

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JULY 12, 2021

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
JUSTIN POLEY, ASSISTANT PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0026 TO DEMOLISH A SINGLE-FAMILY DWELLING AND CONSTRUCT A TWO-STORY SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP21-0003(M) TO ALLOW RETAINING WALLS EXCEEDING 30 INCHES IN HEIGHT LOCATED AT 198 MONARCH BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP20-0026 and Minor Site Development Permit SDP21-0003(M) (Action Document 1).

APPLICANT: Eric Olsen, Architect

OWNER: Paul and Esra Black

REQUEST: A request to demolish an existing single-family dwelling (SFD) and attached garage, and construct a new 5,516 square foot two-story, SFD with a 2,053 square foot, subterranean garage, and to allow retaining walls exceeding 30 inches in height TO create driveway access to the subterranean garage.

LOCATION: 198 Monarch Bay Drive (APN 670-111-31)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on July 2, 2021, published within a newspaper of general circulation on July 2, 2021, and posted on July 2, 2021, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves a new one-story single-family residence and retaining walls exceeding 30 inches in height.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is a 14,691 square foot interior lot located west of the intersection of Crown Valley Parkway and Pacific Coast Highway and is surrounded by similar single-family development within the Monarch Bay community (Supporting Document 2). The Monarch Bay community is designated Residential Single Family 4 (RSF 4) on the City's Zoning Map, is located within the appeals jurisdiction of the City's Coastal Overlay District and is designated Residential 3.5 - 7 DU/AC on the Land Use Policy Diagram in the City's General Plan Land Use Element. According to County of Orange records, the existing one-story, SFD was constructed in 1964, and other existing site improvements include landscaping and hardscaping and a pool.

DISCUSSION: Due to the site's location being within the appeals jurisdiction of the California Coastal Commission and the scope of work involving the demolition of an existing structure and the construction a new SFD, a Coastal Development Permit is required. To provide vehicular access to the proposed subterranean garage, retaining walls exceeding 30 inches in height are necessary within the front yard to create driveway access thereto, requiring approval of a Site Development Permit.

COASTAL DEVELOPMENT PERMIT CDP20-0026

The demolished SFD will be replaced by a SFD featuring a one level above a subterranean garage capable of accommodating four (4) DPZC compliant parking stalls. The proposed garage is 2,053 square feet and includes 197 square feet of habitable space. Although identified as a basement on the architectural plans included as Supporting Document 3, the subterranean garage is not wholly underground with daylighting of the garage door and an adjacent wall on the lower level to provide vehicular access to the required parking stalls. Since this configuration is inconsistent with the DPZC basement definition, the lower-level garage is considered a story, and the measurement of building height commences at the garage finished pad. The overall building height of the SFD measures the maximum 24 feet from the garage finished pad to the top of the flat roof, in accordance with the City's height ordinance.

The at-grade, second (upper) level includes 5,316 square feet of habitable area and features three bedrooms, three bathrooms, gym with an adjacent half-bathroom, common kitchen and pantry, dining and living areas, and a laundry room. The lower, subterranean

four-car garage, includes interior space suitable for four DPZC compliant vehicles, a mud room, storage areas a staircase and an elevator which provide access to the first floor level.

The layout of the upper level floor plan forms a large “U”-shape creating a large courtyard open to the northern property line. The upper-level floor plan and the proposed modern architecture are contemporary interpretations of mid-century modern architecture utilizing large, retractable, or sliding openings, the large courtyard, and flat roof elements. Finished materials include dark grey steel doors and windows, stone veneer, and vertical oak siding. The proposed architecture is compatible with the neighborhood which has a diverse mix of architectural styles.

Exterior improvements include new curb cut and driveway accommodating the new subterranean garage, landscaping and hardscaping, a pool in the rear yard, wood decking, water features, and a fire pit and outdoor fireplace in the courtyard. Retaining walls line each side of the driveway leading to the subterranean four-car garage and are discussed in further detail below.

Staff has reviewed the required Residential Single Family 4 (RSF4) development standards and determined that the project complies with all standards as identified in Table 1 below.

Table 1: Compliance with RSF-4 Development Standards

Development Standard	Requirement	Proposed	Compliant w/ Standard
Front Yard Setback	20 ft	20 ft	Yes
Side Yard Setbacks	5 ft	5 ft	Yes
Rear Yard Setback	25 ft	35 ft - 6 in	Yes
Building Height	24 ft	24 ft.	Yes
Lot Coverage	45% maximum	37.9%	Yes
Landscape Coverage	25% minimum	27.4%	Yes
Parking Required	2 parking stalls	4 parking stalls	Yes

The project was approved by the Monarch Bay Homeowners Association prior to the submittal of the application (Supporting Document 4).

The project complies with all the applicable provisions of the DPZC for the issuance of a Coastal Development Permit as the proposed home does not impact public access or Environmentally Sensitive Habitat Areas (ESHA) as the parcel was previously developed in a fully built out community.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

- 1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of*

Regulations/13096).

- 2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
- 3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
- 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
- 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
- 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are provided in the attached draft Resolution identified as Action Document 1.

MINOR SITE DEVELOPMENT PERMIT SDP21-0003(M)

As mentioned, two, approximately four and a half foot (4.5') high retaining walls located within the required front yard setback are necessary to create vehicular access to the required parking stalls in the subterranean garage. Pursuant to DPZC Sections 9.05.120(d)(2), retaining walls greater than 30 inches in height are permitted subject to the approval of a Minor Site Development Permit.

The approximate 4.5' high retaining walls will be partially visible from the Monarch Bay Drive right-of-way. As illustrated in section view on Sheet A-6.1 of the proposed architectural plans (Supporting Document 3), the retaining walls will be finished with the same stone veneer proposed for the SFD. The stone veneer finish will enhance the retaining walls aesthetics and contribute to a unified site plan for the proposed project. The total approximate linear footage of the retaining walls will be 200 linear feet. The requested SDP(M) is consistent with other lots within the community that have similar retaining walls which provide access to required parking stalls in subterranean garages.

The approval of the Minor Site Development Permit is subject to the following four (4)

findings enumerated in Section 9.71.050 of the DPZC:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

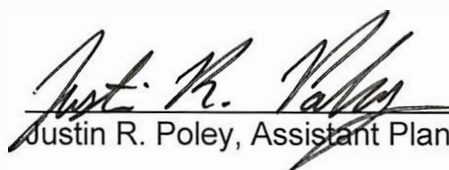
Recommended approval findings for the Minor Site Development Permit are included in the attached draft Resolution (Action Document 1).

CORRESPONDENCE:

No correspondence was received as of the publication date of this staff report.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project is found to comply with all standards of development, Staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit CDP20-0026 and Minor Site Development Permit SDP21-0003(M) subject to the findings and conditions of approval contained therein.


Justin R. Poley, Assistant Planner


Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 21-07-12-xx

Supporting Documents

2. Vicinity Map
3. Monarch Bay Association Approval Letter
4. Architectural Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 21-07-12-xx

RESOLUTION NO. 21-07-12-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0026 TO DEMOLISH A SINGLE-FAMILY DWELLING AND CONSTRUCT A TWO-STORY SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP21-0003(M) TO ALLOW RETAINING WALLS EXCEEDING 30 INCHES IN HEIGHT AT 198 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Paul and Esra Black. (the "Owners"), owns the real property commonly referred to as 198 Monarch Bay Drive (APN: 670-111-31) (the "Property"); and

WHEREAS, the Owner authorized Eric Olsen (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit to demolish an existing single-family dwelling and to construct a new two-story, single-family dwelling, and a Minor Site Development Permit to allow retaining walls exceeding 30 inches in height to create driveway access to the subterranean garage; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves the demolition of one single family residence and the construction of a new single family residence; and retaining walls exceeding 30 inches in height.

WHEREAS, the Planning Commission did, on the 12th day of July, 2021, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0026 and Minor Site Development Permit SDP21-0003(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) That the above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP20-0026, subject to conditions:

- 1) That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the design of the proposed two-story single-family dwelling complies with all Residential Single Family 4 (RSF 4) development standards and all other applicable sections of the Dana Point Zoning Code (which acts as the Local Coastal Program Implementation Plan for the property), while also complying with the Dana Point General Plan by furthering General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by adding a new high quality modern style house that adds to the eclectic mix of styles within Monarch Bay.**
- 2) If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is a previously developed lot, zoned for residential use, located within a private, gated community that does not contain public accessways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at County and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
- 3) That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction) in that it proposes to replace a one-story, single-family residence with another one-story, single-family residence with retaining walls exceeding 30 inches located within the required front yard setback.**
- 4) That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the subject property is a previously developed parcel surrounded by similar single-family development and not adjacent to parks or recreation areas containing environmentally sensitive habitats or scenic**

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resources and thus no adverse impacts would result and buffer areas are not necessary.

- 5) That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is a previously developed property located in an established area of residential uses with no natural landforms present. The proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
 - 6) That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed project will replace a one-story, single-family dwelling with a new two-story, single-family dwelling. The project design conforms to the development and design standards of the Dana Point Zoning Code and is complementary to surrounding development in terms of mass and size.**
 - 7) That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that, the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Services and found to conform with applicable requirements of the Dana Point Zoning Code (which serves Local Coastal Program Implementation Plan for the subject property), and the Residential 3.5 - 7 DU/AC designation in the City's General Plan General Plan and all other applicable requirements as specified in the Local Coastal Program. There are no adopted specific plans that apply to the subject property.**
- C) Based on the evidence presented, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP21-0003(M), subject to conditions:
1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that Chapter 9.05 of the Dana Point Zoning Code contains general development standards, and specifically Sections 9.05.120(c) and 9.05.120(d)(2) therein allows alternatives to the height limits for walls, fences and hedges within required yards, and retaining walls over 30-inches in height respectively, subject to the approval of a Minor Site Development Permit. The increase in wall height is considered when aesthetic impacts are mitigated and the retaining walls do not create detrimental or incompatible conditions in the vicinity. The proposed retaining walls identify a stone veneer finish matching**

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that of the proposed single-family dwelling and are designed at the height necessary to provide access to the subterranean garage via a downslope driveway approach.

2. That the site is suitable for the proposed use and development **in that the proposed development includes a subterranean garage in conjunction with the single-family dwelling and requires retaining walls to provide adequate ingress and egress between the required parking stall in the subterranean garage and Monarch Bay Drive, and the site is therefore suitable for the proposed use and development.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that the proposed retaining walls are sited sensitively, incorporate finishes consistent with the dwelling proposed for the site and will not visually impact surrounding properties.**
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture **in that the Minor Site Development Permit request for retaining wall heights in the front yard is appropriate for the site and function of the single-family dwelling use by providing access to the required parking stalls and although retaining walls will utilize matching finishes of the proposed dwelling, the walls do not require a specific architectural style.**

Conditions:

A. General:

1. Approval of this application permits the demolition of an existing single-family dwelling and construction of a two-story, single-family residence, and applicable ancillary outdoor improvements associated with the single-family dwelling, and to allow retaining walls exceeding 30 inches in height in the required front yard creating driveway access to the subterranean garage pursuant to the approved plans, at 198 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code. (PLNG)
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void. (PLNG)

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3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing. (PLNG)
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit. (PLNG)
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation. (PLNG)
6. The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval,

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- including making known the conditions to City staff for future governmental permits or actions on the project site. (PLNG)
7. The project shall meet all water quality requirements including Low Impact Development (LID) implementation. (PW&E)
 8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
 9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements. (PW&E)
 10. Undergrounding of all onsite utilities is required.
 11. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits. (PW&E)
 12. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. (PW&E)
 13. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check. (PLNG)
 14. Separate review, approval, and permits are required for:
 - Separate structures
 - Freestanding/Retaining walls
 - Site walls over 3 ft.
 - Fire sprinklers
 - Demolition of structures
 - Swimming pool/spa

- B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

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15. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements. (PW&E)
16. The grading application shall include an updated survey showing all listed easements and encumbrances on the property listed in a recent title report. Any listed easements and encumbrances that are expired, superseded or do not affect the property shall be listed as such on the survey. (PW&E)
17. The applicant shall provide driveway profiles on the grading plan for review and approval of all slopes and transitions of the proposed driveway in excess of the standards per 9.35.050(b)(3) but at no time shall the driveway be over 20% centerline slope. (PW&E)
18. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual. (PW&E)
19. The project shall meet all water quality requirements including Low Impact Development (LID) implementation. (PW&E)
20. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy. (PW&E)
21. Separate submittal for review, approval and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be

in accordance with the latest Community Development requirements.

