CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT

DATE: **JUNE 14, 2021**

TO: **DANA POINT PLANNING COMMISSION**

FROM: **COMMUNITY DEVELOPMENT DEPARTMENT**
BRENDA WISNESKI, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: **COASTAL DEVELOPMENT PERMIT CDP20-0025 APPROVING AN ADDITION AND REMODEL TO A SINGLE-FAMILY DWELLING ON A COASTAL BLUFF LOT, WITH ADMINISTRATIVE MODIFICATION OF STANDARDS AMS21-0004 TO ENCLOSE A PORTION OF AN EXISTING COURTYARD LOCATED WITHIN THE REQUIRED FRONT YARD SETBACK, AND MINOR SITE DEVELOPMENT PERMIT SDP20-0029(M) TO ALLOW THE EXPANSION OF A NONCONFORMING STRUCTURE.**

RECOMMENDATION: That the Planning Commission adopt the attached Resolution approving Coastal Development Permit CDP20-0025; Administrative Modification of Standards AMS21-0004, and Minor Site Development Permit SDP20-0029(M) (Action Document 1).

APPLICANT: Rios Architects

OWNER: Kathryn Mitchell Ramstad

REQUEST: A request to permit an addition and remodel to an existing single-family dwelling (SFD) on a coastal bluff lot, with an Administrative Modification of Standards to enclose a portion of an existing courtyard located within the 20-foot front yard setback (FYSB), with a Minor Site Development Permit to allow the expansion of a nonconforming structure.

LOCATION: 61 Monarch Bay Drive (APN 670-121-73)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on June 4, 2021, published within a newspaper of eneral circulation on June 4, 2021, and posted on June 4, 2021 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the

CEQA Guidelines (Class 1 – Existing Facilities) because the remodel and addition of a SFD in a residential zone.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).

- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP), Administrative Modification of Standards (AMS) and Minor Site Development Permit (SDP(M).

- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is located on a coastal bluff within the Monarch Bay community, the entrance of which is at the intersection of Crown Valley Parkway and Pacific Coast Highway (Supporting Document 2 – Vicinity Map). The 18,838 square foot coastal bluff lot is bordered by similarly developed coastal bluff lots to the northwest and southeast, and single-family development across Monarch Bay Drive. To the south, is the coastal bluff face at the base of which is borders the Pacific Ocean. The lot is zoned Residential Single Family 4 DU/AC (RSF 4) on the City's Zoning Map and is designated Residential 3.5-7 DU/AC on the Land Use Policy Diagram in the City's General Plan Land Use Element.

Existing site improvements include a legal non-conforming single-story, 2,527 square foot SFD with an attached two-car garage, an interior courtyard, and a variety of hardscaping and landscaping scattered throughout the site (Supporting Document 2 – Vicinity Map and Site Photos). The original SFD and garage was constructed in 1962, prior to Cityhood and the California Coastal Act of 1976. The SFD is legal nonconforming as it is located in both the required minimum FYSB and within 40-foot bluff edge setback denoted on the City's Zoning Map. An existing switchback style trail constructed of at-grade wood steps and gravel with handrails is located on what is defined as a coastal bluff face under the City's certified Local Coastal Program (LCP). This trail is identified on aerial images taken of the site from the 1972 fly-by filed on the California Coastal Records Project website (Supporting Document 3 – Aerial Image from 1972).

The site located within both the City's Coastal Overly District and the Appeals Jurisdiction of the California Coastal Commission (CCC). Due to the scope of the proposed project and the site's location on a coastal bluff and within the Coastal Appeals Jurisdiction of the CCC, a coastal development is required. An administrative modification of standards is requested in order enclose 19 square feet of the existing courtyard located within the FYSB. Finally, a minor Site Development Permit [SDP(M)] is requested to allow an expansion of more than ten (10) percent of the existing gross floor area (GFA) of an existing nonconforming structure.

DISCUSSION: The project proposes the demolition of the existing attached garage and the remodel and addition to the existing nonconforming SFD, as well as the construction of a

pool, spa, and associated hardscape and landscape improvements on a coastal bluff lot. Upper level additions of 1,497 square feet consist of the conversion of the existing courtyard into GFA, small pop-out additions along the back and side yards, and an enlarged garage. The proposed subterranean lower level of 1,537 square feet will be accessed via an interior stair and elevator from the entry hall (gallery) and exterior access via slider doors out to the side yard. The renovated SFD results in a GFA addition of 3,034 square feet with a total floor area of 5,561 square feet.

The renovated main level includes three (3) bedrooms, four (4) bathrooms, a media room, an office, common living/dining area, and a kitchen and pantry with adjacent mud room providing direct access to the two-car garage. The lower level proposes a bedroom, two bathrooms, laundry, storage and mechanical rooms and a large gym. The project also includes the installation of new stone patios along the rear of the SFD. The SFD is proposed with a flat roof at a total height of 21'-10 9/16", measured from the lower level finished pad to top of roof, where the maximum allowable height is 24 feet for structures with a roof pitch of 0-3:12.

The exterior proposes a modern architectural style, incorporating a combination of "oatmeal" colored smooth stucco exterior walls with travertine accents and bronze metal fascia. Openings include light bronze aluminum windows and bronze, wood grain aluminum doors and roll-up garage door.

Exterior site improvements include a proposed pool and spa located at the rear of the SFD and landward of the coastal bluff edge setback. Additionally, the project proposes the renovation and installation of new hardscaping and landscaping. Proposed impermeable hardscape improvements make up less than 50% of the area located within the 25-foot bluff edge setback. The lot is proposed to be landscaped with a mixture of native and non-native drought tolerant plantings and no irrigation will be installed within the 25-foot bluff edge setback or beyond. The existing switchback trail located on the bluff-face which was identified in the 1972 aerial flyby, will not be disturbed (Supporting Document 3 – Architectural, Grading and Landscape Plans).

Except for the existing nonconforming coastal bluff edge setback and FYSB, which is proposed to be remedied through the approval of the AMS, the project complies with all other applicable development standards. Table 1 below summarizes the RSF 4 and General Development Standards (Chapter 9.05 DPZC) applicable to the proposed development.

Table 1: Compliance with RSF 4 and General Development Standards

Development Standard	Requirement	Existing	Proposed	Compliant with Standard
Maximum Lot Coverage	45% max.	15.8%	27.4%	Yes
Maximum Height	24 feet (0–3:12 roof)	11'-1 ½"	21'-10 9/16"	Yes
Minimum Front Yard Setback	20 feet	7'-8"	7'-8"	No

Development Standard	Requirement	Existing	Proposed	Compliant with Standard
Minimum Side Yard Setback	5 feet	6'-7" and 7'-1"	5'-9" and 7'-5"	Yes
Minimum Rear Yard Setback (1)	25 feet from coastal bluff edge	18'-4"	18'-4"	No
Minimum Landscape Coverage	25% min.	59.7%	60.3%	Yes
Parking Required	2 stalls in a garage	(2) 10' x 20' stalls in garage	(2) 10' x 20' stalls in garage	Yes
(1) In accordance with DPZC Section 9.27.030(c)(4), a deviation from the 40-foot coastal bluff setback is justified.				

COASTAL DEVELOPMENT PERMIT

The proposed project includes the addition and remodel of a nonconforming SFD and the construction of a pool, spa, and associated hardscape and landscape improvements on a coastal bluff lot. These improvements are considered "coastal development" pursuant to the DPZC definition in Section 9.75.040. Consequently, the proposed project necessitates a coastal development permit (CDP).

The coastal bluff edge setback is established on the City's adopted Zoning Map, and the Draft Dana Point General Plan Coastal Erosion Technical Report dated July 11, 1990. As identified in these documents, the subject site is in an area requiring a 40-foot coastal bluff edge setback. A deviation from this setback is permitted in accordance with DPZC Section 9.27.030(c)(4) subject to the review and approval of a geotechnical and soils report justifying the proposed deviation. Justification was provided in the site-specific geotechnical report based on bluff stability calculations and coupled with an assessment of 50 years of bluff erosion for the site. The City's Geotechnical Engineer has reviewed the provided geotechnical report and concurred that both the requested setback deviation from 40 to 25-feet, and foundation system with conventional footings are appropriate for the site and consistent with the City's LCP. Only minor development consistent with DPZC Section 9.27.030(c)(5) is proposed between the defined coastal bluff edge and the approved 25-foot bluff edge setback deviation. Additionally, the proposed site drainage plan includes the installation of a subsurface drainage system and a sump pump system that will collect and pump the runoff away from the bluff and out towards the street, resulting in improved site drainage and reducing bluff erosion. The additions, hardscape and landscape improvements will be constructed in compliance with all other development standards related to Development Adjacent to Coastal Bluffs [DPZC Section 9.25.030(c)].

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,

2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,

3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,

4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,

5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,

6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and

7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting approval of the project based on the above quoted findings are detailed in the attached draft Planning Commission Resolution.

ADMINISTRATIVE MODIFICATION OF STANDARDS

The existing dwelling is located as close as 7'-8" from the front property line. Except for a 19 square foot triangular portion located behind the nonconforming front wall of the existing SFD, most of the proposed addition is located outside of the required 20-foot setback. Pursuant to Section 9.61.090 of the DPZC (Administrative Modification of Standards), required setbacks may be administratively modified by the Director of Community Development to permit development on a property which contains physical constraints when deviations from Code standards are truly minor, and no potential impact will occur to the health, safety or general welfare of adjacent persons or properties. Although the proposed conversion of 19 square feet of courtyard area into GFA is located within the codified 20-foot FYSB, there is justification to support the findings for an AMS as it occurs in a location where the existing structure already projects into the FYSB and is truly minor in nature.

Assessor's parcel maps provided by the County of Orange at cityhood, indicate that a variance (V-4655) was issued for 61 Monarch Bay Drive. However, in-house record

searches and inquiries to the County of Orange for documentation related to V-4655 were unsuccessful. Although it is speculative as to what development standard(s) relief may have been granted by the variance, a review of aerial photos of the bluff lots in Monarch Bay, reveals that several of these lots, including the subject lot, are developed with front setbacks less than the 20 feet currently required in the RSF 4 Zoning District. Entitlement records include at least 14 variances or adjustments granting a reduction in the FYSB requirement for the surrounding bluff lots by either the County and City. Given the reduced FYSB of the existing SFD, and the prevalence of other lots with reduced FYSBs, a logical presumption is that the County variance authorized a reduced FYSB for the subject site. Nevertheless, without appropriate documentation identifying a reduced FYSB, Staff believes approving the existing FYSB through the issuance of the AMS is the appropriate remedy to allow the courtyard to be converted to GFA.

The subject lot contains a significant topographical feature (coastal bluff), that when applying the required coastal bluff edge setback, constricts development on the site when coupled with the imposition of the standard 20-foot FYSB. Considering the landward shift of development that results from locating the coastal bluff edge in accordance with the City's current LCP and given the fact that other property owners in the same zoning district with similar topography enjoy a similar privilege, the findings supporting a reduced FYSB can be made.

Pursuant to Section 9.61.090(d)(2) "Basis of Approval or Denial of Administrative Modifications" of the DPZC, the Planning Commission shall make the following findings:

1. That there are practical difficulties or unnecessary hardships created by strict application of the Zoning Code due to physical characteristics of the property; and

2. The administrative modification does not constitute a grant of special privileges which are not otherwise available to surrounding properties in similar conditions and will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity; and

3. The administrative modification places suitable conditions on the property to protect the public health, safety, and welfare and surrounding properties; and

4. For development within the coastal zone, that the administrative modification would not result in significant adverse impacts either individually or cumulatively to coastal access/recreation opportunities or coastal resources, and the development would be consistent with the policies of the Local Coastal Program certified land use plan.

Staff finds the proposal consistent with the basis of approval of an AMS as outlined in Section 9.61.090(d)(2) the DPZC. Responses supporting the above-mentioned findings are detailed in the attached draft Planning Commission Resolution.

MINOR SITE DEVELOPMENT PERMIT (SDP20-0029(M))

As mentioned earlier, DPZC Section 9.27.030(c)(4) allows a setback deviation to the coastal bluff edge setback to 25 feet, which has been deemed appropriate for the site. However, portions of the existing SFD are located seaward of the 25-foot coastal bluff edge setback deviation, therefore, the existing SFD is legal nonconforming. With the approval of the AMS discussed above, the front yard setback is no longer nonconforming.

DPZC Section 9.63.030(a) (Expansion of Nonconforming Structures Conforming as to Use) states that an expansion of more than ten (10) percent of the existing GFA may be approved with a SDP(M). The proposed project includes additions exceeding 10% of the existing GFA.

Section 9.63.040(b) of the DPZC (Voluntary Demolition of Nonconforming Structures), establishes limits for the willful demolition of nonconforming structures. Those limits state that removal of nonconforming portions of a structure must be reconstructed in compliance with current DPZC regulations. Additionally, if more than 50 percent of the linear length of all walls of a nonconforming structure are voluntarily demolished, then entire structure must be brought in conformance with current Zoning Code requirements. The applicant has provided a detailed demolition plan illustrating compliance with these limitations and providing calculations illustrating that 42.69% of the total linear length of all walls are being demolished in compliance with the provisions of DPZC Section 9.63.040.

Pursuant to Section 9.71.050 “Basis of Approval, Conditional Approval, or Denial of a Site Development Permit” of the DPZC, the Planning Commission shall make the following findings:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and

2. That the site is suitable of the site for the proposed use and development; and

3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines; and

4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture; and

5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA).

Staff finds the proposed additions to the existing nonconforming SFD consistent with the basis of approval of a SDP(M) as outlined in Section 9.71.050 of the DPZC. Responses supporting the above-mentioned findings are detailed in the attached draft Planning

Commission Resolution.

CORRESPONDENCE:

The Monarch Bay Architectural Community has reviewed and conditionally approved the subject design. To date, no other correspondence has been received.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP20-0025; AMS21-0004 & SDP20-0029(M) subject to the findings and conditions of approval contained therein.

Danny Giometti, Senior Planner

Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 21-06-14-XX

Supporting Documents

2. Vicinity Map
3. Coastal Records Flyby 1972 Photograph
4. Site Photos
5. Architectural Plans, Grading Plans, Landscape Plans and Renderings

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 21-06-14-XX

RESOLUTION NO. 21-06-14-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, FOR COASTAL DEVELOPMENT PERMIT CDP20-0025 APPROVING AN ADDITION AND REMODEL TO A SINGLE-FAMILY DWELLING ON A COASTAL BLUFF LOT, WITH ADMINISTRATIVE MODIFICATION OF STANDARDS AMS21-0004 TO ENCLOSE A PORTION OF AN EXISTING COURTYARD LOCATED WITHIN THE REQUIRED FRONT YARD SETBACK, AND MINOR SITE DEVELOPMENT PERMIT SDP20-0029(M) TO ALLOW THE EXPANSION OF A NONCONFORMING STRUCTURE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Kathryn Mitchell Ramstad, (the "Owner") is the owner of real property commonly referred to as 61 Monarch Bay Drive (APN 670-121-73) (the "Property"); and

WHEREAS, the Owners authorized Rios Architects (the "Applicant") and the applicant caused to be filed a verified application for a Coastal Development Permit authorizing a request to permit an addition and remodel to a single-family dwelling (SFD) on a coastal bluff lot, with an Administrative Modification of Standards to enclose a portion of an existing courtyard located within the 20-foot front yard setback (FYSB), with a Minor Site Development Permit to allow the expansion of a nonconforming structure; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section(s) 15301 (Class 1 – Existing Facilities) because the project includes the addition and remodel of an existing SFD; and

WHEREAS, the Planning Commission did, on the 14th day of June, 2021, hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0025; Administrative Modification of Standards AMS21-0004 and Minor Site Development Permit SDP20-0029(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP20-0025, subject to conditions:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that the proposed development furthers the Conservation/Open Space Policy 2.11 of the General Plan *"Preserve Dana Point's bluffs as a natural and scenic resource and avoid risk to life and property though responsible and sensitive bluff top development, including but not limited to, restricting irrigation and use of water—intensive landscaping with the setback area to prevent buff erosion*," by proposing improvements in compliance with coastal bluff edge setback requirements and the limitations for development adjacent to coastal bluffs, including the removal of existing irrigation lines and turf grass located within the coastal bluff edge setback while incorporating the use of drought tolerant vegetation and pumping mechanisms diverting site run-off to the street and minimizing bluff erosion and proposing a majority of the additions within the perimeter of the existing SFD.**

2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that the proposed development does not alter existing public access and public recreation areas in the vicinity.**

3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities), because the project includes the addition and remodel of an existing SFD in a residential zone on a previously developed lot.**

4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the proposed development is not located immediately adjacent**

to a park or recreation area containing environmentally sensitive habitats or scenic resources and all additions are sited and designed in compliance with required setback from the coastal bluff edge.

5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that although the project proposes excavation of soils to create the subterranean lower level, appropriate shoring will be required in order to protect adjacent properties along with the installation of a subsurface drainage and sump pump system to collect and re-direct runoff away from the coastal bluff and towards the street. Furthermore, the impacts of the proposed grading have been assessed in the project geotechnical report which has been reviewed and approved to allow a deviation from the required 40, to a 25-foot bluff edge setback by the City based on stability analysis and 50 years of bluff erosion.**

6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed development is located on a previously developed site with the same use with no visually degraded areas and the development includes the expansion of an existing dwelling utilizing updated finish materials and architecture that will be compatible with the surrounding neighborhood.**

7. That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that apart from the request to validate the existing reduced front yard setback through the approval of the Administrative Modification of Standards, the proposed project conforms with all other applicable development standards and City regulations regarding development of SFDs adjacent to coastal bluffs and the development standards of the Residential Single Family 4 (RSF 4) Zoning District, and the Residential 3.5-7 DU/AC designation in the City's General Plan. Moreover, the proposed development will bring into compliance specific requirements related to development adjacent to coastal bluffs through the use of native or drought tolerant plants and by directing all surface and subsurface drainage to the street as well as all other applicable requirements as specified in the Local Coastal**

Program.

C) Based on the evidence presented, the Planning Commission adopts the following findings and approved Administrative Modification of Standards AMS21-0004, subject to conditions:

1. That there are practical difficulties or unnecessary hardships created by strict application of the Zoning Code due to physical characteristics of the property **in that subject site contains a coastal bluff over approximately half of the depth of the recorded lot, and strict interpretation and enforcement of Dana Point Zoning Code (DPZC) Sections 9.27.030(c) development adjacent to coastal bluffs and 9.75.030 establish a coastal bluff edge and associated setback that significantly shifts the seaward limit of development toward the front of the property that when coupled with the requirement of the required 20-foot front yard setback, reduces the buildable area of the lot resulting in a hardship due to this physical limitation.**

2. The administrative modification does not constitute a grant of special privileges which are not otherwise available to surrounding properties in similar conditions and will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity **in that several properties with the same zoning designation and the same physical constraint of the coastal bluff in the rear of the property were developed with similarly reduced front yard setbacks. Additionally, the portion of the existing SFD located within the required setback will remain unchanged as the addition occurs behind the existing front wall of the SFD and therefore will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity.**

3. The administrative modification places suitable conditions on the property to protect the public health, safety, and welfare and surrounding properties **in that the improvements which require the administrative modification will be located behind the existing front wall of the SFD and be constructed in compliance with current building and safety codes and not be detrimental to the public health, safety, or welfare of surrounding properties.**

4. For development within the coastal zone, that the administrative modification would not result in significant adverse impacts either individually or cumulatively to coastal access/recreation opportunities or coastal resources, and the development would be

consistent with the policies of the Local Coastal Program certified land use plan **in that the subject project proposes to enclose 19 square feet of the proposed addition at a distance less than the 20 foot front yard setback prescribed by DPZC Section 9.09.030(g), but behind the front wall of the existing SFD defining the existing courtyard and not located in an area where coastal access or public recreation areas exist resulting in no individual or cumulative impacts to coastal access/recreation opportunities or coastal resources, and the development would be consistent with the policies of the certified Local Coastal Program.**

D) Based on the evidence presented, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP20-0029(M), subject to conditions:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that, although the existing structure is nonconforming relative to the required coastal bluff edge and front yard setbacks, the subject application requests approval of additions totaling more than ten (10) percent of the existing gross floor area and with the exception of the Administrative Modification of Standards request for the front yard setback encroachment, the project conforms with the RSF 4 Zoning District development standards as well as Section 9.63 of the DPZC which refers to additions to- and willful demolition of-nonconforming structures, conforming as to use.**

2. That the site is suitable for the proposed use and development **in that although the proposed subterranean lower level addition is situated directly beneath the SFD, both the upper and lower level additions are landward expansions which are suitable for the proposed use and development since they comply with the requisite coastal bluff edge setback and the project has been assessed geotechnically concluding that the site is safe to accommodate the proposed expansion.**

3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that the proposed improvements fulfill General Plan Urban Design Element Policy 2.1, which states that development should "consider the distinct architectural and landscape character of each community" by applying a modern architectural style to the exterior of the updated SFD as well as refreshed landscaping which is similar to other renovated**

bluff lot properties in the Monarch Bay Community.

4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture **in that the proposed additions, except for the portion addressed by the AMS request, are sited in accordance with applicable development setbacks and structural design will include shoring appropriate for the site and SFD use and will not require a specific style of architecture.**

Conditions:

A. General:

1. Approval of this application permits an addition and remodel to an existing single-family dwelling on a coastal bluff lot, with an Administrative Modification of Standards to enclose a portion of an existing courtyard located within the 20-foot front yard setback, and a Minor Site Development permit to allow the expansion of a nonconforming structure confomring as to use at 61 Monach Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve

the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.

5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

   The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

   The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.

8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.

9. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste

Management Plan to ensure compliance.

10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.

11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.

12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.

13. The applicant shall limit all construction activities within the coastal bluff edge setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity. Prior to any work or construction activities, including demolition, the Coastal Bluff Edge (per the approved soils report and plans), the 50-year future bluff retreat and the 25-foot coastal bluff edge setback (per approved soils report and plans) shall be staked by a Land Surveyor and clearly delineated. The approved coastal bluff edge shall remain delineated during all phases of construction activity and inspections.

14. The 25' bluff edge setback deviation, as justified by the submitted geotechnical documents by R McCarthy Consulting, Inc., shall be clearly shown on all plans submitted for review and approval.

15. Pursuant to Dana Point Zoning Code Section 9.27.030(c), no new structure foundations or minor development, unless the approved geotechnical report supports such development and concludes that the development will not have an impact on bluff stability. Only minor development specifically addressed in the approved geotechnical report included as part of this coastal development permit, that may trigger the requirement of a building permit will be allowed within the 25-foot coastal bluff edge setback.

16. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the 25' bluff edge setback deviation.

17. Prior to any work or construction activities, including demolition, the Bluff

Edge (per the approved soils report and plans), the 50-year future bluff retreat, and the 25-foot coastal bluff edge setback deviation (per approved soils report and plans) shall be staked by a Land Surveyor and clearly delineated.

18. Prior to the commencement of any work within the public right-of-way, the applicant shall apply and be approved for an encroachment permit.

19. Separate review, approval, and permits are required for:

    - Separate structures
    - Minor correctional "return-to-natural" recontouring of bluff face
    - Freestanding/Retaining walls
    - Site walls over 3 ft.
    - Fire sprinklers
    - Demolition of structures
    - Swimming pool/spa

20. Prior to demolition, the applicant shall submit for review and approval a fully dimensioned demolition plan identifying linear length of all existing walls, all walls to be demolished, and all walls to remain. The demolition permit shall also include appropriate shoring of existing walls of the dwelling to be maintained. Additionally, the applicant shall schedule a demolition inspection and receive approval to proceed by the Planning Division prior to commencement of grading activities.

21. If any nonconforming portion of the structure is voluntarily removed, that portion shall be reconstructed in conformance with current DPZC requirements.

B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

22. The applicant shall submit an application for a grading permit. The grading permit application, in compliance with City standards, submitted for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

23. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential

soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual.

24. All plans submitted shall reflect the determined Bluff Edge and all associated setbacks, as shown on the *"Response to 2nd Review, Proposed Residential Renovation/Remodel, Lot 20, Tract 3839, 61 Monarch Bay…," by R McCarthy Consulting, Inc., dated March 30, 2021.*

25. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy.

26. Separate submittal for review, approval and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements.

27. The Precise Grading plan shall clearly show how surface water will drain from the property. All drainage is required to be directed to Monarch Bay Drive and away from the bluff edge. The drainage system shall be designed to City standards including the percent slope for the drain lines associated with the area drain system so that a minimum 1% slope is achieved for all drain lines.

28. All walls required to be constructed to facilitate the grading operations or establishment of the design PAD grades and rough grading certification shall be issued concurrently with the grading permit. This includes but is not limited to temporary shoring walls, permanent shoring walls, property line masonry walls, or other structures as determined by the Director of Public Works.

29. During grading and other construction activities, the Coastal Bluff Edge, the 50-year future bluff retreat, and the 25-foot coastal bluff edge setback (per approved soils report and plans) shall be staked and delineated. No work, no access and no equipment shall be beyond the staked limit of grading at any time.

30. Prior to any grading activities, the limits of grading per the approved plans shall be staked in field prior by a Land Surveyor. During grading activities, the Coastal Bluff Edge, the 50-year future bluff retreat, the 25-foot coastal bluff edge setback, and limits of grading shall be staked and delineated. No work, no access and no equipment shall be beyond the staked limit of grading at any time.

31. The applicant shall execute the City's standard deed restriction or, if prepared by the owner(s), shall be submitted for review and approval by the City Attorney. The deed restriction shall provide that; (1) the applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards; (2) the owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such hazards; and (3) the owner(s) assume all liability for damages incurred as a result of any required off-site grading. The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.

32. The applicant shall submit a drainage plan addressing the proposed construction in compliance with all City of Dana Point standards for review and approval. The drainage plan shall clearly show all drainage from proposed improvements being directed to an approved outlet.

C. Prior to building plan check submittal, the applicant shall meet the following conditions:

33. Building(s) shall comply with the current editions of the Building Code with all local amendments.

34. Building plan check submittal shall include the following construction documents:

    - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
    - Energy Calculations (2 sets)
    - Structural Calculations (2 sets)
    - Soils/Geology Report (3 sets)
    - Drainage Plan

    All documents prepared by a registered-design-professional shall be wet-stamped & signed.

35. Fire Department review may be required. Submit plans directly to the

Orange County Fire Authority for their review.

36. Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.

37. Minimum roofing classification is Class "A".

38. Fire-rated Construction: Plans should clearly identify and detail the fire-rated construction for any construction due to close proximity to the property line.

39. Separate review, approval, and permits are required for separate structures.

40. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.

41. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.

42. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CAL Green requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

D. Prior to issuance of a building permit or release on certain related inspections, the applicant shall meet the following conditions:

43. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.

44. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

45. The applicant shall submit a rough grade certification from the Geotechnical Engineer/Engineering Geologist of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint. An as-drilled report addressing the proposed shoring shall also be submitted (with the rough grade certification) documenting the geotechnical aspects of the shoring.

46. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report and all addenda.

47. Prior to commencement of framing, the applicant shall verify, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the City, from finish wall materials to property-lines included as part of these entitlements. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.

48. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of this entitlement. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

49. Approvals are required from:

    - Planning Department

- Public Works
- Obtain Orange County Fire Authority Approval
- Obtain "*Will Serve*" letter from Water District.
- Provide an SDG&E service work order for proposed service location

50. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.

51. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.

52. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping especially within the coastal bluff edge setback and no irrigation, temporary or otherwise, shall be permitted seaward of the required 25-foot bluff edge setback deviation. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. Landscaping shall be maintained and installed so as to ensure that, during growing stages as well as at maturity, the landscaping will not obstruct public views along the coast.

    The landscape plans shall illustrate the coastal bluff edge and the coastal bluff edge setback and shall be in accordance with the approved grading plan and DPZC for improvements allowed within the approved coastal bluff edge setback. Any existing irrigation and any associated equipment located within the 25-foot bluff edge setback deviation and on the bluff face shall be removed prior to final sign-off of the landscape permit.

E. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

53. All landscaping and irrigation shall be installed per the approved final

landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Director of Community Development and the requisite documents (irrigation scheduling parameters, landscape and irrigation maintenance schedule, irrigation audit report, and soil analysis report if not submitted at permit issuance) as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.

54. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.

55. Verification of all conditions of approval is required by all City Departments.

56. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.

57. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.

58. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.

59. The final condition of the coastal bluff edge setback shall be in accordance with DPZC Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the coastal bluff edge setback.

60. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.

61. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the bluff edge setback.

62. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.

63. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to building final project sign-off.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 14th day of June, 2021, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric Nelson, Chair
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map

City of Dana Point
CDP20-0025; AMS21-0004; SDP20-0029(M)
Danny Giometti, Associate Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, Associate Planner)
Dana Point, CA 92629-1805

VICINITY MAP

Project *: CDP20-0025; AMS21-0004; SDP20-0029(M)*

Applicant: *Rios Architects*

Location: *61 Monarch Bay Drive*

N
W E
S

SUPPORTING DOCUMENT 3: Coastal Records Flyby 1972 Photograph

SUPPORTING DOCUMENT 4: Site Photos

SUPPORTING DOCUMENT 5: Architectural Plans, Grading Plans, Landscape Plans and Renderings

ATTACHMENT

A/C	AIR CONDITIONING	DIM	DIMENSION	INSUL	INSULATION	R.O.	ROUGH OPENING	VERT	VERTICAL
A/V	AUDIO VISUAL	DWG	DRAWING	INT	INTERIOR	RAD	RADIUS	W	WEST
ACOUS	ACOUSTIC(AL)	E	EAST	JT	JOINT	RCP	REFLECTED CEILING PLAN	W.C.	WATER CLOSET
ADJ	ADJUSTABLE or ADJACENT	E.J.	EXPANSION JOINT	L	LENGTH	REF	REFER(ENCE)	W.H.	WATER HEATER
ALT	ALTERNATE	EA	EACH	LAM	LAMINATE(D)	REFRIG	REFRIGERATOR	W.P.	WATER PROOFING
ALUM	ALUMINUM	ELEC	ELECTRIC(AL)	LAV	LAVATORY	REQ(D)	REQUIRED	W	WITH
AMSL	AVERAGE MEAN SEA LEVEL	ELEV	ELEVATION	MATL	MATERIAL	RM	ROOM	WO	WITHOUT
APPROX	APPROXIMATE(LY)	EQ	EQUAL	MAX	MAXIMUM	RWD	REDWOOD	WD	WOOD
ARCH	ARCHITECT(URAL)	EQUIP	EQUIPMENT	MECH	MECHANICAL	S	SOUTH		
AUTO	AUTOMATIC	EXH	EXHAUST	MFR	MANUFACTURER	S.F.	SQARE FEET or FOOT		
B.O.	BOTTOM OF	EXP	EXPANSION	MIN	MINIMUM	S.L.	SCORE LINE		
B.W.	BOTTOM OF WALL	EXT	EXTERIOR	MISC	MISCELLANEOUS	SCHED	SCHEDULE		
BD	BOARD	F.A.U.	FORCER AIR UNIT	MTL	METAL	SCW	SOLID CORE WOOD		
BLDG	BUILDING	F.F.	FINISH FLOOR	MULL	MULLION	SECT	SECTION		
BLKG	BLOCKING	F.G.	FINISH GRADE	MULTI	MULTI-TRUCK	SGL	SINGLE		
BM	BEAM	F.O.S.	FACE OF STUD	N	NORTH	SHT	SHEET		
BOT	BOTTOM	F.O.W.	FACE OF WALL	N.I.C.	NOT IN CONTRACT	SIM	SIMILAR		
BTWN	BETWEEN	F.R.	FIRE RATED	N.T.S.	NOT TO SCALE	SPEC	SPECIFICATION		
BYD	BEYOND	F.S.	FINISH SURFACE	N/A	NOT APPLICABLE	SQ	SQUARE		
C.I.P.	CAST IN PLACE	FDN	FOUNDATION	NO	NUMBER	ST. STL	STAINLESS STEEL		
C.J.	COLD JOINT	FIN	FINISH	O.C.	ON CENTER	STL	STEEL		
C.L.	CENTER LINE	FLR	FLOOR	O.D.	OUTSIDE DIAMETER	STN	STAIN(ED)		
CAB	CABINET	FR	FRAME	O.F.D.	OVER FLOW DRAIN	STOR	STORAGE		
CEM	CEMENT(ITOUS)	FT	FEET OR FOOT	O.H.	OVERHEAD	STRUCT	STRUCTURE(D) (AL)		
CLG	CEILING	FTG	FOOTING	OV	OVER	SUSP	SUSPENDED		
CLO	CLOSET	GA	GAUGE	OBS	OBSCURED	SYM	SYMMETRICAL		
CLR	CLEAR(ANCE)	GAL	GALLON	OPER	OPER(ATION) (ABLE)	T & G	TONGUE AND GROOVE		
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	OPP	OPPOSITE	T.C.	TOP OF CURB		
COL	COLUMN	GL	GLASS	P-LAM	PLASTIC LAMINATE	T.O.	TOP OF		
CONC	CONCRETE	GRD	GROUND	P.A.	PLANTED AREA	T.W.	TOP OF WALL		
COND	CONDITION	GWB	GYPSUM WALLBOARD	P.I.P.	POURED IN PLACE	TBD	TO BE DETERMINED		
CONST	CONSTRUCTION	GYP	GYPSUM	P.L.	PROPERTY LINE	TEMP	TEMPERED		
CTR	CENTER	H	HIGH	P.O.C.		TERM	TERMINATION		
CTSK	COUNTERSINK	H.B.	HOSE BIB			THK	THICK		
D.G.	DECOMPOSED GRANITE	H.P.	HIGH PERFORMANCE						
DBL	DOUBLE								

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE DEMOLISHED

A9A — WALL TYPE

MATERIAL TRANSITION

X'-X" — ELEVATION TRANSITION

ELEVATION DATUM POINT

CENTERLINE

PROPERTY LINE

XXXX — DOOR NUMBER (WITH SCHEDULE)

XXX — WINDOW NUMBER (WITH SCHEDULE)

1 — SHEET NOTE

XX — REVISION REFERENCE

? — FLOOR FINISH

? — WALL FINISH

? — CEILING FINISH

A101 — LOCATION OF VIEW WHERE SHOWN / SHEET WHERE SHOWN

XX SIM XXX-XX — DESCRIPTION OF SIMILAR OR OPPOSITE / DETAIL NUMBER / SHEET WHERE SHOWN

AREA TO BE DETAILED

1 SIM XXX-XX — BUILDING SECTION / DETAIL NUMBER / SHEET WHERE SHOWN

1 SIM XXX-XX — WALL SECTION / DETAIL NUMBER / SHEET WHERE SHOWN

1 SIM XXX-XX — DETAIL SECTION / DETAIL NUMBER / SHEET WHERE SHOWN

MATCH LINE REFERENCE

SEE 99 / XXXX.XX — SHEET WHERE SHOWN / DETAIL NUMBER

XX' - XX" — DIMENSION OF CEILING ABOVE FINISH FLOOR

ROOM NAME — ROOM NAME
101 — ROOM NUMBER
999.999 — ROOM AREA

NORTH — DRAWING NORTH

PHX: 323.780.1911
rios.com

PROJECT NO. 20071

ISSUE/DATE

NOT FOR CONSTRUCTION

MONARCH BAY

61 MONARCH BAY DRIVE, DANA POINT, CA 92629

NOT FOR CONSTRUCTION

PROJECT TEAM

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PROJECT DATA

PROJECT DESCRIPTION:	REMODEL AND ADDITION OF A ONE STORY HOUSE W/ (4) BEDROOMS, (5) BATHROOMS W/ ATTACHED 2 CAR GARAGE, NEW LOWER LEVEL AND NEW POOL
ADDRESS:	61 MONARCH BAY DRIVE, DANA POINT, CA 92629
LEGAL INFORMATION APN: LOT AREA: TRACT: MAP: BLOCK: LOT:	 678-141-16 17,600 PER CITY OF DANA POINT 18,837.56 SF PER SURVEY N TRK 2828 NIS N/A 29
ZONING:	RSF 4, RESIDENTIAL SINGLE FAMILY 4 DU/AC. COASTAL ZONE BOUNDARY (APPEAL JURISDICTION)
HOA:	MONARCH BAY HOA
BASELINE HILLSIDE ORDINANCE:	N/A
APPLICABLE CODE:	2019 CBC, 2019 CRC, 2019 CMC, 2019 CPC, 2019 CEC, 2019 CGBC & 2019 ENERGY STANDARDS
OCCUPANCY:	R-3/U
CONSTRUCTION TYPE:	TYPE V-B
STORIES:	2
LOT COVERAGE:	PROPOSED: TOTAL = 5,168.71 SF (29.4% LOT COVERAGE, CITY OF DANA POINT) TOTAL = 5,168.71 SF (27.4% LOT COVERAGE, SURVEY) ALLOWED: 17,600 * .45 = 7,920 SF (45% LOT AREA, CITY OF DANA POINT)) 18,837.56 * .45 = 8,477 SF (45% LOT AREA, SURVEY)
IMPERVIOUS AREA	PROPOSED: 7,114 SF (37.8% LOT AREA) ALLOWED: 17,600 SF * .50 = 8,800 SF (LOT AREA, CITY OF DANA POINT) 18,837.56 SF * .50 = 9,418.78 SF (LOT AREA, SURVEY)
GRADING:	TOTAL CUT: XX CU YDS TOTAL FILL: XX CU YDS TOTAL IMPORT: XX CU YDS TOTAL EXPORT: XX CU YDS
PARKING:	REQUIRED 4 SPACES (2 COVERED + 2 UNCOVERED) PROVIDED 4 SPACES (2 COVERED + 2 UNCOVERED)
SPRINKLERS:	YES, NFPD 13, THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
VOLUNTARY DEMOLITION CALCULATIONS	TOTAL LENGTH OF EXISTING WALLS: 788'-8 81/128" TOTAL LENGTH OF DEMOLISHED WALLS: 336'-8 15/64" DEMOLISHED WALL RATIO: 42.69%

FLOOR AREA CALCULATIONS

BUILDING CODE FLOOR AREA	LOWER LEVEL	GROUND FLOOR	GARAGE	COVERED PORCHES	TOTAL
• EXISTING	N/A	2,114	415	869	3,398
• NEW	1,537	1,376	121	103	3,137
• TOTAL	1,537	3,490	534	972	6,533

POOL (UNDER SEPARATE PERMIT)

• EXISTING	N/A
• NEW	240
• TOTAL	240

DEVELOPMENT STANDARDS, RSF 4

	REQUIRED	EXISTING	PROPOSED
F.Y. SETBACK	20'	NONCONFORMING	MAINTAIN (E) NONCONFORMING W/ VARIANCE. (N) ADDITION TO MAINTAIN FYSB.
S.Y. SETBACK	5'	6'-7 5/8" (EAST) 7'-1 3/8" (WEST)	5'-9 1/4" (EAST) 7'-5 1/8" (WEST)
R.Y. (BLUFF)	25'	NONCONFORMING	NO CHANGE
HEIGHT (PER DP22) HEIGHT (PER HOA)	28' MAX, (2) STORIES 15' MAX	11'-1 1/2" 10'-4 1/2"	12'-1 3/4" 11'-4 1/2"
LOT COVERAGE LANDSCAPE COVERAGE	45% MAX 25%	15.8%* 56.7%*	27.4%* 60.9%*

* THESE VALUES INCORPORATE THE LOT AREA PROVIDED BY SURVEYOR. SEE CALCULATIONS AT PAGE LEFT FOR MORE INFORMATION.

