CITY OF DANA POINT PLANNING COMMISSION AGENDA REPORT

DATE: JULY 12, 2021

TO: DANA POINT PLANNING COMMISSION

- FROM: COMMUNITY DEVELOPMENT DEPARTMENT BRENDA WISNESKI, DIRECTOR JUSTIN POLEY, ASSISTANT PLANNER
- SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0026 TO DEMOLISH A SINGLE-FAMILY DWELLING AND CONSTRUCT A TWO-STORY SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP21-0003(M) TO ALLOW RETAINING WALLS EXCEEDING 30 INCHES IN HEIGHT LOCATED AT 198 MONARCH BAY DRIVE
- **RECOMMENDATION**: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP20-0026 and Minor Site Development Permit SDP21-0003(M) (Action Document 1).
- APPLICANT: Eric Olsen, Architect
- OWNER: Paul and Esra Black
- **REQUEST**: A request to demolish an existing single-family dwelling (SFD) and attached garage, and construct a new 5,516 square foot two-story, SFD with a 2,053 square foot, subterranean garage, and to allow retaining walls exceeding 30 inches in height TO create driveway access to the subterranean garage.
- **LOCATION**: 198 Monarch Bay Drive (APN 670-111-31)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on July 2, 2021, published within a newspaper of general circulation on July 2, 2021, and posted on July 2, 2021, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves a new one-story single-family residence and retaining walls exceeding 30 inches in height.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is a 14,691 square foot interior lot located west of the intersection of Crown Valley Parkway and Pacific Coast Highway and is surrounded by similar single-family development within the Monarch Bay community (Supporting Document 2). The Monarch Bay community is designated Residential Single Family 4 (RSF 4) on the City's Zoning Map, is located within the appeals jurisdiction of the City's Coastal Overlay District and is designated Residential 3.5 - 7 DU/AC on the Land Use Policy Diagram in the City's General Plan Land Use Element. According to County of Orange records, the existing one-story, SFD was constructed in 1964, and other existing site improvements include landscaping and hardscaping and a pool.

DISCUSSION: Due to the site's location being within the appeals jurisdiction of the California Coastal Commission and the scope of work involving the demolition of an existing structure and the construction a new SFD, a Coastal Development Permit is required. To provide vehicular access to the proposed subterranean garage, retaining walls exceeding 30 inches in height are necessary within the front yard to create driveway access thereto, requiring approval of a Site Development Permit.

COASTAL DEVELOPMENT PERMIT CDP20-0026

The demolished SFD will be replaced by a SFD featuring a one level above a subterranean garage capable of accommodating four (4) DPZC compliant parking stalls. The proposed garage is 2,053 square feet and includes 197 square feet of habitable space. Although identified as a basement on the architectural plans included as Supporting Document 3, the subterranean garage is not wholly underground with daylighting of the garage door and an adjacent wall on the lower level to provide vehicular access to the required parking stalls. Since this configuration is inconsistent with the DPZC basement definition, the lower-level garage is considered a story, and the measurement of building height commences at the garage finished pad. The overall building height of the SFD measures the maximum 24 feet from the garage finished pad to the top of the flat roof, in accordance with the City's height ordinance.

The at-grade, second (upper) level includes 5,316 square feet of habitable area and features three bedrooms, three bathrooms, gym with an adjacent half-bathroom, common kitchen and pantry, dining and living areas, and a laundry room. The lower, subterranean

four-car garage, includes interior space suitable for four DPZC compliant vehicles, a mud room, storage areas a staircase and an elevator which provide access to the first floor level.

The layout of the upper level floor plan forms a large "U"-shape creating a large courtyard open to the northern property line. The upper-level floor plan and the proposed modern architecture are contemporary interpretations of mid-century modern architecture utilizing large, retractable, or sliding openings, the large courtyard, and flat roof elements. Finished materials include dark grey steel doors and windows, stone veneer, and vertical oak siding. The proposed architecture is compatible with the neighborhood which has a diverse mix of architectural styles.

Exterior improvements include new curb cut and driveway accommodating the new subterranean garage, landscaping and hardscaping, a pool in the rear yard, wood decking, water features, and a fire pit and outdoor fireplace in the courtyard. Retaining walls line each side of the driveway leading to the subterranean four-car garage and are discussed in further detail below.

Staff has reviewed the required Residential Single Family 4 (RSF4) development standards and determined that the project complies with all standards as identified in Table 1 below.

Development Standard	Requirement	Proposed	Compliant w/ Standard
Front Yard Setback	20 ft	20 ft	Yes
Side Yard Setbacks	5 ft	5 ft	Yes
Rear Yard Setback	25 ft	35 ft - 6 in	Yes
Building Height	24 ft	24 ft.	Yes
Lot Coverage	45% maximum	37.9%	Yes
Landscape Coverage	25% minimum	27.4%	Yes
Parking Required	2 parking stalls	4 parking stalls	Yes

Table 1: Compliance with RSF-4 Development Standards

The project was approved by the Monarch Bay Homeowners Association prior to the submittal of the application (Supporting Document 4).

The project complies with all the applicable provisions of the DPZC for the issuance of a Coastal Development Permit as the proposed home does not impact public access or Environmentally Sensitive Habitat Areas (ESHA) as the parcel was previously developed in a fully built out community.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of

Regulations/13096).

- If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).
- 3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).
- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.
- 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.
- 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.
- 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.

The required findings are provided in the attached draft Resolution identified as Action Document 1.

MINOR SITE DEVELOPMENT PERMIT SDP21-0003(M)

As mentioned, two, approximately four and a half foot (4.5') high retaining walls located within the required front yard setback are necessary to create vehicular access to the required parking stalls in the subterranean garage. Pursuant to DPZC Sections 9.05.120(d)(2), retaining walls greater than 30 inches in height are permitted subject to the approval of a Minor Site Development Permit.

The approximate 4.5' high retaining walls will be partially visible from the Monarch Bay Drive right-of-way. As illustrated in section view on Sheet A-6.1 of the proposed architectural plans (Supporting Document 3), the retaining walls will be finished with the same stone veneer proposed for the SFD. The stone veneer finish will enhance the retaining walls aesthetics and contribute to a unified site plan for the proposed project. The total approximate linear footage of the retaining walls will be 200 linear feet. The requested SDP(M) is consistent with other lots within the community that have similar retaining walls which provide access to required parking stalls in subterranean garages.

The approval of the Minor Site Development Permit is subject to the following four (4)

findings enumerated in Section 9.71.050 of the DPZC:

- 1. Compliance of the site design with development standards of this Code.
- 2. Suitability of the site for the proposed use and development.
- 3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.
- 4. Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.

Recommended approval findings for the Minor Site Development Permit are included in the attached draft Resolution (Action Document 1).

CORRESPONDENCE:

No correspondence was received as of the publication date of this staff report.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project is found to comply with all standards of development, Staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit CDP20-0026 and Minor Site Development Permit SDP21-0003(M) subject to the findings and conditions of approval contained therein.

Assistant Planner ustin R. Polev.

Brenda Wisneski, Director Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 21-07-12-xx

Supporting Documents

- 2. Vicinity Map
- 3. Monarch Bay Association Approval Letter
- 4. Architectural Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 21-07-12-xx

RESOLUTION NO. 21-07-12-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0026 TO DEMOLISH A SINGLE-FAMILY DWELLING AND CONSTRUCT A TWO-STORY SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP21-0003(M) TO ALLOW RETAINING WALLS EXCEEDING 30 INCHES IN HEIGHT AT 198 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Paul and Esra Black. (the "Owners"), owns the real property commonly referred to as 198 Monarch Bay Drive (APN: 670-111-31) (the "Property"); and

WHEREAS, the Owner authorized Eric Olsen (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit to demolish an existing single-family dwelling and to construct a new two-story, single-family dwelling, and a Minor Site Development Permit to allow retaining walls exceeding 30 inches in height to create driveway access to the subterranean garage; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves the demolition of one single family residence and the construction of a new single family residence; and retaining walls exceeding 30 inches in height.

WHEREAS, the Planning Commission did, on the 12th day of July, 2021, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0026 and Minor Site Development Permit SDP21-0003(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

A) That the above recitations are true and correct and incorporated herein by this reference.

Findings:

Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP20-0026, subject to conditions:

- 1) That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) in that, the design of the proposed two-story single-family dwelling complies with all Residential Single Family 4 (RSF 4) development standards and all other applicable sections of the Dana Point Zoning Code (which acts as the Local Coastal Program Implementation Plan for the property), while also complying with the Dana Point General Plan by furthering General Plan Urban Design Element Goal No. 2, which states that development should "preserve the individual positive character and identity of the City's communities" by adding a new high quality modern style house that adds to the eclectic mix of styles within Monarch Bay.
- 2) If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is a previously developed lot, zoned for residential use, located within a private, gated community that does not contain public accessways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at County and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.
- 3) That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 New Construction) in that it proposes to replace a one-story, single-family residence with another one-story, single-family residence with retaining walls exceeding 30 inches located within the required front yard setback.
- 4) That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources in that, the subject property is a previously developed parcel surrounded by similar single-family development and not adjacent to parks or recreation areas containing environmentally sensitive habitats or scenic

resources and thus no adverse impacts would result and buffer areas are not necessary.

- 5) That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that, the subject site is a previously developed property located in an established area of residential uses with no natural landforms present. The proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.
- 6) That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that, the proposed project will replace a one-story, single-family dwelling with a new two-story, single-family dwelling. The project design conforms to the development and design standards of the Dana Point Zoning Code and is complementary to surrounding development in terms of mass and size.
- 7) That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs in that, the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Services and found to conform with applicable requirements of the Dana Point Zoning Code (which serves Local Coastal Program Implementation Plan for the subject property), and the Residential 3.5 - 7 DU/AC designation in the City's General Plan General Plan and all other applicable requirements as specified in the Local Coastal Program. There are no adopted specific plans that apply to the subject property.
- C) Based on the evidence presented, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP21-0003(M), subject to conditions:
 - 1. That the site design is in compliance with the development standards of the Dana Point Zoning Code in that Chapter 9.05 of the Dana Point Zoning Code contains general development standards, and specifically Sections 9.05.120(c) and 9.05.120(d)(2) therein allows alternatives to the height limits for walls, fences and hedges within required yards, and retaining walls over 30-inches in height respectively, subject to the approval of a Minor Site Development Permit The increase in wall height is considered when aesthetic impacts are mitigated and the retaining walls do not create detrimental or incompatible conditions in the vicinity. The proposed retaining walls identify a stone veneer finish matching

> that of the proposed single-family dwelling and are designed at the height necessary to provide access to the subterranean garage via a downslope driveway approach.

- 2. That the site is suitable for the proposed use and development in that the proposed development includes a subterranean garage in conjunction with the single-family dwelling and requires retaining walls to provide adequate ingress and egress between the required parking stall in the subterranean garage and Monarch Bay Drive, and the stie is therefore suitable for the proposed use and development.
- 3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines in that the proposed retaining walls are sited sensitively, incorporate finishes consistent with the dwelling proposed for the site and will not visually impact surrounding properties.
- 4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture in that the Minor Site Development Permit request for retaining wall heights in the front yard is appropriate for the site and function of the single-family dwelling use by providing access to the required parking stalls and although retaining walls will utilize matching finishes of the proposed dwelling, the walls do not require a specific architectural style.

Conditions:

- A. General:
 - 1. Approval of this application permits the demolition of an existing single-family dwelling and construction of a two-story, single-family residence, and applicable ancillary outdoor improvements associated with the single-family dwelling, and to allow retaining walls exceeding 30 inches in height in the required front yard creating driveway access to the subterranean garage pursuant to the approved plans, at 198 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code. (PLNG)
 - Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void. (PLNG)

- 3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment without requiring a new public hearing. (PLNG)
- Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit. (PLNG)
- 5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation. (PLNG)

 The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval,

including making known the conditions to City staff for future governmental permits or actions on the project site. (PLNG)

- 7. The project shall meet all water quality requirements including Low Impact Development (LID) implementation. (PW&E)
- The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
- The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements. (PW&E)
- 10. Undergrounding of all onsite utilities is required.
- 11. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits. (PW&E)
- 12. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. (PW&E)
- This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check. (PLNG)
- 14. Separate review, approval, and permits are required for:
 - Separate structures
 - Freestanding/Retaining walls
 - Site walls over 3 ft.
 - Fire sprinklers
 - Demolition of structures
 - Swimming pool/spa
- B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

- 15. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements. (PW&E)
- 16. The grading application shall include an updated survey showing all listed easements and encumbrances on the property listed in a recent title report. Any listed easements and encumbrances that are expired, superseded or do not affect the property shall be listed as such on the survey. (PW&E)
- 17. The applicant shall provide driveway profiles on the grading plan for review and approval of all slopes and transitions of the proposed driveway in excess of the standards per 9.35.050(b)(3) but at no time shall the driveway be over 20% centerline slope. (PW&E)
- 18. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual. (PW&E)
- 19. The project shall meet all water quality requirements including Low Impact Development (LID) implementation. (PW&E)
- 20. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy. (PW&E)
- 21. Separate submittal for review, approval and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be

in accordance with the latest Community Development requirements.

C. <u>Prior to Issuance of a building permit</u> or release on certain related inspections, the applicant shall meet the following conditions:

- 22. Within the first three (3) sheets of the building construction documents submitted for plan check the applicant shall include a verbatim copy of the City's approved Resolution and conditions of approval for the project, and the conditions of approval shall also be identified on the sheet index on the cover/title sheet of the plan set. (PLNG)
- 23. Building(s) shall comply with the current editions of the Building Code with all local amendments.
- 24. Approvals are required from:
 - Planning Division
 - Public Works
 - Orange County Fire Authority Approval
 - Obtain "Will Serve" letter from Water District.
 - Provide an SDG&E service work order for proposed service location
- 25. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports. (PW&E)
- 26. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project. (PW&E)
- 27. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint. (PW&E)

- 28. The applicant shall submit a certification from the Geotechnical Engineer of Record for the required temporary shoring or wall construction for grading operations. The certification shall be submitted for review and approval by the City Engineer by separate submittal. The temporary structure certification by the geotechnical engineer shall approve the construction of temporary structures as substantially completed in conformance with the being recommendation of the project geotechnical report, all field observations, and any field modifications or additional recommendations required. The certification shall state the temporary structures are approved and suitable from a geotechnical standpoint. (PW&E)
- 29. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during The report should include conclusions grading. and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report. (PW&E)
- 30. Prior to commencement of framing, the applicant shall verify, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the City, from finish wall materials to property-lines included as part of these entitlements. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval. (PLNG)
- 31. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of this entitlement. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted. (PLNG)

> 32. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. (PLNG)

Prior to issuance of a Certificate of Occupancy

- 33. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Director of Community Development and the requisite documents (irrigation scheduling parameters, landscape and irrigation maintenance schedule, irrigation audit report, and soil analysis report if not submitted at permit issuance) as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. (PLNG)
- 34. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual. (PW&E)
- 35. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint. (PW&E)
- 36. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls. (PW&E)
- 37. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record. (PW&E)

- All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record. (PW&E)
- 39. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through this discretionary action, and compliance with any outstanding project conditions of approval. (PLNG)

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 12th day of July, 2021 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric Nelson, Chairperson Planning Commission

ATTEST:

Brenda Wisneski, Director Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map



SUPPORTING DOCUMENT 3: Monarch Bay Association Approval Letter

Monarch Bay Association

October 28, 2020

Paul and Esra Black 198 and 200 Monarch Bay Drive Monarch Beach, CA 92629 via e-mail

RE: 198 and 200 MONARCH BAY DRIVE NEW HOME CONSTRUCTION PLANS DATED 9/28/20 BY ERIC OLSEN DESIGN

Dear Mr. and Mrs. Black,

We are pleased to advise that the Monarch Bay Association Architectural Control Committee has approved your new home construction plans for both of your homes as submitted. We are attaching a scanned signed approval on a reduced plan sheet as an alternative to stamping plans which is challenging due to our "work from home" requirement at this time.

There was an inquiry from your neighbor at 241 about the common property line and wall which Eric advised he will investigate and address, to ensure there is sufficient room for the equipment, access and a hedge.

The landscape/hardscape plans will be reviewed as a separate submittal.

We have received your construction deposit in the amount of \$25,000 made payable to the Monarch Bay Association. Upon the successful completion of your homes, the deposit will be reconciled against the road use fees and the balance refunded to you. In the event that the deposit is depleted (as this is typical for one home instead of two) we will notify you and ask for a replenishment.

Attached are the construction rules to share with your contractor to ensure they know what is expected of them while working in the Monarch Bay community.

The Committee truly appreciates your on-going cooperation and wish you luck with your project.