C. Prior to Issuance of a building permit or release on certain related inspections, the applicant shall meet the following conditions:

22. Within the first three (3) sheets of the building construction documents submitted for plan check the applicant shall include a verbatim copy of the City's approved Resolution and conditions of approval for the project, and the conditions of approval shall also be identified on the sheet index on the cover/title sheet of the plan set. (PLNG)
23. Building(s) shall comply with the current editions of the Building Code with all local amendments.
24. Approvals are required from:
 - Planning Division
 - Public Works
 - Orange County Fire Authority Approval
 - Obtain "Will Serve" letter from Water District.
 - Provide an SDG&E service work order for proposed service location
25. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports. (PW&E)
26. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project. (PW&E)
27. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint. (PW&E)

28. The applicant shall submit a certification from the Geotechnical Engineer of Record for the required temporary shoring or wall construction for grading operations. The certification shall be submitted for review and approval by the City Engineer by separate submittal. The temporary structure certification by the geotechnical engineer shall approve the construction of temporary structures as being substantially completed in conformance with the recommendation of the project geotechnical report, all field observations, and any field modifications or additional recommendations required. The certification shall state the temporary structures are approved and suitable from a geotechnical standpoint. (PW&E)
29. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report. (PW&E)
30. Prior to commencement of framing, the applicant shall verify, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the City, from finish wall materials to property-lines included as part of these entitlements. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval. (PLNG)
31. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of this entitlement. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted. (PLNG)

32. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. (PLNG)

Prior to issuance of a Certificate of Occupancy

33. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Director of Community Development and the requisite documents (irrigation scheduling parameters, landscape and irrigation maintenance schedule, irrigation audit report, and soil analysis report if not submitted at permit issuance) as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. (PLNG)
34. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual. (PW&E)
35. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint. (PW&E)
36. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls. (PW&E)
37. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record. (PW&E)

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38. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record. (PW&E)
39. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through this discretionary action, and compliance with any outstanding project conditions of approval. (PLNG)

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 12th day of July, 2021 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric Nelson, Chairperson
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2:

Vicinity Map



SUPPORTING DOCUMENT 3: Monarch Bay Association Approval Letter



Monarch Bay Association

October 28, 2020

Paul and Esra Black
198 and 200 Monarch Bay Drive
Monarch Beach, CA 92629

via e-mail

RE: 198 and 200 MONARCH BAY DRIVE
NEW HOME CONSTRUCTION PLANS DATED 9/28/20 BY ERIC OLSEN DESIGN

Dear Mr. and Mrs. Black,

We are pleased to advise that the Monarch Bay Association Architectural Control Committee has approved your new home construction plans for both of your homes as submitted. We are attaching a scanned signed approval on a reduced plan sheet as an alternative to stamping plans which is challenging due to our "work from home" requirement at this time.

There was an inquiry from your neighbor at 241 about the common property line and wall which Eric advised he will investigate and address, to ensure there is sufficient room for the equipment, access and a hedge.

The landscape/hardscape plans will be reviewed as a separate submittal.

We have received your construction deposit in the amount of \$25,000 made payable to the Monarch Bay Association. Upon the successful completion of your homes, the deposit will be reconciled against the road use fees and the balance refunded to you. In the event that the deposit is depleted (as this is typical for one home instead of two) we will notify you and ask for a replenishment.

Attached are the construction rules to share with your contractor to ensure they know what is expected of them while working in the Monarch Bay community.

The Committee truly appreciates your on-going cooperation and wish you luck with your project.

Respectfully,

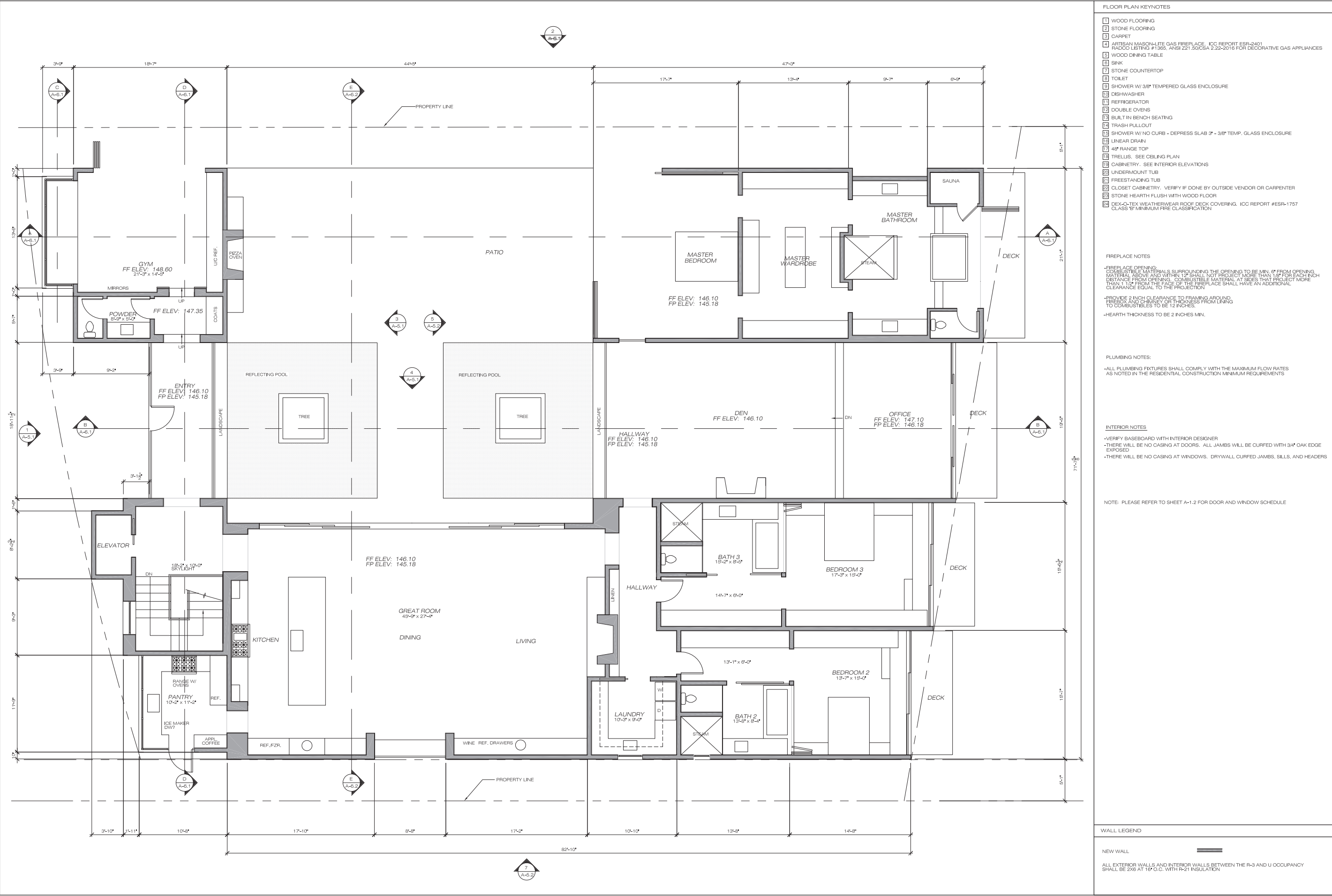
THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

CC: Board
Architectural Control Committee
Eric Olsen Architects via email
MB/198 and 200/arch/new home approval/10.28.20

SUPPORTING DOCUMENT 4: Architectural Plans

ATTACHMENT

[illegible]



- FLOOR PLAN KEYNOTES
- 1 WOOD FLOORING
 - 2 STONE FLOORING
 - 3 CARPET
 - 4 ARTISAN MASON-LITE GAS FIREPLACE, ICC REPORT ESR-2401, RADCO LISTING #1365, ANSI Z21.50/CSA 2.22-2016 FOR DECORATIVE GAS APPLIANCES
 - 5 WOOD DINING TABLE
 - 6 SINK
 - 7 STONE COUNTERTOP
 - 8 TOILET
 - 9 SHOWER W/ 3/8" TEMPERED GLASS ENCLOSURE
 - 10 DISHWASHER
 - 11 REFRIGERATOR
 - 12 DOUBLE OVENS
 - 13 BUILT IN BENCH SEATING
 - 14 TRASH PULLOUT
 - 15 SHOWER W/ NO CURB - DEPRESS SLAB 2" - 3/8" TEMP. GLASS ENCLOSURE
 - 16 LINEAR DRAIN
 - 17 48" RANGE TOP
 - 18 TRELLIS, SEE CEILING PLAN
 - 19 CABINETRY, SEE INTERIOR ELEVATIONS
 - 20 UNDERMOUNT TUB
 - 21 FREESTANDING TUB
 - 22 CLOSET CABINETRY, VERIFY IF DONE BY OUTSIDE VENDOR OR CARPENTER
 - 23 STONE HEARTH FLUSH WITH WOOD FLOOR
 - 24 DEX-G-TEX WEATHERWEAR ROOF DECK COVERING, ICC REPORT #ESR-1757 CLASS 15' MINIMUM FIRE CLASSIFICATION

FIREPLACE NOTES

-FIREPLACE OPENING: COMBUSTIBLE MATERIALS SURROUNDING THE OPENING TO BE MIN. 6" FROM OPENING MATERIAL ABOVE AND WITHIN 12" SHALL NOT PROJECT MORE THAN 1/8" FOR EACH INCH DISTANCE FROM OPENING. COMBUSTIBLE MATERIAL AT SIDES THAT PROJECT MORE THAN 1 1/2" FROM THE FACE OF THE FIREPLACE SHALL HAVE AN ADDITIONAL CLEARANCE EQUAL TO THE PROJECTION

-PROVIDE 2 INCH CLEARANCE TO FRAMING AROUND FIREBOX AND CHIMNEY OR THICKNESS FROM LINING TO COMBUSTIBLES TO BE 12 INCHES.

-HEARTH THICKNESS TO BE 2 INCHES MIN.

PLUMBING NOTES:

-ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

INTERIOR NOTES

-VERIFY BASEBOARD WITH INTERIOR DESIGNER

-THERE WILL BE NO CASING AT DOORS. ALL JAMBS WILL BE CURVED WITH 3/4" OAK EDGE EXPOSED

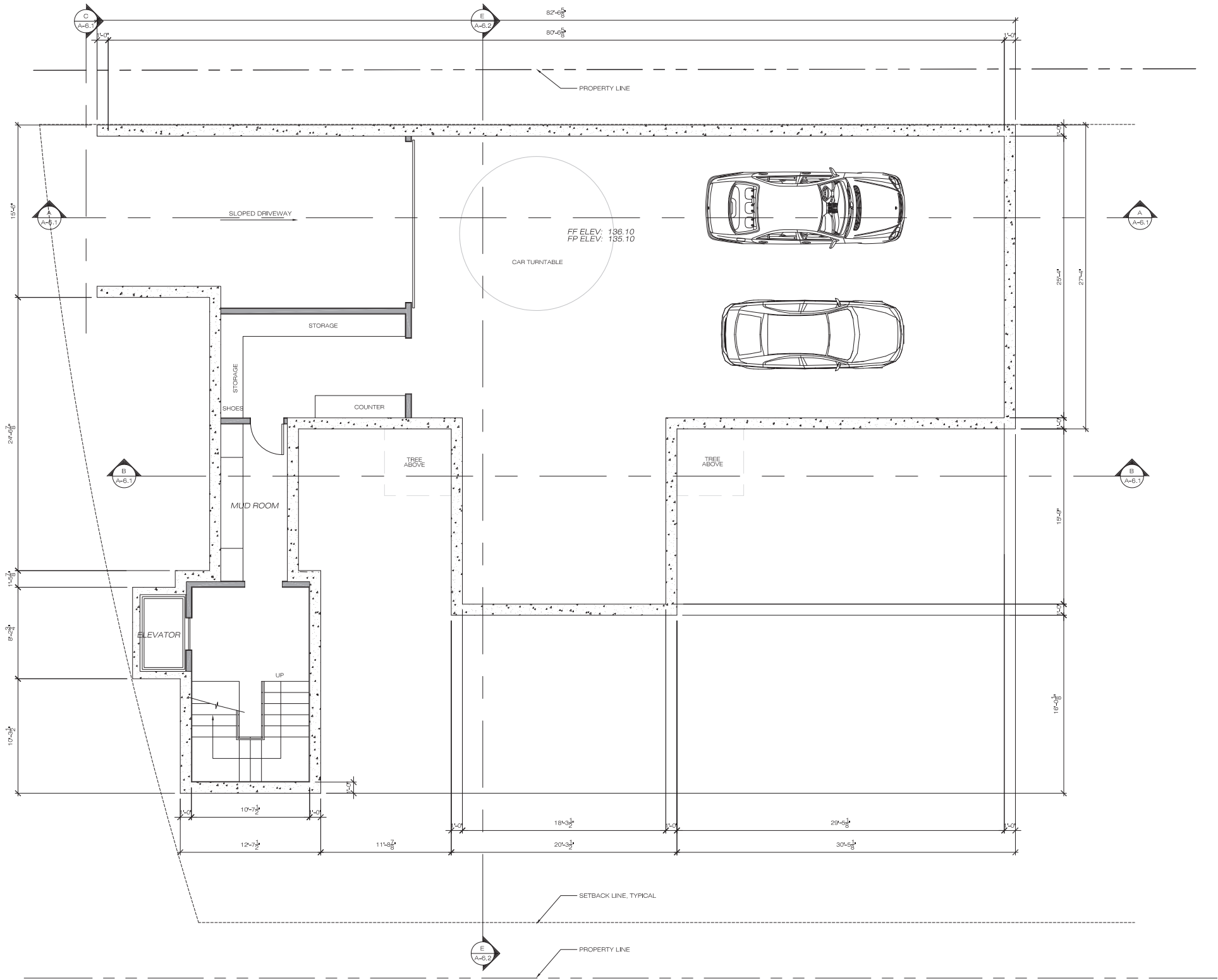
-THERE WILL BE NO CASING AT WINDOWS. DRYWALL CURVED JAMBS, SILLS, AND HEADERS

NOTE: PLEASE REFER TO SHEET A-1.2 FOR DOOR AND WINDOW SCHEDULE

WALL LEGEND

NEW WALL

ALL EXTERIOR WALLS AND INTERIOR WALLS BETWEEN THE R-3 AND U OCCUPANCY SHALL BE 2X6 AT 16" O.C. WITH R-21 INSULATION



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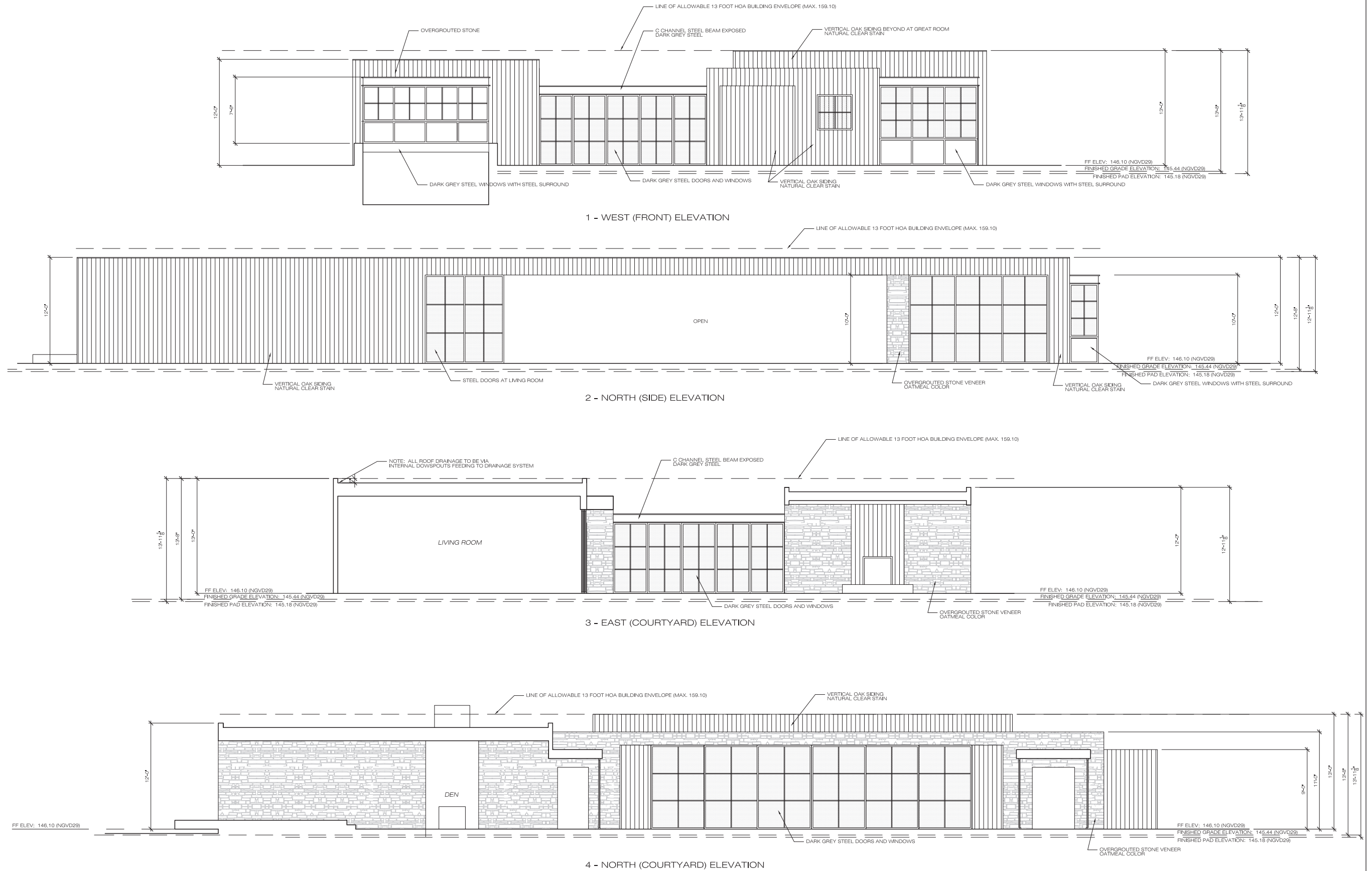
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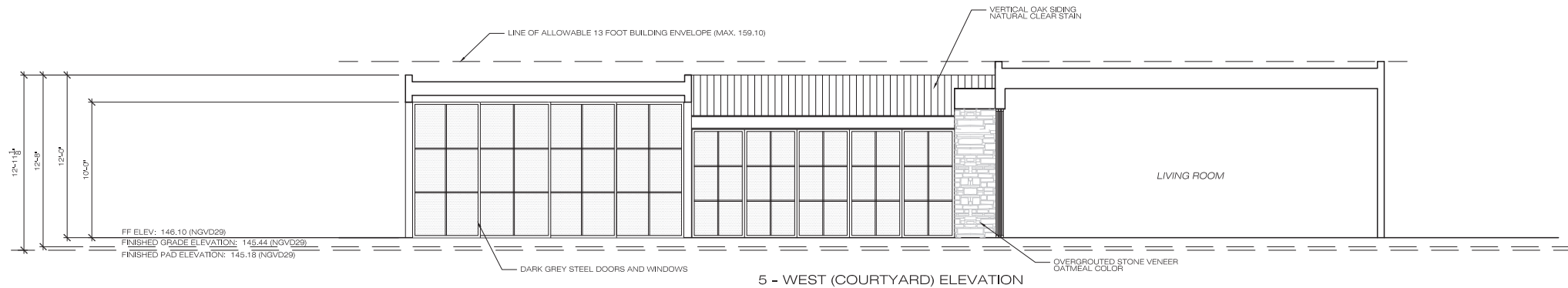
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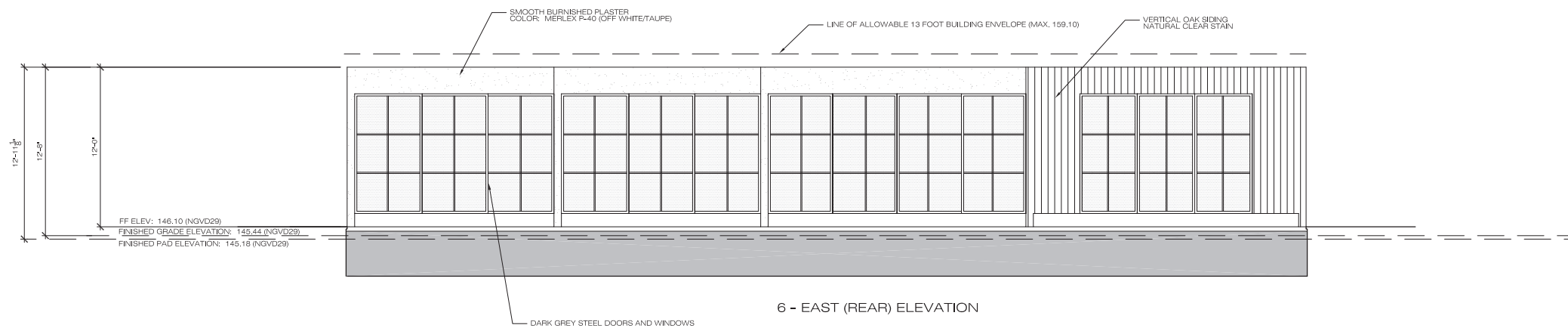
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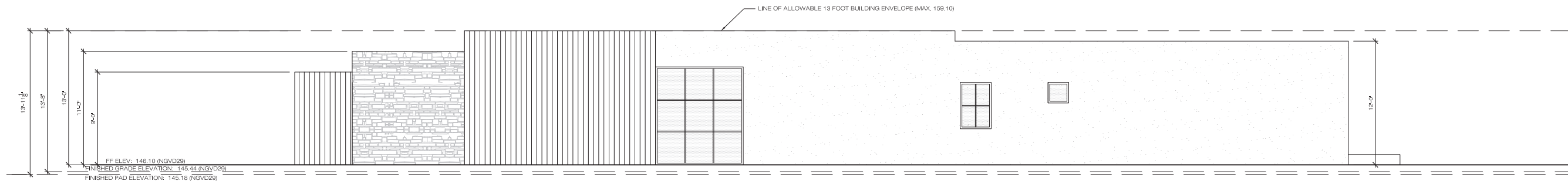