SHEET INDEX

SHEET LIST - GENERAL		
GENERAL		
SHEET NO	SHEET NAME	Issue 1
T0.01	TITLE SHEET	•
T0.02	GENERAL NOTES	•
T0.03	GENERAL NOTES	
TY.00	TOPOGRAPHIC SURVEY	

SHEET LIST - CIVIL		
ARCHITECTURAL		
SHEET NO	SHEET NAME	Issue 1
C1	PRELIMINARY GRADING PLAN	
C2	PRELIMINARY GRADING PLAN CROSS SECTIONS	

SHEET LIST - ARCHITECTURAL		
ARCHITECTURAL		
SHEET NO	SHEET NAME	Issue 1
A0.00	SITE PLAN	
A1.00	SITE DEMOLITION PLAN	
A1.01	DEMOLITION PLAN - FIRST FLOOR	
A1.02	DEMOLITION PLAN - ROOF	
A1.03	DEMOLITION EXTERIOR ELEVATIONS	
A1.04	DEMOLITION EXTERIOR ELEVATIONS	
A2.00	FRAMING PLAN - LOWER LEVEL	
A2.01	FRAMING PLAN - FIRST FLOOR	
A2.01A	FOUNDATION PLAN	
A3.01	EXTERIOR ELEVATIONS	
A3.02	EXTERIOR ELEVATIONS	
A4.01	BUILDING SECTIONS	
A4.02	BUILDING SECTIONS	
A4.03	BUILDING SECTIONS	
A5.00	ROOF PLAN	

SHEET LIST - LANDSCAPE		
LANDSCAPE		
SHEET NO	SHEET NAME	Issue 1
L6.10	IRRIGATION PLAN	
L6.20	IRRIGATION LEGEND AND NOTES	
L6.30	IRRIGATION DETAILS	
L6.40	IRRIGATION DETAILS	
L7.10	PLANTING PLAN	
L9.01	PLANTING DETAILS	

SHEET LIST - FOR REFERENCE		
SHEET NO	SHEET NAME	Issue 1
A1.10	SITE DETAILS, FOR REFERENCE ONLY	
A6.01	TYPICAL DETAILS, FOR REFERENCE ONLY	
A6.21	DOOR DETAILS, FOR REFERENCE ONLY	
A6.31	WINDOW DETAILS, FOR REFERENCE ONLY	
T5.01	FLOOR AREA CALCULATIONS	
T4.01	INTERIOR DOOR SCHEDULE	
T4.02	EXTERIOR DOOR SCHEDULE	
T4.03	WINDOW + SKYLIGHT SCHEDULE	

MONARCH BAY

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

ISSUE		
4	2/5/21	CDP Rev 1
5	6/11/21	CDP Rev 2

ISSUED

REVISED

TITLE SHEET

DRAWING TITLE

DATE 6/9/2021 2:55:16 PM

SCALE As indicated (WHEN PRINTED ON 30"X42" SHEET)

DRAWING NO. T0.01

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FLOOR AREA CALCULATIONS

BUILDING CODE FLOOR AREA		EXISTING:	NEW:	TOTAL:
	FIRST FL.	2,114	1,376	3,490
	LOWER LEVEL	N/A	1,537	1,537

GENERAL NOTES

1.0 GENERAL

1.01 THE PROVISIONS OF THE AMERICAN INSTITUTE OF ARCHITECTS (AIA) DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE A PART OF THESE CONTRACT DOCUMENTS EXCEPT AS SPECIFICALLY AGREED TO IN WRITING BY ALL PARTIES.

1.02 REFERENCES IN THESE NOTES TO APPLICABLE CODES SHALL INCLUDE COMPREHENSIVELY THE LATEST EDITION OF ALL FEDERAL, REGIONAL, STATE, CITY, FIRE DEPARTMENT AND LOCAL CODES, LAWS, ORDINANCES, ORDERS, RULES, AND GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY WITH THE APPLICABLE CODES AND COMPLY FULLY AS REQUIRED.

1.03 REFERENCES IN THESE NOTES TO THE CONTRACTOR SHALL APPLY TO THE CONTRACTOR, HIS AGENTS, ALL SUB CONTRACTORS AND ALL OTHERS EMPLOYED BY THE CONTRACTOR FOR THE PURPOSE OF THE EXECUTION OF THE WORK.

1.04 REFERENCES IN THESE NOTES TO THE BUILDING OWNER OR ARCHITECT SHALL INCLUDE ALL AUTHORIZED AGENTS OR REPRESENTATIVES OF THESE PARTIES.

1.05 REFERENCES IN THESE NOTES TO THE WORK SHALL INCLUDE ALL ELEMENTS AND COMPONENTS OF THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS WHETHER OR NOT SPECIFICALLY IDENTIFIED.

2.0 CODES

2.01 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LABOR CODES. DISCRIMINATION IN ANY FORM WILL NOT BE PERMITTED OR TOLERATED.

2.02 THIS PROJECT SHALL COMPLY WITH THE 2013 CALIFORNIA RESIDENTIAL CODE W/ 2014 LOS ANGELES AMENDMENTS, 2013 C.M.C., 2013 C.P.C., 2013 C.E.C.

2.03 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND CONSTRUCTION SAFETY CODES.

2.04 THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING LIFE SAFETY PROVISIONS DURING THE COURSE OF CONSTRUCTION IN COMPLIANCE WITH APPLICABLE CODES, AND TO THE SATISFACTION OF THE BUILDING OWNER INCLUDING BUT NOT LIMITED TO EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, FIRE AND SECURITY ALARMS, RATED ENCLOSURES, AND OTHER PERTINENT PROVISIONS.

2.05 THE OWNER OR ARCHITECT DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH APPLICABLE CODES.

2.06 WHERE DISCREPANCIES OR CONFLICTS OCCUR BETWEEN APPLICABLE CODES AND/OR THE CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENTS SHALL APPLY UNLESS AGREED TO IN WRITING BY THE GOVERNING JURISDICTION.

2.07 ALL UTILITY CONDUCTORS INCLUDING ELECTRICAL SERVICE, TELEPHONE SERVICE, AND CABLE TELEVISION MUST BE PLACED UNDERGROUND FROM THEIR POINT OF ORIGIN AT THE SCE TRANSFORMER OR UTILITY YARD BOX TO THE SERVICE METER OR TERMINATION POINT AT THE STRUCTURE.

3.0 LICENSING

3.01 THE CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE A VALID LICENSE APPROPRIATE FOR THE WORK PERFORMED UNDER THIS CONTRACT AS REQUIRED. COPIES OF THESE LICENSES SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.

4.0 INSURANCE

4.01 CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE WORKMEN'S COMPENSATION INSURANCE AS REQUIRED BY THE APPLICABLE CODES. COPIES OF CERTIFICATES OF INSURANCE SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.

4.02 CONTRACTOR SHALL OBTAIN AND MAINTAIN IN FORCE LIABILITY INSURANCE AS REQUIRED BY THE CONTRACT FOR CONSTRUCTION. THE LIMITS AND AMOUNTS OF INSURANCE COVERAGE SHALL BE AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION. COPIES OF CERTIFICATES OF INSURANCE SHALL BE MADE AVAILABLE TO THE OWNER OR ARCHITECT UPON REQUEST.

5.0 BUILDING OWNER

5.01 THE CONTRACTOR SHALL CONTACT THE BUILDING OWNER TO DETERMINE ALL RULES GOVERNING THE EXECUTION OF THE WORK AT THE SITE OR WITHIN THE BUILDING AND SHALL FULLY COMPLY WITH SUCH RULES TO THE SATISFACTION OF THE BUILDING OWNER THROUGHOUT THE COURSE OF CONSTRUCTION.

5.02 ALL LIMITATIONS ON THE EXECUTION AND COMPLETION OF THE WORK SHALL BE IDENTIFIED PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS AND SHALL BE CONSIDERED AND INCLUDED IN THE COST OF THE WORK.

5.03 USE OF BUILDING FACILITIES FOR DELIVERY, LOADING, STORAGE, TRANSPORT AND PLACEMENT OF MATERIALS AND EQUIPMENT NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SCHEDULED AND APPROVED AS REQUIRED BY THE BUILDING OWNER.

5.04 UNDER NO CIRCUMSTANCES WILL ADDITIONAL COMPENSATION BE ALLOWED FOR THE EXECUTION AND COMPLETION OF THE WORK SOLELY AS A RESULT OF THE OWNER'S REQUIREMENTS

5.05 ALL PROJECT CORRESPONDENCE ORIGINATING FROM THE CONTRACTOR TO THE BUILDING OWNER OR ARCHITECT SHALL BE COPIED TO THE OTHER PARTY.

6.0 PROJECT SITE

6.01 THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR THE COORDINATION OF THE WORK WITH ALL CONDITIONS AND DIMENSIONS OF THE PROJECT SITE AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION OF THE PLANS PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS FOR THE WORK.

6.02 UNDER NO CIRCUMSTANCES WILL ADDITIONAL COMPENSATION BE ALLOWED FOR THE EXECUTION OF THE WORK SOLELY AS A RESULT OF THE EXISTING CONDITIONS.

6.03 SUBMITTAL OF CONSTRUCTION BIDS SHALL BE DEEMED AS EVIDENCE THAT THE CONTRACTOR HAS REVIEWED THE EXISTING CONDITIONS AND HAS INCLUDED COSTS FOR THE INHERENT CONDITIONS AND/OR DIFFICULTIES WHICH AFFECT THE EXECUTION AND COMPLETION OF THE WORK.

6.04 THE CONTRACTOR SHALL FURNISH AND PAY THE COST OF ALL TEMPORARY SERVICES COMPLETELY AS REQUIRED FOR THE EXECUTION AND COMPLETION OF THE WORK. UPON COMPLETION OF THE WORK, SUCH TEMPORARY FACILITIES ARE TO REMOVED AND CONDITIONS RESTORED TO THEIR ORIGINAL STATE AT THE CONTRACTORS EXPENSE.

6.05 THROUGHOUT ALL PHASES OF CONSTRUCTION, INCLUDING SUSPENSION OF THE WORK, AND UNTIL FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL KEEP THE PROJECT SITE CLEAN AND FREE FROM THE ACCUMULATION OF RUBBISH AND DEBRIS. THE CONTRACTOR SHALL ABATE DUST NUISANCE AS NECESSARY. ALL RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AS LAWFULLY REQUIRED.

6.06 MATERIALS AND EQUIPMENT SHALL BE REMOVED FROM THE PROJECT SITE AS SOON AS THEY ARE NO LONGER NECESSARY FOR THE EXECUTION OF THE WORK.

7.0 PERMITS

7.01 NO WORK IS TO BE PERFORMED WITHOUT PERMITS REQUIRED BY THE APPLICABLE CODES.

7.02 THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR THE COSTS OF ALL PERMITS, APPROVALS, TESTING, AND INSPECTIONS REQUIRED BY THE APPLICABLE CODES UNLESS AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION.

7.03 THE CONTRACTOR SHALL PROVIDE COPIES OF ALL PERMITS AS REQUESTED BY THE BUILDING OWNER OR THE ARCHITECT.

8.0 CONTRACT DRAWINGS AND DOCUMENTS

8.01 ALL DETAILS, SECTIONS AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS NOTED OTHERWISE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT ARCHITECT BEFORE PROCEEDING WITH THE WORK.

8.02 DIMENSIONS ARE CONSIDERED TO BE "NOMINAL" UNLESS OTHERWISE NOTED. ALL MEASUREMENTS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.

8.03 ALL DIMENSIONS HAVE PREFERENCE OVER SCALE. DO NOT SCALE DRAWINGS

8.04 IN THE EVENT THAT QUESTIONS ARISE WITH RESPECT TO THE INTENT OF THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION OF THE INTENT.

8.05 IT IS THE INTENTION OF THESE DOCUMENTS TO PROVIDE A PROJECT COMPLETE AND READY FOR OCCUPANCY IN EVERY RESPECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS RESULT AND SHALL NOTIFY THE ARCHITECT OF APPARENT DEFICIENCIES PRIOR TO THE SUBMITTAL OF CONSTRUCTION BIDS.

8.06 THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ANY REQUESTS FOR MODIFICATIONS TO THE CONTRACT DOCUMENTS IN THE FORM OF FIELD DRAWINGS, SHOP DRAWINGS, SAMPLES OR OTHER MEANS APPROPRIATE WITH SPECIFIC CHANGES IDENTIFIED FOR REVIEW.

9.0 CONSTRUCTION FACILITIES

9.01 THE CONTRACTOR SHALL PROVIDE THROUGH THE COURSE OF CONSTRUCTION A JOBSITE OFFICE COMPLETE WITH TEMPORARY TELEPHONE SERVICE AND FACSIMILE, THE ARCHITECT SHALL BE NOTIFIED AS TO THE TELEPHONE NUMBERS.

9.02 THE CONTRACTOR SHALL MAINTAIN ON THE PROJECT SITE A CURRENT SET OF THE CONSTRUCTION DOCUMENTS FOR REFERENCE BY ALL TRADES, AND SHALL UPDATE SUCH DOCUMENTS TO INSURE COORDINATION OF ANY CHANGES WHICH OCCUR DURING THE CONSTRUCTION PHASE.

9.03 THE CONTRACTOR SHALL DESIGNATE A REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR AND SHALL BE PRESENT AT THE PROJECT SITE WHENEVER WORK IS IN PROGRESS. THE ARCHITECT SHALL BE NOTIFIED AS TO THE NAME OF THE REPRESENTATIVE.

9.04 THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE SANITATION FACILITIES FOR CONSTRUCTION PERSONNEL THROUGH THE COURSE OF CONSTRUCTION AS APPROVED BY THE BUILDING OWNER AND AS REQUIRED BY GOVERNING AUTHORITIES.

10.0 COORDINATION

10.01 THE CONTRACTOR, UPON COMMENCING WITH THE WORK SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE BUILDING OWNER AND THE ARCHITECT DESCRIBING THE CHRONOLOGICAL PHASES OF THE EXECUTION AND COMPLETION OF THE WORK.

10.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTOR TRADES AND SHALL SCHEDULE THESE TRADES TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE WORK.

10.03 THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION DRAWINGS FOR THE SIZE AND LOCATION OF WALL, FLOOR AND ROOF AND SHAFT OPENINGS, WALL OFFSETS, PROVISIONS FOR EQUIPMENT, ATTACHMENT AND MOUNTING OF FIXTURES, BACKING, INSERTS,OTHER EMBEDDED ITEMS, HARDWARE, PIPE, VENT, DUCT AND CONDUIT AND SCHEDULE THE INSTALLATION OF THESE ITEMS TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE WORK.

10.04 THE CONTRACTOR SHALL ALSO COORDINATE AND COOPERATE WITH ALL OTHER TRADES UNDER SEPARATE CONTRACT WITH THE OWNER TO MAINTAIN A LOGICAL SEQUENCE FOR THE EXECUTION AND COMPLETION OF THE PROJECT.

11.0 PROTECTION

11.01 THE CONTRACTOR SHALL PROTECT EXISTING CONDITIONS AND NEW CONSTRUCTION FROM DAMAGE DURING CONSTRUCTION.

11.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE AREA OF WORK AS REQUIRED TO PREVENT DAMAGE AND/OR LOSS OF MATERIALS, EQUIPMENT, AND PRODUCTS ASSOCIATED WITH THE WORK.

11.03 THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS AND SHORING REQUIRED FOR SUPPORT OF ALL CONSTRUCTION LOADS AND PROTECTION OF EXISTING CONDITIONS TO REMAIN DURING DEMOLITION AND/OR CONSTRUCTION.

11.04 THE CONTRACTOR SHALL PROTECT ALL COMPLETED WORK FROM THE DETRIMENTAL EFFECTS OF THE SUBSEQUENT PHASES OR TRADES AS NECESSARY TO PREVENT DAMAGE AND DEFECTS.

11.05 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL, REPAIR, AND REPLACEMENT OF ALL DAMAGED AND DEFECTIVE MATERIALS AND WORKMANSHIP TO THE SATISFACTION OF THE BUILDING OWNER AND THE ARCHITECT.

12.0 MATERIALS AND WORKMANSHIP

12.01 ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE NATIONAL ASSOCIATIONS OF THE VARIOUS TRADES.

12.02 UNLESS NOTED TO THE CONTRARY, ALL MATERIALS AND EQUIPMENT ARE TO BE NEW.

12.03 ONLY COMPETENT WORKERS SKILLED IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED ON THE WORK.

12.04 THE ARCHITECT SHALL HAVE ACCESS TO THE PROJECT SITE AT ALL TIMES DURING THE EXECUTION OF THE WORK.

12.05 WORKMANSHIP PROVIDED FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL CONFORM TO THE HIGHEST STANDARDS OF THE TRADE.

12.06 MATERIALS SHALL BE MANUFACTURED, HANDLED, AND INCORPORATED INTO THE WORK IN A WORKMANLIKE MANNER AND IN CONFORMANCE WITH THE SPECIFICATIONS AND INSTRUCTIONS OF THE MANUFACTURER.

12.07 WHERE REQUIRED BY APPLICABLE CODES, MATERIALS SHALL BEAR MARKINGS AND IDENTIFICATION AS REQUIRED.

13.0 CLOSE OUT

13.01 UPON COMPLETION OF THE WORK, CONTRACTOR SHALL LEAVE SITE AND BUILDING CLEAN AND SUITABLE FOR OCCUPANCY TO THE SATISFACTION OF THE ARCHITECT AND THE BUILDING OWNER.

13.02 A LIST OF CORRECTIVE MEASURES REQUIRED FOR COMPLETION SHALL BE DEVELOPED BY THE ARCHITECT AND ADDRESSED BY THE CONTRACTOR IN AN EXPEDITIOUS MANNER.

13.03 ALL CONSTRUCTION ACCESS PATHS, DELIVERY AND STORAGE AREAS, SHAFTS, PLENUMS, CONCEALED SPACES, AND OTHER AREAS AFFECTED BY CONSTRUCTION OPERATIONS SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF THE ARCHITECT AND THE BUILDING OWNER.

13.04 THE CONTRACTOR SHALL PROVIDE RECORDS OF ALL INSPECTIONS AND TESTS PERFORMED IN CONJUNCTION WITH THE WORK AS WELL AS ALL MANUFACTURERS' WARRANTIES, GUARANTIES, INSTRUCTION SHEETS, AND PARTS LISTS PROVIDED FOR MATERIALS AND EQUIPMENT INCORPORATED INTO THE WORK.

13.05 CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF AT LEAST ONE YEAR BEYOND THE DATE OF COMPLETION UNLESS SPECIFICALLY AGREED TO IN WRITING PRIOR TO THE AWARD OF A CONTRACT FOR CONSTRUCTION.

VERY HIGH FIRE HAZARD SEVERITY ZONE NOTES

A. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)

B. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE (914MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (705A.3)

C. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (705A.4)

D. (ROOF) (ATTIC)(EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4 –INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (706A.1, 706A.2, 706A.3, 7207.3)

E. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (707A.5.5)

F. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1 (704A.3)

G. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (704A.3.1)

H. EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING- GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE- RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (708A.2.1)

I. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 ¼ INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2074. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS) (708A.3)

J. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC.709A.3

K. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION- RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (707A.8)

L. BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (707A.8, 7207.1)

M. ALL UTILITIES, PIPES, FURNANCES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE CONSTRUCTION.(7207.2)

N. THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 705A.2.L

O. NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE.

P. TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN NO. P/BC 2008-023).

SECURITY REQUIREMENTS

GENERAL:

1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAD A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER , THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OF THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.

2. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. 91.6707

DOORS:

1. WOOD FLUSH-TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB.

2. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FT. ON THE EXTERIOR.

3. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM THE OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH _" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICES FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.

4. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY OPERATED LOCKS ON THE EXTERIOR. LOCKS MUST BE OPERABLE FORM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.

5. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".

6. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT SEPARATED BY MORE THAN 8 INCHES.

7. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" AND 3" IN WIDTH.

8. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED POSITION.

9. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1.

10. METAL OR WOODEN OVERHEAD OR SLIDING DOOR SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED.

11. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.

GLAZING:

1. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREEN OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS.

2. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.

3. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.

4. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24" FOR THE CLOSEST OPENING THROUGH SUCH MEAT BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.

OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS:

1. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS NO LESS THAN 6" IN ONE DIMENSION.

ENERGY EFFICIENCY

1. OPERATING INFORMATION. THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT OCCUPANCY, OPERATING INFORMATION FOR ALL APPLICABLE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING. OPERATING INFORMATION SHALL INCLUDE INSTRUCTIONS ON HOW TO OPERATE THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES CORRECTLY AND EFFICIENTLY. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR. FOR RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL BE CONTAINED IN A FOLDER OR MANUAL WHICH PROVIDES ALL CERTIFICATE OF COMPLIANCE, CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION DOCUMENTATION. THIS OPERATING INFORMATION SHALL BE IN PAPER OR ELECTRONIC FORMAT. [10-103(B)(2)]

2. MAINTENANCE INFORMATION. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY, MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT OR MANUFACTURED DEVICE. [10-103(B)(3)]

3. ALL SYSTEMS, EQUIPMENT AND/OR BUILDING COMPONENTS SHALL COMPLY WITH THE APPLICABLE MANUFACTURER PROVISIONS AND INSTALLATION PROVISIONS OF SECTIONS 110.0 THROUGH 110.10.

4. ANY APPLIANCE REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS, TITLE 20 CALIFORNIA CODE OF REGULATIONS, SECTION 1601 ET SEQ., MAY BE INSTALLED ONLY IF THE APPLIANCE FULLY COMPLIES WITH SECTION 1608(A) OF THOSE REGULATIONS. [110.1]

5. SERVICE WATER-HEATING SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC TEMPERATURE CONTROLS CAPABLE OF ADJUSTMENT FROM THE LOWEST TO THE HIGHEST ACCEPTABLE TEMPERATURE SETTINGS FOR THE INTENDED USE AS LISTED IN TABLE 3, CHAPTER 50 OF THE ASHRAE HANDBOOK, HVAC APPLICATIONS VOLUME. [110.3(A)(1)]

6. ON SYSTEMS THAT HAVE A TOTAL CAPACITY GREATER THAN 167,000 BTU/HR, OUTLETS THAT REQUIRE HIGHER THAN SERVICE WATER TEMPERATURES AS LISTED IN THE ASHRAE HANDBOOK, APPLICATIONS VOLUME, SHALL HAVE SEPARATE REMOTE HEATERS, HEAT EXCHANGERS, OR BOOSTERS TO SUPPLY THE OUTLET WITH THE HIGHER TEMPERATURE. [110.3(C)(1)]

7. SERVICE HOT WATER SYSTEMS WITH CIRCULATING PUMPS OR WITH ELECTRICAL HEAT TRACE SYSTEMS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF THE SYSTEM. [110.3(C)(2)]

8. CONTROLS FOR SERVICE WATER-HEATING SYSTEMS SHALL LIMIT THE OUTLET TEMPERATURE AT PUBLIC LAVATORIES TO 110°F. [110.3(C)(3)]

9. UNFIRED SERVICE WATER-HEATER STORAGE TANKS AND BACKUP TANKS FOR SOLAR WATER-HEATING SYSTEMS SHALL HAVE:
A) EXTERNAL INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-12, OR
B) INTERNAL AND EXTERNAL INSULATION WITH A COMBINED R-VALUE OF AT LEAST R-16, OR
C) THE HEAT LOSS OF THE TANK SURFACE, BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU/HR PER SQUARE FOOT. [110.3 (C)(4)]

10. SPACE CONDITIONING EQUIPMENT SHALL MEET THE EFFICIENCY STANDARDS SPECIFIED SECTION 120.2.

11. PILOT LIGHTS SHALL BE PROHIBITED FOR: [110.5]
A) FAN-TYPE CENTRAL FURNACES
B) HOUSEHOLD COOKING APPLIANCES, EXCEPT FOR HOUSEHOLD COOKING APPLIANCES WITHOUT AN ELECTRICAL SUPPLY VOLTAGE CONNECTION AND IN WHICH EACH PILOT CONSUMES LESS THAN 150 BTU/HR
C) POOL HEATERS
D) SPA HEATERS

12. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT SHALL:
A) A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS
B) HAVE A READILY ACCESSIBLE ON-OFF SWITCH, MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING.
C) NOT UTILIZE ELECTRIC RESISTANCE HEATING.
D) HAVE A THERMAL INSULATION COVER FOR OUTDOOR POOLS OR SPAS THAT HAVE A HEAT PUMP OR GAS HEATER.
E) HAVE A PERMANENT, READABLE, WEATHERPROOF INSTRUCTION CARD THAT GIVES INSTRUCTIONS FOR THE PROPER, ENERGY EFFICIENT OPERATION OF THE POOL OR SPA HEATER.
F) HAVE AT LEAST 36 INCHES OF PIPE BETWEEN THE FILTER AND HEATER OR DEDICATED SUCTION AND RETURN LINES,OR BUILT-IN OR BUILT-UP CONNECTIONS SHALL BE INSTALLED TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT.
G) HAVE DIRECTIONAL INLETS FOR THE POOL OR SPA THAT ADEQUATELY MIX THE POOL WATER.
H) A TIME SWITCH OR SIMILAR CONTROL MECHANISM SHALL BE INSTALLED AS PART OF A POOL WATER CIRCULATION CONTROL SYSTEM THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING THE OFF-PEAK ELECTRIC DEMAND PERIOD AND FOR THE MINIMUM TIME NECESSARY TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY APPLICABLE PUBLIC HEALTH STANDARDS.

13. MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING 0.3 CFM/FT2 OF WINDOW AREA, 0.3 CFM/FT2 OF RESIDENTIAL DOOR AREA, 0.3 CFM/FT2 OF NONRESIDENTIAL SINGLE DOOR AREA, AND 1.0 CFM/FT2 OF NONRESIDENTIAL DOUBLE DOOR AREA. [110.6(A)(1)]

14. FENESTRATION PRODUCTS SHALL BE CERTIFIED FOR OVERALL U-VALUES AND OVERALL SHGC, AND SHALL HAVE A TEMPORARY LABEL WHICH LISTS THE CERTIFIED U-VALUE AND SHGC, AND CERTIFIES THAT APPLICABLE AIR INFILTRATION REQUIREMENTS ARE MET. [110.6(A)(2), 110.6(A)(5)]

15. FIELD MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS, OTHER THAN UNFRAMED GLASS DOORS AND FIRE DOORS, SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCTS OR EXTERIOR DOOR AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED. ([110.6(A)(6)]

16. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. [110.7]

17. INSULATION SHALL BE CERTIFIED BY DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHING AND THERMAL INSULATION THAT THE INSULATION CONDUCTIVE THERMAL PERFORMANCE IS APPROVED PURSUANT TO THE CALIFORNIA CODE OF REGULATIONS. ([110.8(A)]

18. UREA FORMALDEHYDE FOAM INSULATION MAY ONLY BE USED IN EXTERIOR SIDE WALLS, AND REQUIRES A FOUR-MIL-THICK PLASTIC POLYETHYLENE VAPOR BARRIER BETWEEN THE UREA FORMALDEHYDE FOAM INSULATION AND THE INTERIOR SPACE. ([110.8(B)]

19. INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE CBC. ([110.8(C)] 20. INSULATION INSTALLED ON AN EXISTING SPACE CONDITIONING DUCT, IT SHALL COMPLY WITH SECTION 605 OF THE CMC. ([110.8(D)(3)]

21. EXTERNAL INSULATION INSTALLED ON AN EXISTING UNFIRED WATER STORAGE TANK OR ON AN EXISTING BACK-UP TANK FOR A SOLAR WATER-HEATING SYSTEM, IT SHALL HAVE AN R-VALUE OF AT LEAST R-12, OR THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80 EF WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU PER HOUR PER SQUARE FOOT.([110.8(D)(2)]

22. THE OPAQUE PORTIONS OF FRAMED DEMISING WALLS SHALL HAVE INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-13 BETWEEN FRAMING MEMBERS. ([110.8(F)]

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RESIDENTIAL NOTES

1. A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE THE FOLLOWING:
   A) CLOSABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX
   B) A COMBUSTION AIR INTAKE TO DRAW AIR FORM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX. WHICH IS AT LEAST SIX SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER OR COMBUSTION-AIR CONTROL DEVICES.
   C) A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL. (TITLE 24, PART 6, CHAPTER 7, SECTION 150 (E))

2. ALL HEATING AND/OR COOLING SYSTEMS OTHER THAT WOOD STOVES SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM OR OTHER SETBACK MECHANISM APPROVED BY THE EXECUTIVE DIRECTOR OF THE CALIFORNIA ENERGY COMMISSION THAT SHUTS THE SYSTEM OFF DURING PEAK PERIODS OF NONUSE AND THAT ALLOWS THE BUILDING OCCUPANT TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST TWO PERIODS.

3. THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT OF ANY LOOSE-FILL INSTALLATION SHALL CONFORM WITH THE INSULATION MANUFACTURER'S LABELED R-VALUE (TITLE 24, PART 6, CHAPTER 7. SECTION 150 (B))

4. INSULATION SHALL BE PROVIDED FOR WATER HEATERS AS FOLLOWS:
   A) STORAGE GAS WATER HEATERS WITH AN ENERGY FACTOR < 0.58 SHALL BE EXTREMELY WRAPPED WITH INSULATION HAVING AN INSULATED THERMAL RESISTANCE OF R-12 OR GREATER.
   B) UNFIRED HOT WATER TANKS, SUCH AS STORAGE TANKS AND BACKUP STORAGE TANKS FOR SOLAR WATER-HEATING SYSTEMS, SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF R-12 OR GREATER OR HAVE INTERNAL INSULATION OF AT LEAST R-16 AND A LABEL ON THE EXTERIOR OF THE TANK SHOWING THE INSULATION R-VALUE.
   C) PIPING, WHETHER BURIED OR UNBURIED, FOR RECIRCULATION SECTIONS OF DOMESTIC HOT WATER SYSTEMS, PIPING FROM THE HEATING SOURCE TO THE STORAGE TANK FOR AN INDIRECT-FIRED DOMESTIC WATER-HEATING SYSTEM AND THE FIRST FIVE FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON-RECIRCULATION SYSTEMS AND COOLING SYSTEMS SHALL BE THERMALLY INSULATED SPECIFIES IN SUBSECTION A & B.
   D) SOLAR WATER-HEATING SYSTEMS AND/OR COLLECTORS SHALL BE CERTIFIED BY THE SOLAR RATING AND CERTIFICATION CORPORATION. (TITLE 24, PART 6, CHAPTER 7, SECTION 150 (J))

LIGHTING

1. LUMINAIRE REQUIREMENTS.
   A. LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.
   B. BLANK ELECTRICAL BOXES. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL.
   C. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
      i. BE LISTED, AS DEFINED IN SECTION 100.1, FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UNDERWRITERS LABORATORIES OR OTHER NATIONALLY RECOGNIZED TESTING/RATING LABORATORY; AND
      ii. HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. AN EXHAUST FAN HOUSING SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; AND
      iii. BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK;
      iv. FOR LUMINAIRES WITH HARDWIRED BALLASTS OR DRIVERS, ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CEILING WITHOUT REQUIRING THE CUTTING OF HOLES IN THE CEILING; AND
      v. SHALL NOT CONTAIN SCREW BASE SOCKETS; AND
      vi. SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT APPENDIX JA8, INCLUDING THE ELEVATED TEMPERATURE REQUIREMENTS, AND THAT ARE MARKED "JA8-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
   D. ELECTRONIC BALLASTS. BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER SHALL BE ELECTRONIC AND SHALL HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.
   E. NIGHT LIGHTS. PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE RATED TO CONSUME NO MORE THAN FIVE WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN AS DETERMINED IN ACCORDANCE WITH SECTION 130.0(C). NIGHT LIGHTS SHALL NOT BE REQUIRED TO BE CONTROLLED BY VACANCY SENSORS.
   F. LIGHTING INTEGRAL TO EXHAUST FANS. LIGHTING INTEGRAL TO EXHAUST FANS SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 150(K).
   EXCEPTION TO SECTION 150.0(K)1F: LIGHTING INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS.
   G. SCREW BASED LUMINAIRES. SCREW BASED LUMINAIRES SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS:
      i. THE LUMINAIRES SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND
      ii. THE LUMINAIRES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8; AND
      iii. THE INSTALLED LAMPS SHALL BE MARKED WITH "JA8-2016" OR "JA8-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.
   EXCEPTION TO SECTION 150.0(K)1G: LUMINAIRES WITH HARD-WIRED BALLASTS FOR HIGH INTENSITY DISCHARGE LAMPS.
   H. ENCLOSED LUMINAIRES. LIGHT SOURCES THAT ARE NOT MARKED "JA8-2016-E" SHALL NOT BE INSTALLED IN ENCLOSED LUMINAIRES.
2. INTERIOR LIGHTING SWITCHING DEVICES AND CONTROLS.
   A. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SSL 7A.
   B. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
   EXCEPTION TO SECTION 150.0(K)2B: LIGHTING INTEGRAL TO AN EXHAUST FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0(K)2 WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
   C. LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
   D. LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
   E. NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR VACANCY SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION 150.0(K).
   F. LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 110.9.
   G. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9, MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5(F), AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K)2.
   H. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A VACANCY SENSOR IN ACCORDANCE WITH SECTION 110.9, MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS IN SECTION 130.4, THE EMCS REQUIREMENTS IN SECTION 130.5(F), AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K)2.
   I. A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN SECTION 150.0(K) IF AT A MINIMUM IT PROVIDES THE FUNCTIONALITY OF A DIMMER IN ACCORDANCE WITH SECTION 110.9, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN SECTION 150.0(K)2.
   J. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
   K. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.

   EXCEPTION 1 TO SECTION 150.0(K)2K: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET.
   EXCEPTION 2 TO SECTION 150.0(K)2K: LUMINAIRES IN HALLWAYS.

   L. UNDERCABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
3. RESIDENTIAL OUTDOOR LIGHTING. IN ADDITION TO MEETING THE REQUIREMENTS OF SECTION 150.0(K)1A, LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE:
   A. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL MEET THE REQUIREMENT IN ITEM I AND THE REQUIREMENTS IN EITHER ITEM II OR ITEM III:
      i. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW; AND
      ii. CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
      iii. CONTROLLED BY ONE OF THE FOLLOWING METHODS:
   a. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE SHALL AUTOMATICALLY RETURN THE PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS; OR
   b. ASTRONOMICAL TIME CLOCK. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE SHALL AUTOMATICALLY RETURN THE ASTRONOMICAL CLOCK TO ITS NORMAL OPERATION WITHIN 6 HOURS AND WHICH IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS; OR
   c. ENERGY MANAGEMENT CONTROL SYSTEM WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS:
   AT A MINIMUM PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK IN ACCORDANCE WITH SECTION 110.9; MEETS THE INSTALLATION CERTIFICATION REQUIREMENTS IN SECTION 130.4; DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON; AND, IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HRS.
   B. FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS:
      i. SHALL COMPLY WITH SECTION 150.0(K)3A; OR
      ii. SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.
   C. FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY SECTION 150.0(K)3B OR 150.0(K)3D SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.
   D. OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH A TOTAL OF EIGHT OR MORE VEHICLES PER SITE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.
4. INTERNALLY ILLUMINATED ADDRESS SIGNS. INTERNALLY ILLUMINATED ADDRESS SIGNS SHALL:
   A. COMPLY WITH SECTION 140.8; OR
   B. SHALL CONSUME NO MORE THAN 5 WATTS OF POWER AS DETERMINED ACCORDING TO SECTION 130.0(C).
5. RESIDENTIAL GARAGES FOR EIGHT OR MORE VEHICLES. LIGHTING FOR RESIDENTIAL PARKING GARAGES FOR EIGHT OR MORE VEHICLES SHALL COMPLY WITH APPLICABLE REQUIREMENTS FOR NONRESIDENTIAL GARAGES IN SECTIONS 110.9, 130.0, 130.1, 130.4, 140.6 & 141.0.
6. INTERIOR COMMON AREAS OF LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS.
   A. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20 PERCENT OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING SHALL BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY AN OCCUPANT SENSOR.
   B. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING SHALL:
      i. COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.1, 140.6 AND 141.0; AND
      ii. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS SHALL BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS SHALL BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

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RESIDENTIAL NOTES

6. MATERIAL USED FOR SLAB EDGE INSULATION SHALL MEET THE FOLLOWING MINIMUM SPECIFICATION:
   A) WATER ABSORPTION RATE NO GREATER THAN 0.3 PERCENT.
   B) WATER VAPOR PERMEANCE NO GREATER THAN 2.0 PERM/INCH.
   C) CONCRETE SLAB PERIMETER INSULATION MUST BE PROTECTED FROM PHYSICAL DAMAGE AND ULTRAVIOLET LIGHT DETERIORATION. (TITLE 24, PART 6, CHAPTER 7, SECTION 150 (L))

7. CONCRETE-SLAB FLOOR PERIMETER INSULATION SHALL BE PROVIDED 16 INCHES DEEP, OR THE DEPTH OF THE FOOTING OF THE BUILDING, WHICHEVER IS LESS. (TITLE 24, PART 6, CHAPTER 8, SECTION 151 (F))

8. IF INSULATION IS INSTALLED IN THE EXISTING ATTIC OF A LOW-RISE RESIDENTIAL BUILDING, THE TOTAL RESULTANT R-VALUE AFTER THE ADDITION OF THE INSULATION SHALL BE AT LEAST R-30. (TITLE 24, PART 6, CHAPTER 2, SECTION 118 (K))

SPECIAL HAZARDS

GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED.
A) INGRESS AND EGRESS DOORS.
B) PANELS IN SLIDING OR SWINGING DOORS.
C) DOORS AND ENCLOSURES FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE OMPARTMENTS WITHIN 5' OF STANDING SURFACE).

SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS:
A) IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.
B) IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED IN A) ABOVE.

PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBEQUE.
AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.

SINGLE FAMILY DWELLING BUILDING CODE REQUIREMENTS

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO ANN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

G. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

H. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

I. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

J. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

K. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS ($1,000). (R314.6.2)

M. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS ($1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

N. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

GARAGE / CARPORTS

1. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES ARE NOT PERMITTED (R302.5.1).

2. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)

3. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

4. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).

5. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).

6. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

FIRE RESISTANCE RATED CONSTRUCTION

1. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS.(R302.4.1)

2. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRERESISTANCERATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)

3. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

4. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

FIRE PROTECTION

1. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(D))

2. SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

3. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

4. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS (R315)

BUILDING ENVELOPE

1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902.1.

2. EVERY DWELLING UNIT SHALL BE PROVIDED WITH A WATER CLOSET, LAVATORY, BATHTUB OR SHOWER, AND KITCHEN (R306.1 AND R306.2).

3. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.

G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

4. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.

5. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).

6. DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1.

7. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4.

8. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

9. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

10. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

INTERIOR ENVIRONMENT

1. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1/150 OF UNDER FLOOR AREA. (R408.1)

2. PROVIDE UNDER FLOOR ACCESS OPENING, IT SHALL BE A MINIMUM 16" X 24" WHEN THE OPENING IS THROUGH A PERIMETER WALL OR A MINIMUM 18" X 24" WHEN THE OPENING IS THROUGH A FLOOR. (R408.4)

3. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 ST OF ATTIC ARE) IS REQUIRED. (R806.2)

4. ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22" X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)

5. PROVIDE 15" MINIMUM BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)

6. PROVIDE 24" CLEAR SPACE IN FRONT OF ANY WATER CLOSET. (CALIF. PLUMB. CODE 407.6)

7. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE. (R303.3)

8. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 °F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

DEMOLITION NOTES

1.0 GENERAL

1.1 NO DEMOLITION SHALL BE PERFORMED WITHOUT A DEMOLITION PERMIT ISSUED BY THE CITY OF LOS ANGELES , DEPARTMENT OF BUILDING AND SAFETY. CONTRACTOR SHALL OBTAIN PERMIT AND PAY ALL APPLICABLE FEES.

1.2 COMPLETE ALL DEMOLITION WORK INDICATED ON THE DEMOLITION PLAN AND REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED PROJECT IN CONFORMANCE WITH ANSI STANDARDS FOR DEMOLITION. A10.6.

1.3 ALL DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE PROVISIONS OF FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, REGULATIONS, SAFETY ORDERS, COMMUNITY ORDINANCES. VERIFY LOCAL GUIDELINES AND RESTRICTIONS FOR DEMOLITION WORK, AND DISPOSAL LOCATIONS. CONTRACTOR SHALL AT ALL TIMES OBSERVE AND COMPLY WITH ALL SUCH REGULATIONS.

