

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JANUARY 24, 2022

TO: DANA POINT PLANNING COMMISSION

**FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
JUSTIN R. POLEY, ASSITANT PLANNER**

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP21-0008 TO DEMOLISH A SINGLE-FAMILY DWELLING AND CONSTRUCT A ONE-STORY SINGLE-FAMILY DWELLING WITH A SUBTERRANEAN GARAGE AND MINOR SITE DEVELOPMENT PERMIT SDP21-0030(M) TO ALLOW RETAINING WALLS UP TO A MAXIMUM OF TWELVE (12) FEET IN HEIGHT LOCATED AT 154 MONARCH BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP21-0008 and Minor Site Development Permit SDP21-0030(M) (Action Document 1).

APPLICANT: Douglas R. Mansfield, Architect

OWNER: Ron Granger and Regis Hattenberger

REQUEST: A request to demolish an existing single-family dwelling (SFD) and attached garage, and construct a 6,165 square foot one-story, SFD with a subterranean garage, and to allow retaining walls up to twelve (12) feet in height to create vehicular access to the subterranean garage.

LOCATION: 154 Monarch Bay Drive (APN 670-131-05)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on January 13, 2022, published within a newspaper of general circulation on January 5, 2022 and posted on January 13, 2022, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves a new one-story single-family residence with a subterranean

garage and retaining walls up to twelve (12) feet in height.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP) and a Minor Site Development Permit.
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is a 15,672 square foot lot containing an existing single-story, 4,007 square foot SFD with an attached garage built in 1964 and located west of the intersection of Crown Valley Parkway and Pacific Coast Highway. Other existing site improvements include landscaping and hardscaping and a pool. The subject site is bordered by Pacific Coast Highway to the northeast and a Recreation zoned parcel containing active and passive recreation facilities serving the Monarch Bay community. The subject site is surrounded on all other sides by similar single-family development within the Monarch Bay community (Supporting Document 2). The Monarch Bay community is designated Residential Single Family 4 DU/AC (RSF 4) on the City's Zoning Map, is located within the appeals jurisdiction of the City's Coastal Overlay District and is designated Residential 3.5 - 7 DU/AC on the Land Use Policy Diagram in the City's General Plan Land Use Element.

DISCUSSION: Due to the site's location within the appeals jurisdiction of the California Coastal Commission and the scope of work involving the demolition of an existing structure and the construction of a new SFD, a Coastal Development Permit is required. Retaining walls up to a maximum of twelve (12) feet in height are proposed in the front and side yards and adjacent to the proposed SFD to create vehicular access to the proposed subterranean garage and outdoor living areas, requiring approval of a Minor Site Development Permit.

COASTAL DEVELOPMENT PERMIT CDP21-0008

The applicant proposes to demolish the existing SFD will replace it with a new SFD featuring a one level above a subterranean lower level that includes a garage capable of accommodating three (3) DPZC compliant parking stalls. The proposed lower level includes a 977 square foot garage, and although identified as a basement in some areas of the architectural plans (Supporting Document 3), the subterranean level is not wholly underground with daylighting of the garage door to provide vehicular access to the required parking stalls and an adjacent wall that has openings into a bedroom/sitting area. Since the configuration is inconsistent with the DPZC basement definition that states a basement must be wholly underground, the lower level is considered a story, and the measurement of building height commences at the garage finished pad—the lowest portion of the structure.

The overall building height of the SFD measures the maximum 24 feet from the garage finished pad to the top of the flat roof, in accordance with the City's height ordinance.

The at-grade, second (upper) level includes 5,198 square feet of habitable area and features four bedrooms, four bathrooms, a kitchen, a great room and a family room. The lower, subterranean level includes a three-car garage with interior space suitable for three DPZC compliant vehicles, a fifth bedroom and bathroom, trash and mechanical rooms and a laundry room.

The layout of the upper-level floor plan forms a large "U"-shape creating a large courtyard open to the southwest property line as well as a small courtyard located along and overlooking the driveway. The upper-level floor plan and the proposed modern architecture are contemporary interpretations of mid-century modern architecture utilizing large, window and door openings, the large courtyard, and flat roof elements. Finished materials include a combination of stucco and board formed concrete. The proposed architecture is compatible with the neighborhood which has a diverse mix of architectural styles.

Exterior improvements include a new curb cut and driveway, landscaping and hardscaping, a pool in the courtyard area, wood decking, gates and privacy walls. Retaining walls line each side of the driveway leading to the subterranean three-car garage (see discussion below).

Staff has reviewed the required RSF4 development standards and determined that the project complies with all standards as identified in Table 1 below.

Table 1: Compliance with RSF-4 Development Standards

Development Standard	Requirement	Proposed	Compliant w/ Standard
Front Setback	20 ft minimum	20 ft	Yes
Side Setback			
Interior	5 ft	5 ft	Yes
Street	10 ft	10 ft	Yes
Rear Setback	25 ft minimum	25 ft	Yes
Height	24 ft maximum	24 ft	Yes
Lot Coverage	45% maximum	34.7%	Yes
Parking Required	2 parking spaces	3 parking spaces	Yes

The project was approved by the Monarch Bay Homeowners Association prior to the submittal of the application (Supporting Document 3).

The project complies with all the applicable provisions of the DPZC for the issuance of a Coastal Development Permit as the proposed home does not impact public access, contain or impact any Environmentally Sensitive Habitat Areas (ESHA) as the parcel and surrounding parcels have been previously developed.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are provided in the attached draft Resolution identified as Action Document 1.

MINOR SITE DEVELOPMENT PERMIT SDP21-0030(M)

Multiple retaining walls up to a maximum of twelve (12) feet in height are proposed in the front and side yards and adjacent to the proposed SFD to create vehicular access to the proposed subterranean garage and outdoor living areas. Pursuant to DPZC Sections 9.05.120(c), retaining walls greater than 30 inches in height are permitted subject to the approval of a Minor Site Development Permit.

The retaining walls will be partially visible from the Monarch Bay Drive right-of-way. As illustrated on Sheet A7 of the proposed architectural plans (Supporting Document 3), the retaining walls will be finished with the same board formed concrete material proposed for the SFD. In addition, a variety of plant species will be used to screen the wall from public

view and will increase the aesthetic quality of the walls. Plant species to be utilized will include evergreen grape ivy, silver streak flax lily, sweet bay, little emperor Japanese blueberry trees, along with other species, all of which provide adequate screening for the proposed walls. The requested SDP(M) is consistent with other lots within the community that have similar retaining walls which provide access to required parking stalls in subterranean garages.

The approval of the Minor Site Development Permit is subject to the following four (4) findings enumerated in Section 9.71.050 of the DPZC:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

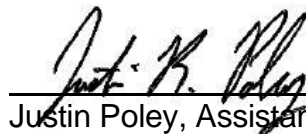
Recommended approval findings for the Minor Site Development Permit are included in the attached draft Resolution (Action Document 1).

CORRESPONDENCE:

No correspondence were received as of the publication date of this staff report.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project is found to comply with all standards of development, including the provisions of DPZC Section 9.05.190. Staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit CDP21-0008 and Minor Site Development Permit SDP21-0030(M) subject to the findings and conditions of approval contained therein.


Justin Poley, Assistant Planner


Brenda Wisneski, Director
Community Development Department

ACTION DOCUMENT:

1. Draft Planning Commission Resolution No. 22-01-24-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. Monarch Bay Association Approval Letter
4. Architectural Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 22-01-24-XX

RESOLUTION NO. 22-01-24-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP21-0008 TO DEMOLISH A SINGLE-FAMILY DWELLING AND CONSTRUCT A ONE-STORY SINGLE-FAMILY DWELLING WITH A SUBTERREAN GARAGE AND MINOR SITE DEVELOPMENT PERMIT SDP21-0030(M) TO ALLOW RETAINING WALLS UP TO A MAXIMUM OF TWELVE (12) FEET IN HEIGHT AT 154 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Ron Granger & Regis Hattenberger. (the "Owners"), owns the real property commonly referred to as 154 Monarch Bay Drive (APN: 670-131-05) (the "Property"); and

WHEREAS, the Owner authorized Douglas R. Mansfield (the "Applicant") to file a verified application for a Coastal Development Permit to demolish an existing single-family dwelling and to construct a one-story single-family dwelling with a subterranean garage, and a Minor Site Development Permit to allow retaining walls up to a maximum of twelve (12) feet in height to create vehicular access to required parking stalls in the subterranean garage; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves the demolition of one single family residence and the construction of a new single family dwelling and retaining walls up to a maximum of twelve (12) feet in height.

WHEREAS, the Planning Commission did, on the 24th day of January, 2022, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP21-0008 and Minor Site Development Permit SDP21-0030(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) That the above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented at the public hearing, the Planning

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Commission adopts the following findings and approves a Coastal Development Permit CDP21-0008, subject to conditions:

- 1) That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the design of the proposed one-story single-family dwelling and subterranean garage complies with all Residential Single Family 4 (RSF 4) development standards and all other applicable sections of the Dana Point Zoning Code (which acts as the Local Coastal Program Implementation Plan for the property), while also complying with the Dana Point General Plan by furthering General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by adding a new high quality modern style single-family dwelling that adds to the eclectic mix of styles within Monarch Bay.**
- 2) That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is a previously developed lot, zoned for residential use, located within a private, gated community that does not contain public accessways or public recreation areas. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at County and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
- 3) That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that, the project is qualified as Categorical Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction) in that it proposes to replace a one-story, single-family residence with another one-story, single-family residence with a subterranean garage and retaining walls up to a maximum of twelve (12) feet in height.**
- 4) That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources

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located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the subject property is a previously developed parcel surrounded by similar single-family development.** Although the site is located adjacent to an existing private recreation area, of which is controlled by the Monarch Bay Association, the subject site contains an existing 6' tall wood fence which borders the community recreation area and which will remain in place. In addition, there are creeping fig trees which will provide additional screening from the site to this community area. There are no other areas within the general vicinity which contain environmentally sensitive habitats or scenic resources and thus no adverse impacts would result and buffer areas are not necessary.

- 5) That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is a previously developed property located in an established area of residential uses with no natural landforms present.** The proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.
 - 6) That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed project will replace a one-story, single-family dwelling with a new one-story, single-family dwelling and subterranean garage.** The project design conforms to the development and design standards of the Dana Point Zoning Code and is complementary to surrounding development in terms of mass and size.
 - 7) That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that, the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Services and conforms with applicable requirements of the Dana Point Zoning Code (which serves as the Local Coastal Program Implementation Plan for the subject property), and the Residential 3.5 - 7 DU/AC designation in the City's General Plan General Plan and all other applicable requirements as specified in the Local Coastal Program.** There are no adopted specific plans applicable to the subject property.
- C) Based on the evidence presented, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP21-0030(M), subject to conditions:

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1. That the site design is in compliance with the development standards of the Dana Point Zoning Code in that Chapter 9.05 of the Dana Point Zoning Code contains general development standards, and specifically Sections 9.05.120(c) and 9.05.120(d)(2) therein allows alternatives to the height limits for walls, fences and hedges within required yards, and retaining walls over 30-inches in height respectively, subject to the approval of a Minor Site Development Permit. The increase in wall height is considered when aesthetic impacts are mitigated and the retaining walls do not create detrimental or incompatible conditions in the vicinity. The proposed retaining walls are constructed from poured in place board formed concrete of which will match the exterior of the proposed single-family dwelling and are designed at the height necessary to provide access to the partially subterranean garage via a downslope driveway approach. In addition, a variety of different plant species, as identified on the proposed landscape plan, will be used to screen the walls from public view.
2. That the site is suitable for the proposed use and development in that the proposed development includes a subterranean lower level in conjunction with the proposed single-family dwelling and requires retaining walls to facilitate ingress and egress between the required parking stalls in the subterranean garage and Monarch Bay Drive, and the site is therefore suitable for the proposed use and development.
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines in that the proposed retaining walls are sited sensitively, incorporate finishes consistent with the dwelling proposed for the site, will be screened from public view with multiple plant species and will not visually impact surrounding properties.
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture in that retaining wall heights in the front yard are appropriate for the site and function of the single-family dwelling use by providing access to the required parking stalls and although retaining walls will utilize matching finishes of the proposed dwelling, the walls do not require a specific architectural style.

Conditions:

A. General:

1. Approval of this application constitutes a request as provided by Title 9 of the Dana Point Municipal Code and permits the demolition of an

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existing single-family dwelling and construction of a one-story, single-family residence including a subterranean garage, and applicable ancillary outdoor improvements associated with the single-family dwelling, and to allow retaining walls up to a maximum of twelve (12) feet in height which span from the front yard area into the side yard area, creating driveway access to the subterranean garage pursuant to the approved plans, at 154 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code. (PLNG)

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions. (PLNG)
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing. (PLNG)
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit. (PLNG)
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City

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shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation. (PLNG)

6. The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site. (PLNG)
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions. (PLNG)
8. The project shall meet all water quality requirements including Low Impact Development (LID) implementation. (PW&E)
9. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
10. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements. (PW&E)
11. Undergrounding of all onsite utilities is required.
12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall

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provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits. (PW&E)

13. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. (PW&E)
14. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check. (PLNG)
15. Separate review, approval, and permits are required for:
 - Separate structures
 - Freestanding/Retaining walls
 - Site walls over 3 ft.
 - Fire sprinklers
 - Demolition of structures
 - Swimming pool/spa

B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

16. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements. (PW&E)
17. The grading application shall include an updated survey showing all listed easements and encumbrances on the property listed in a recent title report. Any listed easements and encumbrances that are expired, superseded or do not affect the property shall be listed as such on the survey. (PW&E)
18. The applicant shall provide driveway profiles on the grading plan for review and approval of all slopes and transitions of the proposed driveway in excess of the standards per 9.35.050(b)(3) but at no time shall the driveway be over 20% centerline slope. (PW&E)
19. The applicant shall submit a geotechnical report for review and

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approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual. (PW&E)

20. The project shall meet all water quality requirements including Low Impact Development (LID) implementation. (PW&E)
21. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy. (PW&E)
22. Separate submittal for review, approval and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements.

C. Prior to issuance of a building permit or release on certain related inspections, the applicant shall meet the following conditions:

23. Within the first three (3) sheets of the building construction documents submitted for plan check the applicant shall include a verbatim copy of the City's approved Resolution and conditions of approval for the project, and the conditions of approval shall also be identified on the sheet index on the cover/title sheet of the plan set. (PLNG)
24. Building(s) shall comply with the current editions of the Building Code with all local amendments.
25. Approvals are required from:
 - Planning Division
 - Public Works
 - Orange County Fire Authority Approval
 - Obtain "Will Serve" letter from Water District.

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- Provide an SDG&E service work order for proposed service location
26. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports. (PW&E)
 27. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project. (PW&E)
 28. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint. (PW&E)
 29. The applicant shall submit a certification from the Geotechnical Engineer of Record for the required temporary shoring or wall construction for grading operations. The certification shall be submitted for review and approval by the City Engineer by separate submittal. The temporary structure certification by the geotechnical engineer shall approve the construction of temporary structures as being substantially completed in conformance with the recommendation of the project geotechnical report, all field observations, and any field modifications or additional recommendations required. The certification shall state the temporary structures are approved and suitable from a geotechnical standpoint. (PW&E)
 30. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and

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recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report. (PW&E)

31. Prior to commencement of framing, the applicant shall verify, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the City, from finish wall materials to property-lines included as part of these entitlements. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval. (PLNG)
32. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of this entitlement. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted. (PLNG)
33. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. (PLNG)

D. **Prior to issuance of a certificate of occupancy, the applicant shall meet the following:**

PLANNING COMMISSION RESOLUTION NO. 22-01-24-XX
CDP21-0008 AND SDP21-0030(M)
PAGE 11

34. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form and required elements related thereto to the Director of Community Development and the requisite documents (irrigation scheduling parameters, landscape and irrigation maintenance schedule, irrigation audit report, and soil analysis report if not submitted at permit issuance) as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. (PLNG)
35. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual. (PW&E)
36. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint. (PW&E)
37. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls. (PW&E)
38. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record. (PW&E)
39. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record. (PW&E)
40. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through this discretionary action, and compliance with any outstanding project conditions of approval. (PLNG)

PLANNING COMMISSION RESOLUTION NO. 22-01-24-XX
CDP21-0008 AND SDP21-0030(M)
PAGE 12

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 24th day of January 2022 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

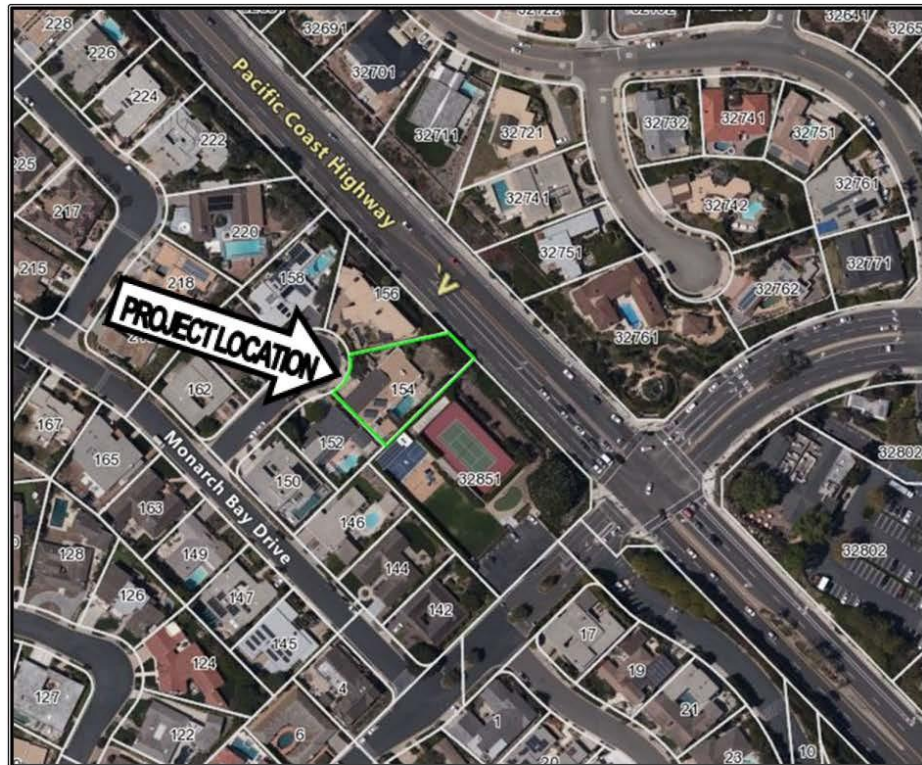
Eric Nelson, Chair
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map

VICINITY MAP



SUPPORTING DOCUMENT 3: Monarch Bay Association Approval Letter



July 6, 2021

Mr. Ron Granger
154 Monarch Bay Drive
Monarch Beach, CA 92629

via e-mail

RE: NEW HOME SUBMITTAL-154 MONARCH BAY DRIVE DATED 5/26/2021
BY DOUGLAS MANSFIELD ARCHITECTS

Dear Mr. Granger,

We are pleased to advise that the Monarch Bay Association Architectural Control Committee approved your revised new home construction plans as submitted which includes a lot coverage variance to 41.07% based on the openness of the courtyard and lines of sign into the courtyard from the street.

As a reminder, the sculpture/art proposed at two locations on the exterior side of the house, and at the location between the pool and the master bath, will need to be submitted to the Architectural Committee for review and approval before they can be installed.

We have received the review retainer fee of \$5,000. Please submit the construction deposit of \$25,000 made payable to the Monarch Bay Association.

The landscape/hardscape will be reviewed as a separate submittal.

Upon the successful completion of your construction project, the review retainer and construction deposit will be reconciled against the road use fees and the balance refunded to you. Attached are the construction rules to share with your contractor to ensure they know what is expected of them while working in the Monarch Bay community.

The Committee truly appreciates your on-going cooperation and wish you luck with your project.