Respectfully,

CC:

THE MONARCH BAY ASSOCIATION ARCHITECTURAL CONTROL COMMITTEE

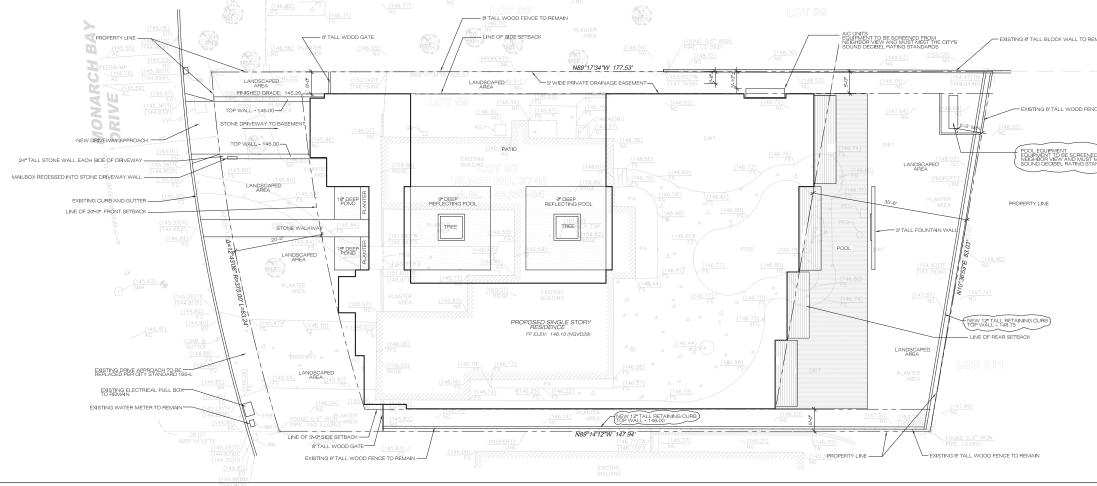
> Board Architectural Control Committee Eric Olsen Architects via email MB/198 and 200/arch/new home approval/10.28.20

> > Proudly Managed by Keystone Pacific Property Management 16775 Von Karman Ave • Suite 100 • Irvine, CA 92606 • (949) 833-2600 • Fax (949) 377-3309

SUPPORTING DOCUMENT 4: Architectural Plans

ATTACHMENT

	© 2020 ERC OLSEN DESIGN DUPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE	PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN	OP ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIR	ST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF ERIC OLSEN DESIGN.			
	198 MONARCH BAY DRIVE DANA POINT, CA	(161.14) RIDGE (164.16)	2728 E. CAST HGHWAY, SUITE A CORONA DEL MAR, CA 58255 TELEPI-CNE: SHR.887,8856			SITE PLAN	C06,21,21 DRAWN BY: E.O. SCALE: 1/8" = 1°-0"
	BLACK RESIDENCE		ERIC OLSEN DESIGN				DATE:
PROJECT:	(161.05) RDCE		(162.14) CHIMNEY TOP	REVISION: DATE:	PROFESSIONAL: DRAWING:		JOB NUMBER: DRAWING NUMBER:
		1.017-96	(
	(144.88)8X/ (144.81)FL	A 51				AND THE EXTENT OF THE REPAIR V THE PUBLIC WORKS INSPECTOR	VORK SHALL BE MADE AT THE DISCRETION OF
					•	F ANY OF THE EXISTING PUBLIC IM DAMAGED. NEW CONCRETE SIDEW	2. AT THE TIME OF THE POBLIC WORKS INSPECTION, PROVEMENTS SUBROUNDING THE SITE IS VALK, CURB AND GUTTER, AND ALLEY/STREET 0.100% PAID BY THE OWNER. SAID DETERMINATION
	(145.29)TC/ (144.83)DO (144.83)DO (145.30)TX EXISTING @ TALL WOOD FENCE TO REMAIN (146.06)			- EXISTING & TALL WOOD FENCE TO REMAIN	\square		OBTAINED FROM THE PUBLIC WORKS DEPARTMENT IMENT PERMIT INSPECTION IS REQD. BEFORE THE . AT THE TIME OF THE PUBLIC WORKS INSPECTION,
	N89°14'12'W	4'12"W 147.94' (146.71)TW (145.37)	(145.21) (146.70)	FOUND 0.5" IRON PIPE, LS2921			C WORKS
	(144.50) (144.50) (145.62) (145.62) (145.62) (145.62) NG NG	NEW 12" TALL RETAINING CURB TOP WALL - 146.00	NG (153.7)) NG (14756)N	4			
	EXISTING WATER METER TO REMAIN (145.24)		(146.50) (147.52)	(147.89) NG		LOCATION OF MEASUREMENT TO LOCATE EQUIPMENT IN EQUIPMEN 3. ACRALIGHT RIDGE SKYLIGHTS TO B	BE AT ADJACENT PROPERTY PATIO OR OPENING. T WELL ON ROOF IF NECESSARY.
	EXISTING ELECTRICAL PULL BOX TO REMAIN (146.14) (146.22) (ll l		LLUSTRATING HVAC EQUIPMENT (50 DBA (55DBA WITH TIMER; 65 DE SECTION 10.26 045 OF THE NBMC	LICATION AND DOCUMENTATION, FOR PLAN CHECK SOMPLIES WITH SOUND LEVEL NOT TO EXCEED 3A WITH TIMER AND NEIGHBOR'S CONSENT) PER
	EXISTING DRIVE APPROACH TO BE TE REPLACED PER CITY STANDARD TOSL (144.85) (145.44) (145.44) (145.45) (145.45) (146.16) (FS (146.\$7) △ ✓	DIRT PLANTER AREA	///			A 13D IS REQUIRED THROUGHOUT INCLUDING ATTIC. ERRED SUBMITTAL ITEM. OBTAIN FIRE SRPINKLER DOF SHEATHING INSPECTION.
	16 70RVEWAY 4 42 (158.53) (146.18) (146.17)		.58)			APPROVAL BY CITY.	RIOR TO SUBMITTAL FOR PLAN CHECK OR
	CURE & A GUTTER (146.08)	$\triangleleft 41$ $\land \frac{(146.44)}{\triangleleft 45} (\land)$		// I		NOTE: DEFERBED SUBMITTALS TO B	E BEVIEWED BY PROJECT ARCHITECT OR ENGINEER
	(145.41) BX (145.70) La (146.77) FFEIDENCE (145.41) BX (145.70) La (146.77) FFEIDENCE		4FS	TOP WALL - 148.75		DEEEDDE	D SUBMITTALS
			(146.73)	NEW 12 TALL RETAINING CURB TOP WALL - 148.75		CAL GREEN CODE	WASTE IN ACCORDANCE WITH SECTION 4.408.1
	(145.25)TX (144.81)FL (144.81)FL (144.81)FL (145.83)		(146.70) △ (146.74) (147.) (147.)	<u>B7)</u> NG NG			ING WALLS, GUARDRAILS AND HANDRAILS OR ANY TE EXCEED 42 NOHES FROM EXISTING GRADE PRIOR TO IRED FRONT SETBACK AREAS. REUSE A MIN. OF 65% OF THE NON-HAZARDOUS WASTE IN ACCORDANCE WITH SECTION 4.408.1
		Δ (<u>148.44</u>) Δ		0.38		12. ISSUANCE OF A BUILDING PERMIT	BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE
		(146.41) (146.77) FS	(146.80) (15 F5) (14/	4.50)TF (729)NG (729)NG		12. ISSUANCE OF A BUILDING PERMIT APPLICANTS OF THE LEGAL REQU	BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE REMENTS TO OBSERVE COVENANTS, CONDITIONS, E RECORDED AGAINST THE PROPERTY.
	LANDSCAPED	PA d	POOL (146.78	83.8		 CABINETS ILLUSTRATED IN CONST CABINETS SHALL BE DESIGNED AN CONTRACTOR SHALL SUBMIT SHO 	RUCTION DOCUMENTS ARE CONCEPT ONLY ID BUILT BY CONTRACTOR SELECTED BY OWNER IP DRAWINGS FOR APPROVAL
		E				INSTALLED WEIGHT PER SQUARE F LABELED INSTALLED DESIGN DEN	FOOT CONSISTENT WITH THE MANUFACTURER'S SITY FOR THE REQUIRED R-VALUE.



SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACK-UP AND INTERCONNECTED UNLESS EXEMPTED IN ACCORDANCE WITH CRC SECTIONS R314.4 & R314.5 OR CBC 907.2.11.3 & 907.2.11.4

- . SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS (CRC R314.3); A. NEACH SLEEPING ROOM B. OLITSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS C. ON EVERY LEVEL OF OWELLING, INCLUDING BASEMENTS AND HABITABLE ATTCS.
- ALL DOORS FROM THE HOUSE INTO THE POOL AREA SHALL BE EQUIPPED WITH AN APPROVED ALARM OR APPROVED ALTERNATE DROWNING PREVENTION SAFETY FEATURE. (CBC 3109.4.4.2)

OF STARS AND RAMPS. C BLAZING ADARCENT TO THE LANDING AT THE BOTTOM OF A STARWAY WHERE THE GLAZING THE BOTTOM TREATERS ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREATERS AND RALINGS G GLAZING IN GLIAPIDS AND RALINGS

APPLICABLE STANDARDS: 2019 CRC, 2019 CBC, 2019 CPC, 2019 CEC, 2019 CMC, 2019 BUILDING ENERGY EFFICIENCY EFFICIENCY STANDARDS, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN); AND

GENERAL: 1. RESIDENTIAL BUILDING UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACES NON COMPUTANT PLURING FOTORES WITH WATER-DOMESTIMO SUMBING MARKED ALTERATION OF THE PERMICIPACIENT OF THE STATE OF THE STATE STATE OF THE STATE (20.0000, STATE OF COULD AND THE STATE OF THE STATE OF THE STATE (20.0000, STATE OF COULD AND THE STATE OF THE STATE OF THE STATE (20.0000, STATE OF THE STATE OF THE STATE OF THE STATE OF THE STATE (20.0000, STATE OF THE STATE OF THE STATE OF THE STATE OF THE STATE (20.0000, STATE OF THE STATE OF THE STATE OF THE STATE OF THE STATE (20.0000, STATE OF THE STATE (20.0000, STATE OF THE STATE (20.0000, STATE OF THE ST

(CINL CODE, SECTION 1101, 1 ET, SEQ.) I. SISJANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS, AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE ROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNTY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORMED/INTY ASSOCIATIONS PRIOR TO COMMENCEMENT

re-revert I MUG1 BE UBI ANED FROM THE PUBLIC WORKS DEPARTMENT.

 A SITE SURVEY BY A LICENSED SURVEYOR SHALL BE RECURRED PRIOR TO FOUNDATION POUR.
 GARAGE CELINA HEIGHT, THE MIN, UNDESTITUCTED VERTICAL CLEARANCE FOR PARINING SPACES SHALL BE SEVEN FEET, EXCEPT THAT THE FRONT FOUR FEET MAY HAVE A MIN. VERTICAL CLEARANCE FOR FEET (MINE) 20.0000 a.1

STARWAYS SHALL NOT BE LESS THAN 36 INCHES CLEAR WIDTH. (CRC 311.7.1) THE MINIMUM HEAD CLEARANCE SHALL BE 6/94 MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING TREAD NOSING. (CRC 311.7.2)

10. PEDESTRIAN PROTECTION ADJACENT TO PUBLIC WAY TO BE AS FOLLOWS: HEIGHT OF CONSTRUCTION TYPE OF CONSTRUCTION TYPE OF CONSTRUCT CONSTRUCTION TO LOT LINE REQUIRED OVERTICAL STRUCT AND STREET
CONSTRUCTION MAJAGE

11. ALL EXTERIOR LATH AND PLASTER SHALL HAVE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING. (ORC R703.6.3, OBC 2510.6)

2. WALL COVERING OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF CEMENT PLASTER, TILE, OR APPROVED EQUAL TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE DRAIN INLET. BACKING FOR TILE SHALL BE CEMENT BOARD OR CEMENT PLASTER, ICRC R307.2, CBC 1910 30

BACKING FOR THE SHALL BE COMMENT BOARD OR CENENT FALSTER, FOR 68072, CBC 1210.3) BACKING FOR THE SHALL BE FORMED BAT THE FOLLOWIS (MACARDOUS LOCATIONS: (DRC R004, CBC 34003) MINIMUM COMMENT AND SLEING DOORN SWINGHOND SHALL BE FORMED BOARD SWINGHOND SWILL BE FORMED SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BE SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BE SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BE SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BE SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BE SWILL BE SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BE SWILL BUT SWILL BOARD SWINGHOND SWILL BE SWILL BE SWILL BE SWILL BE SWILL BOARD SWILL BE S

5 FEET OR MORE, BUT BETWEEN 1/2 AND 1/2 THE HEIDHT OF CONSTRUCTION IS FEET OR MORE, BUT EXCREDING ONE HALF THE HEIDHT OF CONSTRUCTION

TO L

UTILIZE ONE OF THE CITY'S APPROVED FRANCHISE HAULER TO RECYCLE AND/OR SALVAGE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. (CALGREEN 4.408.1). 4.408.3)

TREAD VOSING, ICHO 3117, 20 8. ADVISION VOID HANDOWNER ASSOCIATION (HOA) APPROVAL MAY BE REQUIRED FOR THIS IMPROVEME 9. ADOTONUL REMITS ARE REQUIRED FOR ETACHES TRUCTURES INCLUDING BUT NOT LIMITED TO: 4. ADOESSOY WITS TRUCTURES, DETACHED PAID COVERS, AND TRELLISES, 8. MASONIY OR GOVERT FENDES OVER 33, FT, HGH C. RETAINING WALLS OVER 47, HOH FROM THE BOTTOM OF THE FOUNDATION TO THE TOP OF THE WALL.

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 BARREN AND CONCERCI VALUES

 FEET OF NORE, BUT BETWEEN 12 AND 12 HEADIT OF CONSTRUCTION
 BARREN AND CONCERCI VALUES

3. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.

CONSTRUCTION:

- WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQUIRED IN EACH AREA, BATHROOMS SHALL HAVE AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR, MIN 50 CPM CARACITY. 24. WHERE WHOLE HOUSE FANS ARE USED IN BATHROOM AREAS, THE FAN MUST RUN CONTINUOUSLY AND SHALL NOT BE TIED TO A HUMIDITY CONTROL SENSOR. THE CLOTHES DRYER VENT SHALL NOT EXCEED 14 FEET IN OVERALL LENGTH WITH MAX. TWO 90 DEGREES ELBOWS. (CMC 504.3.1) 28. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE MIN. 3 FEET FROM PROPERTY LINE OR OPENINGS INTO BULLDING. (CMC 504.5) MECH. EQUIPMENT SHALL BE INSTALLED PER THE MF0/S INSTALLATION INSTRUCTIONS (CMC 303.1)
 DOMESTIC RAVIGE VENTS TO BE SMOOTH METALLIC INTERIOR SURFACE. (CMC 504.2)
 SUPPLY AND RETURN ARE DUCTS TO BE INSULATED AT A MIN, OF PH6. CAL ENERGY CODE TABLE 150-1-A. PLUMBING:

- 30. PLUMEING EXTURES: a. NEW CONSTRUCTION & ADDITION/ALTERATIONS THAT INCREASES CONDITION SPACE AREA, V. LOWEL VIEW CAL GREEN MAINTATORY BEDITIES VENTS
- VOLUME, OR SIZE (CG 4.303.1): L. COMPLY WITH CAL GREEN MANDATORY REQUIREMENTS. b. ADDITION AND ALTERATION NOT INCREASING CONDITION SPACE AREA, VOLUME, OR SIZE (CPC 403.0408.2):

D. LIQUID FUELED FIREPLACES ARE NOT ALLOWED FOR INTERIOR USE.
 21. DIRECT VENT GAS APPLIANCE FIREPLACE:

- I. SHOWER HEADS: 2.0 GPM @ 80 PSI II. LAVATORY FAUCETS: 1.5 GPM @ 60 PSI III. KITCHEN FAUCETS: 1.8 @ 60 PSI III. WATER CLOSET: 1.28 GALLONS PER FLUSH
- 31. CLEARANCE FOR WATER CLOSET TO BE A MINIMUM OF 24 INCHES IN FRONT, AND 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. CPC 407.5
- - 32. THE WATER HEATER BURNER TO BE AT LEAST 18 INCHES ABOVE THE GARAGE FLOOR, IEL OCATED IN A GARAGE CPC 508 14

A. DIRECT VENT SEALED COMBUSTION GAS APPLIANCE FIREPLACE MUST COMPLY WITH THE CAL GREEN CODE REQUIREMENTS AND MUST COMPLY WITH ANSI 221.50 (CAL GREEN 4.503.1) ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AI EXHAUST FAN WITH A MIN, CAPACITY OF 50 CFM DUCTED TO TERMINATE OUTSIDE THE BUILDING (DRC BR38 3: 03 4 506 1 CRC) 1201 4 3 1 1. ONC 403 7)

ELECTRICAL:

57. RECEPTACLE OUTLETS ARE NOT ALLOWED WITHIN OR OVER A BATHTUB OR SHOWER STALL. (GEC 406.9(C)) 58. SUBPANELS ARE NOT ALLOWED TO LOCATED IN BATHROOMS OR CLOTHES CLOSETS. (GEC 240.24(D)

INSTALL & 3 INCH DIAMETER BY 3 FOOT TALL STEEL PIPE EMBEDDED IN CONCRETE SLAB FOR PROTECTION OF WATER HEATERS IN GARAGE. CPC 508:14

ABS AND PVC DRAIN WASTE AND VENT PIPING MATERIAL IS LIMITED TO 2 STORIES MAX. (CPC 701.1(2)(a), and 903.1.1)

60-0 701 (c) (w. allo 303 11) 6. AS AND YOR ROOF AND DECK DRAIN MATERIAL IS LIMITED TO 2 STORIES MAX. (CPC 1101.3.1) 7. ROOF AND DECK DRAIN SYSTEMS INSIDE THE BUILDING ARE RECURED TO BE INSTALLED WITH DIRECTIONAL DWW DRAINAGE FUTURISS. (CPC 1101.3.40 708 D)

b) CLEANOUTS ARE REQUIRED WITHIN 2 FEET OF THE CONNECTION BETWEEN THE INTERIOR ROOF AND DECK DRAIN PIPING SYSTEM. AND THE EXTERIOR ONSITE STORM DRAIN SYSTEM. (CPC 1101.12)

34. WATER HEATERS TO BE STRAPPED AT TOP AND BOTTOM WITH 1 1/2 X 16 GAUGE STRAP WITH 3/8 DIA X 3 LAG BOLT EACH END. CPC 508.2

- CIRCUITS SHARING A GROUNDED CONDUCTOR (NUETRAL) WITH TWO UNGROUNDED (HOT) CONDUCTORS MUST USE A TWO POLE CIRCUIT BREAKER OR AN IDENTIFIED HANDLE TE. (CEC 210.4 (B)) GROUP NON-CABLE CIRCUITS IN PANEL (CEC 210.4 (D)).

