

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: MAY 10, 2021

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0018 TO RECONSTRUCT AN EXISTING GUARDHOUSE AT THE MONARCH BAY RESIDENTIAL COMMUNITY ENTRANCE AND ASSOCIATED IMPROVEMENTS IN AND ADJACENT TO THE COMMUNITY RECREATION AREA, AND MINOR SITE DEVELOPMENT PERMIT SDP21-0008(M) TO PERMIT FREESTANDING AND RETAINING WALLS TO EXCEED THE MAXIMUM HEIGHT LIMITS LOCATED AT 32851 MONARCH BAY DRIVE AND ADJOINING PARCELS.

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP20-0018 and Minor Site Development Permit SDP21-0008(M) (Action Document 1).

OWNER: Lisa Klasky, Monarch Bay Land Association, c/o Keystone Pacific

APPLICANT: FoxLin Architects and Summers/Murphy & Partners, Inc.

REQUEST: A request to permit the demolition and reconstruction of an existing guardhouse at the Monarch Bay residential community entrance, and improvements to the adjacent community recreation area. Additionally, a request to permit various freestanding and retaining walls exceeding maximum height limits when located in required yard areas or visible from a right-of-way. Associated improvements include remodeled sport courts, enclosures and their adjacent recreation areas, and facilities, and rehabilitated landscaping and hardscaping on the subject sites.

LOCATION: 32851 Monarch Bay Drive (recreation area) and near the intersection of Pacific Coast Highway and Monarch Bay Drive/Crown Valley Parkway (guardhouse -no sites address) Association), (APN(s): 670-131-13, -14, and -15).

NOTICE: Public Hearing notices were mailed to property owners within 500 feet, and to occupants within 100 feet of the site on April 30, 2021. The same notice was published in the Dana Point News on April 30, 2021, and notices were posted on April 30, 2021, at Dana Point

City Hall, the Dana Point post office, the Capistrano Beach post office, and the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15302 of the CEQA Guidelines (Class 2 –Replacement or Reconstruction of Existing Structures and Facilities) since the project consists of the construction of an existing structure, walls and appurtenant structures.

ISSUES:

1. Is the proposal consistent with the City's adopted Dana Point Specific Plan/Local Coastal Program?
2. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?
3. Does the project satisfy all the findings required for approving a Coastal Development Permit and a Minor Site Development Permit?

BACKGROUND: The project area spans a total of three (3) parcels totaling 93,001 square feet: parcel 670-131-13 is designated as recreation (REC) and parcels 670-131-14, & -15 are designated residential single family (RSF-4) on the City's Zoning Map. The subject sites are surrounded by single-family homes within the Monarch Bay community to the south and west, and across Pacific Coast Highway (PCH) to the north within the Monarch Bay Terrace community, and is bordered by the Monarch Bay Plaza shopping center to the northeast across PCH. The sites are designated Recreation/Open Space and Residential 3.5–7 DU/AC on the Land Use Policy Diagram of the General Plan (Supporting Document 2 – Vicinity Map).

City records indicate that in 1962, a use variance (UV-5024) was approved at 32851 Monarch Bay Drive permitting the establishment of a community recreation area with facilities in the R1 Single Family Residence District with off-street parking for eight (8) cars, all to be used and maintained by the Monarch Bay Association. The pavilion structure on this lot was completed in 1963 and included separate restrooms and a storage area as part of this roofed structure that provided shaded seating within the community recreation area. Additionally, the City has records of street improvements which included the original guardhouse and landscape entry islands (Supporting Document 3 – Site Photos).

The site is also located within the Appeals Jurisdiction of the City's Coastal Overlay District (the California Coastal Zone), therefore a Coastal Development Permit is required. Additionally, because various freestanding and retaining walls exceed the maximum height limits, a Minor Site Development Permit (SDP(M)) is required.

DISCUSSION: The proposed scope of work includes the demolition and reconstruction of both the existing guardhouse at the Monarch Bay Estates residential community entrance, and improvements to the adjacent community recreation area. Additionally, a request to permit various freestanding and retaining walls exceeding maximum height limits when located in required setbacks or visible from a right-of-way. Associated improvements include remodeled sport courts, enclosures and their adjacent recreation areas, and facilities, and rehabilitated landscaping and hardscaping on the subject sites.

COASTAL DEVELOPMENT PERMIT:

Pursuant to Section 9.69.020, a Coastal Development Permit is required for all development, as defined in Section 9.75.040 of the DPZC, located within the Coastal Overlay District. The construction of a new guardhouse, walls and remodel of existing structures, hardscaping and landscaping is considered “coastal development,” per the DPZC definition in Section 9.75.040. The subject sites are also located within the appeals jurisdiction of the California Coastal Commission, accordingly, a CDP is required for the project.

The proposed 205 square foot entry guardhouse will replace an existing 149 square foot entry guardhouse which is located approximately 90 feet from the entrance to the Monarch Bay community at the intersection of Crown Valley and PCH. The new guardhouse will be constructed approximately 30 feet southwest of the existing guardhouse location, and when completed will expand and slightly reconfigure the existing entry lane utilized for residents and emergency responders. The new guardhouse has a proposed height of 20'-10½", where the maximum height allowed is 24 feet for structures with 0-3:12 roof pitches. A vehicle porte-cochere will project from the right side (as entering Monarch Bay) of the guardhouse and over the visitor entry lane into the community. Finish materials of the guardhouse include natural stone veneer walls, dark bronze standing seam metal roofing, metal fascia and rain gutters, a treated wood slat soffit, and bronze framed window openings.

The project also includes the construction of a series of freestanding and retaining walls, and replacement of fencing around restored sport courts, a dog park, and open recreation areas. Some of the freestanding and retaining walls exceed Dana Point Zoning Code (DPZC) height maximums and are discussed in further detail below under the Minor Site Development Permit discussion.

Associated improvements include remodeled sport courts with enclosures, an enclosed dog park and adjacent recreation areas, and facilities on the subject sites. The project also includes the replacement of hardscape and landscaping along the private right-of-way, sport court areas and walkways as well as the installation of a new irrigation system on the subject parcels. The current design has been reviewed and approved by the Monarch Bay Architectural Review Committee (Supporting Document 4 – Architectural Plans, Landscape

Plans & Renderings).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).
2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).
3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).
4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.
5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.
6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.
7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting the above-mentioned findings are detailed in the attached draft Planning Commission Resolution (Action Document 1).

MINOR SITE DEVELOPMENT PERMIT:

The project proposes various freestanding and retaining walls exceeding maximum height limits when located in required yard areas and visible from a right-of-way. Pursuant to DPZC Sections 9.05.120(c) and 9.05.120(d)(2) and (3), alternatives to height limits for freestanding walls located within required yard areas and retaining walls greater than thirty (30) inches when visible from a right-of-way may be permitted subject to the approval of a SDP(M).

Therefore, the proposed 7'-6" split-face, freestanding wall located along PCH and the associated retaining walls exceeding 30 inches necessitate the approval of a SDP(M).

The proposed 7'-6" high, split-face concrete masonry unit (CMU), freestanding wall commences on the northern side of the Monarch Bay entrance and continues in a northwest direction parallel to PCH for 165 linear feet. This wall is proposed to match the site wall previously approved by the Planning Commission via CDP20-0012 and SDP20-0015 that runs parallel to PCH along the southern side of the Monarch Bay entrance.

There are also several stone-clad finished retaining walls proposed at the entrance of the recreation areas ranging from 30–42 inches in height. These retaining walls form planter areas and walkways and are proposed to be finished with stone clad veneer to match the guardhouse. (Supporting Document 5 – Wall Schedule).

Pursuant to Section 9.71.050 "Basis of Approval, Conditional Approval, or Denial of a Site Development Permit" of the DPZC, the Planning Commission shall make the following findings:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and
2. That the site is suitable for the proposed use and development; and
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines; and
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture


Staff finds that both the construction of the 7'-6" high split-face CMU, freestanding wall located within a required yard area, and the retaining walls exceeding 30 inches in height, and visible from a right-of-way are consistent with the basis of approval for a SDP(M) as outlined in Section 9.71.050 of the DPZC. Responses supporting the above-mentioned findings are detailed in the attached draft Planning Commission Resolution.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and relevant portions thereof comprising the Local Coastal Program. Since justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP20-0018 and SDP21-0008(M) subject to the findings and conditions of approval contained therein.



Danny Giometti
Associate Planner



Brenda Wisneski
Director of Community Development

ACTION DOCUMENT:

1. Draft Planning Commission Resolution 21-05-10-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. Site Photos
4. Architectural Plans, Landscape Plans & Renderings
5. Wall Schedule

ACTION DOCUMENT 1: Draft Planning Commission Resolution 21-05-10-XX

RESOLUTION NO. 21-05-10-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0018 TO PERMIT THE DEMOLITION AND RECONSTRUCTION OF BOTH AN EXISTING GUARDHOUSE AT THE MONARCH BAY RESIDENTIAL COMMUNITY ENTRANCE, AND ASSOCIATED IMPROVEMENTS IN AND ADJACENT TO THE COMMUNITY RECREATION AREA, AND MINOR SITE DEVELOPMENT PERMIT SDP21-0008(M) TO PERMIT VARIOUS FREESTANDING AND RETAINING WALLS EXCEEDING MAXIMUM HEIGHT LIMITS WHEN LOCATED IN REQUIRED YARD AREAS OR VISIBLE FROM A RIGHT-OF-WAY LOCATED AT 32851 MONARCH BAY DRIVE AND ADJOINING PARCELS.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Lisa Klasky, Monarch Bay Land Association, c/o Keystone Pacific (the "Owner"), owns the real property commonly referred to as the Monarch Bay Community Association (32851 Monarch Bay Drive and APNs: 670-131-13, -14, & -15) (the "Property"); and

WHEREAS, the Owners authorized FoxLin Architects and Summers/Murphy & Partners, Inc. (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit CDP20-0018 to permit the demolition and reconstruction of both an existing guardhouse at the Monarch Bay Residential community entrance, and associated improvements in and adjacent to the community recreation area, and minor Site Development Permit SDP21-0008(M) to permit various freestanding and retaining walls exceeding maximum height limits when located in required yard areas or visible from a right-of-way located at 32851 Monarch Bay Drive and adjoining parcels; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 10th day of May 2021, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15302 of the CEQA Guidelines (Replacement or Reconstruction of Existing Structures and Facilities); and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0018 and Minor Site Development Permit SDP21-0008(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

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- A) The above recitations are true and correct and are incorporated herein by this reference.

Findings:

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP20-0018, subject to conditions:
- 1) That the proposed development is in conformity with the certified Local Coastal Program (LCP) as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 California Code of Regulations/13096) **in that the proposed project is designed in conformance with the LCP meeting the requirements of both the Recreation (REC) and Residential Single Family 4 (RSF 4) Zoning Districts of the Dana Point Zoning Code (DPZC), and will implement requirements contained therein related to specific REC and RSF 4 development standards, general development standards related to freestanding and retaining walls, and water efficient landscape standards of the DPZC.**
 - 2) That the proposed development is located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that adequate coastal access exists near the project location and the proposed project involves the replacement or reconstruction of existing structures and facilities on previously improved parcels that will not further restrict or change nearby public access.**
 - 3) That the proposed development conforms with Public Resources Code Section 21000 (the California Environmental Quality Act) **in that the project is Categorically Exempt per Section 15302 of the California Code of Regulations (Class 2- Replacement or Reconstruction of Existing Structures and Facilities) in that the project involves the demolition and reconstruction of a new guard shack and assorted site walls (freestanding and retaining).**
 - 4) That the proposed development will be sited and designed to

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prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the proposed guardhouse, freestanding and retaining walls and associated hardscape and landscape improvements are located on previously improved parcels surrounded by similar development, and although the project includes redevelopment of a private recreation area, the site does not contain nor is located adjacent to any public parks or recreation areas, and consequently implementation of the project will not impact environmentally sensitive habitats or scenic resources and no buffer areas are necessary.**

- 5) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject parcels were previously developed and the proposed project involves negligible movement of previously disturbed soils, and will be constructed in conformance with applicable regulations for geological and erosional forces, flood, and fire thereby minimizing undue risks from these or other hazards.**
- 6) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the project sites and their surrounding properties are completely developed with no views to the ocean or coastline, and the proposed project includes replacement and remodeling of existing accessory structures built in the early 1960's with modern structures and finishes coupled with landscape and hardscape improvements that will be visually compatible with the character of the surrounding areas in a location where no visually degraded areas exist.**
- 7) That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that, the subject project has been reviewed by the Planning and Building/Safety Divisions, and the City's Public Works & Engineering Department, and conforms with the applicable policies and requirements of the General Plan**

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including those portions that comprise the LCP, the applicable DPZC requirements and does not require any variances, and provides improvements which are consistent with the development standards of both the REC and RSF 4 zoning districts.

- C) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP21-0008(M), subject to conditions:
- 1) That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that alternatives to height limits for walls in required yard areas and retaining walls over 30 inches in height are permitted subject to General Development Standards (Chapter 9.05), Section 9.05.120 (Fences, Walls and Hedges) of the DPZC, and through the processing of a SDP(M).** The proposed 7'-6" high split-face concrete masonry unit, freestanding wall will be constructed to match the recently approved split-face wall (CDP20-0012 and SDP20-0015) located south of the Monarch Bay entry. All proposed retaining walls are proposed to be finished with a natural color stone-clad veneer matching the same material on the reconstructed guardhouse. Drought tolerant landscaping will be included to screen the split-face CMU, freestanding wall facing Pacific Coast Highway, and installed in the planter areas in the recreation area, softening the overall appearance of the walls and providing aesthetic relief from proposed improvements.
 - 2) That the site is suitable for the proposed use and development **in that the project sites have been previously developed and the project includes the split-face CMU, freestanding wall located north of the Monarch Bay entry and a series of planter retaining walls in the Recreation zoned parcel.** The project includes minimal grading of the previously developed sites to accommodate the proposed hardscape and landscape improvements on site and the flat grade along the northern entry will accommodate the proposed split face CMU, freestanding wall, providing a barrier and outfitted with additional landscaping along Pacific Coast Highway.
 - 3) That the project is in compliance with all elements of the

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General Plan and all applicable provisions of the Urban Design Guidelines in that pursuant to Goal 5 of the Urban Design Element of the General Plan, the modifications to existing development achieve design excellence in site planning, architecture, landscape architecture and signage by updating existing structures, the vehicular entryway, and recreation and landscape areas with modern finish materials, colors and drought tolerant landscaping, resulting in a refreshed, comprehensive design that will be aesthetically pleasing and efficient for years to come.

- 4) That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture in that the proposed freestanding and retaining walls have been designed to be compatible with the previously designed split-face entry and retaining walls approved as part of CDP20-0012 and SDP20-0015 located along the southern entrance of Monarch Bay community. Although not requiring a specific architectural style, the proposed freestanding and retaining walls utilize materials complimentary to the proposed guardhouse, accessory structures and the proposed hardscape improvements along the entrance and the recreation area.

Conditions:

A. General:

1. Approval of this application permits the demolition and reconstruction of both an existing guardhouse at the Monarch Bay residential community entrance, and associated improvements in and adjacent to the community recreation area, and to permit various freestanding and retaining walls exceeding maximum height limits when located in required yard areas or visible from a right-of-way located at 32851 Monarch Bay Drive and adjoining parcels. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, and the Dana Point Zoning Code (DPZC)/Local Coastal Program (LCP).
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved and such work is not commenced within such two (2) year time period or; the

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Director of Community Development or the Planning Commission, as applicable, grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions and in accordance with the appropriate sections of the Dana Point Zoning Code.

3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, the Director may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

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The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. Applicant shall obtain written approval for any work proposed on adjoining property.
9. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
13. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved, and deposit posted prior to issuance of any permits.