Respectfully,

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

cc: Board
Architect Doug Mansfield via email
MB/154/arch/new home construction approval/07.06.21

SUPPORTING DOCUMENT 4: Architectural Plans

ATTACHMENT



** ARTIST CONCEPTUAL RENDERING - MAY NOT ACCURATELY REFLECT DRAWINGS CONTAINED WITHIN THIS SET.

154 MONARCH BAY DRIVE DANA POINT, CA

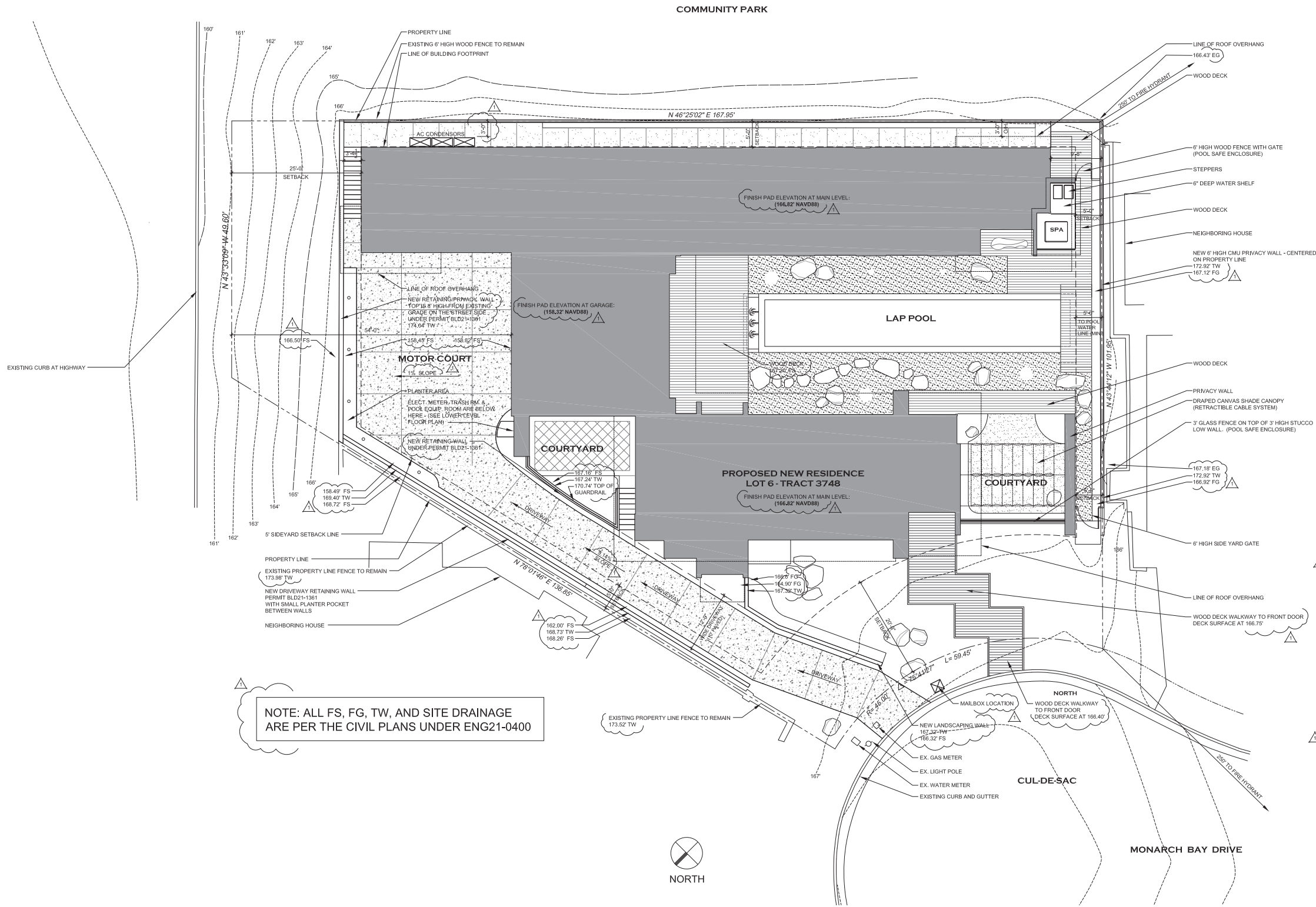
PROJECT NOTES:	PROJECT DATA:	SHEET INDEX
<div>1. HOUSE STREET NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET. NUMBERS SHALL BE NON-COMBUSTIBLE.</div> <div>2. BUILDING ADDRESS SHALL BE LIT PER THE UNIFORM SECURITY CODE.</div> <div>3. SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDINGS, LANDSCAPE, PATIO COVERS, FENCES, SWIMMING POOL, SPAS, SITE WALLS, RETAINING WALLS, SHORING, DEMOLITION, ETC.</div> <div>4. BUILDING PERMIT WILL NOT BE ISSUED UNTIL 'ROUGH GRADING' APPROVAL IS OBTAINED FROM THE GRADING INSPECTOR.</div> <div>5. PROPERTY MARKERS MUST BE VISIBLE AT THE TIME OF INSPECTION OR A SURVEY WILL BE REQUIRED.</div> <div>6. ALL WORK SHALL CONFORM TO THE REQUIREMENTS AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY 'GMU' GEOTECHNICAL, INC. DATED 08.19.21 AND ANY SUBSEQUENT LETTERS, REPORTS OR ADDENDUM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS REPORT AND ALL REFERENCED REPORTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE TO THE REQUIREMENTS AND RECOMMENDATIONS.</div> <div>7. DEPUTY INSPECTORS ARE REQUIRED TO BE REGISTERED WITH THE CITY OF DANA POINT.</div> <div>8. DESTRUCTIVE REMOVAL OF WORK PERFORMED WITHOUT PERMITS MAY BE REQUIRED FOR INSPECTION(S).</div> <div>9. AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED AND SHALL BE INSTALLED. FIRE SPRINKLER PLANS SHALL BE SUBMITTED TO THE CITY OF DANA POINT AND THE OCFA FOR REVIEW AND APPROVAL PRIOR TO ANY WORK BEING PERFORMED.</div>	<div>ASSESSOR'S PARCEL #: 070-131-05</div> <div>LEGAL DESCRIPTION: LOT 6 - TRACT 3748</div> <div>ADDRESS: 154 MONARCH BAY DRIVE DANA POINT, CA. 92629</div> <div>ZONING: RSF-4</div> <div>PLAN CHECK NO.: BLD21-1360, BLD21-1361, ENG21-0400 CDP21-0008</div> <div>PROPOSED USE: SINGLE FAMILY DETACHED</div> <div>CONSTRUCTION TYPE: TYPE V-B - SPRINKLERED</div> <div>OCCUPANCY: R3 SFD U BASEMENT GARAGE</div> <div>NUMBER OF STORIES: 1 STORY O/ BASEMENT</div> <div>CODES: CBC 2019, CPC 2019, CMC 2019, CEC 2019, CFC 2019, CRC 2019, 2019 CAL. GREEN BLDG. STANDARDS CODE (CGBCS), 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES) AND THE CITY OF DANA POINT REGULATIONS AND ORDINANCES.</div>	<div>ARCHITECTURE SHEET INDEX, PROJECT DATA & PROJECT DIRECTORY A0 ARCHITECTURAL SITE PLAN A2 MAIN LEVEL FLOOR PLAN A3 BASEMENT LEVEL FLOOR PLAN A6 ROOF PLAN A7 ELEVATIONS/SECTIONS A8 ELEVATIONS/SECTIONS A9 ELEVATIONS/SECTIONS</div> <div>CIVIL TP-01 SITE SURVEY 1 TITLE SHEET 2 PRECISE GRADING PLAN 3 SECTIONS & FIRE HYDRANT LOCATION 4 EROSION CONTROL PLAN</div> <div>LANDSCAPE LP-1 TREE PLANTING PLAN LP-2 SHRUB PLANTING PLAN</div>
FIRE HAZARD ZONE:	AREA CALCULATIONS	
<div>THIS PROPERTY IS DESIGNATED AS 'EMBER ZONE 1' CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CBC:</div> <div><ul style="list-style-type: none">703A - STANDARDS OF QUALITY, AS APPLICABLE704A - IGNITION RESISTANT CONSTRUCTION, AS APPLICABLE705A - ROOFING AND SKYLIGHT REQUIREMENTS706A - VENTS708A - WINDOWS (RECOMMENDED, BUT NOT REQUIRED)</div>	<div>SITE AREA: 15,361.71 SF</div> <div>FLOOR AREA: MAIN LEVEL: 5,198 SF BASEMENT LEVEL: 967 SF TOTAL LIVABLE FLOOR AREA: 6,165 SF</div> <div>GARAGE: 977 SF MECH. 1: 69 SF ELECT/MECH/TRASH: 248 SF COVERED BALCONY: 62 SF</div> <div>COVERAGE CALCULATIONS: BUILDING FOOTPRINT: 5,342 SF 34.7% DRIVEWAY: 2,100 SF 13.7% DECORATIVE SURFACES: 3,704 SF 24.0% SOFTSCAPE: 3,452 SF 22.9% POOL/LACUZZI: 763 SF 5.1% TOTAL SITE AREA: 15,361.71 SF 100%</div> <div>ALLOWABLE BUILDING COVERAGE: 6,912.76 SF 45.0% PROPOSED BUILDING COVERAGE: 5,342.00 SF 34.7%</div> <div>REQUIRED LANDSCAPING %: 3,840 SF 25.0% PROPOSED LANDSCAPING %: 7,156 SF 46.5% (INCLUDES PAVED OR DECORATED SURFACES - (EXCLUDES DRIVEWAY))</div>	
PROJECT DIRECTORY	<div>OWNER: RON GRANGER & REGIS HATTENBERGER 154 MONARCH BAY DRIVE DANA POINT, CA. 92629 P. 949.218.0408</div> <div>ARCHITECT: R. DOUGLAS MANSFIELD ARCHITECT, INC. 108 W. EL PORTAL SAN CLEMENTE, CA 92672 P. 949.218.0408 doug@rdomarchitects.com</div> <div>STRUCTURAL ENGINEER: INNOVATIVE STRUCTURAL ENGINEERING 27369 VIA INDUSTRIA TEMECULA, CA. 92590 P. 951.800.0032 SHANE LOTHROP Shane@ISEngineers.com</div> <div>LANDSCAPE ARCHITECT: MDZA LANDSCAPE ARCHITECTURE 2320 SECOND AVENUE CORONA DEL MAR, CA 92625 P. 949.673.0800 MIKE DILLEY miked@mdza.net</div> <div>T-24 AUTHOR: RICK MAURER TITLE 24, INC. 7544 E. SADDLEHILL TRAIL ORANGE, CA. 92669 P. 714.771.1507 RICK MAURER t24@social.r.com</div> <div>CIVIL ENGINEER: ADVANCED CIVIL GROUP 30251 GOLDEN LANTERN, STE. E LAGUNA NIGUEL, CA. 92677 P. 949.338.5778 STEVE AUSTIN steve@advancedcivilgroup.com</div> <div>SOILS ENGINEER: GMU GEOTECHNICAL, INC. 23241 ARROYO VISTA RANCHO SANTA MARGARITA, CA. 92688 P. 949.888.6513 DAVE HANSEN dhansen@gmugeo.com</div> <div>MEP ENGINEER: GMEP ENGINEERS 26439 RANCHO PKWY. S STE 120 LAKE FOREST, CA 92630 P. 949.267.9095 NEAL KUSTER neak@gmep.com</div> <div>BUILDER:</div>	
PROJECT DESCRIPTION	<div>CONSTRUCTION OF A NEW 1 STORY RESIDENCE OVER A PARTIAL SUBTERRANEAN GARAGE/BASEMENT LEVEL.</div> <div>SEPARATE SUBMITTAL, REVIEW AND PERMIT REQUIRED FOR SHORING, SITE RETAINING WALLS, PLANTER WALLS, SITE STAIRS, WATER FEATURES, AND POOL.</div>	
SCOPE OF WORK	<div>DEMOLITION OF EXISTING RESIDENCE CONSTRUCTION OF NEW RESIDENCE</div>	
DEFERRED SUBMITTALS	<div>DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW BY THE CITY OF DANA POINT AND THE OCFA.</div> <div><div>1. FIRE SPRINKLERS</div><div>2. SWIMMING POOLS</div><div>3. RETAINING WALLS</div></div>	
VICINITY MAP		
SET DATES	<div>COASTAL DEVELOPMENT SUBMITTAL #1: 08.29.21</div> <div>COASTAL DEVELOPMENT SUBMITTAL #2: 11.05.21</div> <div>COASTAL DEVELOPMENT SUBMITTAL #3: 12.08.21</div> <div>COASTAL DEVELOPMENT SUBMITTAL #4: 01.05.22</div>	
		<div>01.05.22</div> <div>CS JOB NO. 2009</div> <div>R · D O U G L A S I M A N S F I E L D N A R C H I T E C T C</div> <div>108 W. EL PORTAL SAN CLEMENTE, CA 92672 T: 949.218.0408</div>

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DANA POINT, CA

• COVER SHEET



PACIFIC COAST HIGHWAY



NOTE: ALL FS, FG, TW, AND SITE DRAINAGE ARE PER THE CIVIL PLANS UNDER ENG21-0400

ADDITIONAL NOTES:

CORROSMITY: THIS SITE HAS CORROSIVE TO HIGHLY CORROSIVE SOIL. THE CONTRACTOR SHALL TAKE MEASURES TO PROTECT ALL BUILDING COMPONENT IN CONTACT WITH THIS SOIL.

OWNER INFORMATION:

RON GRANGER & REGIS HATTENBERGER
154 MONARCH BAY DRIVE
DANA POINT, CA. 92629
C/O: R. DOUGLAS MANSFIELD ARCHITECT, INC.
108 W. EL PORTAL
SAN CLEMENTE, CA 92672

PROJECT DATA:

ASSESSOR'S PARCEL #: 670-131-05
LEGAL DESCRIPTION: LOT 6 - TRACT 3748
ADDRESS: 154 MONARCH BAY DRIVE
DANA POINT, CA. 92629
ZONING: RSF-4
PLAN CHECK NO.: BLD21-1360
PROPOSED USE: SINGLE FAMILY DETACHED
CONSTRUCTION TYPE: TYPE V B - SPRINKLERED
OCCUPANCY: R3 SFD
U BASEMENT GARAGE
NUMBER OF STORIES: 1 STORY O/ BASEMENT

CODES: CBC 2019, CPC 2019, CMC 2019, CEC 2019, CFC 2019, CRC 2019, 2019 CAL. GREEN BLDG. STANDARDS CODE (COBSC), 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CES) AND THE CITY OF DANA POINT REGULATIONS AND ORDINANCES.

AREA TABULATIONS:

SITE AREA:	15,361.71 SF
FLOOR AREA:	
MAIN LEVEL	5,198 SF
BASEMENT LEVEL	967 SF
TOTAL LIVABLE FLOOR AREA	6,165 SF
GARAGE	977 SF
MECH. 1	69 SF
ELECT/MECH/TRASH	248 SF
COVERED BALCONY	62 SF
COVERAGE CALCULATIONS:	
BUILDING FOOTPRINT	5,342 SF 34.7%
DRIVEWAY	2,100 SF 13.7%
PAVED OR DECORATED SURFACES	3,704 SF 24.0%
SOFTSCAPE	3,452 SF 22.5%
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PROPOSED BUILDING COVERAGE:	5,342.00 SF 34.7%
LANDSCAPING %:	7,156 SF 46.5%
(INCLUDES PAVED OR DECORATED SURFACES - (EXCLUDES DRIVEWAY))	

SITE PLAN NOTES:

1. FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
2. ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE AND THE CITY OF DANA POINT MUNICIPAL CODE.
3. POOL EQUIPMENT AREA SHALL NOT DRAIN TO THE STORM DRAIN SYSTEM, AND SHALL DRAIN TO A LANDSCAPE AREA OR TO THE SANITARY SEWER SYSTEM.
4. SWIMMING POOL AND SPA REQUIRE SEPARATE APPROVALS AND PERMITS.
5. SITE WALLS REQUIRE SEPARATE APPROVALS AND PERMITS. SHORING REQUIRES SEPARATE PERMIT.
6. SITE WALL ON THE SOUTHWEST PROPERTY LINE HAS A COMMON WALL AGREEMENT SIGNED WITH THE NEIGHBOR.

NPDES NOTE:

1. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM SYSTEM.

OCFA NOTES:

- THIS PROJECT IS IN THE EZ-1 ZONE (EMBER ZONE 1) PER THE CITY OF DANA POINT MAP DATED JUNE 2012.
1. FIRE SPRINKLERS REQUIRED.
- OCFA REQUIREMENTS**
1. OCFA SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 72 HOURS IN ADVANCE. INSPECTIONS CANCELLED AFTER 1PM ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL OCFA INSPECTION SCHEDULING AT (714) 575-8150.
 2. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
 3. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
 4. ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
 5. ALL FIRE HYDRANTS SHALL HAVE A 'BLUE REFLECTIVE PAVEMENT MARKER' INDICATING THEIR LOCATION PER THE OCFA STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
 6. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH OCFA GUIDELINE 8-09.
 7. APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND RESCUE WINDOWS.
 8. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN OCFA GUIDELINE 8-09 AND RELATED PORTIONS OF THE 2019 CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DANA POINT, CA

ARCHITECTURAL SITE PLAN



01.05.22

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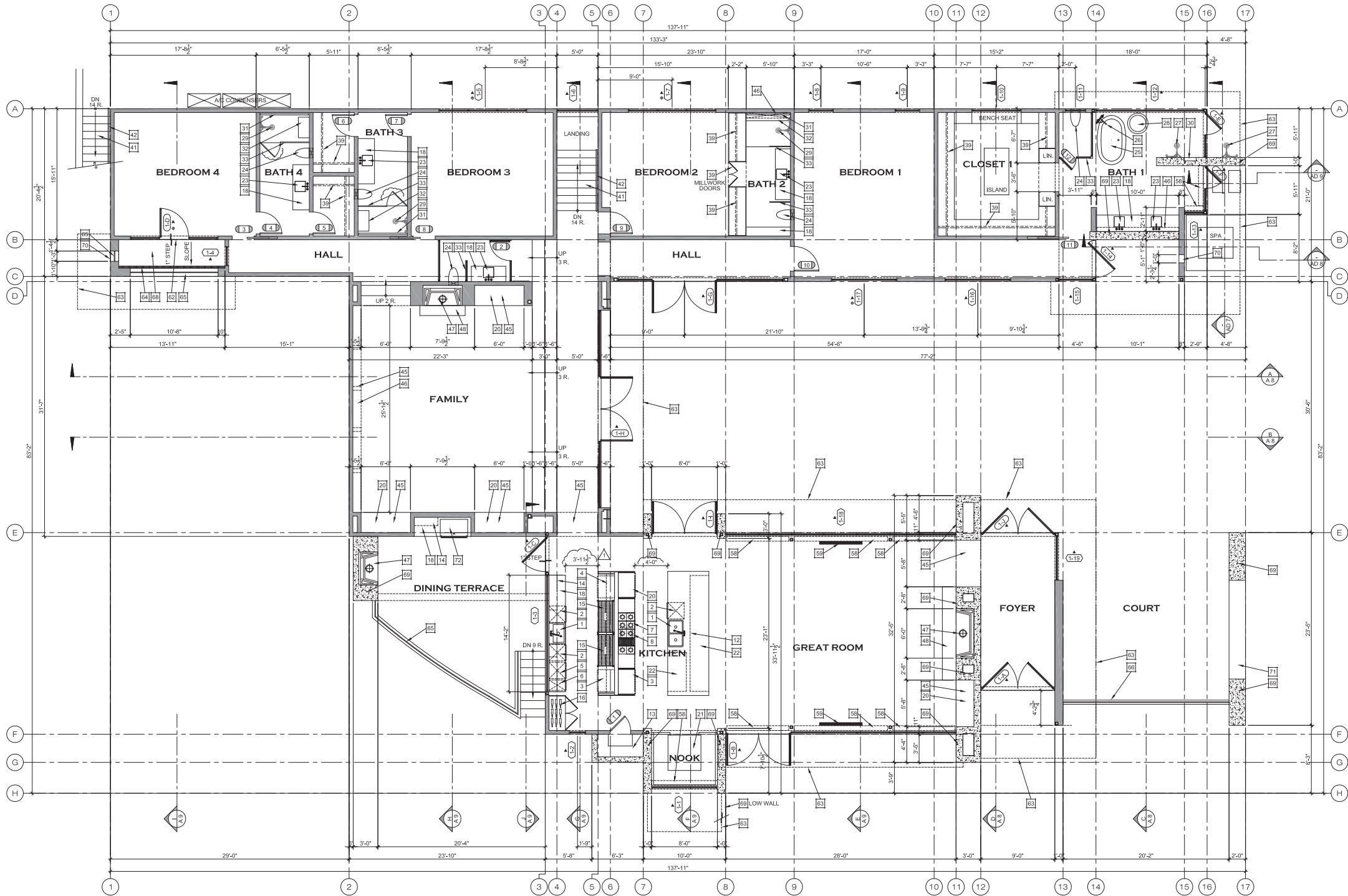
JOB NO. 2009

R · D O U G L A S I
M A N S F I E L D N
A R C H I T E C T C

108 W. EL PORTAL SAN CLEMENTE, CA 92672 T: 949.218.0408

ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- (ASBO)= AS SELECTED BY OWNER AND/OR ARCHITECT
(IPMS)= INSTALL PER MFG'S SPECIFICATIONS AND INSTRUCTIONS
(VCCO)= VERIFY CLEAR OPENING DIMENSIONS WITH MANUFACTURERS
INSTALLATION INSTRUCTIONS
▲ INDICATES TEMPERED GLAZING REQUIRED. ALL DOORS TO HAVE TEMPERED GLASS
● INDICATES EMERGENCY EGRESS DOOR/WINDOW
- A. PROVIDE THE FOLLOWING:
1. 5.7 SQ. FT. CLEAR OPERABLE AREA.
2. NET OPERABLE HEIGHT SHALL BE 24" MINIMUM WHEN SILL IS MORE THAN 6'-7" ABOVE GRADE.
3. NET OPERABLE WIDTH SHALL BE 20" MINIMUM.
4. FINISHED SILL HEIGHT OF 44" MAXIMUM ABOVE FINISH FLOOR.
B. ALL DOORS AND WINDOWS ARE TO BE HIGH QUALITY AND MANUFACTURED BY A REPUTABLE COMPANY SELECTED BY THE BUILDER. DOOR AND WINDOW DESIGN AND ENGINEERING IS THE RESPONSIBILITY OF THE DOOR AND/OR WINDOW COMPANY SUPPLYING THE PRODUCTS.
C. THE PLANS CALL OUT NOMINAL SIZES FOR THE DOORS AND WINDOWS. THE FRAMING CONTRACTOR AND DOOR/WINDOW SUPPLIER SHALL COORDINATE ALL ACTUAL SIZES FOR ROUGH OPENINGS AND OTHER CONSTRUCTION METHODS OR INSTALLATION TECHNIQUES.
D. ALL PLUMBING AND EQUIPMENT VENTS SHOULD TERMINATE AS LOW IN HEIGHT AS ALLOWED BY CODE.