- 60. THE RECEPTACLE OUTLETS THAT SERVE KITCHEN COUNTERTOPS, DINING ROOM, BREAKFAST AREA, AND PANTRY, MUST HAVE A MIN. OF 2 DEDICATED 20 AMP CIRCUITS. (CEC 210.52(B)(1)

- ISLAND AND PENINSULAR COUNTERTOPS MUST HAVE AT LEAST ONE RECEPTACLE. (CEC 210-52 (C11) AND (2))
- THE SPACING FOR GENERAL RECEPTACLE OUTLETS MUST BE LOCATED SO THAT NO POINT ON ANY WALL FIXED GLASS, OR CABINETS IS OVER 6 FEET FROM A RECEPTACLE OUTLET. (CEC 210.52 (A))
- HALLWAYS 10 FEET OR MORE MUST HAVE AT LEAST ONE RECPETACLE OUTLET. (CEC 210.)
- 66. GARAGES SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH CAR SPACE ON THE INTERIOR. THE BRANCH CIRCUIT SUPPLYING THE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE OF THE GARAGE.
- 67. LAUNDRY ROOMS MUST HAVE AT LEAST ONE DEDICATED 20 AMP RECEPTACLE CIRCUIT. (CEC 210.11(2)) 68. PROVIDE 120V RECEPTACLE WITHIN 3 FEET OF WATER HEATER. CAL ENERGY CODE 150.0 (n)
- FOUNDATION
- 69. WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE SHALL BE A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS, ICRC 8703.6.2.1)
- ANCHOR BOLTS SHALL INCLUDE STEEL PLATE WASHERS, A MINIMUM OF 0.229 X 3 X 3 IN SIZE IN SIZE, BETWEEN SILL PLATE AND NUT. (CRC R602.11.1, ACCEPTABLE ALTERNATE SDPWS 4.3.6.4.3)





-ALL DIMENSIONS TO EXISTING WALLS, ITEMS...ETC. NOTED ON PLAN ARE APPROXIMATE GENERAL CONTRACTOR TO VERIFY SAID INFORMATION AND REPORT ANY DISCREPANCIES. 39 ALL HOSE BIBBS ARE TO HAVE VACUUM BREAKERS OCCUPANCY GROUP 40. THE MAXIMUM AMOUNT OF WATER CLOSETS ON A 3 INCH HORIZONTAL DRAINAGE SYSTEM LINE IS 3. (CPC TABLE 703.2) -ALL PARTITION WALLS (EXTERIOR AND INTERIOR) SHALL BE 2x4 U.N.O., SEE STRUCTURAL NOTES FOR GRADE & SPECIES -PROVIDE OTHER MATERIALS AND EQUIPMENT NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. LOT SIZE -SSUARCE OF A BUILDING PERMIT BY THE CITY OF DANA POINT DOES NOT RELEVA APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS THE REVEAL PROVINCIANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS THE REVEAL OF THE DETAIL AND AND ADDING TO A DISCOVERY OF A DISCOVERY ASSOCIATION PHOR TO COMMENCEMENT OF ANY CONSTRUCTION ASSOCIATION PHOR TO COMMENCEMENT OF ANY CONSTRUCTION 14.025 S.F. EVENTS I OCCU I SUDUIY
 PROVIDE A STRACHT VENT PPE FROM THE WATER HEATER SPACE TO THE OUTSIDE TERMINATION FROM
 THE WATER HEATER SPACE. CALENERGY CODE 150.0 (r) PROJECT DESCRIPTION THE ENTERTED PRACE, CALE ENERGY CODE 19.00 (n)
 SNOLTE ALL 94 AND LARGEN HOT WATER HEATERS ON THE HOT AND CALD SUPPLY
 LINES WITH HOT SAND CALL 94 AND LARGEN HOT MANNESS WATER HEATERS ON THE HOT AND CALD SUPPLY
 LINES WITH HOT BEBRES ON EACH VALUE; TO LUSH THE HEATER CALAVAGEN AN EXISTING RESIDENCE WILL BE DEMOL STORY (PLUS BASEMENT) SINGLE FAMILY ELECTROAL:
A. E PROJECT DATA 1. SETBACK REQUIREMENTS FRONT REAR SIDE LOT AREA COVERAGE (INCLUDES EAVES AND LOT AREA: 14,025 S.F. PROPOSED LOT COVERAGE: 5,316 S.F. COMBINATION TYPE AFCI CIRCUIT BREAKERS ARE REQUIRED FOR ALL 120 VOLT SINGLE PHASE 15/20 AMP BRANCH CIRCUITS. EXCEPT FOR BATHROOMS, KITCHENS, GARAGES, OUTDOORS, AND LANUDRY DODOLOGO GRADUE EXCEPT FOR BATHROOMS, KITCHENS, GARAGES, OUTDOORS, AND LANUDRY AT A MINIMUM, ONE DEDICATED 20 AMP CIRCUIT IS REQUIRED FOR A BATHROOM.(CEC 210.11(C)(3)) AMP BRANCH CIRCUITS. EXCEPT FOR BATHROOMS. KITCHENS, GARAGES, OUTDOORS, AND LANUBRY AREA OF BUILDING 56. OFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLE OUTLETS LOCATED OUTDOORS, QARAGES, ACCESSORY BUILDINGS, BATHROOMS, CRAWL, SPACES, KITCHEN, LUNDRY AREAS, KITCHEN DISHWASHER BRANCH CIRCUIT, GARBAGE DISPOSAL, ALL AREAS WITHIN & FEET OF A SINK, AND ALL RECEPTACLES WITHING & FEET OF A BATHTUB OR SHOWER STALL (CC2210.8) FIRST FLOOR HABITABLE SPACE BASEMENT HABITABLE SPACE TOTAL FLOOR AREA BASEMENT 5-CAR GARAGE TOTAL BUILDING AREA DWELLING UNITS ONE SINGLE STORY (PLUS BASEMENT) RE REQUIRED PARKING REQUIRED: 2 GARAGE PARKING SPACES (4 I PROVIDED: 5 GARAGE PARKING SPACES PL . LANDSCAPED AREA LANDSCAPED AREA: 3,846 S.F. (LAN

FOR GENERAL CONSTRUCTION:

-BUILDING CONSTRUCTION SHALL BE TYPE VB. SPRINKLERED

GENERAL NOTES

ALL WORK SHALL CONFORM TO THE 2019 CRC, 2019 CBC, 2019 CPC, 2019 CEC, 2019 CMC, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (GG)

-CONTRACTOR TO VERIEV ALL SITE CONDITIONS PRIOR TO COMMENCING WORK

CONSTRUCTION NOTES

A. MUST BE PORTABLE AND MAY BE EASILY RELOCATED. B. TEMP, GENERATORS ARE TO BE LOCATED A MIN. DISTANCE FROM ANY PROPERTY LINE ACCORDING TO THE FOLL OWNLY TABLE

2. IF THE MIN. DISTANCE CANNOT BE ACHIEVED, THEN THE GENERATOR SHALL^{CHEEC}CATED THE MOST EXTREME DISTANCE PRACTICAL TO INHIBIT NOISE. OTHER METHODS TO INHIBIT NOISE MAY BE UTULZED WHEN PRACTICAL

E. USAGE IS LIMITED TO WEEKDAYS BETWEEN THE HOURS FROM 8:00 AM AND 3:30 PM MONDAY THROUGH FRIDAY. NO USE ON THE WEEKENDS OR FEDERAL HOUDAYS.

A. FACTORY BUILT FIRE PLACES, CHIMNEYS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE USING. (CRC RITOL4.1)

FACTORY BUILT WOOD BURNING FIREPLACES SHALL BE QUALIFIED AT THE US. EPA'S VOLL FIREPLACE PROGRAM PHASE 2 EMISSIONS LEVEL AND BE IN ACCORDANCE WITH THE CALIFORNIA GREFN BUILDING STANDARDS CODE: CHAPTER 4. AND DIVISION 4.5

A. PROME A FEMALWENT Y ANCHORED GASEOUS FUEL BURNING PAIN TO THE FIREBOX OF A
SOLD FUEL BURNING FREPLACE.
 SOLD FUEL BURNING FREPLACE MUST COMPLY WITH THE CALIFORNIA ENERgY STANDARDS
MINIDATORY MEASURES.

CARL ONNER UNERFLOODENING DUE IN TRUEDATE DE LE METHE DE LE MENTELLE DE LE METHE DE LE METHEL DE LE METHEL

C. CHIMNEY SHALL EXTEND AT LEAST 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT. BUT SHALL NOT BE LESS THAN 3 FT. ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF (FCR R1003) F1.

D. MAY BE OPERATIONAL FOR A MAX. OF FIVE CONSECUTIVE CALENDAR DAYS. AFTER FIVE CONSECUTIVE CALENDAR DAYS OF USE, POWER SHALL BE PROVIDED THROUGH THE USE OF A TEMP POWER POL

REQUIRED SETBACK FROM PROPERTY LINE

10 FEET

20 FEET

. HAND OPERATED CONSTRUCTION TOOLS POWERED BY ELECTRICITY MUST USE POWER PROVIDED BY SOCH THROUGH A TEMPORARY POLE OR AVAILABLE CUTLET. IN THE RARE CASE, WHERE ELECTRICITY IS NOT READILY AVAILABLE AND A PORTABLE TEMPORARY GENERATOR IS NECESSARY, THEN THE POLLOWING RESTRICTIONS WHILS TE ADAPTED TO:

ADJACENT STRUCTURES

TEMPORARY GENERATOR:

TIME IN USE HOURS

MORE THAN 1 DAY

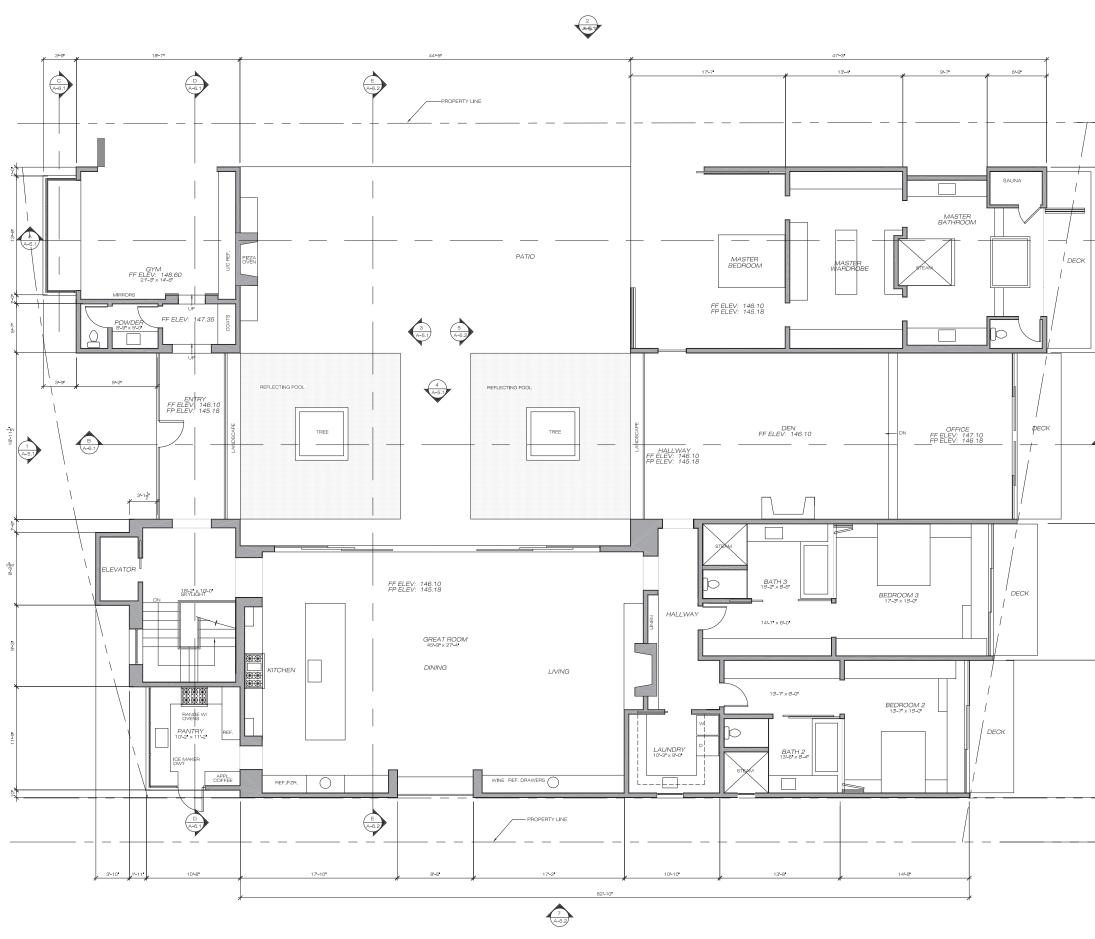
0-1 DAY

FIREPLACE:

MECHANICAL:

20. SOLID FUEL BURNING FIREPLACES:

PROJECT DESCRIPTION	SHEET INDEX
LEGAL DESCRIPTION	
PARCEL NUMBER: 670-11-131 LEGAL DESCRIPTION: TRACT 3748, LOT 97	C COVER SHEET
	ARCHITECTURAL
PROPERTY MAILING ADDRESS 198 MONARCH BAY DRIVE	A-1.1 SITE PLAN AND PROJECT NOTES A-2.1 FIRST FLOOR PLAN
DANA POINT, CA. 92629	A-2.2 BASEMENT FLOOR PLAN A-4 ROOF PLAN
OCCUPANCY GROUP TYPE OF CONSTRUCTION R3/U TYPE V-B. SPRINKI FRED	A-5.1 EXTERIOR ELEVATIONS A-5.2 EXTERIOR ELEVATIONS
	A-6.1 BUILDING SECTIONS A-6.2 BUILDING SECTIONS
LOT SIZE ZONING 14.025 S.F. RSF 4	STRUCTURAL
PROJECT DESCRIPTION	STRUCTURAL
AN EXISTING RESIDENCE WILL BE DEMOLISHED AND A NEW SINGLE STORY (PLUS BASEMENT) SINGLE FAMILY RESIDENCE WILL BE CONSTRUCTED	
PROJECT DATA 1. SETBACK REQUIREMENTS	CIVIL
FBONT - 20-0	1 OF 4 GRADING PLAN NOTES
REAR - 35-6' (20% OF LOT DEPTH - 177-6') SIDE - 5-0'	2 OF 4 GRADING PLAN 3 OF 4 GRADING DETAILS 4 OF 4 EROSION CONTROL PLAN
2. LOT AREA COVERAGE (INCLUDES EAVES AND OVERHANG AND COVERED PATIO)	1 OF 1 TOPOGRAPHIC SURVEY
LOT AREA: 14.025 S.F. <u>5.316</u> PROPOSED LOT COVERAGE: 5.316 S.F. <u>14.025</u> = 37.9%	TOFT TOPOGRAPHIC SURVEY
3. AREA OF BUILDING	
FIRST FLOOR HABITABLE SPACE 5316 S.F. BASEMENT HABITABLE SPACE 197 S.F.	LANDSCAPE
TOTAL FLOOR AREA 5513 S.F. BASEMENT 5-CAR GARAGE 2053 S.F.	L-1 LANDSCAPE PLAN
TOTAL BUILDING AREA 7,566 S.F.	L-2 PLANTING PLAN L-3 ELEVATIONS L-4 DIMENSION PLAN
4. DWELLING UNITS ONE SINGLE STORY (PLUS BASEMENT) RESIDENCE	L-4 DIMENSION PLAN L-5 LIGHTING PLAN
 REQUIRED PARKING BEQUIRED: 2 GARAGE PARKING SPACES (4 BEDROOM RESIDENCE). PLUS TWO OFF-STREET. 	
REQUIRED: 2 GARAGE PARKING SPACES (4 BEDROOM RESIDENCE) PLUS TWO OFF-STREET PROVIDE: 5 GARAGE PARKING SPACES PLUS ONE DRIVEWAY 6. LANDSCAPED AREA 6. LANDSCAPED AREA	
LANDSCAPED AREA: 3,846 S.F. (LANDSCAPE DRAWINGS ATTACHED)	
$\frac{3.848}{14.025} = 27.4\%$	
	PROJECT TEAM
	OWNER ARCHITECT PAUL AND ESRA BLACK ERIC OLSEN, AIA
	198 MONARCH BAY ERIC OLSEN DESIGN DANA POINT, CA 2728 E. COAST HIGHWAY, SUITE A
	PHONE: 949:309.8351 CORONA DEL MAR, CA 92625 OFFICE: 949.887.8856
	STRUCTURAL ENGINEER CIVIL ENGINEER
	ESI/FME, INC. 3840 E. COAST HWY. CORONA DEL MAR. CA. 92625
	SANTA ANA, CA. 92701 OFFICE: 949.675.4487 OFFICE: 714.835.2800
	SOILS GEOLOGIST GEOTECHNICAL ENGINEER
	DAVID A. WORTHINGTON PAUL DURAND EGA CONSULTANTS EGA CONSULTANTS
- EXISTING & TALL BLOCK WALL TO REMAIN	375-C MONTE VISTA AVENUE 375-C MONTE VISTA AVENUE COSTA MESA, CA 92627 COSTA MESA, CA 92627
	OFFICE: 949.642.9309 OFFICE: 949.642.9309
n	PROJECT NOTES
	1. POQLS. SPAS. WALLS. FENCES. PATIO COVERS AND OTHER
-	FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.
EXISTING 6' TALL WOOD FENCE TO REMAIN	A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 9 AND FOR SHORING AND UNDERPINNING, CONTRACTOR TO PROVIDE A COPY OF OSHA PERMIT. PROVIDE CONSTRUCTION FENCING FOR NEW CONSTRUCTION AND FOR ADDITION
(148.32) NG	 PROVIDE CONSTRUCTION FEMCINE FOR NEW CONSTRUCTION AND FOR ADDITION PLUS REVOOEL PROJECTS EXCEEDING 75% OF THE AREA OF PROPOSED STRUCTURE. FENCE HEIGHT TO BE BETWEEN 72" AND 84.
	 ALL EFFORTS SHALL BE MADE TO GANG VENT PIPES TO MINIMIZE ROOF PENETRATIONS AND OBSTRUCTIONS TO SMOOTH CLEAN ROOF FORM. THERE SHALL BE NO TENCHES OR EXCAVATIONS & FEET OR MORE IN DEPTH INTO
POOL EQUIPMENT EQUIPMENT TO BE SCREENED FROM NEIGHBOR VIEW AND MUST MEET THE CITY'S SOUND DECIBEL RATING STANDARDS	5. THERE SHALL BE NO TRENCHES OR EXCANATIONS 5 FEET OR MORE IN DEPTHINTO WHICH A PERSON IS REQUIRED TO DESCEND WITHOUT OBTAINING THE INCRESSARY PERMIT FROM THE STATE OF ALLPORNAL DIMISION OF INDUSTRIAL SAFETY PRIOR TO ISSUANCE OF A GRALING OR BUILDING REMIT.
SOUND DECIBEL RATING STANDARDS	ALL HOSEBIBS MUST BE PROTECTED BY AN ANTI-SIPHON DEVICE PER UPC-1003. MECHANICAL SHALL BE DESIGN-BUILD. ALL DESIGNS MUST MEET ALL REQUIRED CODES AND BE SUBMITTED FOR REVIEW WITH EQUIPMENT CUT SHEETS.
	 ELECTRICAL SHALL BE DESIGN-BUILD. ALL DESIGNS MUST MEET ALL REQUIRED CODES AND BE SUBMITTED FOR REVIEW WITH EQUIPMENT AND FIXTURE CUT SHEETS.
PROPERTY LINE	 PROVIDE MECHANICAL VENTILATION FOR WATER CLOSET COMPARTMENTS, BATHROOMS AND LAUNDRY ROOMS CAPABLE OF PROVIDING 5 AIR CHANGESHOUR
	ID: APTER INSTALLING TO THE ENFORCEMENT OF FLOOR FLOOR FLOOR FLOOR THE INSTALLED STALL MAKE AVAILABLE TO THE ENFORCEMENT OF A POST IN A CONSPECUCUS LOCATION IN THE BULING A CENTRE SIGNED BY THE INSTALLER STATING THAT THE INSULATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS DESCRIBED IN
	BATTROVIES AND SUMMERT FOUNDER FABLE OF
	INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURERS LABELED INSTALLED DESIGN DENSITY FOR THE REQUIRED R-VALUE. 11. CABINETS ILLUSTRATED IN CONSTRUCTION DOCUMENTS ARE CONCERT ONLY.
18,46)	11. CABINETS ILLUSTRATED IN CONSTRUCTION DOCUMENTS ARE CONCEPT ONLY. CABINETS SHALL BE DEGINED AND BUILT BY CONTRACTOR SELECTED BY OWNER. CONTRACTOR SHALL SUBMITSHOP DRAWINGS FOR APPROVAL. 12. ISSUANCE OF A BUILDING FEMILT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE
	 ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE APPLICATIS OF THE LEGAL RECURRENTS TO OBSERVE COVENANTS, CONDITIONS, AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY. ISSUANCE OF A BUILDING PERMIT BY THE CITY OF NEWPORT BEACH DOES NOT RELIEVE
	 EINCER, BRUNNE DE MINITER THE CITY OF NEWFORT BEACH DOES NOT RELEASE SERVICES RECORDS, WALLS, RETAINING WALLS, CURADRAUS, AND HANDRAUS, OR ANNY CONSTRUCTION WITHIN THE RECURED FRONT SERVICE AND ASSISTING GRADE PRIOR TO CONSTRUCTION WITHIN THE RECURED FRONT SERVICE ACK AREAS.
<u>~</u>	CONSTRUCTION WITHIN THE REQUIRED FRONT SETEACK AREAS. 14. RECYCLE AND/OR SALVAGE FOR REVES A MIN. OF 69% OF THE NON-HAZARDOU/S CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 CAL GREEN CODE
TALL RETAINING CURB	CAL GREEN CODE
\sim	
REAR SETBACK	
11	NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CENTFIELD PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY CITY.
	1. FIRE SPRINKLER SYSTEM PER NIPA 130 IS RECURED THROUGHOUT INCLUDING ATTIC. FIRE SPRINKLERS SHALL BE A DEFENDED SUBMITTAL ITEM, OBTAIN FIRE SRPINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.
	2. PROVIDE A SEPARATE BERNIT APPLICATION AND DOCUMENTATION, FOR FLAM ORECO ILLUSTRATION HARC EGUINAMENT COMPLEX WITH HIVES VAID LEVEL AND TO EXCRED SO DBA (SEDBA WITH TIMER: SG DBA WITH TIMER AND NEIGHBORS CONSENT) FER SECTION 10.20.46 SO THE ABMO. LOCATE CUMPLENT IN ELEVINEMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING. LOCATE CUMPLENT IN ELEVINEMENT OF LA TADJACENT PROPERTY PATIO OR OPENING. LOCATE CUMPLENT IN ELEVINEMENT OF LA TADJACENT PROPERTY PATIO OR OPENING.
	SECTION 10.28.045 OF THE NBMC. LOCATION OF MEASUREMENT TO BE AT ADJACENT PROPERTY PATIO OR OPENING. LOCATE EQUIPMENT IN EQUIPMENT WELL ON ROOF IF NECESSARY.
	3. ACRALIGHT RIDGE SKYLIGHTS TO BE DEFERRED SUBMITTAL
N. NORTH	PUBLIC WORKS
	1. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
	 A PUBLIC WORKS DEPT. ENCROACHMENT PERMIT INSPECTION IS RECO. BEFORE THE BLIDG, DEPT. FINAL CAN BE ISSUED. AT THE TIME OF THE PUBLIC WORKS INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS
	DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEYSTREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF
	THE PUBLIC WORKS INSPECTOR.