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14. The applicant shall apply for an Address Assignment from Public Works prior to any application for permits. The Address Assignment shall assign the addresses for all proposed units and City permits.
15. Prior to the commencement of any work within the public right-of-way, the applicant shall apply and be approved for an encroachment permit.
16. Separate review, approval, and permits are required for:
 - Separate Structures
 - Retaining Walls
 - Site Walls over 3 ft.
 - Fire Sprinklers
 - Demolition of Structures
 - Landscaping
 - Sport court areas
 - Dog park

B. Prior to the Issuance of a Grading Permit:

17. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
18. The submitted survey and grading plan shall accurately show the property lines and right of way at the intersection of Monarch Bay Drive and Pacific Coast Highway per Record of Survey No. 2009-1085.
19. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. All reports shall recommend appropriate measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual.
20. The project shall submit a Water Quality Management Plan (WQMP)

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for review and approval. The WQMP shall be in accordance with the South Orange County model WQMP, South Orange County Technical Guidance Document.

21. The applicant shall submit a Hydrology and Hydraulic Study (H&H Study) of the proposed storm drain system and required detention/retention for review and approval. The H&H Study shall be in accordance with the County of Orange Local Drainage Manual and Orange County Hydrology Manual.
22. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy.
23. Separate submittal for review, approval and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements.

C. Prior to Building Plan Check Submittal:

24. Building(s) shall comply with the most recent editions of the Building Code with all local amendments.
25. Project "Conditions of Approval" shall appear on the submitted drawings.
26. Building plan check submittal shall include the following construction documents:
 - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)
 - Drainage Plan

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

27. Fire Department review maybe required. Submit plans directly to the Orange County Fire Authority for their review.

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28. Minimum roofing classification is Class "A".
29. Fire-rated Construction: Plans should clearly identify and detail the fire-rated construction for any construction due to close proximity to the property line.
30. Separate review, approval, and permits are required for separate structures.
31. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
32. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
33. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CAL Green requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
34. All planting in the public right of way shall be reviewed and approved by the Public Works Department prior to approval and installation.
35. All existing infrastructure for the traffic signal, including pedestrian crossings, shall be protected in place at all times. Any damage, replacement or required modifications to any signal infrastructure shall be per separate review, approval, and permitting by the Public Works Department.

D. Prior to the issuance of a building permit or release on certain related inspections:

36. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
37. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially

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completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

38. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
39. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
40. Approvals are required from:
 - Planning Division
 - Public Works & Engineering Services
 - Obtain Orange County Fire Authority Approval
 - Obtain "Will Serve" letter from Water District.
 - Provide an SDG&E service work order for proposed service location
41. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
42. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval. The review of the submitted geotechnical report shall be done on a time and materials basis.

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43. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
44. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.
45. Prior to commencement of framing, the applicant shall verify, by survey, that the guardhouse will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. Note that the surveyed measurements shall be measured from the property line to the exterior wall finish materials (i.e. stucco, siding, concrete, etc.). The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval prior to foundation inspection.
46. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. Landscape screening shall be provided on the proposed site wall which faces Pacific Coast Highway. The landscape screening shall be reviewed and approved by the City of Dana Point prior to installation.

The final landscape plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.

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47. An encroachment permit application for work in the Pacific Coast Highway right of way shall be issued prior or concurrently with any building permit or landscape permit.

A separate building permit will be required for the proposed wall(s). The Building Department should be consulted for all permitting and submittal requirements.

E. Prior to the final of all outstanding permits related to the subject entitlement and issuance of a certificate of occupancy for the guardhouse:

48. Verification of all conditions of approval is required by all City Departments.
49. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division. The final inspection with the Community Development Department shall include a review of, among other things, landscaping and finish materials approved through this discretionary action, and compliance with any outstanding project conditions of approval.
50. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
51. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
52. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
53. A written approval by the Geotechnical Engineer of Record approving the construction as being in conformance with the approved plan from a geotechnical standpoint.
54. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
55. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.

56. The applicant shall submit a final certification for all improvements associated with water quality and the project WQMP for review and approval by the Director of Public Works/Public Works Director/City Engineer by separate submittal. The final improvement certification by the civil engineer (City's standard Civil Engineer's Certification Template for Final Grading) shall approve the improvements as being substantially completed in conformance with the approved WQMP.
57. A deed restriction must be placed on the property obligating the property owner to operate and maintain the BMPs and the WQMP and O&M Plan into perpetuity. The document must be executed and recorded with the County prior to issuance of Certificate of Occupancy.
58. The applicant shall demonstrate that all structural best management practices (BMPs) described in the Project's WQMP have been constructed and installed in conformance with approved plans and specifications via the City's WQMP Construction Certification letter template.
59. The applicant shall demonstrate that contracts or qualified personnel to implement all non-structural BMPs described in the Project WQMP Operations and Maintenance Manual are in place.
60. The applicant shall provide a distribution list for the approved Project WQMP and Operations and Maintenance Manual.
61. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
62. Public Works final approval will be required for all permits.
63. All structural best management practices (BMPs), including landscaping, shall be constructed and installed in conformance with approved plans and specifications.

PLANNING COMMISSION AGENDA REPORT
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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 10th day of May, 2021, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric Nelson, Chair
Planning Commission

ATTEST:

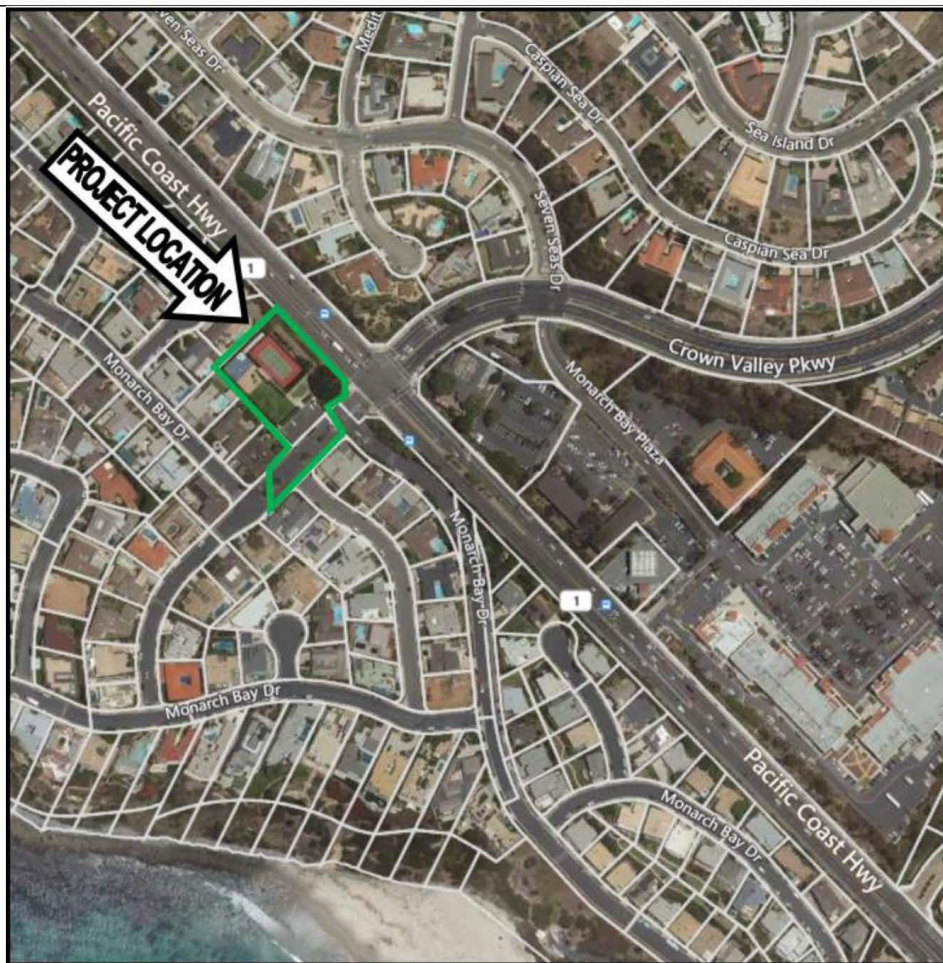
Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map



City of Dana Point
CDP20-0018 & SDP21-0008(M)
Danny Giometti, Associate Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, Associate Planner)
Dana Point, CA 92629-1805

VICINITY MAP



Project: CDP20-0018 & SDP21-0008(M)

Applicant: FoxLin Architects & Summers/Murphy & Partners, Inc.

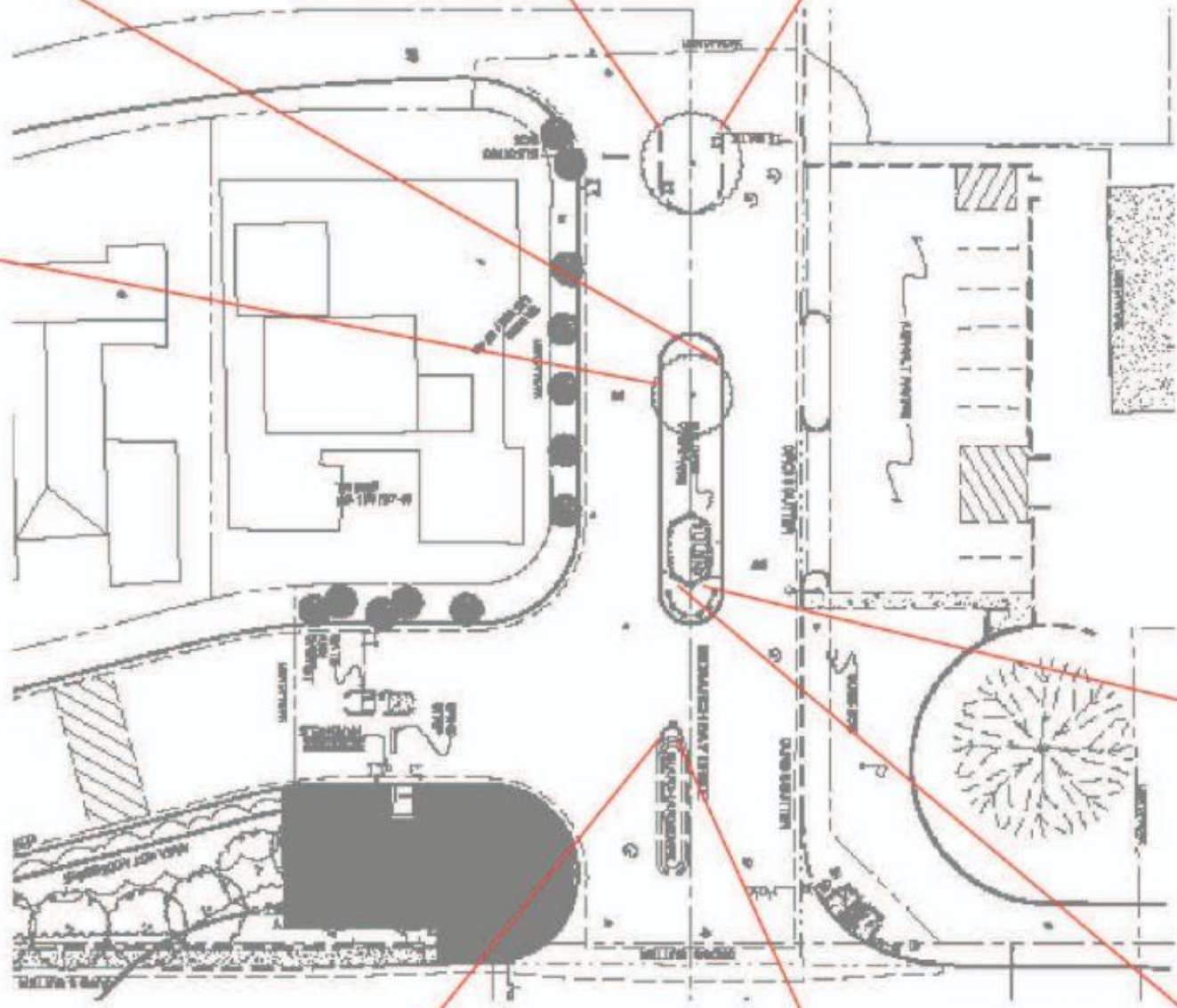
Location: 35491 Camino Capistrano



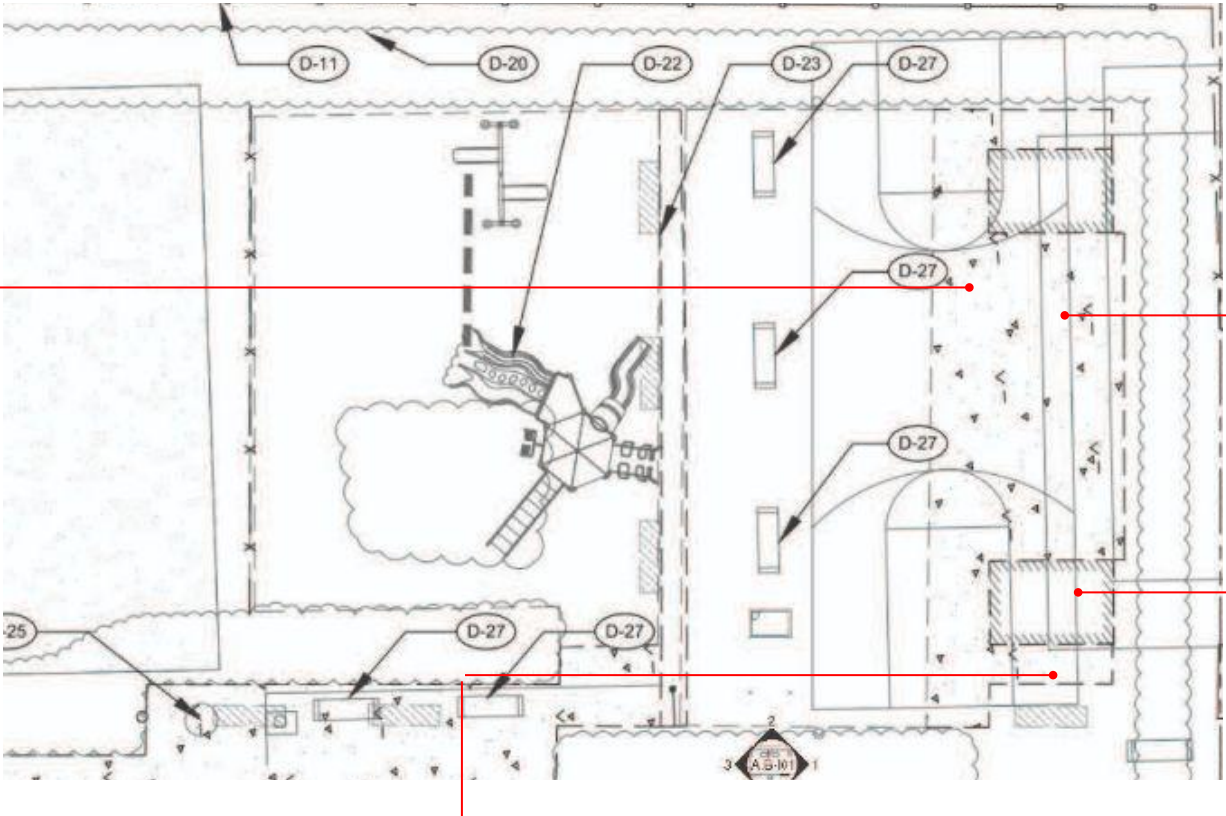
SUPPORTING DOCUMENT 3: Site Photos

ATTACHMENT

GUARDHOUSE - EXISTING CONDITION



PAVILLION - EXISTING CONDITION



SUPPORTING DOCUMENT 4: Architectural Plans, Landscape Plans & Renderings

ATTACHMENT

A-001 // TITLE // ISSUED: x

4/14/2021 10:16:18 AM

A-001 // TITLE // ISSUED

4/14/2024 10:16:18 AM

Desktop\Monarch Bay\Monarch Bay Plans\210413-current.rvt

PROJECT DATA

USE:
BUILDING HEIGHT:

GUARD HOUSE
19'- 8"

USE:
BUILDING HEIGHT:

PAVILLION
9'- 5 1/2"

LEGAL DESCRIPTION:

APN:

670-131-14
670-131-13
U

OCCUPANCY GROUP:
TYPE OF CONSTRUCTION:
ZONING:

VB
RSF 4 RESIDENTIAL SINGLE
FAMILY 4 DU/AC

FOOTAGE DATA:

DEMO

149 SF
GUARDHOUSE
PAVILLION
0 SF

CONSTRUCT

205 SF
GUARDHOUSE
PAVILLION
0 SF

REMODEL

535 SF
GUARDHOUSE
PAVILLION
0 SF
535 SF

LANDSCAPE AND HARDSCAPE

APN	TOTAL AREA OF LOT	TOTAL LANDSCAPE OF LOT	TOTAL HARDSCAPE OF LOT	PERCENTAGE OF LOT LANDSCAPED
APN 670-131-15	5,749 SF	598 SF	5,151 SF	10.4%
APN 670-131-14	9,327 SF	1,936 SF	7,391 SF	20.8%
APN 670-131-13	50,530 SF	24,887 SF	25,643 SF	49.2%
TOTAL	65,606 SF	27,421 SF	38,185 SF	41.7%

GUARDHOUSE

PROPOSED BUILDING AREA:

FLR 1 :

FOOTPRINT BLDG:

STORIES:

PARKING SPACES:

205 SF
205 SF
267 SF
1
6

PAVILLION

EXISTING BUILDING AREA:

SEATING AREA:

STORAGE:

BATHROOMS:

PROPOSED BUILDING AREA:

FOOTPRINT BLDG:

STORIES:

PARKING SPACES:

535 SF
389 SF
73 SF
73 SF
0 SF
606 SF
1
0

ADDITIONAL INFORMATION:

FIRE ZONE:

MODERATE

SCOPE OF WORK

GUARDHOUSE:

EXISTING GUARDHOUSE TO BE DEMOLISHED AND REPLACED WITH NEW GUARDHOUSE. NEW GUARDHOUSE HAS ONE LANE OF TRAFFIC COVERED AND ONE LANE NOT COVERED.