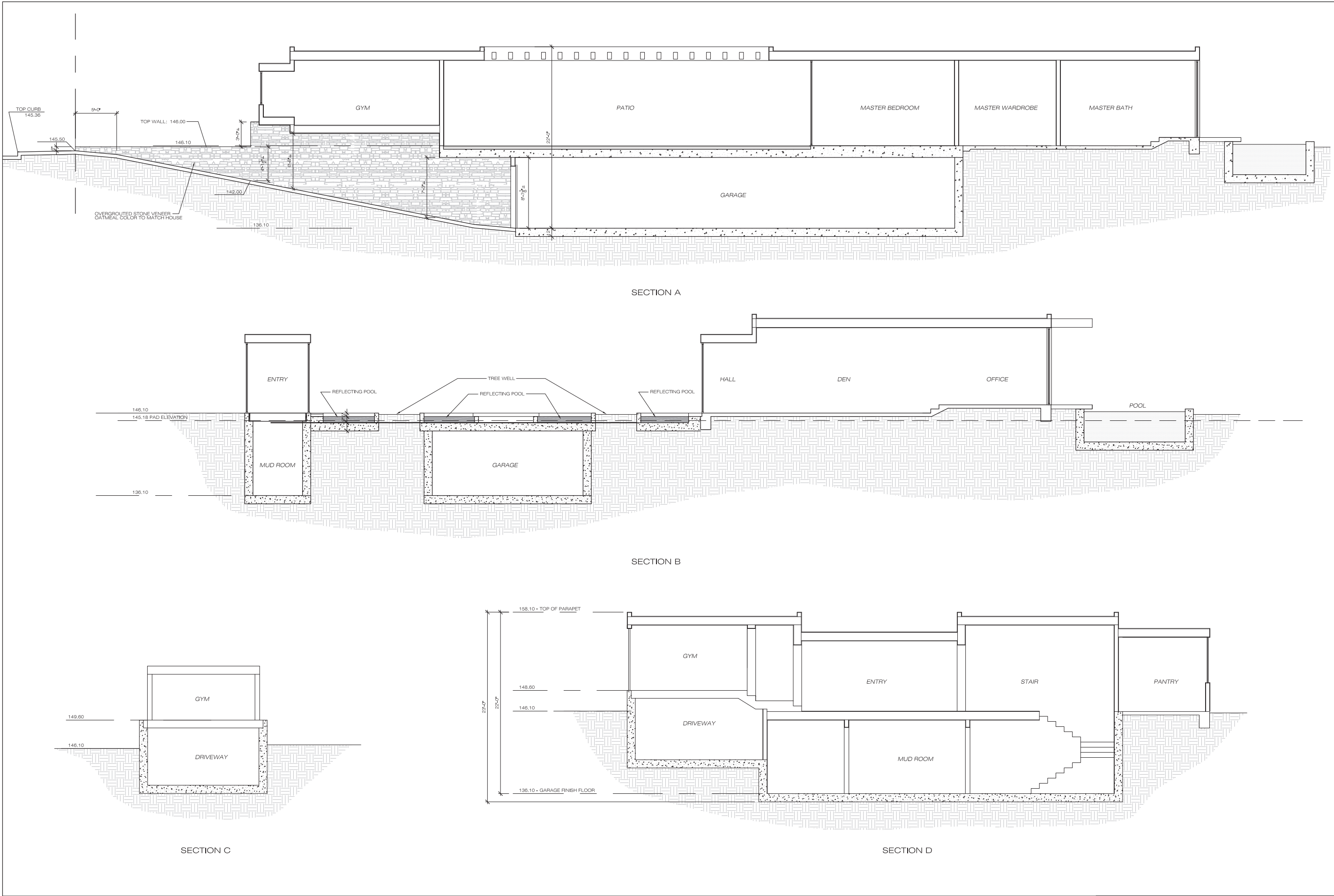
5 - WEST (COURTYARD) ELEVATION

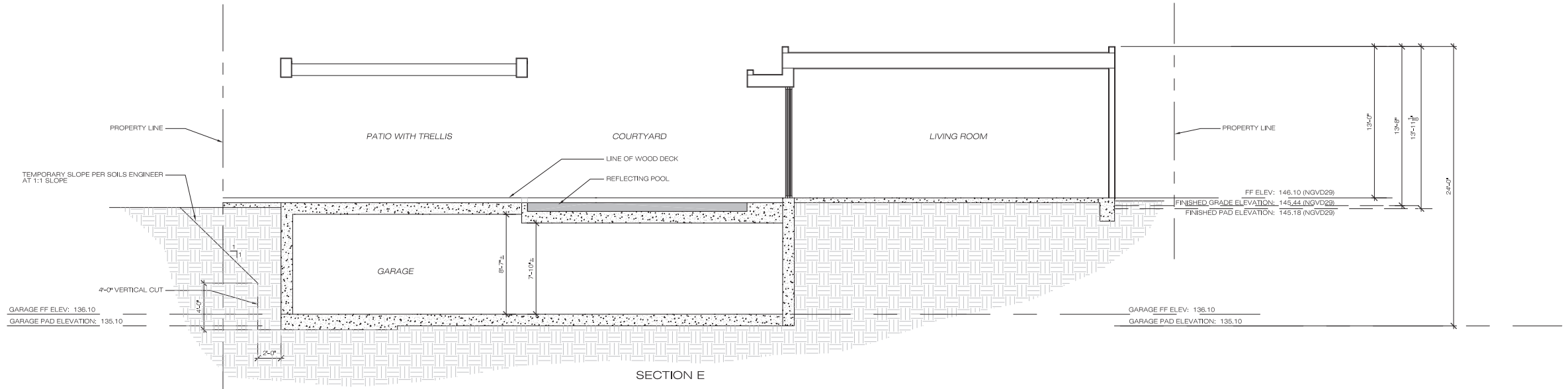


6 - EAST (REAR) ELEVATION



7 - SOUTH (SIDE) ELEVATION





CITY OF DANA POINT
PUBLIC WORKS-ENGINEERING DEPARTMENT

STANDARD GRADING AND EROSION CONTROL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY RDMD STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM THE OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY RDMD STANDARD PLAN NO. 1322.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEANING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, UNSPECT EACH CANYON FOR AREAS OF ADVANCEMENT OF THE PRESENCE OF THE BUILDING OFFICIAL FOR APPROVAL. WATER OR SPRING FLOW, IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
- AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
- ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
- STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
- EXPORT SOIL MUST BE TRANSPORTED TO A CATERED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST BE APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE).
- THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
- ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTILL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL. IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.
 - ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
 - ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
 - STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
- GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS, ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4. HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
- ASPHALT SECTION MUST BE PER CODE: PARKING LOTS = 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL), OR PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR. THE PERMITTEE SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON R-VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDMD STANDARD PLAN NO. 1805.
- AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDMD STANDARD NO. 1804.
- ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.
- THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.
- SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8871 OF THE BUSINESS AND PROFESSIONAL CODE.

EROSION CONTROL

- IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT _____ PAUL BLACK
AT PHONE NUMBER (949) 309-8351
- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
- SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
- BMPs SHOWN ON THE PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE DISTURBED WATERS ARE BEING CREATED.
- ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 3/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
- SHOULD GERMINATION OF HYDROSEEDED SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
- PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD: CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

ADJACENT PROPERTY STABILITY NOTES

CALIFORNIA CIVIL CODE, SECTION 832

LATERAL AND SUBJACENT SUPPORT: EXCAVATIONS; DEGREE OF CARE; DAMAGES; PROTECTION OF OTHER STRUCTURES. EACH COTERMINOUS OWNER IS ENTITLED TO THE LATERAL AND SUBJACENT SUPPORT WHICH HIS LAND RECEIVES FROM THE ADJOINING LAND, SUBJECT TO THE RIGHT OF THE OWNER OF THE ADJOINING LAND TO MAKE PROPER AND USUAL EXCAVATIONS ON THE SAME FOR PURPOSES OF CONSTRUCTION OR IMPROVEMENT, UNDER THE FOLLOWING CONDITIONS:

- ANY OWNER OF LAND OR HIS LESSEE INTENDING TO MAKE OR TO PERMIT AN EXCAVATION SHALL GIVE REASONABLE NOTICE TO THE OWNER OR OWNERS OF ADJOINING LANDS AND OF BUILDINGS OR OTHER STRUCTURES, STATING THE DEPTH TO WHICH SUCH EXCAVATION IS INTENDED TO BE MADE, AND WHEN THE EXCAVATION WILL BEGIN.
- IN MAKING ANY EXCAVATION, ORDINARY CARE AND SKILL SHALL BE USED, AND REASONABLE PRECAUTIONS SHALL BE TAKEN TO PROTECT THE ADJOINING LAND AND BUILDINGS, WITHIN REASONABLE LIMITS, FROM DAMAGE WHICH MAY BE CAUSED BY THE EXCAVATION, AND THERE SHALL BE NO LIABILITY FOR DAMAGE DONE TO ANY SUCH BUILDING OR OTHER STRUCTURE BY REASON OF THE EXCAVATION, EXCEPT AS OTHERWISE PROVIDED OR ALLOWED BY LAW.
- IF AT ANY TIME IT APPEARS THAT THE EXCAVATION IS TO BE OF A GREATER DEPTH THAN ARE THE WALLS OR FOUNDATIONS OF ANY ADJOINING BUILDING OR OTHER STRUCTURE, AND IS TO BE SO CLOSE AS TO ENDANGER THE BUILDING OR OTHER STRUCTURE IN ANY WAY, THEN THE OWNER OF THE BUILDING OR OTHER STRUCTURE MUST BE ALLOWED AT LEAST 30 DAYS IF HE SO DESIRES, IN WHICH TO TAKE MEASURES TO PROTECT THE SAME FROM ANY DAMAGE, IN WHICH TO EXTEND THE FOUNDATIONS THEREOF, AND HE MUST BE GIVEN FOR THE SAME PURPOSES REASONABLE LICENSE TO ENTER ON THE LAND ON WHICH THE EXCAVATION IS TO BE OR IS BEING MADE.
- IF THE EXCAVATION IS INTENDED TO BE OR IS DEEPER THAN THE STANDARD DEPTH OF FOUNDATIONS, WHICH DEPTH IS DEFINED TO BE A DEPTH OF NINE FEET BELOW THE ADJACENT CURB LEVEL AT THE POINT WHERE THE JOINT PROPERTY LINE INTERSECTS THE CURB AND IF ON THE LAND OF THE COTERMINOUS OWNER THERE IS ANY BUILDING OR OTHER STRUCTURE, THE WALL OR FOUNDATION OF WHICH GOES TO STANDARD DEPTH OR DEEPER THAN THE OWNER OF THE LAND ON WHICH THE EXCAVATION IS BEING MADE SHALL, IF GIVEN THE NECESSARY LICENSE TO ENTER ON THE ADJOINING LAND, PROTECT THE SAID ADJOINING LAND AND ANY SUCH BUILDING OR OTHER STRUCTURE THEREON WITHOUT COST TO THE OWNER THEREOF, FROM ANY DAMAGE BY REASON OF THE EXCAVATION, AND SHALL BE LIABLE TO THE OWNER OF SUCH PROPERTY FOR ANY SUCH DAMAGE, EXCEPTING ONLY FOR DAMAGE TO SETTLEMENT CRACKS IN BUILDINGS OR OTHER STRUCTURES.

STORMWATER PROTECTION NOTES:

- DURING THE RAINY SEASON, THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
- NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE CITY OF DANA POINT'S STATIONFAITH THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION, SILTATION AND SEDIMENT CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
- THE PROPERTY OWNER IS OBLIGATED TO ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS ON THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORMWATER QUALITY. THE INSTALLATION AND MAINTENANCE OF THE BMPs IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE CITY OF DANA POINT OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
- ON PROJECTS OF GREATER THAN 1 ACRE, ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOD) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE WASTE DISCHARGE IDENTIFICATION (WQID) NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS [WQID#] [ALTERNATIVE: NOT YET ASSIGNED, BUT WILL BE PROVIDED BEFORE A PERMIT IS ISSUED]. THE PERMITTEE SHALL KEEP A COPY OF AN UP-TO-DATE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY CITY.
- BONDED FIBER MATRIX (BFM)
THE USE OF BFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:
 - APPLICATION RATES SHALL BE 3,500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4,000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
 - BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
 - THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
 - BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (IE, APPLICATION FROM MULTIPLE ANGLES).
 - FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEED EROSION CONTROL VEGETATION.
 - A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE CITY INSPECTOR FOR APPROVAL.

PROPERTY OWNER

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

BY: _____
PAUL AND ESRA BLACK

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT	PLANS REVIEWED BY:
				1" = 8'	R.J.	R.J.	P.J.D.		COUNTY OF ORANGE BENCHMARK 3P-35-04 ELEVATION=157.955 NAVD 88 DATUM	PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE CITY OF DANA POINT MUNICIPAL CODE:	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 3302 GILBERT LANTERN DANA POINT, CA 92629
				ACAD FILE NO.					ESTABLISHED A T.B.M. AT THE TOP OF CURBS ON CROWN CANYON DR. AT THE S.W.1/4 CORNER OF THIS PROPERTY		MATTHEW V. SINACORI, CITY ENGINEER RCE # 59239 EXP 06/30/21
				PROJECT NO.					ELEV= 145.29 TC TBM	CITY PLANNING DEPARTMENT	DATE
					PETE J. DUCA	ENGINEER OF WORK	R.C.E. NO.				

DUCA-McCOY, INC.