FLOOR PLAN LEGEND

- INDICATES LOW WALL
STUD WALL - 2 X 6 (UNLESS NOTED OTHERWISE)
RECESSED MEDICINE CABINET. (ASB8)
TOWEL BAR (ASB8) PROVIDE BACKING.
TOILET PAPER DISPENSER (ASB8) PROVIDE BACKING.

FLOOR PLAN KEY NOTES

1. KITCHEN SINK WITH LOW FLOW FAUCET (MAX 1.8 G.P.M. @ 90 PSI) AND A GARAGE DISPOSAL (ASBO) (IPMS)
2. BUILT-IN DISHWASHER (ASBO) (IPMS) (VCCO)
3. REFRIGERATOR - PROVIDE RECESSED COLD WATER CONNECTION FOR ICE MAKER/WATER SUPPLY (ASBO)(IPMS)(VCCO)
4. FREEZER - PROVIDE RECESSED COLD WATER CONNECTION FOR ICE MAKER/WATER SUPPLY (ASBO)(IPMS)(VCCO)
5. UNDERCOUNTER REFRIGERATOR - (ASBO)(IPMS)(VCCO)
6. ICE MAKER - PROVIDE RECESSED COLD WATER AND DRAIN - (ASBO)(IPMS)(VCCO)
7. 60" W. RANGE WITH DBL. OVENS BELOW (ASBO) (IPMS) (VCCO)
8. BUILT-IN HOOD LINE VENTILATION ABOVE RANGE (ASBO) (IPMS) (VCCO).
9. BUILT-IN MICROWAVE OVEN (ASBO) (IPMS) (VCCO)
10. BUILT-IN WARMING DRAWER (ASBO) (IPMS) (VCCO)
11. SLIDE OUT TRASH/RECYCLE BINS
12. BUILT-IN ISLAND COUNTER PROVIDE POWER AND/OR PLUMBING
13. BUILT-IN PANTRY SHELVES WITH LED LIGHTING AT EDGE
14. CANTILEVERED SHELVES
15. FREE STANDING WIRE RACKS (BY OWNER)
16. BUILT-IN GLASS WINE WALL WITH RACKING SYSTEM AND REMOTE CONDITIONER UNIT UNDER STAIR.
17. WINE WALL COOLING UNIT (ASBO) (IPMS) (VCCO).
18. MILLWORK BASE CABINET
19. MILLWORK UPPER CABINET
20. MILLWORK FULL HEIGHT CABINET
21. MILLWORK BUILT-IN BANQUET
22. KNEESPACE
23. LAVATORY SINK WITH LOW FLOW FAUCET (MAX 1.2 G.P.M. @ 90 PSI) (ASBO) (IPMS)
24. WATER CLOSET W/ IN-WALL TANK - MAXIMUM 1.28 G.P.F. PROVIDE MINIMUM 30" CLEAR WIDTH AND 24" MIN. CLEAR SPACE IN FRONT. (ASBO) (IPMS)
25. FREESTANDING TUB (ASBO) (IPMS) (VCCO).
26. COLUMN TUB FILLER - MAXIMUM 0.90 G.P.M.
27. SHOWER ON BOARD CONCRETE WALL POLISHED CONCRETE FLOOR (SEALED) - PROVIDE LOW FLOW SHOWERHEAD, HAND HELD WAND W/ A MAX. 2.0 G.P.M. RATING. ALL SHOWER & TUB-SHOWER VALVES TO BE PRESSURE BALANCED
28. FREESTANDING PLANT POT (OWNER SUPPLIED)
29. SHOWER W/ MUD SET HARD SURFACE TO CEILING OVER FULLY WATERPROOFED HOT-MOPPED SUBSURFACE. PROVIDE LOW FLOW SHOWERHEAD, HAND HELD WAND W/ A MAX. 2.0 G.P.M. RATING. ALL SHOWER & TUB-SHOWER VALVES TO BE PRESSURE BALANCED
30. RECESSED SHAMPOO NICHE WITH LED LIGHTING AT TOP EDGE.
31. RECESSED 'PROLINE' SHOWER DRAIN (OR EQUAL) WITH STONE/TILE INSET TO MATCH FLOORING.
32. CANTILEVERED 'FLOATING' STONE SHOWER SEAT 16" ABOVE FINISHED FLOOR.
33. SHATTERPROOF GLASS ENCLOSURE.
34. RECESSED BUILT-IN MEDICINE CABINET.
35. LAUNDRY SINK W/ LOW FLOW FAUCET (MAX. 1.2 G.P.M. @ 90 PSI)(ASBO)(IPMS)(VCCO)
36. CLOTHES WASHER: PROVIDE RECESSED HOT AND COLD WATER BBS AND WASTE DRAIN. (ASBO) (IPMS) (VCCO)
37. FLOOR DRAIN AND COPPER PAN BELOW WASHER AND DRYER.
38. CLOTHES DRYER: PROVIDE RECESSED VENT CONNECTION BOX WITH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE AIR WITH BACK DRAFT DAMPER. (ASBO) (IPMS) (VCCO)
39. BUILT-IN MILLWORK WARDROBE
40. WALLS AND SOFFITS OF THE ENCLOSED USABLE SPACE BENEATH INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH ONE LAYER OF 1/2" GYPSUM BOARD
41. STAIR - TREADS = 11" MINIMUM / RISERS = 4" MINIMUM AND 7.75" MAXIMUM.
42. WALL MOUNTED HANDRAIL - 34" TO 38" ABOVE TREAD NOSING - SEE DETAIL 740S
43. DASHED LINE INDICATES LINE OF FLOOR ABOVE
44. DASHED LINE INDICATES LINE OF FLOOR BELOW
45. DASHED LINE INDICATES SOFFIT, OR EXPOSED BEAM CONDITION ABOVE - REFER TO THE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
46. BUILT-IN CONTINUOUS LIGHT COVE
47. 'ISOKERN' MAGNUM SERIES FIREPLACE (ICC ESR 2316), PER WARNOCK HERSEY UL 127, ULC S810, AND UL 103HT LISTING (WIN 04897). THESE ASSEMBLIES MUST BE INSTALLED IN STRICT CONFORMANCE WITH THE MOST CURRENT INSTALLATION, OPERATION, MAINTENANCE AND OWNER'S MANUAL. (VCCO)(IPMS)
48. NON-COMBUSTIBLE HEARTH AT FIREPLACE
49. OVER-HEAD SECTIONAL GARAGE DOOR - SEE EXTERIOR ELEVATION FOR ADDITIONAL INFORMATION.
50. DWELLING / GARAGE SEPARATION
50.A. FROM RESIDENCE AND ATTICS - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
50.B. FROM HABITABLE ROOMS ABOVE GARAGE - NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT
50.C. STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY CODE SECTION 302A - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
50.D. GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.
51. TANKLESS WATER HEATER PER T-24 SHEET PREPARED FOR THIS PROJECT. (ASBO) (IPMS) (VCCO)
52. WATER SOFTENER SYSTEM (ASBO) (IPMS) (VCCO)
53. LOCATION OF LOW VOLTAGE, T.V./PHONE BOX
54. LOCATION OF ELECTRICAL PANEL - 400 AMP PANEL
55. LOCATION OF GAS METER
56. 1 3/8" THICK (20 MIN.) TIGHT FITTING DOOR W/SELF CLOSER AND SELF LATCHING BETWEEN GARAGE AND HOUSE
57. FAU LOCATION - GENERAL CONTRACTOR, FRAMER AND HVAC CONTRACTOR TO COORDINATE DUCT RUNS. ALL REGISTERS, GRILLE LOCATIONS SHALL BE APPROVED BY THE ARCHITECT AND OWNER - SEE HOUSE UTILITY PLAN FOR ADDITIONAL INFORMATION.
58. RECESSED MOTORIZED SHADE POCKET - SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
59. FLOOR HVAC REGISTER - SEE UTILITY PLAN FOR ADDITIONAL INFO.
60. AUDIO VISUAL EQUIPMENT LOCATION
61. SKYLIGHT ABOVE - SEE ROOF PLAN FOR ADDITIONAL INFO.
62. STEP IN FLOOR JOISTS 2" MIN. TO CREATE POSITIVE FLASHING CONDITION. 1" MAX FINISHED STEP AT DOORS
63. EXTERIOR SOFFIT OR ROOF OVERHANG OR EXPOSED BEAM - SEE ELEVATIONS FOR ADDITIONAL INFORMATION.
64. CONTINUOUS CHANNEL DRAIN WITH DECORATIVE GRATE COVER
65. GUARDRAIL - 42" HIGH MINIMUM FROM FINISH SURFACE - SEE ELEVATIONS AND SECTIONS FOR ADDITIONAL INFORMATION.
66. EXTERIOR COURTYARD WALL OR LOW WALL
67. 4" DIAMETER DRYER VENT TO O.S.A. 14' MAX LENGTH WITH TWO 90 DEGREE ELBOWS. TWO FEET DEDUCTED FROM MAX LENGTH FOR EACH ADDITIONAL ELBOW IN EXCESS OF TWO. (CMC 043.1.2.)
68. DECK - LIMESTONE TILE O/ MERCURE BFP MEMBRANE - ICC ESR-2619 (OR EQUAL).
69. EXPOSED POURED IN PLACE BOARD FORMED CONCRETE WALL.
70. STUCCO OPENING - SEE EXTERIOR ELEVATION.
71. LOW HORIZONTAL OPENING IN POURED IN PLACE BOARD FORMED CONCRETE WALL
72. BUILT IN BARBEQUE WITH BUILT IN EXHAUST HOOD LINER ABOVE.
73. GARAGE DOOR OPENER

MAIN LEVEL FLOOR PLAN

SCALE:3/16" = 1'-0"

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DATA POINT, CA

MAIN LEVEL FLOOR PLAN



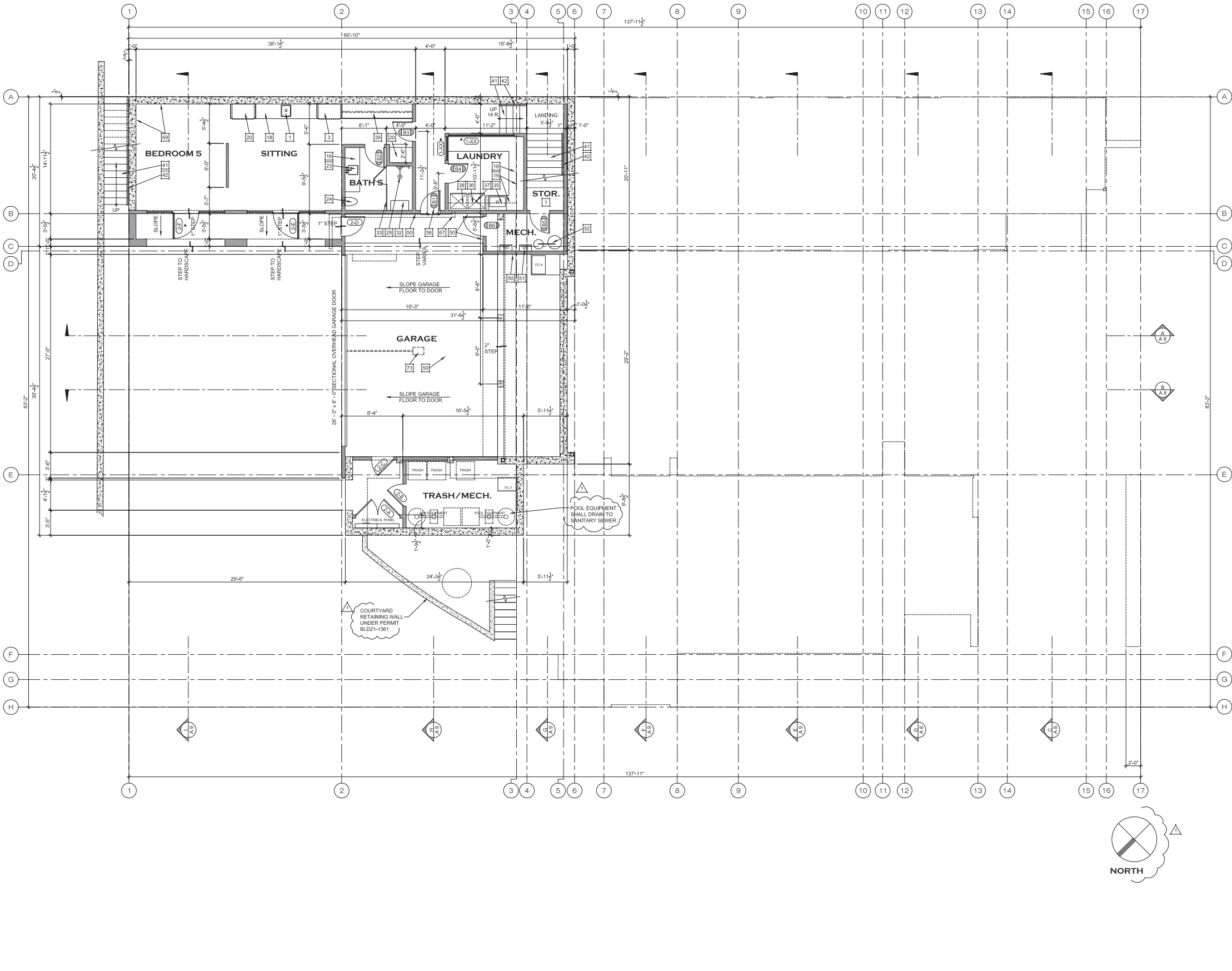
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JOB NO. 2009

R · D O U G L A S S
M A N S F I E L D
A R C H I T E C T

108 W. EL PORTAL SAN CLEMENTE, CA 92672 T: 949.218.0408



FLOOR PLAN GENERAL NOTES

- (ASBO)= AS SELECTED BY OWNER AND/OR ARCHITECT
(IPMS)= INSTALL PER MFG'S SPECIFICATIONS AND INSTRUCTIONS
(VCCOD)= VERIFY CLEAR OPENING DIMENSIONS WITH MANUFACTURERS
INSTALLATION INSTRUCTIONS
▲ INDICATES TEMPERED GLAZING REQUIRED. ALL DOORS TO HAVE TEMPERED GLASS
● INDICATES EMERGENCY EGRESS DOOR/WINDOW
- A. PROVIDE THE FOLLOWING:
1. 5.7 SQ. FT. CLEAR OPERABLE AREA.
2. NET OPERABLE HEIGHT SHALL BE 24" MINIMUM WHEN SILL IS MORE THAN 6'-7" ABOVE GRADE.
3. NET OPERABLE WIDTH SHALL BE 20" MINIMUM.
4. FINISHED SILL HEIGHT OF 44" MAXIMUM ABOVE FINISH FLOOR.
B. ALL DOORS AND WINDOWS ARE TO BE HIGH QUALITY AND MANUFACTURED BY A REPUTABLE COMPANY SELECTED BY THE BUILDER. DOOR AND WINDOW DESIGN AND ENGINEERING IS THE RESPONSIBILITY OF THE DOOR AND/OR WINDOW COMPANY SUPPLYING THE PRODUCTS.
C. THE PLANS CALL OUT NOMINAL SIZES FOR THE DOORS AND WINDOWS. THE FRAMING CONTRACTOR AND DOOR/WINDOW SUPPLIER SHALL COORDINATE ALL ACTUAL SIZES FOR ROUGH OPENINGS AND OTHER CONSTRUCTION METHODS OR INSTALLATION TECHNIQUES.
D. ALL PLUMBING AND EQUIPMENT VENTS SHOULD TERMINATE AS LOW IN HEIGHT AS ALLOWED BY CODE.