1.4 CONTRACTOR SHALL STRICTLY ADHERE TO ALL PROVISIONS OF THE LABOR CODE IN REGARDS TO WAGES, NONDISCRIMINATION, ETC.. ONLY COMPETENT WORKERS EXPERIENCED IN THEIR SPECIFIC TRADES SHALL BE EMPLOYED ON THE WORK. GENERAL INDUSTRY SAFETY ORDERS ISSUED BY THE STATE DIVISION OF INDUSTRIAL SAFETY SHALL BE POSTED OR OTHERWISE AVAILABLE ON THE PROJECT SITE AS REQUIRED.

1.5 CONTRACTOR SHALL MAINTAIN AND FURNISH CERTIFICATES OF WORKMEN'S COMPENSATION AND LIABILITY INSURANCE AS REQUIRED BY THE OWNER AND GOVERNING AGENCIES.

1.6 REMOVAL AND DISPOSAL OF ALL EXISTING ASBESTOS ENCOUNTERED DURING DEMOLITION SHALL BE BY LICENSED PROFESSIONALS EXPERIENCED IN THE HANDLING OF SAID MATERIALS AND SHALL BE PERFORMED IN COMPLIANCE WITH THE STATE OF CALIFORNIA GUIDELINES FOR ENVIRONMENTAL SAFETY AND PROTECTION. NOTIFY OWNER AND ARCHITECT OF THE PRESENCE OF ALL HAZARDOUS AND/OR TOXIC MATERIALS ENCOUNTERED ON THE PROJECT SITE.

1.7 MAINTAIN A SAFE, SECURE AND CLEAN PROJECT SITE THROUGHOUT THE COURSE OF WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY, ADEQUACY AND PERFORMANCE OF DEMOLITION METHODS AND MEANS.

1.8 PERFORM ALL WORK IN A MANNER WHICH CREATES A MINIMAL DISRUPTION TO THE DAILY OPERATION OF THE ADJOINING COMMUNITY, TENANTS, AND PROPERTY OWNERS.

1.9 THE CONTRACTOR SHALL MAINTAIN ENCLOSED SANITARY FACILITIES FOR THE USE OF THE EMPLOYEES ENGAGED IN THE WORK IN A NEAT AND SANITARY CONDITION.

1.10 THE CONTRACTOR SHALL NOT DISCHARGE SMOKE, DUST, OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE THE REGULATIONS OF GOVERNING AUTHORITIES. NOTIFICATION AND APPROVAL OF THE GOVERNING AIR QUALITY MANAGEMENT DISTRICT IS REQUIRED.

1.11 THE CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN AND REMOVE ALL TEMPORARY UTILITIES AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE WORK.

1.12 THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMPLIANCE WITH ADDITIONAL PUBLIC SAFETY ORDERS OR REQUIREMENTS WHICH MAY ARISE DURING THE COURSE OF WORK.

2.0 COORDINATION AND REVIEW

2.1 GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND BE RESPONSIBLE FOR THE PLANNING AND EXECUTION OF ALL EQUIRED DEMOLITION.

2.2 THE STRUCTURAL INTEGRITY OF ALL PORTIONS OF THE EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF WORK, PROVIDE BRACING AND SHORING AS REQUIRED. VERIFY AND PROVIDE ENGINEERING FOR TEMPORARY SUPPORT AS NECESSARY.

2.3 PRIOR TO THE COMMENCEMENT OF DEMOLITION, CONTRACTOR SHALL PROVIDE DETAILED INFORMATION ON METHODS, PROCEDURES, SEQUENCING, SCHEDULING, AND PROVISIONS FOR THE EXECUTION OF THE WORK FOR REVIEW BY THE OWNER AND ARCHITECT. CONTRACTOR TO PHASE DEMOLITION TO CAUSE MINIMAL IMPACT TO OTHER AREAS.

2.4 FIELD MARKINGS OF THE SCOPE OF DEMOLITION WORK INCLUDING INDICATIONS OF ITEMS TO BE REMOVED OR SALVAGED SHALL BE REVIEWED IN A WALK-THROUGH WITH THE OWNER AND ARCHITECT.

2.5 VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF DEMOLITION. WHERE EXISTING UTILITIES OR SERVICES ARE ENCOUNTERED, MEASURES SHALL BE TAKEN TO PROTECT, SECURE, CAP, REMOVE AND/OR MAINTAIN SAME THROUGHOUT THE DEMOLITION AND CONSTRUCTION PHASE. NOTIFY OWNER AND ARCHITECT OF UNFORESEEN OR UNSATISFACTORY CONDITIONS ENCOUNTERED AND RESOLVE SAID CONDITIONS PRIOR TO PROCEEDING WITH RELATED WORK.

2.6 CONTRACTOR AND HIS EMPLOYEES SHALL LIMIT THEIR ACTIVITIES ON SITE TO THE PERFORMANCE OF THEIR WORK, VERIFY WITH OWNER ANY ADDITIONAL LIMITATIONS ON SITE ACCESS.

2.7 SECURE REQUIRED PERMITS AND/OR APPROVALS FROM GOVERNING AGENCIES FOR STORAGE, HAULING, DISPOSAL OF CONSTRUCTION DEBRIS.

3.0 PREPARATION

3.1 PROVIDE PROTECTION OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, EQUIPMENT AND FINISHES TO REMAIN AS INDICATED ON THE PLANS AND AS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK.

3.2 VERIFY EXISTING UTILITIES AND SERVICES TO REMAIN IN OPERATION DURING THE COURSE OF WORK. NOTIFY UTILITY COMPANIES IN ADVANCE OF REQUIRED SERVICE MODIFICATIONS.

3.3 SCHEDULE DISPOSAL AND ESTABLISH HAULING ROUTES IN ADVANCE TO PREVENT THE ACCUMULATION OF DEMOLITION DEBRIS. SPILLAGE RESULT IN FROM HAULING SHALL BE REMOVED IMMEDIATELY.

3.4 MEASURES SHALL BE TAKEN AS REQUIRED TO PREVENT DAMAGE TO ADJOINING PROPERTIES AND IMPROVEMENTS PRIOR TO COMMENCEMENT OF THE WORK.

3.5 DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF SITE. EFFORT SHALL BE MADE TO RECYCLE REFUSE AND DEBRIS WHENEVER POSSIBLE. CONFORM WITH THE REQUIREMENTS OF THE LOS ANGELES COUNTY BEST MANAGEMENT PRACTICES AS APPLICABLE.

3.6 MATERIALS, MACHINERY AND EQUIPMENT SHALL NOT BE STORED ON SITE BEYOND THE NECESSARY LENGTH OF TIME REQUIRED FOR USE IN THIS WORK. VERIFY STORAGE LOCATION WITH THE OWNER AND ARCHITECT. MATERIALS SHALL NOT BE STORED OR DEPOSITED WITHIN THE PUBLIC RIGHT OF WAY WITHOUT SPECIFIC APPROVAL FROM THE GOVERNING AGENCY.

4.0 EXECUTION

4.1 AT THE LIMITS OF DEMOLITION WORK PROVIDE NEAT, ORDERLY AND CLEAN JOINTS, LINES, AND EDGES OF SURFACES. REPAIR OR REPLACE ANY MATERIALS OR SURFACES TO REMAIN WHICH BECOME EXPOSED, OR DAMAGED AS A RESULT OF DEMOLITION WORK.

4.2 ITEMS INDICATED AS "TO BE SALVAGED" ON THE DEMOLITION PLANS OR IDENTIFIED IN OWNER/ARCHITECT WALK-THROUGH SHALL BE REMOVED WITH DUE CARE AND STORED FOR REUSE AS REQUIRED IN A LOCATION APPROVED BY THE OWNER AND ARCHITECT. PROVIDE AN INVENTORY OF SUCH ITEMS FOR COORDINATION OF REUSE IN THE PROJECT.

4.3 REVIEW INTERIOR PARTITIONS TO BE REMOVED. NOTE WHETHER STRUCTURAL OR NON-STRUCTURAL. IF STRUCTURAL, STRIP WALL FINISHES ONLY TO EXPOSE FRAMING FOR REVIEW BY PROJECT STRUCTURAL ENGINEER & ARCHITECT.

4.4 ADDITIONAL ITEMS SALVAGED FROM THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF AT HIS DISCRETION.

4.5 DO NOT ALLOW DEBRIS, DEMOLISHED PORTIONS OF THE STRUCTURE,HEAVILY LADEN OR OVERLOADED CONTAINERS OR VEHICLES TO DAMAGE PORTIONS OF THE EXISTING BUILDING OR SITE.

4.6 PROVIDE DIRT AND DUST CONTROL AND/OR BARRIERS THROUGHOUT THE COURSE OF WORK. CLEANING, SWEEPING, THE USE OF WATER AND/OR A DUST PALLIATIVE IS THE RESPONSIBILITY OF THE CONTRACTOR.

4.7 NECESSARY EXTERMINATION WORK SHALL BE PERFORMED BY LICENSED PROFESSIONAL IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES.

4.8 THE USE OF EXPLOSIVES AND/OR MECHANICAL JACKHAMMERS SHALL BE PROHIBITED UNLESS SPECIFIC APPROVALS ARE OBTAINED FROM GOVERNING AGENCIES.

4.9 LEAVE ALL PORTIONS OF THE PROJECT SITE AND THE DEMOLITION AREA IN A SAFE, CLEAN, FREE OF RUBBISH OR DEBRIS, AND SANITARY CONDITION THROUGHOUT THE COURSE OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT. PROVIDE REGULARLY SCHEDULED CLEANING AS REQUIRED.

4.10 THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING IMPROVEMENTS, WHICH ARE DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. RESTORATION AND/OR REPLACEMENT SHALL BE AS NEAR AS REASONABLY POSSIBLE TO THE ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.

RIOS

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PROJECT ID: 20071

CONSULTANT

NOT FOR CONSTRUCTION

MONARCH BAY

61 MONARCH BAY DRIVE, DANA POINT, CA 92629

REVISIONS

ISSUES

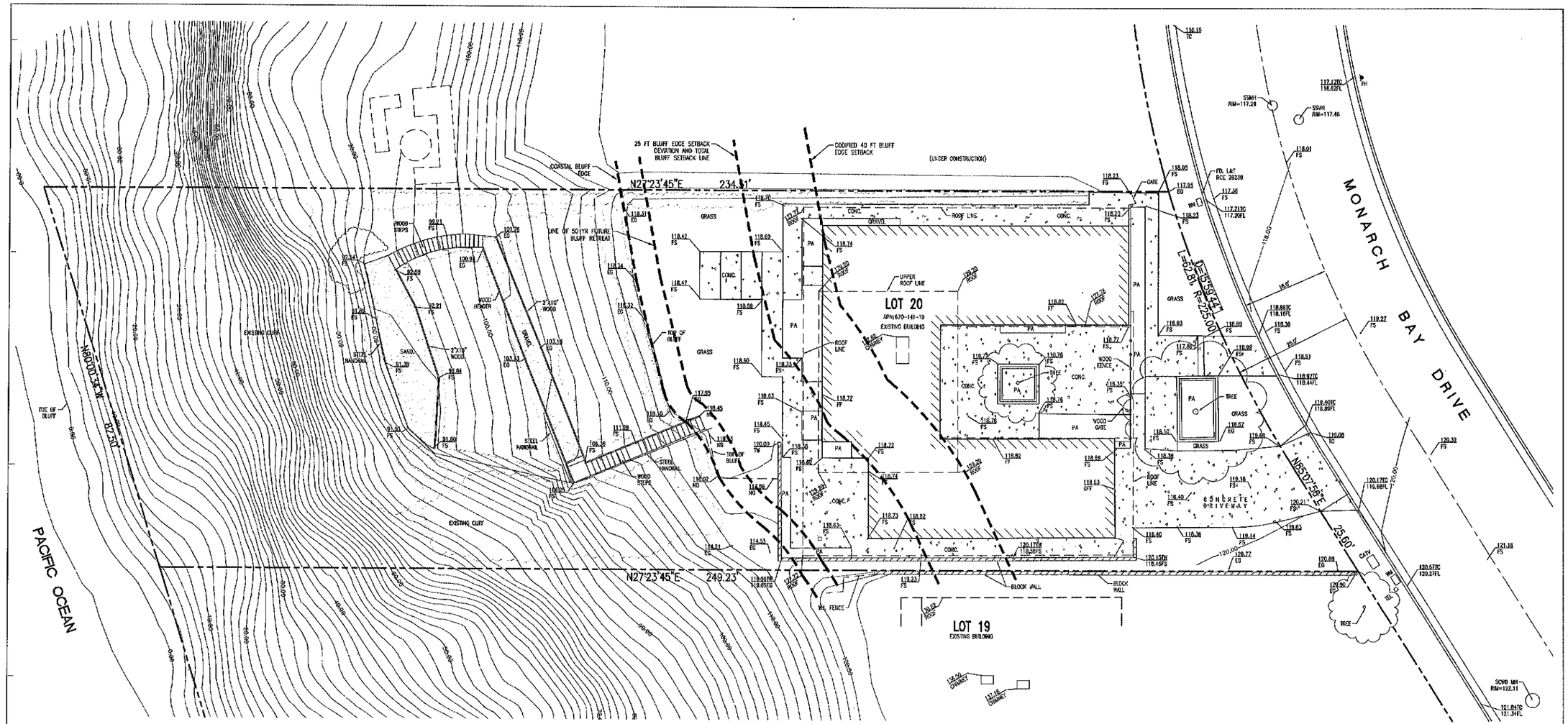
FILE NAME

DRAWING TITLE: GENERAL NOTES

DATE: 3/31/2021 1:49:26 PM

SCALE (WHEN PRINTED ON 36"X42" SHEET)

DRAWING NO. T0.03



ABBREVIATION

AGFS – ASPHALT CONCRETE
CL – CENTERLINE
CONC – CONCRETE
CPPK – CONTROL POINT PIKE
CPPL – CONTROL POINT PL
CPX – CONTROL POINT
DI – DRAIN INLET
DWY – DRIVEWAY
EG – EXISTING GROUND
FD – FOUND
FF – FINISH FLOOR
FL – FLOWLINE
FS – FINISH SURFACE
GAR – GARAGE
IRR – IRRIGATION
LS – LANDSCAPE
NG – NATURAL GROUND
PL – PROPERTY LINE
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RR – RAILROAD TIES
SMH – SEWER MANHOLE
STP – STEP
SOS – SHOT ON SLOPE
TC – TOP OF CURB
TG – TOP GRATE
TBM – TEMPORARY BENCHMARK
TW – TOP OF WALL
TWF – TOP OF WOOD FENCE
TWSTP – TOP OF WALL STEP
WF – WOODEN FENCE
WM – WATER METER
WI – WROUGHT IRON
INV – INVERT
PA – PLANTER AREA

LEGEND

PROPERTY LINE
CENTER LINE
BUILDING FOOTPRINT
EX. BLOCK WALL
CONCRETE PAVEMENT
742.10 SPOT ELEVATION
TREE/BUSH
WOOD FENCE
FIRE HYDRANT
WATER VALVE
WM WATER METER
PALM TREE
IRON FENCE
EXISTING LIGHTPOST

8' 4' 0 8' 16'
GRAPHIC SCALE : 1" = 8'

SITE ADDRESS:

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

LEGAL DESCRIPTION

LOT 20, TRACT 3839 MM136/37-40

APN

670-141-19

LOT AREA

A=18,337.56 SF/±0.422 AC

DATE OF SURVEY

MARCH 2020

BENCH MARK:

DESIGNATION : 3P-35-04

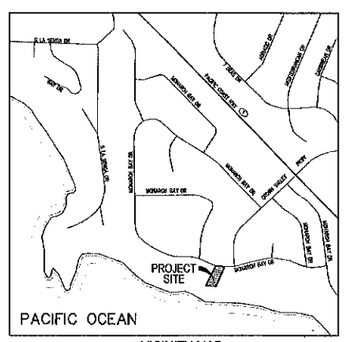
DESCRIBED BY OCS 2004 – FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3P-35-04" SET IN THE EASTERLY CORNER OF A 15 FT. BY 4.5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF PACIFIC COAST HIGHWAY AND CROWN VALLEY PARKWAY, 51 FT. NORTHEASTERLY OF THE CENTERLINE OF PCH AND 70 FT. NORTHWESTERLY OF THE CENTERLINE OF CROWN VALLEY PARKWAY. MONUMENT IS SET LEVEL WITH SIDEWALK.

ELEVATION : 157.855 (NAVD88)

NOTES:

THE BOUNDARY SHOWN ON THIS MAP IS FOR INFORMATION ONLY AND WERE TAKEN FROM RECORD DATA OR DEED.

CLIFF BLUFF RETREAT/SETBACK LINES SHOWN ARE FROM GEOTECHNICAL PLOT PLAN PREPARES BY R. McCARTHY CONSULTING INC. DATED JANUARY 2021.



VICINITY MAP
NTS

REGISTERED PROFESSIONAL ENGINEER
STEVEN V. EVANGELISTA
No. 32512
Exp. 06-30-21
CIVIL
STATE OF CALIFORNIA

GRAND KNIGHT ENGINEERING, Inc.
PLANNING
ENGINEERING
SURVEYING
24881 ALICIA PARKWAY E-343
LAGUNA HILLS, CA 92653
ph. 949.228.1570
fx. 949.244.6424

SCALE: 1" = 8'
DATE: 01/14/21

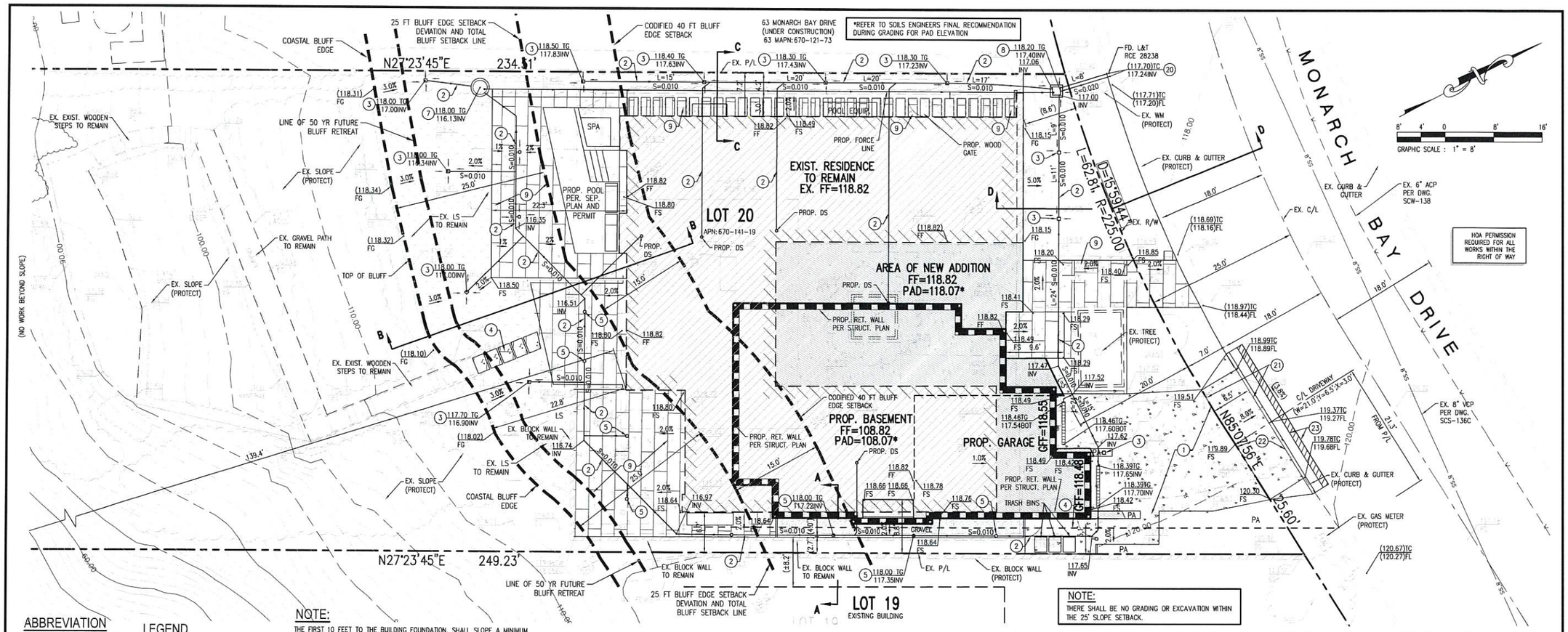
TOPOGRAPHIC SURVEY

61 MONARCH BAY DRIVE
DANA POINT, CA 92629

SHT. 1 OF 1 SHTS.

FOR: STAN ANDRADE

PLAN No. 20-1234-50



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LEGEND

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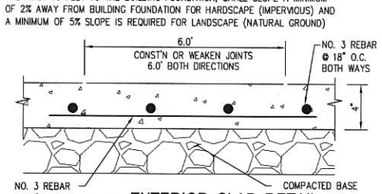
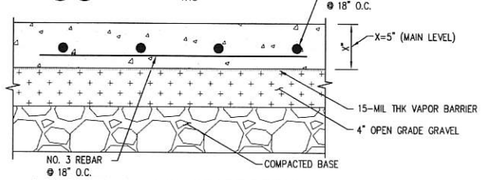
CENTER LINE
BUILDING FOOTPRINT
PROP. BLOCK WALL
EX. BLOCK WALL
EXISTING C&G
PROP. C&G
CONCRETE PAVEMENT
DECOMPOSE GRANITE
STONE FINISH
742.10 SPOT ELEVATION
24" TREE/BUSH
WOOD FENCE
FIRE HYDRANT
WATER VALVE
WM WATER METER
PALM TREE
IRON FENCE
EXISTING LIGHTPOST

NOTE:

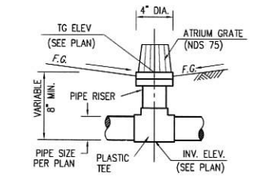
THE FIRST 10 FEET TO THE BUILDING FOUNDATION, SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING FOUNDATION FOR HARDSCAPE (IMPERVIOUS) AND A MINIMUM OF 5% SLOPE IS REQUIRED FOR LANDSCAPE (NATURAL GROUND)



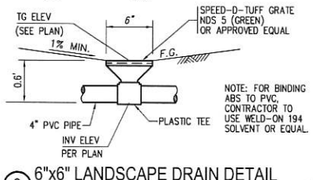
4 1 EXTERIOR SLAB DETAIL
NTS



CONCRETE SLAB ON GRADE DETAIL
NTS



5 ATRIUM DRAIN DETAIL
N.T.S.



3 6"x6" LANDSCAPE DRAIN DETAIL
N.T.S.

NOTE:

THERE SHALL BE NO GRADING OR EXCAVATION WITHIN THE 25' SLOPE SETBACK.

CONSTRUCTION NOTES

ONSITE

1. CONSTRUCT 4" MIN. THICK P.C.C. DRIVEWAY SLAB HARDSCAPE PER SOILS ENGINEERS RECOMMENDATION & DETAIL HEREON. COLOR AND FINISH PER LANDSCAPE PLANS.
2. INSTALL 4" PVC (SDR 35) DRAIN PIPE.
3. INSTALL 6"x6" NDS AREA DRAIN PER DETAIL HEREON.
4. CONSTRUCT 4" MIN. THICK P.C.C. SIDEWALK PER DETAIL HEREON. COLOR AND FINISH PER ARCH PLANS
5. INSTALL 4" DIA. NDS BRASS DRAIN PER DETAIL HEREON.
6. CONSTRUCT BLOCK WALL PER LS PLAN & SEPARATE PERMIT.
7. INSTALL 36" DIA. CATCH BASIN WITH SUMP PUMP.
8. INSTALL 30"x30" JENSEN CATCH BASIN.
9. INSTALL STONE PAVING FINISH PER LANDSCAPE PLAN

OFFSITE

20. CURB CORE THRU CURB PER SEPC STD. NO. DP 123.
21. SAWCUT & REMOVE EXIST. DRIVEWAY/CURB & GUTTER.
22. CONSTRUCT 6" PCC DRIVEWAY PER OCPW STD. NO. 1209.
23. SAWCUT/REMOVE & REPLACE EXIST. A.C. PER SEPC STD. NO. DP-122. (10" MIN. DEPTH)

OWNER:

KATHRYN MITCHELL RAMSTAD
34 RITZ COVE DRIVE
DANA POINT, CA 92629

SITE ADDRESS:

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

APN

670-141-19

LEGAL DESCRIPTION

LOT 20, TRACT 3839 MM135/37-40

LOT AREA

A=18,837.56 SF/±0.432 AC

DATE OF SURVEY

MARCH 2020

BENCH MARK:

DESIGNATION : 3P-35-04 ELEVATION : 157.955 (NAVD88)
DESCRIBED BY OCS 2004 – FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3P-35-04" SET IN THE EASTERLY CORNER OF A 15 FT. BY 4.5 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE NORTHERLY CORNER OF THE INTERSECTION OF PACIFIC COAST HIGHWAY AND CROWN VALLEY PARKWAY, 51 FT. NORTHEASTERLY OF THE CENTERLINE OF PCH AND 70 FT. NORTHWESTERLY OF THE CENTERLINE OF CROWN VALLEY PARKWAY. MONUMENT IS SET LEVEL WITH SIDEWALK.

EARTHWORK QUANTITIES

RAW CUT: 600 CY
RAW FILL: 75 CY
RAW IMPORT: 525 CY

IMPERVIOUS AREA

TOTAL IMPERVIOUS AREA PROPOSED: 7,114 SF (37.8%)

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: SEE ABOVE
ACAD FILE NO. 20-1234
PROJECT NO. 20-1234-50

DESIGNED: JR | DRAWN: RR | CHECKED: GVE

GIL V. EVANGELISTA C32512 R.C.E. NO. 05.07.2021 DATE

PLANS PREPARED BY:
GRAND KNIGHT ENGINEERING, Inc.
24881 ALICIA PARKWAY E-243
LAGUNA HILLS, CALIFORNIA, 92653
ph.949.228.1570 fx.949.208.2843

BENCHMARK
DESIGNATION : 3P-35-04
DESCRIPTION : SEE ABOVE
ELEVATION : 157.955 (NAVD88) 155.636 (NGVD29)

APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE.
CITY PLANNING DEPARTMENT DATE

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629
MATTHEW V. SINACORI, CITY ENGINEER DATE
RCE #59239 EXP. 06/30/21
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT

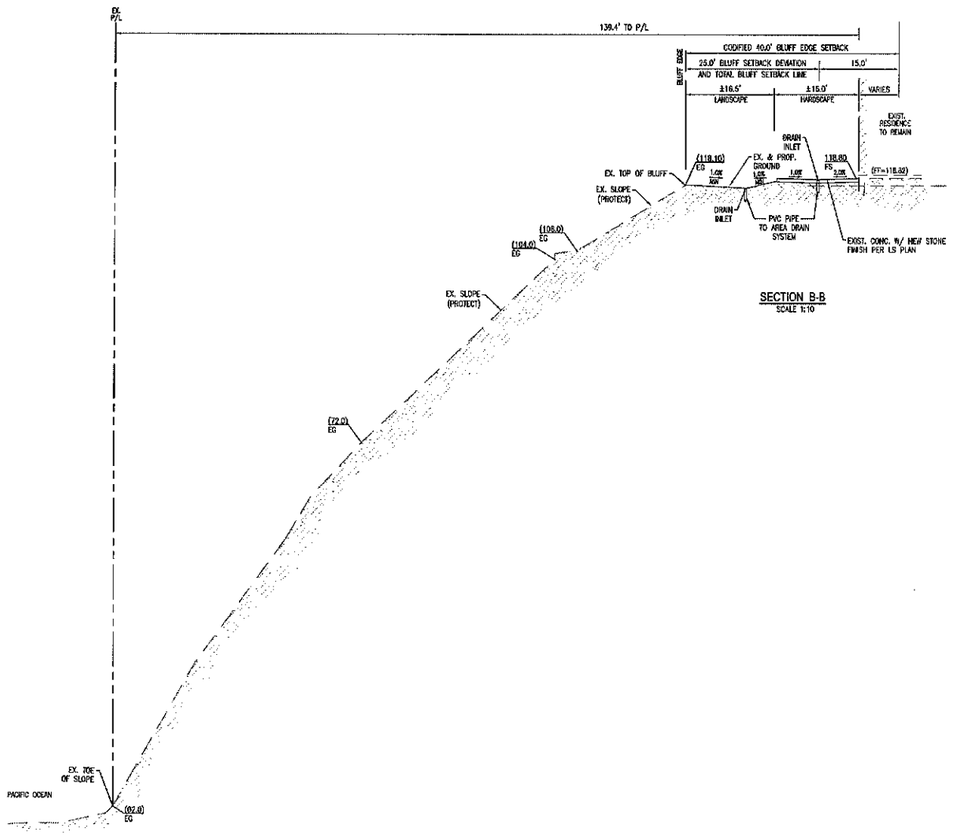
PRELIMINARY GRADING PLAN

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

C1
PLAN CHECK NO. 20-00
1 OF 2 SHEETS

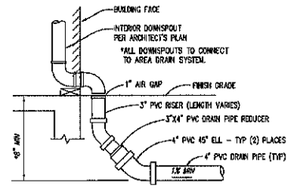
ORIGINAL SCALE: 0 1" 2" 3" 4" 5" 6" INCHES

I:\Forms & Standards\Standard borcter\Standard Border Rev062415.dwg

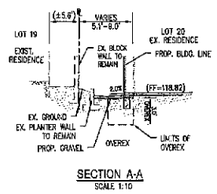


SECTION B-B
SCALE 1:10

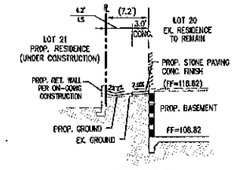
1. CONNECT ALL DOWNSPOUTS TO AREA DRAIN SYSTEM.
2. ALL PIPE CONNECTIONS AND FITTINGS SHOULD BE WYE CONNECTION AND SWEEP SMOOTH RADIUS FITTINGS.



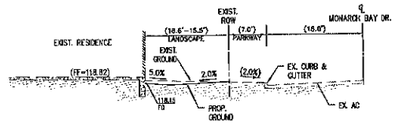
TYPICAL DOWNSPOUT TO DRAIN DETAIL
NTS



SECTION A-A
SCALE 1:10



SECTION C-C
SCALE 1:10



SECTION D-D
SCALE 1:10

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: SEE ABOVE
ACAD FILE NO. 20-1234
PROJECT NO. 20-1234-50

DESIGNED: dR | DRAWN: RR | CHECKED: GVE

GIL V. EVANGELISTA — R.C.E. NO. C32512 — 03.16.2021 DATE

PLANS PREPARED BY:
GRAND KNIGHT ENGINEERING, Inc.
21881 ALICIA PARKWAY E-243
LAGUNA HILLS CALIFORNIA 92653
ph:949.228.1370 fx:949.206.2843

BENCHMARK
DESIGNATION : 3P-35-04
DESCRIPTION : SEE ABOVE
ELEVATION : 157.959 (NAVD88) 155.636 (NGVD29)

APPROVED BY THE CITY OF DANA POINT MUNICIPAL CONFORMITY
THIS PLAN HAS BEEN APPROVED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE.
CITY PLANNING DEPARTMENT — DATE

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629
MATTHEW V. SINACORI, CITY ENGINEER — DATE
RCE #50339 EXP. 06/30/21
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT

PRELIMINARY GRADING PLAN CROSS SECTIONS
61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

C2

PLAN CHECK NO. 20-00

2 OF 2 SHEETS

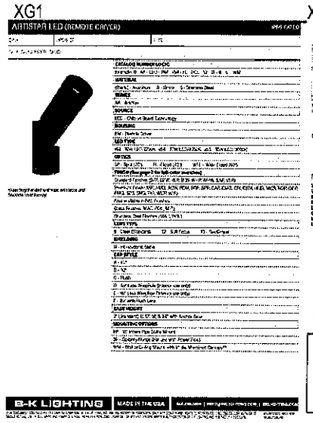
ORIGINAL SCALE: 0 1" 2" 3" 4" INCHES

I:\Forms & Standards\Standard Border\Standard Border ProD22x18.dwg

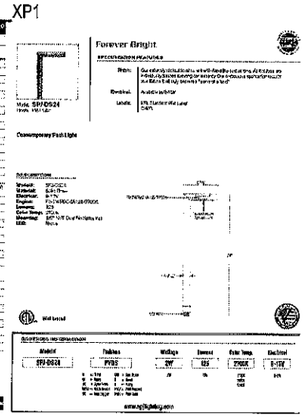
Published: 3/5/2021 1:49:23 PM

LIGHTING FIXTURE SCHEDULE						
Image	Type Mark	Manufacturer	Model	Count	Type Comments	Description
	XG1	B-K LIGHTING	ARTISTAR LED	2	LED EXT. STAKE-MOUNTED ADJUSTABLE BULLET WITH REMOTE DRIVER	TREE UPLIGHTING
	XP1	FOREVER BRIGHT	SPJ-DS24	2	LED PATH LIGHT, REMOTE DIMMING	PATH LIGHT
	XU1	MP LIGHTING	L312	3	LED INGRADE UPLIGHT WITH RECESSED LIGHT SOURCE	EXTERIOR UPLIGHTING
	XW1	BEGA	24370	3	LED EXTERIOR SCONCE	EXTERIOR DOORS

XG1



XP1



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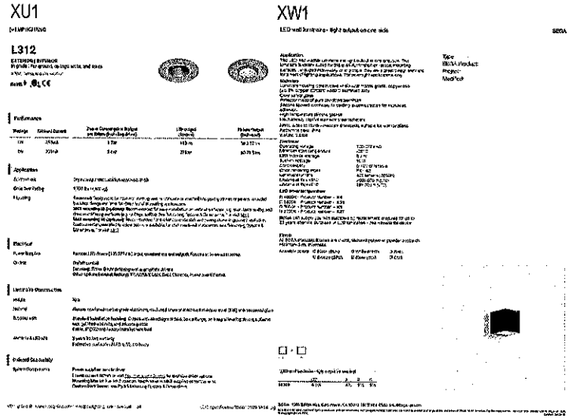


XW1

MATERIALS AND COLOR LEGEND FOR BUILDING AND HARDSCAPE							
NO.	FINISH MARK	ITEM	MATERIAL	MFR.	COLOR NAME	COLOR NO.	COMMENTS
1	RF-1	ROOF	GRAVEL OVER BUILT-UP ROOFING	SARNAFIL	ENERGYSMART WHITE		
2	PL-1	WALLS - FIELD	SMOOTH TROWELED STUCCO WITH INTEGRAL COLOR	LA HABRA	OATMEAL		
3	ST-1	WALLS - ACCENT	TRAVERTINE	ECO OUTDOOR	SCALA		
4	MTL-1	FASCIA TRIM	ALUMINUM BRAKE METAL	CUSTOM	BRONZE		
5	MTL-3	SCREEN	WOOD GRAIN ALUMINUM	PURE + FREEFORM	BEECHWOOD		
6	MTL-2	WINDOWS	ALUMINUM	FLEETWOOD	LIGHT BRONZE ANODIZE		
7	MTL-4	GARAGE DOOR	WOOD GRAIN ALUMINUM	PURE + FREEFORM	BEECHWOOD		
8	WD-3	ENTRY DOOR	WOOD DOOR W/ WOOD GRAIN ALUMINUM + BRONZE EXTERIOR FINISH	CUSTOM	BEECHWOOD		
9	WD-4	EXTERIOR DOORS	ALUMINUM	FLEETWOOD	LIGHT BRONZE ANODIZE		
10		GUTTERS	N/A				
11		WROUGHT IRON	N/A				
12	ST-2	GARDEN WALLS	TRAVERTINE	ECO OUTDOOR	SCALA		
13	WD-5	GATES	WOOD GRAIN ALUMINUM W/ BLACKENED STEEL INFILL	PURE + FREEFORM	BEECHWOOD		
14	CO-1	DRIVEWAY	CONCRETE WITH INTEGRAL COLOR	DAVIS COLORS	PEBBLE		
15	ST-3	HARDSCAPE	TRAVERTINE	ECO OUTDOOR	SCALA		

XX.XX SPOT ELEVATION

PROPERTY LINE

SETBACK LINE

AREA OF EXISTING RESIDENCE

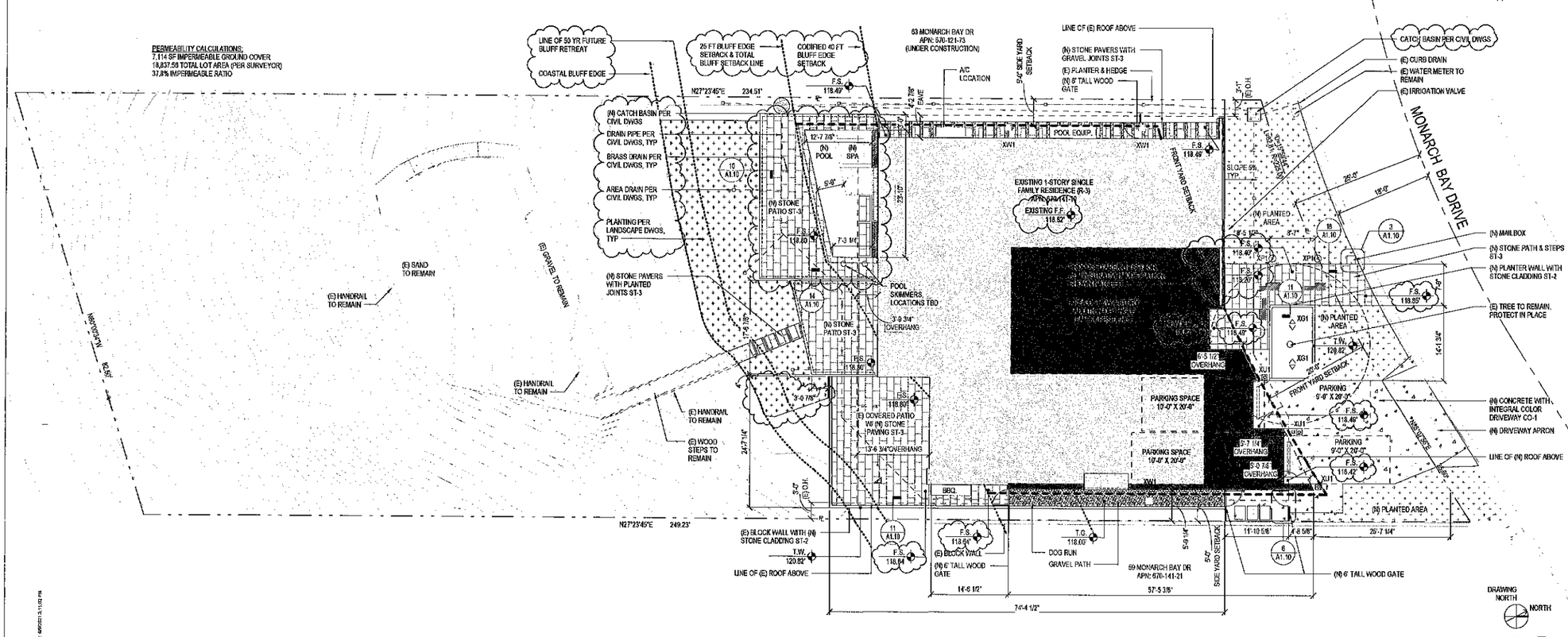
AREA OF NEW ADDITION

LEGEND - SITE PLAN
1/4" = 1'-0"

1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
2. DO NOT SCALE FROM DRAWINGS.
3. ANY INCONSISTENCIES OR UNFORSEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL. (SEC 507.3, UPC)
5. PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
6. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
7. AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
8. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
9. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
10. CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK.
11. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.
12. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

SITE PLAN NOTES
1/8" = 1'-0"

PERMEABILITY CALCULATIONS:
7,114 SF IMPERMEABLE GROUND COVER
19,837.59 TOTAL LOT AREA (PER SURVEYOR)
37.8% IMPERMEABLE RATIO



SITE PLAN
1/8" = 1'-0"

DRAWING NORTH
NORTH

RIOS
3161 W EXPOSITION PLACE
LOS ANGELES, CA 90018
PH: 323.735.1900
FAX: 323.735.1901
rios.com

PROJECT NO. 20071

ISSUE/SUBMIT

NOT FOR CONSTRUCTION

MONARCH BAY

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

ISSUANCE		
2	Date 4	REVISION 2
A	2/9/21	CDP Rev 1
0	3/31/21	CDP Rev 2

SHEET TITLE: SITE PLAN

PLOT DATE: 6/9/2021 3:11:02 PM

SCALE: As indicated

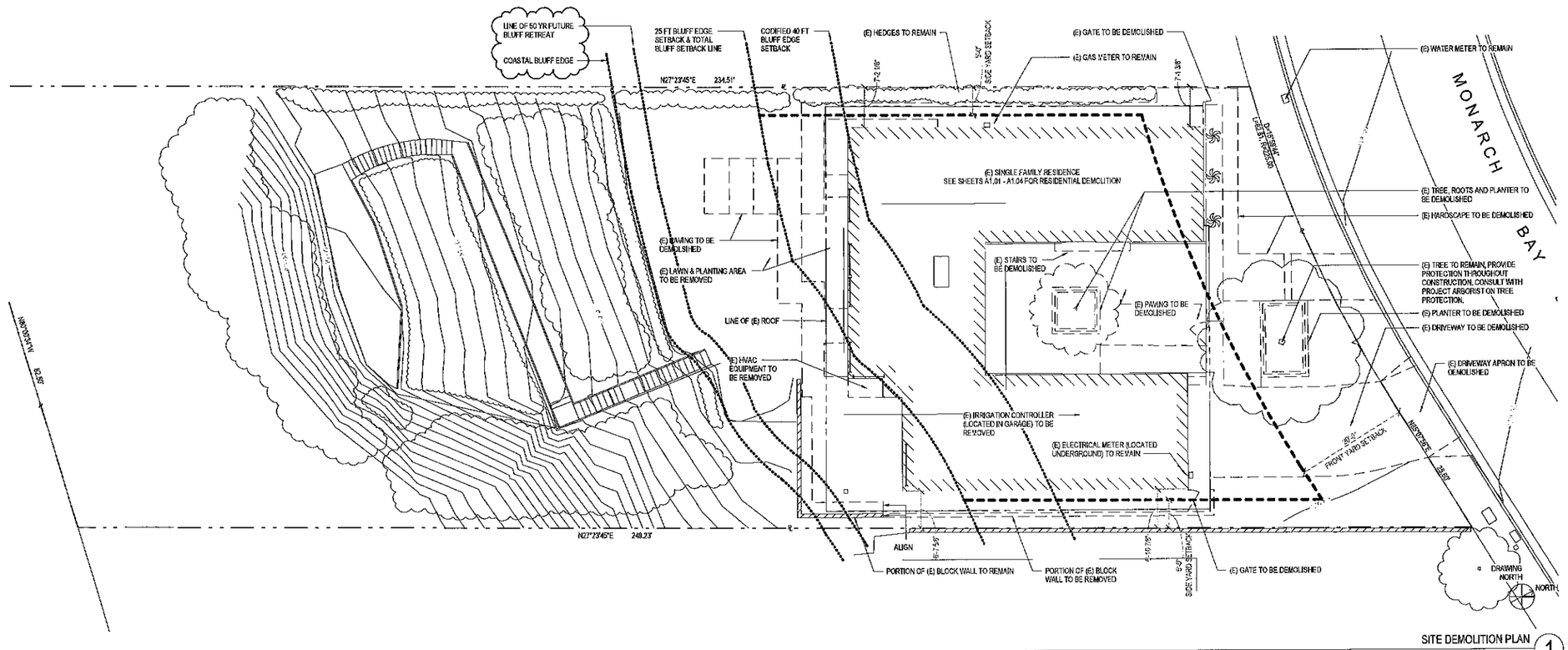
SHEET NO: A0.00

VOLUNTARY DEMOLITION CALCULATIONS

	TOTAL LENGTH OF EXISTING WALLS:	786-8 81/128"
	TOTAL LENGTH OF DEMOLISHED WALLS:	336-8 15/64"
	DEMOLISHED WALL RATIO:	42.69%

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
5. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
6. THE ENTIRE LIMITS OF PROPOSED SWIMMING POOL/SPA (FOUNDATION, SHELL, ETC.) SHALL BE LOCATED LANDWARD OF THE TOTAL BLUFF EDGE SETBACK LINE.