3840 E. COAST HIGHWAY
CORONA DEL MAR, CA 92625
PH: (949) 675-4487 FAX: (949) 675-4456

- STABILIZED FIBER MATRIX (SFM)
 - SFM MAY BE USED FOR TEMPORARY EROSION CONTROL FOR DISTURBED AREAS WITH A SLOPE RATIO OF 1 VERTICAL TO 2 HORIZONTAL OR SHALLOWER, INCLUDING PAD AND SEPTIC FIELD AREAS.
 - THE SFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL AND SHALL BE APPLIED TO PROVIDE 100% COVERAGE (IE, APPLIED FROM MULTIPLE DIRECTIONS AND ANGLES).
 - THE APPLICATION AREA MUST BE PROTECTED BY BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE PROTECTED SLOPE.
 - FOR PERMANENT EROSION CONTROL PURPOSES, SFM MUST BE INSTALLED IN CONJUNCTION WITH SEED EROSION CONTROL VEGETATION OR HAND PLANTING, AS WITH ALL OTHER APPLICATIONS, SFM WILL NOT BE CONSIDERED PERMANENT UNTIL 70% VEGETATION ESTABLISHMENT.
 - COVERAGE AND CONCENTRATION: FOR EACH ACRE COVERED, THE MINIMUM APPLICATION VOLUME SHALL BE 10 GALLONS NON-TOXIC WATER PERMABLE SOIL STABILIZING LIQUID EMULSION WITH 3,000 LBS. OF HYDRAULIC MULCH. THE EMULSION MUST BE DESIGNED TO PROTECT SOIL, PREVENT EROSION, AND FLOCCULATE (CLUMP) SEDIMENT.
 - A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THE SFM WAS INSTALLED IN ACCORDANCE WITH APPROVED APPLICATION RATES, COVERAGE, AND MANUFACTURER'S DILUTION RATIO SHALL BE SUBMITTED TO THE CITY OF DANA POINT INSPECTOR FOR APPROVAL.
- IF DISTURBED AREA IS GREATER THAN 1 ACRE, ADD THE FOLLOWING NOTE: FLAT AREAS OF LESS THAN 5% (LIKE BUILDING PADS, PARKING AREAS, LEACH FIELDS) SHALL HAVE 100% PROTECTION USING GEOTEXTILES, MATS (SS-7 OR ESC20), OR OTHER MATERIALS APPROVED BY THE CITY OF DANA POINT FOR STABILIZING SLOPES, OR USING TRACKING AND SOIL STABILIZERS/BINDERS (SS-3). TEMPORARY SEEDING (SS-4), MULCH/WOOD CHIPS (SS-3, SS-5, SS-8), OR JUTE MATTING (SS-7). THE CITY OF DANA POINT MAY REDUCE THIS REQUIREMENT FOR FLAT AREAS PROVIDED FULL SEDIMENT CONTROL IS PROVIDED THROUGH CONSTRUCTED AND MAINTAINED DESILATION BASINS (SC-2) AT ALL PROJECT DISCHARGE POINTS.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMUM SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND, VEHICAL TRACKING OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICAL WASHING SHALL BE CONTAINED ON CONSTRUCTION SITES UNLESS TREATED TO REMOVE SEED EROSION CONTROL POLYMER PLANTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL, MATERIAL SUPPLIES, LESSOR AND THE PROPERTY OWNER ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTE FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR SCAFFOLD FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, DETERGENT OF FLOATABLE WASTES; WASTES FROM CONSTRUCTION OF STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT POLLUTANTS ARE NOT CARRIED OFF THE SITE.
- DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIAL SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF CONTAMINATED GROUNDWATER NON-ORAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- CATCH BASINS SHALL BE MARKED WITH A STENCIL, CONCRETE STAMP, OR CERAMIC TILE TO INDICATE THAT NO DUMPING IS ALLOWED IN THE STORM DRAINAGE FACILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE CITY STREET MANAGER, RICK RUDEMEKIN, AT (949) 359-0150, FOR THE METHOD, TYPE OF MARKING, AND THE PLACEMENT OF THE STORM DRAIN MARKINGS. STENCILING OR LABELING MAY ALSO BE REQUIRED IN SPANISH.

NOTICE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING THE EXISTENCE AND LOCATION OF ALL UTILITIES AND PROPERTIES. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND, THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM AND FOR ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CIVIL ENGINEER.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, CONDUITS OR OTHER STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE ENGINEER ASSUMES NO LIABILITY WHATSOEVER FOR THE ACCURACY OR COMPLETENESS OF SUCH DATA. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ALL UTILITY LINES, CONDUITS OR STRUCTURES WHETHER OR NOT SHOWN ON THESE PLANS AND WHEN ACCEPTING AND UTILIZING THESE PLANS, ASSUMES ALL RESPONSIBILITY FOR THE PROTECTION OF, AND ANY DAMAGE TO, SAID FACILITIES. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT (800) 422-4133 FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.

SUPPLEMENTAL NOTE

IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.

CALIFORNIA COUNCIL OF CIVIL ENGINEERS AND LAND SURVEYORS
CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

SOILS AND GEOLOGIST CERTIFICATION

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT BY
GLOBAL GEO-ENGINEERING
SUBJECT: GEOTECHNICAL INVESTIGATION FOR PROPOSED NEW RESIDENTIAL ADDITIONS AT 92 MONARCH BAY
DATED: OCTOBER 5, 2018
I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS, AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

BY: _____
KEVIN B. YOUNG E.G., 2253 (EXP.) 10-31-19 DATE
ENGINEERING GEOLOGIST

BY: _____
MOHAN B. UPASANI R.G.E. 2301 (EXP) 3-31-19 DATE

PROPERTY OWNER

MR. & MRS. BLACK
198 MONARCH BAY
DANA POINT, CA 92629
(949) 309-8351

BY: _____
OWNERS DATE

SITE

NO SCALE



NOTE:

- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND GENERAL SITE DIMENSIONS.
- REFER TO ARCHITECTURAL PLANS FOR ANY SECTIONS SHOWN HEREON.
- MAINTAIN A MIN. OF 2% FALL AWAY FROM BUILDING ON CONC., 5% MIN. ON FINISH GRADE.

BASIS OF BEARINGS

THE CENTERLINE OF QUEEN CATHERINE COURT AS BEING N 0°45'26" E AS SHOWN ON TRACT MAP NO. 3748

ARCHITECT

ERIC OLSEN DESIGN
2728 E. COAST HIGHWAY, SUITE A
CORONA DEL MAR, CA 92625
(949) 887-8856

SOILS ENGINEER & GEOLOGIST

EGA CONSULTANTS
375-C MONTE VISTA AVENUE
COSTA MESA, CA 92627
(949) 642-9309

SOURCE OF TOPOGRAPHY

A FIELD TOPOGRAPHIC SURVEY BY
APEX LAND SURVEYING

IMPERVIOUS SURFACE AREA

NEW BUILDING 2,316 S.F.
NEW HARDSCAPE 3,687 S.F.
TOTAL IMPERVIOUS AREA 9,003 S.F.
TOTAL LOT AREA 13,395 S.F. (0.31 AC.)

LEGAL DESCRIPTION

LOT 97, TRACT 3748
DANA POINT, CALIFORNIA
APN: 670-111-31

SEE SHEET 2 FOR QUANTITY ESTIMATES

EARTHWORK QUANTITY ESTIMATE:

CUT 1370 CU. YDS. OVEREX. 560 CU. YDS.
FILL 10 CU. YDS.

NOTE: ANY OVEREX. AND EXCAVATION FOR WALL FOOTINGS HAS NOT BEEN CALCULATED. SHRINKAGE AND/OR SUBSIDENCE HAS NOT BEEN CALCULATED.

DECLARATION OF RESPONSIBLE CHARGE

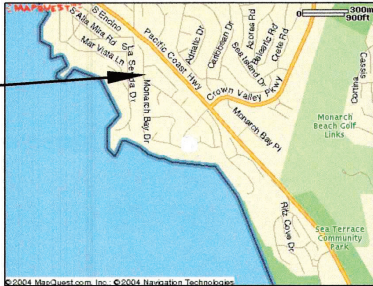
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. I DECLARE THAT I HAVE EXERCISED RESPONSIBLE CHARGE OF THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE. I DECLARE THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS OF CIVIL ENGINEERING. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE MYSELF, AS ENGINEER OF RECORD, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DUCA-MCCOY, INC.
3840 EAST COAST HIGHWAY
CORONA DEL MAR, CA 92625
(949) 675-4487

BY: _____
PETE DUCA R.C.E. 24668 12/31/19 DATE

SHEET INDEX

- SHEET 1; TITLE SHEET
- SHEET 2; GRADING PLAN
- SHEET 3; SECTIONS
- SHEET 4; EROSION CONTROL
- SHEET 5; TOPOGRAPHIC SURVEY