FLOOR PLAN LEGEND

- INDICATES LOW WALL
STUD WALL - 2 X 8 (UNLESS NOTED OTHERWISE)
RECESSED MEDICINE CABINET (ASBB)
TOWEL BAR (ASBB) PROVIDE BACKING
TOILET PAPER DISPENSER (ASBB) PROVIDE BACKING

FLOOR PLAN KEY NOTES

1. KITCHEN SINK WITH LOW FLOW FAUCET (MAX 1.8 G.P.M. @ 60 PSI) AND A GARBAGE DISPOSAL (ASBO) (IPMS)
2. BUILT-IN DISHWASHER (ASBO) (IPMS) (VCCOD)
3. REFRIGERATOR - PROVIDE RECESSED COLD WATER CONNECTION FOR ICE MAKER/WATER SUPPLY (ASBO) (IPMS) (VCCOD)
4. FREEZER - PROVIDE RECESSED COLD WATER CONNECTION FOR ICE MAKER/WATER SUPPLY (ASBO) (IPMS) (VCCOD)
5. UNDERCOUNTER REFRIGERATOR - (ASBO) (IPMS) (VCCOD)
6. ICE MAKER - PROVIDE RECESSED COLD WATER AND DRAIN - (ASBO) (IPMS) (VCCOD)
7. 60" W RANGE WITH DBL OVENS BELOW (ASBO) (IPMS) (VCCOD)
8. BUILT-IN HOOD LINER VENTILATION ABOVE RANGE (ASBO) (IPMS) (VCCOD)
9. BUILT-IN MICROWAVE OVEN (ASBO) (IPMS) (VCCOD)
10. BUILT-IN WARMING DRAWER (ASBO) (IPMS) (VCCOD)
11. SLIDE OUT TRASH/RECYCLE BINS
12. BUILT-IN ISLAND COUNTER PROVIDE POWER AND/OR PLUMBING
13. BUILT-IN PANTRY SHELVES WITH LED LIGHTING AT EDGE
14. CANTILEVERED SHELVES
15. FREE STANDING WIRE RACKS (BY OWNER)
16. BUILT-IN GLASS WINE WALL WITH RACKING SYSTEM AND REMOTE CONDITIONER UNIT UNDER STAIR
17. WINE WALL COOLING UNIT (ASBO) (IPMS) (VCCOD)
18. MILLWORK BASE CABINET
19. MILLWORK UPPER CABINET
20. MILLWORK FULL HEIGHT CABINET
21. MILLWORK BUILT-IN BANQUET
22. KNEESPACE
23. LAVATORY SINK WITH LOW FLOW FAUCET (MAX 1.2 G.P.M. @ 60 PSI) (ASBO) (IPMS)
24. WATER CLOSET W/ IN-WALL TANK - MAXIMUM 1.28 G.P.F. PROVIDE MINIMUM 30" CLEAR WIDTH AND 24" MIN. CLEAR SPACE IN FRONT. (ASBO) (IPMS)
25. FREESTANDING TUB (ASBO) (IPMS) (VCCOD)
26. COLUMN TUB FILLER - MAXIMUM 0.00 G.P.M.
27. SHOWER ON BOARD CONCRETE WALL POLISHED CONCRETE FLOOR (SEALED) - PROVIDE LOW FLOW SHOWERHEAD, HAND HELD WAND W/ A MAX. 2.0 G.P.M. RATING. ALL SHOWER & TUB-SHOWER VALVES TO BE PRESSURE BALANCED
28. FREESTANDING PLANT POT (OWNER SUPPLIED)
29. SHOWER W/ MUD SET HARD SURFACE TO CEILING OVER FULLY WATERPROOFED HOT-MOPPED SUBSURFACE. PROVIDE LOW FLOW SHOWERHEAD, HAND HELD WAND W/ A MAX. 2.0 G.P.M. RATING. ALL SHOWER & TUB-SHOWER VALVES TO BE PRESSURE BALANCED
30. RECESSED SHAMPOO NICHE WITH LED LIGHTING AT TOP EDGE
31. RECESSED 'PROLINE' SHOWER DRAIN (OR EQUAL) WITH STONE/TILE INSET TO MATCH FLOORING
32. CANTILEVERED 'FLOATING' STONE SHOWER SEAT 16" ABOVE FINISHED FLOOR
33. SHATTERPROOF GLASS ENCLOSURE
34. RECESSED BUILT-IN MEDICINE CABINET
35. LAUNDRY SINK W/ LOW FLOW FAUCET (MAX. 1.2 G.P.M. @ 60 PSI) (ASBO) (IPMS) (VCCOD)
36. CLOTHES WASHER: PROVIDE RECESSED HOT AND COLD WATER BBS AND WASTE DRAIN. (ASBO) (IPMS) (VCCOD)
37. FLOOR DRAIN AND COPPER PAN BELOW WASHER AND DRYER
38. CLOTHES DRYER: PROVIDE RECESSED VENT CONNECTION BOX WITH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE AIR WITH BACK DRAFT DAMPER. (ASBO) (IPMS) (VCCOD)
39. BUILT-IN MILLWORK WARDROBE
40. WALLS AND SOFFITS OF THE ENCLOSED USABLE SPACE BENEATH INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH ONE LAYER OF 1/2" GYPSUM BOARD
41. STAIR - TREADS = 11" MINIMUM / RISERS = 4" MINIMUM AND 7.75" MAXIMUM
42. WALL MOUNTED HANDRAIL - 34" TO 38" ABOVE TREAD NOSING
43. SEE DETAIL 7405
44. DASHED LINE INDICATES LINE OF FLOOR ABOVE
45. DASHED LINE INDICATES LINE OF FLOOR BELOW
46. DASHED LINE INDICATES SOFFIT, OR EXPOSED BEAM CONDITION ABOVE - REFER TO THE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
47. BUILT-IN CONTINUOUS LIGHT COVE
48. 'ISOKERN' MAGNUM SERIES FIREPLACE (ICC ESR 2316), PER WARNOCK HERSEY UL 127, UL 5810, AND UL 103HT LISTING (WIN 04897). THESE ASSEMBLIES MUST BE INSTALLED IN STRICT CONFORMANCE WITH THE MOST CURRENT INSTALLATION, OPERATION, MAINTENANCE AND OWNER'S MANUAL. (VCCOD) (IPMS)
49. NON-COMBUSTIBLE HEARTH AT FIREPLACE
50. OVER-HEAD SECTIONAL GARAGE DOOR - SEE EXTERIOR ELEVATION FOR ADDITIONAL INFORMATION.
51. DWELLING / GARAGE SEPARATION
50.A. FROM RESIDENCE AND ATTICS - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
50.B. FROM HABITABLE ROOMS ABOVE GARAGE - NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT
50.C. STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY CODE SECTION 302.6 - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
50.D. GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.
51. TANKLESS WATER HEATER PER T-24 SHEET PREPARED FOR THIS PROJECT. (ASBO) (IPMS) (VCCOD)
52. WATER SOFTENER SYSTEM (ASBO) (IPMS) (VCCOD)
53. LOCATION OF LOW VOLTAGE, T.V./PHONE BOX
54. LOCATION OF ELECTRICAL PANEL - 400 AMP PANEL
55. LOCATION OF GAS METER
56. 1 3/8" THICK (20 MIN.) TIGHT FITTING DOOR W/ SELF CLOSER AND SELF LATCHING BETWEEN GARAGE AND HOUSE
57. FAU LOCATION - GENERAL CONTRACTOR, FRAMER AND HVAC CONTRACTOR TO COORDINATE DUCT RUNS. ALL REGISTERS, GRILLE LOCATIONS SHALL BE APPROVED BY THE ARCHITECT AND OWNER - SEE HOUSE UTILITY PLAN FOR ADDITIONAL INFORMATION.
58. RECESSED MOTORIZED SHADE POCKET - SEE REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION.
59. FLOOR HVAC REGISTER - SEE UTILITY PLAN FOR ADDITIONAL INFO.
60. AUDIO VISUAL EQUIPMENT LOCATION
61. SKYLIGHT ABOVE - SEE ROOF PLAN FOR ADDITIONAL INFO.
62. STEP IN FLOOR JOISTS 2" MIN. TO CREATE POSITIVE FLASHING CONDITION. 1" MAX FINISHED STEP AT DOORS
63. EXTERIOR SOFFIT OR ROOF OVERHANG OR EXPOSED BEAM - SEE ELEVATIONS FOR ADDITIONAL INFORMATION.
64. CONTINUOUS CHANNEL DRAIN WITH DECORATIVE GRATE COVER
65. GUARDRAIL - 42" HIGH MINIMUM FROM FINISH SURFACE - SEE ELEVATIONS AND SECTIONS FOR ADDITIONAL INFORMATION.
66. EXTERIOR COURTYARD WALL OR LOW WALL
67. 4" DIAMETER DRYER VENT TO O.S. 14' MAX LENGTH WITH TWO 90 DEGREE ELBOWS. TWO FEET DEDUCTED FROM MAX LENGTH FOR EACH ADDITIONAL ELBOW IN EXCESS OF TWO. (CMC 804.3.1.2.)
68. DECK - LIMESTONE TILE O/ MERCURE BFP MEMBRANE - ICC ESR-2619 (OR EQUAL)
69. EXPOSED POURED IN PLACE BOARD FORMED CONCRETE WALL
70. STUCCO OPENING - SEE EXTERIOR ELEVATION
71. LOW HORIZONTAL OPENING IN POURED IN PLACE BOARD FORMED CONCRETE WALL
72. BUILT IN BARBEQUE WITH BUILT IN EXHAUST HOOD LINER ABOVE.
73. GARAGE DOOR OPENER

LOWER LEVEL FLOOR PLAN

SCALE:3/16" = 1'-0"

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DATA POINT, CA

LOWER LEVEL FLOOR PLAN



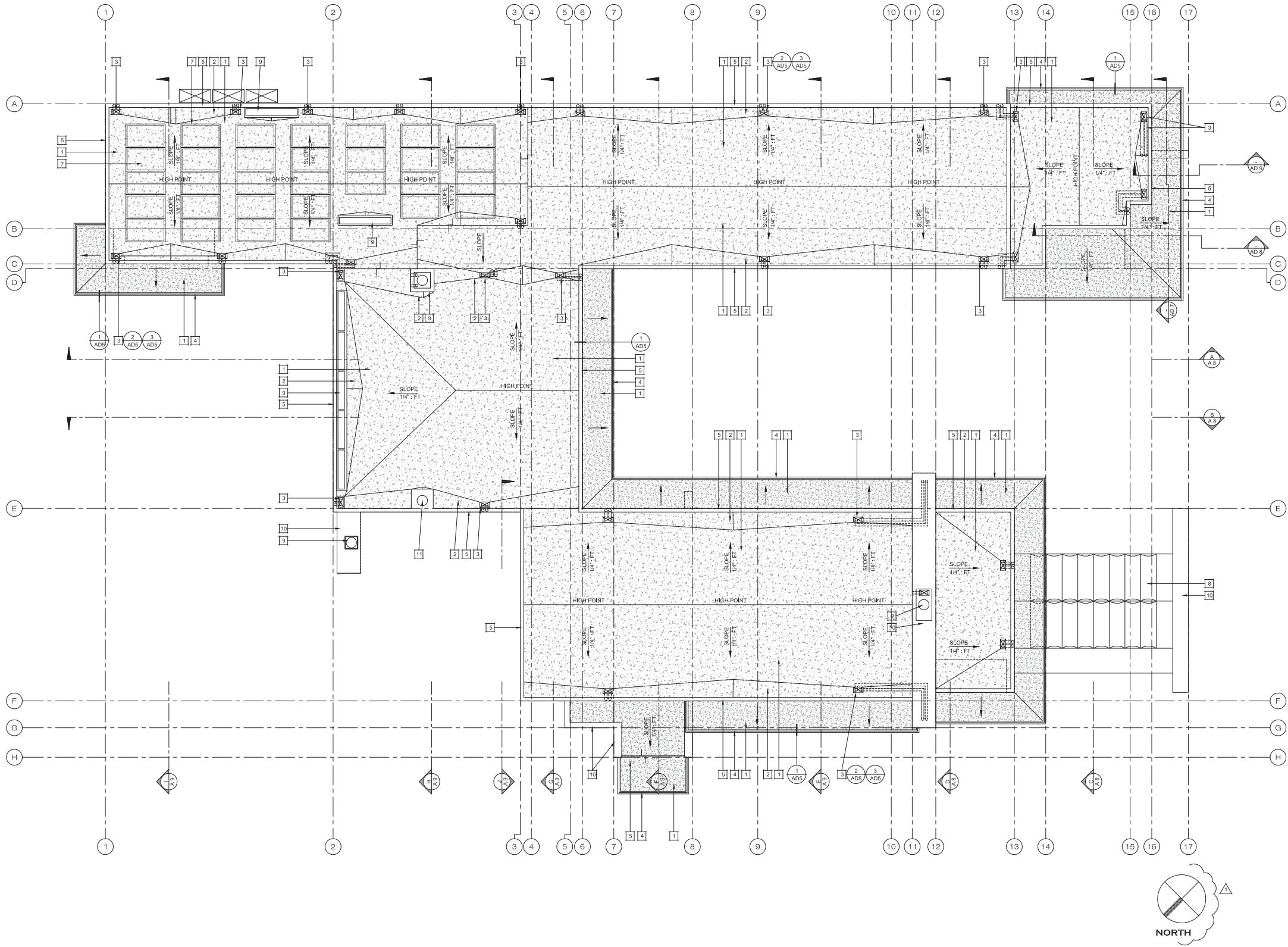
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JOB NO. 2009

R · D O U G L A S S
M A N S F I E L D
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100 W. EL PORTAL SAN CLEMENTE, CA 92672 T: 949.218.0408



GENERAL NOTES:

ALL SHEET METAL FLASHING TO BE 20 OZ COPPER.
SEE SHEET T-24 FOR ADDITIONAL REQUIREMENTS.
SEE SHEETS GN1 AND GN2 - FOR ADDITIONAL REQUIREMENTS.
ALL ROOF DRAIN DOWNSPOUTS SHALL BE CAST IRON PIPE.

ROOF PLAN KEY NOTES:

1. CLASS A - LOW SLOPE ROOFING:
GAF - EVERGUARD EXTREME TPO - 30 YEAR - 60/40 ML., FULLY ADHERED, MINIMUM OF TWO LAYERS OF INSULATION, TOP LAYER MUST BE FULLY ADHERED FOR FULLY ADHERED SYSTEMS. COLOR TO BE GRAY. UL ERI1365-01 AND FIRE RATING UL T9510X-SLOPE 1/4\"/>

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DANA POINT, CA

• ROOF PLAN



01.05.22

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JOB NO. 2009

R · D O U G L A S
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ROOF PLAN

SCALE: 3/16" = 1'-0"

100 W. EL PORTAL SAN CLEMENTE, CA 92672 T: 949.218.0408

GENERAL ELEVATION NOTES

- A. INSTALL VAPOR BARRIER (CREATING A WATERPROOF CONDITION) AROUND ALL WALL PENETRATIONS INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, VENTS, BEAM POCKETS, ETC.
- B. STRUCTURAL FRAMING - REFER TO STRUCTURAL DRAWINGS FOR MINIMUM FRAMING MEMBERS SPECIES, SIZE, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, SHEAR WALLS, AND ADDITIONAL STRUCTURAL REQUIREMENTS. THE ARCHITECT'S PLANS MAY REQUIRE LARGER MEMBERS IN SOME CASES. PLEASE REVIEW BOTH SETS OF REQUIREMENTS CAREFULLY. ANY DISCREPANCY SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION.
- C. ALL STRUCTURAL MEMBERS, SIZES, SPACING, ETC. MAY NOT BE DEPICTED IN THE ARCHITECTURAL DRAWINGS. STRUCTURAL DRAWINGS AND DETAILS TAKE PRECEDENT OVER THE ARCHITECTURAL SECTIONS. ANY DISCREPANCIES OR UNCLEAR INTENTIONS SHOULD BE BROUGHT TO THE ARCHITECTS AND STRUCTURAL ENGINEERS' ATTENTION FOR RESOLUTION.
- D. THE FRAMING CONTRACTOR, HVAC CONTRACTOR, AND THE BUILDER SHALL COORDINATE THE REQUIRED SPACE FOR THE HVAC EQUIPMENT AND REQUIRED DUCT ROUTING. DUCTING ROUTES ARE Laid OUT IN THIS PLAN SET ON UTILITY PLAN SHEETS AND THE SECTION DRAWINGS.
- E. ALL EXTERIOR IRON WORK TO BE METALIZED OR HOT DIP GALVANIZED TO INHIBIT RUST, WITH ARCHITECTURAL FINISH TO BE VERIFIED.

ELEV./SECTION KEYNOTES

- 1. ROOFING MATERIAL - GAF - EVERGUARD EXTREME TPO UL ERI306-01 AND FIRE RATING UL 790E108 - OVER COMPATIBLE TAPERED POLYSTY FOAM INSULATION (1/2" PER FT. MINIMUM). ARCHITECT TO SELECT COLOR (OR EQUAL).
- 2. STUCCO PARAPET - PROVIDE FLASHING UNDER STUCCO PER DETAILS. PER DETAILS. SEE ROOF PLAN AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. EXPOSED STEEL ELEMENTS TO BE HOT DIPPED GALVANIZED OR METALIZED PRIOR TO FINAL PAINTED FINISH.
- 3. STUCCO - SMOOTH HAND TROWELED FINISH WITH INTEGRAL COLOR - 3" THICK, 3 COAT PORTLAND CEMENT SYSTEM OVER CORROSION RESISTANT LATH. 2 LAYERS OF HIGH QUALITY GRADE 'D' BUILDING PAPER. ARCHITECT TO APPROVE FIELD SAMPLES UP FOR COLOR AND FINISH. A CRACK REDUCTION SYSTEM IS RECOMMENDED.
- 4. ALL STUCCO JOINTS - USE BREATHABLE EXPANDED METAL LATH AT ALL EXTERIOR STUCCO JOINTS AND CEILING.
- 5. STUCCO LOW WALL - FULLY WATERPROOFED AND HORIZONTAL SURFACES SLOPED 1/4" PER FOOT MIN. AWAY FROM BUILDING.
- 6. SLOPED STUCCO SILL.
- 7. POURED IN PLACE BOARD FORMED CONCRETE WALL, COLOR AND TEXTURE TO BE APPROVED BY THE OWNER AND ARCHITECT THROUGH A LARGE FORMAT MOCK UP PROCESS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 8. CHIMNEY PROVIDE APPROVED SPARK ARRESTOR/FLUE ASSEMBLY - REFER TO DETAILS FOR ADDITIONAL INFO.
- 9. ROOF SHEATHING - REFER TO STRUCTURAL DRAWINGS FOR THICKNESS AND ADDITIONAL REQUIREMENTS AND INFORMATION.
- 10. 1/2" PLYWOOD SUB-FLOOR SHEATHING - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
- 11. SOLE PLATES OR MUSSBLS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- 12. ROOF RAFTER JOISTS - REFER TO STRUCTURAL PLANS FOR SIZING AND MINIMUM SPACING. ADDITIONAL REQUIREMENTS AND INFORMATION. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS (PER 'CONFLICT' DIAGRAM AND LAYOUTS PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 13. 2 x 6 WALL FRAMING - UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR REQ. PLATE SIZE AT EA. WALL.
- 14. 2 x 4 CEILING JOISTS - SIZE AND SPACING - REFER TO STRUCTURAL DRAWINGS. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS (PER 'CONFLICT' DIAGRAM AND LAYOUTS PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 15. FLOOR JOISTS - REFER TO STRUCTURAL DRAWINGS FOR SIZE AND MINIMUM SPACING. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS (PER 'CONFLICT' DIAGRAM AND LAYOUTS PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 16. CONCRETE FOUNDATION - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. MOISTURE BARRIER AND SAND LAYERING SHALL BE PER THE GEOTECHNICAL REPORTS PREPARED FOR THIS PROJECT.
- 17. CONCRETE POOL SLAB - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 18. CONCRETE TREADS AND RISERS.
- 19. POURED IN PLACE CONCRETE (SULFATE RESISTANT) RETAINING WALL - REFER TO STRUCTURAL DRAWINGS AND GEOTECHNICAL REPORTS PREPARED FOR THIS PROJECT. WALLS AND ASSOCIATED FOOTINGS, SLABS, ETC. SHALL BE FULLY WATERPROOFED TO PREVENT ANY MOISTURE FROM PERMEATING.
- 20. A BACK DRAIN SYSTEM SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT AND THE GRADING AND DRAINAGE PLANS PREPARED BY THE CIVIL ENG.
- 21. VERTICAL WALL DRAIN BOARD SYSTEM OVER WATERPROOFING - TYPICAL.
- 22. NOTCH/DEPRESS SLAB AT DOOR THRESHOLDS - SEE PLAN FOR ADDITIONAL INFO.
- 23. DEPRESS SLAB - SEE PLAN FOR ADDITIONAL INFO.
- 24. CHANNEL DRAIN.
- 25. FINISH FLOOR IS 1-1/2" ABOVE SUB-FLOOR AT WOOD FLOORS. DEPRESS 1-1/2" AT TILED FLOOR LOCATIONS. EXPOSED POLISHED CONCRETE FLOORS ARE TO BE AT F.F. HEIGHTS IDENTIFIED ON PLANS.
- 26. PROVIDE A DROPPIN FROM HOUSE SUB-FLOOR TO DECK SUB-FLOOR TO ALLOW FOR PROPER SLOPE AND FLASHING - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 27. 5/8" GYPSUM BOARD AT ALL WALLS AND CEILINGS UNLESS NOTED OTHERWISE - LEVEL 5 FINISH ON ALL SURFACES - ARCHITECT TO APPROVE FIELD SAMPLE/LOOK UP.
- 28. 5/8" (1/2" MIN.) GYPSUM BOARD MINIMUM REQUIRED AT ENCLOSED USABLE SPACE BENEATH STAIRS.
- 29. DWELLING / GARAGE SEPARATION
 - 31.A. FROM RESIDENCE AND ATTICS - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
 - 31.B. FROM HABITABLE ROOMS ABOVE GARAGE - NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT
 - 31.C. STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY CODE SECTION 902.4 - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
 - 31.D. 1-HOUR SEPARATION IS REQUIRED BETWEEN (HOUSE) AND (BASEMENT GARAGE) SO OCCUPANCY - SEE SHT. ADP FOR DETAILS
- 30. MANUFACTURED FIREPLACE - SEE FLOOR PLAN FOR ADDITIONAL INFO.
- 31. CONTINUOUS HANDRAIL SECURELY FASTENED TO WALL AT 34" ABOVE TREAD NOSING - SEE DETAIL FOR ADDITIONAL INFORMATION.
- 32. TEMPERED LOW IRON GLASS GUARDRAIL WITH POWDER COATED TOP RAIL. RAIL MUST BE A MIN. OF 4" ABOVE FIN. SURFACE.
- 33. HVAC EQUIPMENT OR DUCT RUN LOCATION - GENERAL CONTRACTOR, FRAMING CONTRACTOR AND HVAC CONTRACTOR TO COORDINATE DUCT RUNS PER LAYOUTS ON THE UTILITY PLANS. ALL REGISTERS, GRILLE LOCATIONS SHALL BE APPROVED BY THE ARCHITECT AND OWNER.
- 34. CUSTOM WOOD GARAGE DOOR - DISTRESSED (VERY DEEP BRUSH) CEDAR.
- 35. WOOD CEILING DECORING PLANS - SEE REF. CLG. PLANS.
- 36. DECORATIVE EXTERIOR LIGHT FIXTURE - ARCHITECT SELECTED.
- 37. CUSTOM WOOD GATE - 5'-0" MINIMUM ABOVE FINISHED SURFACE.
- 38. OPENING IN WALL.
- 39. INSULATE ALL WALLS, FLOORS AND CEILINGS SEPARATING CONDITIONED SPACES FROM UNCONDITIONED SPACES PER THE T-24 SHEETS AND THE CAL GREEN CODE REQUIREMENTS.
- 40. R-19 INSULATION AT ALL FLOORS WITH AND WITHOUT CRAWL SPACE.
- 41. DOOR AND/OR WINDOW UNIT - SEE FLOOR PLANS AND DOOR AND WINDOW SCHEDULE ON SHEET DWI FOR ADDITIONAL INFORMATION.
- 42. WOOD WALKWAY - SEE SITE PLAN AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 43. BUILT IN BARBEQUE - BACKWALL AND SIDE WALLS TO BE NON-COMBUSTIBLE.
- 44. STAINLESS STEEL BUILT IN BARBEQUE VENTILATION HOOD LINER ABOVE.
- 45. BUILT IN STAINLESS STEEL SHELVING.
- 46. SOLAR PANELS ON ROOF - SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
- 47. TENSIONED CABLE/CANVAS SHADE SYSTEM.
- 48. CONCRETE COLUMN - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 49. SKYLIGHT - SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
- 50. TUBE STEEL COLUMN - HOT DIPPED GALVANIZED OR METALIZED PRIOR TO FINAL PAINT FINISH.
- 51. BUILT IN MILLWORK - SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- 52. 2X FIRE BLOCKING (TYP)
- 53. 2X TOP PLATE - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 54. SHOE POCKET
- 55. LIGHT COVE
- 56. WOOD BEAM - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 57. STEEL BEAM - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 58. WOOD STAIR STRINGERS - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 59. PRESSURE TREATED 2X WOOD WALKWAY DECK JOISTS - SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- 60. DRAINAGE SLAB - SLOPE TO DRAINS.