SITE DEMOLITION PLAN NOTES
1/8" = 1'-0"



SITE DEMOLITION PLAN
1/8" = 1'-0" 1

RIOS
3121 W EXPOSITION PLACE
LOS ANGELES, CA 90018
PH: 323.735.1800
FAX: 323.735.1991
rios.com

PROJECT NO. 20071

CONSULTANT

NOT FOR CONSTRUCTION

MONARCH BAY

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

ISSUANCE		
	4	2/5/21 CDP Rev 1
	5	3/31/21 CDP Rev 2

SEAL

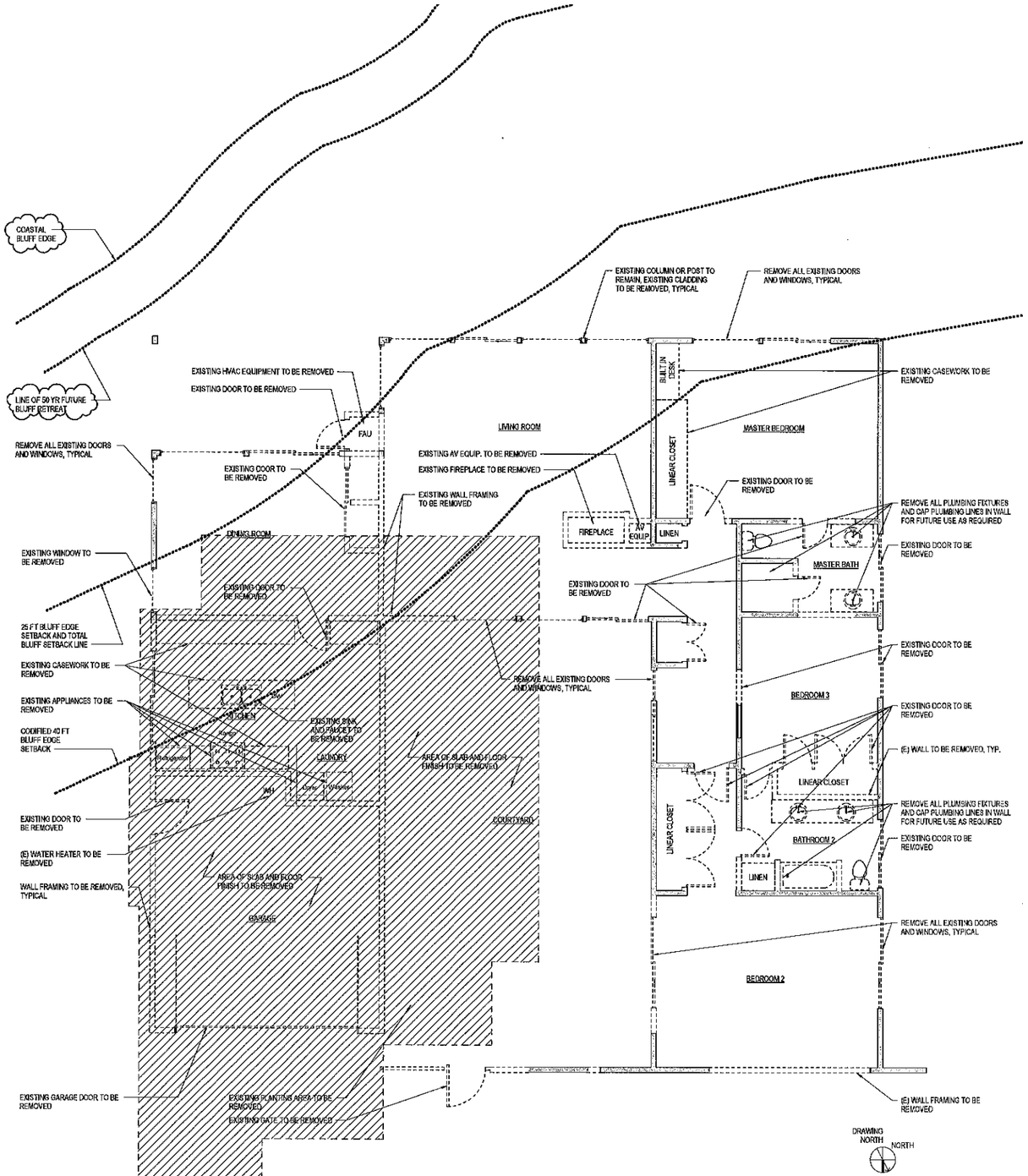
DRAWING TITLE: SITE DEMOLITION PLAN

DATE: 3/31/2021 1:42:05 PM

SCALE: 1/8" = 1'-0" (WHEN PRINTED ON 30"X42" SHEETS)

DRAWING NO. **A1.00**

PLOTTED: 3/31/2021 1:42:05 PM



DEMOLITION PLAN - LEVEL 01 (1)
1/4" = 1'-0"

VOLUNTARY DEMOLITION CALCULATIONS

TOTAL LENGTH OF EXISTING WALLS:	768'-6 81/128"
TOTAL LENGTH OF DEMOLISHED WALLS:	336'-6 15/64"
DEMOLISHED WALL RATIO:	42.85%

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

EXISTING DOOR TO BE REMOVED

EXISTING CABINETRY AND / OR FIXTURE TO BE REMOVED

EXISTING WINDOW TO BE REMOVED

FLOOR / ROOF AREA TO BE REMOVED

LEGEND - DEMO
1/4" = 1'-0"

1.0 GENERAL

1.1 NO DEMOLITION SHALL BE PERFORMED WITHOUT A DEMOLITION PERMIT ISSUED BY THE CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY.

1.2 COMPLETE ALL DEMOLITION WORK INDICATED ON THE DEMOLITION PLAN IN CONFORMANCE WITH ANSI STANDARDS FOR DEMOLITION, A10.6.

1.3 ALL DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE PROVISIONS OF FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, REGULATIONS, SAFETY ORDERS, COMMUNITY ORDINANCES. VERIFY LOCAL GUIDELINES AND RESTRICTIONS FOR DEMOLITION WORK, AND DISPOSAL LOCATIONS. CONTRACTOR SHALL AT ALL TIMES OBSERVE AND COMPLY WITH ALL SUCH REGULATIONS.

1.4 CONTRACTOR SHALL STRICTLY ADHERE TO ALL PROVISIONS OF THE LABOR CODE IN REGARDS TO WAGES, NONDISCRIMINATION, ETC., ONLY COMPETENT WORKERS EXPERIENCED IN THEIR SPECIFIC TRADES SHALL BE EMPLOYED ON THE WORK. GENERAL INDUSTRY SAFETY ORDERS ISSUED BY THE STATE DIVISION OF INDUSTRIAL SAFETY SHALL BE POSTED OR OTHERWISE AVAILABLE ON THE PROJECT SITE.

1.5 CONTRACTOR SHALL MAINTAIN AND FURNISH CERTIFICATES OF WORKMEN'S COMPENSATION AND LIABILITY INSURANCE AS REQUIRED BY THE OWNER AND GOVERNING AGENCIES.

1.6 REMOVAL AND DISPOSAL OF ALL EXISTING ASBESTOS ENCOUNTERED DURING DEMOLITION SHALL BE BY LICENSED PROFESSIONALS EXPERIENCED IN THE HANDLING OF SAID MATERIALS AND SHALL BE PERFORMED IN COMPLIANCE WITH THE STATE OF CALIFORNIA GUIDELINES FOR ENVIRONMENTAL SAFETY AND PROTECTION. NOTIFY OWNER AND ARCHITECT OF THE PRESENCE OF ALL HAZARDOUS AND/OR TOXIC MATERIALS ENCOUNTERED ON THE PROJECT SITE.

1.7 MAINTAIN A SAFE, SECURE AND CLEAN PROJECT SITE THROUGHOUT THE COURSE OF WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY, ADEQUACY AND PERFORMANCE OF DEMOLITION METHODS AND MEANS

1.8 PERFORM ALL WORK IN A MANNER WHICH CREATES A MINIMAL DISRUPTION TO THE DAILY OPERATION OF THE ADJOINING COMMUNITY, AND PROPERTY OWNERS.

1.9 THE CONTRACTOR SHALL MAINTAIN ENCLOSED SANITARY FACILITIES FOR THE USE OF THE EMPLOYEES ENGAGED IN THE WORK IN A NEAT AND SANITARY CONDITION

1.10 THE CONTRACTOR SHALL NOT DISCHARGE SMOKE, DUST, OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE THE REGULATIONS OF GOVERNING AUTHORITIES, NOTIFICATION AND APPROVAL OF THE GOVERNING AIR QUALITY MANAGEMENT DISTRICT IS REQUIRED

1.11 THE CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN AND REMOVE ALL TEMPORARY UTILITIES AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE WORK.

1.12 THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMPLIANCE WITH ADDITIONAL PUBLIC SAFETY ORDERS OR REQUIREMENTS WHICH MAY ARISE DURING THE COURSE OF WORK.

1.13 CONSTRUCTION WASTE SHALL BE REDUCED BY 65% BY USE OF A CITY OF LOS ANGELES CERTIFIED HAULER.

2.0 COORDINATION AND REVIEW

2.1 GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND BE RESPONSIBLE FOR THE PLANNING AND EXECUTION OF ALL REQUIRED DEMOLITION.

2.2 THE STRUCTURAL INTEGRITY OF ALL PORTIONS OF THE EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF WORK. PROVIDE BRACING AND SHORING AS REQUIRED. VERIFY AND PROVIDE ENGINEERING FOR TEMPORARY SUPPORT AS NECESSARY.

2.3 PRIOR TO THE COMMENCEMENT OF DEVOLITION, CONTRACTOR SHALL PROVIDE DETAILED INFORMATION ON METHODS, PROCEDURES, SEQUENCING, SCHEDULING, AND PROVISIONS FOR THE EXECUTION OF THE WORK FOR REVIEW BY THE OWNER AND ARCHITECT. CONTRACTOR TO PHASE DEMOLITION TO CAUSE MINIMAL IMPACT TO OTHER AREAS.

2.4 FIELD MARKINGS OF THE SCOPE OF DEMOLITION WORK INCLUDING INDICATIONS OF ITEMS TO BE REMOVED OR SALVAGED SHALL BE REVIEWED IN A WALK-THROUGH WITH THE OWNER AND ARCHITECT.

2.5 VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF DEMOLITION. WHERE EXISTING UTILITIES OR SERVICES ARE ENCOUNTERED, MEASURES SHALL BE TAKEN TO PROTECT, SECURE, CAP, REMOVE AND/OR MAINTAIN SAME THROUGHOUT THE DEMOLITION AND CONSTRUCTION PHASE. NOTIFY OWNER AND ARCHITECT OF UNFORSEEN OR UNSATISFACTORY CONDITIONS ENCOUNTERED AND RESOLVE SAID CONDITIONS PRIOR TO PROCEEDING WITH RELATED WORK.

2.6 CONTRACTOR AND HIS EMPLOYEES SHALL LIMIT THEIR ACTIVITIES ON SITE TO THE PERFORMANCE OF THEIR WORK, VERIFY WITH OWNER ANY ADDITIONAL LIMITATIONS ON SITE ACCESS.

2.7 SECURE REQUIRED PERMITS AND/OR APPROVALS FROM GOVERNING AGENCIES FOR STORAGE, HAULING, DISPOSAL OF CONSTRUCTION DEBRIS.

3.0 PREPARATION

3.1 PROVIDE PROTECTION OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, EQUIPMENT AND FINISHES TO REMAIN AS INDICATED ON THE PLANS AND AS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK.

3.2 VERIFY EXISTING UTILITIES AND SERVICES TO REMAIN IN OPERATION DURING THE COURSE OF WORK. NOTIFY UTILITY COMPANIES IN ADVANCE OF REQUIRED SERVICE MODIFICATIONS.

3.3 SCHEDULE DISPOSAL AND ESTABLISH HAULING ROUTES IN ADVANCE TO PREVENT THE ACCUMULATION OF DEMOLITION DEBRIS. SPILLAGE RESULTING FROM HAULING SHALL BE REMOVED IMMEDIATELY.

3.4 MEASURES SHALL BE TAKEN AS REQUIRED TO PREVENT DAMAGE TO ADJOINING PROPERTIES AND IMPROVEMENTS PRIOR TO COMMENCEMENT OF THE WORK.

3.5 DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF SITE. EFFORT SHALL BE MADE TO RECYCLE REFUSE AND DEBRIS WHENEVER POSSIBLE. CONFORM WITH THE REQUIREMENTS OF THE CITY OF LOS ANGELES BEST MANAGEMENT PRACTICES AS APPLICABLE.

3.6 MATERIALS, MACHINERY AND EQUIPMENT SHALL NOT BE STORED ON SITE BEYOND THE NECESSARY LENGTH OF TIME REQUIRED FOR USE IN THIS WORK. VERIFY STORAGE LOCATION WITH THE OWNER AND ARCHITECT. MATERIALS SHALL NOT BE STORED OR DEPOSITED WITHIN THE PUBLIC RIGHT OF WAY WITHOUT SPECIFIC APPROVAL FROM THE GOVERNING AGENCY.

4.0 EXECUTION

4.1 AT THE LIMITS OF DEMOLITION WORK PROVIDE NEAT, ORDERLY AND CLEAN JOINTS, LINES, AND EDGES OF SURFACES. REPAIR OR REPLACE ANY MATERIALS OR SURFACES TO REMAIN WHICH BECOME EXPOSED, OR DAMAGED AS A RESULT OF DEMOLITION WORK.

4.2 ITEMS INDICATED AS "TO BE SALVAGED" ON THE DEMOLITION PLANS OR IDENTIFIED IN OWNER/ARCHITECT WALK-THROUGH SHALL BE REMOVED WITH DUE CARE AND STORED FOR REUSE AS REQUIRED IN A LOCATION APPROVED BY THE OWNER AND ARCHITECT. PROVIDE AN INVENTORY OF SUCH ITEMS FOR COORDINATION OF REUSE IN THE PROJECT.

4.3 REVIEW INTERIOR PARTITIONS TO BE REMOVED. NOTE WHETHER STRUCTURAL OR NON-STRUCTURAL. IF STRUCTURAL, STRIP WALL FINISHES ONLY TO EXPOSE FRAMING FOR REVIEW BY PROJECT STRUCTURAL ENGINEER & ARCHITECT.

4.4 ADDITIONAL ITEMS SALVAGED FROM THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF AT HIS DISCRETION.

4.5 DO NOT ALLOW DEBRIS, DEMOLISHED PORTIONS OF THE STRUCTURE, HEAVILY LADEN OR OVERLOADED CONTAINERS OR VEHICLES TO DAMAGE PORTIONS OF THE EXISTING BUILDING OR SITE.

4.6 PROVIDE DIRT AND DUST CONTROL AND/OR BARRIERS THROUGHOUT THE COURSE OF WORK. CLEANING, SWEEPING, THE USE OF WATER AND/OR A DUST PALLIATIVE IS THE RESPONSIBILITY OF THE CONTRACTOR.

4.7 NECESSARY EXTERMINATION WORK SHALL BE PERFORMED BY LICENSED PROFESSIONAL IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING AUTHORITIES.

4.8 THE USE OF EXPLOSIVES AND/OR MECHANICAL JACKHAMMERS SHALL BE PROHIBITED UNLESS SPECIFIC APPROVALS ARE OBTAINED FROM GOVERNING AGENCIES.

4.9 LEAVE ALL PORTIONS OF THE PROJECT SITE AND THE DEMOLITION AREA IN A SAFE, CLEAN, FREE OF RUBBISH OR DEBRIS, AND SANITARY CONDITION THROUGHOUT THE COURSE OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT. PROVIDE REGULARLY SCHEDULED CLEANING AS REQUIRED.

4.10 THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING IMPROVEMENTS, WHICH ARE DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. RESTORATION AND/OR REPLACEMENT SHALL BE AS NEAR AS REASONABLY POSSIBLE TO THE ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.

DEMOLITION PLAN NOTES
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MONARCH BAY

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4	2/5/21	CDP Rev 1
5	3/31/21	CDP Rev 2

ISSUE

REVISIONS

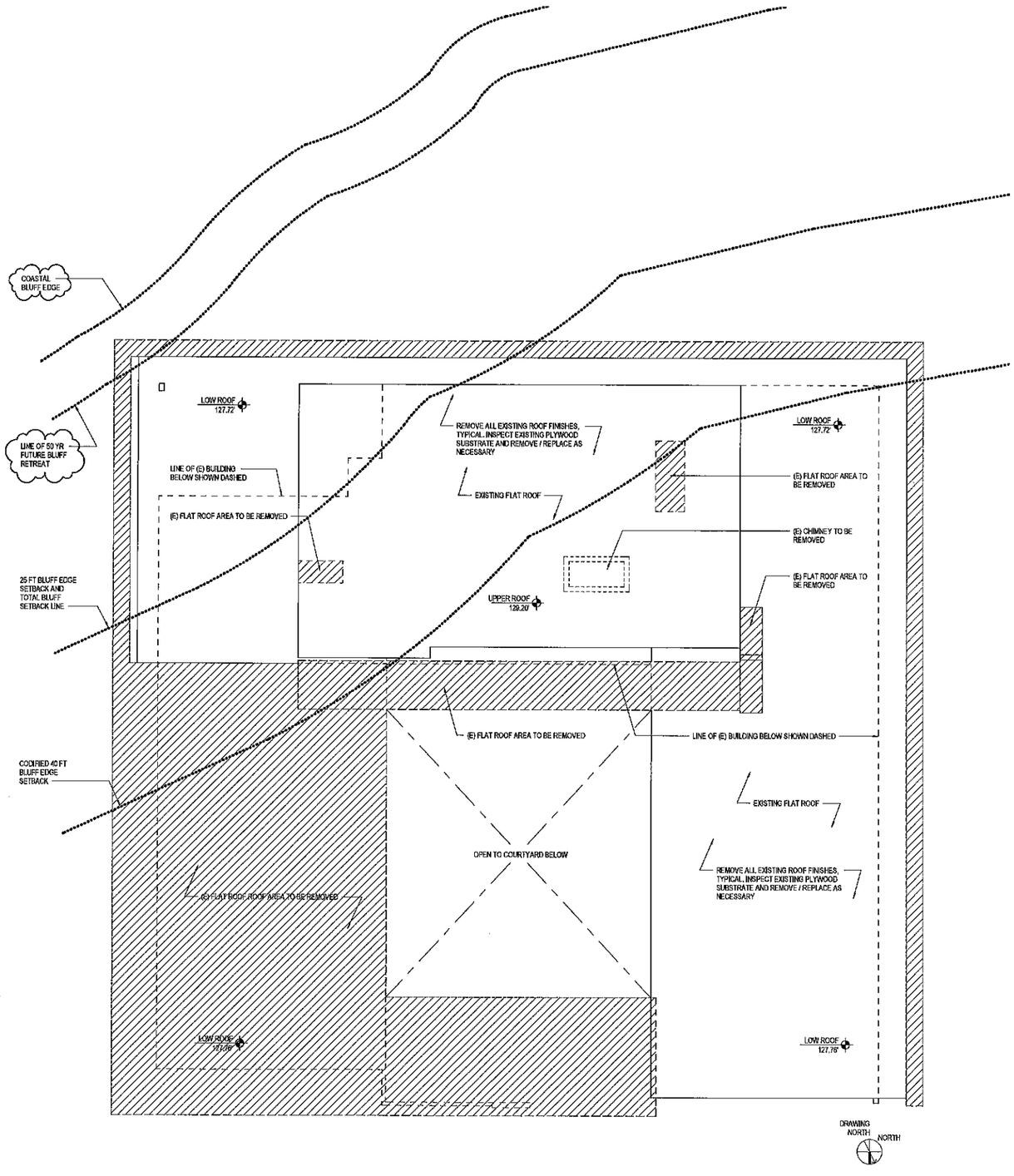
DEMOLITION PLAN - FIRST FLOOR

DRAWING TITLE

DATE 3/31/2021 1:42:07 PM

SCALE As Indicated (UNLESS PRINTED ON SEPARATE SHEETS)

DRAWING NO. **A1.01**



DEMOLITION PLAN - MAIN ROOF (1)
1/4" = 1'-0"

VOLUNTARY DEMOLITION CALCULATIONS

TOTAL LENGTH OF EXISTING WALLS:	785'-8 81/128"
TOTAL LENGTH OF DEMOLISHED WALLS:	335'-8 15/64"
DEMOLISHED WALL RATIO:	42.69%

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

EXISTING DOOR TO BE REMOVED

EXISTING CABINETRY AND / OR FIXTURE TO BE REMOVED

EXISTING WINDOW TO BE REMOVED

FLOOR / ROOF AREA TO BE REMOVED

LEGEND - DEMO
1/4" = 1'-0"

1.0 GENERAL
1.1 NO DEMOLITION SHALL BE PERFORMED WITHOUT A DEMOLITION PERMIT ISSUED BY THE CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY.
1.2 COMPLETE ALL DEMOLITION WORK INDICATED ON THE DEMOLITION PLAN IN CONFORMANCE WITH ANSI STANDARDS FOR DEMOLITION, A10.6.
1.3 ALL DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH APPLICABLE PROVISIONS OF FEDERAL, STATE AND LOCAL LAWS, RULES, CODES, REGULATIONS, SAFETY ORDERS, COMMUNITY ORDINANCES. VERIFY LOCAL GUIDELINES AND RESTRICTIONS FOR DEMOLITION WORK, AND DISPOSAL LOCATIONS. CONTRACTOR SHALL AT ALL TIMES OBSERVE AND COMPLY WITH ALL SUCH REGULATIONS.
1.4 CONTRACTOR SHALL STRICTLY ADHERE TO ALL PROVISIONS OF THE LABOR CODE IN REGARDS TO WAGES, NONDISCRIMINATION, ETC., ONLY COMPETENT WORKERS EXPERIENCED IN THEIR SPECIFIC TRADES SHALL BE EMPLOYED ON THE WORK. GENERAL INDUSTRY SAFETY ORDERS ISSUED BY THE STATE DIVISION OF INDUSTRIAL SAFETY SHALL BE POSTED OR OTHERWISE AVAILABLE ON THE PROJECT SITE.
1.5 CONTRACTOR SHALL MAINTAIN AND FURNISH CERTIFICATES OF WORKMENS COMPENSATION AND LIABILITY INSURANCE AS REQUIRED BY THE OWNER AND GOVERNING AGENCIES.
1.6 REMOVAL AND DISPOSAL OF ALL EXISTING ASBESTOS ENCOUNTERED DURING DEMOLITION SHALL BE BY LICENSED PROFESSIONALS EXPERIENCED IN THE HANDLING OF SAID MATERIALS AND SHALL BE PERFORMED IN COMPLIANCE WITH THE STATE OF CALIFORNIA GUIDELINES FOR ENVIRONMENTAL SAFETY AND PROTECTION. NOTIFY OWNER AND ARCHITECT OF THE PRESENCE OF ALL HAZARDOUS AND/OR TOXIC MATERIALS ENCOUNTERED ON THE PROJECT SITE.
1.7 MAINTAIN A SAFE, SECURE AND CLEAN PROJECT SITE THROUGHOUT THE COURSE OF WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY, ADEQUACY AND PERFORMANCE OF DEMOLITION METHODS AND MEANS.
1.8 PERFORM ALL WORK IN A MANNER WHICH CREATES A MINIMAL DISRUPTION TO THE DAILY OPERATION OF THE ADJOINING COMMUNITY AND PROPERTY OWNERS.
1.9 THE CONTRACTOR SHALL MAINTAIN ENCLOSED SANITARY FACILITIES FOR THE USE OF THE EMPLOYEES ENGAGED IN THE WORK IN A NEAT AND SANITARY CONDITION
1.10 THE CONTRACTOR SHALL NOT DISCHARGE SMOKE, DUST, OR ANY OTHER AIR CONTAMINANTS INTO THE ATMOSPHERE IN SUCH QUANTITY AS WILL VIOLATE THE REGULATIONS OF GOVERNING AUTHORITIES. NOTIFICATION AND APPROVAL OF THE GOVERNING AIR QUALITY MANAGEMENT DISTRICT IS REQUIRED
1.11 THE CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN AND REMOVE ALL TEMPORARY UTILITIES AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE WORK.
1.12 THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMPLIANCE WITH ADDITIONAL PUBLIC SAFETY ORDERS OR REQUIREMENTS WHICH MAY ARISE DURING THE COURSE OF WORK.
1.13 CONSTRUCTION WASTE SHALL BE REDUCED BY 65% BY USE OF A CITY OF LOS ANGELES CERTIFIED HAULER.

2.0 COORDINATION AND REVIEW
2.1 GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AND BE RESPONSIBLE FOR THE PLANNING AND EXECUTION OF ALL REQUIRED DEMOLITION.
2.2 THE STRUCTURAL INTEGRITY OF ALL PORTIONS OF THE EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE COURSE OF WORK. PROVIDE BRACING AND SHORING AS REQUIRED. VERIFY AND PROVIDE ENGINEERING FOR TEMPORARY SUPPORT AS NECESSARY.
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2.4 FIELD MARKINGS OF THE SCOPE OF DEMOLITION WORK INCLUDING INDICATIONS OF ITEMS TO BE REMOVED OR SALVAGED SHALL BE REVIEWED IN A WALK-THROUGH WITH THE OWNER AND ARCHITECT.
2.5 VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SERVICES PRIOR TO COMMENCEMENT OF DEMOLITION. WHERE EXISTING UTILITIES OR SERVICES ARE ENCOUNTERED, MEASURES SHALL BE TAKEN TO PROTECT, SECURE, CAP, REMOVE AND/OR MAINTAIN SAME THROUGHOUT THE DEMOLITION AND CONSTRUCTION PHASE. NOTIFY OWNER AND ARCHITECT OF UNFORESEEN OR UNSATISFACTORY CONDITIONS ENCOUNTERED AND RESOLVE SAID CONDITIONS PRIOR TO PROCEEDING WITH RELATED WORK.
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2.7 SECURE REQUIRED PERMITS AND/OR APPROVALS FROM GOVERNING AGENCIES FOR STORAGE, HAULING, DISPOSAL OF CONSTRUCTION DEBRIS.

3.0 PREPARATION
3.1 PROVIDE PROTECTION OF EXISTING STRUCTURES, IMPROVEMENTS, UTILITIES, EQUIPMENT AND FINISHES TO REMAIN AS INDICATED ON THE PLANS AND AS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK.
3.2 VERIFY EXISTING UTILITIES AND SERVICES TO REMAIN IN OPERATION DURING THE COURSE OF WORK. NOTIFY UTILITY COMPANIES IN ADVANCE OF REQUIRED SERVICE MODIFICATIONS.
3.3 SCHEDULE DISPOSAL AND ESTABLISH HAULING ROUTES IN ADVANCE TO PREVENT THE ACCUMULATION OF DEMOLITION DEBRIS. SPILLAGE RESULTING FROM HAULING SHALL BE REMOVED IMMEDIATELY.
3.4 MEASURES SHALL BE TAKEN AS REQUIRED TO PREVENT DAMAGE TO ADJOINING PROPERTIES AND IMPROVEMENTS PRIOR TO COMMENCEMENT OF THE WORK.
3.5 DISPOSE OF ALL DEMOLITION MATERIALS LEGALLY OFF SITE. EFFORT SHALL BE MADE TO RECYCLE REFUSE AND DEBRIS WHENEVER POSSIBLE. CONFORM WITH THE REQUIREMENTS OF THE CITY OF LOS ANGELES BEST MANAGEMENT PRACTICES AS APPICABLE.
3.6 MATERIALS, MACHINERY AND EQUIPMENT SHALL NOT BE STORED ON SITE BEYOND THE NECESSARY LENGTH OF TIME REQUIRED FOR USE IN THIS WORK. VERIFY STORAGE LOCATION WITH THE OWNER AND ARCHITECT. MATERIALS SHALL NOT BE STORED OR DEPOSITED WITHIN THE PUBLIC RIGHT OF WAY WITHOUT SPECIFIC APPROVAL FROM THE GOVERNING AGENCY.

4.0 EXECUTION
4.1 AT THE LIMITS OF DEMOLITION WORK PROVIDE NEAT, ORDERLY AND CLEAN JOINTS, LINES, AND EDGES OF SURFACES. REPAIR OR REPLACE ANY MATERIALS OR SURFACES TO REMAIN WHICH BECOME EXPOSED, OR DAMAGED AS A RESULT OF DEMOLITION WORK.
4.2 ITEMS INDICATED AS "TO BE SALVAGED" ON THE DEMOLITION PLANS OR IDENTIFIED IN OWNER/ARCHITECT WALK-THROUGH SHALL BE REMOVED WITH DUE CARE AND STORED FOR REUSE AS REQUIRED IN A LOCATION APPROVED BY THE OWNER AND ARCHITECT. PROVIDE AN INVENTORY OF SUCH ITEMS FOR COORDINATION OF REUSE IN THE PROJECT.
4.3 REVIEW INTERIOR PARTITIONS TO BE REMOVED. NOTE WHETHER STRUCTURAL OR NON-STRUCTURAL. IF STRUCTURAL, STRIP WALL FINISHES ONLY TO EXPOSE FRAMING FOR REVIEW BY PROJECT STRUCTURAL ENGINEER & ARCHITECT.
4.4 ADDITIONAL ITEMS SALVAGED FROM THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DISPOSED OF AT HIS DISCRETION.
4.5 DO NOT ALLOW DEBRIS, DEMOLISHED PORTIONS OF THE STRUCTURE, HEAVILY LADEN OR OVERLOADED CONTAINERS OR VEHICLES TO DAMAGE PORTIONS OF THE EXISTING BUILDING OR SITE.
4.6 PROVIDE DIRT AND DUST CONTROL AND/OR BARRIERS THROUGHOUT THE COURSE OF WORK. CLEANING, SWEEPING, THE USE OF WATER AND/OR A DUST PALLIATIVE IS THE RESPONSIBILITY OF THE CONTRACTOR.
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4.8 THE USE OF EXPLOSIVES AND/OR MECHANICAL JACKHAMMERS SHALL BE PROHIBITED UNLESS SPECIFIC APPROVALS ARE OBTAINED FROM GOVERNING AGENCIES.
4.9 LEAVE ALL PORTIONS OF THE PROJECT SITE AND THE DEMOLITION AREA IN A SAFE, CLEAN, FREE OF RUBBISH OR DEBRIS, AND SANITARY CONDITION THROUGHOUT THE COURSE OF WORK TO THE SATISFACTION OF THE OWNER AND ARCHITECT. PROVIDE REGULARLY SCHEDULED CLEANING AS REQUIRED.
4.10 THE CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING IMPROVEMENTS, WHICH ARE DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. RESTORATION AND/OR REPLACEMENT SHALL BE AS NEAR AS REASONABLY POSSIBLE TO THE ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.