PAVILLION:


EXITING PAVILION TO REMAIN AND RENOVATED WITH EXISTING TWO NON-CONFORMING RESTROOMS WILL BE COMBINED INTO ONE ADA UNISEX RESTROOM. EXTERIOR IMPROVEMENTS INCLUDE STONE VENEER TO THE EXISTING STRUCTURE WALLS AND COLUMNS AS WELL AS NEW FASCIA AND SOFFIT TO THE EXISTING ROOF. EXISTING SKYLIGHTS TO BE REPLACED IN SAME LOCATIONS. TWO NEW COUNTERS TO BE ADDED.

VARIOUS SITE-WORK IMPROVEMENTS ARE PROPOSED INCLUDING PLANTING, SURFACING, PEDESTRIAN PATHS, SIGNAGE, AND A WATER FEATURE.

SHEET LIST		
#	SHEET NAME	REVISION
01 - CIVIL		
C-0	TITLE SHEET	C
C-1.1	SURVEY	C
C-1.2	SURVEY	C
C-2	DEMOLITION PLAN	C
C-3	PRELIMINARY GRADING PLAN	C
C-4	PRELIMINARY GRADING PLAN	C
C-5	PRELIMINARY GRADING PLAN	C
C-6	PRELIMINARY GRADING PLAN	C
C-7	PRELIMINARY GRADING PLAN-SIMPLE	C
C-8	PRELIMINARY GRADING PLAN-SIMPLE	C
C-9	SECTIONS	C
C-10	SECTIONS	C
C-11	DETAIL SHEET	C
C-12	DETAIL SHEET	C
C-13	STORM DETAILS	C
02 - ARCHITECTURAL		
A-001	TITLE	C
A-101	SITE PLAN	C
A.A-100	DEMO PLAN - GUARDHOUSE	C
A.A-101	EXISTING CONDITION	C
A.A-110	FLOOR PLAN - GUARDHOUSE	C
A.A-111	ENLARGED FLOOR PLAN - GUARDHOUSE	C
A.A-113	ROOF PLAN - GUARDHOUSE	C
A.A-201	SOUTH AND EAST ELEVATIONS - GUARDHOUSE	C
A.A-202	NORTH AND WEST ELEVATIONS - GUARDHOUSE	C
A.A-301	BUILDING SECTIONS - GUARDHOUSE	C
A.A-901	EXTERIOR VIEWS - GUARDHOUSE	C
A.A-902	MATERIAL BOARD-GUARDHOUSE	C
A.B-100	DEMO PLAN - PAVILLION	C
A.B-101	EXISTING CONDITION - PAVILLION (SITE)	C
A.B-110	FLOOR PLAN - PAVILLION	C
A.B-111	ENLARGED FLOOR PLAN - PAVILLION	C
A.B-113	ROOF PLAN - PAVILLION	C
A.B-201	SOUTH AND EAST ELEVATIONS - PAVILLION	C
A.B-202	NORTH AND WEST ELEVATIONS - PAVILLION	C
A.B-301	BUILDING SECTIONS - PAVILLION	C
A.B-901	EXTERIOR VIEWS - PAVILLION	C
A.B-902	MATERIAL BOARD-PAVILLION	C
09 - LANDSCAPE		
CL-1	CONSTRUCTION LAYOUT PLAN	C
PL-1	PLANTING LAYOUT PLAN	C

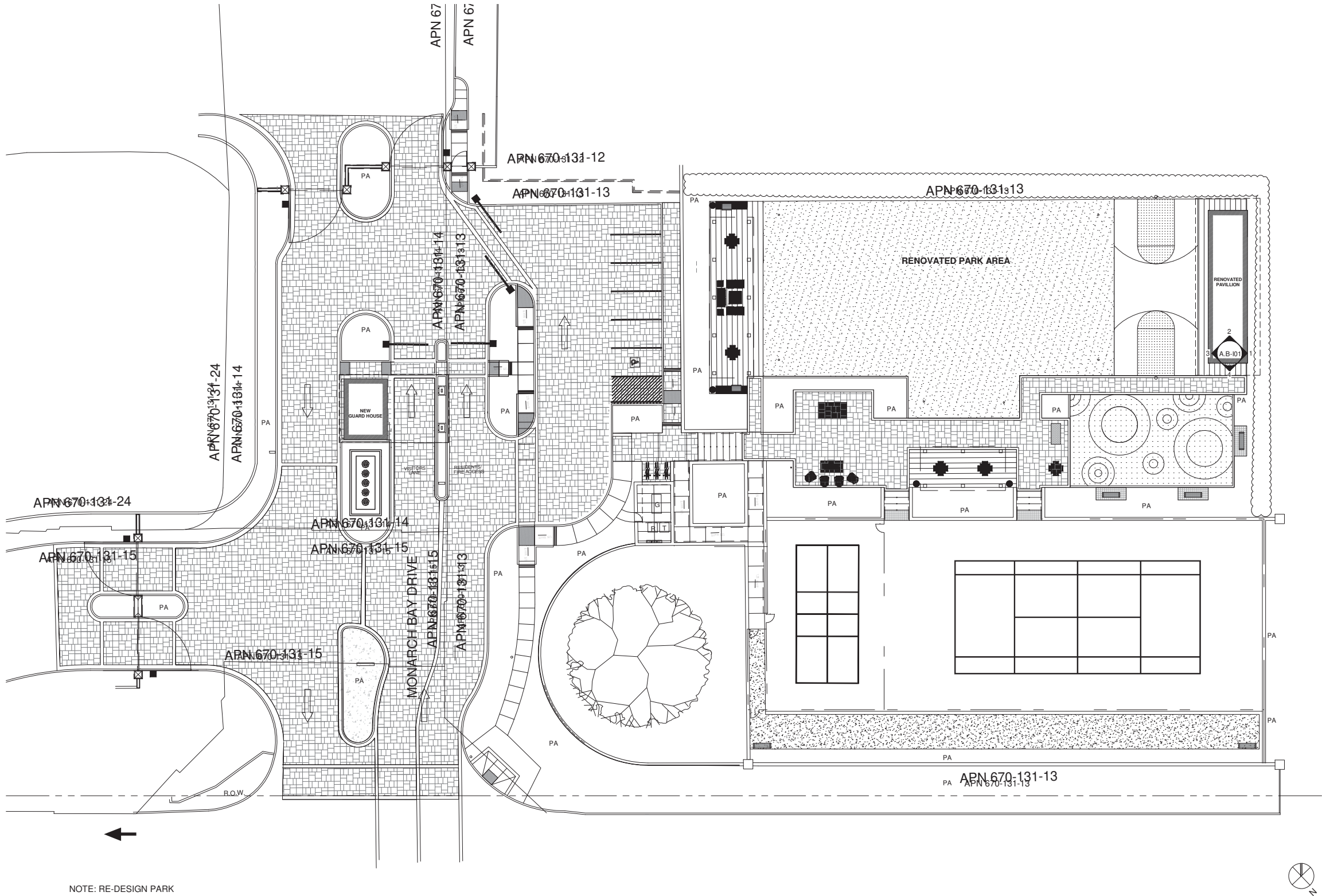
<div>GENERAL NOTES</div>		<div>SYMBOLS</div>					
<div>1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS</div> <div>2. CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF THE EXISTING WORK AN ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.</div> <div>3. ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND S COPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.</div> <div>4. CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.</div> <div>5. CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.</div> <div>6. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES</div> <div>7. ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS</div> <div>8. IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS, THEY SHALL BE BROUGHT TO THE ATTENTION TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</div> <div>9. DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.</div> <div>10. WHEN SPECIFIC FEATURE OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE THE SAME CHARACTER AS SIMILAR CONDITIONS</div> <div>11. THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISION OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS</div> <div>12. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.</div> <div>13. CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.</div> <div>14. SEE CONSTRUCTION SCHEDULE SHEET (A-800) FOR LIST OF ABBREVIATIONS.</div>		<div><div>Building Gridlines</div><div></div></div>		<div><div>Revision Cloud</div><div></div></div>			
		<div><div>Window Symbol</div><div></div></div>		<div><div>Detail Callout / Section</div><div></div></div>			
		<div><div>Door Tag</div><div></div></div>		<div><div>Room Label</div><div></div></div>			
		<div><div>Wall Tag</div><div></div></div>		<div><div>Roof Tag</div><div></div></div>		<div><div>Floor Tag</div><div></div></div>	
		<div><div>Detail Callout</div><div></div></div>		<div><div>Building / Site Section</div><div></div></div>			
		<div><div>Exterior Elevation</div><div></div></div>		<div><div>Level</div><div></div></div>			
		<div><div>Interior Elevation</div><div></div></div>		<div><div>North Arrow</div><div></div></div>			
		<div><div>Ceiling Height</div><div></div></div>		<div><div>Dimension String</div><div></div></div>			
		<div><div>GOVERNING CODES</div><div><div>2019 CALIFORNIA RESIDENTIAL CODE (CBC)</div><div>2019 CALIFORNIA MECHANICAL CODE (CMC)</div><div>2019 CALIFORNIA PLUMBING CODE (CPC)</div><div>2019 CALIFORNIA ELECTRICAL CODE (CEC)</div><div>2019 CALIFORNIA ENERGY STANDARDS (CBEES)</div><div>2019 CALIFORNIA GREEN BUILDING CODE (CalGreen)</div><div>2019 CALIFORNIA FIRE CODE (CFC)</div></div></div>					
		<div><div>foxlin architecture design consulting</div><div><div>392 camino de estrella 949 325 3001 phone</div><div>san clemente, california 92672</div><div>949 203 3339 fax</div><div>foxlin.com web</div><div>info@foxlin.com email</div></div></div>					

VICINITY MAP	
FIRE DEPARTMENT NOTES	
1. NONE	
BUILDING DEPARTMENT NOTES	
1. NONE	
PLANNING DEPARTMENT NOTES	
1. NONE	
PROJECT DIRECTORY	
OWNER: MONARCH BAY ASSOCIATION 32851 MONARCH BAY DRIVE DANA POINT, CA 92629 (949)430-5849 EREED@KEYSTONEPACIF IC.COM ARCHITECT: MICHAEL FOX FOXLIN ARCHITECTS 392 CAMINO DE ESTRELLA SAN CLEMENTE, CA 92672 (949) 325-3001 TEL (949) 203-3339 FAX INFO@FOXLIN.COM STRUCTURAL: PAUL ROHRER PRSE STRUCTURAL ENGINEERS 17291 IRVINE BLVD #152, TUSTIN, CA 92780 (714)486-2537 PAUL@PRSEINC.COM	
SURVEYOR / CIVIL: KURT SAXON SAXON ENGINEERING 2605 TEMPLE HEIGHTS DRIVE, SUITE A, OCEANSIDE, CA 92056 (949)366-2180 MEP: DAVID KANG CDI 16520 BAKE PKWY, #100 IRVINE, CA 92618 (949)336-6636 DKANG@CDIENG.COM	

	Monarch Bay Estates																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																										
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NOTE: RE-DESIGN PARK



SITE PLAN 1/16" = 1'-0" 1

Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

foxlin
architecture
design
consulting

392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672 foxlin.com web
info@foxlin.com email

Job #	1700	Size	24" x 36"
Date	4/14/2021 10:16:20 AM	Revision #	C
			City Submittal 03

Sheet Title
SITE PLAN

Sheet Number

A-101



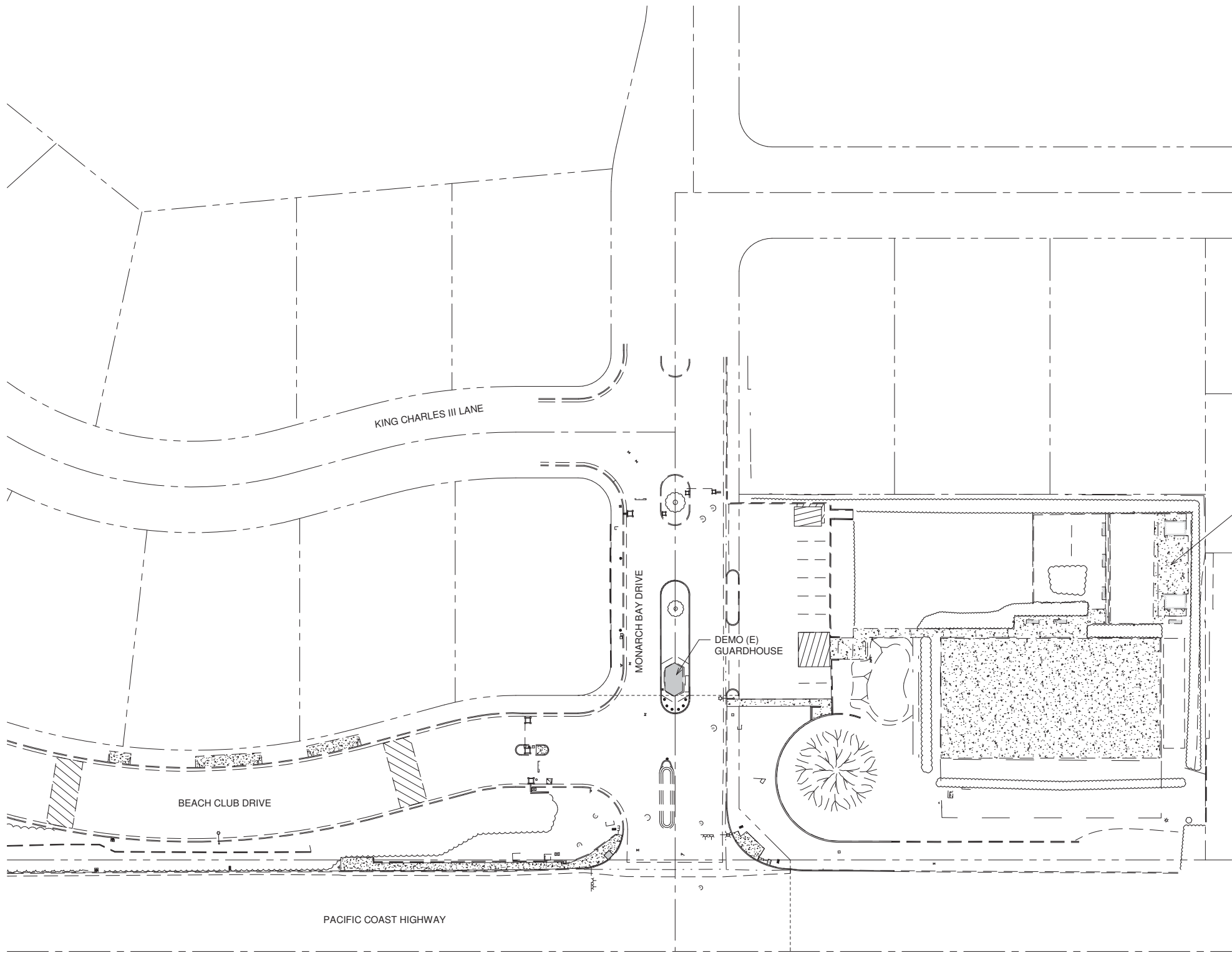
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. 7. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK. 8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. 9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. 10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