VICINITY MAP
NO SCALE

CITY OF DANA POINT

GRADING PLAN

198 MONARCH BAY

DANA POINT, CA

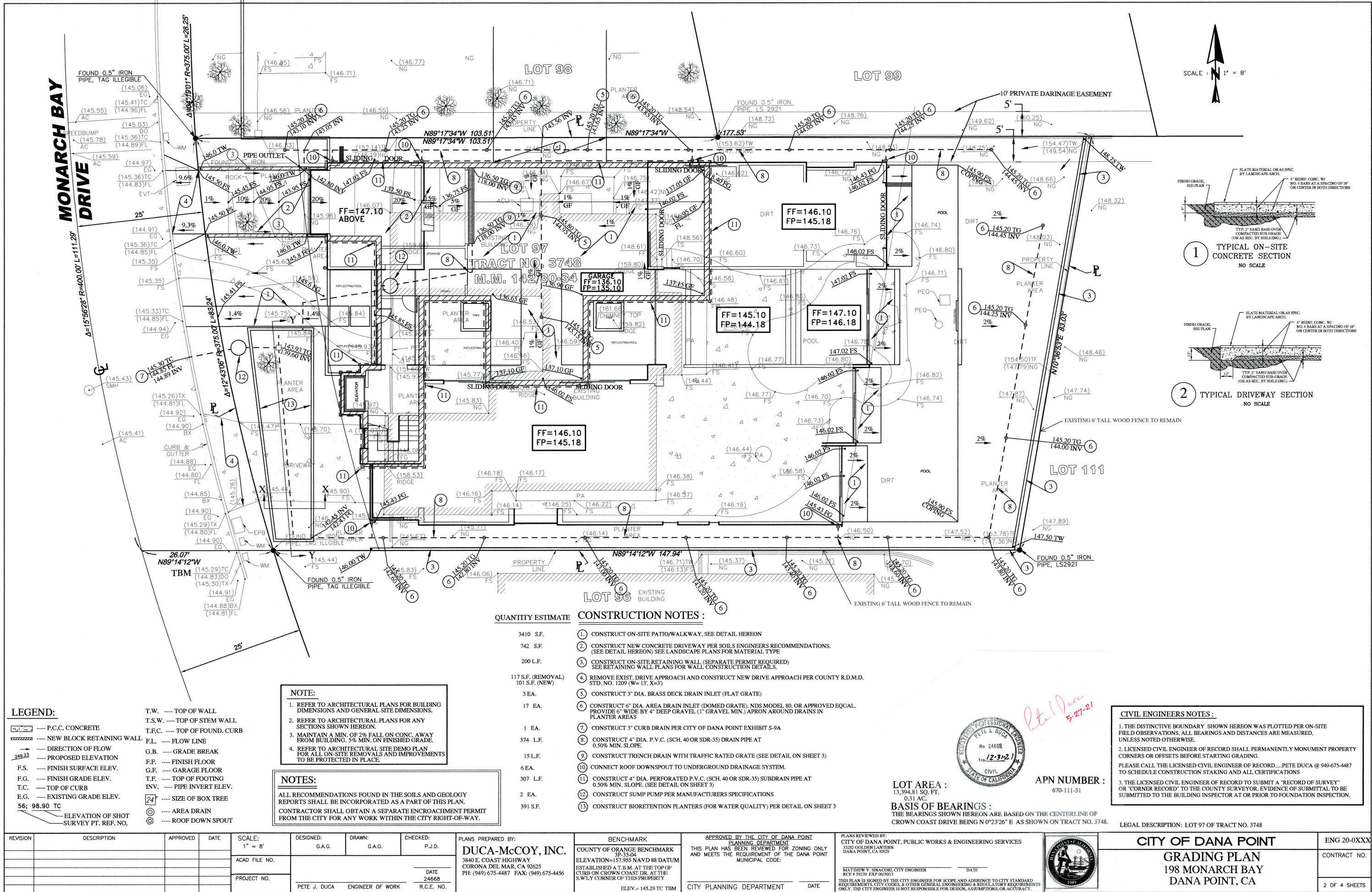
APN # 670-111-31

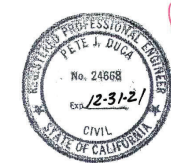
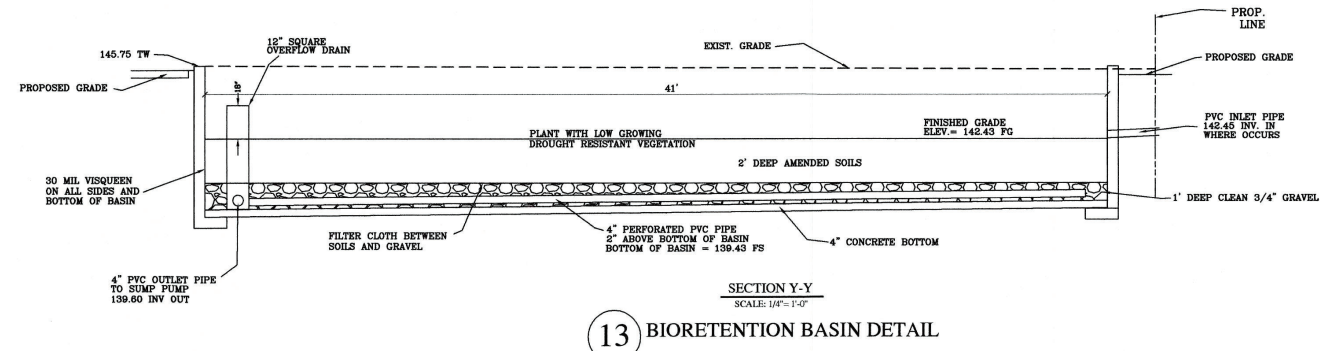
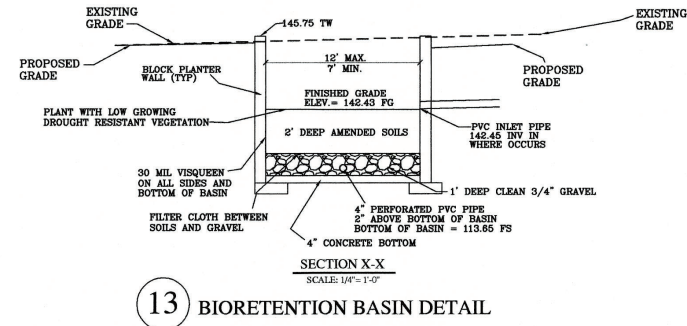
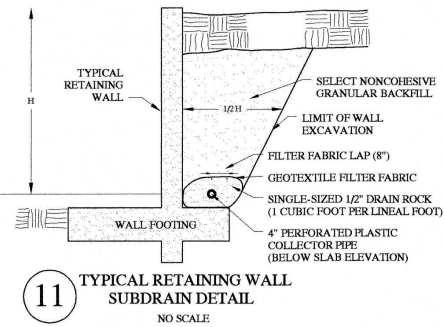
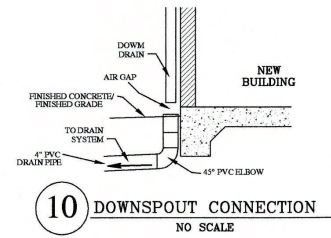
ENG 20-0xxx

CONTRACT NO.

1 OF 4 SHEETS


1st SUBMITTAL

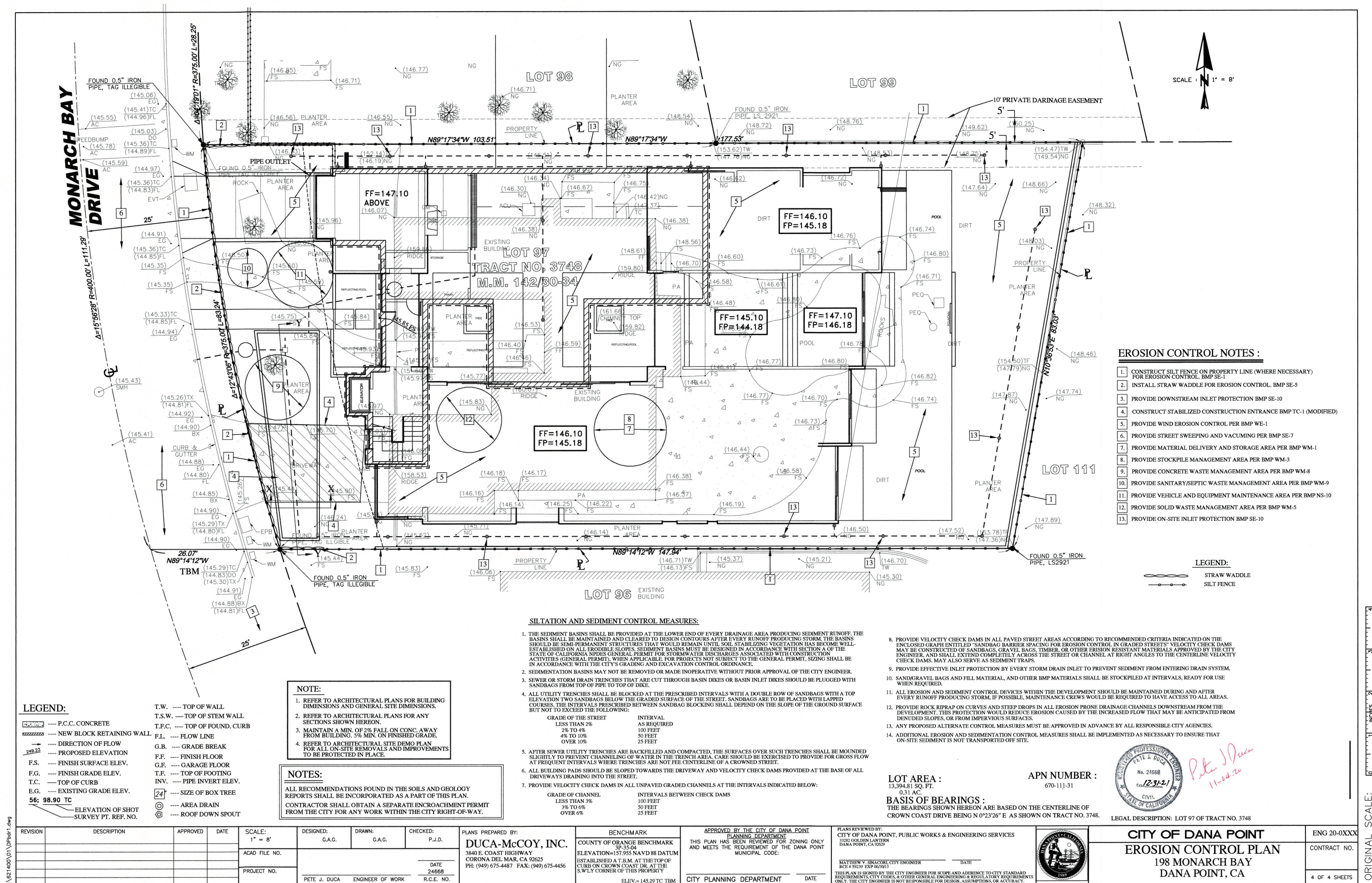




Pete J. Duca
11-04-20

LEGAL DESCRIPTION: LOT 98 OF TRACT NO. 3748

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1" = 8'	DESIGNED: G.A.G.	DRAWN: G.A.G.	CHECKED: P.J.D.	PLANS PREPARED BY: DUCA-McCOY, INC. 3840 E. COAST HIGHWAY CORONA DEL MAR, CA 92625 PH: (949) 675-4487 FAX: (949) 675-4456	BENCHMARK COUNTY OF ORANGE BENCHMARK 3P-35-04 ELEVATION=157.955 NAVD 88 DATUM ESTABLISHED A T.B.M. AT THE TOP OF CURB ON CROWN COAST DR. AT THE S.W. CORNER OF THIS PROPERTY ELEV.= 145.29 TC TBM	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE # 37239 EXP 06/30/21 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARD REQUIREMENTS, CITY CODES, & OTHER GENERAL ENGINEERING & REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.		CITY OF DANA POINT GRADING PLAN 200 MONARCH BAY DANA POINT, CA	ENG 20-0XXXX CONTRACT NO. 3 OF 4 SHEETS	
	ACAD FILE NO.						DATE 24668								
	PROJECT NO.				PETE J. DUCA	ENGINEER OF WORK	R.C.E. NO.				DATE				



LEGEND

—	BLOCK WALL
—X—X—	CHAIN LINK FENCE (CLF)
—O—O—	WROUGHT IRON FENCE (WIF)
AC	ASPHALT PAVEMENT
BFP	BACK FLOW PREVENTOR
BX	BOTTOM OF DRIVEWAY X
C	CENTERLINE
CATV	CABLE TV BOX
CLF	CHAIN LINK FENCE
DO	DRAIN OUTLET
EG	EDGE OF GUTTER
ELP	ELECTRICAL PANEL
EP	EDGE OF PAVEMENT
EMH	ELECTRICAL MANHOLE
EPB	ELECTRICAL PULL BOX
FF	FINISH FLOOR
FL	FLOWLINE
FS	FINISHED SURFACE
GM	GAS METER
MH	MANHOLE
NG	NATURAL GROUND
PA	PLANTER AREA
SDMH	STORM DRAIN MANHOLE
SLPB	STREET LIGHT PULL BOX
SMH	SEWER MANHOLE
TC	TOP OF CURB
TF	TOP OF FENCE
TS	TOP OF STEP
TX	TOP OF DRIVEWAY X
WIF	WROUGHT IRON FENCE
WM	WATER METER
WV	WATER VALVE
()	EXISTING ELEVATION
○	SEARCHED, FOUND NOTHING; SET NOTHING
⊕	TEMPORARY BENCHMARK SET ON A SEWER MANHOLE (SMH) ELEVATION = 145.43 FEET

TITLE REPORT/EASEMENT NOTES

198 MONARCH BAY DRIVE
DANA POINT, CA 92629
(APN: 670-111-31)

NO TITLE REPORT PROVIDED.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF DANA POINT, COUNTY OF ORANGE,
STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 97 OF TRACT NO. 3748, IN THE CITY OF DANA POINT, COUNTY OF
ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 142,
PAGE 30 TO 34 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE
COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS

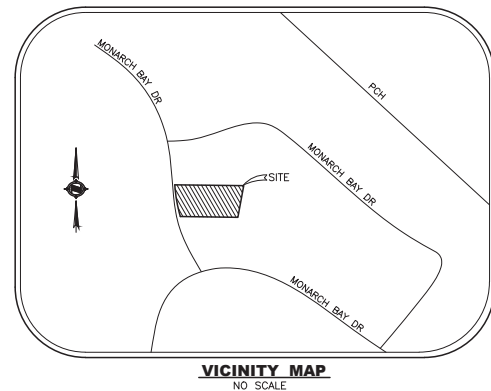
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE LINE OF MONARCH
BAY DRIVE (EMPRESS WAY) HAVING A BEARING OF N33°11'56"E PER TRACT NO. 3748,
M.M. 142/30-34.