DEMOLITION PLAN NOTES
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PROJECT NO. 20071

DRAWING

NOT FOR CONSTRUCTION

MONARCH BAY

61 MONARCH BAY DRIVE,
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REVISIONS		
4	2/5/21	CDP Rev 1
5	3/31/21	CDP Rev 2

ISSUE

PLANNING

DRAWING TITLE: DEMOLITION PLAN - ROOF

DATE: 3/31/2021 1:42:08 PM

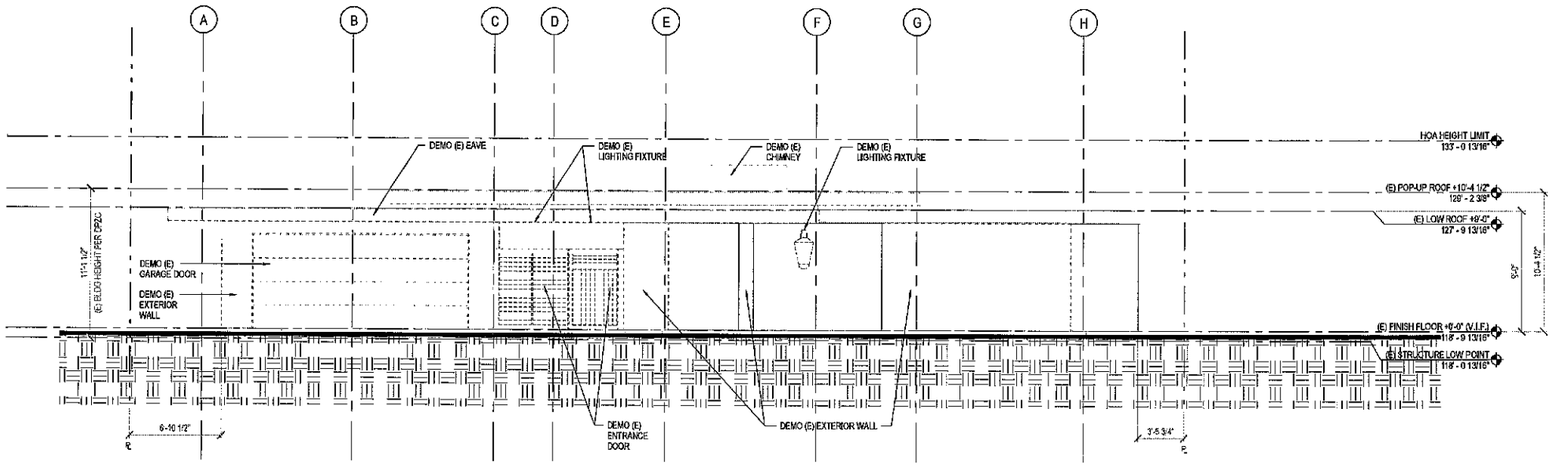
SCALE: As Indicated (WHEN PLOTTED ON 24"X36" SHEET)

DRAWING NO. A1.02

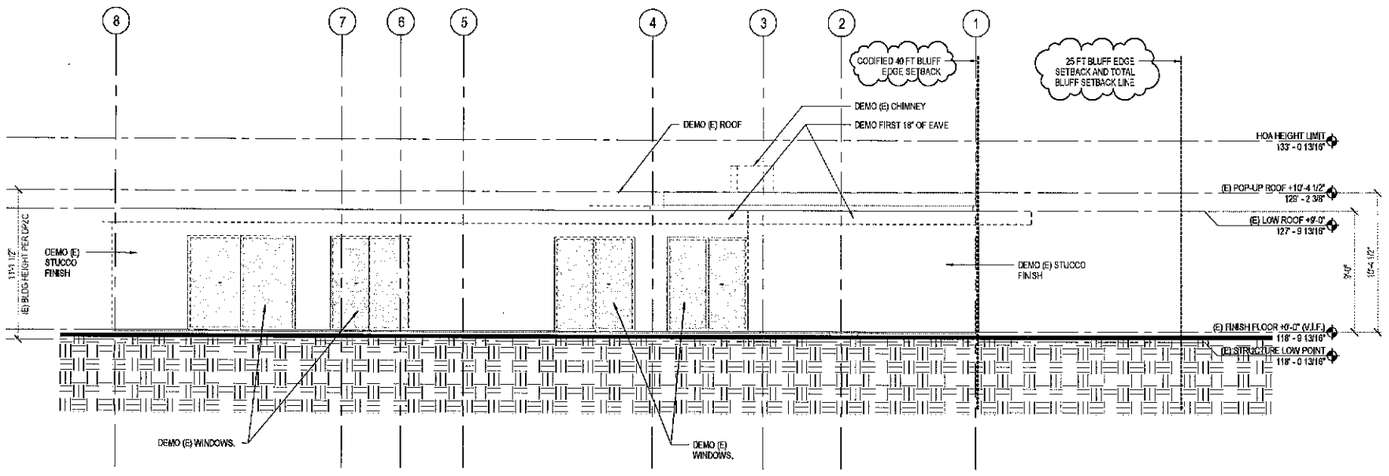
Published: 3/31/2021 1:42:08 PM

VOLUNTARY DEMOLITION CALCULATIONS

TOTAL LENGTH OF EXISTING WALLS:	788'-8 81/128"
TOTAL LENGTH OF DEMOLISHED WALLS:	336'-8 15/64"
DEMOLISHED WALL RATIO:	42.69%



DEMO ELEVATION - NORTH 1
1/4" = 1'-0"



DEMO ELEVATION - WEST 2
1/4" = 1'-0"

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PROJECT NO: 20071

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ISSUES		
4	2/5/21	CDP Rev 1
5	3/31/21	CDP Rev 2

ISSUED:

DRAWING TITLE: DEMOLITION EXTERIOR ELEVATIONS

DATE: 3/31/2021 1:42:16 PM

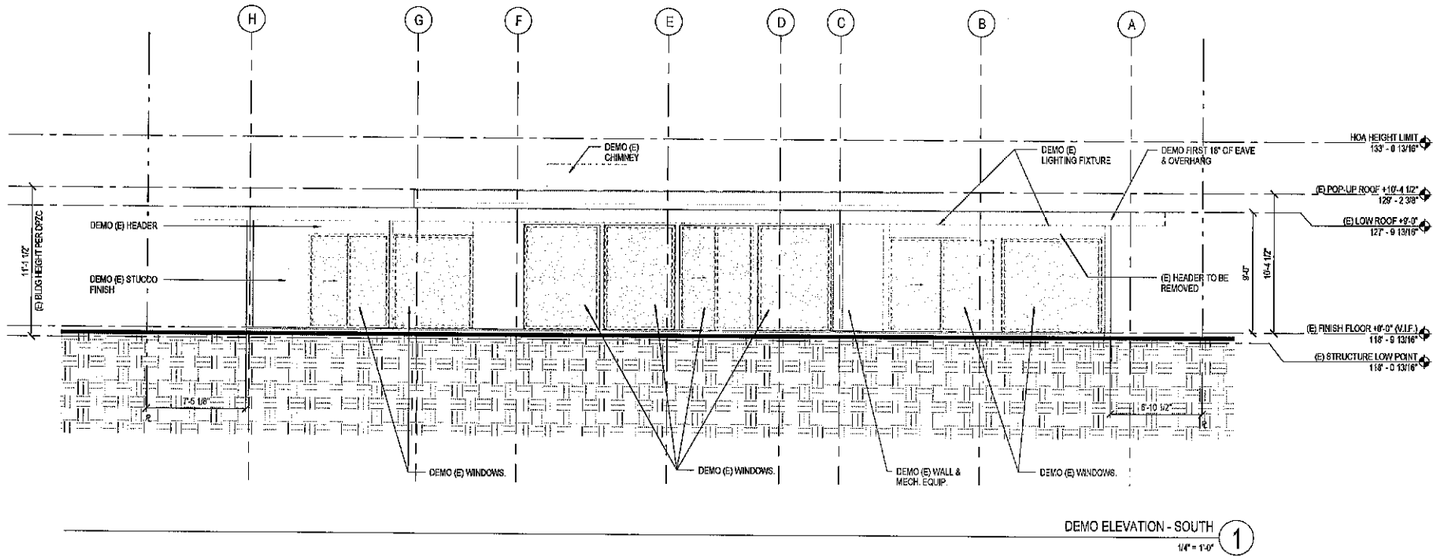
SCALE: As indicated

DRAWING NO: **A1.03**

Plotted: 3/31/2021 1:42:16 PM

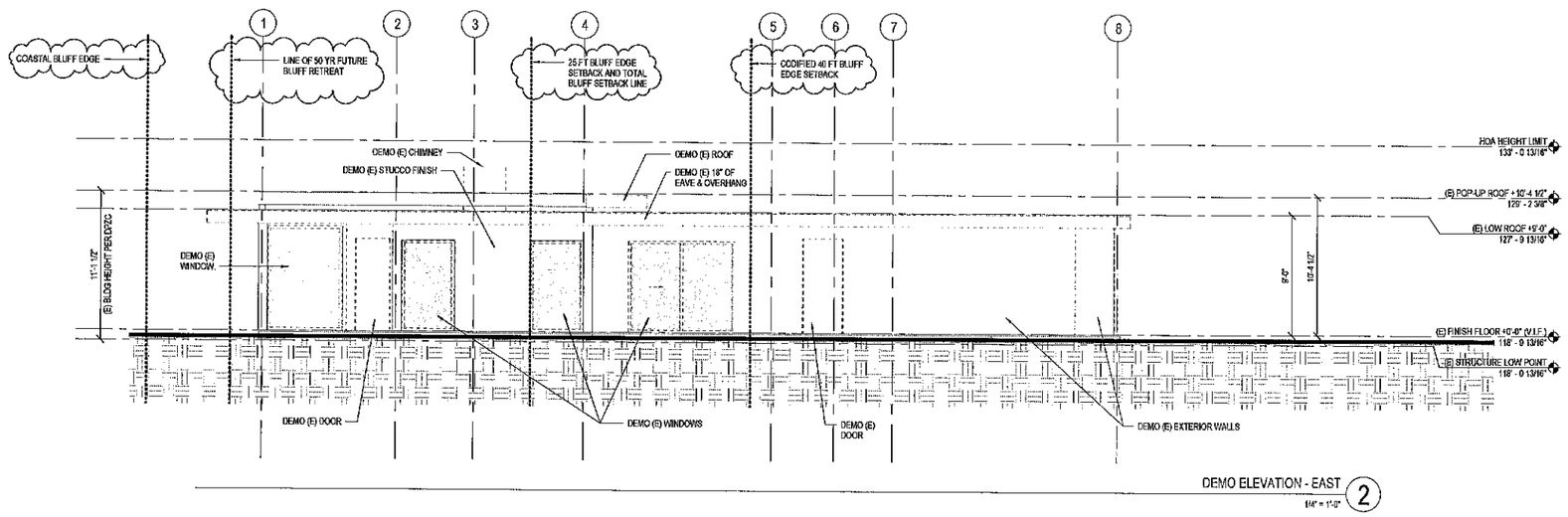
VOLUNTARY DEMOLITION CALCULATIONS

TOTAL LENGTH OF EXISTING WALLS:	788'-9 81/128"
TOTAL LENGTH OF DEMOLISHED WALLS:	335'-8 15/64"
DEMOLISHED WALL RATIO:	42.69%



DEMO ELEVATION - SOUTH 1

1/4" = 1'-0"



DEMO ELEVATION - EAST 2

1/4" = 1'-0"

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PROJECT NO: 20071

ISSUANCE: NOT FOR CONSTRUCTION

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REVISIONS			
4	2/5/21	CDP Rev 1
5	3/31/21	CDP Rev 2

ISSUANCE:

DRAWING TITLE: DEMOLITION EXTERIOR ELEVATIONS

DRAWING ISSUE DATE: 5/11/2021 12:21:38 PM

SCALE: As Indicated (WHEN PRINTED ON 30"x42" SHEET)

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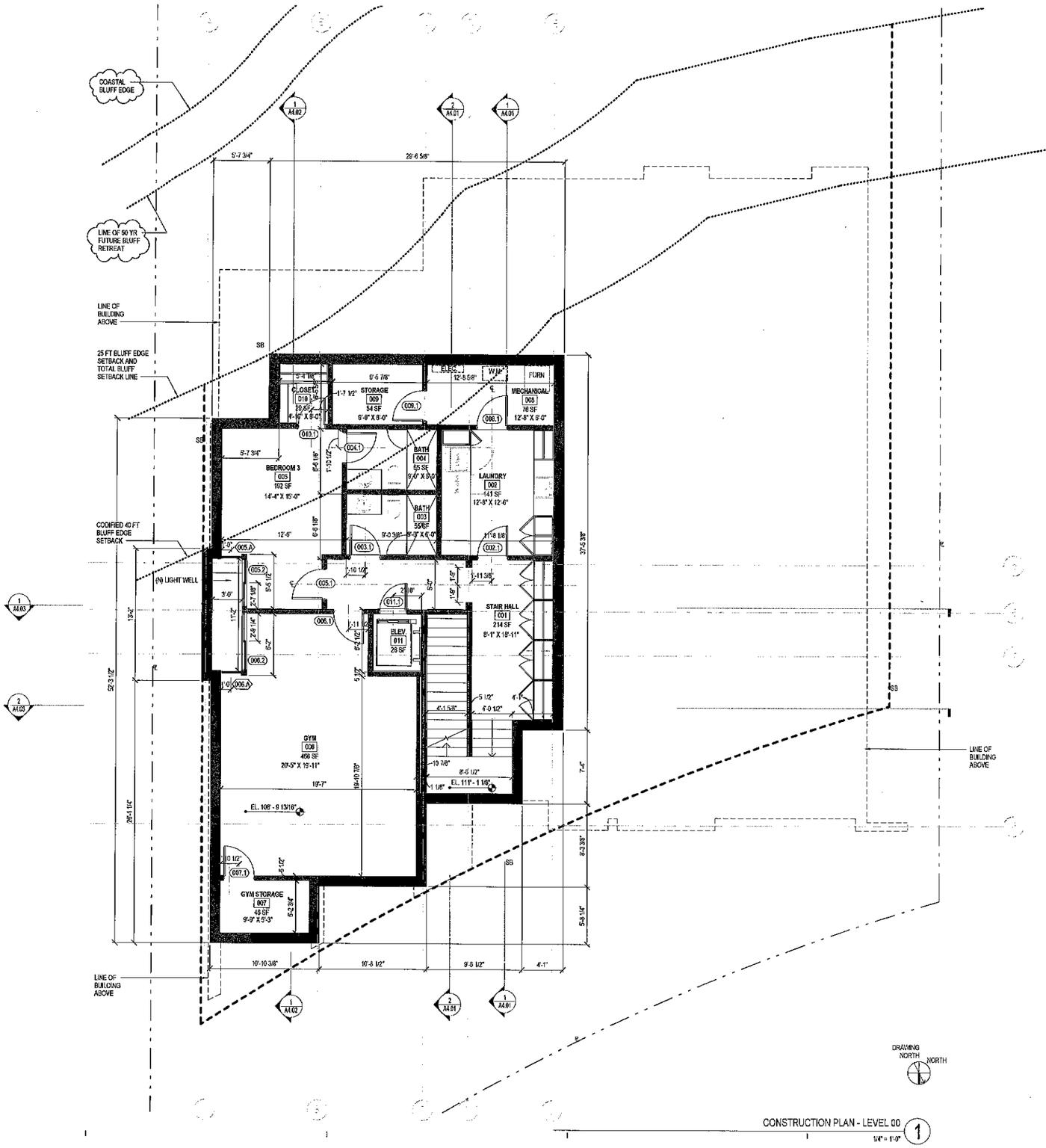
Published: 5/11/2021 12:21:38 PM



CONSTRUCTION PLAN - LEVEL 00 (1)
1/4" = 1'-0"

XX.XX SPOT ELEVATION
PROPERTY LINE
SETBACK LINE
EXISTING WALL FRAMING TO REMAIN
NEW WALL FRAMING

LEGEND - FLOOR PLAN
1/4" = 1'-0"

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PROJECT NO 20071

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REVISION		
4	2/5/21	CDP Rev 1
5	3/31/21	CDP Rev 2

ISSUED

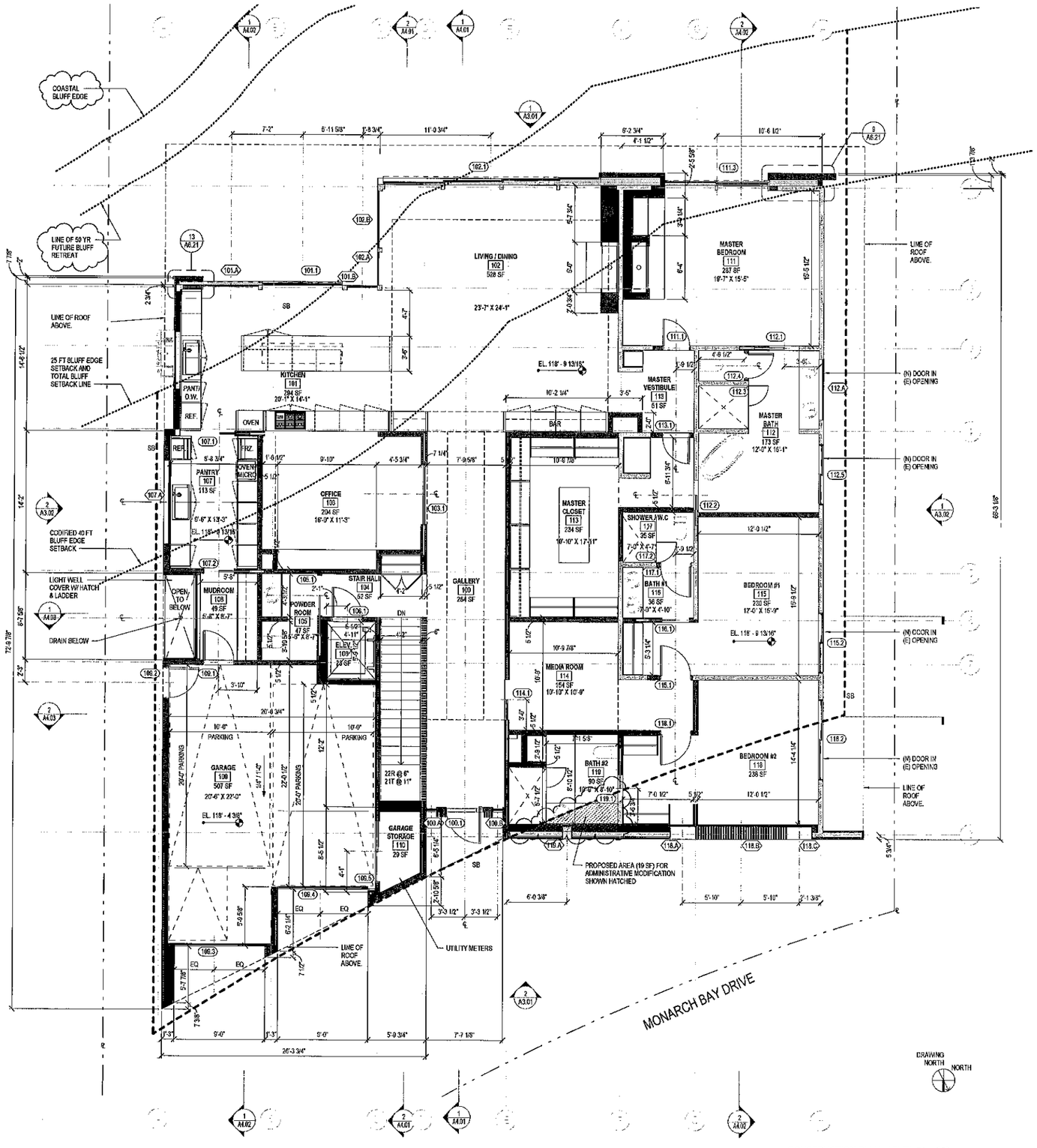
SUBMITTED

FRAMING PLAN - LOWER LEVEL

DATE 6/9/2021 3:09:21 PM

SCALE 1/4" = 1'-0" (WHEN PRINTED ON 30"X42" SHEET)

A2.00



CONSTRUCTION PLAN - LEVEL 01 (1)
1/4" = 1'-0"

XX.XX SPOT ELEVATION
PROPERTY LINE
SETBACK LINE
EXISTING WALL FRAMING TO REMAIN
NEW WALL FRAMING

LEGEND - FLOOR PLAN
1/4" = 1'-0"

1. DO NOT SCALE FROM DRAWINGS.
2. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
4. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
5. PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
6. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA CUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
7. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIOLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
8. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
9. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUSS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R303.4).
10. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
11. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
12. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
13. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)
14. PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (5109 OF LASC)
15. PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
16. PROVIDE APPROVED SAFETY POOL COVER THAT MEETS ALL OF THE PERFORMANCE STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), IN COMPLIANCE WITH STANDARD F1346-91
17. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
18. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
19. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
20. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
21. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
22. HEATER SHALL BE CAPABLE OF MAINTAINING A MIMINUM ROOM TEMPERATURE OF 68 F AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
23. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2)
24. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3)

CONSTRUCTION PLAN NOTES
NTS

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PROJECT NO. 20071

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MONARCH BAY

61 MONARCH BAY DRIVE,
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ISSUANCE			
	2	Date 4	REVISION 2
	4	2/5/21	CDP Rev 1
	5	3/31/21	CDP Rev 2

SEAL

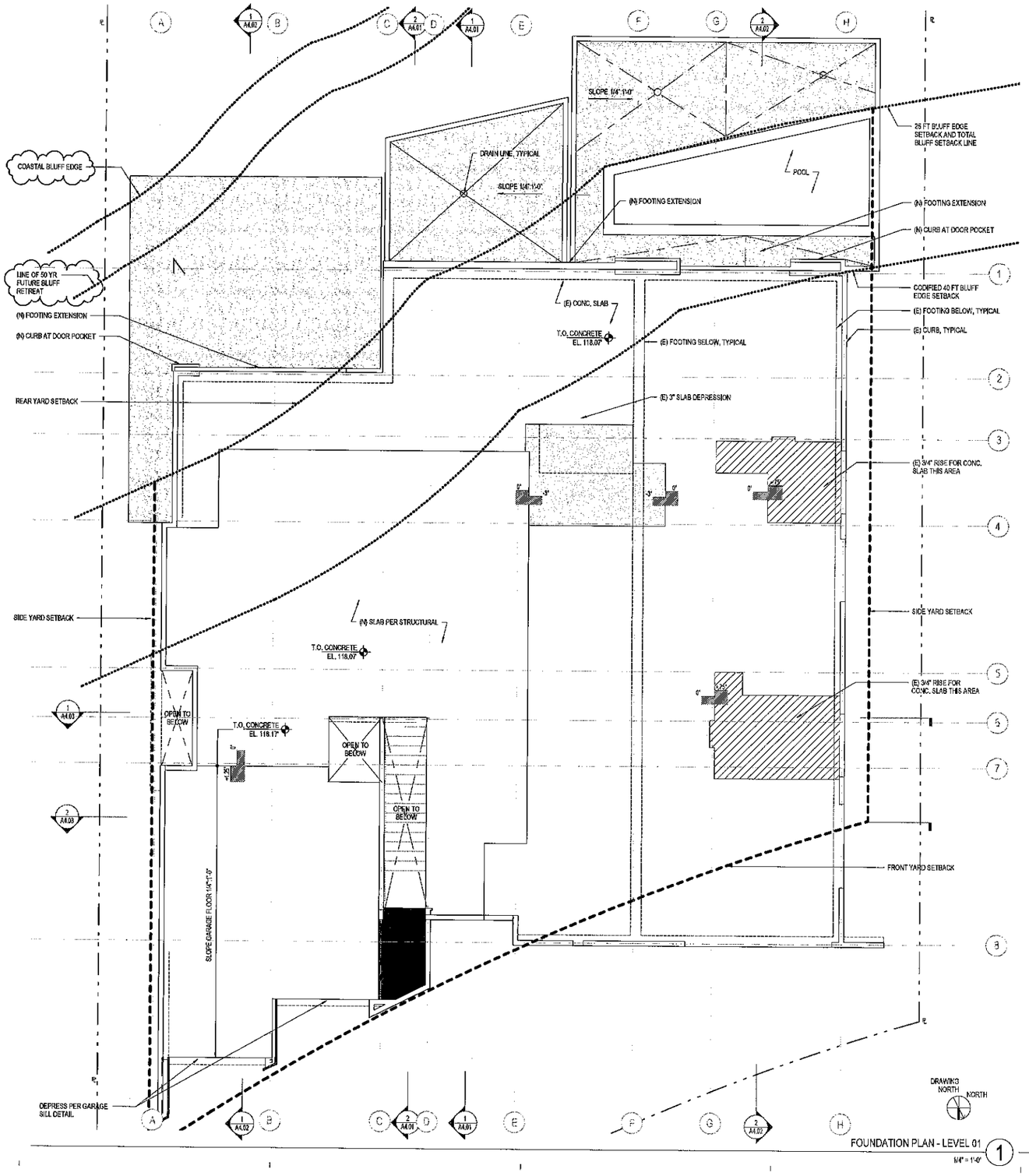
ISSUANCE

DRAWING TITLE: FRAMING PLAN - FIRST FLOOR

PLOT DATE: 6/8/2021 3:12:37 PM

SCALE: As indicated (DRAWING PRINTED ON 30"X42" SHEET)

DRAWING NO. A2.01



FOUNDATION PLAN - LEVEL 01 (1) 1/4" = 1'-0"

GENERAL NOTE:
THE ENTIRE LIMITS OF PROPOSED SWIMMING POOL/SPA (FOUNDATION, SHELL, ETC.) SHALL BE LOCATED LANDWARD OF THE TOTAL BLUFF EDGE SETBACK LINE.

XX" XX" ELEVATION TRANSITION
XX.XX SPOT ELEVATION
PROPERTY LINE
SETBACK LINE
DEPRESSED SLAB ON GRADE
SLAB ON GRADE
RAISED SLAB ON GRADE

LEGEND - FOUNDATION PLAN 1/4" = 1'-0"

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SEALS

SUBMITTALS

DRAWING TITLE: FOUNDATION PLAN

DATE: 3/31/2021 1:42:30 PM

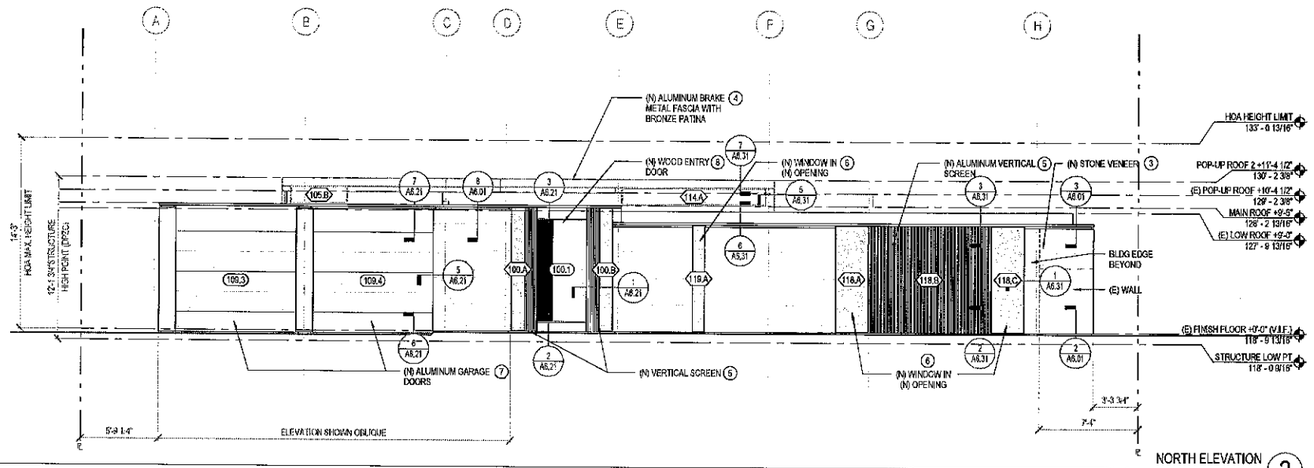
SCALE: 1/4" = 1'-0" WHEN PRINTED ON 30"X42" SHEETS

ORIGINAL SHEET SIZE: ARCH D

A2.01A

Published: 3/31/2021 1:42:30 PM

MATERIALS AND COLOR LEGEND FOR BUILDING AND HARDSCAPE							
NO.	FINISH MARK	ITEM	MATERIAL	MFR.	COLOR NAME	COLOR NO.	COMMENTS
1	RF-1	ROOF	GRAVEL OVER BUILT-UP ROOFING	SARNAFIL	ENERGY/SMART WHITE		
2	PL-1	WALLS - FIELD	SMOOTH TROWELED STUCCO WITH INTEGRAL COLOR	LA HABRA	OATMEAL		
3	ST-1	WALLS - ACCENT	TRAVERTINE	ECO OUTDOOR	SCALA		
4	MTL-1	FASCIA TRIM	ALUMINUM BRAKE METAL	CUSTOM	BRONZE		
5	MTL-3	SCREEN	WOOD GRAIN ALUMINUM	PURE + FREEFORM	BEECHWOOD		
6	MTL-2	WINDOWS	ALUMINUM	FLEETWOOD	LIGHT BRONZE ANODIZE		
7	MTL-4	GARAGE DOOR	WOOD GRAIN ALUMINUM	PURE + FREEFORM	BEECHWOOD		
8	WD-3	ENTRY DOOR	WOOD DOOR W/ WOOD GRAIN ALUMINUM + BRONZE EXTERIOR FINISH	CUSTOM	BEECHWOOD		
9	WD-4	EXTERIOR DOORS	ALUMINUM	FLEETWOOD	LIGHT BRONZE ANODIZE		
10		GUTTERS	N/A				
11		WROUGHT IRON	N/A				
12	ST-2	GARDEN WALLS	TRAVERTINE	ECO OUTDOOR	SCALA		
13	WD-5	GATES	WOOD GRAIN ALUMINUM W/ BLACKENED STEEL INFILL	PURE + FREEFORM	BEECHWOOD		
14	CO-1	DRIVEWAY	CONCRETE WITH INTEGRAL COLOR	DAVIS COLORS	PEBBLE		
15	ST-3	HARDSCAPE	TRAVERTINE	ECO OUTDOOR	SCALA		
16							
17							
18							
19							
20							



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DOCUMENT

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ADDENDA		
2	Date 4	REVISION 2
4	2/5/21	CDP Rev 1

SEAL

SIGNATURE

EXTERIOR ELEVATIONS

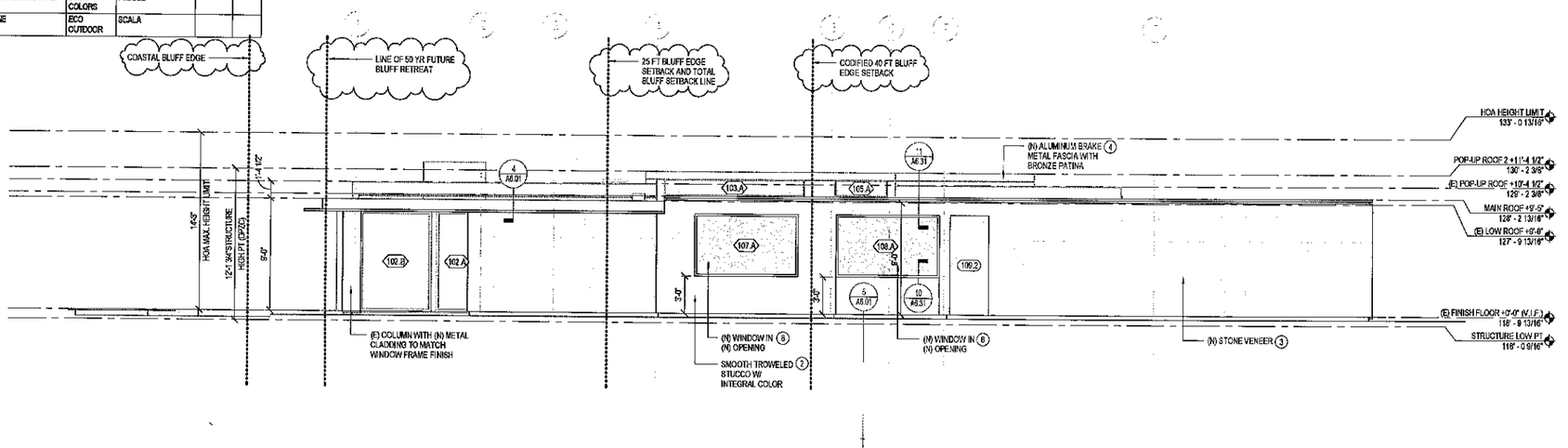
DATE 3/31/2021 1:43:01 PM

SCALE 1/4" = 1'-0" WHEN PRINTED ON 30 X 42 SHEETS

DRAWING NO. A3.01

PLOTTED: 3/31/2021 1:43:01 PM

MATERIALS AND COLOR LEGEND FOR BUILDING AND HARDSCAPE							
NO.	FINISH MARK	ITEM	MATERIAL	MFR.	COLOR NAME	COLOR NO.	COMMENTS
1	RF-1	ROOF	GRAVEL OVER BUILT-UP ROOFING	SARNAFIL	ENERGYSMART WHITE		
2	PL-1	WALLS - FIELD	SMOOTH TROWELED STUCCO WITH INTEGRAL COLOR	LA HABRA	OATMEAL		
3	ST-1	WALLS - ACCENT	TRAVERTINE	ECO OUTDOOR	SCALA		
4	MTL-1	FASCIA TRIM	ALUMINUM BRAKE METAL	CUSTOM	BRONZE		
5	MTL-3	SCREEN	WOOD GRAIN ALUMINUM	PURE + FREEFORM	BEECHWOOD		
6	MTL-2	WINDOWS	ALUMINUM	FLEETWOOD	LIGHT BRONZE ANODIZE		
7	MTL-4	GARAGE DOOR	WOOD GRAIN ALUMINUM	PURE + FREEFORM	BEECHWOOD		
8	WD-3	ENTRY DOOR	WOOD DOOR W/ WOOD GRAIN ALUMINUM + BRONZE EXTERIOR FINISH	CUSTOM	BEECHWOOD		
9	WD-4	EXTERIOR DOORS	ALUMINUM	FLEETWOOD	LIGHT BRONZE ANODIZE		
10		GUTTERS	N/A				
11		WROUGHT IRON	N/A				
12	ST-2	GARDEN WALLS	TRAVERTINE	ECO OUTDOOR	SCALA		
13	WD-5	GATES	WOOD GRAIN ALUMINUM W/ BLACKENED STEEL INFILL	PURE + FREEFORM	BEECHWOOD		
14	CO-1	DRIVEWAY	CONCRETE WITH INTEGRAL COLOR	DAVIS COLORS	PEBBLE		
16	ST-3	HARDSCAPE	TRAVERTINE	ECO OUTDOOR	SCALA		



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SEAL/STAMP

DRAWING TITLE
EXTERIOR ELEVATIONS

PLOT DATE 5/11/2021 12:19:55 PM

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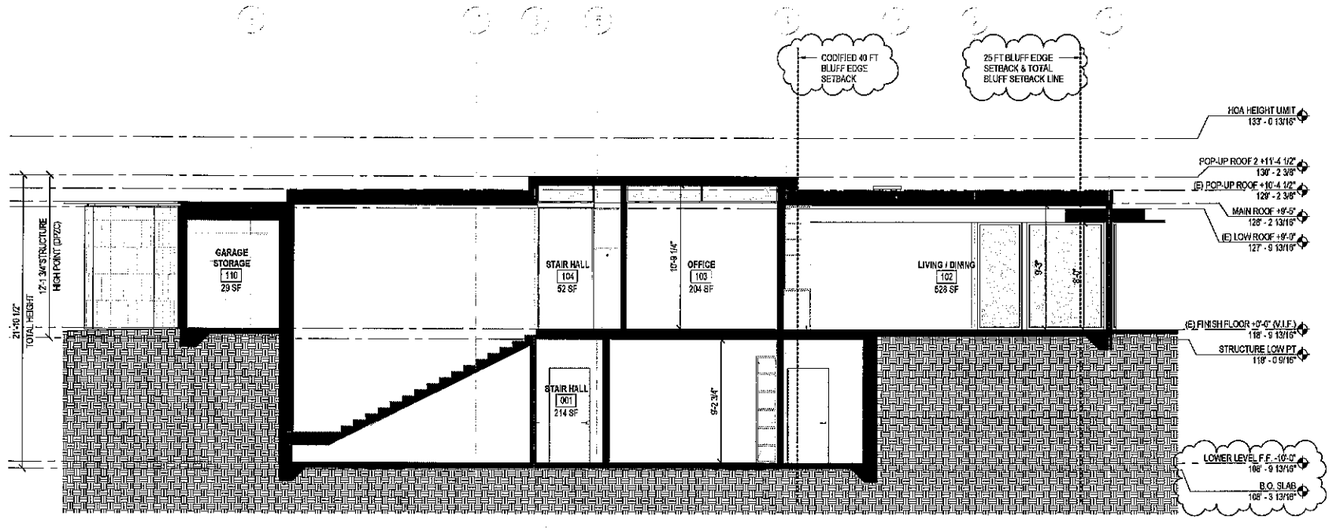
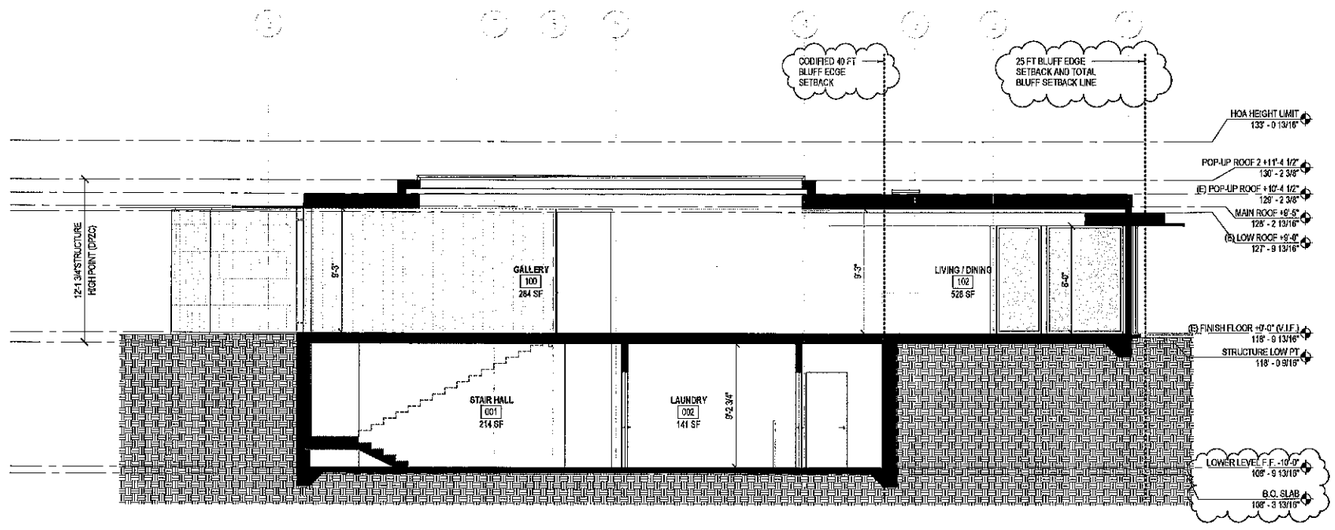
DRAWING NO. A3.02

PLOTTED: 5/11/2021 12:19:55 PM



BUILDING SECTION 2 (2)
1/4" = 1'-0"



BUILDING SECTION 1 (1)
1/4" = 1'-0"

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SHEET NAME

BUILDING SECTIONS

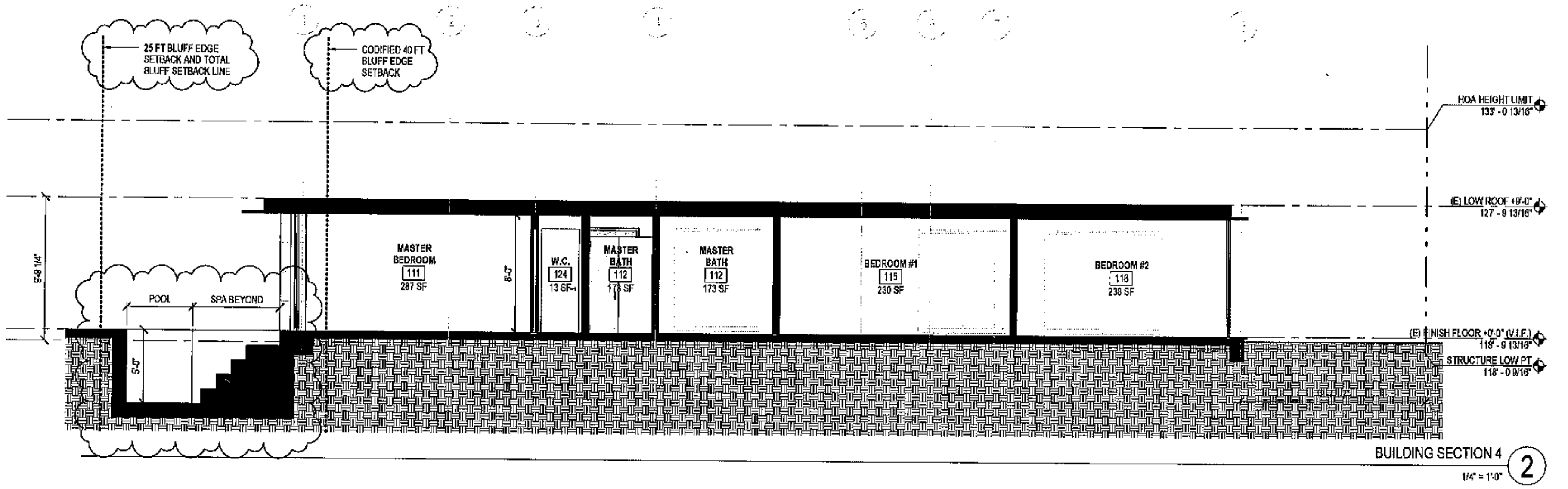
DRAWN BY

DATE: 6/8/2021 2:55:01 PM

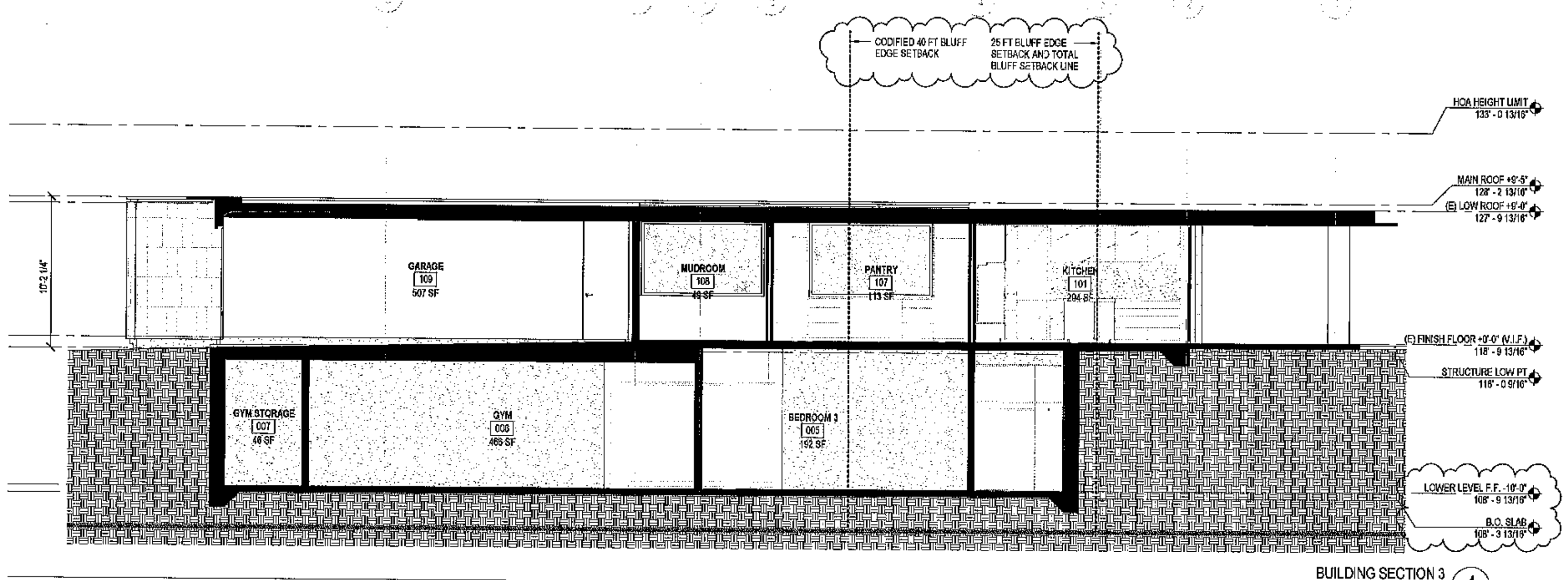
SCALE: 1/4" = 1'-0" (WHEN PRINTED ON 30"X42" SHEET)

SHEET NO.