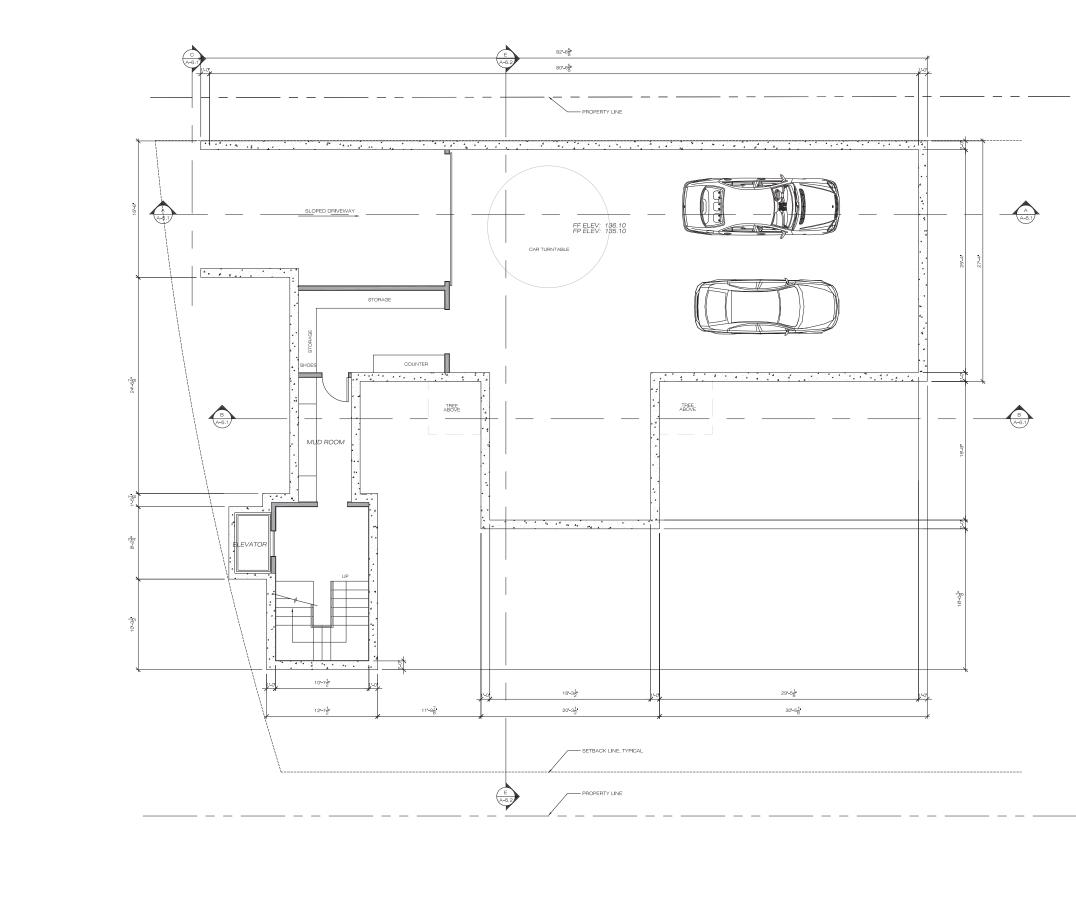


		REVISION:	DATE:
BLACK RESIDENCE			
	ERIC OLSEN DESIGN		
198 MONARCH BAY	2728 E. COAST HIGHWAY, SUITE A CORONA DEL MAR, CA 92625		
DANA POINT, CA	TELEPHONE: 949.887.8856		
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PROJECT:

	FLOOR PLAN KEYNOTES
	VOOD FLOORING STONE FLOORING ATTORNAL ARTISAN MASCOLITE GAS FIREPLACE. ICC REPORT ESP-2401 ARTISAN MASCOLITING 4136, ANSI 221.30/CSA 2.22-2016 FOR DECORATIVE GAS APPLIANCES WOOD DINING TABLE VOOD DINING TABLE SINK STONE COUNTERTOP TOLET SHOWER WI 3/8 TEMPERED GLASS ENCLOSURE DUSHWASHER DUSHWASHER FIREFULCUT SHOWER WI 3/8 TEMPERED GLASS ENCLOSURE DUSHWASHER TARSH PULLOUT SHOWER WI 3/8 CLARE SLAB 3 - 3/8 TEMP. GLASS ENCLOSURE TARSH PULLOUT SHOWER WI 3/8 CLARE SLAB 3 - 3/8 TEMP. GLASS ENCLOSURE UNDERMOUNT TUB CABINETRY. SEE INTERIOR ELEVATIONS UNDERMOUNT TUB CLASS TADRIKA TUB CLASS TEMPLICAD
A Addition	FIREPLACE NOTES -PREPLACE OPENNE -PREPLACE OPENNE -PREPLACE OPENNE -PREPLACE APPINO -PREPLACE APPINO -PREVIDE APPINO -
	PLUMBING NOTES: -ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW PATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS INTERIOR NOTES -VERIFY BASEBOARD WITH INTERIOR DESIGNER -THERE WILL BE NO CASING AT DOORS. ALL JAMBS WILL BE CURFED WITH 3/4 OAK EDGE EXPOSED -THERE WILL BE NO CASING AT WINDOWS. DRYWALL CURFED JAMBS, SILLS, AND HEADERS
di d	NOTE: PLEASE REFER TO SHEET A-1.2 FOR DOOR AND WINDOW SCHEDULE
	WALL LEGEND NEW WALL ALL EXTERIOR WALLS AND INTERIOR WALLS BETWEEN THE R-3 AND U OCCUPANCY SHALL BE 2X6 AT 16"O.C. WITH R-21 INSULATION
PROFESSIONAL:	

	DRAWING NUMB
FIRST FLOOR PLAN	□ A-2.1
SCALE: 1/4' = 1-0	



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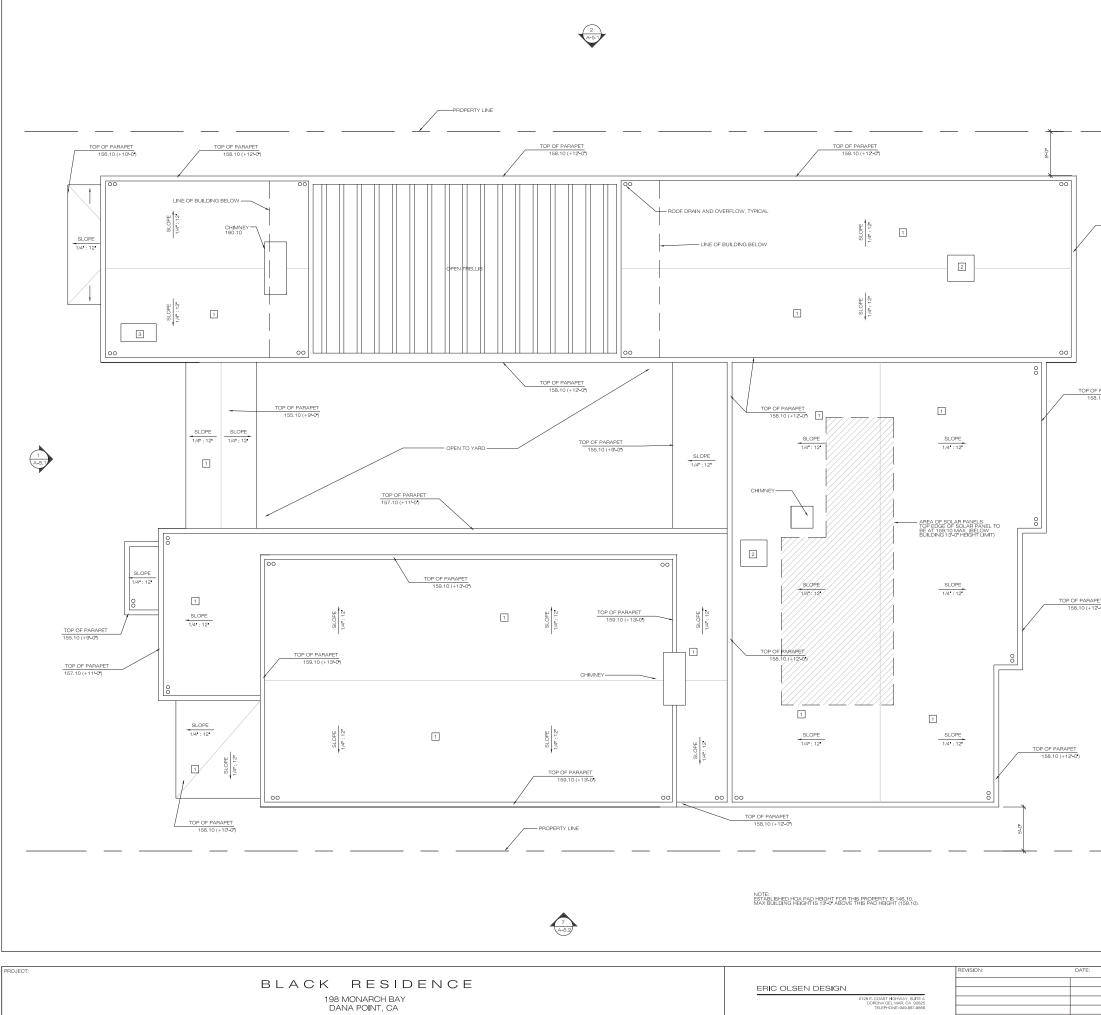
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ISION:	DATE:	PROFESSIONAL:	DRAWING:	JOB NUMBER:	DRAWING NUMBER:
				DATE:	
			BASEMENT FLOOR PLAN	04.15.21	
				DRAWN BY: E.O.	A-2.2
				SCALE:	
				1/4 = 1 -0	

FLOOR PLAN KEYNOTES
1 WOOD FLOORING 2 STONE FLOORING
3 CARPET
ARTISAN MASON-LITE GAS FIREPLACE. ICC REPORT ESR-2401 RADCO LISTING #1365, ANSI Z21.50/CSA 2.22-2016 FOR DECORATIVE GAS APPLIANCES
5 WOOD DINING TABLE 6 SINK
7 STONE COUNTERTOP
8 TOILET 9 SHOWER W/ 3/8" TEMPERED GLASS ENCLOSURE
10 DISHWASHER
11 REFRIGERATOR 12 DOUBLE OVENS
13 BUILT IN BENCH SEATING
TRASH PULLOUT SHOWER W/ NO CURB - DEPRESS SLAB 3 - 3/8" TEMP. GLASS ENCLOSURE
16 LINEAR DRAIN
17 48' RANGE TOP
18 TRELLIS. SEE CEILING PLAN 19 CABINETRY. SEE INTERIOR ELEVATIONS
21 FREESTANDING TUB 22 CLOSET CABINETRY. VERIFY IF DONE BY OUTSIDE VENDOR OR CARPENTER
23 STONE HEARTH FLUSH WITH WOOD FLOOR
☑ DEX-Q-TEX WEATHERWEAR ROOF DECK COVERING. ICC REPORT #ESP-1757 CLASS 'B' MINIMUM FIRE CLASSIFICATION
FIREPLACE NOTES
-REPLACE OPENING: COMBUSTLE MATERIALS SURROUNDING THE OPENING TO BE MIN, 6' FROM OPENING MATERIAL ABOVE AND WITHIN 12' SHALL NOT PROLECT MORE THAN 16' FOR EACH INCH DISTANCE FROM OPENING. COMBUSTBLE WATERIAL A TSBES THAT PROJECTI MORE THAN 11 72' FROM THE FACE OF THE RIPEPLACE SHALL HAVE AN ADDITIONAL CLEARANCE CULAL TO THE PROJECTION
DISTANCE FROM OPENING. COMBUSTIBLE MATERIAL AT SIDES THAT PROJECT MORE THAN 1112 FROM THE FACE OF THE FIREPLACE SHALL HAVE AN ADDITIONAL
-PROVIDE 2 INCH CLEARANDE TO FRAMING AROUND FIREBOX AND CHIMMEY OR THICKNESS FROM LINING TO COMBUSTIBLES TO BE 12 INCHES.
-HEARTH THICKNESS TO BE 2 INCHES MIN.
PLUMBING NOTES:
-ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS
INTERIOR NOTES
-VERIFY BASEBOARD WITH INTERIOR DESIGNER -THERE WILL BE NO CASING AT DOORS. ALL JAMBS WILL BE CURFED WITH 3/4 OAK EDGE
EXPOSED
-THERE WILL BE NO CASING AT WINDOWS. DRYWALL CURFED JAMBS, SILLS, AND HEADERS
NOTE: PLEASE REFER TO SHEET A-1.2 FOR DOOR AND WINDOW SCHEDULE
WALL LEGEND
NEW WALL