BENCHMARK INFORMATION

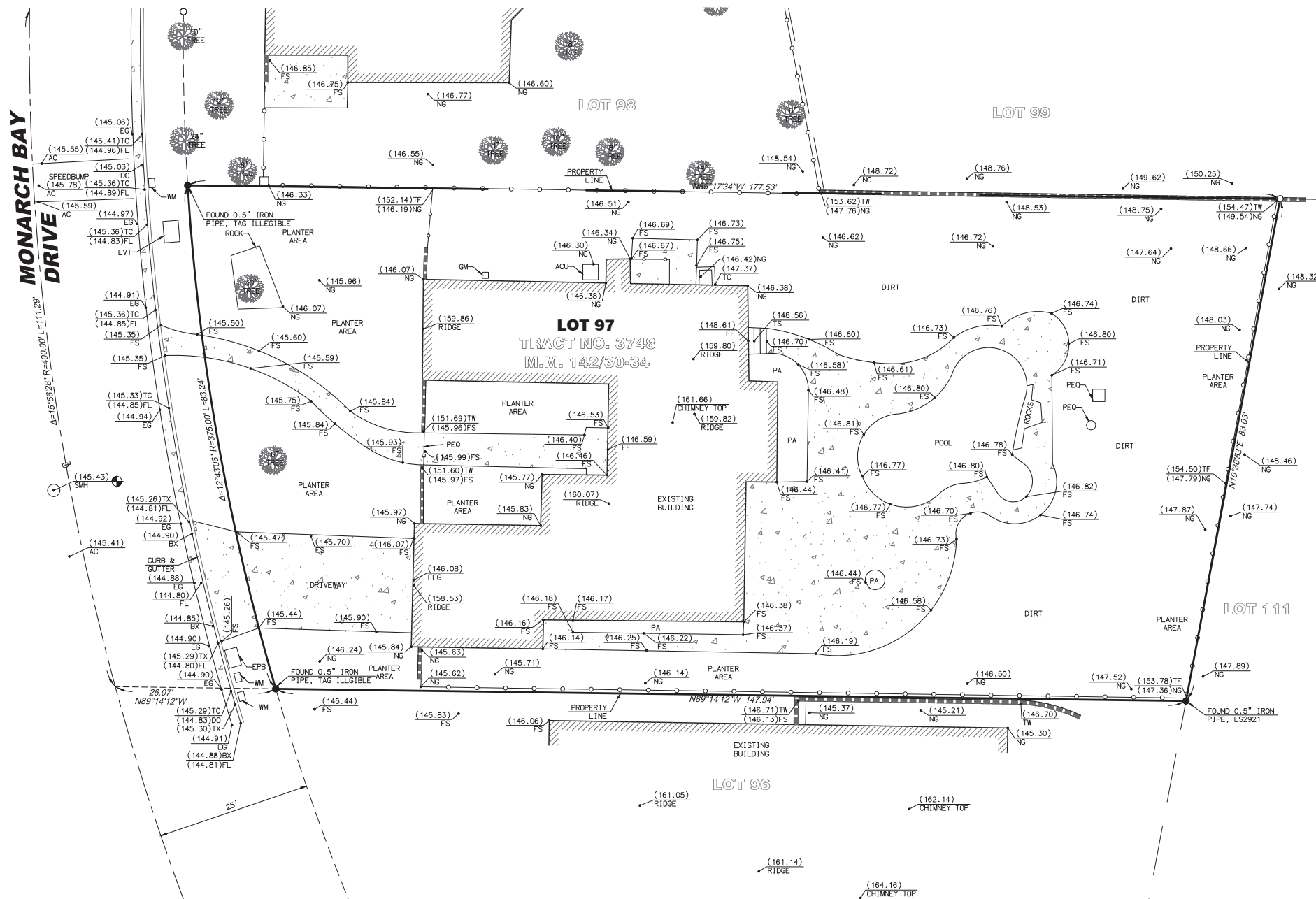
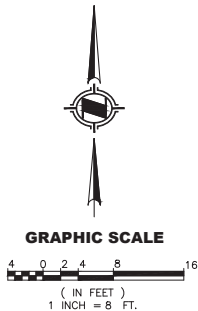
BENCHMARK NO: 3P-35-04

DESCRIBED BY OCS 2004 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK
STAMPED "3P-35-04", SET IN THE EASTERLY CORNER OF A 15 FT. BY 4.5 FT.
CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER
OF THE INTERSECTION OF PACIFIC COAST HIGHWAY AND CROWN VALLEY
PARKWAY, 51 FT. NORTHEASTERLY OF THE CENTERLINE OF PCH AND
70 FT. NORTHWESTERLY OF THE CENTERLINE OF CROWN VALLEY PARKWAY.
MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 155.636 FEET (NGVD29), YEAR LEVELED 2004



VICINITY MAP
NO SCALE



SURVEYOR'S NOTES

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY
CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.



PAUL D. CRAFT, P.L.S. 8516
LICENSE RENEWAL DATE 12/31/22

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE
STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A
LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE
PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING
DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION
REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE
CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE,
EITHER EXPRESSED OR IMPLIED.



PROJECT SURVEYOR

DATE 3/5/2020
SCALE 1" = 8'
DRAWN J. A. H
CHECKED P. D. C.

TOPOGRAPHIC MAP

198 MONARCH BAY DRIVE
DANA POINT, CA 92629
APN: 670-111-31

SHEET TITLE

SHEET NO.

1 OF 1

A. Contractor shall examine the site of proposed work noting existing conditions and proposed work as shown on the plans, Notify landscape designer of discrepancies

B. Contractor shall stake proposed work prior to construction for review by landscape designer

C. Protect existing utilities, paving and structures from damage. Trenching adjacent to existing tree drip lines to be done by hand to avoid root damage

D. Construction and installation of all landscape items shall be according to State, County, and Local codes, Ordinances and up to CAL/OSHA safety orders regarding performance of work

E. Contractor to obtain required permits and comply with applicable codes

F. All Concrete edges to be 1/8" trowel

G. All Stucco edges to be 1/8" trowel

H. Contractor is responsible for damage to underground utilities and shall replace or repair same required at contractors expense

I. Contractor shall assemble material samples including: flagstone, gravel, DG, stains, Stucco, etc. for review by owner and landscape designer prior to construction

J. coordinate electrical, low voltage, and irrigation conduit sleeves prior to installation of new pavement.

K. Contractor to coordinate work with other trades

L. Verify grades and elevations in field and notify landscape designer of discrepancies

M. Contractor to review site for proper drainage and report apparent problems to landscape designer

N. Contractor to verify location of any surface drains in concrete surface prior to pour for location verification by owner and landscape designer

O. Contractor shall install this project utilizing the landscape industries B.M.P., Best Management Practices

P. Contractor to Provide Direct Drainage, Low Voltage, and Irrigation to All Pots

Q. Contractor to verify proper soil preparation specific to project climate, native soil, site conditions.

R. CONTRACTOR TO REVIEW, SIGN, AND APPROVE GARDEN STUDIO'S DESIGN/CONSTRUCTION NOTEBOOK AND AGREES TO BUILD PER THE SPECIFICATIONS IN THE NOTEBOOK



1. 6" x 6" Limestone, TBD
2. a. Grout Spacing and Color TBD
3. Driveway Apron
4. 3/8" Crushed 'Palm Springs' Gravel
5. Grade "A" Wood 'Teak' Decking
6. Grass
7. Pool
8. a. Plaster Color, TBD
9. b. Pool Tile, TBD
10. Garden Fence with Gate, See Sheet L-3 Garden Fence and Gate Elevation
11. 117" Dining Table with (10x) Chairs, TBD
12. Fire Pit, See Sheet L-3 Fire Pit Elevation
13. 6" Raised Bond Beam Wrapped in Limestone, TBD
14. 1. Water Feature with Salvaged Limestone Vessel, See Sheet L-3 Water Feature Elevation
15. 2. Pool Water Feature, See Sheet L-3 Pool Water Feature Elevation
16. 3. Reflecting Pool Water Feature, Pool Tile TBD
17. 4. Outdoor Fireplace, See Architecture Plans
18. 15. (2x) Outdoor Sofas, TBD
19. 16. (2x) Chaise Lounge Chairs with Side Table, TBD
20. 17. Coping, Wrap in Limestone, TBD
21. 18. Flagstone Steppers, TBD
22. 19. 18" x 30" Limestone, TBD
23. 20. 4" Green Seams Throughout Front Entry Path
24. 21. Driveway Retaining Walls, Wrap with Stone to Match Architecture
25. 22. Existing Fence
26. 23. Retaining Wall, See Civil Engineer Plans

Total Lot: 13,965 S.F.
Building Footprint (38.02%): 5,309 S.F.
Hardscape (24.83%): 3,467 S.F.
Softscape (26.91%): 3,758 S.F.
Pools (10.24%): 1,431 S.F.

GARDEN  STUDIO

2732 east coast highway, Suite a
corona del mar, ca. 92625

949.673.5450

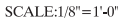
Black Residence
198 Monarch Bay Dr.
Dana Point, California

Contractor to Field Verify
All Measurements and
Confirm Details to Provide
Accurate Bid

Revisions
12.07.2020
04.29.2021
06.22.2021

Sheet

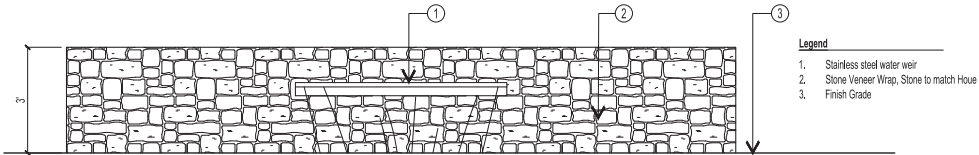
L-1

Job N^o. 0000

Landscape Plan

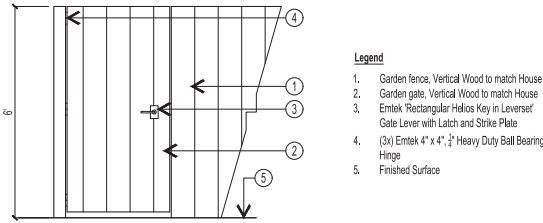
Job N^o. 0000

No owner shall permit any tree or other planting to grow to the point of obstructing the view from any other Lot, obstruction being defined as impact on seated view from the affected neighbor's lowest living level. In the event that any owner shall violate the provisions hereof, the Association may enforce the provisions hereof as provided in paragraph 12.15.2. (Bylaws 12. 12.6.2)



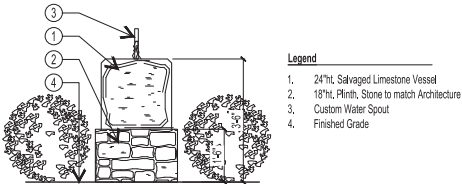
Pool Water Feature Elevation

Scale: 1/2"=1'-0"



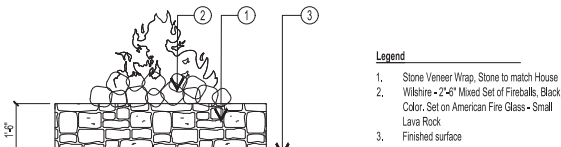
Garden Fence with Gate Elevation

Scale: 1/2"=1'-0"



Water Feature Elevation

Scale: 1/2"=1'-0"



Fire Pit Elevation

Scale: 1/2"=1'-0"

Black Residence
198 Monarch Bay Dr.
Dana Point, California

Contractor to Field Verify
All Measurements and
Confirm Details to Provide
Accurate Bid

Date	11.13.2020
Revisions	
	12.07.2020
	04.29.2021

Drawn By SL

Sheet
L-3
Of 5
Job N^o. 0000

Black Residence

198 Monarch Bay Dr.

Dana Point, California

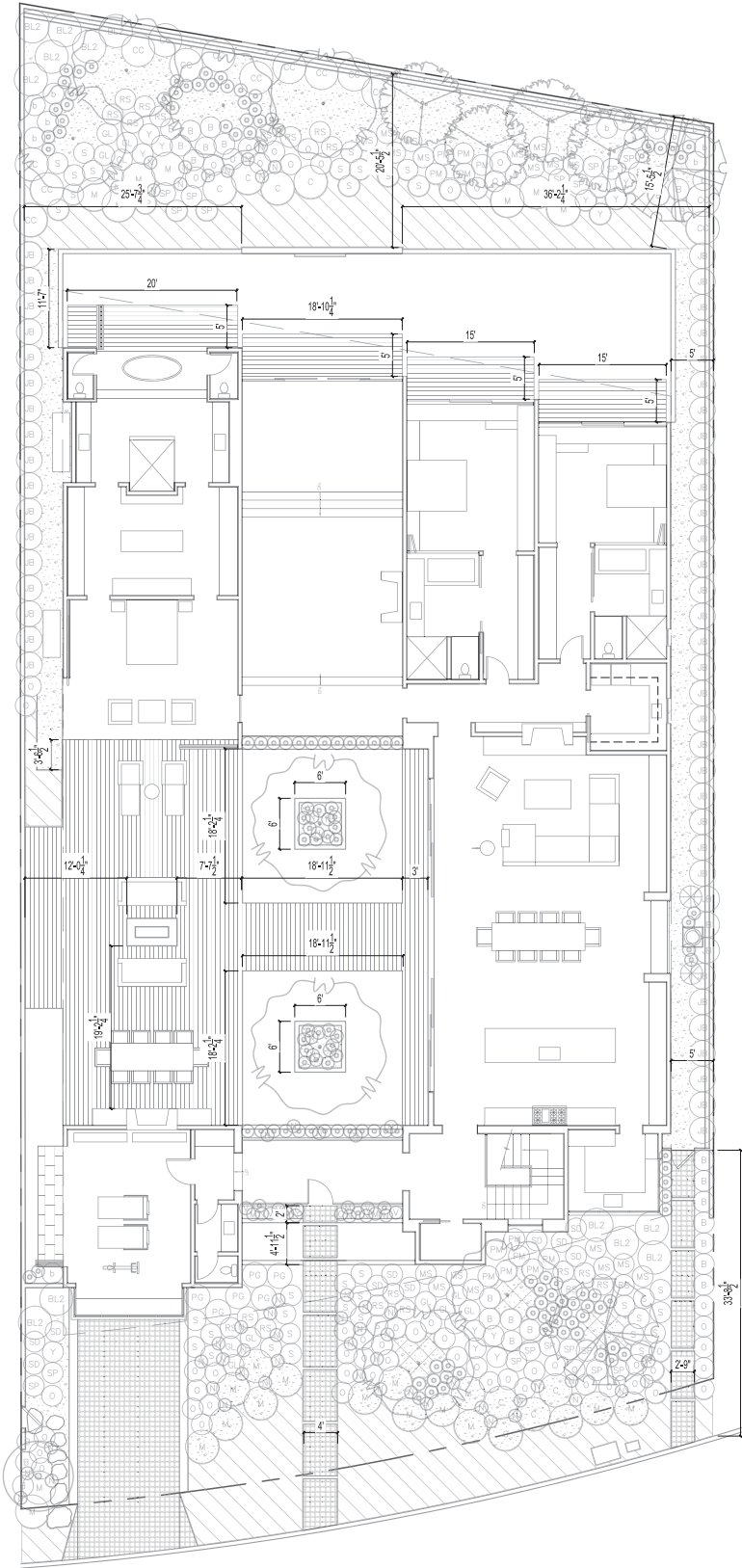
Contractor to Field Verify
All Measurements and
Confirm Details to Provide
Accurate Bid

