6. Separate submittal for review, approval and permits are required for project walls and temporary shoring as needed. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements.
7. All walls required to be construction to facilitate the grading operations or establishment of the design PAD grades and rough grading certification shall be issued concurrently with the grading permit. This includes but not limited to temporary shoring walls, permanent shoring walls, property line masonry walls, or other structures as determined by the Director of Public Works.
8. A separate performance bond shall be required for the construction and continued maintenance of any temporary shoring or walls required to protect all neighboring property, improvements and/or structures. The

performance bond may be to 100% of the proposed improvements and/or construction costs. The performance bond for shoring or temporary improvements shall be released by Director of Public Works, when protection of all neighboring improvements is no longer required due to grading or construction operations.

**PRIOR TO ISSUANCE OF A BUILDING PERMIT:**

9. South Coast Water District will not allow any of the following within the existing easement: retaining/site walls, stairs, concrete slabs, and the AC unit.
10. South Coast Water District requires access for maintenance purposes to the sewer main and manholes at all times and any proposed improvements shall not restrict this access.
11. Calculations shall be submitted to South Coast Water District for all pressure/forces our sewer main will experience due to the proposed improvements adjacent to the sewer main (stairs, retaining walls, house, etc.)
12. SCWD will require an encroachment maintenance agreement for the proposed planting area within our easement and reserves the right to restrict what is planted over and within our easement. Any turf and/or grass shown within our easement is acceptable, however trees planted within the easement will not be allowed.
13. All plans shall be based off the best available information. The applicant shall hire a licensed surveyor to stake the easement limits prior to approval by SCWD.
14. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
15. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the



elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

16. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
17. The applicant shall submit a certification from the Geotechnical Engineer of Record for the required temporary shoring or wall construction for grading operations. The certification shall be submitted for review and approval by the City Engineer by separate submittal. The temporary structure certification by the geotechnical engineer shall approve the construction of temporary structures as being substantially completed in conformance with the recommendation of the project geotechnical report, all field observations, and any field modifications or additional recommendations required. The certification shall state the temporary structures are approved and suitable from a geotechnical standpoint.
18. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

**PRIOR TO ISSUANCE OF A CERTIFICATE OF USE AND  
OCCUPANCY:**

19. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.

20.A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.