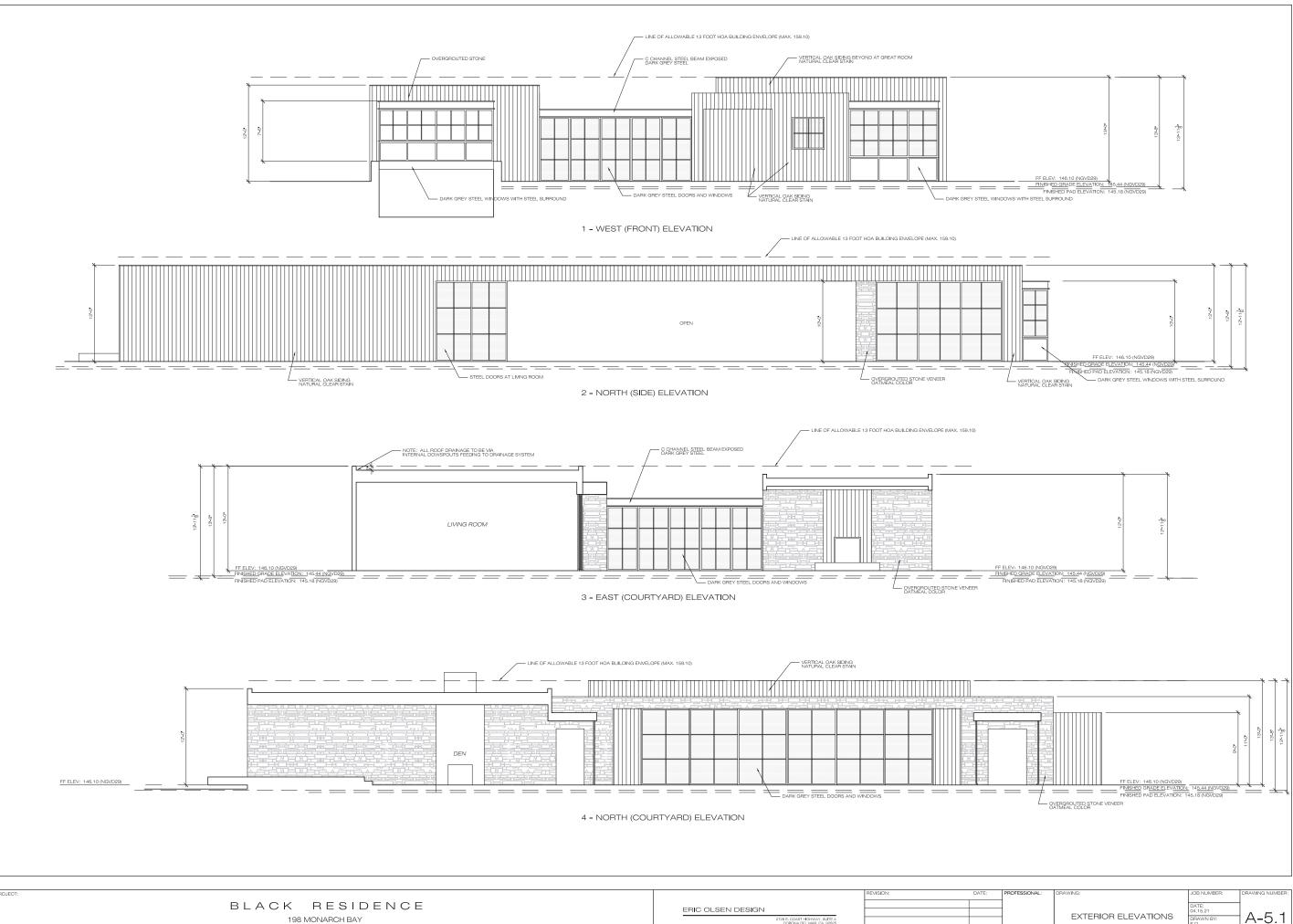


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	CLASS W. MEWBRANE ROOF CAP CORPORTION MEWBRANE ROOF CORPORTION MEWBRANE ROOF COLOR TO BE DARK BROWN OR DARK GREY CLASS W. ASSEMBLY PER ESR REPORT 1274: GRAVEL OVER 1 LAYER OF GAR FUBEROID TORCH 2 LAYER OF GARGLES #/5 BASE SHEET OVER 15		
	ACRALIGHT CURBMOUNTED SKYLITE, 39/X38 - BRC WITH LOW E2. ICC REPORT #ESR-2415 SKYLIGHTS NOT PERMITTED TO BE UP LIGHTED. FF BRONZE TINTED.		D OVER LAMI ND GLAZING TO BE
	BRONZE TINTED. 3. ACRALIGHT CURBINGUINTED SKYLITE, 24X48' - BRC WTLIGHTS NOT PERMITTED TO BE UP LIGHTED. FF BRONZE TINTED.		
	BRONZE TINTED.	RAME TO BE BRONZE A	NU GLAZING TO BE
	NOTES: - ROOF VENTS TO BE COLORED TO MATCH ROOFING MA	TERIAL	
	- NO ROOF MOUNTED MECHANICAL EQUIPMENT ALLOW		
TOP OF PARAPET 158.10 (+12-0)			
	TYPICAL FIREPLACE / CHIMNEY NOTES: FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF TH SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH	EIR COMPONENTS 1 THEIR LISTING AND M	ANUFACTURER'S
	FACTORY BUILT FIREPLACES CHIMINE'IS AND ACTORN SHALL BE LIFED AND NEALED IN ACCORDANCE WIT INSTALLTON INSTRUCTIONS. DECORATIVE SHOUDD SH TERMINATION OF FACTORY BUILT CHIMINGY SIXCEPT WI AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BU INSTALLED IN ACCORDANCE WITH MALENT ACTORETS IN GASEOUS FUEL BUILTING PAN MUST BE FERMANENTLY. FREERACE MUST COMPLY WITH THE CALIFORNIA EVER	HALL NOT BE INSTALLE HERE SUCH SHROUDS JILT CHIMNEY SYSTEM STALLATION INSTRUCT ANCHORED TO THE FIF	D AT THE ARE LISTED AND ARE IONS. CMC (802.5.2.4) EBOX.
	CHIMNEY SHALL EXTEND 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT.; CHIMNEY SHI		
PARAPET 10 (+12-0)	PROVIDE SPARK ARRESTOR TO MEET ALL THE REQUIREM	/ENTS PER OBC 2113.9	.1.
6 A-5.2			
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ET			
<u>*-0</u> *)			
PROFESSIONAL:	DRAWING:	JOB NUMBER:	DRAWING NUMBER:
_	ROOF PLAN	04.15.21 DRAWN BY: E.O.	A-4
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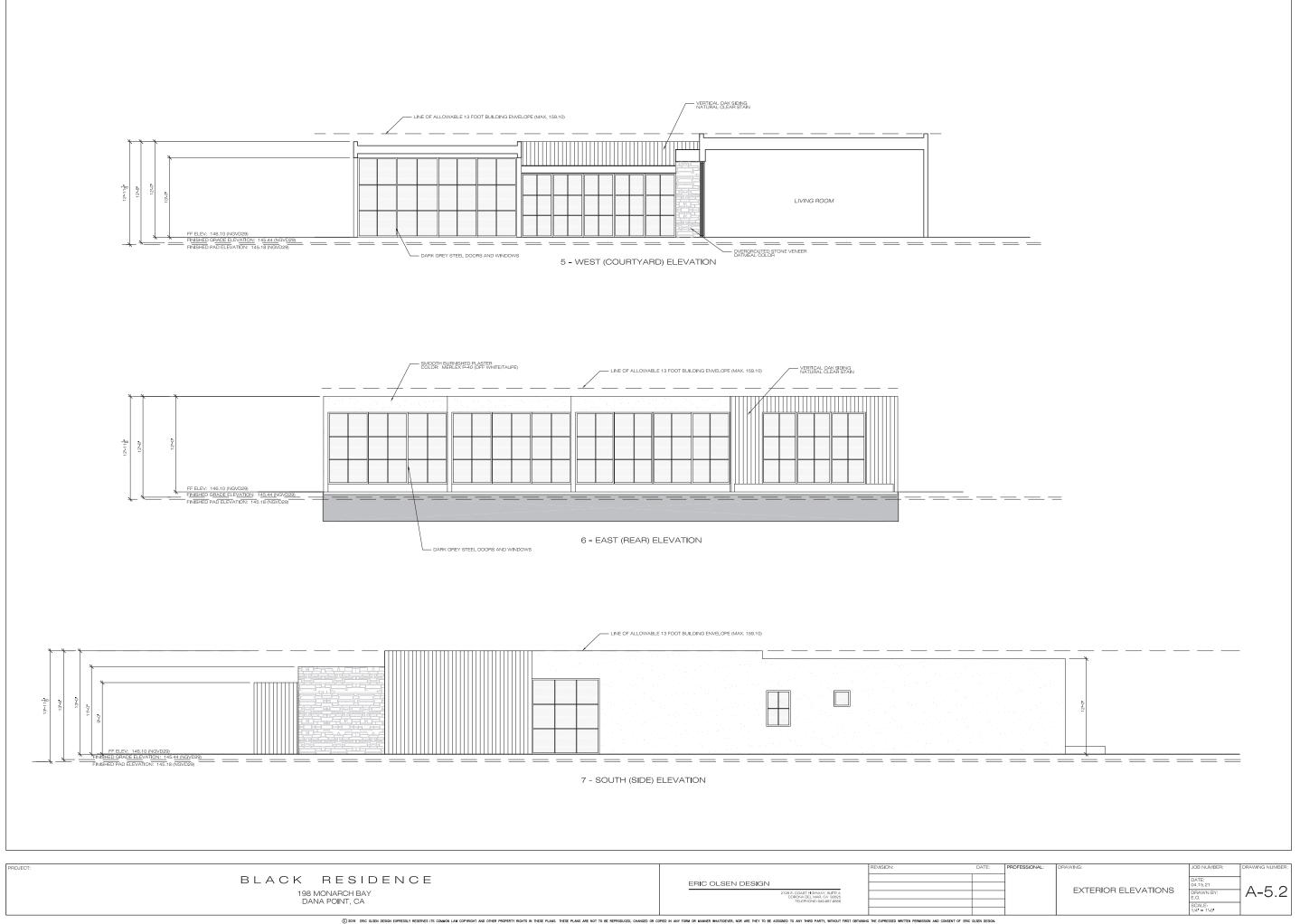


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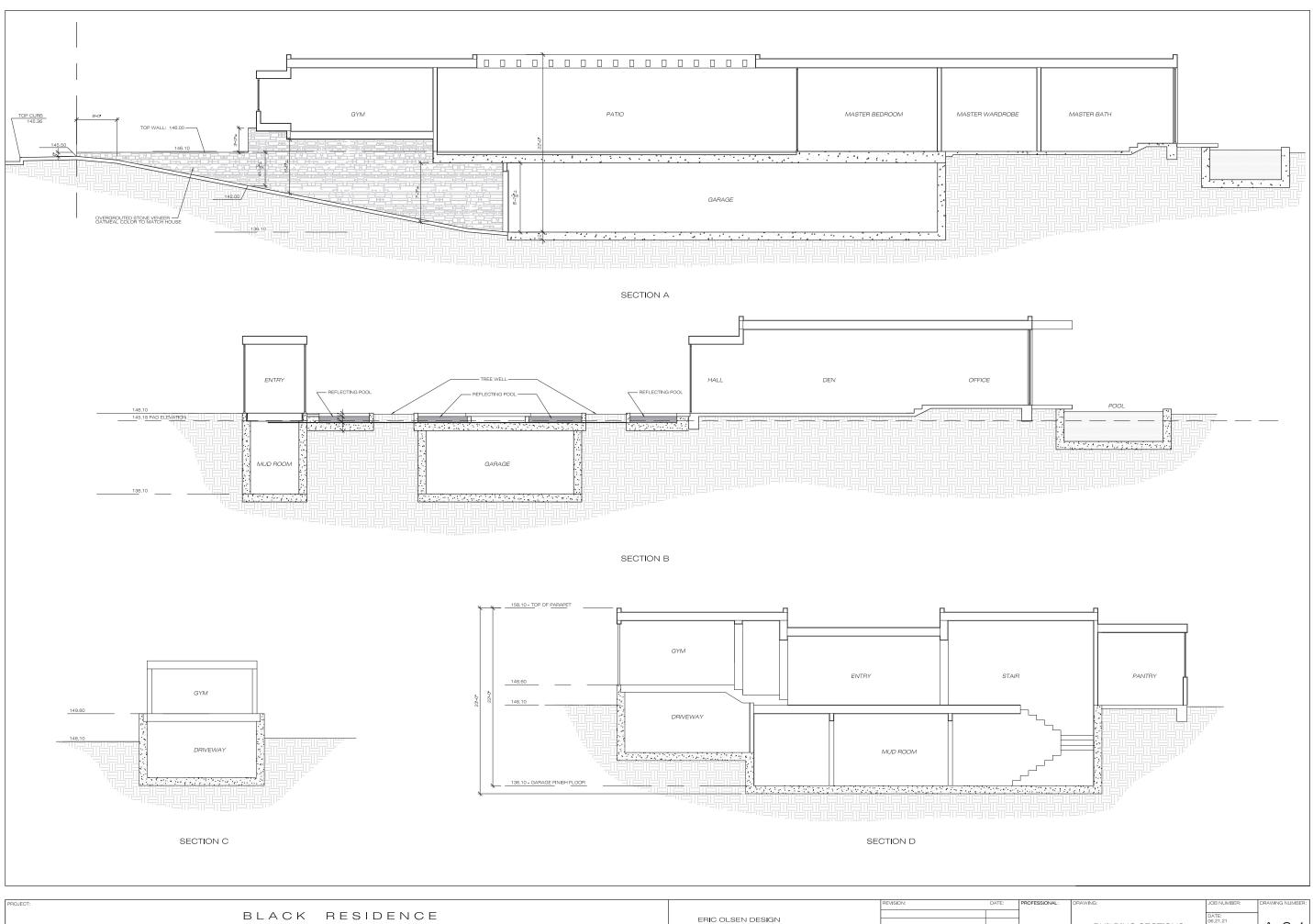
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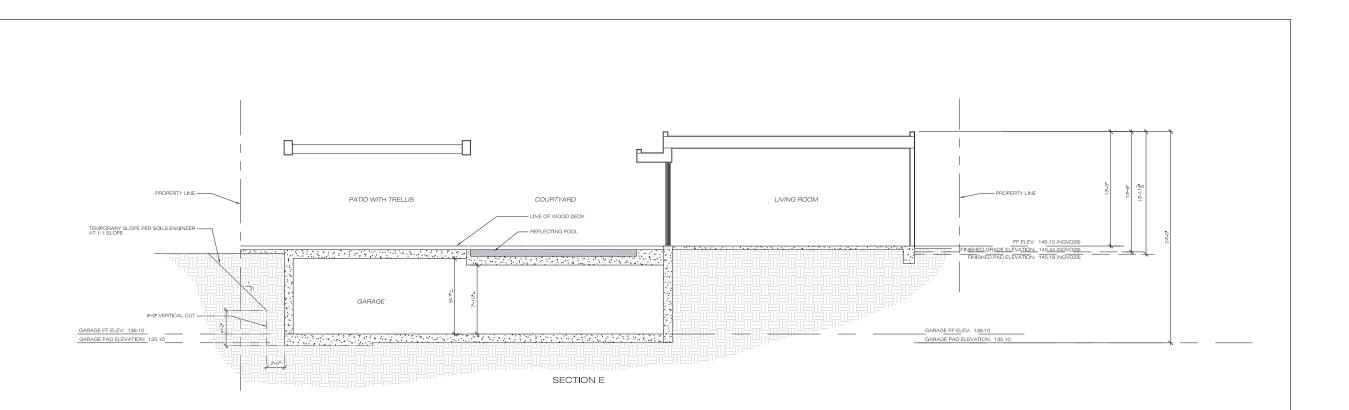


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BUILDING SECTIONS BUILDI



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PROJECT:

ERIC OLSEN DESIGN

2728 E. COAST HIGHWAY, SUITE A CORONA DEL MAR, CA 92625 TELEPHONE: 949.887.8856

VISION: DATE:

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	PROFESSIONAL:	DRAWING:	JOB NUMBER:	DRAWING NUMBER:
-			DATE:	
			04.15.21	
		BUILDING SECTIONS	DRAWN BY: E.O.	A-6.2
_			SCALE: 1/4 = 1-0	

CITY OF DANA POINT PUBLIC WORKS-ENGINEERING DEPARTMENT

STANDARD GRADING AND EROSION CONTROL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE REITANED ON THE JOB STIEF WILLE WORK IS IN PROGRESS. WHEIN REFERENCED ON THE PLANS, A CPOY OF ORANGE COUNTY ROMD STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY CRADING INERCORA A RR-CRADING MEETING ON THE STEE IS REQUERED BEFORE START OF GRADING WITH THE POLLOWING FEODLE PRESENT. OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENCIDEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHER REQUERD, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUERED INSPECTIONS FOR GRADING WILL BE EXPLANDED AT THIS MEETING GRAD. DESIGN CIVIL SUBJECT OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS I ROM THE OTHER AGENCESS WITH REGULATORY RESPONSEDILTIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THES PLAN.
- 4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- 5. RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- . THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS. 7. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- 8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- 9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- 10. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER ORANGE COUNTY RDMD STANDARD PLAN NO. 1322. 10. FILLS SIDEL BE DRAVED INTO COMPETENT MATERIAL PREVIOUNT RUMBI STANDARD FLAN RUL 1322.
 11. THE SOLL BEIGNERER AND DEGREPENDES GEOLOGIST SHALL AFTER CLEANING AND PRIOR TO THE FLACEMENT OF FILL IN CANYON, UNSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OR ABSENCE OF SUBSURY AND WATER OF SPRING FLOW, IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE FLACEMENT OF FILL IN EACH
- 12. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- 13. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS. 4. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
- 15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS. ALL EADSTINGTELLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOT OF LACING ADDITIONAL FILLS.
 HILS SHALL BE COMPACTED THEORIGINUT TO A MINIMUM OF 95% RELATIVE COMPACTION. AGREGATE BASE FOR ASPHALITIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
- 17. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- A FROVED OTHERWISE. 18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS, SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BULDING OFFICIAL FOR APPROVAL.
- HAZARDS, THE ENGINEERING GEOLOGIST SHALL SOBMIT RECOMMENDED TREATMENT TO THE BOLLIARO CONTACAT FOR AFFROVAL. 19. WHERE SUPPROT OR BUTTRESSING OF CUT AND NATURAL SLOPEST DE DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENCINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BULDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION 20. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READLY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOLE ROUTERER, A COMPACTED FILL BLANKET WILL BE PLACED.
- 21 ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
- 22. ANY EXISTING IRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- 23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
- 24. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONDED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
- THE APPROVAL OF THE CIT'S BUILDING INSPECTION.
 STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
 EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12) A VALD C&D APPLICATION MUST BE APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- 27. THE PERMITTEE SHALL COMPLY WITH THE GRADING ADD ENGINEEMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE).
- YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE). 28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES. 29. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BULLDINGS PROIR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING POPPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL SE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- 30. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- 3. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED ILANT MATERIAL IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED ILANT MATERIAL IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY EXCINETE OR HIS DESIGNEE.
- 10. CH 1 EASTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTILL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL: HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- 33. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- 34. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE. 35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING
- DURING GRADING, GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECORNIZED HOLDAYS. A. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUPFLERS.

- BE EQUIPPED WITTE PROPERTY OPERATING AND MAINTAINED MUPPLERS.
 B. ALL OPERATIONS SHALL COMPLY WITH 0RANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
 C. STOCKPILLING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
 GRADING AND EXCAVITON SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F.4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNVALUE VEXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
 ASPHALT SECTION MUST BE PER CODE: PARKING LOTS = 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR PRIOR TO ROUGH GRADE RELEASE FOR BULLDING PERRING SUCH AS SANTA ANA WIND CONDITIONS.
 ASPHALT SECTION MUST BE PER CODE: PARKING LOTS = 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR PRIOR TO ROUGH GRADE RELEASE FOR BULLDING PERRING SUCH AS SANTA THE THE CITY GRADING INSPECTOR. THE SOL ENGINEER SHALL SUBMIT FOR APPROVAL. PAVEMENT SECTION RECOMMENDATIONS BASED ON R VALUE ANALYSIS OF THE SUB-GRADE SOLANDE STANDARD PLAN NO. 1805.
 ASPHALT SECTION ELLE E CONSTRUCTED PER THE REQURREMENTS OF ORANGE COUNTY ROND STANDARD PLAN NO. 1805.
 ASGREGATE BASE SHALL BE CONSTRUCTED PER THE REQURREMENTS OF ORANGE COUNTY ROND STANDARD NO. 1805.
 AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQURREMENTS OF ORANGE COUNTY ROND STANDARD NO. 1805.
 AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQURREMENTS OF ORANGE COUNTY ROND STANDARD NO. 1805.
- 39. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES, ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE. 40. THE CULL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PREMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE CRITER OF EACH PAD REFLECTING THE HAD ELEVATION FOR PRECISE PREMITS AND A BLUE TOP WITH WITNESS
- 41. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- 42. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
- 142 ENVED DURING THE GRADING OPERATION.
 143. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETENOS OF THE ROUGH GRADING.
 144. THE CHADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
 155. THE COMPACTION REPORT AND APPROVAL FROM THE SOL ENGINEER SHALL INDICATE THE TYPE OF FELD TESTING PERFORMED. THE WEITHOD OF OBTIANING THE IN-PLACE DENSITY SHALL BE DENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH THST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE REFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
 164. FRIGT OF INAL INSPECTION OR FINAL APPROVAL. FINAL GRADING CERTIFICATIONS FROM THE ENGINEER OF-WORK AND THE GEOTECHNICAL ENGINEER OF-WORK SHALL BE SUBMITTED TO THE GRADING CINSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION SHOW CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY STANDARD CREATING ATONN AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL AS THE ASSESSMENT AND MITIGATION THE APPROVED BY HCARENVIRONMENTAL HEALTH AND CITY (GRADING.
 150 DECOMPED UNTIL AS THE ASSESSMENT AND MITIGATION PAR DERIVATION AND APPROVED BY HCARENVIRONMENTAL HEALTH AND CITY (GRADING.
 151 SUBMITTED DET AND EXPERIMENT AND MITIGATION THE APPROVED BY HCARENVIRONMENTAL HEALTH AND CITY (GRADING.
 151 SUBMITTED DET AND APPROVED BY HCARENVIRONMENTAL HEALTH AND CITY (GRADING.