Date	11.13.2020
Revisions	
	12.07.2020
	04.29.2021
	06.22.2021

Drawn By SL

Sheet
L-4

Of 5
Job No. 0000



SCALE:1/8"=1'-0"
Dimension Plan

Black Residence
198 Monarch Bay Dr.
Dana Point, California

Contractor to Field Verify
All Measurements and
Confirm Details to Provide
Accurate Bid

Date 11.13.2020

Revisions
12.07.2020
04.29.2021
06.22.2021

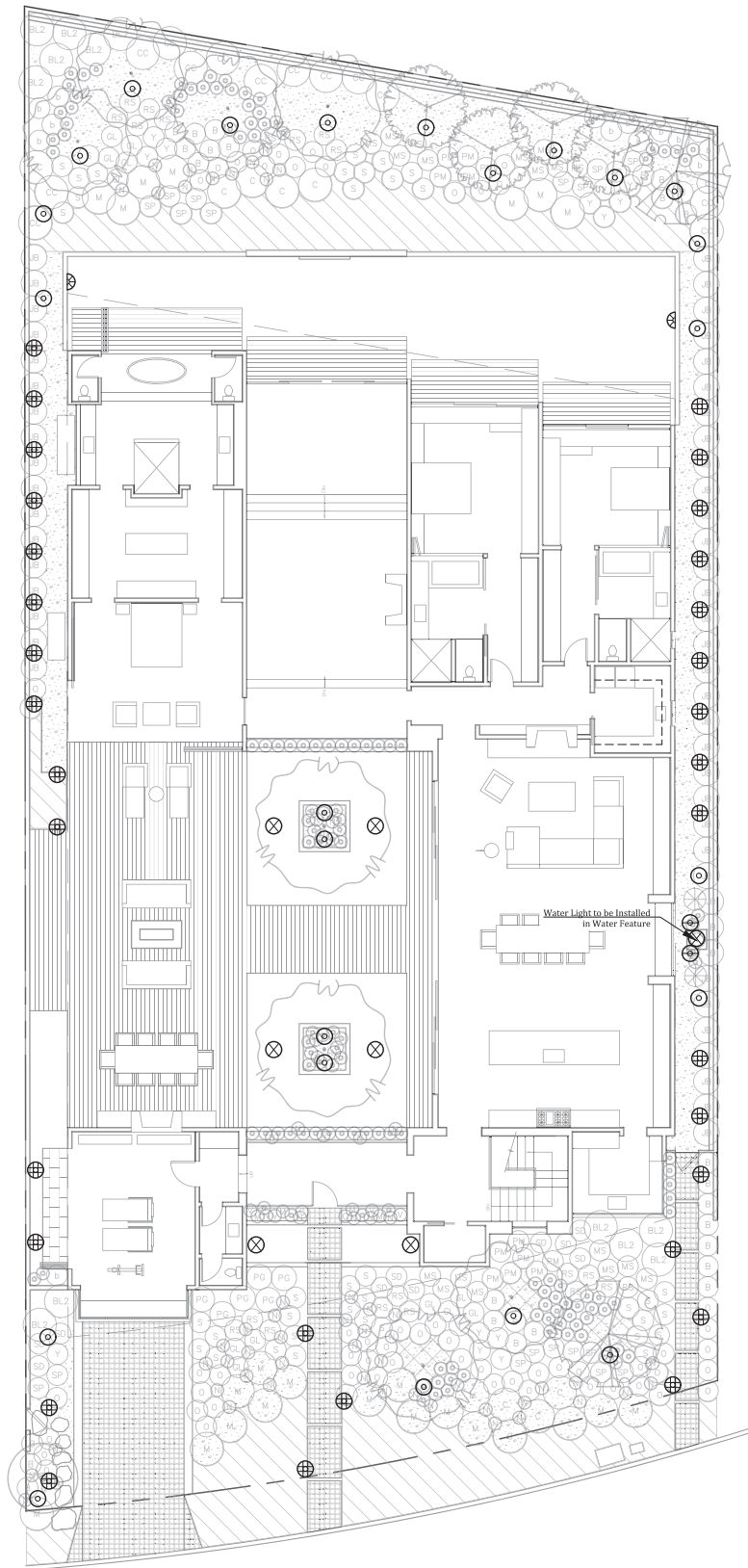
Drawn By SL

Sheet

L-5

Of 5

Job No. 0000



SCALE:1/8"=1'-0"

Lighting Plan

LIGHTING LEGEND

Symbol	Model	Description	Finish	Type	Watts	Lumens	QTY
⊕	GSD-14-1-MBR	Path Lights	Matte Bronze	12v LED	1.5	140	32
⊙	GSD-11-1-MBR	Up Lights	Matte Bronze	12v LED	1.5	140	25
⊗	GSD-18-1-5	Water Light	Matte Bronze	12v LED	1.5	140	7
⊕	601004	IntelliBrite 5g Color Pool Light	Silver	120v LED	26	1000	2
⊕	GSD-11-2-MBR	Small Up Light	Matte Bronze	120v LED	1.5	140	2

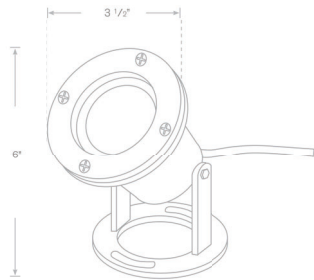
SPECIFICATION SHEET

GSD-18-1-5

Water Light



Model: GSD-18-1-5
Electrical: 12V
Lamp: MR-16/LED
Size: 6"H x 3 1/4" (20" Cord)

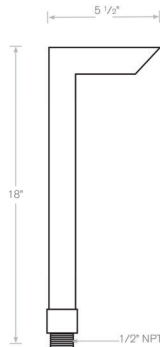


GSD-14-1-MBR

Pathway Lights



Model: GSD-14-1-MBR
Material: Brass
Finish: Matte Bronze
Electrical: 12V
Lamp: 3.5W LED
Mounting: 1/2" NPT, Spike Included



ALL FINISHES & LEC AVAILABLE! Mounting: 1/2" NPT, Spike Included

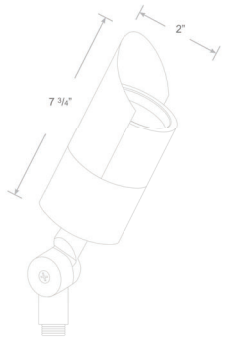
SPECIFICATION SHEET

GSD-11-1-MBR

Up Light



Model: GSD-11-1-MBR
Material: Brass
Finish: Specify
Electrical: 12V
Lamp: MR-16, LED
Mounting: 1/2" NPT, Spike Included



INTELLIBRITE® 5G COLOR LED LIGHTS
UNDERWATER LED LIGHTS FOR SWIMMING POOLS AND SPAS

Featured Highlights

- A superior reflector design assures more light directed toward the pool bottom to further increase intensity and/or color effects, while minimizing glare
- Superior lens geometry distributes light in an optimum way to avoid "hot spots" on the pool bottom. Light intensity and color are distributed more uniformly throughout your pool
- Pool lens can be rotated to 180 degrees to provide wide beam pattern (standard) or narrow beam pattern
- Intuitive LED light technology makes use of the brightest and most energy efficient LEDs available in underwater pool and spa lights - up to 50% less energy consumption than conventional lights
- Set one of 5 predetermined fixed colors to match or create the mood for the evening - blue, green, orange, white, and red or select from 7 popular "color shows" that come preprogrammed into IntelliBrite Light
- IntelliBrite LED light was designed to work with IntelliTouch® and EasyTouch® Automation, the leading control systems for pool, spa, and poolside equipment automation. In effect you transfer control of IntelliBrite lights to the IntelliTouch® or EasyTouch® system which controls all your other pool and spa systems
- IntelliBrite 5g Color Pool and Spa lights are backwards compatible with the previous IntelliBrite lights
- Compatible with Pentair stainless steel and plastic niches



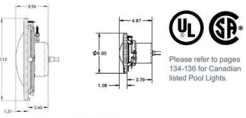
IntelliBrite 5g Color LED Pool and Spa Lights
IntelliBrite Lights automate color-changing pool and spa lights feature LED technology—the wave of the future in energy—efficiency, lifetime value, quality of light, and controllability. With IntelliBrite lights, combinations of individual colored LEDs are mixed and matched to achieve a vibrant spectrum of colors. These combinations are power sequenced to illuminate and cycle through colors at varying speeds, and in different sequences of color. Combined with a custom reflector and unique lens design, IntelliBrite lights offers superior efficiency while being the brightest yet most energy efficient underwater LED light available.

All Pentair UL Listed underwater lights are certified for use in fresh water with up to 6,000 ppm salinity.

Ordering Information

Product	Voltage	Wattage	Cord Length (Ft.)	Carton Qty.
INTELLIBRITE 5g COLOR POOL LIGHTS				
601000	120	20W	30'	1
601001	120	20W	50'	1
601002	120	20W	100'	1
601003	120	20W	150'	1
601004	120	20W	225'	1
601010	12	20W	30'	1
601011	12	20W	50'	1
601012	12	20W	100'	1
601013	12	20W	150'	1
INTELLIBRITE 5g COLOR SPA LIGHTS				
640100	120	9W	30'	1
640101	120	9W	50'	1
640102	120	9W	100'	1
640103	120	9W	150'	1
640104	120	9W	225'	1
640110	12	9W	30'	1
640111	12	9W	50'	1
640112	12	9W	100'	1
640113	12	9W	150'	1

Dimensions and Certifications



See pages 480-481 for replacement parts.

Note: All 120 volt pool and spa lights must be connected to a branch circuit protected by a ground fault circuit interrupter (GFCI).
Note: Underwater Laboratories has tested Pentair Water Pool and Spa, Inc. lights for use with Pentair Water Pool and Spa, Inc. Pentair pool and spa equipment. Products, Pools, or Pools. Pentair. ONLY. To ensure proper grounding/bonding connections, install and Pentair Water Pool and Spa lights in Pentair Water Pool and Spa, Pentair Pool Products, American Products Pools or Pentair pools only.



Please refer to pages 134-136 for Canadian listed Pool Lights.

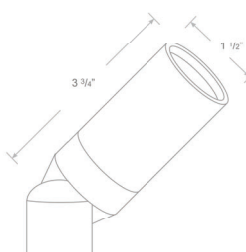
SPECIFICATION SHEET

GSD-11-2-MBR

Up Light



Model: GSD-11-2-MBR
Material: Brass
Finish: Specify
Electrical: 12V
Lamp: MR-11, LED
Mounting: 1/2" NPT, Spike Included



ALL FINISHES & LED AVAILABLE! Mounting: 1/2" NPT, Spike Included