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DANA POINT, CA

ELEVATIONS AND SECTIONS

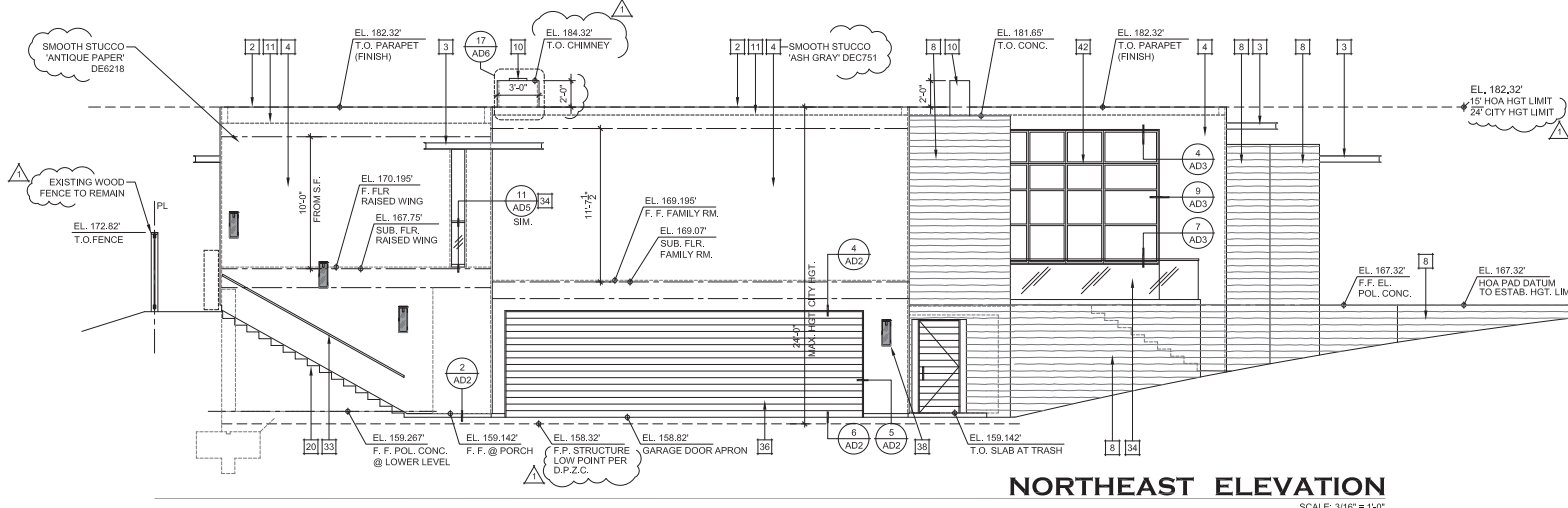
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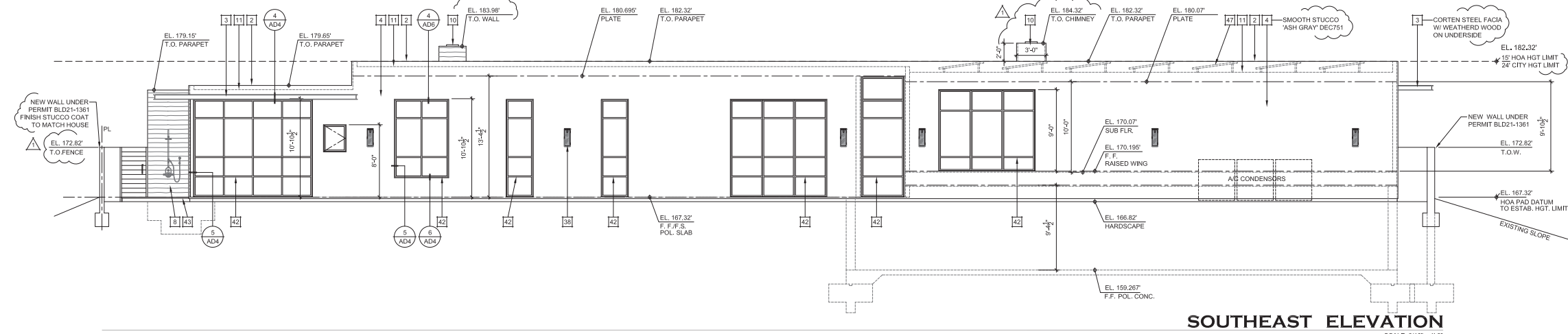
JOB NO. 2009

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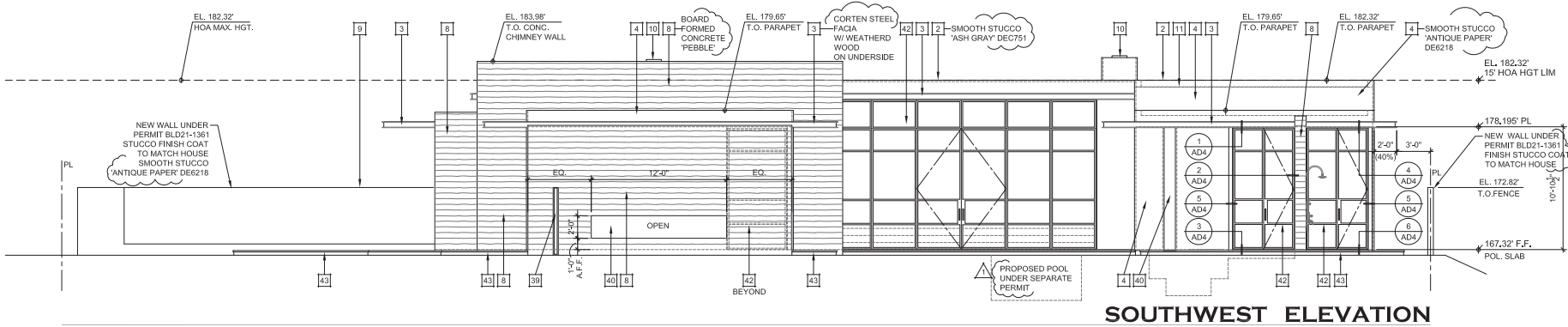
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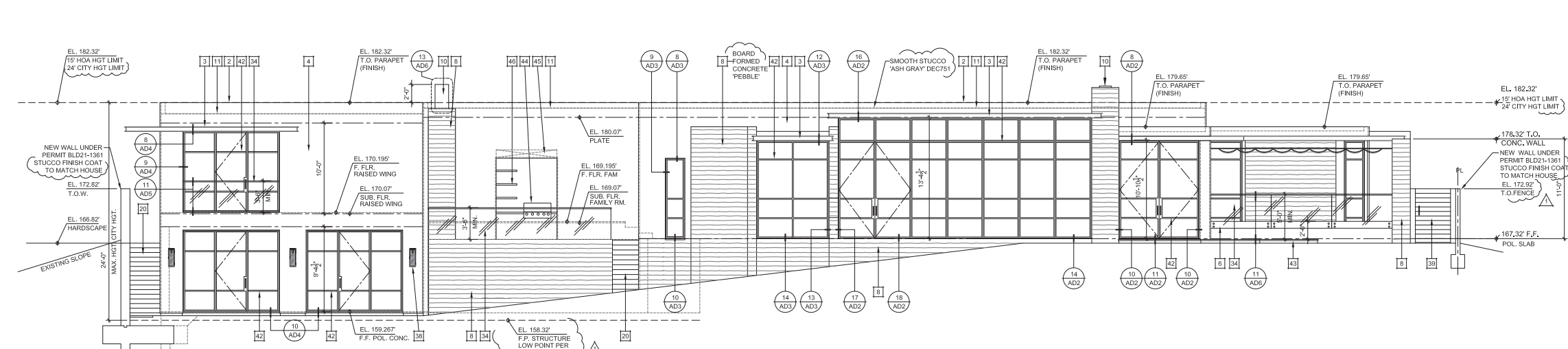
NORTHEAST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTHWEST ELEVATION
SCALE: 3/16" = 1'-0"



NORTHWEST ELEVATION
SCALE: 3/16" = 1'-0"

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DANA POINT, CA

GENERAL ELEVATION NOTES

- A. INSTALL VAPOR BARRIER (CREATING A WATERPROOF CONDITION) AROUND ALL WALL PENETRATIONS INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, VENTS, BEAM POCKETS, ETC.
- B. STRUCTURAL FRAMING REFER TO STRUCTURAL DRAWINGS FOR MINIMUM FRAMING MEMBERS SPECIES, SIZE, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, SHEAR WALLS, AND ADDITIONAL STRUCTURAL REQUIREMENTS. THE ARCHITECT'S PLANS MAY REQUIRE LARGER MEMBERS IN SOME CASES. PLEASE REVIEW BOTH SETS OF REQUIREMENTS CAREFULLY. ANY DISCREPANCY SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION.
- C. ALL STRUCTURAL MEMBERS, SIZES, SPACING, ETC. MAY NOT BE DETECTED IN THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND DETAILS TAKE PRECEDENT OVER THE ARCHITECTURAL SECTIONS. ANY DISCREPANCIES OR UNCLEAR INTENTIONS SHOULD BE BROUGHT TO THE ARCHITECTS AND STRUCTURAL ENGINEERS' ATTENTION FOR RESOLUTION.
- D. THE FRAMING CONTRACTOR, HVAC CONTRACTOR, AND THE BUILDER SHALL COORDINATE THE REQUIRED SPACE FOR THE HVAC EQUIPMENT AND REQUIRED DUCT ROUTING. DUCTING ROUTES ARE Laid OUT IN THIS PLAN SET ON UTILITY PLAN SHEETS AND THE SECTIONS.
- E. ALL EXTERIOR IRON WORK TO BE METALIZED OR HOT DIP GALVANIZED TO INHIBIT RUST, WITH ARCHITECTURAL FINISH TO BE VERIFIED.

ELEV./SECTION KEYNOTES

- 1. ROOFING MATERIAL - GAF - EVERGUARD EXTREME TPO UL E11306-01 AND FIRE RATING UL 750E108 - OVER COMPATIBLE TAPERED POLYISO FOAM INSULATION (2" PER FT. MINIMUM) - ARCHITECT TO SELECT COLOR (OR EQUAL).
- 2. STUCCO PARAPET - PROVIDE FLASHING UNDER STUCCO PER DETAILS.
- 3. ROOF OVERHANG WITH STEEL CHANNEL FASCIA AND BUILT IN GUTTER PER DETAILS. - SEE ROOF PLAN AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. EXPOSED STEEL ELEMENTS TO BE HOT DIPPED GALVANIZED OR METALIZED PRIOR TO FINAL PAINTED FINISH.
- 4. STUCCO - SMOOTH HAND TROWELED FINISH WITH INTEGRAL COLOR - 3" THICK, 3 COAT PORTLAND CEMENT SYSTEM CORROSION RESISTANT LATH, 2 LAYERS OF HIGH QUALITY GRADE 'D' BUILDING PAPER. ARCHITECT TO APPROVE FIELD SAMPLE/MOCK UP FOR COLOR AND FINISH. A CRACK REDUCTION SYSTEM IS RECOMMENDED.
- 5. ALL STUCCO JOINTS - USE BREATHABLE EXPANDED METAL LATH AT ALL EXTERIOR STUCCO JOINTS AND CEILINGS.
- 6. STUCCO LOW WALL - FULLY WATERPROOFED AND HORIZONTAL SURFACES SLOPED 1/4" PER FOOT MIN. AWAY FROM BUILDING.
- 7. SLOPED STUCCO SILL.
- 8. POURED IN PLACE BOARD FORMED CONCRETE WALL, COLOR AND TEXTURE TO BE APPROVED BY THE OWNER AND ARCHITECT THROUGH A LARGE FORMAT MOCK UP PROCESS. - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 9. SITE WALL - SEE SITE PLAN, CIVIL DRAWINGS, STRUCTURAL DRAWINGS, LANDSCAPE PLANS AND SOILS REPORT FOR COMPLETE INFORMATION AND REQUIREMENTS.
- 10. CHIMNEY PROVIDE APPROVED SPARK ARRESTOR/FLUE ASSEMBLY - REFER TO DETAILS FOR ADDITIONAL INFO.
- 11. ROOF SHEATHING - REFER TO STRUCTURAL DRAWINGS FOR THICKNESS AND ADDITIONAL REQUIREMENTS AND INFORMATION.
- 12. 1-1/2" PLYWOOD SUB-FLOOR SHEATHING - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
- 13. SOLE PLATES OR MUSSILLS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- 14. ROOF RAFTER JOISTS - REFER TO STRUCTURAL PLANS FOR SIZING AND MINIMUM SPACING. ADDITIONAL REQUIREMENTS AND INFORMATION, CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS (PER 'CONFLICT' DIAGRAM AND LAYOUTS PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 15. 2 x 6 WALL FRAMING - UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR REQ. PLATE SIZE AT EA. WALL.
- 16. 2 x 6 CEILING JOISTS - SIZE AND SPACING - REFER TO STRUCTURAL DRAWINGS. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS (PER 'CONFLICT' DIAGRAM AND LAYOUTS PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 17. FLOOR JOISTS - REFER TO STRUCTURAL DRAWINGS FOR SIZE AND MINIMUM SPACING. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS (PER 'CONFLICT' DIAGRAM' PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 18. CONCRETE FOUNDATION - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. MOISTURE BARRIER AND SAND LAYERING SHALL BE PER THE GEOTECHNICAL REPORTS PREPARED FOR THIS PROJECT.
- 19. CONCRETE POOL/SLAB - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 20. CONCRETE TREADS AND RISERS.
- 21. POURED IN PLACE CONCRETE (SULFATE RESISTANT) RETAINING WALL - REFER TO STRUCTURAL DRAWINGS AND GEOTECHNICAL REPORTS PREPARED FOR THIS PROJECT. WALLS AND ASSOCIATED FOOTINGS, SLABS, ETC. SHALL BE FULLY WATERPROOFED TO PREVENT ANY MOISTURE FROM PERMEATING.
- 22. A BACK DRAIN SYSTEM SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT AND THE GRADING AND DRAINAGE PLANS PREPARED BY THE CIVIL ENG.
- 23. VERTICAL WALL DRAIN BOARD SYSTEM OVER WATERPROOFING - TYPICAL.
- 24. NOTCH/DEPRESS SLAB AT DOOR THRESHOLDS - SEE PLAN FOR ADDITIONAL INFO.
- 25. DEPRESSURED SLAB - SEE PLAN FOR ADDITIONAL INFO.
- 26. CHANNEL DRAIN.
- 27. FINISH FLOOR IS 1-1/2" ABOVE SUB-FLOOR AT WOOD FLOORS. DEPRESS 1-1/2" AT TILED FLOOR LOCATIONS. EXPOSED POLISHED CONCRETE FLOORS ARE TO BE AT F.F. HEIGHTS IDENTIFIED ON PLANS.
- 28. PROVIDE A DROPNOTCH FROM HOUSE SUB-FLOOR TO DECK SUB-FLOOR TO ALLOW FOR PROPER SLOPE AND FLASHING - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 29. 5/8" GYPSUM BOARD AT ALL WALLS AND CEILINGS UNLESS NOTED OTHERWISE - LEVEL 5 FINISH ON ALL SURFACES - ARCHITECT TO APPROVE FIELD SAMPLE/MOCK UP.
- 30. 5/8" (1/2" MIN.) GYPSUM BOARD MINIMUM REQUIRED AT ENCLOSED USABLE SPACE BENEATH STAIRS.
- 31. DWELLING / GARAGE SEPARATION
 - 31.A. FROM RESIDENCE AND ATTICES - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
 - 31.B. FROM HABITABLE ROOMS ABOVE GARAGE - NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT
 - 31.C. STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY CODE SECTION 902.8 - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
 - 31.D. 1-HOUR SEPARATION IS REQUIRED BETWEEN (HOUSE) AND (BASEMENT GARAGE) SO OCCUPANCY - SEE SHT. ADP FOR DETAILS
- 32. MANUFACTURED FIREPLACE - SEE FLOOR PLAN FOR ADDITIONAL INFO.
- 33. CONTINUOUS HANDRAIL SECURELY FASTENED TO WALL AT 54" ABOVE TREAD NOSING - SEE DETAIL FOR ADDITIONAL INFORMATION.
- 34. TEMPERED LOW IRON GLASS GUARDRAIL WITH POWDER COATED TOP RAIL. RAIL MUST BE A MIN. OF 42" ABOVE FIN. SURFACE.
- 35. HVAC EQUIPMENT OR DUCT RUN LOCATION - GENERAL CONTRACTOR, FRAMING CONTRACTOR AND HVAC CONTRACTOR TO COORDINATE DUCT RUNS PER LAYOUTS ON THE UTILITY PLANS. ALL REGISTERS, GRILLE LOCATIONS SHALL BE APPROVED BY THE ARCHITECT AND OWNER.
- 36. CUSTOM WOOD GARAGE DOOR - DISTRESSED (VERY DEEP WIRE BRUSH) CEDAR.
- 37. WOOD CEILING DECKING PLANS - SEE REF. CLG. PLANS.
- 38. DECORATIVE EXTERIOR LIGHT FIXTURE - ARCHITECT SELECTED.
- 40. OPENING IN WALL.
- 41. INSULATE ALL WALLS, FLOORS AND CEILINGS SEPARATING CONDITIONED SPACES FROM UNCONDITIONED SPACES PER THE T-24 SHEETS AND THE CAL GREEN CODE REQUIREMENTS.
 - R-19 INSULATION AT ALL EXTERIOR WALLS AND INTERIOR WALLS.
 - R-30 INSULATION AT ALL ROOF RATERS.
 - R-19 INSULATION AT ALL FLOORS WITH AND WITHOUT CRAWL SPACE.
- 42. DOOR AND/OR WINDOW UNIT - SEE FLOOR PLANS AND DOOR AND WINDOW SCHEDULE ON SHEET DW1 FOR ADDITIONAL INFORMATION.
- 43. WOOD WALKWAY - SEE SITE PLAN AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 44. BUILT IN BARBEQUE - BACKWALL AND SIDE WALLS TO BE NON-COMBUSTIBLE.
- 45. STAINLESS STEEL BUILT IN BARBEQUE VENTILATION HOOD LINER ABOVE.
- 46. BUILT IN STAINLESS STEEL SHELVING.
- 47. SOLAR PANELS ON ROOF - SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
- 48. TENSIONED CABLE/CANVAS SHADE SYSTEM.
- 49. CONCRETE COLUMN - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 50. SKYLIGHT - SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
- 51. TUBE STEEL COLUMN - HOT DIPPED GALVANIZED OR METALIZED PRIOR TO FINAL PAINT FINISH.
- 52. BUILT IN MILLWORK - SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- 53. 2X FIRE BLOCKING (TYP)
- 54. 2X TOP PLATE - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 55. SHADE POCKET
- 56. LIGHT COVE
- 57. WOOD BEAM - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 58. STEEL BEAM - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 59. WOOD STAIR STRINGERS - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 60. PRESSURE TREATED 2X WOOD WALKWAY DECK JOISTS - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 61. DRAINAGE SLAB - SLOPE TO DRAINS.