- 48. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTURCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8871 OF THE BUSINESS AND PROFESSIONAL CODE.

DATE

SCALE:

ACAD FILE NO

PROJECT NO

DESIGNED:

R.I

R.I

PETE J. DUCA ENGINEER OF WORK

APPROVED

DESCRIPTION

REVISION

- EROSION CONTROL
- 1. IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT PAUL BLACK
- AT PHONE NUMBER (949) 309-8351
- 2. ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- 3. TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES
- . MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY. A SORVOUGH OF OWNER THE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRL 30, APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- 6. CATCH BASINS, DESILITING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPS), SHALL BE INSTALLED TO THE SATIFACTION OF THE CITY OF DANA POINT.
- 7. SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
- CIT OF DAMA FORT. 8. THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOL INTERCEPTED BY THE SANDIGRAVE LBACS, CATCH BASINS AND DESILTING BASINS AND OTHER BMPS, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
- 9 BMPS SHOWN ON THE PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR 10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- 11. ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 3/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
- 12. SHOULD GERMINATION OF HYDROSEDED SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
- 13. PERMITTE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTUNCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD. CAUSE OR THREATENT TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE SOR CONTRIBUTE SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

ADJACENT PROPERTY STABILITY NOTES

CALIFORNIA CIVIL CODE, SECTION 832

- CALIFORNIA CIVIL CUDE, SECTION 832 LATERAL AND SUBJACENT SUPPORT: EXCAVATIONS: DEGREE OF CARE: DAMAGES: PROTECTION OF OTHER STRUCTURES. FACIL COTERMINOUS OWNER IS ENTITLED TO THE LATERAL AND SUBJACENT SUPPORT WHICH HIS LAND RECEIVES FROM THE ADIONNIC LAND, SUBJECT TO THE RIGHT OF THE OWNER OF THE ADIONNIC LAND TO MAKE PROPER AND USUAL EXCAVITIONS ON THE SAME FOR PURPOSES OF CONSTRUCTION OR IMPROVEMENT, UNDER THE FOLLOWING CONDITIONS:
- NDITIONS: ANY OWNER OF LAND OR HIS LESSEE INTENDING TO MAKE OR TO PERMIT AN EXCAVATION SHALL GIVE REASONABLE NOTICE TO THE OWNER OR OWNERS OF ADIOINING LANDS AND OF BUILDINGS OR OTHER STRUCTURES, STATING THE DEPTH TO WHICH SUCH EXCAVATION IS INTENDED TO BE MADE, AND WHEN THE EXCAVATION WILL BEGIN.

- WHEIN THE EXCAVATION WILL BEGIN. 2. IM MAKING ANY EXCAVATION, ORDINARY CARE AND SKILL SHALL BE USED, AND REASONABLE PRECAUTIONS TAKEN TO SUSTAIN THE ADIOINING LAND AS SUCH, WITHOUT REGARD TO ANY BUILDING OR OTHER STRUCTURE WHICH MAY BE THEREON. AND THERE SHALL BE NO LIABILITY FOR DAMAGE DONE TO ANY SUCH BUILDING OR OTHER STRUCTURE BY REASON OF THE EXCAVATION, EXCEPT AS OTHERWISE PROVIDED OR ALLOWED BY LAW. 3. IF AT ANY TIME IT APPEARS THAT THE EXCAVATION IS TO BE OF A GREATER DEPTH THAN ARE THE WALLS OR FOUNDATIONS OF ANY ADIOINING BUILDING OR OTHER STRUCTURE, AND IS TO BE SO CLOSE AS TO THE STRUCTURE OF THE ANY ADIOINING BUILDING OR OTHER STRUCTURE, AND IS TO BE SO CLOSE AS TO THE ANY THE THE ANY ADIOINING BUILDING OR OTHER STRUCTURE, AND IS TO BE SO CLOSE AS TO OR FOUNDATIONS OF ANY ADDOINING BUILDING OR OTHER STRUCT ORE, AND IS TO BE SO LODGE AS TO ENDANGER THE BUILDING OR OTHER STRUCTURE: IN ANY WAY, THEN THE OWNER OF THE BUILDING OR OTHER STRUCTURE MUST BE ALLOWED AT LEAST 30 DAYS IF HE SO DESIRES, IN WHICH TO TAKE MEASURES TO PROTECT THE SAME FROM ANY DAMAGE, OR IN WHICH TO EXTEND THE FOUNDATIONS THEREOF. AND HE MUST BE GIVEN FOR THE SAME PROMANY DAMAGE, OR IN WHICH TO EXTEND THE FOUNDATIONS THEREOF. AND HE MUST IS TO BE OR IS BEING MADE.
- IS TO BE OR IS BEING MADE. 4. IF THE EXCAVATION IS INTERNED TO BE OR IS DEEPER THAN THE STANDARD DEPTH OF FOUNDATIONS, WHICH DEPTH IS DEFINED TO BE A DEPTH OF NINE FEET BELOW THE ADJACENT CURB LEVELA THE POINT WHERE THE JOINT PROPERTY LINE INTERSECTS THE CURB AND FOAT THE LAND OF THE COTERMINOUS OWNER THERE IS ANY BUILDING OR OTHER STRUCTURE, THE WALL OR FOUNDATION OF WHICH GOEST OS TANDARD DEPTH OR DEEPER THAN THE OWNER OF THE LAND ON WHICH THE EXCAVATION IS BEING MADE SHALL, IF GUPEN THE NCCESSARY LICENSE TO ENTER ON THE ADDOINING LAND, PROTECT THE SAID ADDOINING LAND AND ANY SUCH BUILDING OR OTHER STRUCTURE, THEREAON THE CONSTECT THE SAID ADDOINING LAND AND ANY SUCH BUILDING OR OTHER TRUCTURE THEREON WHICH OF OWNER OF FUCH PROPERTY FOR ANY DAMAGE BY REASON OF THE EXCAVATION, AND SHALL BE LIABLE TO THE OWNER OF FUCH PROPERTY FOR ANY DAMAGE, BY REASON OF THE EXCAVATION, AND SHALL BE LIABLE TO THE OWNER OF SUCH PROPERTY FOR ANY DAMAGE, BY REASON OF LIE EXCAVATION.

STORMWATER PROTECTION NOTES:

- 1. DURING THE RAINY SEASON, THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM, 12% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE FOR SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LIESS OF A FORECAST RAIN.
- IN 48 HOURS OR LESS OF A FORECAST RAIN. 2. NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE CITY OF DANA POINT'S STAISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TREM PROTECTIONS ARE INSTALLED. THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBED AREA. ALL EROSION, SILTATION AND SEDIMENT CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY MACTIVE PERIOD.
- SILTATION AND SEDIMENT CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD. THE POPERTY OWNER IS OBLIGATED TO ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATTER REGULATIONS AT ALL TIMES. THE BMPS (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLANE SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE OTENTIALLY NEGATIVE IMPACTS ON THIS PRANE STRUCTION ACTIVITIES ON STORMWATER QUALITY, THE INSTALLATION AND MAINTENANCE OF THE BMPS IS THE PERMITTES RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPS MAY RESULT IN ENFORCEMENT ACTION BY THE CITY OF DANA POINT OR OTHERS. HE INSTALLED BMPS FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
- AS SAFE TO DO SO. (A) OF PROBECTS OF GREATER THAN 1 ARCE, ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCE) AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDINCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO, CASOOC2) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE WATER DISCHARGE DENTIFICATION (WEDEA ASSICAED BY SWRCE) ROR THIS STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO, CASOOC2) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE WATER DISCHARGE DENTIFICATION (WEDEA ASSICAED BY SWRCE) ROR THIS SHALL KEEP A COPY OF AN UP-TO-DATE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY CITY. SHONDED HERE MATER MEDICAED

- SHALL SEEP A COPT OF AN OF-10-DATE SWPFP ON SITE AND AVAILABLE FOR REVIEW BT CITT. 5. BONDED FIBER MATRIX (BFM) THE USE OF BFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS: A. APPLICATION RATES SHALL BE 3.500 POUNDS PER ARCE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4,000 POUNDS PER ARCE FOR SLOPES STEEPER THAN 2:1. B. BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFER ATTAN 2:1. B. BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFER ATTAN 2:1. C. THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
 - PLOW FROM THE FACE OF THE SLOPE. D. BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (J.E., APPLICATION FROM MULTIPLE ANGLES). E. FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEED FROSION CONTROL VEGETATION.
- F. A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE CITY INSPECTOR FOR APPROVAL.

PROPERTY OWNER

BY: PAUL AND ESRA BLACK

PLANS PREPARED BY:

DUCA-McCOY. INC.

PH: (949) 675-4487 FAX: (949) 675-4456

3840 E. COAST HIGHWAY CORONA DEL MAR, CA 92625

CHECKED

PID

DATE

24668 R.C.E. NO.

FROFERETE OF MELLER HAVE VERHED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNT ABLE FOR CONFLICTS WITH EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

BENCHMARK

COUNTY OF ORANGE BENCHMARK

ELEVATION=157,955 NAVD 88 DATUM

ELEV.= 145.29 TC TBM

ESTABLISHED A T.B.M. AT THE TOP OF CURB ON CROWN COAST DR. AT THE S.WLY CORNER OF THIS PROPERTY

BY: OWNERS DATE APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT

DATE

CITY PLANNING DEPARTMENT

MR. & MRS. BLACK 198 MONARCH BAY

DANA POINT, CA. 9262 (949) 309-8351

PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER RCE # 59239 EXP 06/30/21 DATE THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADERENCE REQUIREMENTS, CITY CODES, & OTHER GENERAL ENGINEERING & REGUL ONLY, THE CITY FROMFER IS NOT RESPONSIBLE FOR DESIGN ASSIMPTIO

100% COVERAGE (I.E. APPLIED) FORM MULTIPLE DIRECTIONS AND ANCLESS. C. THE APPLICATION AREA MUST BE PROTECTED BY BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIFOR PERMANENT REGISTRON CONTROL PROTECTIONS AND AND ANDLESS. D. FOR PERMANENT REGISTRON CONTROL PROTECTIONS AND ANDLESS. D. FOR PERMANENT REGISTRON FOR SALE MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION OR HAND PLANTING, AS WITH ALL OTHER APPLICATIONS, SEM WILL NOT BE CONSIDERED PERMANENT UNIT. TO'S VEGETATION FOR EACH ACRE COVERED, THE MINIMUM APPLICATION VOLUME SHALL BE 10 GALLONS NON-TOXIC WATER PERMANELE SOIL STABILIZING LUCID EMULSION WITH 300 LBS. OF HYDRAULLCH UICH. THE EME ROM THE HYDROSEED CONTRACTOR SEBELIZING LUCID EMULSION WITH 300 LBS. OF HYDRAULLCH UICH. F. HILE HER ROM THE HYDROSEED CONTRACTOR SEBELIZING LUCID EMULSION AND AND CONDANCE WITH APPROVED APPLICATION RATES, COVERAGE, AND MANIFERCTURES DILUTION THE SEM WA INSTALLED IN COMDANCE WITH APPROVED APPLICATION RATES (DOWERAGE. AND MANIFERCTURES DILUTION SHALL BE SUBMITED TO THE CITY OF DANA POINT INSPECTOR FOR APPROVAL.

6 STARILIZED FIBER MATRIX (SFM)

- 8. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMUM SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- 9. APPROPRIATE BMPS FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND, VEHICAL TRACKING OR RUNOFF
- 10. RUNOFF FROM EQUIPMENT AND VEHICAL WASHING SHALL BE CONTAINED ON CONSTRUCTION SITES UNLESS TREATED TO REMOVE SEDIMENT AND OTHER POLLUTANTS.
- REMOVE SEDIMENT AND OTHER FOLLOTANTS. 11. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL, MATERIAL SUPPLIES, LESSOR AND THE PROPERTY OWNER ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROFECT SITE AND ANY ASSOCIATED CONSTRUCTIONS TRAGING AREAS. 12. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTURCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERTY DISPOSED IN TRASH OR RECYCLE BINS.
- AND PROPERT 1 DISPOSED IN TAGES TO KEE TCLE BINS. 3. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTE FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTICIDES, BERRICIDES, WOOD PRESERVATIVES AND SOLVENTS, SABESTOS FIBERS, PAINT FLAKES OR FLOATABLE WASTES FROM ANY DISORBERDUPPENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCILLORUMATED POTABLE WASTES FROM ANY DISORBERDUPPENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCILLORUMATED POTABLE WASTES FROM ANY DISORBERDUPPENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCILLORUMATED POTABLE WASTES FROM ENT.
- A DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIAL SHOULD OCCUR IN A SPECIFICED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SIEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS.
- LDAAL, SLALE AND FEDERAL REQUIREMENTS. 15. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUMISCHARGE ELIMINATION SYSTEM (NPDES) PEMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- UN DASS/LEARNEL INVESTIGATED LIVE STATE REGIONAL WATER QUALIT CONTRUCTURAD. 16. CATCH BASINS SHALL BE MARKED WITH A STENCL, CONCERTE STAMP, OR CERAMIC THE TO INDICATE THAT NO DUMPING IS ALLOWED IN THE STORM DRAINAGE FACILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE CITY STREET MANAGER, RICK RUDOMETKIN, AT (94), 248 3580 ON THE METHOD, TYPE OF MARKING, AND PLACMENT OF THE STORM DRAIN MARKINGS, STENCILING OR LABELING MAY ALSO BE REQUIRED IN SPANISH.

NOTICE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR
JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT,
INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL
APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND, THAT
THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL
ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION
WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING
FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CIVIL ENGINEER.
1
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER
STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF A VAILABLE RECORDS.
THE ENGINEER ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS
OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES
TO PROTECT ALL UTILITY LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON

NDERGRC	OUND LOC.	ATIONS AT LI	EAST 48 HOU	RS PRIOR TO	ANY EXCÂVA	TION WORK.
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					AGE TO, SAID	
					LANS, ASSUM	
						OR NOT SHOW
						IONARY MEA

SUPPLEMENTAL NOTE

DATED: OCTOBER 5 2018

GEOTECHNICAL DESIGN

JUTTLEINED I AL. NUTE IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NO BE RESPONSIBILE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.

CALIFORNIA COUNCIL OF CIVIL ENGINEERS AND LAND SURVEYORS CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREEST O DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PREFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

SOILS AND GEOLOGIST CERTIFICATION I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM

LUNDERSTAND THAT THE CHECK OF THE SOILS REPORT PLANS AND AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND

KEVIN B. YOUNG E.G., 2253 (EXP.) 10-31-19 DATE

MOHAN B. UPASANI R.G.E. 2301 (EXP) 3-31-19 DATE

PROPERTY OWNER

FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT BY GLOBAL GEO-ENGINEERING SUBJECT: GEOTECHNICAL INVESTIGATION FOR PROPOSED NEW RESIDENTIAL ADDITIONS AT 92 MONARCH BAY

ABILIZED FIBER MAIKIA (SFM) A. SFM MAY BE USED FOR TEMPORARY EROSION CONTROL FOR DISTURBED AREAS WITH A SLOPE RATIO OF 1 VERTICAL TO 2 HORIZONTAL OR SHALLOWER, INCLUDING PAD AND SEPTIC FIELD AREAS. B. THE SFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL AND SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLIED FORM MULTIPLE DIRECTIONS AND ANGLES).

7. IP DEMAN UNRED AND ISOLEL ON ANT ISOUELADD'THE FOLLOWING NOTE: FLAT AREAS OF LESS TIAN 5%, LLKE BUILDING PADS, AUXILIARED AND ISOLELADDE THALLAKE, IOW REOFECTION UNING CONTRACTLES, MATS (SS TOR SSZ2), OR OTHER MATERIAL APPROVID BY THE CITY OF DANA POINT FOR STABILIZING SLOPPS, OR USING TRACKING AND SOLI, STABILIZERS/BINDERS (SS.5), TEMPORARY SEEDING (SS 4), MULICHWOOD CHUBS (SS.3), SSS.58, 90, CHUB MATTING (SS.7), THE CITY OF DANA POINT MAY REDUCE THIS REQUIREMENT FOR FLAT AREAS PROVIDED FULL SEDIMENT CONTROL IS PROVIDED THROUGH CONSTRUCTED AND MAINT AIRED DESILITATION BASING (SC.2) AT ALL PROJECT DISCHARGE POINTS.

NOTE:

1. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND GENERAL SITE DIMENSIONS.

2. REFER TO ARCHITECTURAL PLANS FOR ANY SECTIONS SHOWN HEREON

3. MAINTAIN A MIN. OF 2% FALL AWAY FROM BUILDING ON CONC., 5% MIN, ON FINISH GRADE.

BASIS OF BEARINGS

THE CENTERLINE OF OUEEN CATHERINE COURT AS BEING N 0°45'26"E AS SHOWN ON TRACT MAP NO. 3748

ARCHITECT

ERIC OLSEN DESIGN 2728 E. COAST HIGHWAY, SUITE A CORONA DEL MAR. CA. 9262

SOILS ENGINEER & GEOLOGIST

EGA CONSULTANTS 375-C MONTE VISTA AVENUE COSTA MESA, CA. 92627 (949) 642-9309

SOURCE OF TOPOGRAPHY A FIELD TOPOGRAPHIC SURVEY BY APEX LAND SURVEYING

IMPERVIOUS SURFACE AREA

NEW BUILDING 5,316 S.F. NEW HARDSCAPE 3,687 S.F. TOTAL IMPERVIOUS AREA 9,003 S.F. TOTAL LOT AREA 13,395 S.F. (0.31 AC.)

LEGAL DESCRIPTION

LOT 97 TRACT 3748 DANA POINT, CALIFORNIA APN: 670-111-31

SEE SHEET 2 FOR QUANTITY ESTIMATES EARTHWORK QUANTITY ESTIMATE:

(FOR PERMIT PURPOSES ONLY) CUT 1370 CU. YDS. OVEREX. 560 CU. YDS. FILL 10 CU. YDS.