GENERAL NOTES

Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA

B	City Submittal 02	FL	BUILDING PERMIT SUBMITTAL	12/01/20
C	City Submittal 03	FL	BUILDING PERMIT SUBMITTAL	02/09/21
#	DISCUSSION	BY	ISSUED TO	DATE
			REVISION SCHEDULE	

1700



NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE AND HARDSCAPE DEMO PLAN

1. ALL NOTES LABELED NOT IN PERMIT (NIP) ARE NOT PART OF THIS APPLICATION. THESE ARE CARRIED OVER FROM THE RHODES CDP
2. SOILS EXCAVATION, RECOMPACTION, AND GRADING TO FOLLOW PARAMETERS STATED IN GEOLOGICAL REPORT/UPDATE PREPARED BY GEOSOILS, INC. DATED APRIL 16, 2010.
3. ALL NEW GRADED SLOPES SHALL BE NO STEEPER THAN 2H:1V
4. ALL SURFACE WATER MUST DRAIN AWAY FROM BUILDING, A MINIMUM OF 5% WITHIN FIRST 10' HORIZONTAL (2% FOR IMPERVIOUS SURFACES).
5. ALL LOOSE FOUNDATION EXCAVATION MATERIAL SHALL BE REMOVED PRIOR TO COMMENCEMENT OF FRAMING. SLOPES DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED.
6. ALL RETAINING WALLS SHALL BE PROVIDED WITH A SUBDRAIN SYSTEM TO PREVENT POSSIBLE HYDROSTATIC PRESSURE BEHIND THE WALL.
7. ALL ROOF AND PAD DRAINAGE SHALL BE CONDUCTED TO THE STREET IN AN ACCEPTABLE MANNER. IF WATER SHALL BE DISPERSED ON TO DESCENDING SLOPES, ACQUIRE SPECIFIC APPROVAL FROM THE GRADING SECTION AND THE CONSULTING GEOLOGIST AND/OR SOIL ENGINEER.
8. ALL DECK DRAINAGE SHALL BE COLLECTED AND CONDUCTED TO AN APPROVED LOCATION IN A NON-EROSIVE DEVICE.
9. CONTRACTOR TO REVIEW BOTH PROPOSED SITE DRAINAGE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS THAT DO NOT ALLOW FOR POSITIVE DRAINAGE AWAY FROM BUILDING AND OTHER STRUCTURES. DO NOT COMMENCE SITE DRAINAGE WORK UNTIL ALL DISCREPANCIES AND CONDITIONS HAVE BEEN REVIEWED BY ARCHITECT.
10. ALL PIPING SHALL BE 4-INCH DIAMETER, U.O.N. NOTIFY ARCHITECT OF DISCREPANCIES OR UNDERSIZED PIPING SYSTEMS.
11. ALL SOLID DRAINAGE PIPING SHALL HAVE A MINIMUM SLOPE OF 2% UNLESS OTHERWISE NOTED.
12. 5% DRAINAGE AROUND/AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 10'. ALTERNATIVELY, SWALES WITH SLOPE OF 2% SHALL BE LOCATED WITHIN 10' OF BUILDING FOUNDATION.
13. ALL EXISTING TREES TO REMAIN, UNLESS OTHERWISE NOTED. PROTECT EXISTING TREES DURING ALL CONSTRUCTION OPERATIONS, AS NEEDED.
14. ARCHITECT TO VERIFY ALL DRAIN LOCATIONS PRIOR TO THEIR INSTALLATION.
15. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM E
16. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
17. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

SITE LEGEND

- P.L.

PROPERTY LINE
- SETBACK
- BUILDING FOOTPRINT
- TREE / FOLIAGE
- HB

HOSE BIB
- METAL FENCE
- WOOD FENCE
- LOCATION OF UTILITY STUB-OUTS AND CLEAN-OUTS
- (X)-(X)-(X)

EXISTING UTILITIES
- X-X-X

PROPOSED UTILITIES
- +

ELVATION

(E) PAVILLION TO RENOVATE.
SEE A.B-100 FOR DETAILED PAVILLION DEMO PLAN

DEMO (E)
GUARDHOUSE

BEACH CLUB DRIVE

KING CHARLES III LANE

MONARCH BAY DRIVE

PACIFIC COAST HIGHWAY

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	5.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED.	6.
3. AS-BUILT CONDITIONS TO BE VERIFIED.	
4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.	
GENERAL NOTES	

Monarch Bay Estates				
MONARCH BAY DRIVE				
DANA POINT, CA 92629				
MONARCH BAY HOA				
1700				

B	City Submittal 02	FL	BUILDING PERMIT SUBMITTAL	12/01/20
A	City Submittal 01	FL	BUILDING PERMIT SUBMITTAL	08/19/20
C	City Submittal 03	FL	BUILDING PERMIT SUBMITTAL	02/09/21
#	DISCUSSION	BY	ISSUED TO	DATE
REVISION SCHEDULE				



Monarch Bay Estates

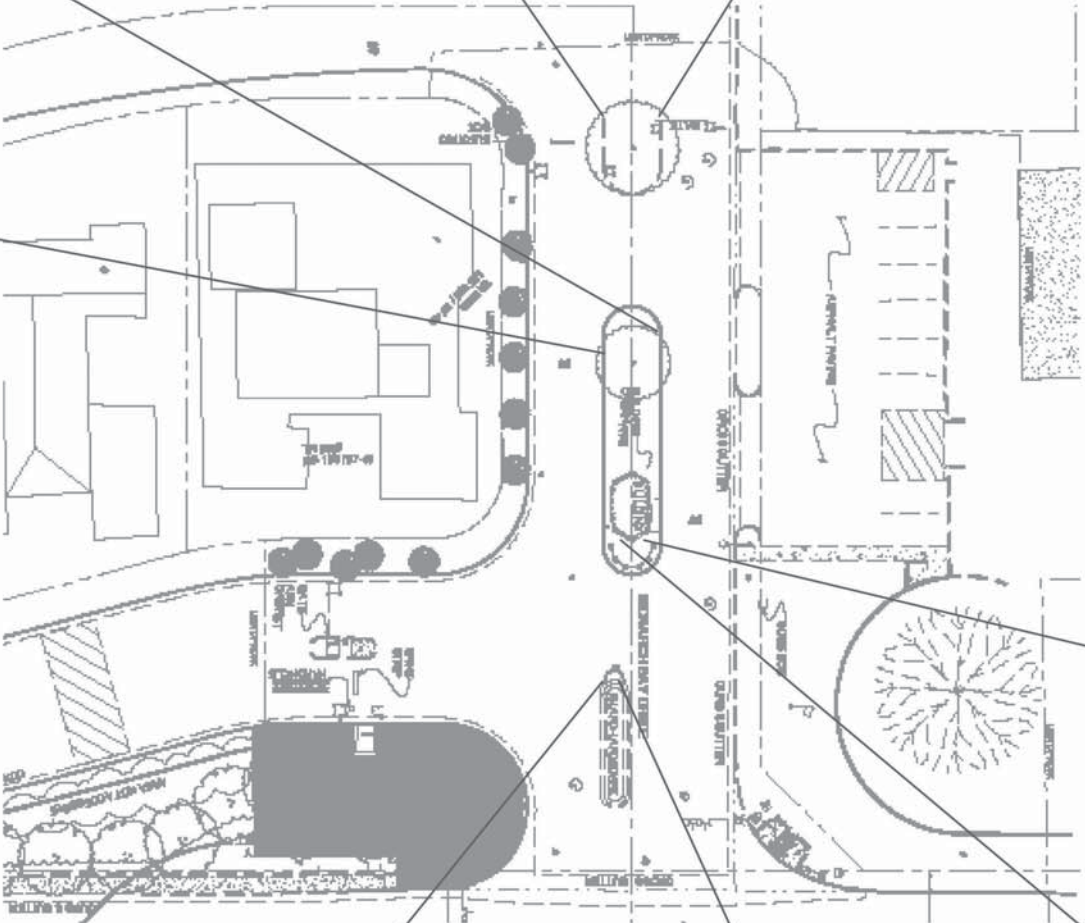
PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY



392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672 foxlin.com web
info@foxlin.com email

DEMO PLAN		1" = 30'-0"	1
Job #	1700	Size	24" x 36"
Date	4/14/2021 10:16:35 AM	Revision #	C City Submittal 03

Sheet Title	Sheet Number
DEMO PLAN - GUARDHOUSE	A.A-100



Monarch Bay Estates

PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY

foxlin

architecture
design
consulting

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san clemente, california 92672

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Job #	1700	Size	24" x 36"
Date	4/14/2021 10:16:36 AM	Revision #	C City Submittal 03

Sheet Title	EXISTING CONDITION
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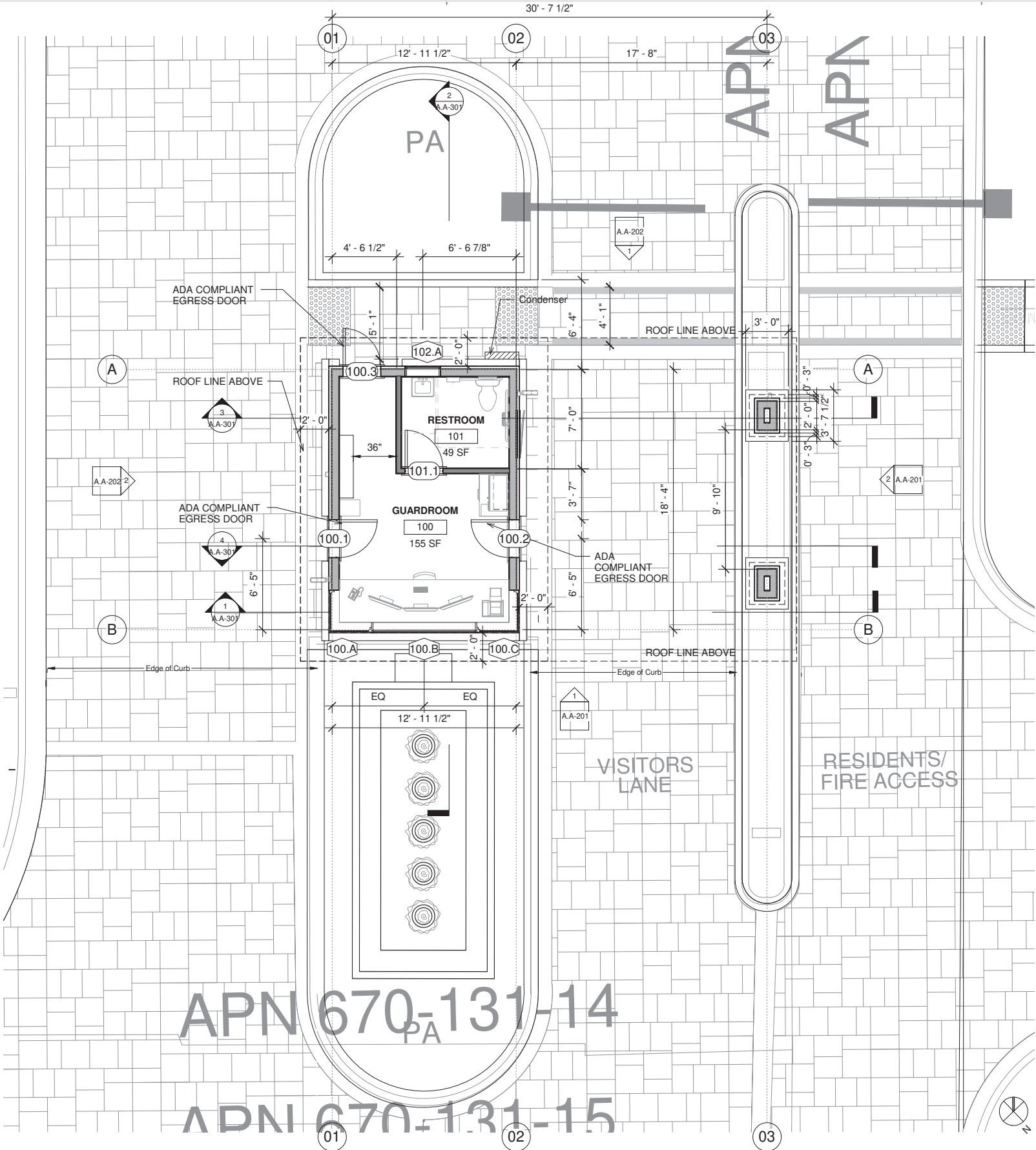
Sheet Number	A.A-101
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#	DISCRIPTION	FL	BY	BUILDING PERMIT SUBMITTAL	DATE
C	City Submittal 03				02/09/21

GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- AS-BUILT CONDITIONS TO BE VERIFIED.
- ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR RESPONSIBLE FOR MEANS AND METHOD.



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
<div><div></div><div>TO STRUCTURE</div></div> <div><div></div><div>TO FINISH</div></div>	
<div>1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.</div> <div>2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.</div> <div>3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.</div> <div>4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.</div> <div>5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5' LOWER THAN THE DOOR THRESHOLD.</div> <div>6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.</div> <div>7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.</div> <div>8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.</div> <div>9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.</div> <div>10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.</div> <div>11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.</div> <div>12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.</div> <div>13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.</div> <div>14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div> <div>15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.</div> <div>16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.</div> <div>17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.</div> <div>18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div> <div>19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.</div> <div>20. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.</div> <div>21. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.</div> <div>22. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT.</div> <div>23. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.</div> <div>24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.</div>	

RCP LEGEND	
<div></div>	DROP CEILING
<div></div>	2X4 WALL
<div></div>	2X6 WALL
<div></div>	OVERHEAD
<div></div>	CMU WALL
<div>1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.</div> <div>2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.</div> <div>3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.</div> <div>4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.</div> <div>5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.</div>	

LEVEL1- GUARDHOUSE 1/4" = 1'-0" 1

PLAN NOTES

Monarch Bay Estates

PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY



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949 203 3339 fax
foxlin.com web
info@foxlin.com email

Job #	1700	Size	24" x 36"	Revision #	C
Date	4/14/2021 10:16:38 AM			City Submittal	03

Sheet Title	FLOOR PLAN - GUARDHOUSE
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Sheet Number	A.A-110
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1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.

2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.