ELEVATIONS AND SECTIONS



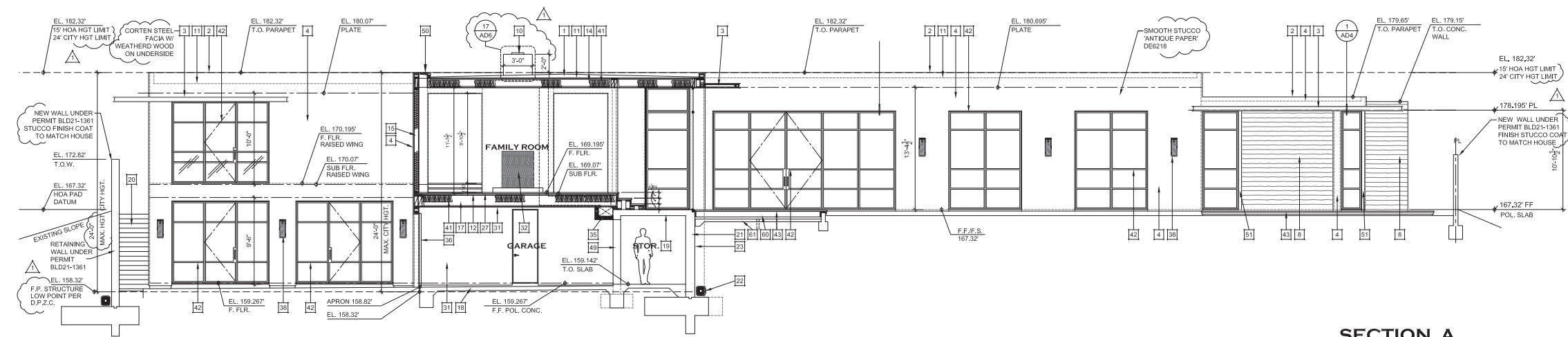
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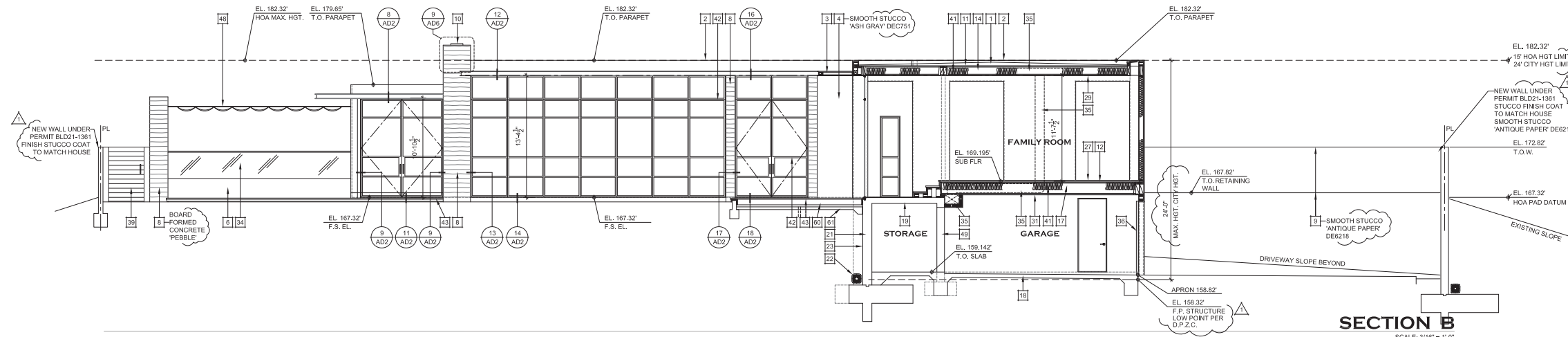
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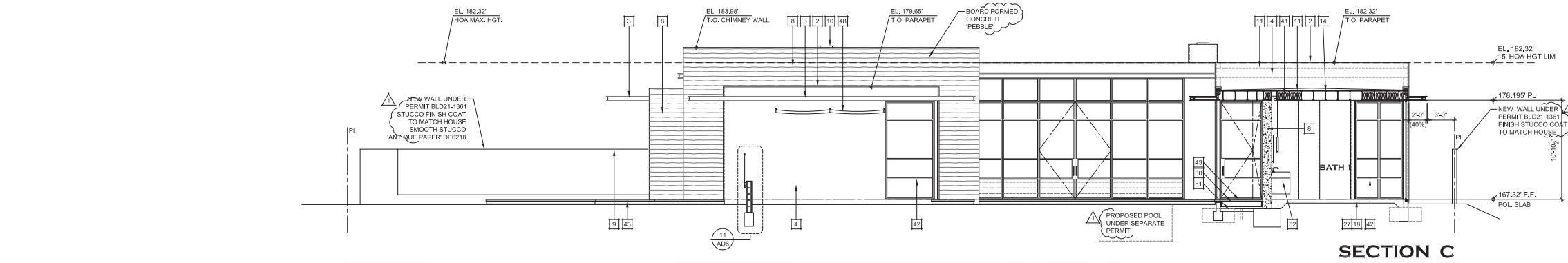
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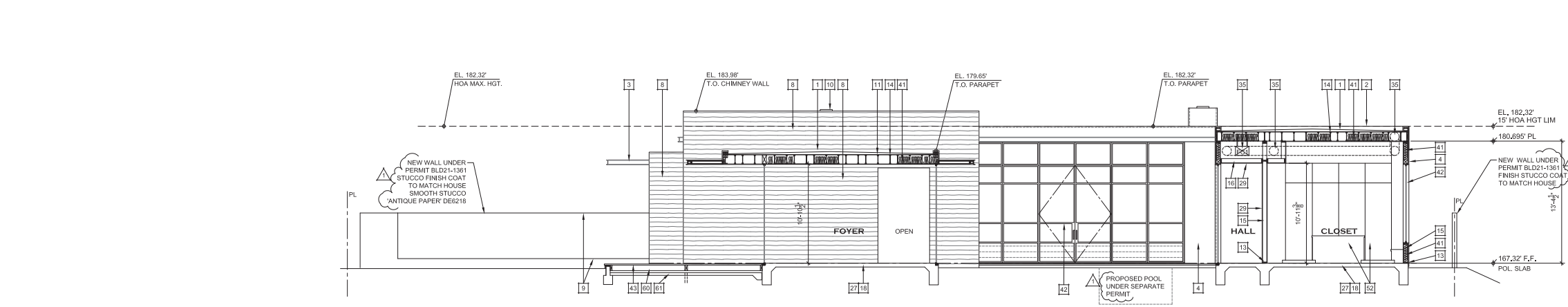
SECTION A
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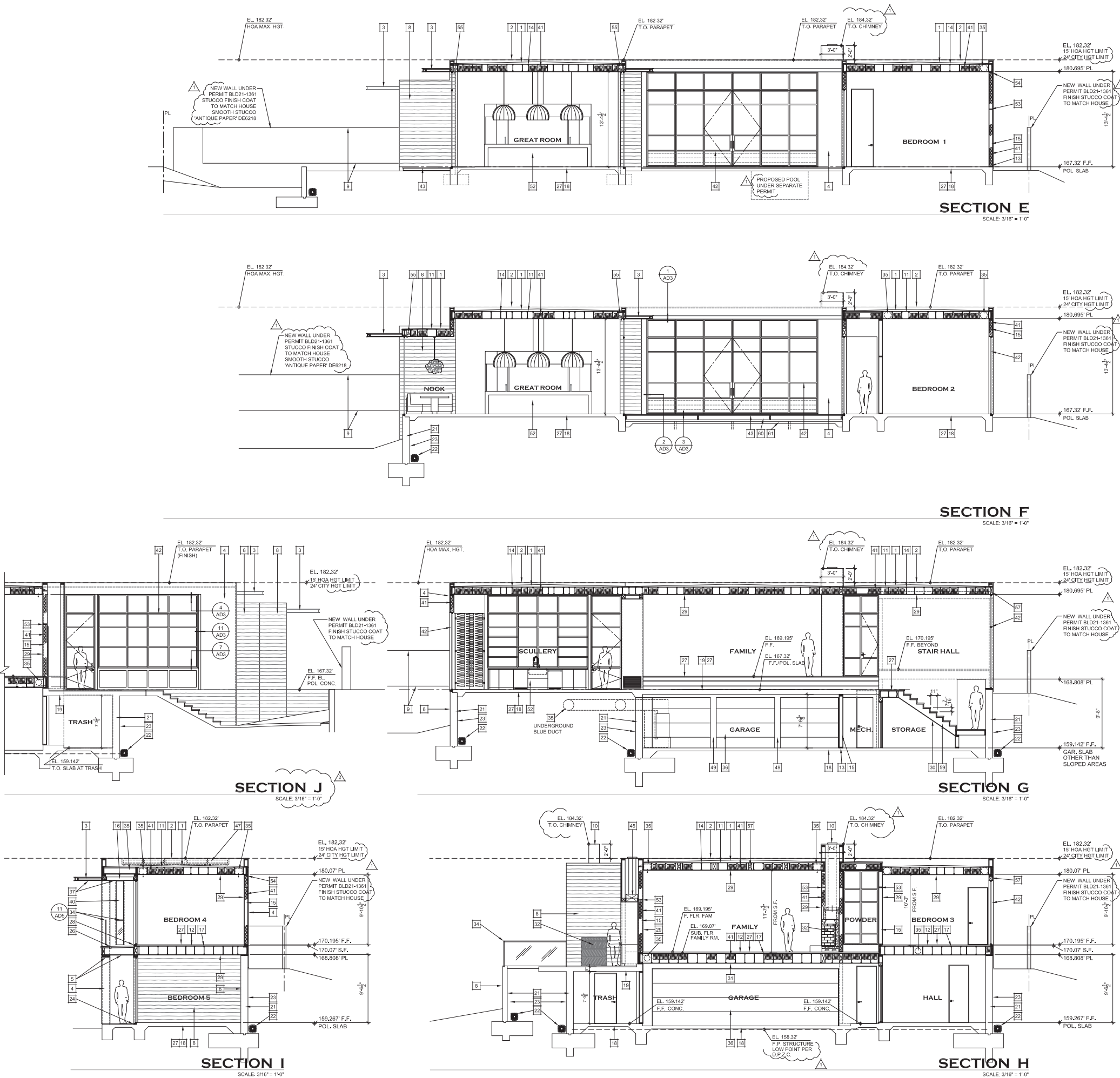
SECTION B
SCALE: 3/16" = 1'-0"



SECTION C
SCALE: 3/16" = 1'-0"



SECTION D
SCALE: 3/16" = 1'-0"



GENERAL ELEVATION NOTES

- A. INSTALL VAPOR BARRIER (CREATING A WATERPROOF CONDITION) AROUND ALL WALL PENETRATIONS INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, VENTS, BEAM POCKETS, ETC.
- B. STRUCTURAL FRAMING - REFER TO STRUCTURAL DRAWINGS FOR MINIMUM FRAMING MEMBERS SPECIES, SIZE, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, SHEAR WALLS, AND ADDITIONAL STRUCTURAL REQUIREMENTS. THE ARCHITECT'S PLANS MAY REQUIRE LARGER MEMBERS IN SOME CASES. PLEASE REVIEW BOTH SETS OF REQUIREMENTS CAREFULLY. ANY DISCREPANCY SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION.
- C. ALL STRUCTURAL MEMBERS, SIZES, SPACING, ETC. MAY NOT BE DEPICTED IN THE ARCHITECTURAL DRAWINGS. STRUCTURAL DRAWINGS AND DETAILS TAKE PRECEDENCE OVER THE ARCHITECTURAL SECTIONS. ANY DISCREPANCIES OR UNCLEAR INTENTIONS SHOULD BE BROUGHT TO THE ARCHITECT'S AND STRUCTURAL ENGINEERS' ATTENTION FOR RESOLUTION.
- D. THE FRAMING CONTRACTOR, HVAC CONTRACTOR, AND THE BUILDER SHALL COORDINATE THE REQUIRED SPACE FOR THE HVAC EQUIPMENT AND REQUIRED DUCT ROUTING. DUCTING ROUTES ARE Laid OUT IN THIS PLAN SET ON UTILITY PLAN SHEETS AND THE SECTIONS.
- E. ALL EXTERIOR IRON WORK TO BE METALIZED OR HOT DIP GALVANIZED TO INHIBIT RUST, WITH ARCHITECTURAL FINISH TO BE VERIFIED.

ELEV./SECTION KEYNOTES

- 1. ROOFING MATERIAL - GAF - EVERGUARD EXTREME TPO UL ER1306-01 AND FIRE RATING UL 790E108 - OVER COMPATIBLE TAPERED POLYSTYRENE FOAM INSULATION (2" PER FT. MINIMUM). ARCHITECT TO SELECT COLOR (OR EQUAL).
- 2. STUCCO PARAPET - PROVIDE FLASHING UNDER STUCCO PER DETAILS.
- 3. ROOF OVERHANG WITH STEEL CHANNEL FASCIA AND BUILT IN GUTTER PER DETAILS. SEE ROOF PLAN AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION EXPOSED STEEL ELEMENTS TO BE HOT DIPPED GALVANIZED OR METALIZED PRIOR TO FINAL PAINTED FINISH.
- 4. STUCCO - SMOOTH HAND FROWNED FINISH WITH INTEGRAL COLOR - 3" THICK, 3 COAT PORTLAND CEMENT SYSTEM OVER CORROSION RESISTANT LATH. 2 LAYERS OF HIGH QUALITY GRADE 'D' BUILDING PAPER. ARCHITECT TO APPROVE FIELD SAMPLE/MOCK UP FOR COLOR AND FINISH. A CRACK REDUCTION SYSTEM IS RECOMMENDED.
- 5. STUCCO SOFFIT - USE BREATHABLE EXPANDED METAL LATH AT ALL EXTERIOR STUCCO SOFFITS AND CEILINGS.
- 6. STUCCO LOW WALL - FULLY WATERPROOFED AND HORIZONTAL SURFACES SLOPED 1/4" PER FOOT MIN. AWAY FROM BUILDING.
- 7. SLOPED STUCCO SILL.
- 8. POURED IN PLACE BOARD FORMED CONCRETE WALL, COLOR AND TEXTURE TO BE APPROVED BY THE OWNER AND ARCHITECT THROUGH A LARGE FORMAT MOCK UP PROCESS. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 9. SITE WALL - SEE SITE PLAN, CIVIL DRAWINGS, STRUCTURAL DRAWINGS, LANDSCAPE PLANS AND SOILS REPORT FOR COMPLETE INFORMATION AND REQUIREMENTS.
- 10. CHIMNEY PROVIDE APPROVED SPARK ARRESTOR/FLUE ASSEMBLY - REFER TO DETAILS FOR ADDITIONAL INFO.
- 11. ROOF SHEATHING - REFER TO STRUCTURAL DRAWINGS FOR THICKNESS AND ADDITIONAL REQUIREMENTS AND INFORMATION.
- 12. 1-1/2" PLYWOOD SUB-FLOOR SHEATHING - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
- 13. SOLE PLATES OR MUSSBLS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- 14. ROOF RAFTER JOISTS - REFER TO STRUCTURAL PLANS FOR SIZING AND MINIMUM SPACING. ADDITIONAL REQUIREMENTS AND INFORMATION. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS) (PER 'CONFLICT' DIAGRAM AND LAYOUTS PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 15. 2 x 6 WALL FRAMING - UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR REQ. PLATE SIZE AT EA. WALL.
- 16. 2 x CEILING JOISTS - SIZE AND SPACING - REFER TO STRUCTURAL DRAWINGS. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS) (PER 'CONFLICT' DIAGRAM AND LAYOUTS PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 17. FLOOR JOISTS - REFER TO STRUCTURAL DRAWINGS FOR SIZE AND MINIMUM SPACING. CONTRACTOR TO ANTICIPATE AND COORDINATE WITH ARCHITECT ALL CEILING ELEMENTS (I.E. LIGHTS, SPRINKLERS, DETECTORS, SPEAKERS) (PER 'CONFLICT' DIAGRAM PROVIDED SEPARATELY FROM THIS SET OF PLANS IN THE INTERIOR DESIGN PLANS).
- 18. CONCRETE FOUNDATION - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. MOISTURE BARRIER AND SAND LAYERING SHALL BE PER THE GEOTECHNICAL REPORTS PREPARED FOR THIS PROJECT.
- 19. CONCRETE POOL/SLAB - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 20. CONCRETE TREADS AND RISERS.
- 21. POURED IN PLACE CONCRETE (SULFATE RESISTANT) RETAINING WALL - REFER TO STRUCTURAL DRAWINGS AND GEOTECHNICAL REPORTS PREPARED FOR THIS PROJECT. WALLS AND ASSOCIATED FOOTINGS, SLABS, ETC. SHALL BE FULLY WATERPROOFED TO PREVENT ANY MOISTURE FROM PERMEATING.
- 22. A BACK DRAIN SYSTEM SHALL BE PROVIDED PER THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT AND THE GRADING AND DRAINAGE PLANS PREPARED BY THE CIVIL ENG.
- 23. VERTICAL WALL DRAIN BOARD SYSTEM OVER WATERPROOFING - TYPICAL.
- 24. NOTCH/DEPRESS SLAB AT DOOR THRESHOLDS - SEE PLAN FOR ADDITIONAL INFO.
- 25. DEPRESS SLAB - SEE PLAN FOR ADDITIONAL INFO.
- 26. CHANNEL DRAIN.
- 27. FINISH FLOOR IS 1-1/2" ABOVE SUB-FLOOR AT WOOD FLOORS. DEPRESS 1-1/2" AT TILED FLOOR LOCATIONS. EXPOSED POLISHED CONCRETE FLOORS ARE TO BE AT F.F. HEIGHTS IDENTIFIED ON PLANS.
- 28. PROVIDE A DROPNOTCH FROM HOUSE SUB-FLOOR TO DECK SUB-FLOOR TO ALLOW FOR PROPER SLOPE AND FLASHING - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 29. 5/8" GYPSUM BOARD AT ALL WALLS AND CEILINGS UNLESS NOTED OTHERWISE - LEVEL 5 FINISH ON ALL SURFACES - ARCHITECT TO APPROVE FIELD SAMPLE/MOCK UP.
- 30. 5/8" (1/2" MIN.) GYPSUM BOARD - MINIMUM REQUIRED AT ENCLOSED USABLE SPACE BENEATH STAIRS.
- 31. DWELLING / GARAGE SEPARATION
 - 31.A. FROM RESIDENCE AND ATTICS - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
 - 31.B. FROM HABITABLE ROOMS ABOVE GARAGE - NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT
 - 31.C. STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY CODE SECTION 302A - NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
 - 31.D. 1-HOUR SEPARATION IS REQUIRED BETWEEN (HOUSE) RD AND (BASEMENT) GARAGE(S) OCCUPANCY - SEE SHT. A-04 FOR DETAILS
- 32. MANUFACTURED FIREPLACE - SEE FLOOR PLAN FOR ADDITIONAL INFO.
- 33. CONTINUOUS HANDRAIL SECURELY FASTENED TO WALL AT 34" ABOVE TREAD NOSING - SEE DETAIL FOR ADDITIONAL INFORMATION.
- 34. TEMPERED LOW IRON GLASS GUARDRAIL WITH POWDER COATED TOP RAIL. RAIL MUST BE A MIN. OF 1/2" ABOVE FIN. SURFACE.
- 35. HVAC EQUIPMENT OR DUCT RUN LOCATION - GENERAL CONTRACTOR, FRAMING CONTRACTOR AND HVAC CONTRACTOR TO COORDINATE DUCT RUNS PER LAYOUTS ON THE UTILITY PLANS. ALL REGISTERS, GRILLE LOCATIONS SHALL BE APPROVED BY THE ARCHITECT AND OWNER.
- 36. CUSTOM WOOD GARAGE DOOR - DISTRESSED VERY DEEP WIRE BRUSH CEDAR.
- 37. WOOD CEILING DECKING PLANS - SEE REF. CLG. PLANS.
- 38. DECORATIVE EXTERIOR LIGHT FIXTURE - ARCHITECT SELECTED.
- 39. CUSTOM WOOD GATE - 5'-0" MINIMUM ABOVE FINISHED SURFACE.
- 40. OPENING IN WALL.
- 41. INSULATE ALL WALLS, FLOORS AND CEILINGS SEPARATING CONDITIONED SPACES FROM UNCONDITIONED SPACES PER THE T-24 SHEETS AND THE CAL GREEN CODE REQUIREMENTS.
 - R-19 INSULATION AT ALL EXTERIOR WALLS AND INTERIOR WALLS.
 - R-30 INSULATION AT ALL ROOF RATTERS.
 - R-19 INSULATION AT ALL FLOORS WITH AND WITHOUT CRAWL SPACE.
- 42. DOOR AND/OR WINDOW UNIT - SEE FLOOR PLANS AND DOOR AND WINDOW SCHEDULE ON SHEET D-01 FOR ADDITIONAL INFORMATION.
- 43. WOOD WALKWAY - SEE SITE PLAN AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 44. BUILT IN BARBEQUE - BACKWALL AND SIDE WALLS TO BE NON-COMBUSTIBLE.
- 45. STAINLESS STEEL BUILT IN BARBEQUE VENTILATION HOOD LINER ABOVE.
- 46. BUILT IN STAINLESS STEEL SHELVING.
- 47. SOLAR PANELS ON ROOF - SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
- 48. TENSIONED CABLE/CANVAS SHADE SYSTEM.
- 49. CONCRETE COLUMN - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 50. SKYLIGHT - SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
- 51. TUBE STEEL COLUMN - HOT DIPPED GALVANIZED OR METALIZED PRIOR TO FINAL PAINT FINISH.
- 52. BUILT IN MILLWORK - SEE INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- 53. 2X FIRE BLOCKING (TYP)
- 54. 2X TOP PLATE - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 55. SHADE POCKET
- 56. LIGHT COVE
- 57. WOOD BEAM - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 58. STEEL BEAM - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 59. WOOD STAIR STRINGERS - SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 60. PRESSURE TREATED 2X WOOD WALKWAY DECK JOISTS - SEE STRUCTURAL FOR ADDITIONAL INFORMATION.
- 61. DRAINAGE SLAB - SLOPE TO DRAINS.