NOTE: ANY OVEREX, AND EXCAVATION FOR WALL FOOTINGS HAS NOT BEEN CALCULATED, SHRINKAGE AND/OR SUBSIDENCE HAS NOT BEEN CALCULATED,

DECLARATION OF RESPONSIBLE CHARGE

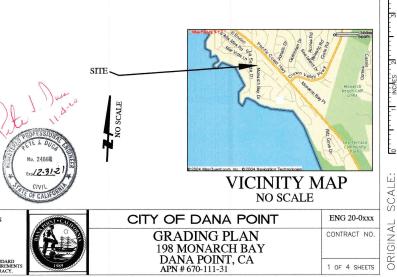
LIEBER DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. I DECLARE THAT I HAVE EXERCISED RESPONSIBLE CHARGE OF THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6730 OF THE BUSINESS AND PROFESSIONS CODE I DECLARE THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS OF CIVIL ENCENDENCS, THE CITY OF DANA PIONT IS COMPINED TO A REVIEW ONLY AND DOES NOT RELIVE MYSELF, AS ENGINEER OF RECORD, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DUCA-MCCOY, INC. 3840 EAST COAST HIGHWAY CORONA DEL MAR, CA. 92625 (949)675-4487

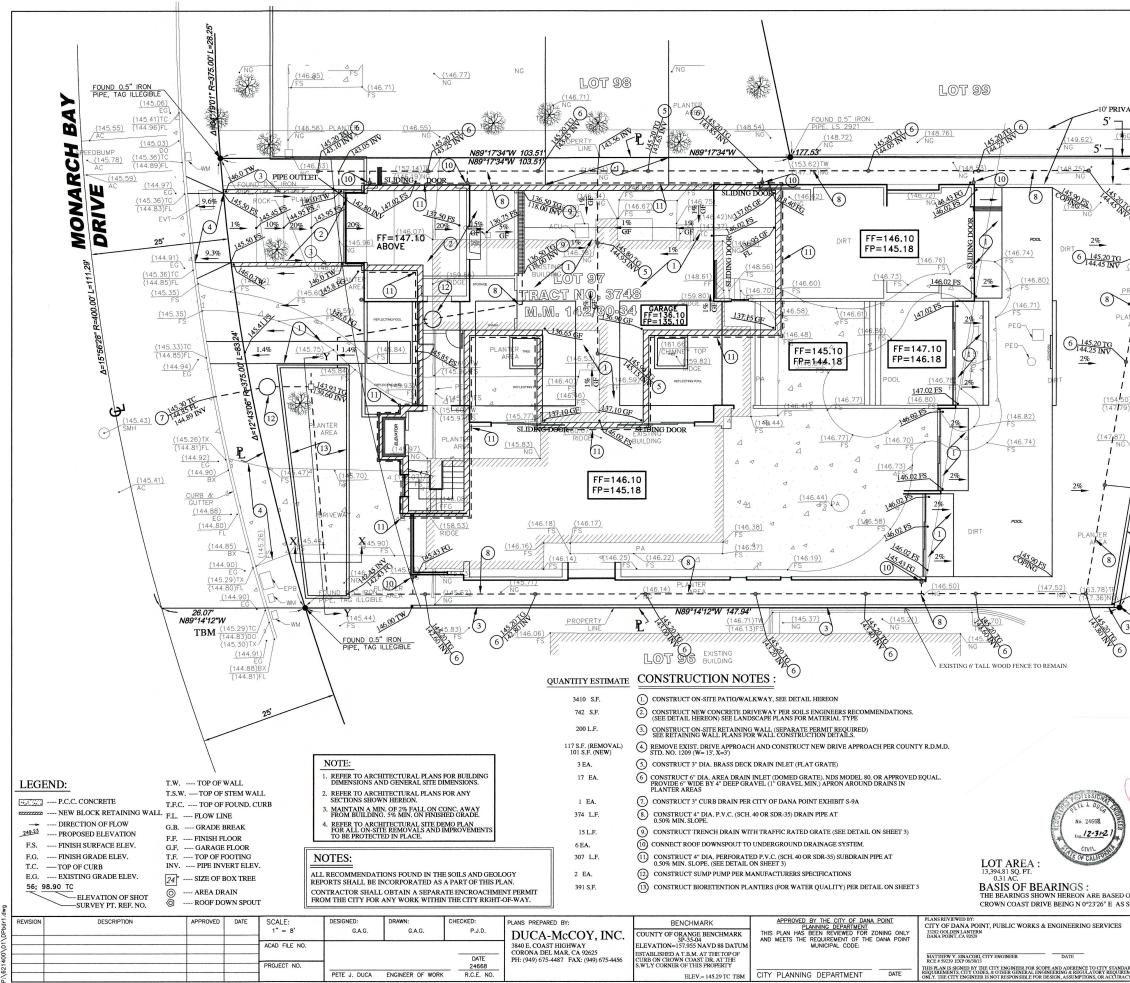
PETE DUCA R.C.E. 24668 12/31/19 DATE

SHEET INDEX

SHEET 1; TITLE SHEET SHEET 2: GRADING PLAN SHEET 3; SECTIONS SHEET 4; EROSION CONTROL SHEET 5: TOPOGRAPHIC SURVEY

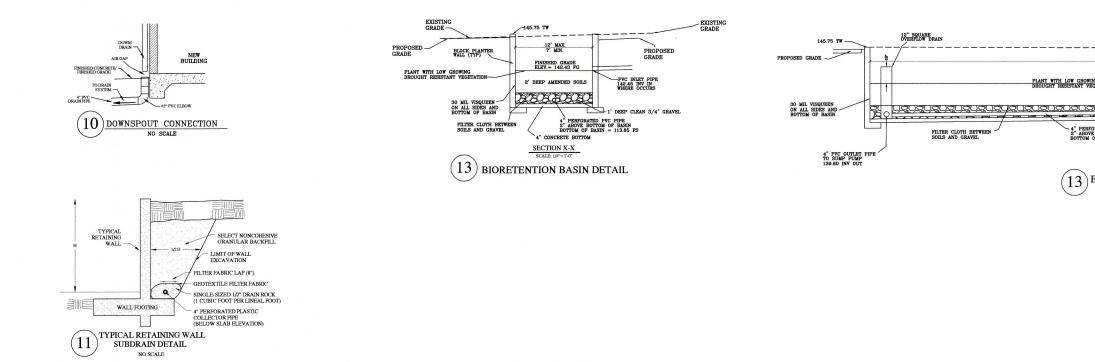


1st SUBMITTAL



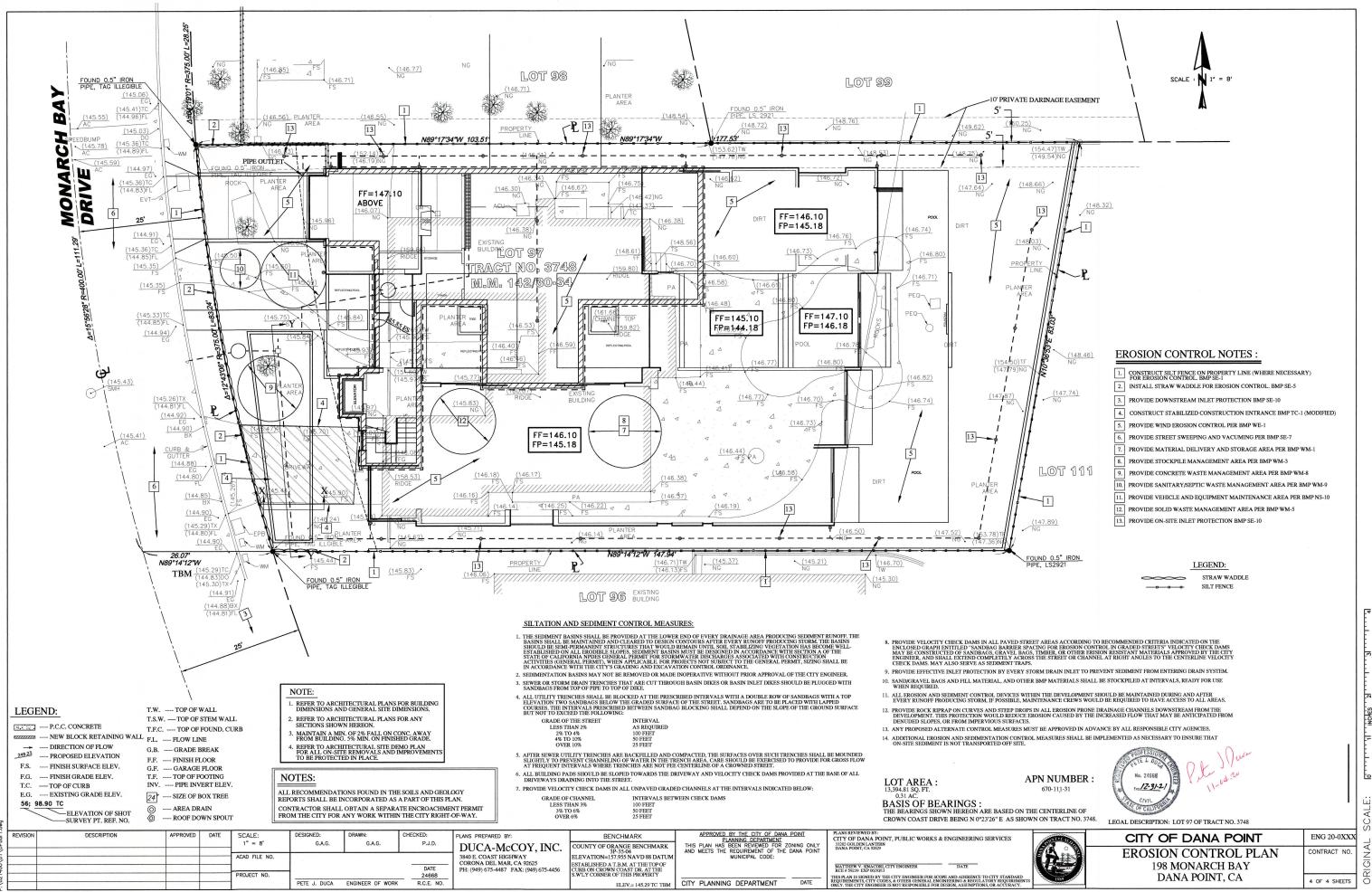
VATE DARINAGE EASEMENT	
(154.47) TW (149.54) NG (148.66) (148.66) (148.32) (14803) NG (149	C, NY A SEACING OF IST BOTH DIRECTIONS
SO)TF (148,46) (147,74) (147,74) (145,20 TG 144,00 TW (6) (145,20 TG (146,00 TW (6) (145,20 TG (146,00 TW (6) (145,00 TC (145,00 TC (14	XMC W A AF A SACINO OF IF A DI DIRECTIONS
LOT 111 (147.89) NG <u>FOUND 0.5" IRON</u> 3 PIPE, LS2921	
APN NUMBER : 3. THE LICENSE CIVIL ENGINEER OF RECORD JPETE DUCA (DORSER VALUE) TO STRUCTION STAKING AND ALL CERTIFICATIONS 3. THE LICENSE CIVIL ENGINEER OF RECORD JPETE DUCA (DORSER SECOND TO STAKING AND ALL CERTIFICATIONS 3. THE LICENSE CIVIL ENGINEER OF RECORD TO SUBMIT A RECORD OF 00 R "CORNER RECORD" TO THE COUNTY SURVEYOR. EVIDENCE OF SUBMIT	ENT PROPERTY @ 949-675-4487 SURVEY''
670-111-31 OR CORNER RECORD' TO THE COUNTY SURVEYOR, EVIDENCE OF SUBMI SUBMITTED TO THE BUILDING INSPECTOR AT OR PRIOR TO FOUNDATION DO N THE CENTERLINE OF S SHOWN ON TRACT NO. 3748. LEGAL DESCRIPTION: LOT 97 OF TRACT NO. 3748 CITY OF DANA POINT	ENG 20-0XXX
GRADING PLAN 198 MONARCH BAY DANA POINT, CA	CONTRACT NO. 2 OF 4 SHEETS

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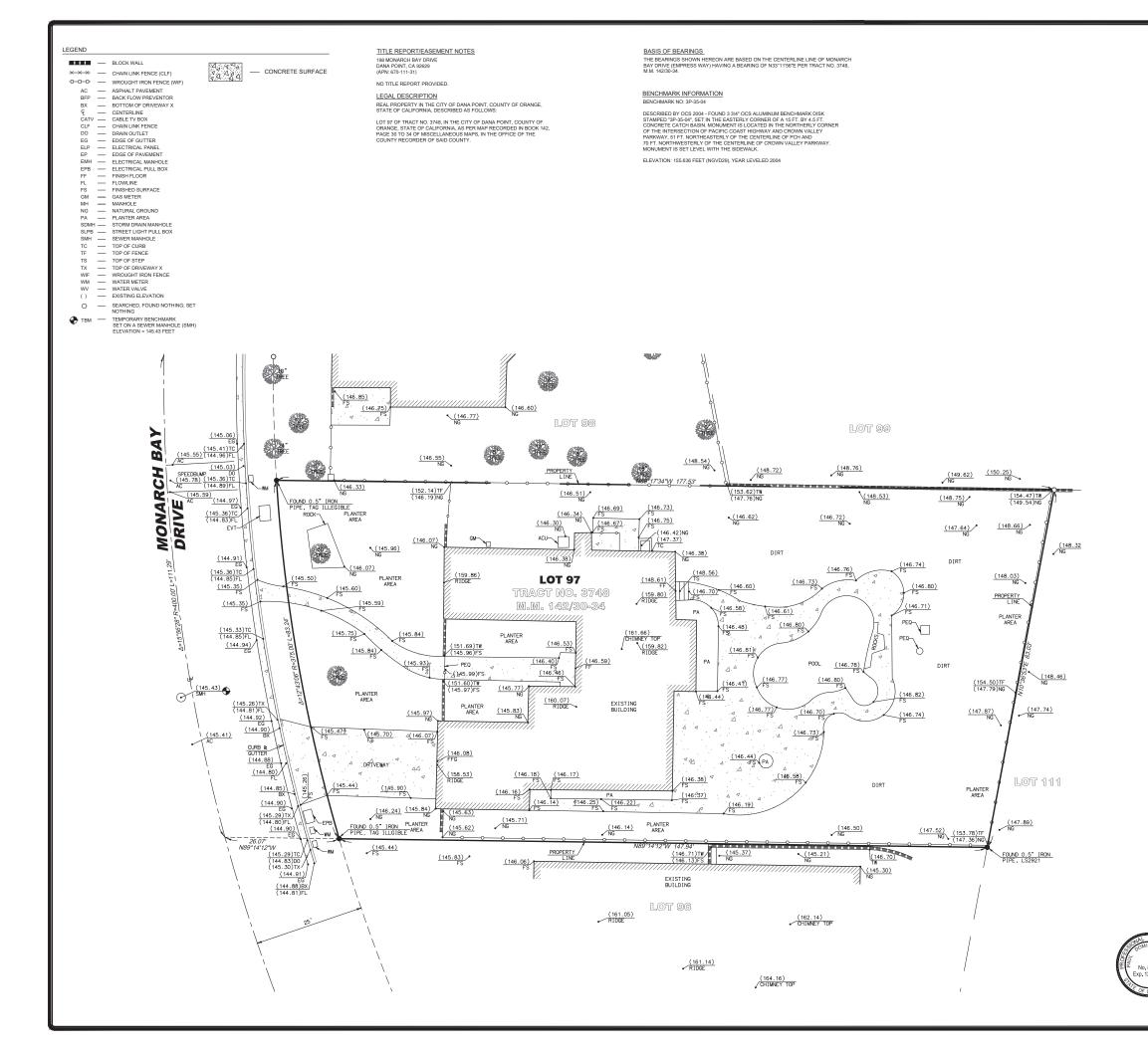


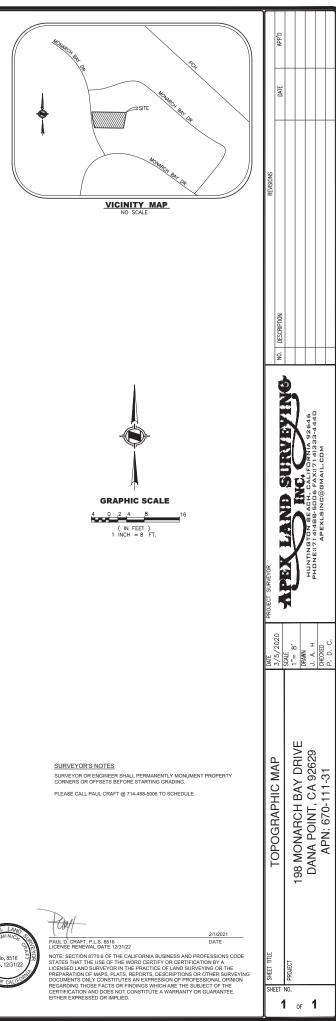
REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1" = 8'	DESIGNED: G.A.G.	DRAWN: G.A.G.	CHECKED: P.J.D.	PLANS PREPARED BY: DUCA-McCOY, INC.	BENCHMARK COUNTY OF ORANGE BENCHMARK 3P-35-04	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICE 33282 GOLDEN LANTERN DANA POINT, CA 92529
				ACAD FILE NO.			DATE 24668	CORONA DEL MAR, CA 92625 PH: (949) 675-4487 FAX: (949) 675-4456	ELEVATION=157.955 NAVD 88 DATUM ESTABLISHED A T.B.M. AT THE TOP OF CURB ON CROWN COAST DR. AT THE S.W'LY CORNER OF THIS PROPERTY		MATTHEW V. SINACORI, CITY ENGINEER DATE DATE DATE
					PETE J. DUCA	ENGINEER OF WORK			ELEV.= 145.29 TC TBM	CITY PLANNING DEPARTMENT DATE	THIS PLAN IS SOMED BY THE CIT I ENDINEER TO ACCOUNT AND ADDRESS OF THE CIT I SHOL REQUIREMENTS, CITY CODES, & OTHER GENERAL ENGINEERING & REGULATORY REQU ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCU

EXIST. GRADE	PROP. LINE
41'	PROPOSED GRADE
GROWING FINISHED CRADE ELEV.= 142.43 FG	PVC INLET PIPE 142.45 INV. IN WHERE OCCURS
	1' DEEP CLEAN 3/4" GRAVEL
PERFORATED PVC PIPE ABOVE BOTTOM OF BASIN TTOM OF BASIN = 139.43 FS -4* CONCRETE BOTTOM	
SECTION Y-Y SCALE 1/#=1/0*	
BIORETENTION BASIN DETAIL	
Dur	
No. 24668	
No. 24668 Cm/2-31-2/	
CIVIL CIVIL	
LEGAL DESCRIPTION: LOT 98 OF TRACT N	
GRADING PL	AN CONTRACT NO.
ARD 200 MONARCH DANA POINT,	BAY CA 3 of 4 sheets
	1st SUBMITTAL