3. AS-BUILT CONDITIONS TO BE VERIFIED.

4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

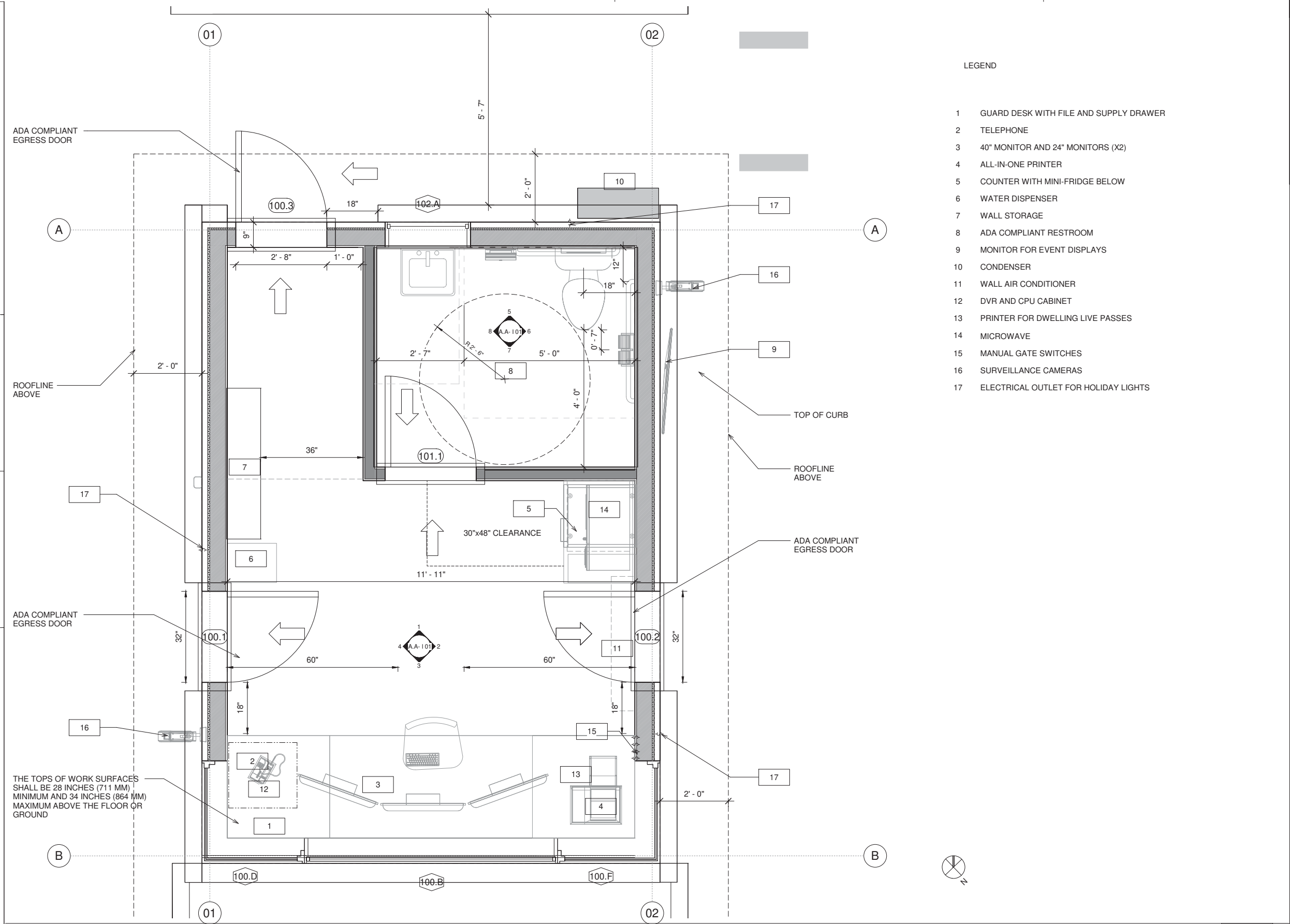
Monarch Bay Estates	MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA
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DATE	REVISION	SCHEDULE
12/01/20	FL	BUILDING PERMIT SUBMITTAL
08/19/20	FL	BUILDING PERMIT SUBMITTAL
02/09/21	FL	BUILDING PERMIT SUBMITTAL
02/09/21	BY	DISCUSSION

AA-111 / ENLARGED FLOOR PLAN - GUARDHOUSE / ISSUED.x

4/14/2021 10:18:40 AM

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LEGEND

- 1 GUARD DESK WITH FILE AND SUPPLY DRAWER
- 2 TELEPHONE
- 3 40" MONITOR AND 24" MONITORS (X2)
- 4 ALL-IN-ONE PRINTER
- 5 COUNTER WITH MINI-FRIDGE BELOW
- 6 WATER DISPENSER
- 7 WALL STORAGE
- 8 ADA COMPLIANT RESTROOM
- 9 MONITOR FOR EVENT DISPLAYS
- 10 CONDENSER
- 11 WALL AIR CONDITIONER
- 12 DVR AND CPU CABINET
- 13 PRINTER FOR DWELLING LIVE PASSES
- 14 MICROWAVE
- 15 MANUAL GATE SWITCHES
- 16 SURVEILLANCE CAMERAS
- 17 ELECTRICAL OUTLET FOR HOLIDAY LIGHTS

RCP LEGEND

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD
- CMU WALL

- 1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.
- 2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.
- 3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.
- 4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- 5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.



- 1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
- 2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
- 3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
- 4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.
- 5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5" LOWER THAN THE DOOR THRESHOLD.
- 6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
- 7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
- 8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- 9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
- 10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
- 11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
- 12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
- 13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.
- 14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
- 15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- 16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- 17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
- 18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
- 19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- 20. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- 21. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
- 22. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT.
- 23. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.
- 24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.	6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.
3. AS-BUILT CONDITIONS TO BE VERIFIED.	
4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.	

Monarch Bay Estates	MONARCH BAY DRIVE	DANA POINT, CA 92629	MONARCH BAY HOA	1700
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DISCUSSION	BY	DATE	REVISION SCHEDULE
B City Submittal 02	FL	12/01/20	
A City Submittal 01	FL	08/19/20	
C City Submittal 03	FL	02/09/21	



LEVEL1_ENLARGED PLAN-GUARDHOUSE 3/4" = 1'-0" 1

PLAN NOTES

Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

foxlin
architecture
design
consulting

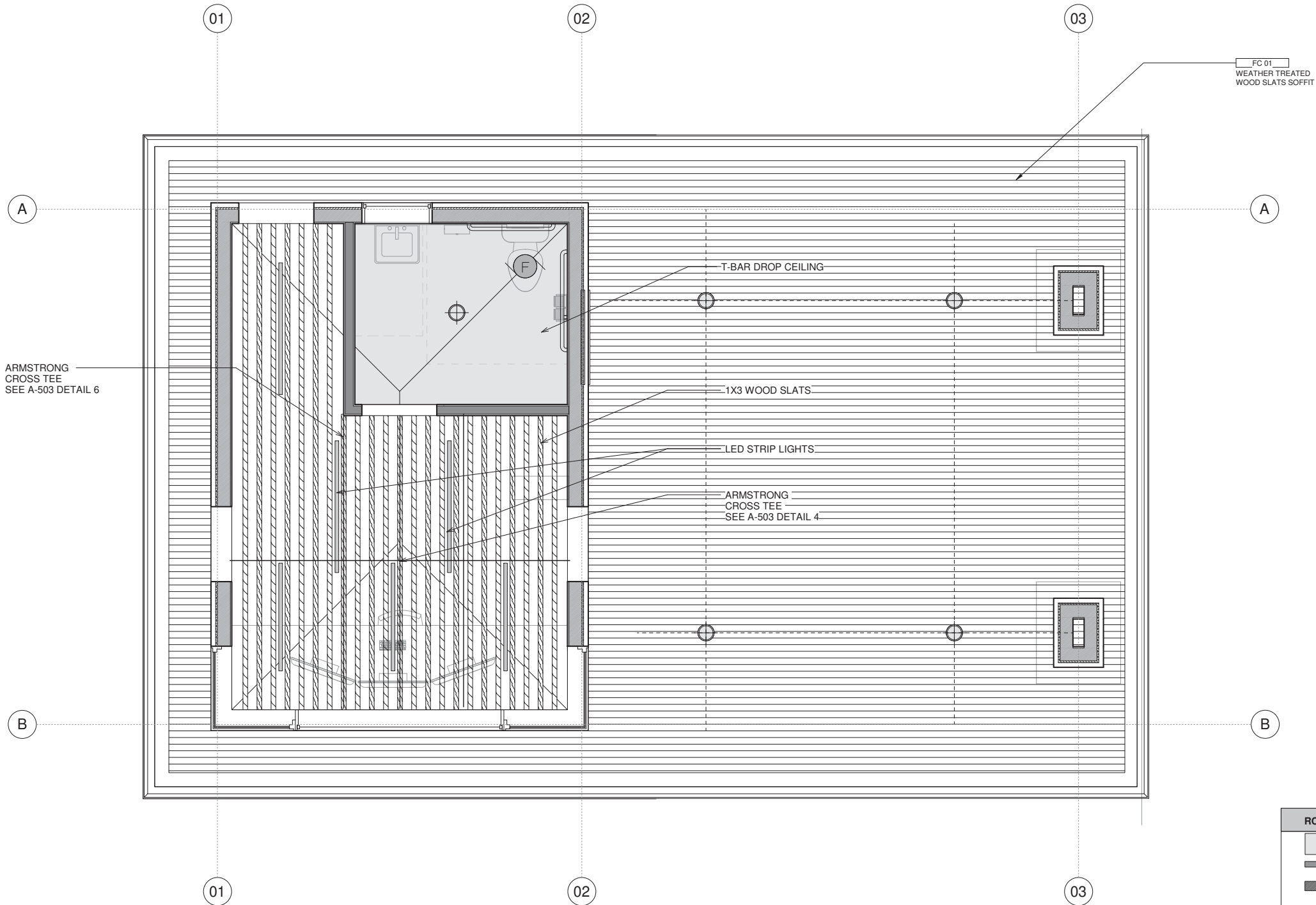
392 camino de estrella 949 325 3001 phone
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Job # 1700
Size 24" x 36"
Date 4/14/2021 10:16:40 AM

Revision # C
City Submittal 03

Sheet Title
ENLARGED FLOOR PLAN - GUARDHOUSE

Sheet Number
A.A-111



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
FC 01	WEATHER TREATED WOOD SLATS SOFFIT

ELECTRICAL KEY	
	220V OUTLET
	OUTLET (*OFFSET, AFCL HEIGHT IF NON-STANDARD)
	QUAD OUTLET
	400 VOLT VEHICLE OUTLET
	QUAD FLOOR OUTLET
	WATERPROOF GFCI OUTLET (50A 120V/240V RV HOOKUP)
	SWITCH (3 = THREE WAY SWITCH) (4 = FOUR WAY SWITCH)
	DIMMER SWITCH (3 = THREE WAY SWITCH) (4 = FOUR WAY SWITCH)
	MOTION SWITCH
	ETHERNET/TELEPHONE
	EXHAUST FAN
	SMOKE DETECTOR
	CO DETECTOR
	GARBAGE DISPOSAL
	TV RECESSED OUTLET (*HEIGHT IF NON-STANDARD)
	SURFACE MOUNTED LIGHT
	RECESSED CEILING CAN
	LED STRIP FIXTURE
	RECESSED CEILING SPOT FIXTURE
	WATERPROOF RECESSED CEILING FIXTURE
	WALL MOUNTED FIXTURE
	RECESSED WALL FIXTURE
	PENDANT FIXTURE WITH PULL CHAIN
	PENDANT FIXTURE
	FAN/LIGHT COMBO FIXTURE
	CHANDELIER FIXTURE
	DUPLEX OUTLET
	DUPLEX FLOOR OUTLET

ELECTRICAL NOTES	
1.	SMOKE DETECTORS: SHALL BE WIRED TO THE BUILDING BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN THE BATTERY IS LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE WITH OTHERS.
2.	CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR NFPA 720 STANDARDS. 2013 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315
3.	RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
4.	BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
5.	THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'FOR FUTURE SOLAR PHOTOVOLTAIC.
6.	THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'EV CAPABLE'

RCP LEGEND	
	DROP CEILING
	2X4 WALL
	2X6 WALL
	OVERHEAD
	CMU WALL
1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.	
2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.	
3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.	
4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.	
5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.	

Level 1-RCP 1/2" = 1'-0" 1

Monarch Bay Estates

PROJECT ADDRESS	CLIENT
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA

DRAWING SET
AGENCY



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Job #	1700	Size	24" x 36"
Date	4/14/2021 10:16:42 AM	Revision #	

Sheet Title	REFLECTED CEILING PLAN - GUARDHOUSE
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Sheet Number	A.A-112
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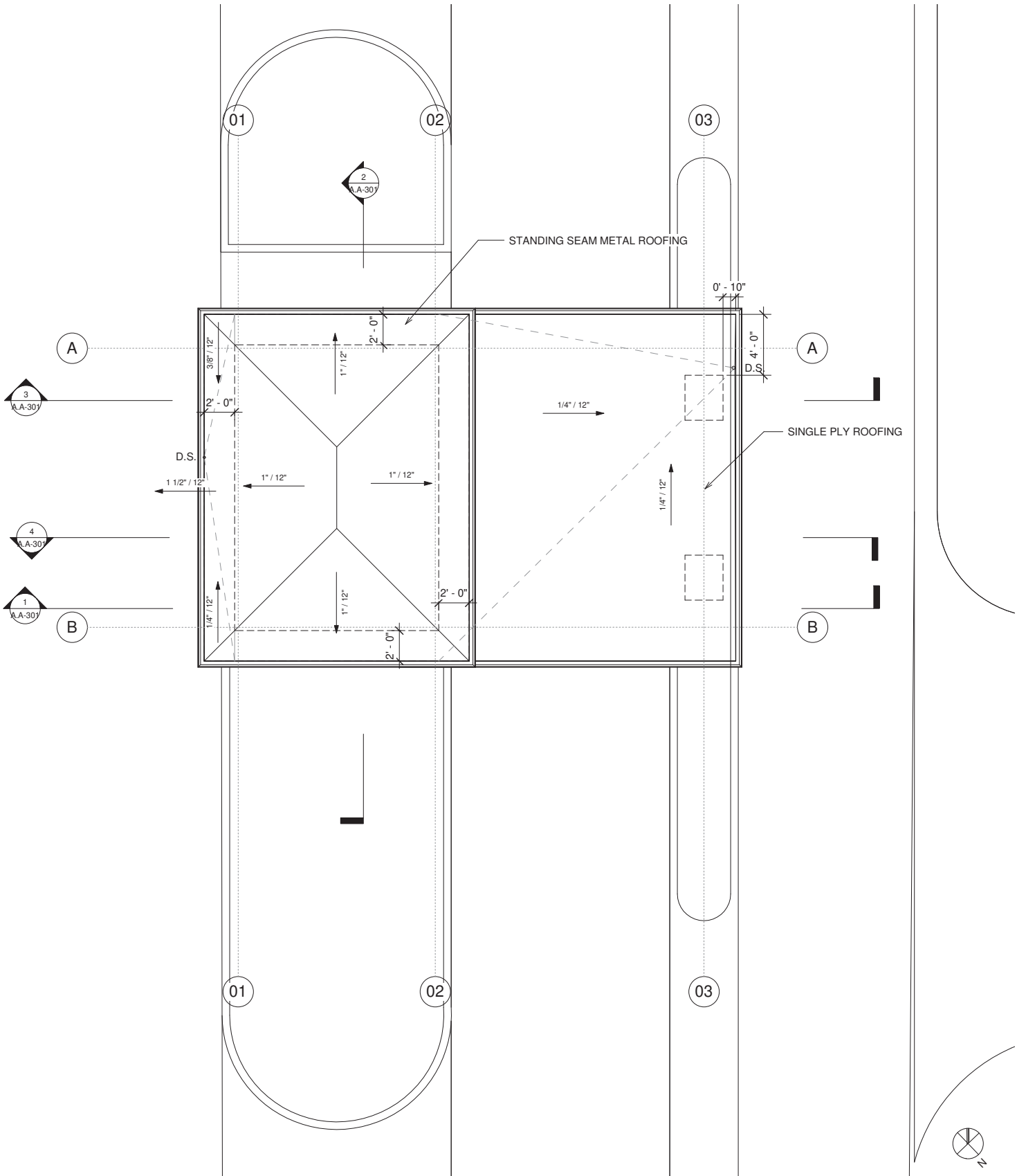
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHOD.

2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED. 3. AS-BUILT CONDITIONS TO BE VERIFIED. 4. BEFORE PROCEEDING WITH THE WORK.


Monarch Bay Estates
MONARCH BAY DRIVE DANA POINT, CA 92629
MONARCH BAY HOA

#	DISCRIPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE	1700
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GENERAL NOTES

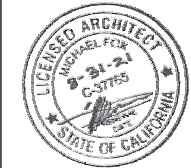


KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
<div><div><div><div><div></div><div>#</div></div><div>TO STRUCTURE</div></div><div><div><div><div></div><div>#</div></div><div>TO FINISH</div></div></div></div><div>1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.</div><div>2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.</div><div>3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.</div><div>4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.</div><div>5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5" LOWER THAN THE DOOR THRESHOLD.</div><div>6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.</div><div>7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.</div><div>8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.</div><div>9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.</div><div>10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.</div><div>11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.</div><div>12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.</div><div>13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.</div><div>14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div><div>15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.</div><div>16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.</div><div>17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.</div><div>18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div><div>19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.</div><div>20. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.</div><div>21. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.</div><div>22. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT.</div><div>23. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.</div><div>24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.</div></div>	
PLAN NOTES	

		Monarch Bay Estates		1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5.	
		MONARCH BAY DRIVE		2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.	
		DANA POINT, CA 92629		3. AS-BUILT CONDITIONS TO BE VERIFIED.	
		MONARCH BAY HOA		4. ALL DIMENSIONS TAKEN FROM SITE BEFORE PROCEEDING WITH THE WORK.	
				6. ONLY CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.	
B. City Submittal 02		FL	BUILDING PERMIT SUBMITTAL		
C. City Submittal 03		FL	BUILDING PERMIT SUBMITTAL		
# DISCUSSION		BY	ISSUED TO		
		REVISION SCHEDULE			
		DATE			
		1700		GENERAL NOTES	

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.	6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.
3. AS-BUILT CONDITIONS TO BE VERIFIED.	
4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.	