CLIENT: GRANGER
PROJECT: 154 MONARCH BAY DRIVE
LOCATION: DANA POINT, CA

ELEVATIONS AND SECTIONS



01.05.22

A9

JOB NO. 2009

R · D O U G L A S
M A N S F I E L D
A R C H I T E C T

100 W. EL PORTAL SAN CLEMENTE, CA 92672 T: 949.218.0408

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED BY THE PERMITTEE. A COPY OF THE GRADING CODE AND MANUAL SHALL BE AVAILABLE TO THE PUBLIC AT THE CITY OF DANA POINT CITY ROOM STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE GRADING BOARD INSPECTOR. THE GRADING BOARD INSPECTOR SHALL BE PRESENT AT ALL MEETINGS. THE GRADING BOARD INSPECTOR SHALL BE A PERSON FROM THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND THE HISTORIC PRESERVATION OFFICER. THE GRADING BOARD INSPECTOR SHALL BE PRESENT AT ALL MEETINGS.
3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES OR THE RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
5. RETAINING WALLS SHALL BE CONSTRUCTED PRIOR TO FILLING. BUILDING SHALL BE CONSTRUCTED PRIOR TO GRADING.
6. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
7. ALL SURVEYING, ENGINEERING REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE TO THE GRADING CONTRACTOR TO VERIFY COMPLIANCE WITH THE PLAN, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
10. FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY ROAD STANDARD PLAN NO. 1522.
11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBSURFACES SHALL BE EXCAVATED AND DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO PREVENT CANYON EROSION.
12. SUBURBAN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBURBAN CANYON.
13. THE EXACT LOCATION OF THE SUBURBANS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON THE GRADING PLAN.
14. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND CIVIL ENGINEER. THE GRADING CONTRACTOR SHALL FILL TO THE GRADING PLAN.
15. ALL EXISTING FILL SHALL BE APPROVED BY THE BUILDING OFFICIAL. REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
16. ALL COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-I OR APPROVED EQUIVALENT AND FIELD TESTS SHALL BE USED TO DETERMINE COMPACTION.
17. CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1), EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
18. ALL EXISTING AND NEW EROSION CONTROL MEASURES DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS, SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL ADVISE THE GRADING CONTRACTOR AND THE CITY ENGINEER. THE GRADING CONTRACTOR SHALL, WHEN SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CONSTRUCTION APPROVED AND FUNCTIONAL. HOWEVER, IN ANY CASE, THE GRADING CONTRACTOR AND SOIL ENGINEER SHALL OBSERVE AND OBSERVE THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
19. WHEN SLOPES ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPLETED FILL BLANKET WILL BE REQUIRED.
20. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE.
21. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
22. ALL EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
23. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE.
24. ALL EXISTING EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
25. EXCESS MATERIAL TO BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (CMO) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID CMO APPLICATION MUST APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENVIRONMENTAL DEPARTMENT.
26. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC HIGHWAYS OR THROUGH EXISTING HIGHWAYS.
27. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
28. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS OF ANY ACTIVITIES THAT MAY AFFECT THE ADJOINING PROPERTY. THE NOTICE SHALL BE GIVEN TO THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND THE ADJOINING OWNER SHALL BE RESPONSIBLE TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
29. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED TO THE GRADING CODE REQUIREMENTS FOR CONCRETE.
30. SLOPES EXCEEDING 5 FEET VERTICAL SHALL BE PROTECTED BY AN APPROVED PLANT MATERIAL. PLANT MATERIAL SHALL BE PLANTED TO THE HEIGHT OF 5 FEET OR GREATER. THIS LEAVING A PROTECTED SYSTEM, UNLESS OTHERWISE REQUIRED BY THE CITY ENGINEER OR HIS DESIGNEE.
31. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO BE CONSTRUCTED ARE COMPLETED. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND THE ADJOINING OWNER SHALL BE RESPONSIBLE TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
32. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
33. APPROVED PROTECTION MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT HOLIDAYS.
34. ALL CONSTRUCTION EQUIPMENT, INCLUDING EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DIELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
35. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
36. STOOPLING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.

GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS, ACCORDING TO AIR QUALITY MANAGEMENT PLAN. GRADING AND EXCAVATION SHALL BE HALTED IF WINDS ARE AS MUCH AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

37. ASPHALT SECTIONS MUST BE PER CODE: PARKING LOTS = 3/4" OVER 10" (COMM.) 12" (INDUSTRIAL) OR PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON R-10.
38. ALL EXISTING ASPHALT SHALL BE REMOVED AND REPLACED WITH NEW ASPHALT.
39. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY ROAD STANDARD PLAN NO. 1505.
40. ASPHALT BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY ROAD STANDARD PLAN NO. 1504.

FOR
154 MONARCH BAY DRIVE
DANA POINT, CA

30. GROUT GUETERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED ROOFS. ROOF GUETERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.
31. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT.
41. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE.
42. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
43. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
44. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
45. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
46. THE GRADING CONTRACTOR SHALL OBTAIN AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT FIELD TESTS SHALL BE CONDUCTED AND REPORTED TO VERIFY THE ADEQUACY OF THE FIELD DENSITY CURVES USED BY THE FIELD TECHNICIAN.
47. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, THE GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
48. IF ANY SIGNIFICANT CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.
49. ALL OTHERS SHALL BE PRECEDED BY THE CITY ENGINEER'S LETTER OF AUTHORITY FOR CONSTRUCTION PURSUANT TO SECTION 8871 OF THE BUSINESS AND PROFESSIONAL CODE.

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. THAT HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH THE EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

PRINTED OWNER'S SIGNATURE

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN GENERAL CONFORMANCE WITH THE PRELIMINARY SOILS REPORT ENTITLED: GEOTECHNICAL INVESTIGATION, PROPOSED SINGLE FAMILY RESIDENCE, 154 MONARCH BAY DRIVE, DANA POINT, CALIFORNIA, DATED 8/19/2021 (P.N. 21-137-00)

DAVID HANSEN
GE 3056
EXP. DATE

ALAN B. MUTCHNICK
CEG 1789
EXP. DATE

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION SHALL BE CONSIDERED TO BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR FOR THE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONSTRUCTION CONTRACTOR SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
2. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE RESPONSIBLE FOR ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN PREVENTED OR AVOIDED BY THE SIGNATORY ENGINEER IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.
3. THE NATURE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

OWNER: RON GRANGER
154 MONARCH BAY DRIVE
DANA POINT, CA 92629

ARCHITECT: DOUG MANSFIELD
108 W. EL PORTAL
SAN CLEMENTE, CA 92672
(949) 218-0408 EXT. 223
RDMARCHITECTS.COM

CIVIL ENGINEER: ADVANCED CIVIL GROUP INC.
30251 GOLDEN LANTERN, SUITE E, PMB 251
LAGUNA NIGUEL, CA 92677
(949) 391-7772
STEVE@ADVANCEDCIVILGROUP.COM

SURVEYOR: TOTAL ENGINEERING
139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
(949) 492-8586

GEOTECH: GMI
CONTACT: DAVID HANSEN
23241 ARROYO VISTA
RANCHO SANTA MARGARITA, CA 92688
(949) 888-6513

154 MONARCH BAY DRIVE
DANA POINT, CA

THE CENTERLINE OF CORDONATION DRIVE
OF CORNER RECORD NO. 2020-3276
BEING N43°33'09"E

TOTAL ENGINEERING
139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
(949) 492-8586

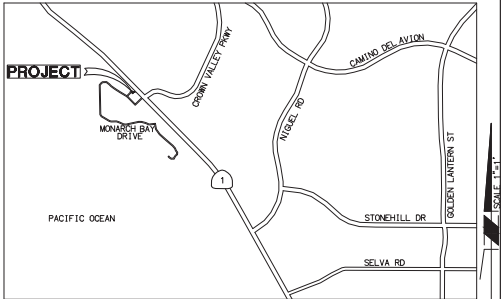
LOT 6 OF TRACT 3748
PARCEL MAP BK 2 PG 230 AND 231
APN: 670-131-05

1	INSTALL NOS 6" GREEN ROUND ATRIUM GRATE MODEL 80 AREA DRAIN OR APPROVED EQUAL AND PER DETAIL HEREON.	7 EA
2	INSTALL DRAINAGE BASIN W/ LOW FLOW INFILTRATION PIT PER CITY OF DANA POINT SEPC DETAIL DP-202.	1 EA
3	CONSTRUCT CONCRETE DRIVEWAY APPROACH PER CITY OF DANA POINT SEPC DETAIL DP-103.	108 SF
4	INSTALL HARDCORE PER LANDSCAPE ARCHITECT PLAN.	2,918 SF
5	INSTALL 4" (MIN.) SCH 40 PVC AREA DRAIN LINE.	402 LF
6	INSTALL STAIRS PER LANDSCAPE ARCHITECT PLAN.	17 EA
7	CORE THROUGH EXISTING CURB PER CITY OF DANA POINT SEPC DETAIL DP-123.	2,296 SF
8	CONNECT DOWNSPOUT TO AREA DRAIN SYSTEM PER DETAIL HEREON.	EA
9	CONSTRUCT ONSITE DRIVEWAY PER LANDSCAPE ARCHITECT PLAN.	1,296 SF
10	CONSTRUCT RETAINING WALL PER SEPARATE PERMIT, TM AND TF PER THIS PLAN.	1,207 SF
11	INSTALL 3" ROUND BRASS GRATE INLET (NOS 156R OR EQUAL) PER DETAIL HEREON.	3 EA
12	INSTALL 3" SCH 40 PVC AREA DRAIN LINE.	136 LF
13	INSTALL 18"X18" PRECAST CONCRETE INLET W/ GRATE (TRAFFIC RATED) TYPE 18184-DI JENSEN PRECAST OR EQUAL.	1 EA
14	INSTALL STORMWATER PUMP STATION	1 EA

CUT = 1,910 YDS
FILL = 0 YDS
OVEREX = 122 YDS

*THE EARTHWORK NUMBERS ABOVE ARE ESTIMATES. ACTUAL EARTHWORK TO BE DETERMINED BY CONTRACTOR.

EXPORT = 1,910 YDS




VICINITY MAP
SCALE: NTS

AREA OF DISTURBANCE= 14,569 +/- SE

DISTURBED AREA = 14,569 SF
EXISTING IMPERVIOUS = 8,239 SF
PROPOSED IMPERVIOUS = 9,941 SF



REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY: ADVANCED CIVIL GROUP INC., 3021 LANTERN LANE, SUITE E, PMB 251, LAGUNA HILLS, CA 92653	BENCHMARK	APPROVED BY: THE CITY OF DANA POINT PLANNING DEPARTMENT	DANA POINT, CA 92629		PRECISE GRADING PLAN 154 MONARCH BAY DRIVE LOT 6 OF TRACT 3748 APN 670-131-05	PLAN CHECK NO. ENG 21-0400		
				ACAD FILE NO.	RSA	SMC	RSA	OSCEM 3P-35-04 ELEV=155.636 NOV929 DATUM, 2004 ADJ.		THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE CITY MUNICIPAL CODE:						
							08/27/2021									
				PROJECT NO. 109201	R. STEVEN AUSTIN ENGINEER OF WORK		DATE 8/27/25 R.C.E. NO.	ADVANCED CIVIL GROUP INC. (949) 391-7772		MATTHEW V. SINACORI, CITY ENGINEER #599239 EXP. 06/30/23						
										THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REGULATORY REQUIREMENTS. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.				1 OF 4 SHEETS		

ORIGINAL SCALE:

LOUIS XIV COURT

LOT 5

Existing residence

POOL COPING=166.40

FF=167.32
FINISHED PAD ELEV AT MAIN LEVEL:
166.82' NAVD88

FF=167.32
FINISHED PAD ELEV AT MAIN LEVEL:
166.82' NAVD88

FF=159.27

2+00.00

2+67.27

LOT 7

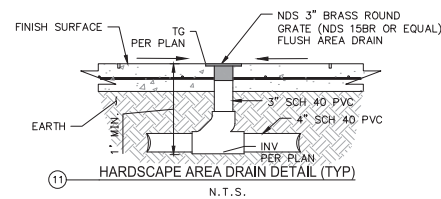
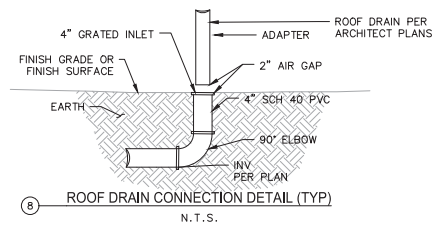
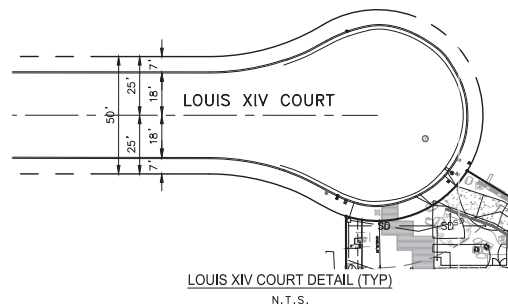
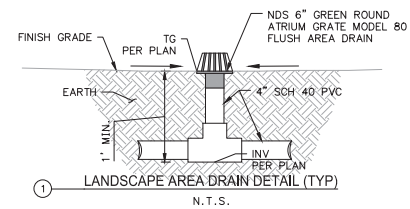
Existing residence


PRIVACY WALL ON TOP OF RW

LANDSCAPE EASEMENT

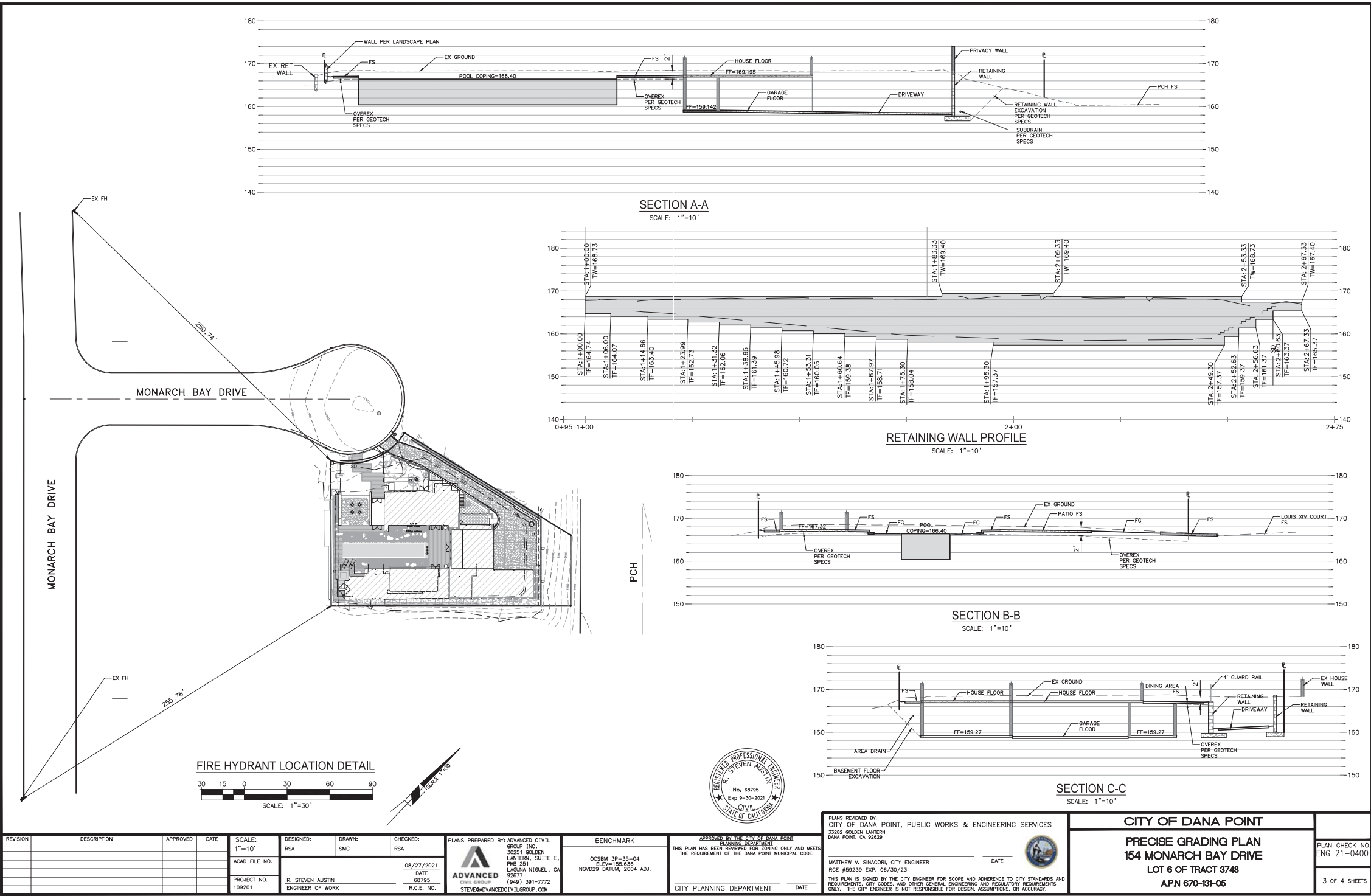
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- 1 INSTALL NOS 6" GREEN ROUND ATRIUM GRATE MODEL 80 AREA DRAIN OR APPROVED EQUAL AND PER DETAIL HEREON.
- 2 INSTALL DRAINAGE BASIN W/ LOW FLOW INFILTRATION PIT PER CITY OF DANA POINT SEPC DETAIL DP-202.
- 3 CONSTRUCT CONCRETE DRIVEWAY APPROACH PER CITY OF DANA POINT SEPC DETAIL DP-103.
- 4 INSTALL PAVING PER LANDSCAPE ARCHITECT PLAN AND GEOTECH SPECS.
- 5 INSTALL 4" (MIN.) SCH 40 PVC AREA DRAIN LINE
- 6 INSTALL STAIRS PER LANDSCAPE ARCHITECT PLAN
- 7 CORE THROUGH EXISTING CURB PER CITY OF DANA POINT SEPC DETAIL DP-123.
- 8 CONNECT DOWNSPOUT TO AREA DRAIN SYSTEM PER DETAIL HEREON.
- 9 CONSTRUCT ONSITE DRIVEWAY PER LANDSCAPE ARCHITECT PLAN AND GEOTECH SPECS.
- 10 CONSTRUCT RETAINING WALL PER SEPARATE PERMIT. 1W AND 1F PER THIS PLAN
- 11 INSTALL 3" ROUND BRASS GRATE INLET (NOS 15BR OR EQUAL) PER DETAIL HEREON.
- 12 INSTALL 3" SCH 40 PVC AREA DRAIN LINE.
- 13 INSTALL 18"x18" PRECAST CONCRETE INLET W/ GRATE (TRAFFIC RATED) JENSEN PRECAST.
- 14 INSTALL STORMWATER PUMP STATION
- 15 INSTALL RETAINING WALL 4" PERFORATED SUBDRAIN PIPE PER GEOTECHNOLOGICAL REPORT, PLATE C-1. INVERT PER PLAN.
- 16 INSTALL 4" GUARD RAIL IN LOCATIONS WHERE WALL HEIGHT IS OVER 30" PER CITY REQUIREMENTS
- 17 CONSTRUCT PRIVACY WALL PER ARCHITECTURAL PLAN



REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1"=10'	DESIGNED: RSA	DRAWN: SMC	CHECKED: RSA	PLANS PREPARED BY: ADVANCED CIVIL GROUP INC. 30251 GOLDEN LANTERN, SUITE E, PMB 251 LUGENA NIDEL, CA 92677 (949) 391-7772 STEVE@ADVANCEDCIVILGROUP.COM	BENCHMARK OCSSM 3P--35--04 ELEV=155.836 NOV2009 DATUM, 2004 ADA	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	33382 GOLDEN LANTERN DANA POINT, CA 92629		PRECISE GRADING PLAN 154 MONARCH BAY DRIVE LOT 6 OF TRACT 3748 APN 670-131-05	PLAN CHECK NO. ENG 21-0400	
			9/12/20												
	ACAD FILE NO.						08/27/2021								
	PROJECT NO. 109201	R. STEVEN AUSTIN ENGINEER OF WORK					DATE 08/25/20 R.C.E. NO.					MATTHEW V. SNAPOSKI, CITY ENGINEER RCE #592239 EXP. 06/30/23	DATE		2 OF 4 SHEETS
										CITY PLANNING DEPARTMENT					

ORIGINAL SCALE:



BMP AND EROSION CONTROL NOTES:

1. IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT GARY DUERST AT (949) 503-1089.
2. ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
3. TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
4. MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
5. AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
6. CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
7. SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
8. THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND THE DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
9. BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 3/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
12. SHOULD GERMINATION OF HYDROSEEDDED SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
13. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

EROSION CONTROL LEGEND:

THE FOLLOWING BEST MANAGEMENT PRACTICES ARE TO BE ABIDED WITH IN ACCORDANCE TO THE LATEST CALIFORNIA STORMWATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK ("CASQA BMP HANDBOOK")

- SE-1 SILT FENCE PER CASQA BMP HANDBOOK
FR FIBER ROLLS PER CASQA BMP HANDBOOK
SE-6 GRAVEL BAG BERM (3 HIGH W/ 3: 2: 1 STACKING) PER CASQA BMP HANDBOOK
TC-1 TEMPORARY CONSTRUCTION ENTRANCE WITH 3" TO 6" ROCK OVER FILTER FABRIC DEPTH=8" PER CASQA BMP HANDBOOK
SE-7 STREET SWEEPING
WM-3 STOCKPILE MANAGEMENT PER CASQA BMP HANDBOOK
WM-1 MATERIAL DELIVERY AND STORAGE PER CASQA BMP HANDBOOK
WM-3 STOCKPILE MANAGEMENT
WM-8 TEMPORARY CONCRETE WASHOUT PER CASQA BMP HANDBOOK
WM-9 SANITARY MANAGEMENT (PORTABLE TOILET)
WE-1 WIND EROSION CONTROL PER CASQA BMP HANDBOOK

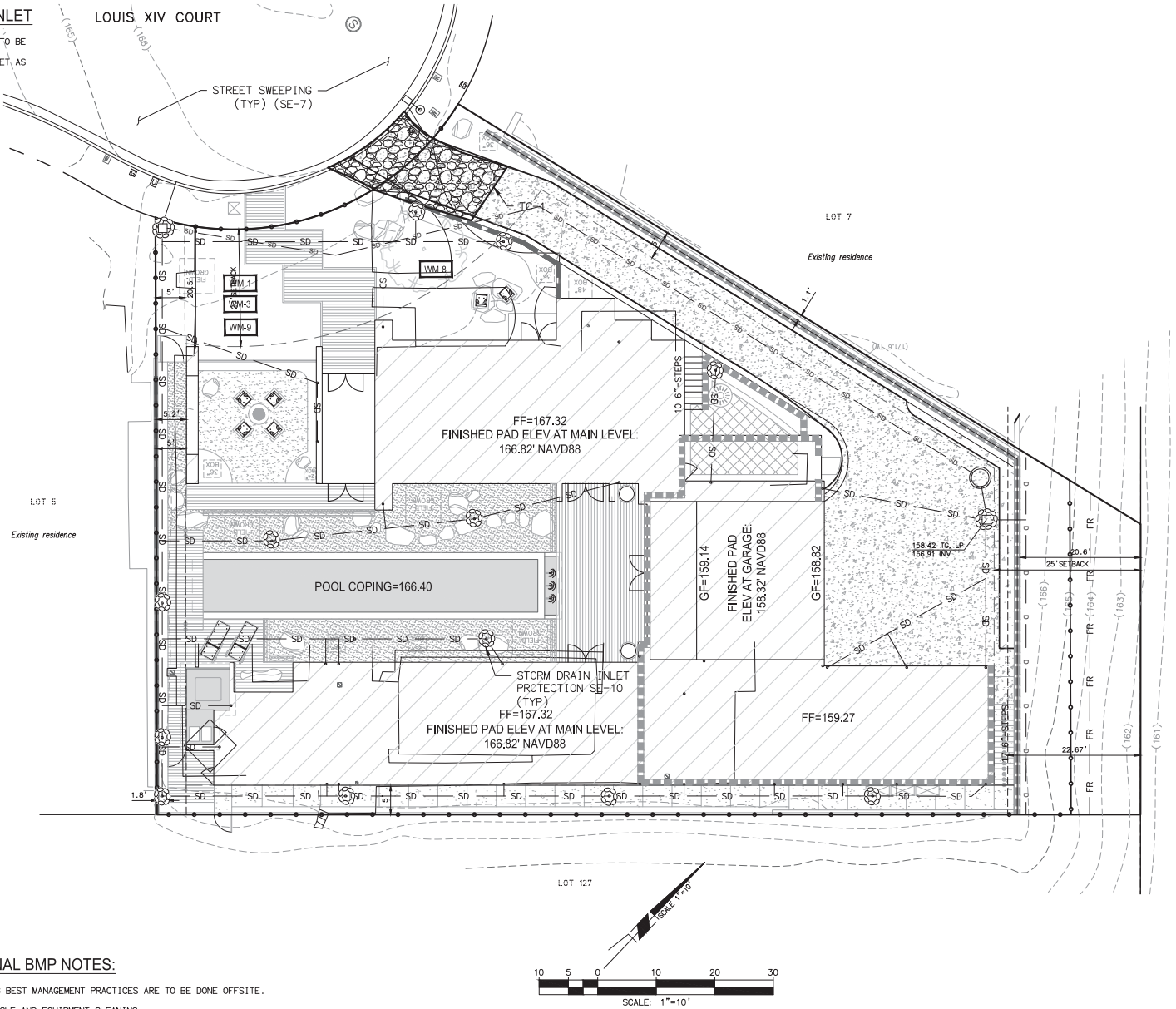
ADDITIONAL BMP NOTES:

THE FOLLOWING BEST MANAGEMENT PRACTICES ARE TO BE DONE OFFSITE.
NS-8 VEHICLE AND EQUIPMENT CLEANING
NS-9 VEHICLE AND EQUIPMENT FUELING
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE

EROSION CONTROL PLAN

NEAREST DOWNSTREAM INLET

THE NEAREST DOWNSTREAM INLET APPEARS TO BE LOCATED BETWEEN 87 AND 85 MONARCH BAY DRIVE. CONTRACTOR TO PROTECT THIS INLET AS WELL AS ANY INLETS UPSTREAM.



REVISION	DESCRIPTION	APPROVED	DATE

SCALE: 1"=10'	DESIGNED: RSA	DRAWN: SMC	CHECKED: RSA
ACAD FILE NO.	08/27/2021	DATE	68795
PROJECT NO. 109201	J. STEVEN AUSTIN	ENGINEER OF WORK	R.C.E. NO.

PLANS PREPARED BY: ADVANCED CIVIL GROUP INC. 30251 GOLDEN LANTERN, SUITE C, PMB 251 LAGUNA NIGUEL, CA 92677 (949) 391-7772 STEVE@ADVANCEDCIVILGROUP.COM

BENCHMARK
OCBM 3P-35-04 ELEV=155.636 NOV29 DATUM, 2004 ADJ.

APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
CITY PLANNING DEPARTMENT

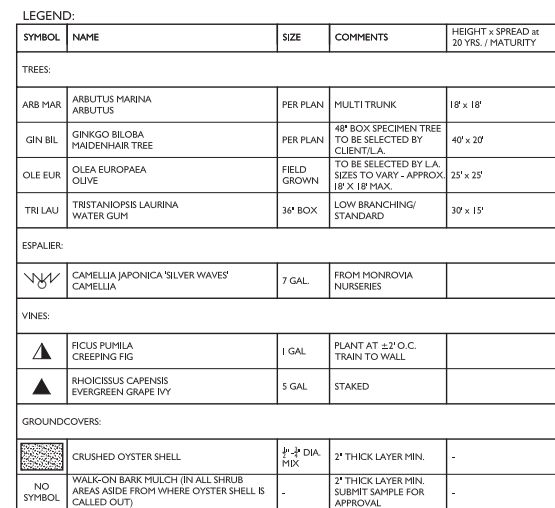
PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629
MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/23
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT
PRECISE GRADING PLAN
154 MONARCH BAY DRIVE
LOT 6 OF TRACT 3748
APN 670-131-05

PLAN CHECK NO. ENG 21-0400
4 OF 4 SHEETS



ORIGINAL SCALE: 1"=10'



COVERAGE CALCULATIONS

BUILDING FOOTPRINT	5,342 SF (34.7%)
DRIVEWAY	2,100 SF (13.7%)
DECORATIVE SURFACES	3,704 SF (24.0%)
SOFTSCAPE	3,452 SF (22.5%)
POOL/JACUZZI	763 SF (5.1%)
TOTAL SITE AREA	15,361.71 SF (100%)
ALLOWABLE BUILDING COVERAGE:	6,912.76 SF (45.0%)
PROPOSED BUILDING COVERAGE:	5,342.00 SF (34.7%)
REQUIRED LANDSCAPING %:	3,840 SF (25.0%)
PROPOSED LANDSCAPING %: (INCLUDES PAVED OR DECORATIVE SURFACES [EXCLUDES DRIVEWAY])	7,156 SF (46.5%)

GENERAL PLANTING NOTES:

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| <p>1. PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN AN AGRONOMIC SOIL REPORT AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.</p> <p>2. LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ALL PLANTER FILL NECESSARY TO BRING SOIL LEVEL TO 2" BELOW TOP OF PLANTER WALLS.</p> <p>3. LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ENOUGH WALK-ON BARK MULCH TO PROVIDE A 2" COVERING OF ALL SHRUB PLANTING AREAS. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PURCHASING.</p> <p>4. LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED PLANTING DATE.</p> <p>5. CONTRACTOR TO COORDINATE APPROVALS. CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.</p> <p>6. LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.</p> <p>7. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER START OF MAINTENANCE PERIOD.</p> | <p>8. CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE/PALM MATERIAL FOR 12 MONTHS (1 YEAR).</p> <p>9. LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.</p> <p>THE FOLLOWING MINIMUM CRITERIA SHALL BE OBSERVED BY THE LANDSCAPE CONTRACTOR:</p> <p>NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS.</p> <p>TREES OR PALMS SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.</p> <p>NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.</p> <p>TREES OR PALMS PLANTED IN LANDSCAPE AREAS OF LESS THAN 4" IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOF BARRIERS.</p> <p>ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.</p> |
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LANDSCAPE ARCHITECTURE
PLANNING DESIGN

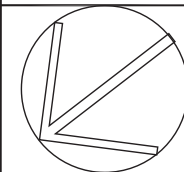
2320 SECOND AVENUE CORONA DEL MAR, CA 92625
LIC# 2976 PH. 949.673.0800
FAX 949.673.0806



PROJECT

The Granger Residence
154 MONARCH BAY DRIVE
DANA POINT, CA 92629

REVISIONS	
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JOB NO.:	
DRAWN BY: SH	
CHECKED BY: MD	
DATE:	September 27, 2021
SCALE:	1/8" = 1'-0"

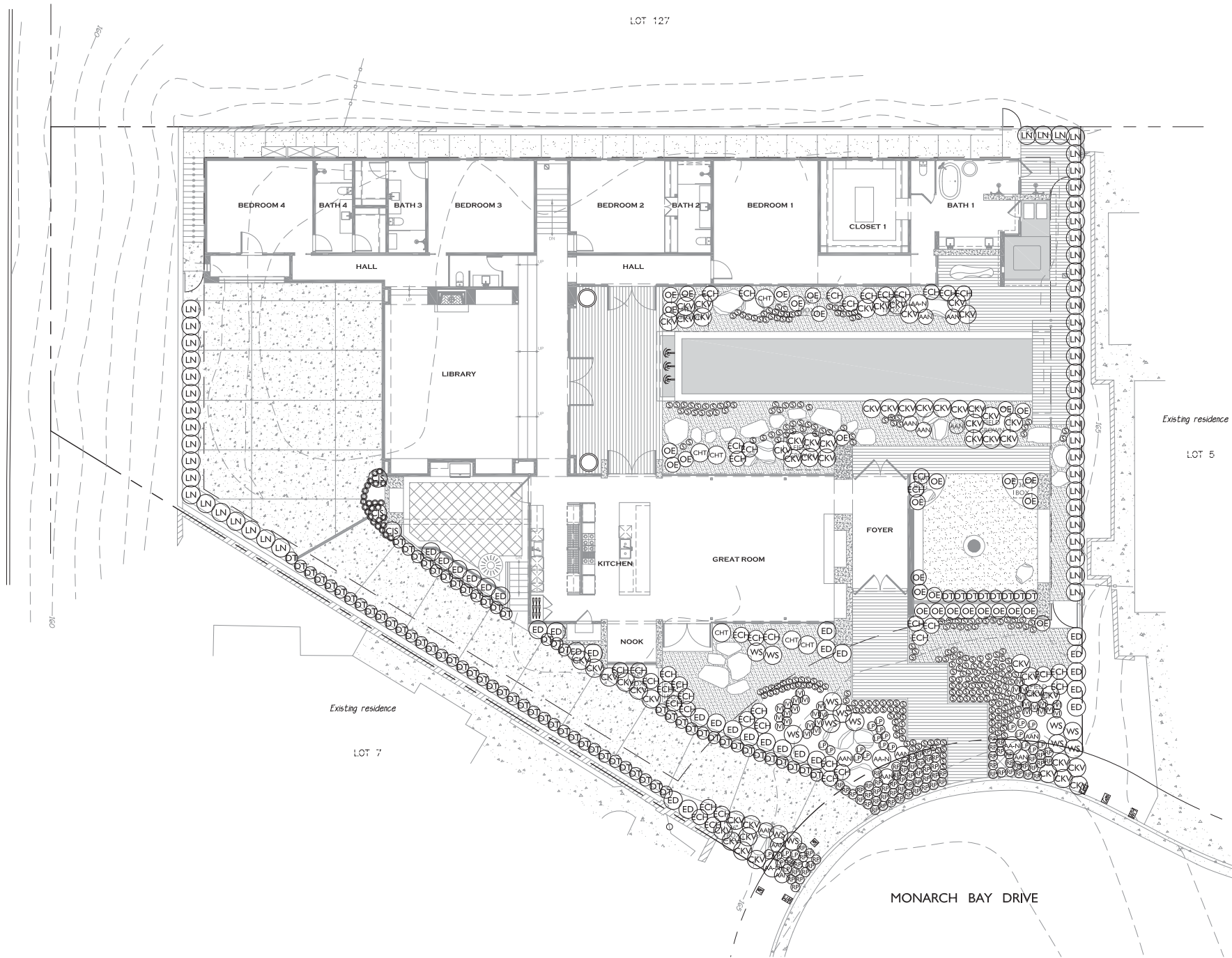


TITLE :
TREE, VINE &
GROUND COVER
PLANTING PLAN

SHEET NO.:

LP-1

PACIFIC COAST HIGHWAY



SHRUB LEGEND:				
SYMBOL	NAME	SIZE	COMMENTS	HEIGHT x SPREAD at 5 YRS. / MATURITY
AA-N	AGAVE ATTENUATA 'NOVA'	15 GAL.	-	4' x 6'
AA-N	AGAVE ATTENUATA 'NOVA'	5 GAL.	-	3' x 3'
CJS	CAMELLIA JAPONICA 'SILVER WAVES'	7 GAL.	FROM MONROVIA NURSERIES	5' x 5'
CHT	CHONDRROPETALUM TECTORUM	5 GAL.	-	3' x 3'
CKV	COPROSMA KIRKI 'VARIEGATA'	1 GAL.	-	18" x 5'
DT	DIANELLA TAZMANICA 'SILVER STREAK'	5 GAL.	-	3' x 3'
ED	ELAEAGARPUS DECIPENS 'MONPROUD'	15 GAL.	-	8' x 6'
ECH	EUPHORBIA CHARACIAS 'HUMPTY DUMPTY'	5 GAL.	-	3' x 3'
IR	IRIS 'VICTORIA FALLS'	1 GAL.	-	18" x 2'
LN	LAURUS NOBILIS	15 GAL.	HEDGE	MAINTAINED as 6' HIGH FORMAL HEDGE
LP	LIPONUM PEREZII	1 GAL.	-	12" x 18"
OE	OLEA EUROPAEA 'MONTRA'	5 GAL.	ORB FORM - MAINTAINED AS FORMAL SPHERE	2'-2.5' x 2'-2.5'
O	OPHIPOGON JAPONICUS	1 GAL.	-	8" x 12"
RP	ROSEMARINUS OFFICINALIS 'PROSTRATUS'	1 GAL.	-	18" x 4'
S	SESLERIA AUTUMNALIS	1 GAL.	@ 8" O.C.	PLANT = 12" x 12" & FLOWER = 18" x 18"
WS	WESTRINGIA FRUTICOSA 'SMOKEY'	5 GAL.	-	5' x 4'
ALL SHRUB AREAS 2" THICK WALK-ON BARK MULCH SUBMIT SAMPLE FOR APPROVAL				

FOR PLANTING NOTES SEE SHEET LP-1
FOR PLANTING DETAILS SEE SHEET LP-3
FOR PLANTING SPECIFICATIONS SEE SHEET LP-4

WATER MANAGEMENT PLAN									
EXISTING RESIDENCE		PROPOSED RESIDENCE		TOTAL		PERCENTAGE		PERCENTAGE	
NUMBER	PERCENTAGE	NUMBER	PERCENTAGE	NUMBER	PERCENTAGE	NUMBER	PERCENTAGE	NUMBER	PERCENTAGE
1	2	3	4	5	6	7	8	9	10
1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
2	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
6	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
7	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
8	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
9	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
11	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
12	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
13	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
14	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
15	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
17	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
18	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
19	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
20	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
22	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
23	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
24	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
25	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
26	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
27	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
28	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
29	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
30	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
31	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
32	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
33	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
34	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
35	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
36	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
37	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
38	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
39	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
41	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
42	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
43	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
44	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
45	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
46	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
47	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
48	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
49	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
SPECIAL LANDSCAPE AREAS		TOTALS		5.47		5.47		5.47	
SPECIAL LANDSCAPE AREAS		TOTALS		5.47		5.47		5.47	
SPECIAL LANDSCAPE AREAS		TOTALS		5.47		5.47		5.47	
SPECIAL LANDSCAPE AREAS		TOTALS		5.47		5.47		5.47	
SPECIAL LANDSCAPE AREAS		TOTALS		5.47		5.47		5.47	
SPECIAL LANDSCAPE AREAS		TOTALS		5.47		5.47		5.47	
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