A4.01



BUILDING SECTION 4 (2)
1/4" = 1'-0"



BUILDING SECTION 3 (1)
1/4" = 1'-0"

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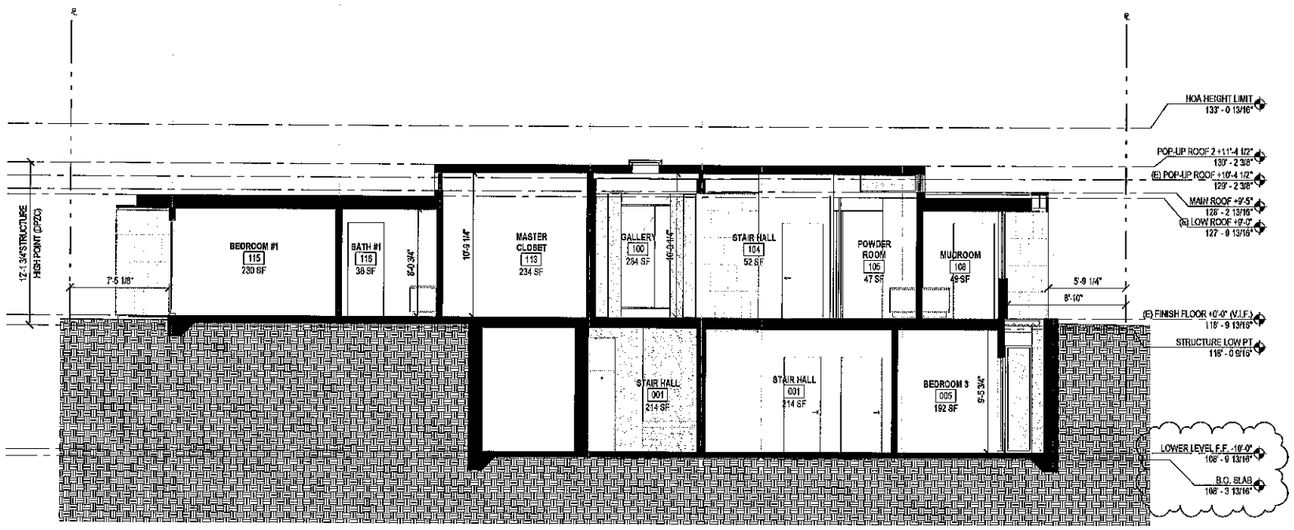
FILENAME

DRAWING TITLE: BUILDING SECTIONS

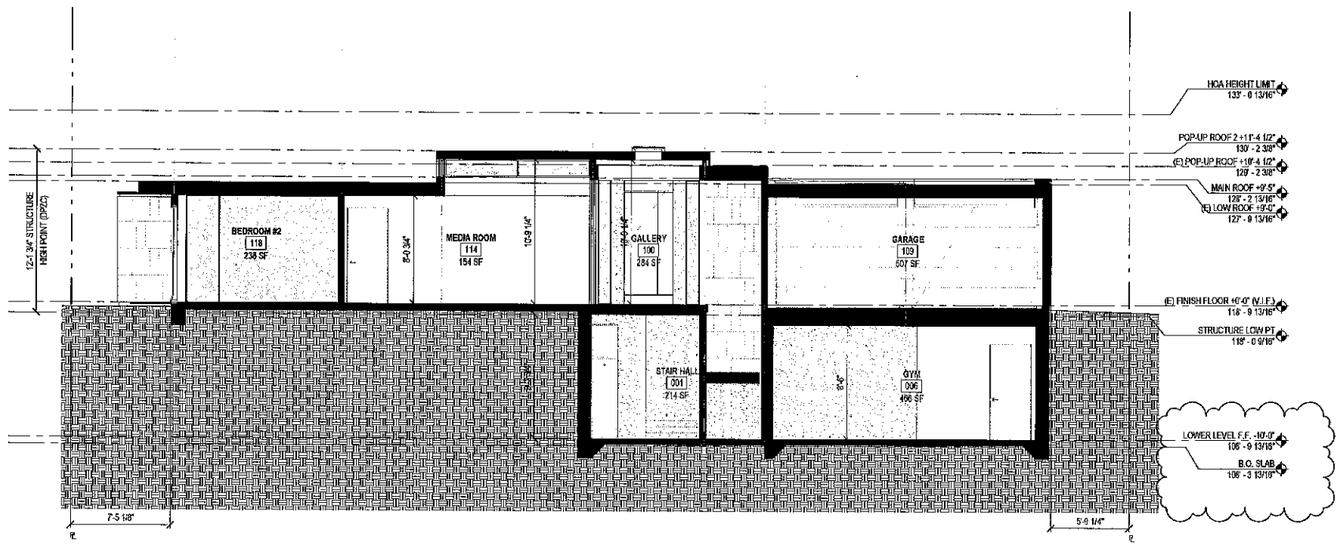
DATE: 6/9/2021 2:55:08 PM

SCALE: 1/4" = 1'-0" (WHEN PRINTED ON 30"X42" SHEET)

DRAWING NO. A4.02



BUILDING SECTION 5 (1)
1/4" = 1'-0"



BUILDING SECTION 6 (2)
1/4" = 1'-0"

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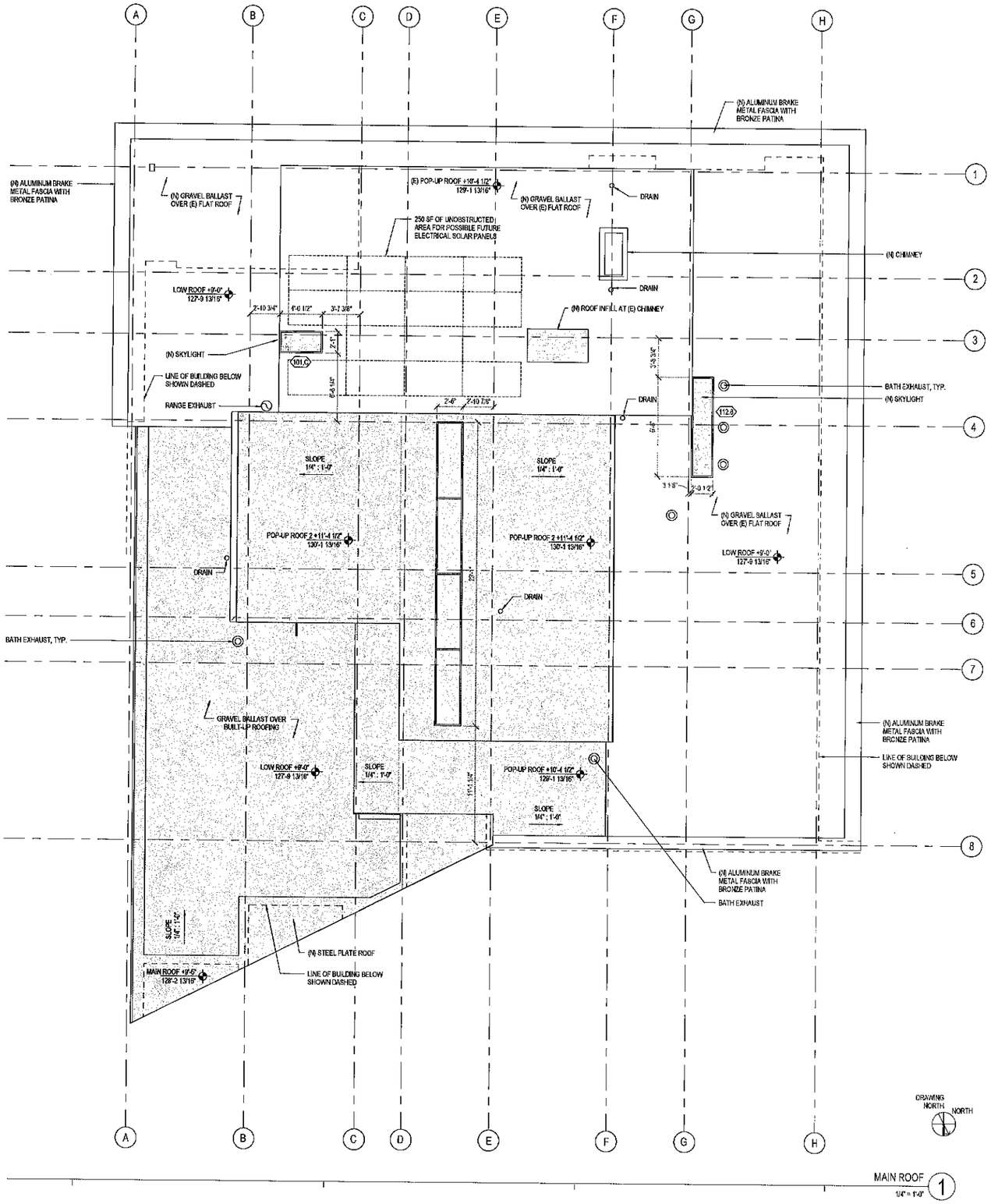
BUILDING SECTIONS

DRAWING DATE: 6/9/2021 2:55:14 PM

SCALE: 1/4" = 1'-0" (WHEN PRINTED ON 30"x42" SHEET)

A4.03

Published: 6/9/2021 2:55:14 PM



MAIN ROOF
1/4" = 1'-0"

1. ALL ROOFS TO DRAIN TO APPROVED LID BMP DEVICE. SEE A02.1.0
2. ALL ROOFS TO BE CLASS A ROOFING ASSEMBLIES (CRC R902)
3. ROOFING IS SINGLE PLY MEMBRANE, MECHANICALLY ATTACHED SARNAFIL G410 ENERGYSMART ROOF MEMBRANE OR EQUIVALENT WITH GRAVEL BALLAST

   ICC NUMBER: ESR 1157

   A. FOR ROOF SLOPES < 2:12: 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL EMITTANCE OF AT LEAST 0.75
   B. FOR ROOF SLOPES > 2:12: 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75 (4.106.5)
4. ALL ROOF ASSEMBLIES TO INCLUDE R-38 RATED INSULATION
5. ALL EXTERIOR WALL ASSEMBLIES TO INCLUDE R-21 RATED INSULATION
6. PROVIDE 1/4" = 1'-0" SLOPE MIN. AT FLAT ROOF
7. A COPY OF THE CONSTRUCTION DOCUMENTS INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. (ENERGY CODE §110.10(D))
8. ROOF VENTS TO BE COLORED TO MATCH ROOFING MATERIAL.

NOTES - ROOF PLAN
1/8" = 1'-0"

EXISTING ROOF FRAMING TO REMAIN
NEW ROOF FRAMING
RANGE EXHAUST
BATH EXHAUST
DRAIN

LEGEND - ROOF PLAN
1/4" = 1'-0"

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3	2/1/21	HOA Rev 2	
4	2/5/21	CDP Rev 1	

ISSUE:

REVISION:

DRAWING TITLE: ROOF PLAN

ISSUE DATE: 3/31/2021 11:54:49 PM

SCALE: As indicated (WHEN PLOTTED ON 30"X42" SHEETS)

DRAWING NO: A5.00

Published: 3/31/2021 11:54:49 PM

WATER PRESSURE LOSS CALCULATIONS

WATER METER NUMBER		WATER METER SIZE (Inches)	1.00
ELEVATION DIFFERENCE (FT)		MINIMUM STATIC PRESSURE (PSI)	60.0
REMOTE CONTROL VALVE #	A1	REMOTE CONTROL VALVE SIZE (in.)	1.00
R.C.V. DEMAND (GPM)	4.5	TOTAL DEMAND (GPM)	4.5

sweeney + associates — IRRIGATION DESIGN AND CONSULTING

SIZE (Inches)	DESCRIPTION	FLOW	#	LOSS	
1.00	SERVICE LINE (50 FT OF TYPE K COPPER)	4.5	1	0.49	PSI
1.00	WATER METER (DISC TYPE)	4.5	2	0.20	PSI
0.75	BACKFLOW PREVENTER (RP TYPE)	4.5	3	10.50	PSI
0.75	FILTRATION (WYE FILTER)	4.5	4	0.50	PSI
0.75	BFD ASSEMBLY PIPING (BRASS W/ 4 ELLS)	4.5	6	1.68	PSI
1.00	MASTER CONTROL VALVE	4.5	7	0.45	PSI
1.00	FLOW SENSOR	4.5	8	1.00	PSI
1.00	ISOLATION VALVES (BALL TYPE)	4.5	9	0.50	PSI
1.00	50 FEET OF MAINLINE, SCH 40 PVC	4.5	10	0.28	PSI
1.00	10 - 90 DEGREE ELBOWS	4.5	13	0.44	PSI
1.00	REMOTE CONTROL VALVE ASSEMBLY	4.5	14	2.90	PSI
10%	LATERAL LINE LOSSES	4.5	15	3.00	PSI
20%	FITTING LOSS (IN ADDITION TO ELBOWS SHOWN)	N/A	16	3.06	PSI
0.00	ELEVATION CHANGE (P.O.C. TO HIGHEST HEAD)	N/A	17	0.00	PSI
TOTAL SYSTEM PRESSURE LOSS (SUM OF #1 THRU #17)			18	22.2	PSI
PRESSURE REQUIRED AT HEAD (OPERATING PRESSURE)			19	30.0	PSI
TOTAL PRESSURE REQUIRED (SUM OF #18 AND #19)			20	52.2	PSI
STATIC WATER PRESSURE (FROM ABOVE)			21	60.0	PSI
RESIDUAL PRESSURE (SUBTRACT #20 FROM #21)			22	7.8	PSI
SET PRV, OR MCV AT (#20 PLUS 10 PSI)			23	N/A	PSI
PRESSURE BOOST, IF REQUIRED (SET TO ACHIEVE 20 PSI RESIDUAL)			24	N/A	PSI

NOTE A:
POINT OF CONNECTION (POC) #1 SHALL BE A 1" IRRIGATION MAINLINE TEE OFF THE RESIDENCE SUPPLY LINE, DOWNSTREAM OF THE EXISTING 1" DOMESTIC WATER METER WITH 1" SERVICE LINE. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION, WATER TYPE, METER SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. MEASUREMENT OF THE STATIC (NO WATER MOVING) WATER PRESSURE IS ACCEPTABLE FOR POTABLE WATER SYSTEMS WHERE NO PUMP HAS BEEN INDICATED ON THESE PLANS. WHEN USING RECYCLED WATER, OR ON POTABLE WATER SYSTEMS REQUIRING A PUMP, ONLY THE MEASUREMENT OF DYNAMIC (WATER MOVING THROUGH THE METER) WATER PRESSURE, SHALL BE ACCEPTABLE. THE DYNAMIC WATER PRESSURE SHALL BE MEASURED AT THE MAXIMUM SYSTEM DEMAND AS INDICATED BELOW. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION AS SHOWN HEREIN, ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

MIN. REQUIRED WATER PRESSURE AT POC: 60 PSI (STATIC / DYNAMIC)
DESIGN WATER PRESSURE: 52 PSI
MAXIMUM SYSTEM DEMAND: 4.5 GPM
RESIDUAL WATER PRESSURE: 8 PSI

NOTE B:
CONTROLLER "A" SHALL BE OF THE BRAND, MODEL AND STATION SIZE AS INDICATED ON THE IRRIGATION MATERIALS LEGEND. THE CONTROLLER SHALL BE INSTALLED IN THE APPROXIMATE LOCATION SHOWN. THE CONTRACTOR SHALL COORDINATE THE REQUIRED ELECTRICAL POWER SUPPLY AT THIS LOCATION WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. FINAL LOCATION OF CONTROLLER AND ELECTRICAL POINT OF CONNECTION SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
THESE PLANS ARE DIAGRAMMATIC. THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE D:
THESE PLANS ARE DIAGRAMMATIC. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE AUGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE E:
PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND LANDSCAPE ARCHITECT A SCALED SHOP DRAWING INDICATING THE PROPOSED LOCATIONS FOR THE IRRIGATION EQUIPMENT LISTED BELOW. THE SHOP DRAWING SHALL BE PREPARED TO THE SATISFACTION OF THE OWNER AND LANDSCAPE ARCHITECT. SHOP DRAWINGS MUST INCLUDE THE PROPOSED LOCATIONS FOR THE FOLLOWING ITEMS:

1. POINT OF CONNECTION (INCLUDING WATER POC, BACK FLOW DEVICES, MASTER CONTROL VALVES, FLOW SENSORS, ETC.)
2. ISOLATION VALVES
3. AUTOMATIC CONTROL VALVES (INDICATE STATION NUMBER)
4. QUICK COUPLING VALVES
5. IRRIGATION CONTROLLER(S)
6. RELATED EQUIPMENT (AS MAY BE DIRECTED).

EACH PIECE OF AFOREMENTIONED EQUIPMENT SHALL HAVE IT'S PROPOSED INSTALLED LOCATION SHOWN ON THE SHOP DRAWINGS. THE SYMBOL FOR EACH PRODUCT SHALL BE A SCALED REPRESENTATION OF THE FOOTPRINT OF THE EQUIPMENT OR THE VALVE BOX IN WHICH THE EQUIPMENT IS INSTALLED. CONTRACTOR SHALL INSTALL ALL VALVE BOXES AND RELATED EQUIPMENT PER THE OWNER APPROVED SHOP DRAWINGS. ONCE THE SHOP DRAWING LOCATIONS ARE APPROVED, THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE WILL ALLOW NO ADJUSTMENTS TO THE APPROVED VALVE BOX PLACEMENT WITHOUT PRIOR WRITTEN ACCEPTANCE. ANY IRRIGATION EQUIPMENT INSTALLED WITHOUT PRIOR APPROVAL WITH SHOP DRAWINGS WILL BE SUBJECT TO RELOCATION BASED ON DIRECTION BY THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.

EXISTING IRRIGATION NOTES

NOTE 1:
CONTRACTOR SHALL MAINTAIN EXISTING MAINLINES IN WORKING ORDER. COORDINATE ALL INTERRUPTIONS OF OPERATION OF THE EXISTING IRRIGATION TO A MINIMUM. COORDINATE ALL INTERRUPTIONS WITH THE OWNER'S REPRESENTATIVE.

NOTE 2:
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING IRRIGATION EQUIPMENT DAMAGED DURING CONSTRUCTION AND IF DAMAGED, SHALL REPLACE WITH SAME MANUFACTURER AND MODEL.

NOTE 3:
ANY EXISTING IRRIGATION CONTROL VALVES CONNECTED TO EXISTING CONTROLLER SHALL BE RECONNECTED TO EXISTING CONTROLLER. CONFIRM PROPER CONTROLLER OPERATION AND INSTALLATION WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK AND UPON COMPLETION OF WORK.

NOTE 4:
CONTRACTOR SHALL CONFIRM THE EXISTING CONTROLLER MAKE AND MODEL AND SHALL CONFIRM THAT SAID CONTROLLER HAS ADEQUATE OPEN STATIONS TO OPERATE ANY ADJUSTED AND ALL PROPOSED IRRIGATION SYSTEM MODIFICATIONS. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE SHOULD ANY DISCREPANCIES BE NOTED.

NOTE 5:
CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR/MODIFICATION/REROUTING OF ALL ADJACENT IRRIGATION SYSTEM EQUIPMENT THAT IS AFFECTED BY NEW CONSTRUCTION IMPROVEMENTS. CONTRACTOR SHALL REPAIR SAID SYSTEMS TO A LIKE NEW MANNER, PROVIDING NO LESS THAN 100% OF HEAD RADIUS COVERAGE IN ALL AREAS WITH SYSTEM LAYOUT AS APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL CONFIRM ALL AREAS REQUIRING MODIFICATION WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO BIDDING WORK AND PRIOR TO STARTING WORK.

NOTE 6:
NO IRRIGATION WILL BE ALLOWED WITHIN THE BLUFF SETBACK.

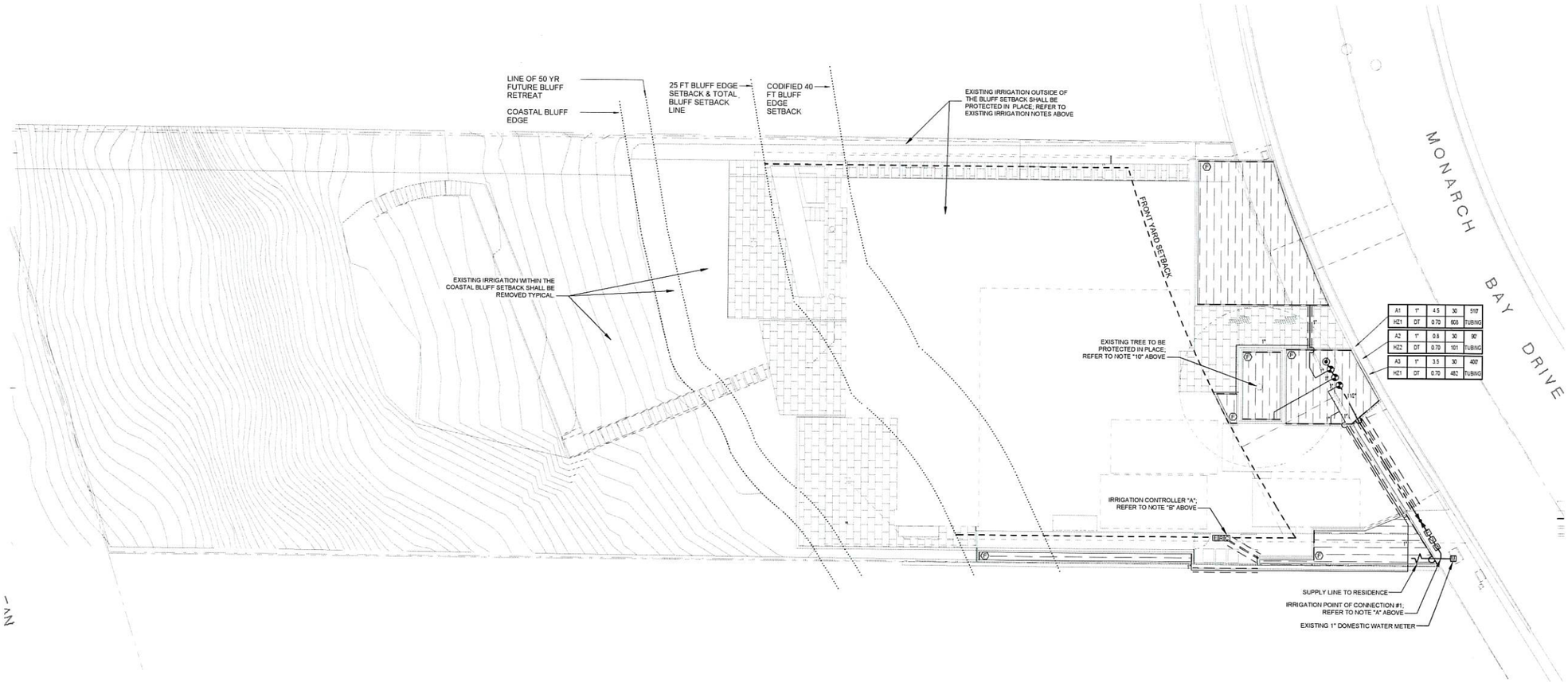
NOTE 7:
CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISPOSAL OF ALL EXISTING IRRIGATION EQUIPMENT AFFECTED BY THE NEW CONSTRUCTION IMPROVEMENTS, IF NECESSARY. CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE REMOVED AND DISPOSED OF IN FIELD PRIOR TO BIDDING WORK AND PRIOR TO STARTING WORK.

NOTE 8:
CONTRACTOR SHALL FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO BIDDING WORK AND AGAIN PRIOR TO STARTING WORK. VERIFICATION SHALL BE DOCUMENTED AND DELIVERED TO OWNER'S REPRESENTATIVE.

NOTE 9:
CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ALL SCH 40 PVC SLEEVING UNDER PAVING, WALLS AND CURBS AT NO LESS THAN 24" BELOW GRADE AND NO LESS THAN 2X DIAMETER OF IRRIGATION PIPE IN AREAS WHERE PIPE CROSSING WILL OCCUR. WHEN PIPE SIZE IS NOT AVAILABLE USE 6" SLEEVING MATERIAL. CONFIRM CROSSINGS WITH OWNER'S REPRESENTATIVE PRIOR TO PAVING AND HARDSCAPE CONSTRUCTION.

NOTE 10:
EXISTING IRRIGATION IN THIS AREA SHALL BE PROTECTED IN PLACE FOR CONTINUED USE. CONTRACTOR SHALL VERIFY THE EXTENT OF THE EXISTING SYSTEM AND MAKE ADJUSTMENTS TO CAP OFF OR MODIFY THE EXISTING SYSTEM TO MEET THE NEW LANDSCAPE CONDITION IF NECESSARY.

NOTE 11:
CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING WITHIN THE DRIPLINE OF EXISTING TREES. NO MECHANICAL TRENCHING WITHIN THE DRIPLINE OF THE EXISTING TREE WILL BE ALLOWED. AIR SPADE SHALL BE UTILIZED FOR ALL TRENCHING WITHIN THE DRIPLINE OF TREES. CONTRACTOR SHALL REFER TO ARBORIST REPORT FOR ADDITIONAL PRECAUTIONS REQUIRED FOR THE EXISTING TREES. VERIFY ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE.



PLANTING PLAN - LEVEL 01 (1)
1/8" = 1'-0"

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

811 — sweeney + associates IRRIGATION DESIGN AND CONSULTING

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PROJECT: 20071

CONSULTANT

MONARCH BAY

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REVISIONS: 1 Date 2 REVISION 1

ISSUED: 11/16/20 HOA/CDP SUBMITTAL

DRAWING TITLE: IRRIGATION PLAN

DRAWING DATE: 11/6/2020 9:02:01 PM

SCALE: As indicated

DRAWING NO: L6.10

Plotted: 11/6/2020 9:02:01 PM

IRRIGATION NOTES

1. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
5. THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
6. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
7. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
8. ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE, LABEL SPARE WIRES AT BOTH ENDS.
10. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
11. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
12. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
13. CONTRACTOR SHALL INSTALL ADDITIONAL CHECK VALVES TO HEADS AND LATERALS AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
14. THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. SWEENEY AND ASSOCIATES RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
15. THE CONTRACTOR IS REQUIRED TO CONTACT DIGALERT OR 811 A MINIMUM OF TWO (2) DAYS PRIOR TO THE START OF ANY EXCAVATIONS ON THE PROJECT AND SPECIFICALLY PRIOR TO THE INSTALLATION OF ANY GROUNDING RODS. DIAL 811 OR LOG ONTO WWW.DIGALERT.ORG TO START A PROJECT TICKET. DIGALERT AND 811 IS A FREE SERVICE PROVIDED TO THE PROJECT. FAILURE TO CONTACT AND HAVE THE EXISTING UTILITIES IDENTIFIED, LOCATED AND MARKED SHALL MAKE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and is a required element of the Landscape Documentation Package.

Project Name: Monarch Bay

Project Address: 61 Monarch Bay Drive, Dana Point, CA 92629

sweeney + associates

Reference Evapotranspiration (ETo): 43.2 In./Yr. **Residential Project?** Yes

Hydrozone # / Planting Description*	Plant Factor	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF / IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Regular Landscape Areas							
1. Low Water Use Plantings	0.20	Drip	0.81	0.25	1,050	273	7,299
2. Low Water Use Trees	0.20	Drip	0.81	0.25	101	25	676
				Totals:	1,151	298	
Special Landscape Areas							
				Totals:	0	0	
				Estimated Total Water Use (ETWU) Total:			7,975
				Maximum Applied Water Allowance (MAWA)*:			17,545

* Hydrozone # / Planting Description — E.g. 1.) Front Lawn; 2.) Low Water Use Plantings; 3.) Medium Water Use Plantings.

* Irrigation Method — Overhead Spray or Drip

* Irrigation Efficiency — 0.75 for Spray; 0.81 for Drip

*** ETWU (Annual Gallons Required)** = ETo x 0.62 x ETAF x Area
Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year.

*** MAWA (Annual Gallons Allowed)** = ETo x 0.62 x [(ETAF x LA) + ((1 - ETAF) x SLA)]
Where 0.62 is a conversion factor that converts acre-inches/acre/year to gallons/square foot/year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential projects and 0.45 for non-residential projects.

Evapotranspiration Adjustment Factor (ETAF) Calculations

This residential project complies with the WELO and its average ETAF is less than 0.55

Regular Landscape Areas	
Total ETAF x Area	298
Total Area	1,191
Average ETAF	**0.25**

All Landscape Areas	
Total ETAF x Area	298
Total Area	1,191
Average ETAF	**0.25**

IRRIGATION CONTROLLER RUN TIMES

POC or Controller				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	Total / Avg.
A	ETo / Month (Inches):			2.20	2.70	3.40	3.80	4.60	4.60	4.90	4.60	4.40	3.40	2.40	2.00	43.30
	ETo / Day (Inches):			0.07	0.10	0.11	0.13	0.15	0.15	0.16	0.15	0.15	0.11	0.08	0.06	0.12
	Irrigation Days / Week:			2	2	3	3	5	5	6	6	5	3	2	2	
Plant / Irrig. Type	AKc	Pr Rate	IE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
Shrubs	0.20	0.70	0.81	5.3	7.1	9.4	8.3	4.4	4.5	3.9	3.9	4.3	5.4	5.9	4.8	Min./Day/Zone
Drip Tubing	Number of Zones:		2	10.5	14.3	10.8	12.5	8.8	9.1	7.8	7.8	8.7	10.8	11.9	9.6	Total Min./Day
Trees	0.20	0.70	0.81	5.3	7.1	9.4	8.3	4.4	4.5	3.9	3.9	4.3	5.4	5.9	4.8	Min./Day/Zone
Drip Tubing	Number of Zones:		1	5.3	7.1	5.4	6.3	4.4	4.5	3.9	3.9	4.3	5.4	5.9	4.8	Total Min./Day
Total Number of Zones:			3	16	21	16	19	13	14	12	12	13	16	18	14	Total Min./Day
Total Controller Run Time in Hours:				0.26	0.36	0.27	0.31	0.22	0.23	0.20	0.20	0.22	0.27	0.30	0.24	Total Hrs./Day
				JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	

Note: These schedules are intended only for compliance with local municipal codes and the water efficient landscape ordinance. These calculations represent the MAXIMUM REASONABLE run times and are used to ensure that all irrigation may be completed during the specific watering window allowed. These schedules do not include rainfall, site soil types, specific exposures (shade versus sun), actual irrigation days, or specific slope position. It is solely the responsibility of the irrigation contractor to program the controller as required to apply the correct amount of irrigation water for the landscape. All smart controllers shall be programmed using the specified ET or weather sensing equipment, satellite provided ET data, soil moisture sensors, and rain shut off devices as required. Contractor shall provide a controller schedule inside the controller cabinet prior to final turnover of the project to the owner.

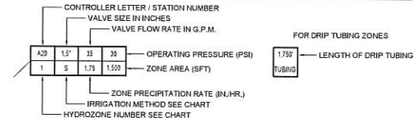
Published 11/6/2020 9:02:01 PM

IRRIGATION MATERIAL LEGEND

SYMBOL	MANUFACTURER	MODEL NO. / DESCRIPTION	FLOW RATE (GPM)	PSI	RADIUS	P.R. (TRI.)	DETAIL
	NETAFIM	SUB-SURFACE DRIP TUBING AS DESCRIBED BELOW: TLHCVXRS-12 SUBSURFACE DRIP TUBING (BROWN EXTERIOR COLOR) WITH 0.53 GPH, PRESSURE COMPENSATING EMITTERS INTERNALLY INSTALLED IN THE DRIP TUBING AT 12" O.C. SPACING. DRIP TUBING SHALL BE EQUIPPED WITH COPPER OXIDE INFUSED EMITTERS AND A PHYSICAL BARRIER TO PREVENT ROOT INTRUSION INTO THE DRIP EMITTER. DRIP EMITTERS SHALL BE CONTINUOUS FLUSHING TYPE AND EQUIPPED WITH A CHECK VALVE AND ANTI-SIPHON FEATURE. DRIP TUBING SHALL BE INSTALLED 2" BELOW FINISHED SOIL GRADE (NOT COUNTING MULCH) AND IN PARALLEL ROWS A MAXIMUM OF 16" ON CENTER. THE PERIMETER ROW OF DRIP TUBING SHALL BE INSTALLED A MAXIMUM OF 4" FROM THE EDGE OF ANY HARDSCAPE OR TURF EDGE. ALL SUBSEQUENT INTERIOR ROWS SHALL BE ADJUSTED TO PROVIDE AN EVEN SPACING ACROSS THE PLANTER WITHOUT EXCEEDING 16" MAXIMUM SPACING. INSTALL 9" PVC COATED GALVANIZED TUBING STAKES A MAXIMUM OF FIVE (5) FEET ON CENTER ALONG THE LENGTH OF THE TUBING. TUBING STAKES SHALL BE MODEL #GDTS1-40900 AS MANUFACTURED BY GPH IRRIGATION PRODUCTS (866) 582-9684. THE HATCH PATTERN SYMBOLS ON THE PLANS REPRESENT THE APPROXIMATE DIRECTION AND SPACING OF THE DRIP TUBING ROWS, SEE SPACING REQUIREMENTS ABOVE AND IN DETAILS.	0.53 GPH / EMITTER	30	N/A	0.70 IN./HR.	A,B,C
NO SYMBOL	NETAFIM	CONNECTION BETWEEN HCVXR DRIP TUBING AND PVC SUPPLY AND DISCHARGE HEADERS SHALL BE MADE USING SCH. 40 PVC 5X7 FITTINGS, TL BARBED DRIP TUBING FITTINGS AND BLANK DRIP TUBING. WHEN THE CONNECTION IS AT THE END RUN OF THE TUBING USE A SCH. 40 PVC LATERAL X LATERAL X 1/2" S×5×T TEE (OR A LATERAL X 1/2" S×T 90° ELBOW) FITTING ON THE PVC LATERAL LINE HEADER. A TL050MA BARB X 1/2" MALE ADAPTER, A SHORT LENGTH OF BLANK DRIP TUBING, AND A TLELL BARBED 90° ELBOW FITTING. WHEN THE CONNECTION IS IN THE MIDDLE OF THE TUBING RUN USE A SCH. 40 PVC LATERAL X LATERAL X 1/2" S×5×T TEE (OR A LATERAL X 1/2" S×T 90° ELBOW) FITTING ON THE PVC LATERAL LINE HEADER. A TL050MA BARB X 1/2" MALE ADAPTER, A SHORT LENGTH OF BLANK DRIP TUBING, AND A TLTEE BARBED TEE FITTING. ALL END RUNS OF TUBING SHALL BE CONNECTED WITH A PVC DISCHARGE HEADER. NO HEATING OF TUBING SHALL BE ALLOWED FOR ASSEMBLY.					A,B,C
NO SYMBOL	NETAFIM	TL SERIES 17mm BARBED FITTINGS FOR CONNECTIONS BETWEEN DRIP TUBING (TUBING-TO-TUBING ONLY). NO HEATING OF TUBING SHALL BE ALLOWED.					A,B,C
	AS APPROVED	PVC SUPPLY AND DISCHARGE HEADERS SHALL BE PVC LATERAL LINE PIPE (AS SHOWN BELOW), 1" MINIMUM SIZE WITH SCH. 40 PVC FITTINGS.					A,B,C
(F)	GPH IRRIGATION/ RAIN BIRD	GDFN DRIP FLUSH / INDICATOR NOZZLE, ORANGE IN COLOR, INSTALLED ONTO A RAIN BIRD 1812 12" POP-UP SPRINKLER BODY (NO PRS OR CHECK VALVE). THE FLUSH NOZZLE SHALL BE CLOSED FOR NORMAL OPERATION OF THE DRIP SYSTEM.					A,D
M	EXISTING	EXISTING 1" POTABLE (DOMESTIC) WATER METER WITH 1" SERVICE LINE. VERIFY SIZE, LOCATION AND PRESSURE IN FIELD.					N/A
B	WILKINS	975XLS, 3/4" R/P BACK FLOW PREVENTION DEVICE WITH WYE STRAINER, INSTALL WITH BRASS NIPPLES, UNIONS AND FITTINGS, SIZED PER DEVICE					E
V	BUCKNER	3200-100 1" NORMALLY CLOSED, BRASS MASTER CONTROL VALVE. WIRE MCV TO THE CONTROLLER USING A SEPARATE PILOT AND GROUND WIRE. ROUTE INSIDE 1" SCH, 40 PVC (GRAY) ELECTRICAL CONDUIT. INSTALL INSIDE A STANDARD RECTANGULAR VALVE BOX.					F
F	HUNTER	HC-100-FLOW 1" FLOW METER, WIRE TO CONTROLLER USING TWO (2) #14UF AWG WIRES INSIDE A 1" SCH, 40 PVC (GRAY) ELECTRICAL CONDUIT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND INSIDE A STANDARD RECTANGULAR VALVE BOX.					G
	LASCO	V10101N-SC 1" SLO-CLOSE SCH, 80 PVC, TRUE-UNION BALL VALVE WITH SOLVENT WELD SOCKET CONNECTIONS, LINE SIZE PER MAINLINE. INSTALL INSIDE A 10" ROUND VALVE BOX.					H
	RAIN BIRD	33DLRC 3/4" QUICK COUPLER VALVE WITH LOCKING VINYL COVER. INSTALL WITHIN STANDARD RECTANGULAR BOX GROUPED WITH RCVS					I
	RAIN BIRD	100-PEB 1" PLASTIC DRIP REMOTE CONTROL VALVE AND A PRB-QKCHK-100 PRESSURE REGULATOR AND 200 MESH BASKET FILTER, AS PART OF DRIP VALVE ASSEMBLY. INSTALL THE DRIP RCV INSIDE A STANDARD RECTANGULAR VALVE BOX. GROUPED WITH OTHER VALVES.					I,J
NO SYMBOL	LASCO	ULTRA-ZONE SCH. 80 PVC MANIFOLD ASSEMBLIES SHALL BE USED TO INSTALL MULTIPLE 1" SIZED REMOTE CONTROL VALVES AND DRIP REMOTE CONTROL VALVES INSIDE A SINGLE STANDARD RECTANGULAR VALVE BOX. USE ALL COMPONENTS DESCRIBED IN THE DETAIL TO INSTALL THE VALVE ASSEMBLY.					I
C	HUNTER	PHC-6-600 6 STATION PRO-HC HYDRAWISE CONTROLLER WITH WI-FI CONNECTION AND PLASTIC WALL MOUNT ENCLOSURE AS PART OF ASSEMBLY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS					K
R	RAIN MASTER	RS-500 WIRED RAIN SENSOR. MOUNT TO EXTERIOR OF WALL IN A WEATHER EXPOSED LOCATION AND WIRE TO THE CONTROLLER.					N/A
E	N/A	120 VOLT ELECTRICAL POWER FOR CONTROLLER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD					N/A
	AS APPROVED	PVC PIPE 3/4" - 1" SCH. 40, SOLVENT WELD WITH SCH. 40 PVC FITTINGS, AS LATERAL LINES INSTALLED 12" BELOW FINISHED GRADE					L
	AS APPROVED	PVC PIPE 1" SCH. 40, SOLVENT WELD WITH SCH. 80 PVC FITTINGS, AS MAINLINES INSTALLED 18" BELOW FINISHED GRADE					L
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING, 2 TIMES THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED (2" MINIMUM SIZE) INSTALL ALL PIPE AND WIRE UNDER PAVING, HARDSCAPE, ETC., (OR AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE) INSIDE SLEEVES. SLEEVES UNDER PEDESTRIAN PAVING SHALL BE INSTALLED 24" BELOW FINISHED GRADE. SLEEVES UNDER VEHICULAR PAVING SHALL BE INSTALLED 36" BELOW FINISHED GRADE.					M
NO SYMBOL	LASCO	ALL FITTINGS USED WITH SOLVENT WELD MAINLINE PIPE SHALL BE SCH. 80 PVC FITTINGS, GRAY IN COLOR, AND SIZED TO MATCH THE MAINLINE PIPE. ALL FITTINGS USED WITH SOLVENT WELD LATERAL LINE PIPE SHALL BE SCH. 40 PVC, WHITE IN COLOR, AND SIZED TO MATCH THE LATERAL LINE PIPE. ALL THREADED PVC NIPPLES SHALL BE SCH. 80 PVC PIPE, DARK GRAY IN COLOR, WITH MOLDED THREADS.					N/A
NO SYMBOL	AS APPROVED	ALL SOLVENT WELD CONNECTIONS FOR BOTH MAINLINE AND LATERAL LINE SHALL BE MADE USING THE TWO-STEP PROCESS OF PRIMER AND SOLVENT CEMENT. PRIMER SHALL BE LOW VOC "PURPLE PRIMER". MAINLINE SOLVENT CEMENT SHALL BE LOW VOC, "GRAY-HEAVY BODY" CEMENT. LATERAL LINE SOLVENT CEMENT SHALL BE LOW VOC, GRAY OR BLUE COLORED MEDIUM BODIED CEMENT. USE DAUBERS SIZED AT LEAST ONE-HALF THE SIZE OF THE LARGEST PIPE BEING JOINED. ALL SOLVENT CEMENTED JOINTS SHALL BE MADE PER THE PIPE AND FITTING MANUFACTURER'S RECOMMENDATIONS.					N/A
NO SYMBOL	AS APPROVED	1" SCH. 40 PVC, GRAY ELECTRICAL CONDUIT FOR FLOW SENSOR / MASTER VALVE WIRES, PROVIDE PULL BOX AT A MAXIMUM OF 200 FEET ON CENTER FOR A 3 FOOT WIRE LOOP OR ANY SPLICES. INSTALL INSIDE A STANDARD RECTANGULAR VALVE BOX.					N/A
NO SYMBOL	PAIGE ELECTRIC	P7078D POLYETHYLENE INSULATED, SOLID COPPER CONDUCTOR IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED). PILOT WIRES SHALL BE RED IN COLOR. COMMON GROUND WIRE SHALL BE WHITE IN COLOR. SPARE WIRES SHALL BE YELLOW IN COLOR. WHERE MULTIPLE CONTROLLERS ARE USED ON THE PROJECT, EACH CONTROLLER SHALL HAVE A DIFFERENT COLOR FOR PILOT WIRES. THE CONTRACTOR SHALL ROUTE TWO (2) SPARE CONTROL WIRES (YELLOW) FROM THE CONTROLLER ALONG THE MAINLINE IN ALL DIRECTIONS AWAY FROM THE CONTROLLER. LOOP SPARE WIRES UP AND INTO EACH VALVE BOX ALONG THE MAINLINE, PROVIDING A 3 FOOT MINIMUM LOOP.					L,M,N
NO SYMBOL	GPH IRRIGATION	GDBRY6 DIRECT BURIAL, 100% SILICONE GEL, WATER-PROOF WIRE CONNECTORS FOR USE ON ALL WIRE SPLICES AND CONNECTIONS					N
NO SYMBOL	NDS (K.B.I.)	KSC-XXX-S SWING CHECK VALVE, LATERAL LINE SIZE, INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS LOWER THAN THE SPRINKLERS. BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.					N/A
NO SYMBOL	NDS (K.B.I.)	KC-XXX-S SPRING CHECK VALVE, LATERAL LINE SIZE, INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS HIGHER THAN THE SPRINKLERS. BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.					N/A
NO SYMBOL	RAIN BIRD	ALL VALVE BOXES SHALL BE VB SERIES, PLASTIC TYPE WITH OVERLAPPING LIDS. VALVE BOX BODIES SHALL BE BLACK IN COLOR. LIDS FOR BOXES IN TURF AREAS SHALL BE GREEN. LIDS FOR VALVE BOXES IN SHRUB AREAS SHALL BE BLACK. ALL BOXES SHALL BE SECURED WITH A RAIN BIRD VB-LOCK-P PENTA HEAD BOLT, WASHER AND CLIP. BOXES SHALL BE AS SHOWN BELOW:					O