GENERAL NOTES	
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	
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Monarch Bay Estates

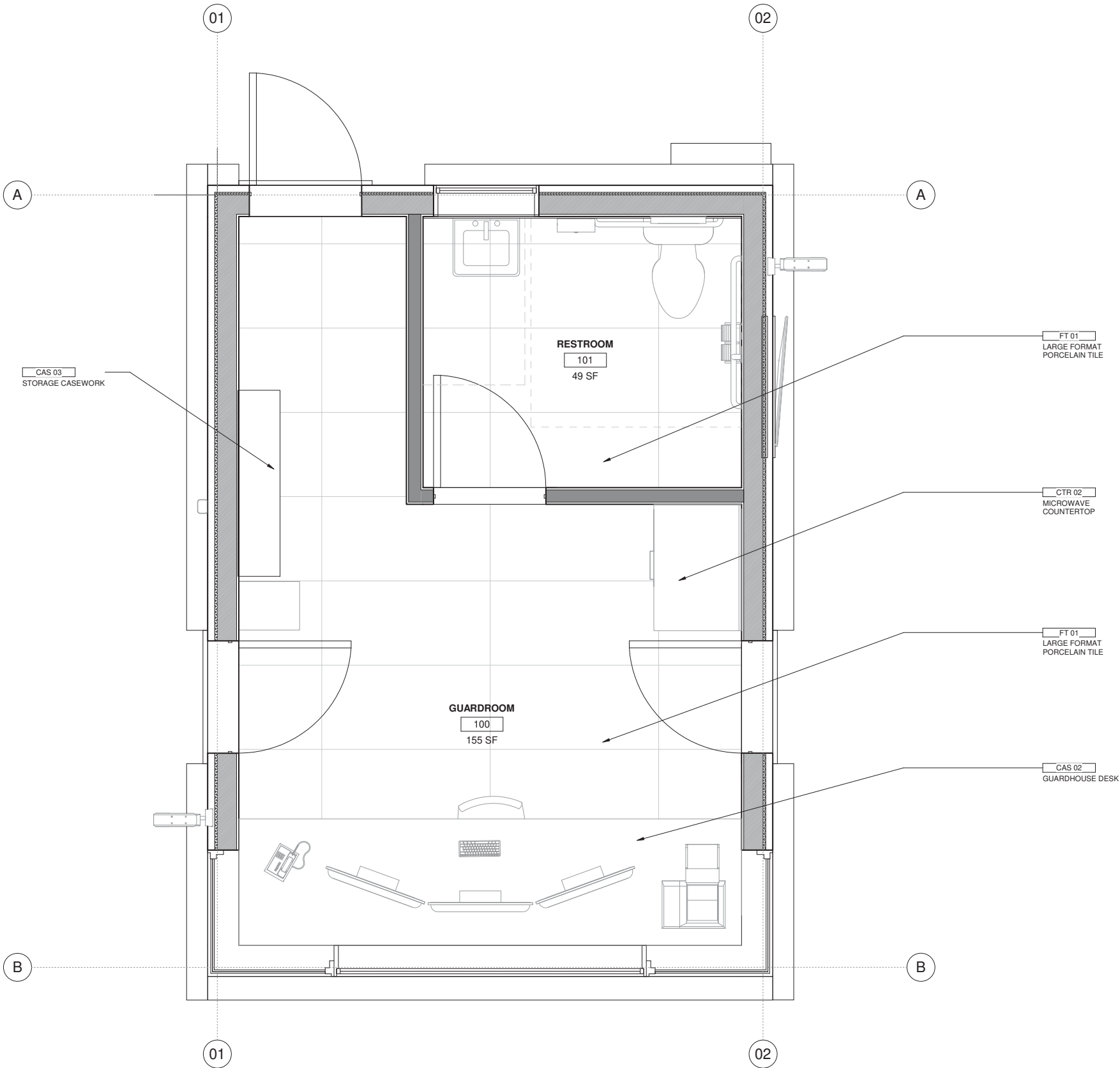
PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY



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GH-ROOF		1/4" = 1'-0"	1
Job #	1700	Size	24" x 36"
Date	4/14/2021 10:16:43 AM	Revision #	C City Submittal 03

Sheet Title	Sheet Number
ROOF PLAN - GUARDHOUSE	AA-113

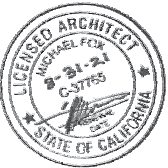


KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
CAS 02	GUARDHOUSE DESK
CAS 03	STORAGE CASEWORK
CTR 02	MICROWAVE COUNTERTOP
FT 01	LARGE FORMAT PORCELAIN TILE

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4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT.
6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHOD.

Monarch Bay Estates	GENERAL NOTES
MONARCH BAY DRIVE DANA POINT, CA 92629	
MONARCH BAY HOA	
1700	

#	DISCRIPTION	BY	ISSUED TO	REVISION SCHEDULE	DATE



Monarch Bay Estates

PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY

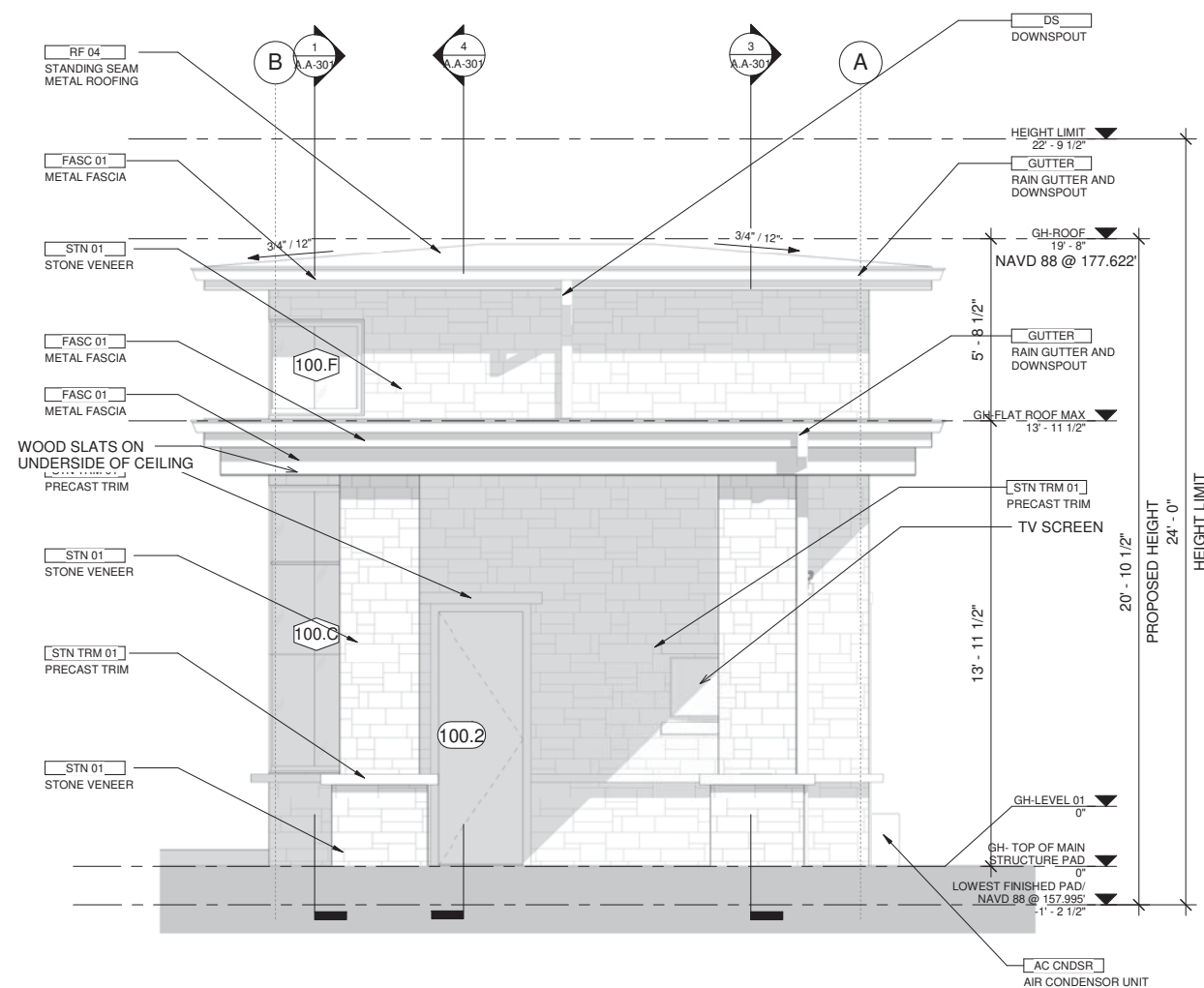


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Job #	1700	Size	24" x 36"
Date	4/14/2021 10:16:45 AM	Revision #	

Sheet Title
FINISH FLOOR PLANS - GUARDHOUSE

Sheet Number
A.A-130



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
AC CNDSDR	AIR CONDENSOR UNIT
DS	DOWNSPOUT
FASC 01	METAL FASCIA
GUTTER	RAIN GUTTER AND DOWNSPOUT
RF 04	STANDING SEAM METAL ROOFING
STN 01	STONE VENEER
STN TRM 01	PRECAST TRIM

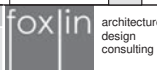
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
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3. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.
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5. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
6. AS-BUILT CONDITIONS TO BE VERIFIED.
7. ALL DIMENSIONS SHOULD BE CHECKED ON SITE BEFORE PROCEEDING WITH THE WORK.

		12/01/20
Monarch Bay Estates		
MONARCH BAY DRIVE DANA POINT, CA 92629		
MONARCH BAY HOA		
		1700
B	City Submittal 02	FL
A	City Submittal 01	FL
C	City Submittal 03	FL
	DISCUSSION	DATE
	BY	REVISION SCHEDULE

GENERAL NOTES



PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY



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Job #	1700	Size	24" x 36"	Revision #	C City Submittal 03
Date	4/14/2021 10:16:52 AM				

Sheet Title

SOUTH AND EAST ELEVATIONS -
GUARDHOUSE

Sheet Number



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
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- 5.
- 6.