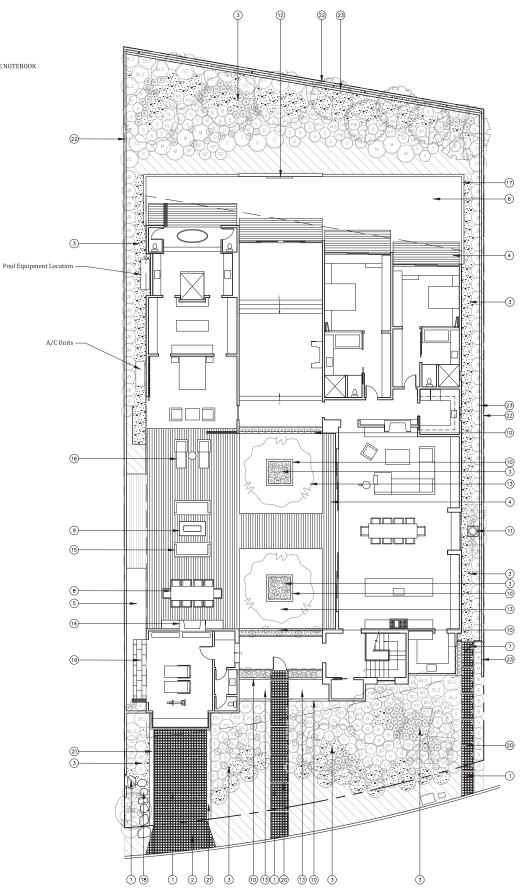
1st SUBMITTAL





- Construction Notes:
- Α.
- Contractor shall examine the site of proposed work noting existing conditions and proposed work as shown on the plans. Notify landscape designer of discrepancies
 Contractor shall stake proposed work prior to construction for review by landscape designer
 Protect existing utilities, paving and structures from damage. Trenching adjacent to existing tree drip lines to be done by hand to avoid root damage
 Construction and installation of all landscape items shall be according to State, County, and Local codes, Ordinances and up to CAL_OSHA safety orders regarding performance of work
 Contractor to obtain required permits and comply with applicable codes
 All Concrete edges to be 1/8^o trowel
 All Stucce deges to be 1/8^o trowel
 Contractor is responsible for damage to underground utilities and shall replace or repair same required at contractors expense
 Contractor is responsible for damage to underground utilities and shall replace or repair same required at contractors expense
 Contractor to coordinate electrical, low voltage, and irrigation conduit sleeves prior to installation of new pavement.
 Contractor to coordinate electrical, one work with other trades
 Verify grades and elevations in field and notify landscape design of discrepancies

- K. Contractor to coordinate work with other trades
 Verify grades and elevations in field and notify landscape design of discrepancies
 M. Contractor to review site for proper drainage and report apparent problems to landscape designer
 N. Contractor to review site for any surface drains in concrete surface prior to pour for location verification by owner and landscape designer
 O. Contractor shall install this project tuilizing the landscape industries BM.P. Best Management Practices
 P. Contractor to review of Direct Drainage, Low Voltage, and Irrigation to All Pots
 O. Contractor to verify proper soil preparation specific to project climate, native soil, site conditions.
 R. CONTRACTOR TO REVIEW, SIGN, AND APPROVE GARDEN STUDIO'S DESIGN/CONSTRUCTION NOTEBOOK AND AGREES TO BUILD PER THE SPECIFICATIONS IN THE NOTEBOOK



HARDSCAPE LEGEND

- 1. 6" x 6" Limestone, TBD
- a. Grout Spacing and Color TBD
 2. Driveway Apron
- ³/₈" Crushed 'Palm Springs' Gravel
 Grade "A" Wood 'Teak' Decking
- 5. Grass 6. Pool
- a. Plaster Color, TBD
- b. Pool Tile, TBD
- 7. Garden Fence with Gate, See Sheet L-3 Garden Fence and Gattel Ferdice with Gate, see sheet 55 Gatteli Ferde Gate Elevation
 117" Dining Table with (10x) Chairs, TBD
 Fire Pit, See Sheet L-3 Fire Pit Elevation
 6" Raised Bond Beam Wrapped in Limestone, TBD
 Water Feature with Salvaged Limestone Vessel, See

- Sheet L-3 Water Feature Elevation 12. Pool Water Feature, See Sheet L-3 Pool Water Feature
- Elevation 13. Reflecting Pool Water Feature, Pool Tile TBD
- Outdoor Fireplace, See Architecture Plans
 (2x) Outdoor Sofas, TBD
- (2x) Chaise Lounge Chairs with Side Table, TBD
 (2x) Chaise Lounge Chairs with Side Table, TBD
 Coping, Wrap in Limestone, TBD

- Flagstone Steppers, TBD
 Flagstone Steppers, TBD
 18" x 30" Limestone, TBD
 49" area Seams Throughout Front Entry Path
 21. Driveway Retaining Walls, Wrap with Stone to Match Architecture
- 22. Existing Fence 23. Retaining Wall, See Civil Engineer Plans

LOT COVERAGE

Total Lot: 13,965 S.F. Building Footprint (38.02%): 5,309 S.F. Hardscape (24.83%): 3,467 S.F. Softscape (26.91%): 3,758 S.F. Pools (10.24%): 1,431 S.F.

Note: Refer to Civil Engineer's Plans for all Spot Elevations and Proposed Grading and Drainage



GARDEN 🖨 STUDIO

2732 east coast highway, Suite a corona del mar, ca. 92625 949.673.5450

Dana Point, California

198 Monarch Bay Dr.

Contractor to Field Verify

All Measurements and Confirm Details to Provide Accurate Bid

Date 11.13.2020

12.07.2020

04.29.2021 06.22.2021

L-1

5

Revisions

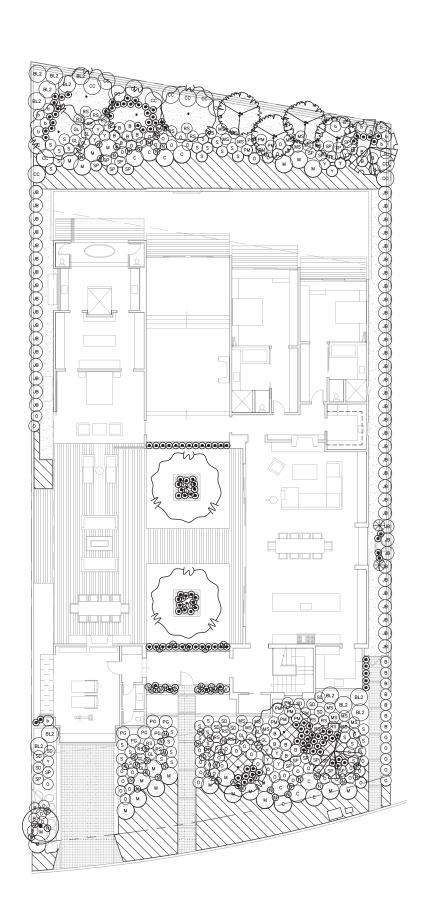
Drawn By SL

Job N^{o.} 0000

Sheet

Of

Black Residence



	Plant List:	
	Trees	Size
\odot	Maytenus boaria Mayten Tree	36" box
\bigcirc	Olea Europaea Olive Tree	Specimen
\bigcirc	Laurus nobilis 'Multi' Bay Laurel	36" box
B	Quarcus agrifolia Coastal Live Oak	48" Box
	Shrubs	Size
b	Laurus nobilis Bay Laurel	1 gal.
в	Bouteloua gracillis "Blonde Ambition' Blonde Ambition Blue Grama Grass	5 gal.
(BL2)	Laurus nobilis Bay Laurel	15 gal.
©	Crassula ovata 'Undulata' Crassula Blue Waves	1 gal.
$\bigcirc 20$	Prunus caroliniana Carolina Cherry Laurel	15 gal.
GL	Gaura lindheimeri 'Whirling Butterflies' Beeblossom	1 gal.
JB	Elaeocarpus decipiens Japanese Blueberry Tree	15 gal.
\odot	Olea europaea Little Ollie	5 gal.
M	Westringia Fruticosa 'Mundi' Low Coast Rosemary	5 gal.
0	Olea europaea 'Montra' Little Ollie	1 gal.
MS	Miscanthus sinensis 'Adagio' Adagio Maiden Grass	5 gal.
PG	Feijoa sellowiana Pineapple Guava	15 gal.
PM	Muhlenbergia capillaris Pink Muhly Grass	5 gal.
RS	Perovskia artiplicifolia Russian Sage	5 gal.
S	Westringia fruticosa 'Smokey' Coast Rosemary	5 gal.
SD	Senecio decaryi Madagascar Senecio	5 gal.
SP	Salvia mohavensis Mojave Sage	5 gal.
\circledast	Furcraea macdougallii MacDougall's Century Plant	15 gal.
\heartsuit	Salvia nemorosa Woodland Sage	1 gal.
Y	Achillea millefolium 'Terracotta' Terra Cotta Common Yarrow	1 gal.
8	Salvia nemorosa Blue Sage	1 gal.
	Groundcover- Medium	Size
c	Ceanothus 'Yankee Point' California Lilac	5 gal.
۲	Sesleria autumnalis Autumn Moore Grass	1 gal.
	Groundcover- Low	Size
	Buchloe dactyloides OC Verde Buffalo Grass	plugs
	Viola hederacea Australian Violet	4" Flats

<u>*Planting Note</u> - Designer to Locate Additional Plant Material on Site. See Quant

(20x) 5 Gal. Various Plant Material (20x) 1 Gal. Various Plant Material (3x) Flats Various Plant Material -

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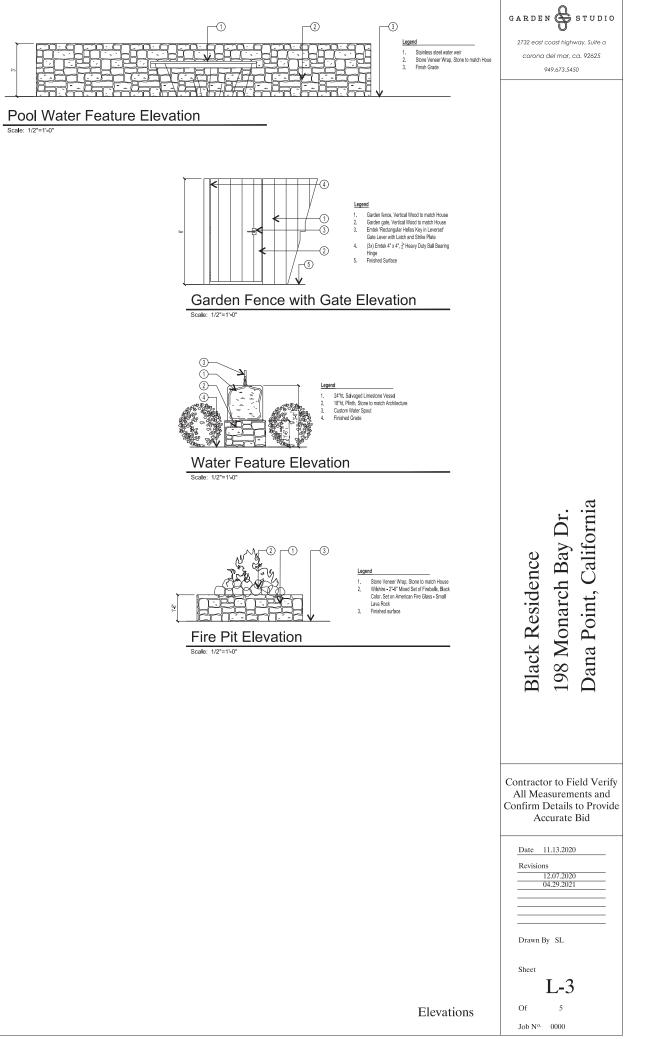
8.0 LANDSCAPE DESIGN CRITERIA

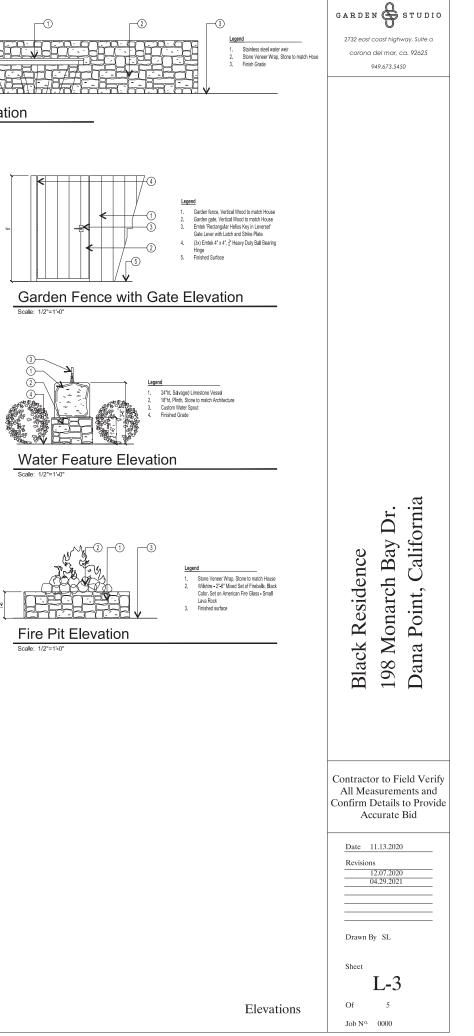
8.1 Allowed Height No tree, bush, shrub, hedge or other planting over three feet in height, or which is of the type which may grow to over three feet in height shall be planted or grown without prior approval of a landscape plan by the ACC. (Bylaws 12.12.6.1)

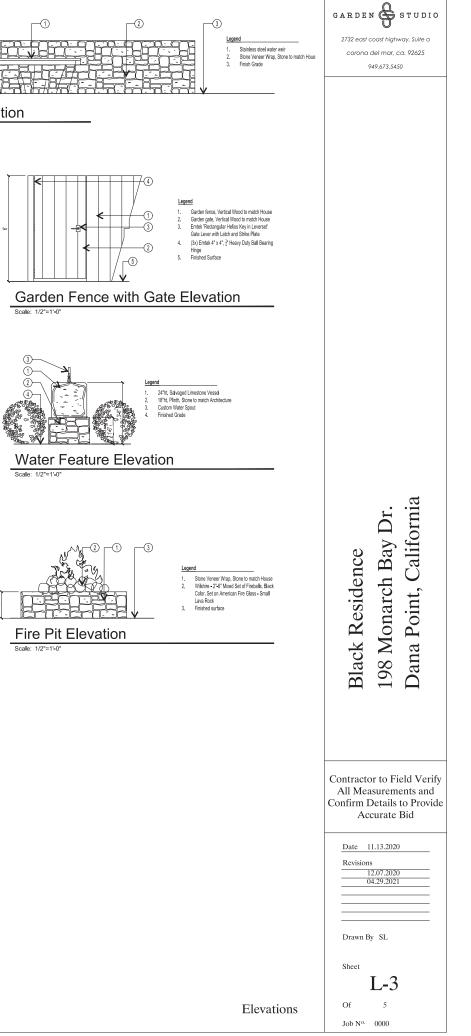
8.2 View Obstruction

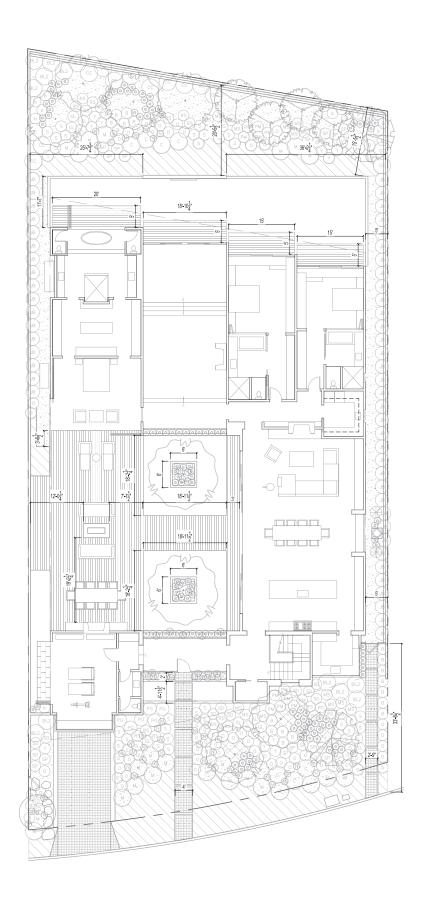
8.2 view Obstruction No owner shall permit any tree or other planting to grow to the point of obstructing the view from any other Lot, obstruction being defined as impact on seated view from the affected neighbor's lowest living level. In the event that any owner shall violate the provisions hereof, the Association may enforce the provisions hereof as provided in paragraph 12.15.2. (Bylaws 12, 12.6.2)

		GARDEN STUDIO 2732 east coast highway, Suite a corona del mar, ca. 92625
		949.673.5450
<u>Qty</u> 1	<u>To Be Maintained At (Height x Spread)</u> Roof Height x 8'	
8	Roof Height x 15'	
4	Roof Height x 10'	
2	16' x 15'	
Qty		
15	3' x 3'	
26	2' x 2'	
12	6' x 4'	
2	2' x 2'	
14	6' x 4'	
12	3' x 2'	
52	8' x 3'	
59	2' x 2'	
23	18" x 4'	
4	18" x 18"	
18	3' x 3'	
6	6' x 4'	r. lia
12	3' x 3'	Orr D1
20	3' x 3'	nce Bay Calif
37	3' x 3'	dence ch Bay I t, Califo
10	4' x 3'	
19	3' x 3'	ck Ro Mor na Pc
2	4' x 3'	3lack Resi 98 Monar Dana Poin
4	2' x 2'	D 17 B
14	2' x 4'	
67	18" x 18"	
<u>Qty</u>		
9	1' x 4'	Contractor to Field Verify All Measurements and Confirm Details to Provide
137	18" x 18"	Accurate Bid
<u>Qty</u>		Date 11.13.2020
24	6" ht.	Revisions 12.07.2020
2	6" ht.	04.29.2021 06.22.2021
tities Belov	v.	Drawn By SL
		Sheet
	SCALE:1/8"=1'-0"	L-2
	Planting Plan	Of 5 Job N ^{o.} 0000









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Black Residence	198 Monarch Bay Dr.	Dana Point, California
ll Meas firm D Acc Date 11 Revisions	sureme etails urate .13.2020 .29.2021 .22.2021	·



LIGHTING LEGEND

Symbol	Model	Description	Finish	Туре	Watts	Lumens	<u>QTY</u>	
\oplus	GSD-14-1-MBR	Path Lights	Matte Bronze	12v LED	1.5	140	32	
\odot	GSD-11-1-MBR	Up Lights	Matte Bronze	12v LED	1.5	140	25	
\otimes	GSD-18-1-5	Water Light	Matte Bronze	12v LED	1.5	140	7	
₿	601004	IntelliBrite 5g Color Pool Light	Silver	120v LED	26	1000	2	
\odot	GSD-11-2-MBR	Small Up Light	Matte Bronze	120v LED	1.5	140	2	