DESCRIPTION	SHRUB AREAS (BLACK BOXES AND LIDS)
10" ROUND BOXES	VB-10RNDB (BOX) AND VB-10RNDBKL (LID)
STANDARD RECTANGULAR BOXES	VB-STDB (BOX) AND VB-STDBKL (LID)

VALVE CALLOUT LEGEND



HYDROZONE DESCRIPTION CHART			
NUMBER	DESCRIPTION OF THE HYDROZONE	WUCOLS	PLANT FACTOR
HZ 1	LOW WATER USE PLANTINGS	L	0.20
HZ 2	LOW WATER USE TREES	L	0.20

IRRIGATION METHOD DESCRIPTION CHART			
LETTERS	DESCRIPTION OF THE IRRIGATION	TYPE	IR. EFFICIENCY
DT	DRIP TUBING	DRIP	0.81

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

811

sweeney + associates
IRRIGATION DESIGN AND CONSULTING

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FAX: 323.785.1801
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PROJECT #: 20071

DRAWN/CHK'D:

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DANA POINT, CA 92629

REVISIONS	Date	REVISION
1		
2		

ISSUED: 11/16/20 HOA/CDP SUBMITTAL

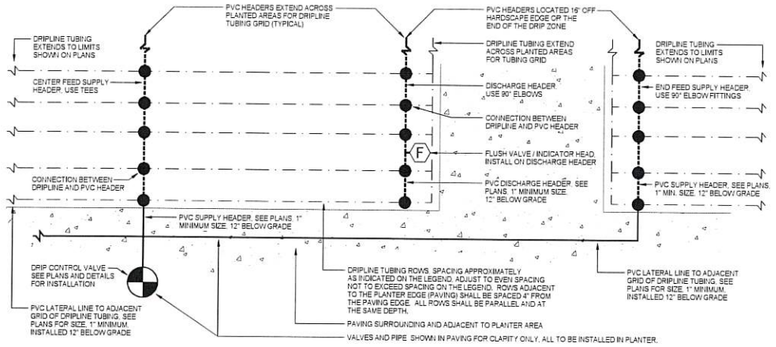
RELEASED:

DRAWING TITLE: IRRIGATION LEGEND AND NOTES

DATE: 11/6/2020 9:02:01 PM

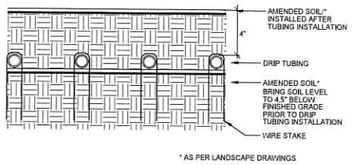
SCALE: N.T.S. WHEN PRINTED ON 30"X42" SHEETS

DRAWING #: **L6.20**



PLAN VIEW - N.T.S.

(A) DRIP TUBING LAYOUT (PLAN VIEW)



* AS PER LANDSCAPE DRAWINGS

RECOMMENDED INSTALLATION:

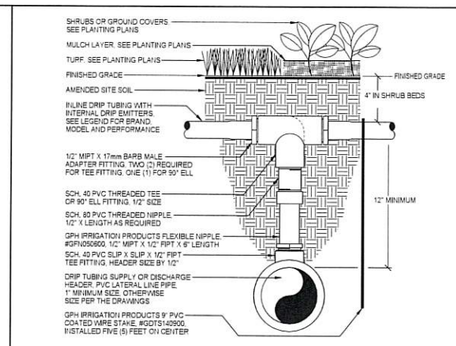
TO INSURE EVEN PARALLEL AND LEVEL TUBING ROWS IT IS RECOMMENDED THAT THE SOIL LEVEL IN THE PLANTER AREAS BE BROUGHT TO 4.5" BELOW FINISHED GRADE AND PROPERLY COMPACTED AS PER THE LANDSCAPED DRAWINGS PRIOR TO THE INSTALLATION OF THE TUBING.

INSTALL TUBING AS INDICATED ON THESE DRAWINGS AND SECURE TO GRADE USING WIRE HOOP STAKES AT 5 FEET ON CENTER SPACING.

BACKFILL FINAL 4.5" OF SOIL OVER THE TUBING AFTER INSTALLATION OF THE TUBING AND OBSERVATION BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

SECTION VIEW - N.T.S.

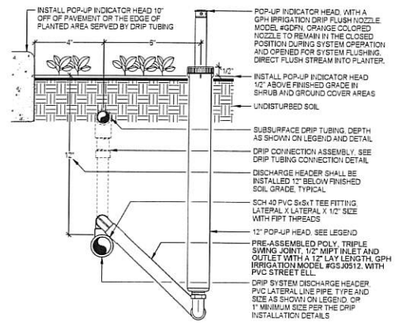
(B) DRIP TUBING LAYOUT (SECTION VIEW)



NOTE
DRIP TUBING CONNECTION REQUIRED FOR ALL CONNECTIONS BETWEEN DRIP TUBING AND PVC HEADERS. FOR CONNECTIONS AT END RUNS OF TUBING, USE A 90° ELL FITTING AND ONE ADAPTER FITTING FOR CONNECTION. FOR CONNECTIONS IN THE MIDDLE OF RUNS OF TUBING, USE A TEE FITTING AND TWO ADAPTER FITTINGS FOR THE CONNECTION.

SECTION VIEW - N.T.S.

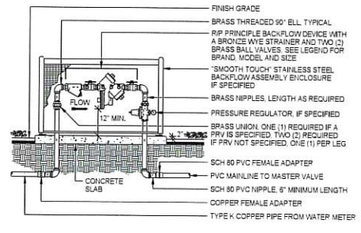
(C) DRIP CONNECTION



NOTE:
INSTALL INDICATOR HEAD 10" FROM THE EDGE OF PAVING OR THE PLANTER EDGE.
INSTALL ORANGE COLORED INDICATOR NOZZLE ON POP-UP HEAD AND ADJUST TO FULLY CLOSED.

SECTION VIEW - N.T.S.

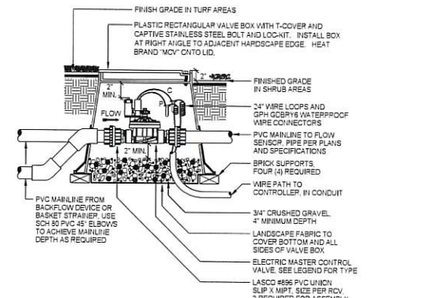
(D) FLUSH VALVE/INDICATOR HEAD



NOTE:
INSTALL THE PRESSURE REGULATOR ONLY IF IT IS SPECIFIED IN THE LEGEND.
BACKFLOW DEVICE OUTLET SHALL BE INSTALLED A MINIMUM OF 12" ABOVE FINISHED GRADE.
ASSEMBLY PIPING AND FITTINGS SHALL BE SIZED EQUAL TO THE SIZE OF THE BACKFLOW PREVENTION DEVICE
USE AN APPROVED, NON-HARDENING, TEFLON ASSEMBLY PASTE ON ALL THREADED FITTINGS.
CONCRETE SLAB SHALL BE A MINIMUM OF 4" THICK, 18" WIDE AND EXTEND AT LEAST 8" PAST THE BACKFLOW ASSEMBLY PIPING, OR BE THE SIZE REQUIRED BY THE ENCLOSURE MANUFACTURER.

SECTION VIEW - N.T.S.

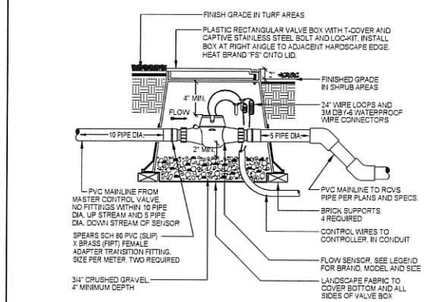
(E) BACKFLOW DEVICE



NOTE:
USE STANDARD OPENINGS PROVIDED IN VALVE BOX FOR PIPE. DO NOT CUT BOX.

SECTION VIEW - N.T.S.

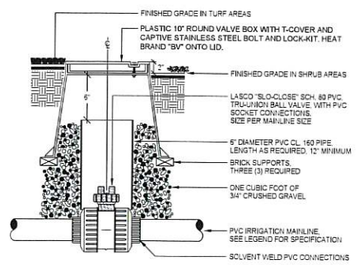
(F) MASTER CONTROL VALVE



NOTE:
USE STANDARD OPENINGS PROVIDED IN VALVE BOX FOR PIPE. DO NOT CUT BOX.
USE SCH 80 PVC 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH AS REQUIRED.

SECTION VIEW - N.T.S.

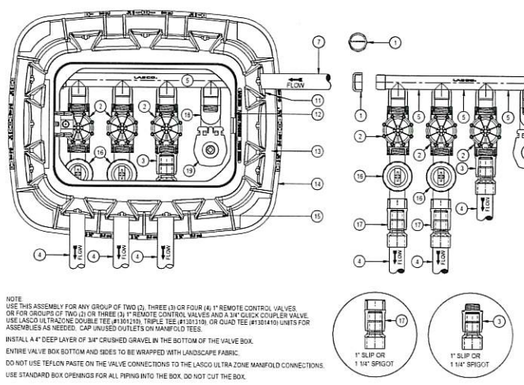
(G) FLOW METER



NOTE
PROVIDE ONE (1) 30" LONG STEEL "VALVE KEY" FOR EACH TEN (10) BALL VALVES INSTALLED ON THE PROJECT.

SECTION VIEW - N.T.S.

(H) BALL VALVE

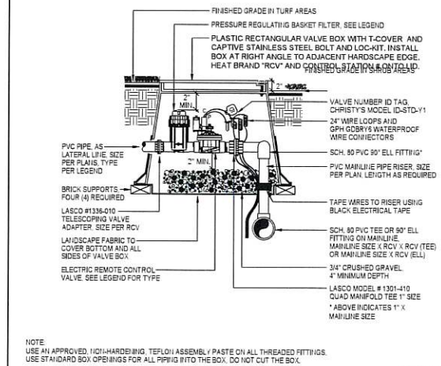


1. LASCO END CAP # 1348-010
2. 1" REMOTE CONTROL VALVE, FIPT ON BOTH ENDS. SEE LEGEND
3. TELESCOPING VALVE ADAPTER. LASCO MODEL #1336-010. FOR USE WITH FIPT VALVES
4. LATERAL LINE. 1" OR 1 1/4" PVC PIPE. SEE LEGEND FOR TYPE. FOR 1 1/4" LATERAL LINE INSTALL A 1 1/4" SCH. 40 SLIP COUPLING ONTO THE END OF THE ADAPTER
5. QUAD MANIFOLD TEE. (NUT x MTHD x M/Cplng.) LASCO MODEL #1301-410. FOR USE WITH FIPT VALVES
6. 1" SCH 80 PVC MALE ADAPTER. SOCKET X MIPT
7. 1" SCH 40 PVC MAINLINE PIPE
8. 1" SCH 80 PVC FEMALE ADAPTER. SOCKET X FIPT
9. 1" LASCO #856 SLIP X MPT SCH 80 PVC UNION FITTING
10. MAINLINE SIZE SCH 80 PVC SLIP 90° ELBOW WITH A SCH 40 PVC REDUCER BUSHING TO REDUCE TO 1" SIZE PIPE
11. USE ONE (1) OF THREE (3) STANDARD OPENINGS ON THE SHORT SIDE OF THE RAIN BIRD VALVE BOX FOR THE MAINLINE INTO THE VALVE BOX
12. TOP OF RAIN BIRD STANDARD VALVE BOX
13. RAIN BIRD VB SERIES STANDARD VALVE BOX
14. BOTTOM OF RAIN BIRD STANDARD VALVE BOX
15. FOUR (4) STANDARD OPENINGS ON THE LONG SIDE OF THE RAIN BIRD VALVE BOX FOR LATERAL LINES OUT OF THE VALVE BOX
16. 1" PRESSURE REGULATING BASKET FILTER. NIBT ON BOTH ENDS. SEE LEGEND
17. TELESCOPING VALVE ADAPTER. LASCO MODEL #1336-010. FOR USE WITH NIPT FILTER
18. GCV ASSEMBLY. TWO (2) 1" SCH 80 PVC THD. 90° ELLS. ONE (1) 1" X 4" SCH 80 THD. NIPPLE. ONE (1) 1" X 1/4" PVC THD. REDUCER BUSHING. ONE (1) 3/4" X 3" SCH 80 PVC THD. NIPPLE. ONE (1) 3/4" BRASS THD. 90° ELBOW. ONE (1) #3 X 24" REBAR STAKE. AND TWO (2) S.S. HOSE CLAMPS
19. 3/4" QUICK COUPLER VALVE. TOP OF GCV TO BE 1" BELOW BOTTOM OF THE VALVE BOX LID

NOTE
USE THIS ASSEMBLY FOR ANY GROUP OF TWO (2), THREE (3) OR FOUR (4) 1" REMOTE CONTROL VALVES OR FOR GROUPS OF TWO (2) OR THREE (3) 1" REMOTE CONTROL VALVES AND A 3/4" QUICK COUPLER VALVE. USE LASCO ULTRAZONE DOUBLE TEE (#1301210), TRIPLE TEE (#1301310), OR QUAD TEE (#1301410) UNITS FOR ASSEMBLIES AS NEEDED. CAP UNUSED OUTLETS ON MANIFOLD TEES.
INSTALL A 4" DEEP LAYER OF 3/4" CRUSHED GRAVEL IN THE BOTTOM OF THE VALVE BOX.
ENTIRE VALVE BOX BOTTOM AND SIDES TO BE WRAPPED WITH LANDSCAPE FABRIC.
DO NOT USE TEFLON PASTE ON THE VALVE CONNECTIONS TO THE LASCO ULTRA ZONE MANIFOLD CONNECTIONS.
USE STANDARD BOX OPENINGS FOR ALL PIPING INTO THE BOX. DO NOT CUT THE BOX.

PLAN VIEW - N.T.S.

(I) COMBINED REMOTE CONTROL VALVE ASSEMBLY W / QCV



NOTE:
USE AN APPROVED, NON-HARDENING, TEFLON ASSEMBLY PASTE ON ALL THREADED FITTINGS.
USE STANDARD BOX OPENINGS FOR ALL PIPING INTO THE BOX. DO NOT CUT THE BOX.

SECTION VIEW - N.T.S.

(J) DRIP REMOTE CONTROL VALVE

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

811

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PROJECT # 20071

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REVISIONS	Date	REVISION
1		
2		

ISSUED 11/16/20 HOA/CDP SUBMITTAL

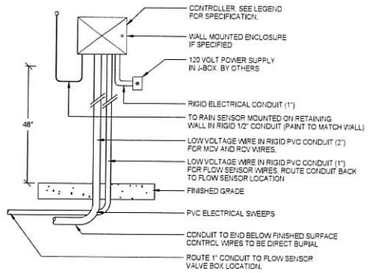
TELEPHONE

DRAWING TITLE: IRRIGATION DETAILS

DRAWING DATE: 11/6/2020 9:02:01 PM

SCALE: N.T.S. (WHEN PRINTED ON 30"X42" SHEET)

DRAWING NO. **L6.30**

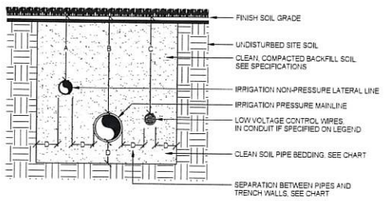


NOTE:
INSTALL ENCLOSURE AS INDICATED BY MANUFACTURER'S RECOMMENDATION.

ROUTE WIRES AND SLEEVE THROUGH WALL AS PER LANDSCAPE ARCHITECT'S RECOMMENDATION.

SECTION VIEW - N.T.S.

Ⓚ WALL MOUNTED CONT. ASSEMBLY

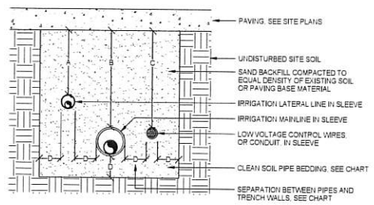


PIPE SIZES	A	B	C	D
SIZES 3/4" TO 2 1/2"	12"	18"	18"	4"
SIZES 3" AND 4"	18"	24"	24"	4"
SIZES 6" AND LARGER	X	30"	24"	6"

NOTE:
CONTRACTOR IS REQUIRED TO CONTACT 811 OR DIGALERT A MINIMUM OF TWO (2) DAYS PRIOR TO ANY EXCAVATION ON THE PROJECT. DIAL 811 OR LOG ONTO WWW.DIGALERT.ORG.

SECTION VIEW - N.T.S.

Ⓛ PIPE INSTALLATION



PIPE SIZES	A	B	C	D
UNDER PEDESTRIAN PAVING	12"	24"	24"	4"
UNDER VEHICULAR PAVING	24"	36"	36"	6"

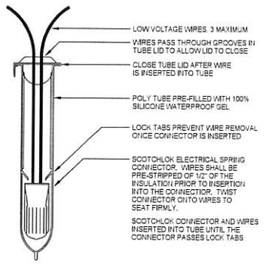
NOTE:
CONTRACTOR IS REQUIRED TO CONTACT 811 OR DIGALERT A MINIMUM OF TWO (2) DAYS PRIOR TO ANY EXCAVATION ON THE PROJECT. DIAL 811 OR LOG ONTO WWW.DIGALERT.ORG.

SLEEVES SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED WITHIN. EXCEPT WHEN USING BELL AND GASKET PIPING WHERE MAINLINE SLEEVES SHALL BE 2.5 TIMES THE SIZE OF THE PIPE.

SLEEVES SHALL EXTEND 12" PAST THE EDGE OF PAVING INTO THE PLANTER.

SECTION VIEW - N.T.S.

Ⓜ SLEEVE INSTALLATION

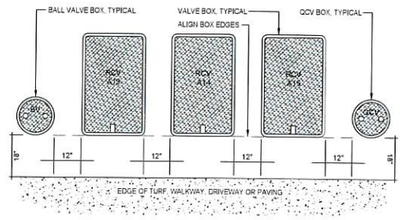


NOTE:
WIRE CONNECTOR SHALL BE A GPH IRRIGATION GDBRY6 DIRECT BURY SPLICE KIT. KIT SHALL INCLUDE A SCOTCHLOK SPRING CONNECTOR, A POLYPROPYLENE TUBE AND A 100% SILICONE WATERPROOF SEALING GEL. TUBE SHALL BE SUPPLIED PRE-FILLED WITH GEL.

SECTION VIEW - N.T.S.

Ⓝ WIRE CONNECTION

NOTE:
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE OR DRIP ASSEMBLY TO FACILITATE SERVICING OF THE VALVE OR EQUIPMENT.
2. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER OR SHRUB AREAS WHERE EVER POSSIBLE. VALVES IN TURF AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT.
3. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO ADJACENT PAVING EDGE.
4. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT THE COLLAPSE AND / OR DEFORMATION OF VALVE BOXES.
5. BOX LOCATIONS SHALL BE STAKED IN THE FIELD PRIOR TO MAINLINE INSTALLATION FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.



NOTE:
VALVE BOXES SHALL BE INSTALLED IN SHRUB AND GROUND COVER AREAS. NO VALVES SHALL BE INSTALLED IN TURF AREAS WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

PLAN VIEW - N.T.S.

Ⓞ VALVE BOX LAYOUT

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PROJECT 20071

CONSULTANT

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REVISIONS
1 Date
2 REVISION 1

ISSUE 11/16/20 HOA/CDP SUBMITTAL

FILENAME

IRRIGATION DETAILS

DRAWING TITLE

DATE 11/6/2020 9:02:01 PM

SCALE N.T.S. WHEN PRINTED ON 30"X42" SHEET

DRAWING NO. L6.40

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

sweeney + associates
IRRIGATION DESIGN AND CONSULTING

Published: 11/6/2020 9:02:01 PM

PLANT SCHEDULE

SYMBOL	KEY GENUS	KEY SPECIES	CONTAINER SIZE	SPACING	HEIGHT AND SPREAD @ 15 YRS	QTY.	BOTANICAL NAME	COMMON NAME	FORM	WATER USE (WUCOLS)	NATIVE ORIGIN
	BAC	PIL	5 GAL	36" O.C.	18'H X 3'W	117	Baccharis pilularis "Pigeon Point"	Dwarf Coyote Bush	SHRUBS	LOW	California
	MYR	CAL	15 GAL	36" O.C.	8'H X 6'W	17	Myrica californica	Pacific Wax Myrtle	SHRUBS	LOW	CALIFORNIA
	WES	WYN	15 GAL	36" O.C.	3'H X 3'W	10	Westringia 'Wynyabbie Gem'	Coast Rosemary	SHRUBS	LOW	AUSTRALIA

GROUNDCOVER

Symbol	Genus	Species	Container Size	Spacing	Height and Spread @15 Yrs	Botanical Name	Common Name	Form	WUCOLS	Native Origin
	ARC	UVA	5 GAL	24" O.C.	1'X6'	Arctostaphylos uva-ursi "Point Reyes"	Pt. Reyes Manzanita	SHRUBS	LOW	California

ADDITIONAL NOTES

1. NO IRRIGATION SHALL BE PERMITTED WITHIN COASTAL BLUFF SETBACK.
2. EXISTING IRRIGATION LOCATED WITHIN COASTAL BLUFF SETBACK MUST BE REMOVED.

PERMEABILITY CALCULATIONS

7,114 SF IMPERMEABLE GROUND COVER
18,837.56 TOTAL LOT AREA (PER SURVEYOR)
37.8% IMPERMEABLE RATIO

LANDSCAPE COVERAGE

11,386 SF LANDSCAPED AREA
18,837.56 TOTAL LOT AREA (PER SURVEYOR)
60.3% TOTAL LANDSCAPE COVERAGE

PLANTING NOTES

1. THE CONTRACTOR SHALL REVIEW ALL UTILITY PLANS AND UTILITY LOCATIONS IN THE FIELD AND SHALL NOTIFY THE LANDSCAPE ARCHITECT IF CONFLICTS WITH PLANT MATERIAL LOCATIONS EXIST.

2. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND THE PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE SUCH MATERIALS. THE CONTRACTOR SHALL VERIFY EXACT QUANTITIES OF PLANT MATERIAL NECESSARY, BASED ON EXISTING CONDITIONS AND EXISTING PLANT MATERIAL COVERAGE.

3. TREES SHALL BE TAGGED BY THE CONTRACTOR AND REVIEWED BY THE LANDSCAPE ARCHITECT IMMEDIATELY UPON AWARD OF CONTRACT. PLANT MATERIAL SHALL BE GUARANTEED TO BE AVAILABLE AND MEET OR EXCEED REQUIRED SPECIFICATIONS ON ESTIMATED DATE OF START OF PLANTING. THE CONTRACTOR SHALL PAY THE LANDSCAPE ARCHITECT $150/HOUR FOR ALL NURSERY VISITS (IN EXCESS OF TWO) FOR REVIEWING TREES.

4. ANY PLANT DEEMED NOT AVAILABLE BY THE CONTRACTOR SHALL BE NOTED IN THE BID AS A CONDITION OF THE BID. FAILURE TO QUALIFY AVAILABILITY OF SPECIFIED MATERIAL SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR SUPPLYING ALL MATERIALS. THE MAINTENANCE PERIOD MAY NOT BEGIN UNTIL ALL SPECIFIED MATERIALS ARE INSTALLED.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR TAGGED MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND
CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIALS PER THE SPECIFICATIONS.

6. ALL PLANT MATERIAL SHALL BE APPROVED ON SITE BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

7. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.

8. ALL OVER-EXCAVATION REQUIRED TO MEET PLANTING SPECIFICATIONS SHALL BE DONE PRIOR TO PAVING IF PAVING WILL CONFLICT WITH EXCAVATION OF PLANTING PITS.

9. SEE SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS, AND EXECUTION.

10. ALL GROUND COVERS SHALL BE APPLIED IN ALL PLANTING AREAS INDICATED ON PLANS, AS WELL AS UNDER SHRUBS.

11. GROUNDCOVERS SHALL BE TRIANGULARLY SPACED.

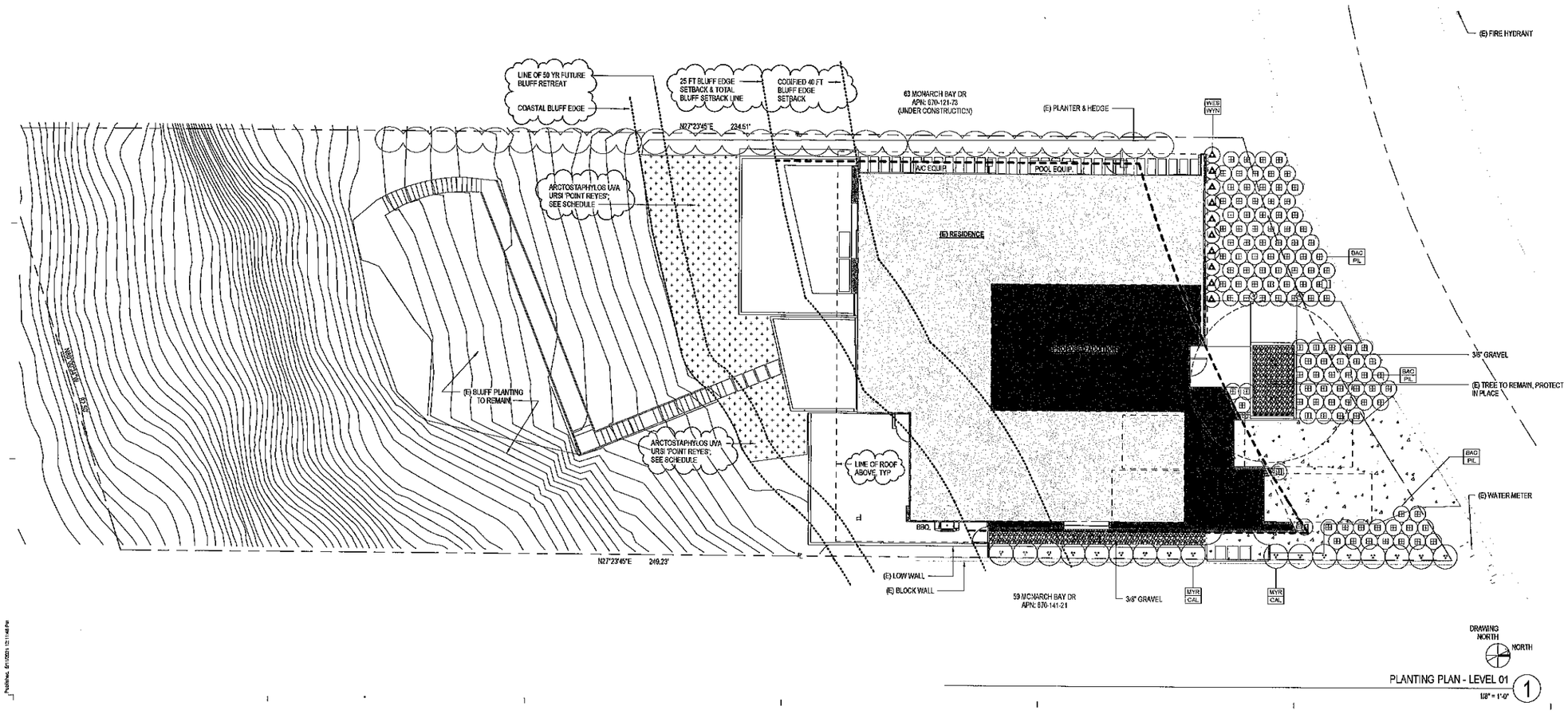
12. ALL PLANTED AREAS EXCEPT TURF AREAS THAT ARE BETWEEN 2:1 AND 4:1 SLOPE SHALL BE COVERED WITH JUTE MAT. ALL PLANTED AREAS EXCEPT TURF AREAS WITH SLOPES 4:1 OR LESS SHALL BE COVERED WITH 3" DEEP ORGANIC MULCH UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR MATERIAL REQUIREMENTS. SUBMIT 1 CU. FT. SAMPLE PRIOR TO APPLICATION.

13. A MINIMUM OF TWO (2) SOIL SAMPLES SHALL BE TAKEN BY THE CONTRACTOR AFTER GRADING

OPERATIONS ARE COMPLETED FOR SOIL FERTILITY AND AGRICULTURAL SUITABILITY TESTING AND RECOMMENDATIONS. APPROVED LABORATORIES ARE SOIL AND PLANT LABS (714) 282-5777 OR WALLACE LAB (310) 615-0116. SEE SPECIFICATIONS FOR SOIL AMENDMENTS; THESE ARE SPECIFIED FOR BIDDING PURPOSES ONLY. PROVIDE ARCHITECT WITH SOILS REPORT PRIOR TO INSTALLATION OF MATERIALS.

14. ALL PLANT MATERIALS WITHIN THE RIGHT OF WAY SHALL BE PLANTED TO CONFORM TO GOVERNING AGENCY STANDARDS.

15. PLANT QUANTITIES AS NOTED ON THE PLANS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PLANTS AS REQUIRED TO MEET ON-CENTER SPACING.



PLANTING PLAN - LEVEL 01 (1)
1/8" = 1'-0"

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PROJECT NO. 20071

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ISSUE		
2	2/5/21	CDP RESUBMITTAL
3	3/23/21	CDP REV #2

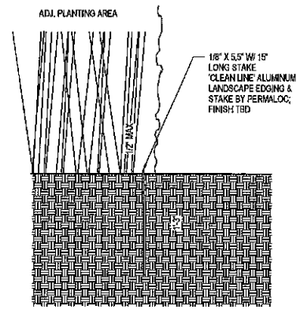
ISSUE 11/16/20 HOA/CDP SUBMITTAL

PLANTING PLAN

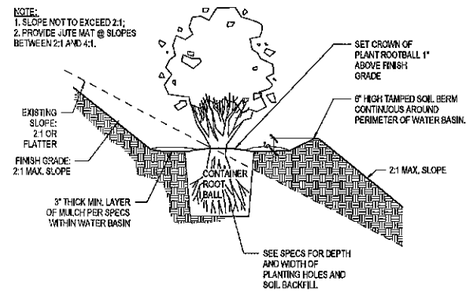
PLOTTED 5/11/2021 12:11:48 PM

SCALE As indicated (WHEN PRINTED ON 30"X42" SHEET)

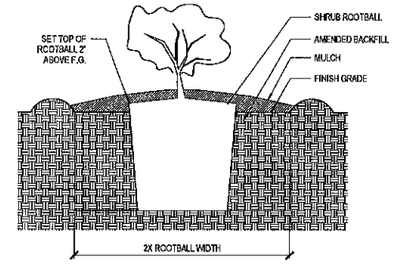
L7.10



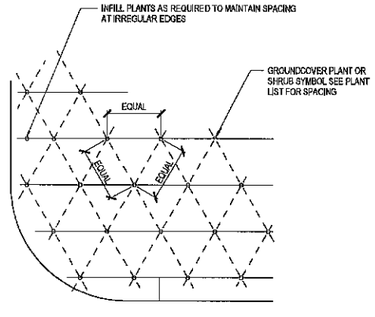
Metal Header 4
1 1/2" = 1'-0"



Shrub Planting on Slope 3
1/2" = 1'-0"



Shrub Planting 2
1" = 1'-0"



Shrub Spacing 1
1" = 1'-0"

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MONARCH BAY

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ISSUE

DATE 11/16/20 HOA/CDP SUBMITTAL

REVISIONS

PLANTING DETAILS

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SCALE As Indicated

SHEET NO. L9.01

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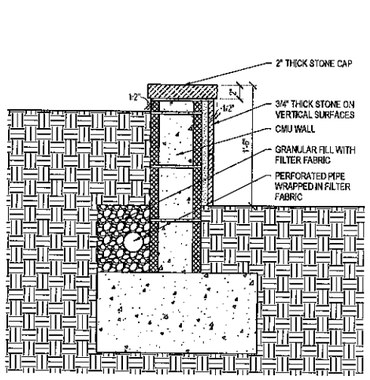
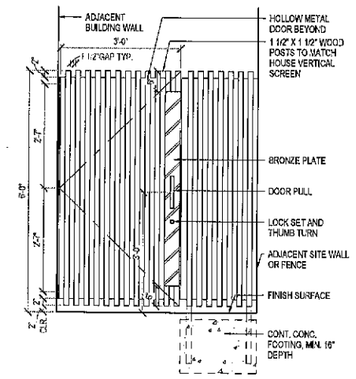
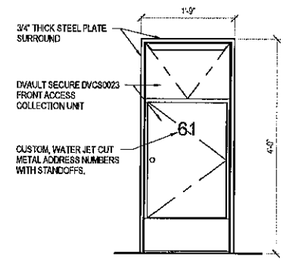
PROJECT 20071



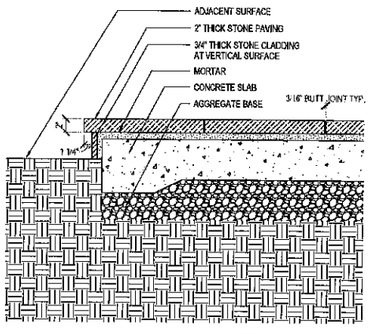
PLANTER WALL 11
1 1/2" = 1'-0"



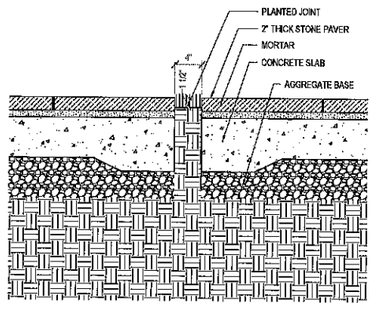
SWING GATE FRONT DETAIL 7
3/4" = 1'-0"



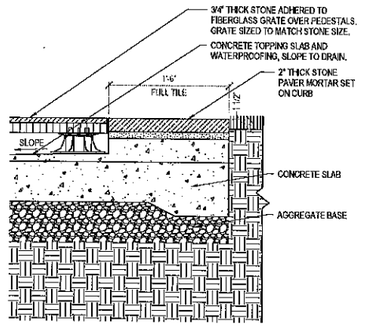
MAILBOX DETAIL 3
1" = 1'-0"



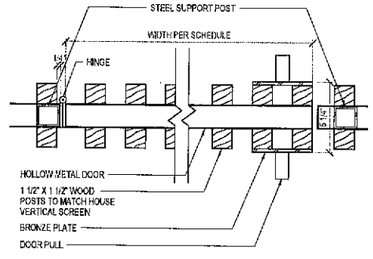
STONE PAVING 18
1 1/2" = 1'-0"



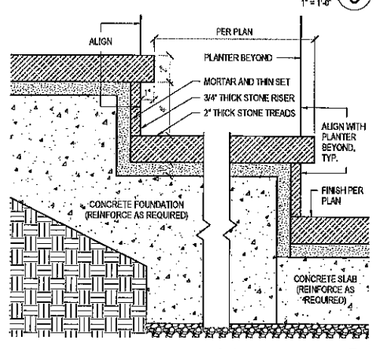
TYP PAVING PLANTED JOINTS 14
1 1/2" = 1'-0"



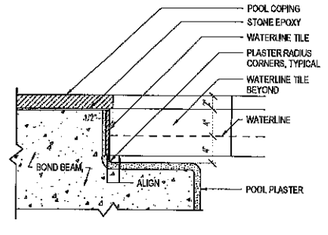
STONE PAVERS ON PEDESTALS 10
1 1/2" = 1'-0"



SWING GATE TYP PLAN DETAIL 6
3" = 1'-0"

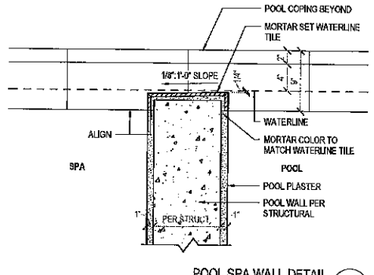


STONE STEP DETAIL 2
3" = 1'-0"

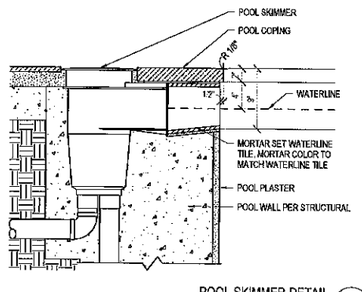


POOL FIRST STEP DETAIL 17
1 1/2" = 1'-0"

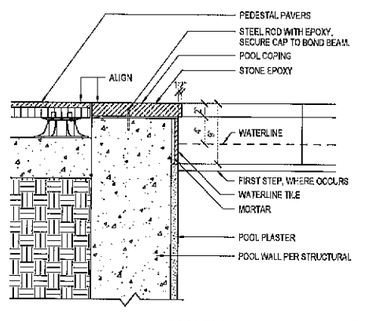
NOTES:
POOL CONTRACTOR TO COORDINATE CLEARANCES BETWEEN TOP OF SPA WALL AND WATER LINE LEVEL. REVIEW WITH ARCHITECT.