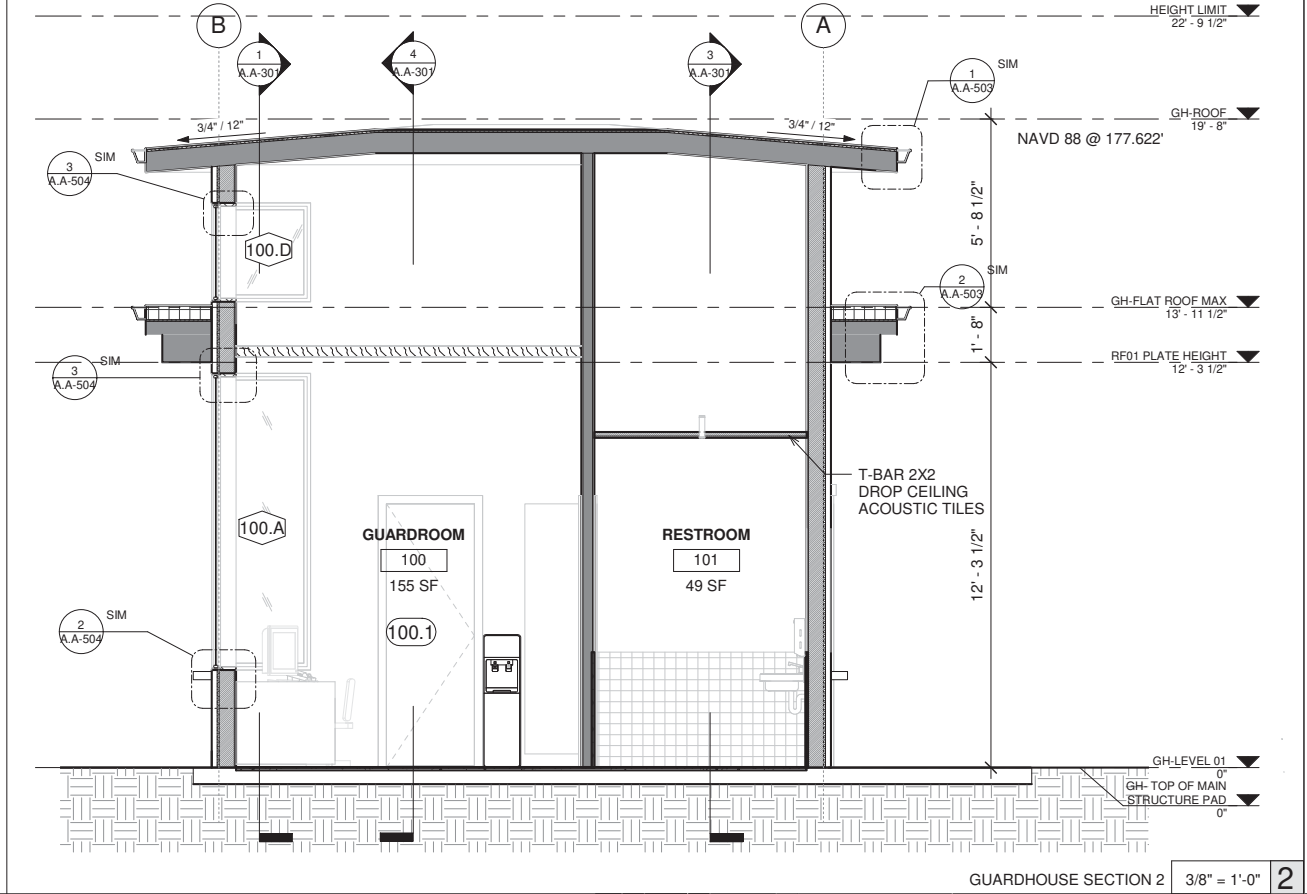
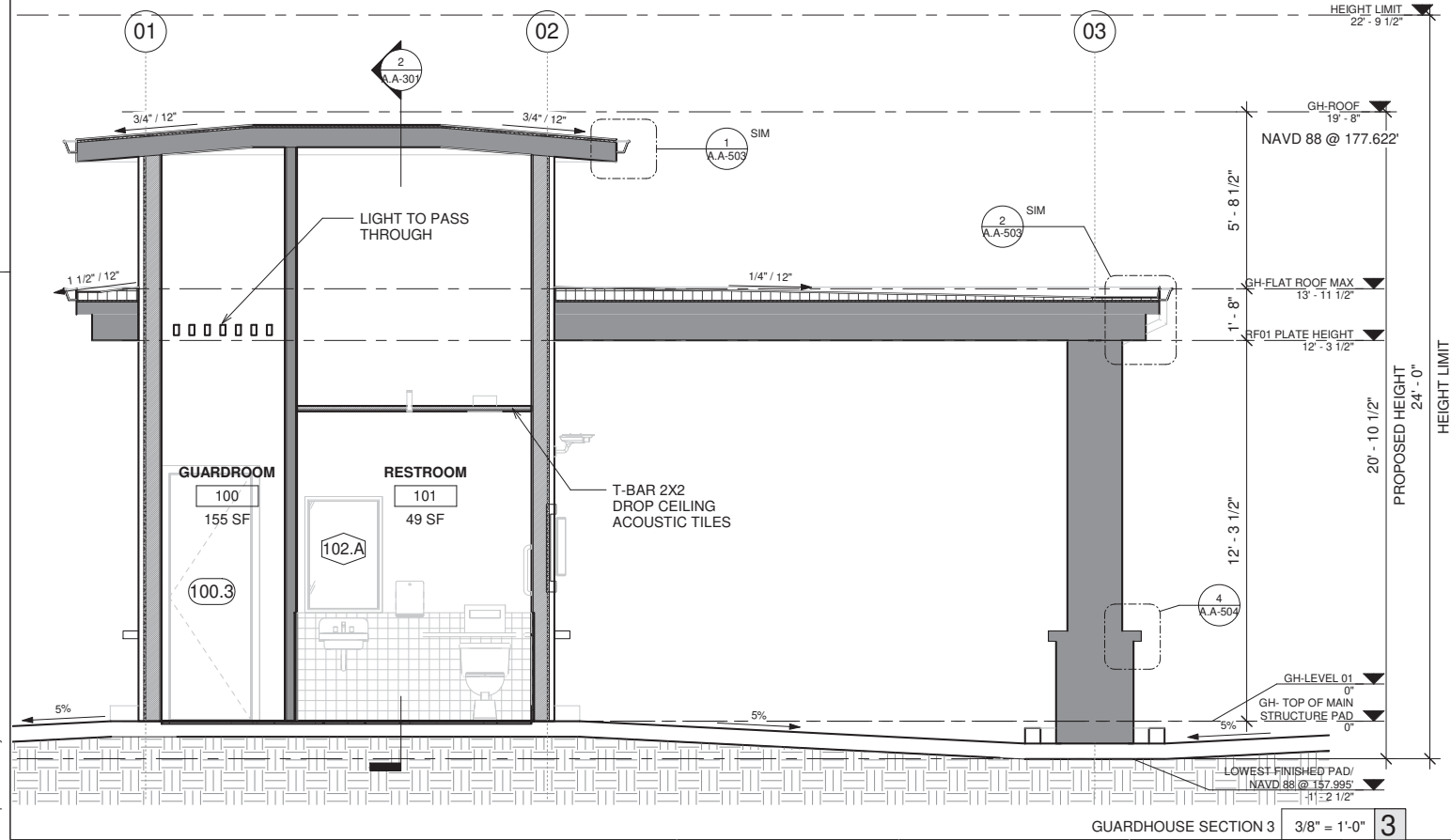
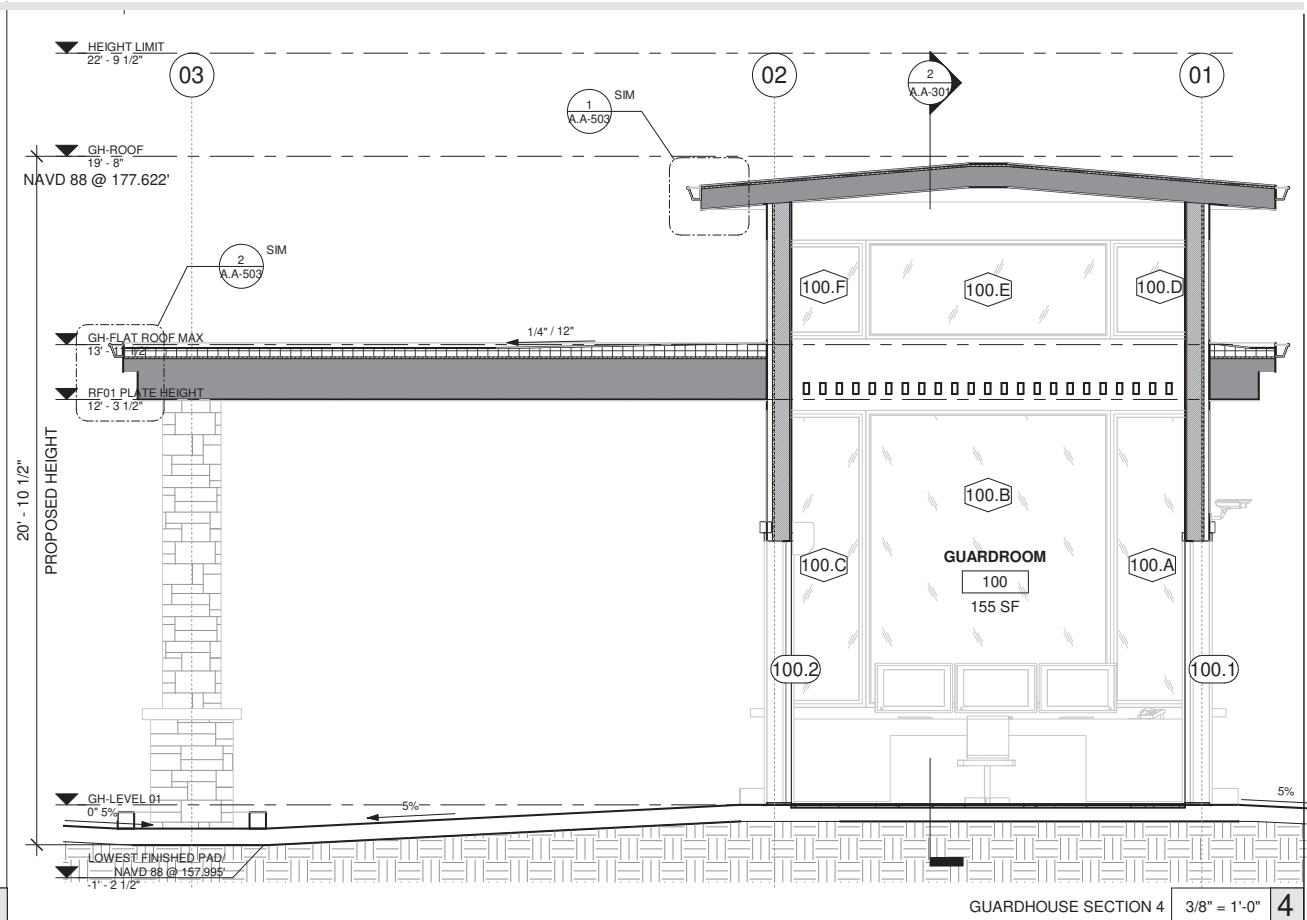
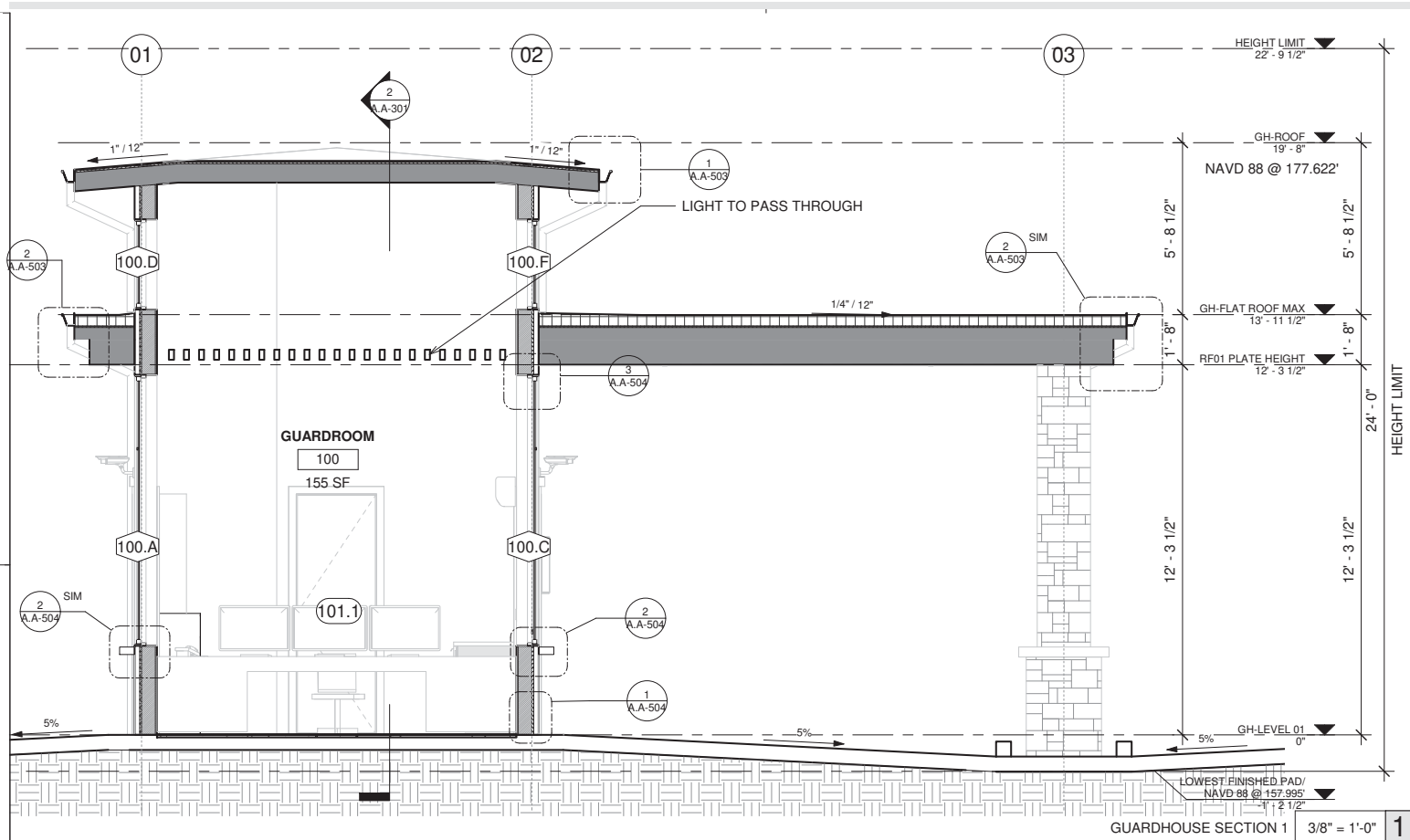
GENERAL NOTES



AA-301 // BUILDING SECTIONS - GUARDHOUSE // ISSUED.dwg

4/14/2021 10:17:03 AM

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Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY

foxlin
architecture
design
consulting

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foxlin.com web
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Job #

1700

Size

24" x 36"

Revision #

C

City Submittal 03

Sheet Title

BUILDING SECTIONS - GUARDHOUSE

Sheet Number

A.A-301



- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
- AS-BUILT CONDITIONS TO BE VERIFIED.
- ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT AND THE CONTRACTOR TO PROCEED WITH CONSTRUCTION.
- CONTRACTOR REPRESENT DESIGN INTENT FOR MEANS AND METHODS.

Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA
1700

REVISION SCHEDULE			
#	DISCUSSION	BY	DATE
B	City Submittal 02	FL	12/01/20
A	City Submittal 01	FL	08/19/20
C	City Submittal 03	FL	02/09/21

AA-901 // EXTERIOR VIEWS - GUARDHOUSE // ISSUED.x

4/22/2021 2:21:46 PM



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.
3. AS-BUILT CONDITIONS TO BE VERIFIED.
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5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT.
6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHOD.

Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA
1700

B City Submittal 02	FL	BUILDING PERMIT SUBMITTAL	12/01/20
A City Submittal 01	FL	BUILDING PERMIT SUBMITTAL	08/19/20
C City Submittal 03	FL	BUILDING PERMIT SUBMITTAL	02/09/21
# DISCUSSION	BY	ISSUED TO	DATE
REVISION SCHEDULE			



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Monarch Bay Estates

PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY



392 camino de estrella 949 325 3001 phone
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california 92672 foxlin.com web
info@foxlin.com email

Job #	1700	Size	24" x 36"
Date	4/22/2021 2:21:46 PM	Revision #	C
			City Submittal 03