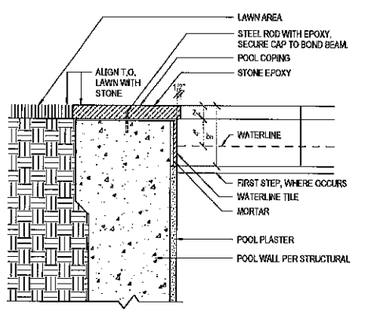
POOL SPA WALL DETAIL 13
1 1/2" = 1'-0"



POOL SKIMMER DETAIL 9
1 1/2" = 1'-0"



POOL EDGE DETAIL AT PATIO 5
1 1/2" = 1'-0"



POOL EDGE DETAIL 1
1 1/2" = 1'-0"

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61 MONARCH BAY DRIVE,
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SCALE As indicated

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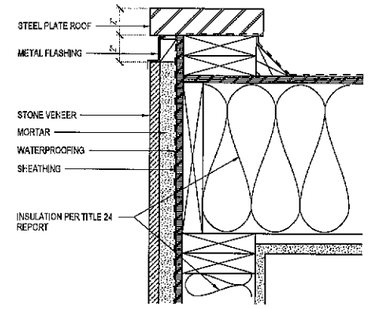
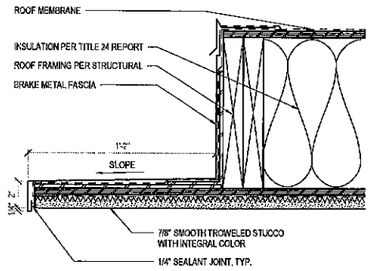
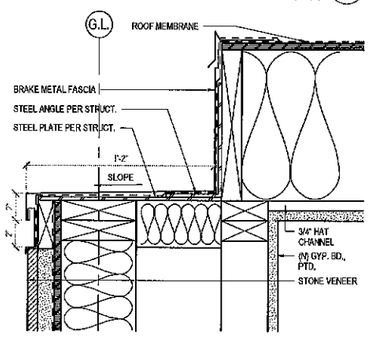


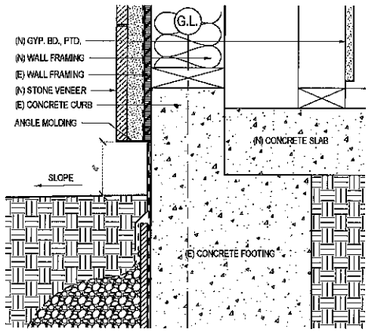
ROOF EAVE AT STONE (GARAGE) 8
3" = 1'-0"



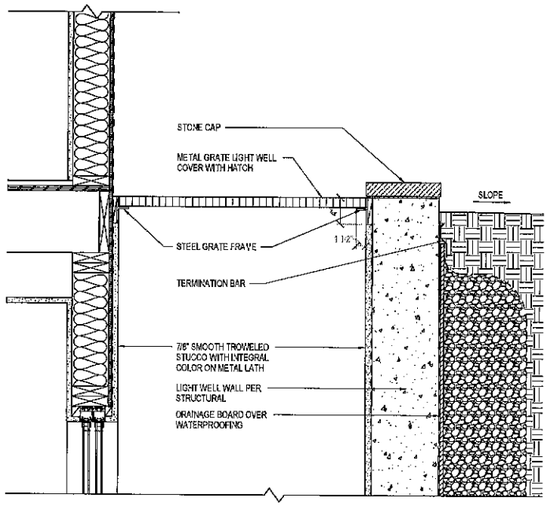
TYP ROOF EDGE 4
3" = 1'-0"

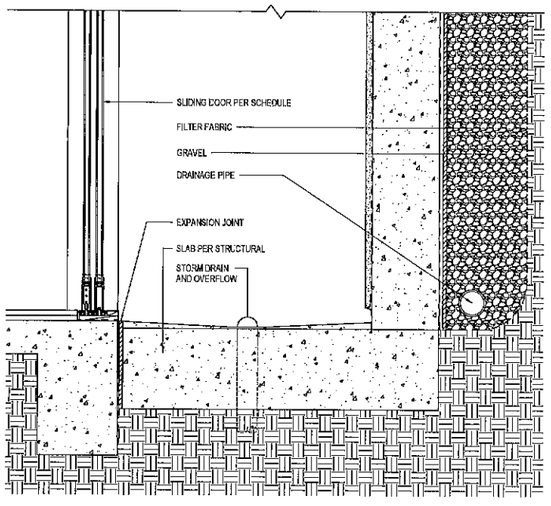


ROOF EAVE AT STONE 3
3" = 1'-0"

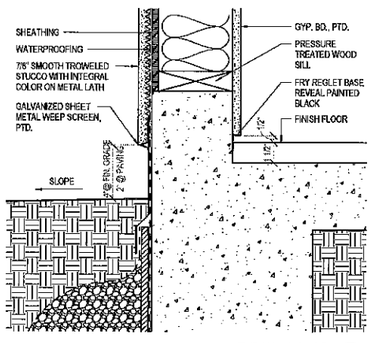


WALL BASE AT STONE 2
3" = 1'-0"





LIGHT WELL DETAIL 5
1 1/2" = 1'-0"



TYP WALL BASE 1
3" = 1'-0"

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61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

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4 2/5/21 DSP Rev 1

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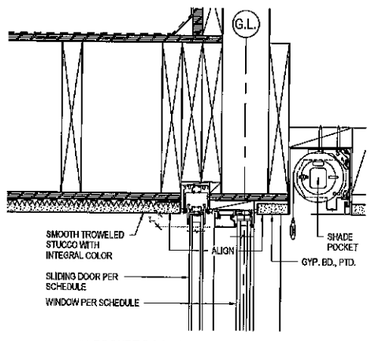
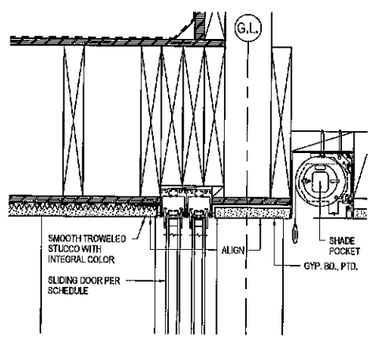
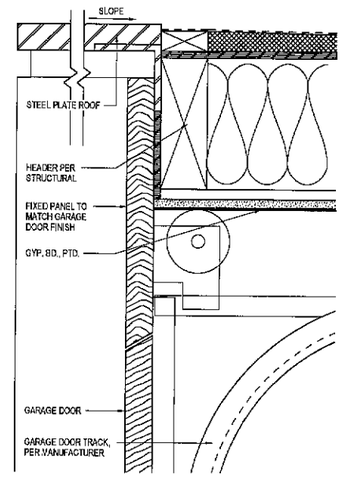


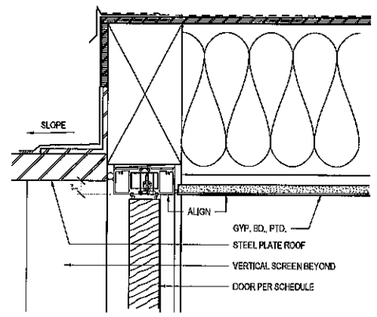
SLIDING POCKET DOOR HEAD DETAIL AT WINDOW 15
3" = 1'-0"



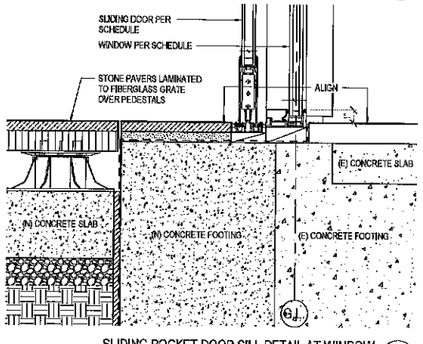
SLIDING POCKET DOOR HEAD DETAIL 11
3" = 1'-0"



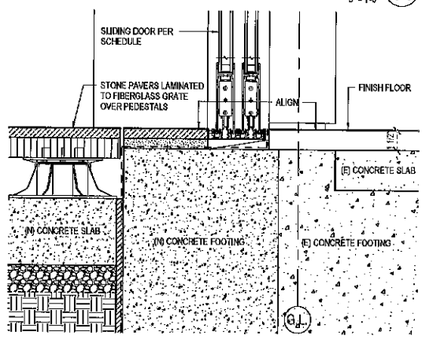
GARAGE DOOR HEAD DETAIL 7
3" = 1'-0"



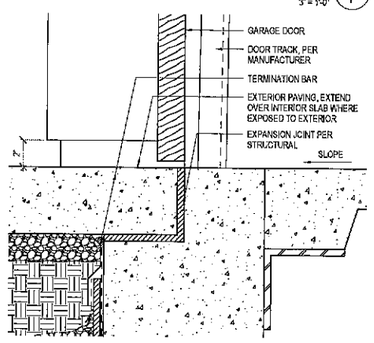
PIVOT DOOR HEAD DETAIL 3
3" = 1'-0"



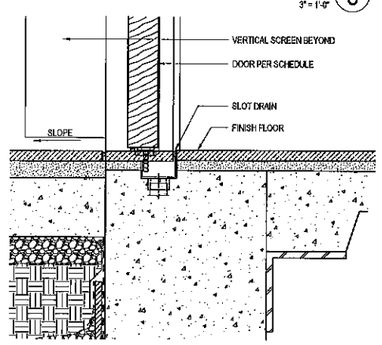
SLIDING POCKET DOOR SILL DETAIL AT WINDOW 14
3" = 1'-0"



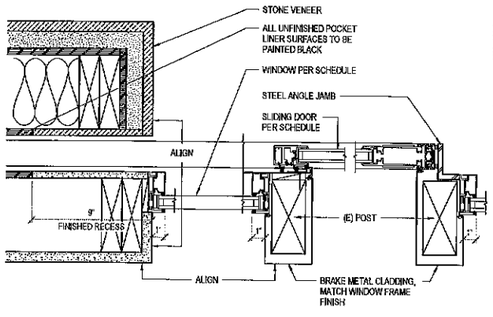
SLIDING POCKET DOOR SILL DETAIL 10
3" = 1'-0"



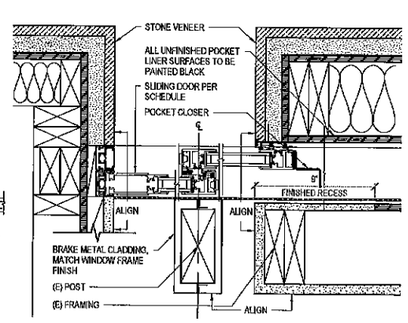
GARAGE DOOR SILL DETAIL 6
3" = 1'-0"



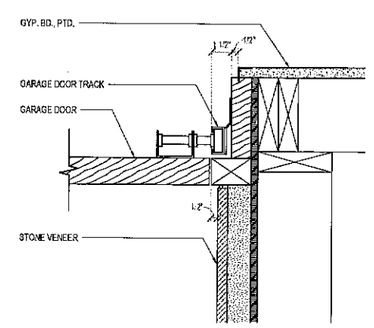
PIVOT DOOR SILL DETAIL 2
3" = 1'-0"



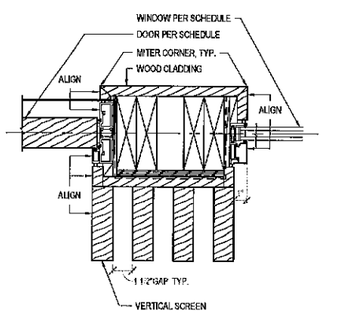
SLIDING POCKET DOOR JAMB DETAIL AT WINDOW 13
3" = 1'-0"



SLIDING POCKET DOOR JAMB DETAIL 9
3" = 1'-0"



GARAGE DOOR JAMB DETAIL 5
3" = 1'-0"



PIVOT DOOR JAMB DETAIL 1
3" = 1'-0"

RIOS
3101 W EXPOSITION PLACE
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FAX: 323.785.1901
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PROJECT NO. 20071

REVISION

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MONARCH BAY

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

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PLANNING

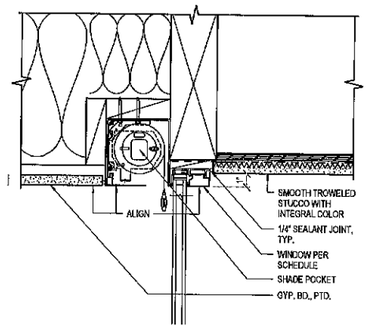
DOOR DETAILS, FOR REFERENCE ONLY

DRAWN/TITLE

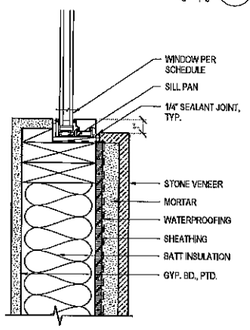
DATE 3/31/2021 1:50:56 PM

SCALE 3" = 1'-0" (WHEN PRINTED ON 24"x36" SHEETS)

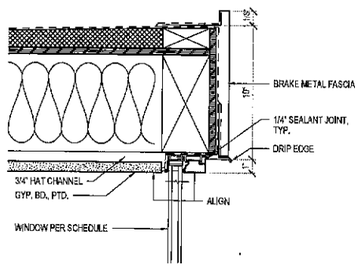
DRAWING NO. A6.21



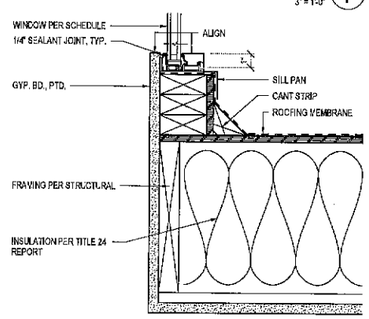
TYP FIXED WINDOW HEAD 11
3" = 1'-0"



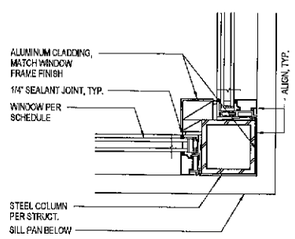
TYP FIXED WINDOW SILL 10
3" = 1'-0"



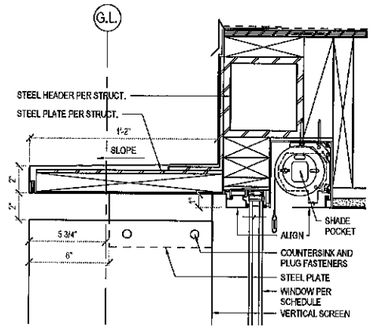
CLERESTORY HEAD DETAIL 7
3" = 1'-0"



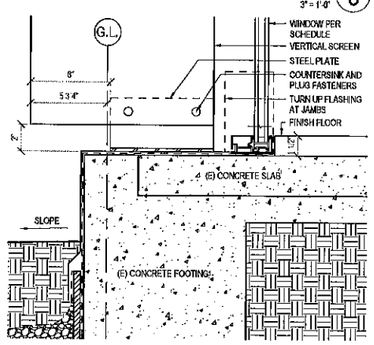
CLERESTORY SILL DETAIL 6
3" = 1'-0"



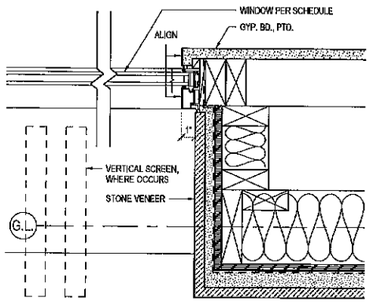
CLERESTORY JAMB DETAIL 5
3" = 1'-0"



VERTICAL SCREEN HEAD DETAIL 3
3" = 1'-0"



VERTICAL SCREEN SILL DETAIL 2
3" = 1'-0"



VERTICAL SCREEN JAMB DETAIL 1
3" = 1'-0"

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PROJECT 20071

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MONARCH BAY

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

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4	2/5/21	CDP Ver 3

ISSUE

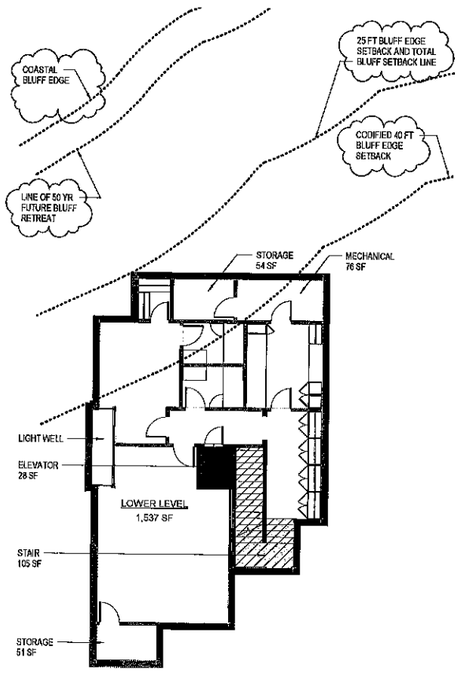
ISSUE

WINDOW DETAILS, FOR REFERENCE ONLY

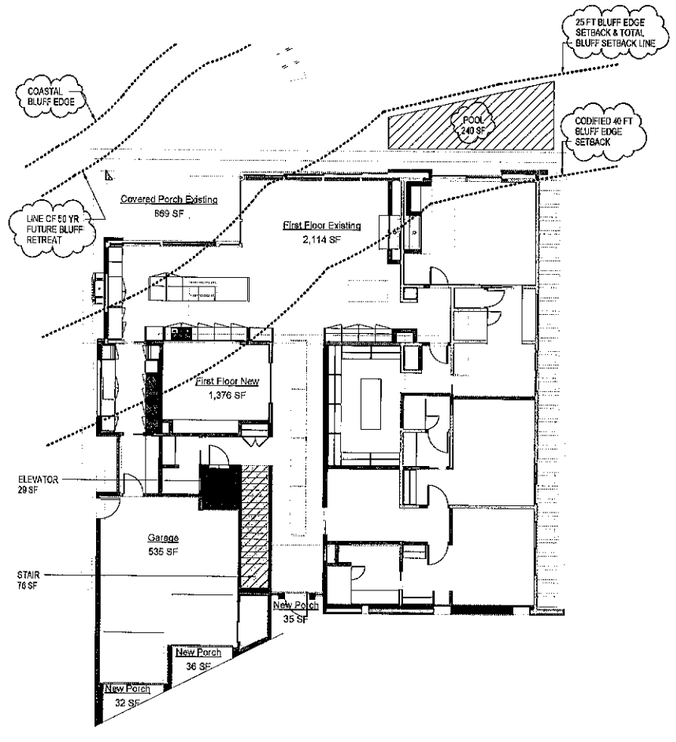
PLOT DATE 3/31/2021 1:50:57 PM

SCALE 3" = 1'-0"

DRAWING NO. **A6.31**



LOWER LEVEL F.F. -10'-0"
1/8" = 1'-0" (2)



FINISH FLOOR +0'-0" (V.I.F.)
1/8" = 1'-0" (1)

RIOS
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PROJECT NO. 20071

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61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

3	2/1/21	HOA Rev 2
4	2/9/21	CDP Rev 1
5	3/31/21	CDP Rev 2

SHEET TITLE: FLOOR AREA CALCULATIONS

DATE: 6/9/2021 2:55:31 PM

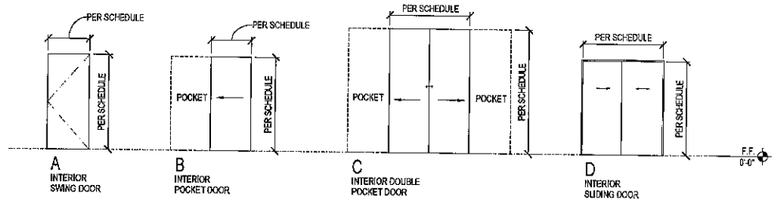
SCALE: 1/8" = 1'-0"

SHEET NO. T3.01

Published: 6/9/2021 2:55:31 PM

DOOR SCHEDULE - INTERIOR

Mark	Description	Manufacturer	Model	Width	Height	Thickness	Type Mark	Head Detail (Door)	Jamb Detail (Door)	Sill Detail (Door)	Comments
LOWER LEVEL F.F. -10'-9"											
002.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
003.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
004.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
005.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
006.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
007.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
008.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
009.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
010.1	SOLID CORE WOOD SWING DOOR			2' - 8"	7' - 0"	1 3/8"	A				
011.1	SOLID CORE WOOD SWING DOOR			2' - 8"	7' - 0"	1 3/8"	A				
(E) FINISH FLOOR +0'-0" (V.I.F.)											
103.1	SOLID CORE WOOD DOUBLE POCKET DOOR			5' - 0"	9' - 3"	1 3/4"	C				
105.1	SOLID CORE WOOD POCKET DOOR			4' - 0"	9' - 0"	1 3/8"	B				
108.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
107.1	SOLID CORE WOOD POCKET DOOR			3' - 0"	8' - 0"	1 3/8"	B				
107.2	SOLID CORE WOOD POCKET DOOR			5' - 0"	7' - 0"	1 3/4"	B				
109.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
109.5	DOUBLE SLIDING DOOR			6' - 0"	7' - 0"	1 3/4"	D				
111.1	SOLID CORE WOOD SWING DOOR			2' - 8"	7' - 0"	1 3/4"	A				
112.1	SOLID CORE WOOD POCKET DOOR			3' - 0"	7' - 0"	1 3/4"	B				
112.2	SOLID CORE WOOD POCKET DOOR			3' - 0"	7' - 0"	1 3/8"	B				
112.4	SOLID CORE WOOD SWING DOOR			2' - 9"	7' - 0"	1 3/8"	A				
113.1	SOLID CORE WOOD SWING DOOR			2' - 9"	7' - 0"	1 3/4"	A				
114.1	SOLID CORE WOOD POCKET DOOR			4' - 0"	9' - 3"	1 3/8"	B				
115.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
116.1	SOLID CORE WOOD POCKET DOOR			2' - 8"	7' - 0"	1 3/8"	B				
117.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
118.1	SOLID CORE WOOD SWING DOOR			3' - 0"	7' - 0"	1 3/4"	A				
119.1	SOLID CORE WOOD POCKET DOOR			2' - 8"	7' - 0"	1 3/8"	B				



INTERIOR DOOR ELEVATIONS (1)
1/4" = 1'-0"

DOOR HARDWARE GROUPS

Key Name	Group	Hinges - Center Hung Pivot	Hinges - Barrel	Hinges - Double Action	Hinges - Shower	Door Stop	Magnetic Door Stop	Entry Door Stop	Closer	Entry Set	Passage Set	Privacy Set	Dummy Single Sided	Pull - Custom	Flush Pull	Flush Pull - Privacy	Edge Pull	Sliding Hardware	Plate	Ball Catch	Dead Bolt	Door Bottom	Seals
A	EXTERIOR GATE	Yes	No			No		Yes		No	No			Yes							Yes		Yes
B	EXTERIOR PIVOT (GLAZED)	Yes				No		Yes						Yes							Yes		
C	EXTERIOR SWING (MECH)		Yes			Yes				Yes												Yes	
D	INTERIOR DUMMY (SINGLE)					Yes														Yes			
E	INTERIOR PIVOT	Yes				Yes													No				
F	INTERIOR SLIDING (PASSAGE)														Yes		Yes	Yes					
G	INTERIOR SLIDING (PRIVACY)															Yes	Yes	Yes					
H	INTERIOR SWING (CLOSET)		Yes			Yes							Yes							Yes			
I	INTERIOR SWING (DOUBLE ACTION)			Yes		Yes			No										Yes				
J	INTERIOR SWING (GARAGE)		Yes			Yes			Yes	Yes													
K	INTERIOR SWING (PASSAGE)		Yes			Yes					Yes												
L	INTERIOR SWING (PRIVACY)		Yes			Yes						Yes											

DOOR HARDWARE SPECIFICATION SCHEDULE

HARDWARE	MANUFACTURER	PART NUMBER / DESCRIPTION	NOTES
HINGES - CENTER HUNG PIVOT			
HINGES - BARREL			
HINGES - DOUBLE ACTION			
HINGES - SHOWER			
HINGES - SHOWER			
DOOR STOP			
MAGNETIC DOOR STOP			
CLOSER			
ENTRY SET			
PASSAGE SET			
PRIVACY SET			
DOOR STOP - ENTRY			
DUMMY SINGLE SIDE			
PULL - CUSTOM			
FLUSH PULL			
FLUSH PULL - PRIVACY			
EDGE PULL			
SLIDING HARDWARE			
BALL CATCH			
DEAD BOLT			
PLATE			
DOOR BOTTOM			
SEALS			
ELECTRIC STRIKE			
VIDEO DOOR STATION			

1. ALL DIMENSIONS ARE NOMINAL.
2. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
3. ALL GLASS LITES IN DOORS AND SIDE LITES TO BE TEMPERED.
4. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION 2406.3 (SEE EXCEPTIONS) (R308.4):
   - A) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES
   - B) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
   - C) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS.
     - III. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET,
     - IV. BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR,
     - V. TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
     - VI. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
   - D) GLAZING IN GUARDS AND RAILINGS.
   - E) GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
   - F) GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE
   - G) GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
   - H) GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 39 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING (R304.2).
5. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.
6. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91. 6709.1. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB.
7. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.
8. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPENABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
9. STRAIGHT DEAD BOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEAD BOLT SHALL HAVE A MINIMUM THROW OF 3/4".
10. THE USE OF A LOCKING SYSTEM WHICH CONSIST OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEAD BOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEAD BOLT SHALL NOT BE SEPARATED BY MORE THAN 8"
11. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQUARE INCHES IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 10" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8" AND 3" IN WIDTH.
12. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
13. PROVIDE MIN. 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT (LARC SEC.R311.2, LABC SEC. 6304.1)
14. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS: MIN. 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA. (LARC SEC. R310, LABC SEC 1029)
14. ALL NEW DOOR AND WINDOW GLAZING TO MEET REQUIREMENTS SPECIFIED BY VHFHSZ (VERY HIGH FIRE HAZARD SEVERITY ZONE)

DOOR SCHEDULE NOTES
NTS

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PROJECT NO. 20071

CONSULTANT

NOT FOR CONSTRUCTION

MONARCH BAY

61 MONARCH BAY DRIVE,
DANA POINT, CA 92629

ISSUE

ISSUE

ISSUE

INTERIOR DOOR SCHEDULE

DRAWING TITLE

DATE 6/9/2021 2:56:35 PM

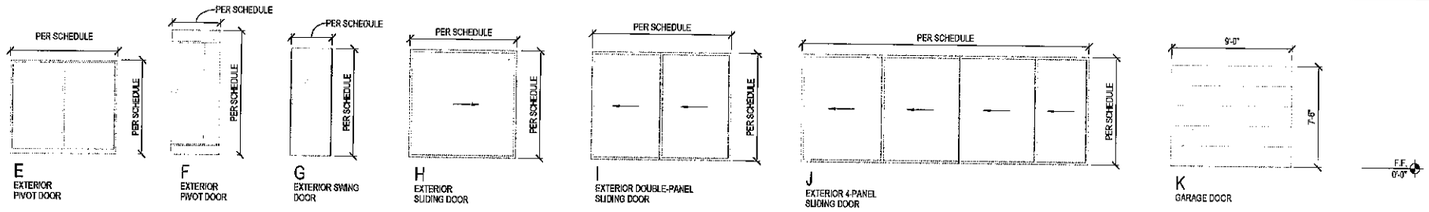
SCALE As Indicated (UNLESS INDICATED ON 30"x42" SHEETS)

DRAWING NO. T4.01

Published: 6/9/2021 2:56:35 PM

DOOR SCHEDULE - EXTERIOR

Mark	Description	Manufacturer	Model	Width	Height	Thickness	Type Mark	Head Detail (Door)	Jamb Detail (Door)	Sill Detail (Door)	Comments
LOWER LEVEL F.F. -10'-0"											
005.2	SLIDING GLASS DOOR			4' - 9 7/8"	7' - 0"		E				
005.2	SLIDING GLASS DOOR			5' - 10 5/8"	7' - 0"		E				
(E) FINISH FLOOR 0'-0" (V.I.F.)											
100.1	SOLID CORE WOOD ENTRY PIVOT DOOR			3' - 6"	9' - 3"	2"	F				
101.1	DOUBLE GLAZED ALUMINUM SLIDING DOOR			8' - 0"	8' - 0"	1"	H				
102.1	DOUBLE GLAZED ALUMINUM MULTI-PANEL SLIDING DOOR			21' - 6"	8' - 6"		J				
106.2	SOLID CORE WOOD ENTRY SWING DOOR			3' - 0"	7' - 11"	2"	G				
109.3	SOLID CORE WOOD GARAGE DOOR			9' - 0"	7' - 6"	1 1/2"	K				
109.4	SOLID CORE WOOD GARAGE DOOR			9' - 0"	7' - 6"	1 1/2"	K				
111.3	DOUBLE GLAZED ALUMINUM MULTI-PANEL SLIDING DOOR			10' - 4"	8' - 0"	1"	I				
112.5	SLIDING GLASS DOOR			5' - 0"	7' - 0"		E				
115.2	SLIDING GLASS DOOR			5' - 9"	7' - 0"		E				
118.2	SLIDING GLASS DOOR			5' - 9"	7' - 0"		E				



EXTERIOR DOOR ELEVATIONS 1
1/4" = 1'-0"

DOOR HARDWARE GROUPS

Key Name	Group	Hinges - Center Hung Pivot	Hinges - Barrel	Hinges - Double Action	Hinges - Shower	Door Stop	Magnetic Door Stop	Entry Door Stop	Closer	Entry Set	Passage Set	Privacy Set	Dummy Single Sided	Pull - Custom	Flush Pull	Flush Pull - Privacy	Edge Pull	Sliding Hardware	Plate	Ball Catch	Dead Bolt	Door Bottom	Seals
A	EXTERIOR GATE	Yes	No			No		Yes		No	No			Yes							Yes		Yes
B	EXTERIOR PIVOT (GLAZED)	Yes				No		Yes						Yes							Yes		
C	EXTERIOR SWING (MECH)		Yes			Yes				Yes												Yes	
D	INTERIOR DUMMY (SINGLE)					Yes														Yes			
E	INTERIOR PIVOT	Yes				Yes													No				
F	INTERIOR SLIDING (PASSAGE)														Yes		Yes	Yes					
G	INTERIOR SLIDING (PRIVACY)															Yes	Yes	Yes					
H	INTERIOR SWING (CLOSET)		Yes			Yes							Yes							Yes			
I	INTERIOR SWING (DOUBLE ACTION)			Yes		Yes			No										Yes				
J	INTERIOR SWING (GARAGE)		Yes			Yes			Yes	Yes													
K	INTERIOR SWING (PASSAGE)		Yes			Yes					Yes												
L	INTERIOR SWING (PRIVACY)		Yes			Yes						Yes											

DOOR HARDWARE SPECIFICATION SCHEDULE

HARDWARE	MANUFACTURER	PART NUMBER / DESCRIPTION	NOTES
HINGES - CENTER HUNG PIVOT			
HINGES - BARREL			
HINGES - DOUBLE ACTION			
HINGES - SHOWER			
HINGES - SHOWER			
DOOR STOP			
MAGNETIC DOOR STOP			
CLOSER			
ENTRY SET			
PASSAGE SET			
PRIVACY SET			
DOOR STOP - ENTRY			
DUMMY SINGLE SIDE			
PULL - CUSTOM			
FLUSH PULL			
FLUSH PULL - PRIVACY			
EDGE PULL			
SLIDING HARDWARE			
BALL CATCH			
DEAD BOLT			
PLATE			
DOOR BOTTOM			
SEALS			
ELECTRIC STRIKE			
VIDEO DOOR STATION			

1. ALL DIMENSIONS ARE NOMINAL.
2. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
3. ALL GLASS LITES IN DOORS AND SIDE LITES TO BE TEMPERED.
4. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4).
   A) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES
   B) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
   C) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
      III. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
      IV. BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
      V. TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
      VI. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
   D) GLAZING IN GUARDS AND RAILINGS.
   E) GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
   F) GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE
   G) GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
   H) GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING (R308.2).
5. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL.
6. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6705.1. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBET TO THE JAMB.
7. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MIN. PROJECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.
8. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
9. STRAIGHT DEAD BOLTS SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEAD BOLT SHALL HAVE A MINIMUM THROW OF 3/4".
10. THE USE OF A LOCKING SYSTEM WHICH CONSIST OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEAD BOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOORKNOB AND THE THUMB TURN WHICH OPERATES THE DEAD BOLT SHALL NOT BE SEPARATED BY MORE THAN 8"
11. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16" THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQUARE INCHES IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 16" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8" AND 3" IN WIDTH.
12. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
13. PROVIDE MIN. 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT (LARC SEC.R311.2, LABC SEC. 6304.1)
14. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN. 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA. (LARC SEC. R310, LABC SEC 1029)
14. ALL NEW DOOR AND WINDOW GLAZING TO MEET REQUIREMENTS SPECIFIED BY VHFHSZ (VERY HIGH FIRE HAZARD SEVERITY ZONE).

DOOR SCHEDULE NOTES
NTS

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REVISIONS

SEALS

ISSUANCE

EXTERIOR DOOR SCHEDULE

DATE 6/9/2021 2:55:49 PM

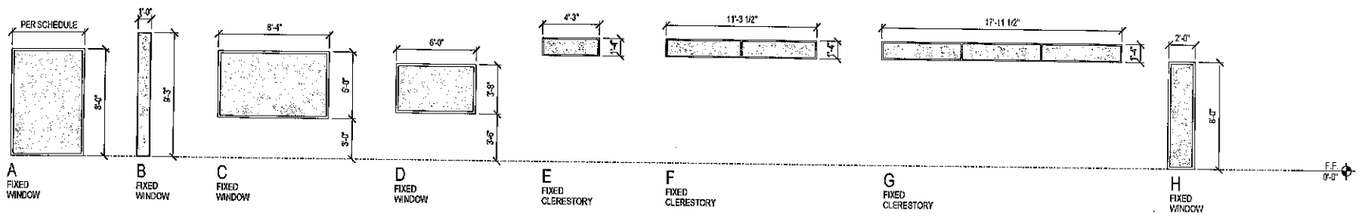
SCALE As indicated (WHEN PRINTED ON 30"X42" SHEET)

DRAWING T4.02

Plotdate: 6/9/2021 2:55:49 PM

WINDOW SCHEDULE

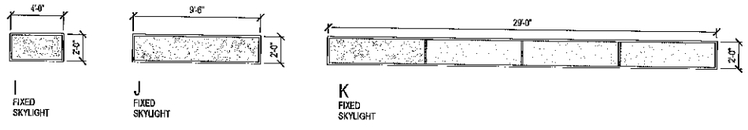
MARK	DESCRIPTION	MANUFACTURER	MODEL	WIDTH	HEIGHT	TYPE	SILL HEIGHT	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	EGRESS	SAFETY GLASS	INSECT SCREEN	MATERIAL	U-FACTOR	SHGC	COMMENTS
LOWER LEVEL F.F. -10'-0"																	
005.A	FIXED			2' - 0"	8'-0"	H	0"					Yes					
005.A	FIXED			2' - 0"	8'-0"	H	0"					Yes					
@ FINISH FLOOR +0'-0" (V.I.F.)																	
100.A	FIXED	FLEETWOOD		1' - 0"	6' - 3"	B	0"					Yes					
100.B	FIXED	FLEETWOOD		1' - 0"	6' - 3"	B	0"					Yes					
101.A	FIXED	FLEETWOOD		5' - 6"	8' - 0"	A	0"					Yes					
101.B	FIXED	FLEETWOOD		3' - 0"	8' - 0"	A	0"					Yes					
102.A	FIXED	FLEETWOOD		3' - 3 3/4"	8' - 0"	A	0"					Yes					
102.B	FIXED	FLEETWOOD		5' - 6"	8' - 0"	A	0"					Yes					
107.A	FIXED	FLEETWOOD		8' - 4"	5' - 0"	C	3' - 0"										
108.A	FIXED	FLEETWOOD		8' - 4"	5' - 0"	C	3' - 0"										
112.A	FIXED	FLEETWOOD		6' - 0"	3' - 8"	D	3' - 6"										
118.A	FIXED	FLEETWOOD		2' - 6"	8' - 0"	A	0"					Yes					
118.B	FIXED	FLEETWOOD		9' - 2"	8' - 0"	A	0"					Yes					
116.C	FIXED	FLEETWOOD		2' - 6"	8' - 0"	A	0"					Yes					
116.A	FIXED	FLEETWOOD		1' - 0"	8' - 0"	A	0"					Yes					
POP-UP ROOF 2 +11'-4 1/2"																	
103.A	FIXED CLERESTORY			11' - 3 1/2"	1' - 4"	E	-1' - 11 1/4"										
105.A	FIXED CLERESTORY			4' - 3"	1' - 4"	E	-1' - 11 1/4"										
105.B	FIXED CLERESTORY			4' - 3"	1' - 4"	E	-1' - 11 1/4"										
113.A	FIXED CLERESTORY			17' - 11 1/2"	1' - 4"	G	-1' - 11 1/4"										
114.A	FIXED CLERESTORY			16' - 10"	1' - 4"	F	-1' - 11 1/4"										
114.B	FIXED CLERESTORY			16' - 10"	1' - 4"	F	-1' - 11 1/4"										



WINDOW ELEVATIONS 1
1/4" = 1'-0"

SKYLIGHT SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	FRAME	WIDTH	HEIGHT	TYPE	LENS TYPE	LENS MATERIAL	LENS COLOR
MAIN ROOF +9'-5"									
101.C	SKYLIGHT	VELUX OR CUSTOM	PAINTED ALUMINUM	2' - 0"	4' - 0"	I	FLAT	GLASS	CLEAR
112.B	SKYLIGHT	VELUX OR CUSTOM	PAINTED ALUMINUM	2' - 0"	9' - 6"	J	FLAT	GLASS	CLEAR
POP-UP ROOF 2 + 11'-4 1/2"									
100.C	SKYLIGHT	CUSTOM	PAINTED ALUMINUM	2' - 5"	29' - 0"	K	FLAT	GLASS	CLEAR



SKYLIGHT PLANS 2
1/4" = 1'-0"

1. ALL DIMENSIONS ARE NOMINAL.
2. DIRECTION OF OPERATION SHOWN FROM THE EXTERIOR.
3. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
4. ALL GLASS LITES IN SIDE LITES TO BE TEMPERED.
5. ALL WINDOWS TO BE PROVIDED WITH NEW SCREENS UNLESS NOTED OTHERWISE.
6. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
   - A) FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES
   - B) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
   - C) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS.
     - III. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
     - IV. BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
     - V. TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
     - VI. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
   - D) GLAZING IN GUARDS AND RAILINGS.
   - E) GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
   - F) GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE
   - G) GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
   - H) GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING (R304.2).
7. SKYLIGHT SIZES INDICATE OUTSIDE CURB DIMENSION.
8. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R306.8.
9. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. WINDOWS REQUIRED FOR EGRESS SHALL HAVE A MINIMUM 24" CLEAR HEIGHT, MINIMUM 20" CLEAR WIDTH, 5.7 SQUARE FEET MINIMUM AREA AND 44" MAXIMUM TO SILL. (LARC SEC. R316, LABC SEC 1029)
10. PROVIDE NATURAL VENTILATION IN BATHROOMS BY MEANS OF OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF FLOOR AREA. MECHANICAL VENTILATING SYSTEMS MAY BE PERMITTED (R303.1)
11. ALL NEW DOOR AND WINDOW GLAZING TO MEET REQUIREMENTS SPECIFIED BY VHFHSZ (VERY HIGH FIRE HAZARD SEVERITY ZONE).

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