Sheet Title
EXTERIOR VIEWS - GUARDHOUSE

Sheet Number
A.A-901



Monarch Bay



Guard House



METAL ERA - ANCHOR
TITE FASCIA: DARK
BRONZE

Monarch Bay



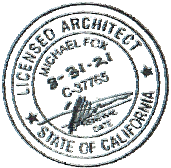
TREATED WOOD
SLATS



AAA NATURAL STONE -
RUBBLE



WESTERN WINDOW SYSTEMS -
SERIES 600 WINDOW WALL:
HILLSIDE BRONZE

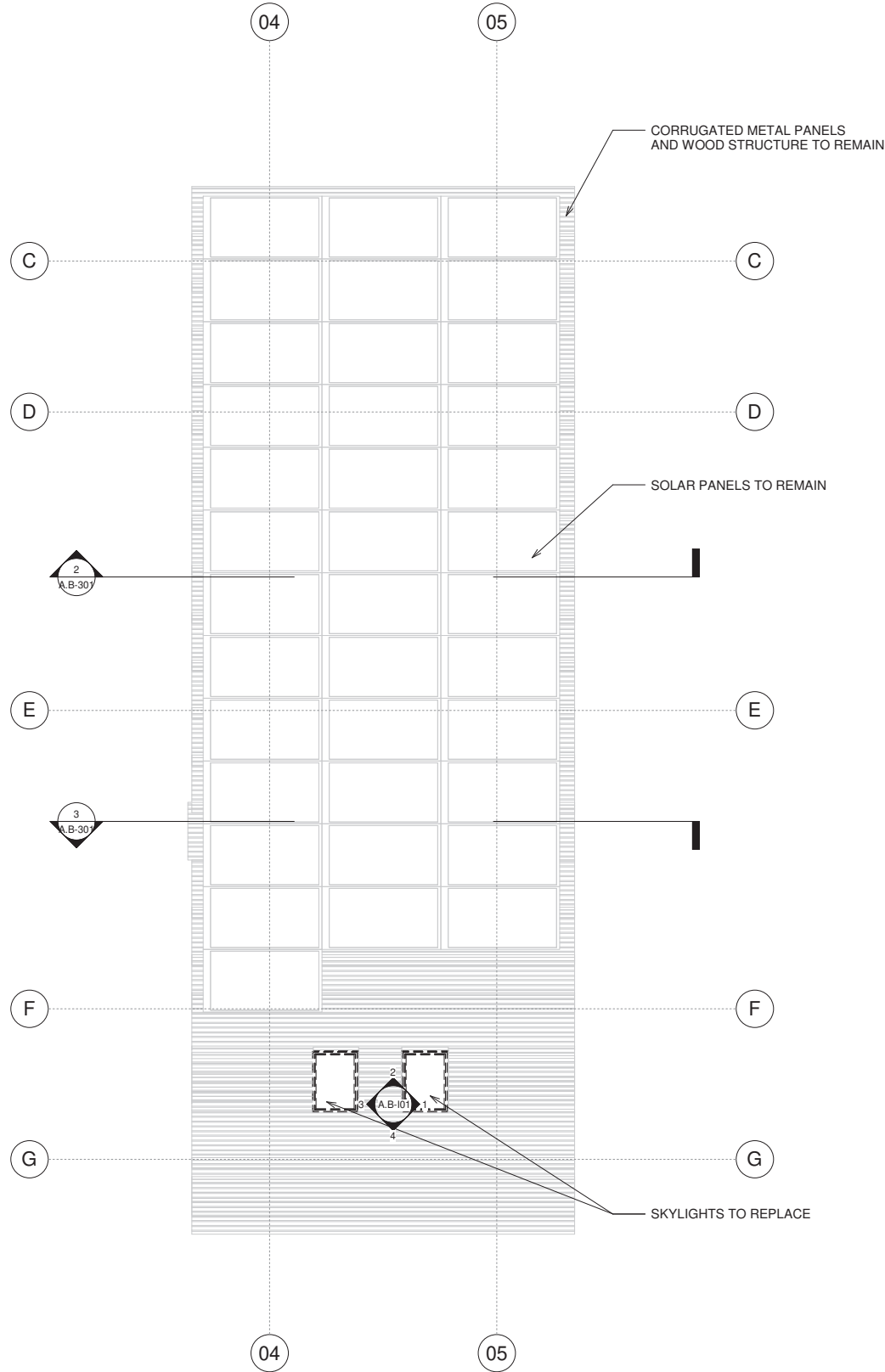


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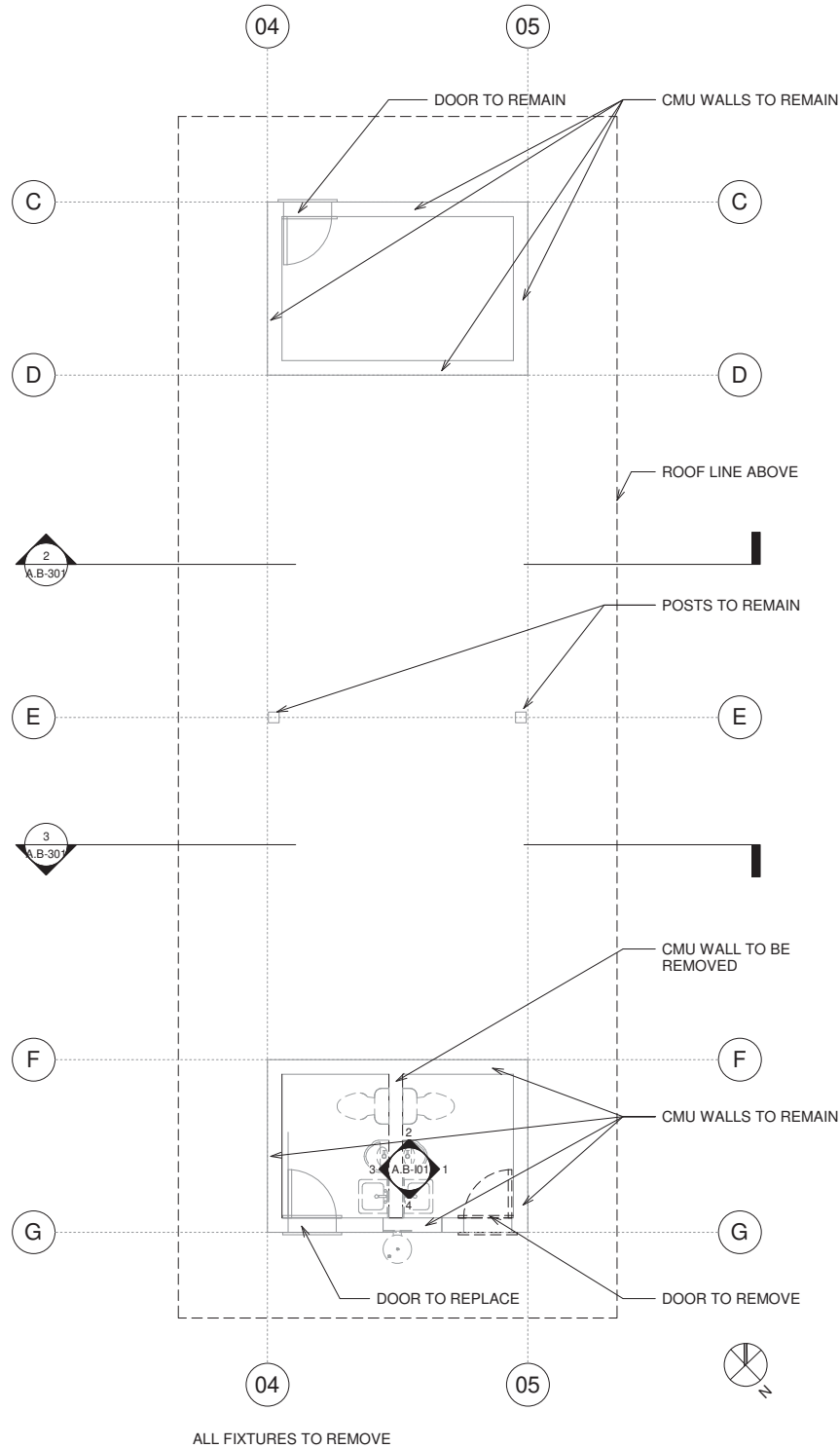
Monarch Bay Estates
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C City Submittal 03	FL	BUILDING PERMIT SUBMITTAL	02/09/21
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GENERAL NOTES



PAVILLION-ROOF DEMO 1/4" = 1'-0" 2



ALL FIXTURES TO REMOVE

PAVILLION-LEVEL 01 DEMO 1/4" = 1'-0" 1

- NOTE:
- DEMO WALL PER STRUCTURAL NEEDS AND REPLACE FINISH AS NEEDED
 - REMOVE ALL EXISTING BASE AND DOOR CASINGS
 - REPLACE ALL RECESSED LIGHTS SAME LOCATION WITH 3.5"-4" SQUARE FIXTURES
 - ALL SWITCH PANELS TO BE REPLACED, FIXTURE TBD
 - ALL EXISTING DOOR CASINGS TO BE REMOVED.

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

Monarch Bay Estates

PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY

foxlin
architecture
design
consulting

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Job #	1700	Size	24" x 36"	Revision #	C
Date	4/14/2021 10:17:31 AM	Revision #	City Submittal 03		

Sheet Title
DEMO PLAN - PAVILLION

Sheet Number
A.B-100

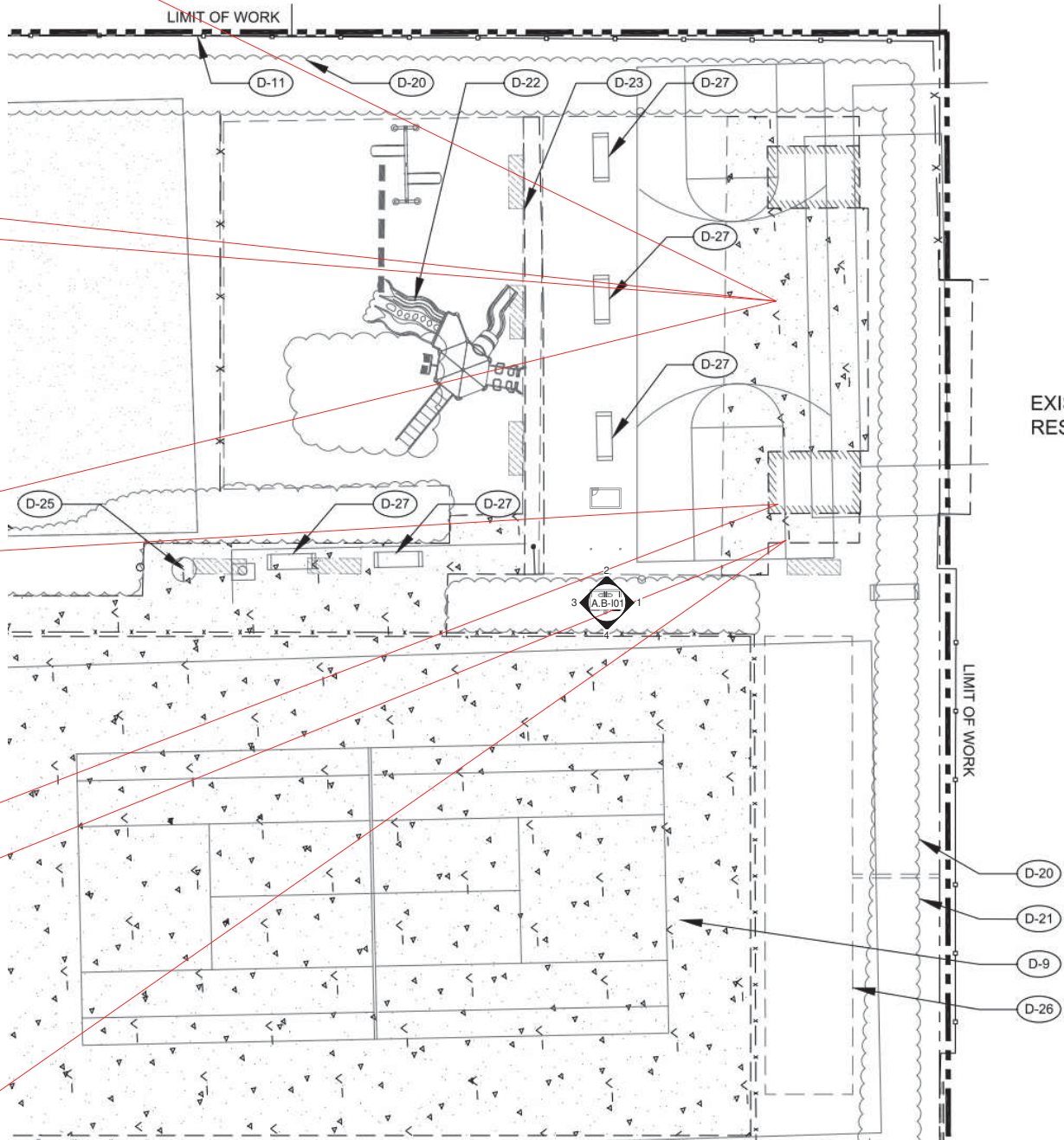


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GENERAL NOTES

Monarch Bay Estates	1700
MONARCH BAY DRIVE DANA POINT, CA 92629	
MONARCH BAY HOA	

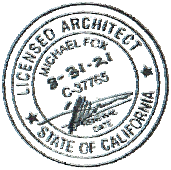
#	DISCUSSION	BY	DATE
B	City Submittal 02	FL	12/01/20
C	City Submittal 03	FL	02/09/21



EXISTING
RESIDENCES

DEMOLITION SCHEDULE

KEY	DESCRIPTION
D-1	EXISTING RADIAL WALL TO REMAIN IN PLACE
D-2	EXISTING FLAG POLL TO REMAIN IN PLACE
D-3	EXISTING TREE TO REMAIN IN PLACE
D-4	EXISTING TREE TO BE REMOVED
D-5	EXISTING LOW WALL TO BE REMOVED
D-6	EXISTING PAVING TO BE REMOVED
D-7	EXISTING ASPHALT PAVING TO BE REMOVED
D-8	EXISTING CONCRETE STAIR TO BE REMOVED
D-9	EXISTING CONCRETE PAVING TO BE REMOVED
D-10	EXISTING PUTTING GREEN TO BE REMOVED
D-11	EXISTING FENCE TO REMAIN IN PLACE
D-12	EXISTING TO BE PROTECTED IN PLACE
D-13	EXISTING BOLLARDS TO BE REMOVED
D-14	EXISTING LANDSCAPE AND IRRIGATION TO BE REMOVED
D-15	EXISTING CURB TO REMAIN IN PLACE
D-16	EXISTING CURB TO BE REMOVED
D-17	EXISTING PILASTER TO BE REMOVED
D-18	EXISTING STREET LIGHT TO REMAIN IN PLACE
D-19	EXISTING LOW WALL TO REMAIN IN PLACE
D-20	EXISTING TREE/SHRUB HEDGE TO REMAIN IN PLACE
D-21	EXISTING SHRUB HEDGE TO BE REMOVED
D-22	EXISTING PLAY EQUIPMENT TO BE RELOCATED
D-23	EXISTING CONCRETE CHANNEL TO BE REMOVED
D-24	EXISTING FENCE TO BE REMOVED
D-25	EXISTING WATER FOUNTAIN TO BE REMOVED
D-26	EXISTING BOCCIE BALL COURT TO BE REMOVED
D-27	EXISTING BENCH TO BE RELOCATED



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Monarch Bay Estates

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DANA POINT, CA 92629

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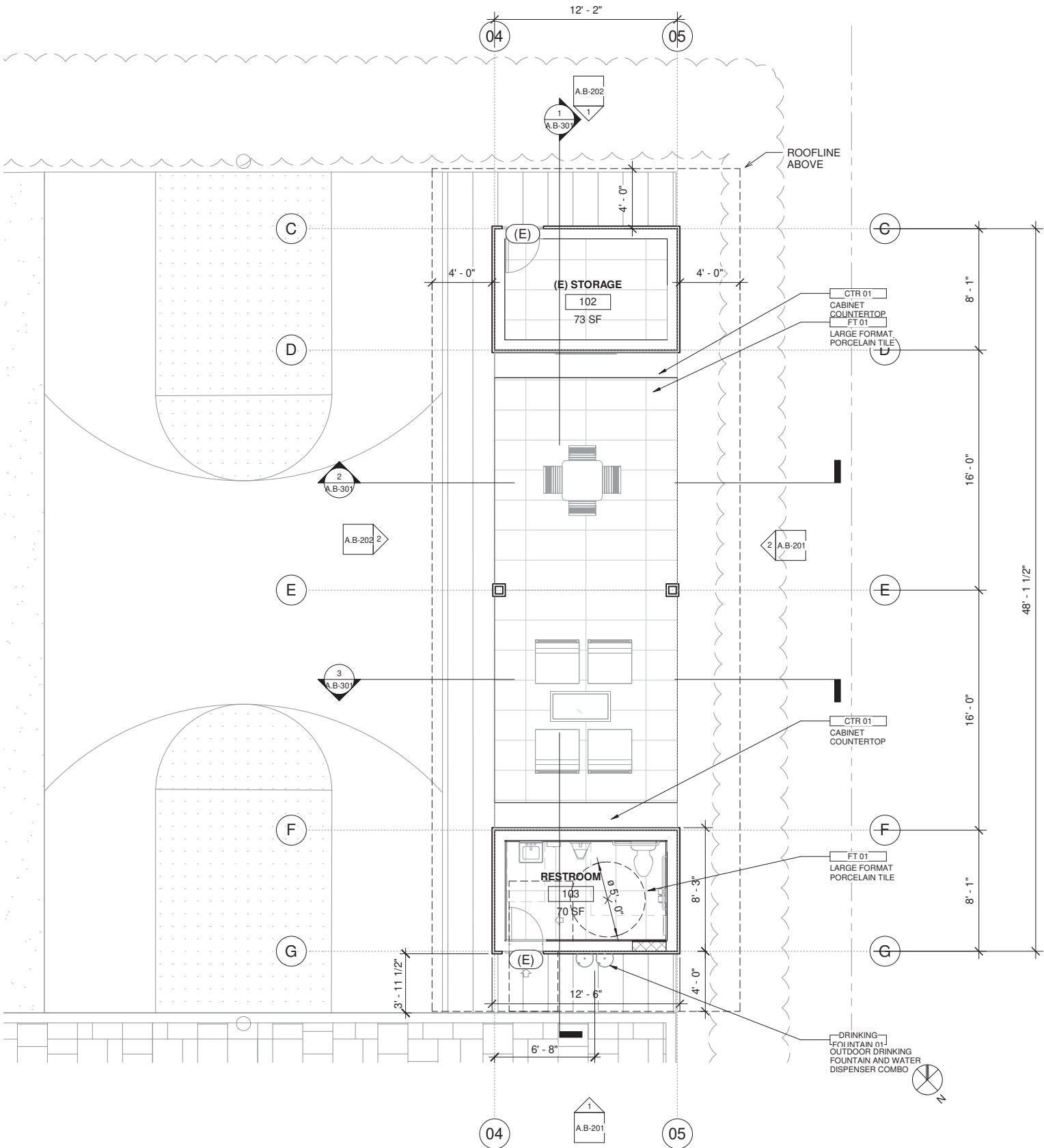


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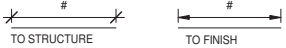
Job #	1700	Size	24" x 36"	Revision #	C
Date	4/14/2021				City Submittal 03
	10:17:35 AM				

Sheet Title
FLOOR PLAN - PAVILLION

Sheet Number
A.B-110



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
CTR 01	CABINET COUNTERTOP
DRINKING FOUNTAIN 01	OUTDOOR DRINKING FOUNTAIN AND WATER DISPENSER COMBO
FT 01	LARGE FORMAT PORCELAIN TILE



- ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
- ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
- ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.
- EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5' LOWER THAN THE DOOR THRESHOLD.
- MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
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- CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
- PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
- PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
- SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
- STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' BUILDING PAPER.
- ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE 'X', U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
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- ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.

RCP LEGEND

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD
- CMU WALL

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GENERAL NOTES

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MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA
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B	City Submittal 02	FL	BUILDING PERMIT SUBMITTAL	12/01/20	DATE
C	City Submittal 03	FL	BUILDING PERMIT SUBMITTAL	02/09/21	DATE
#	DISCUSSION	BY	ISSUED TO	REVISION SCHEDULE	

Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY



392 camino de estrella 949 325 3001 phone
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california 92672 foxlin.com web
info@foxlin.com email

Job #
1700
Size
24" x 36"
Date
4/14/2021
10:17:37 AM

Revision #
C
City Submittal 03

LEVEL1- ENLARGED PLAN-PAVILLION RESTROOM

3/4" = 1'-0" 1

RCP LEGEND

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD
- CMU WALL

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23. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.
24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.

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Monarch Bay Estates	DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
MONARCH BAY DRIVE DANA POINT, CA 92629	ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
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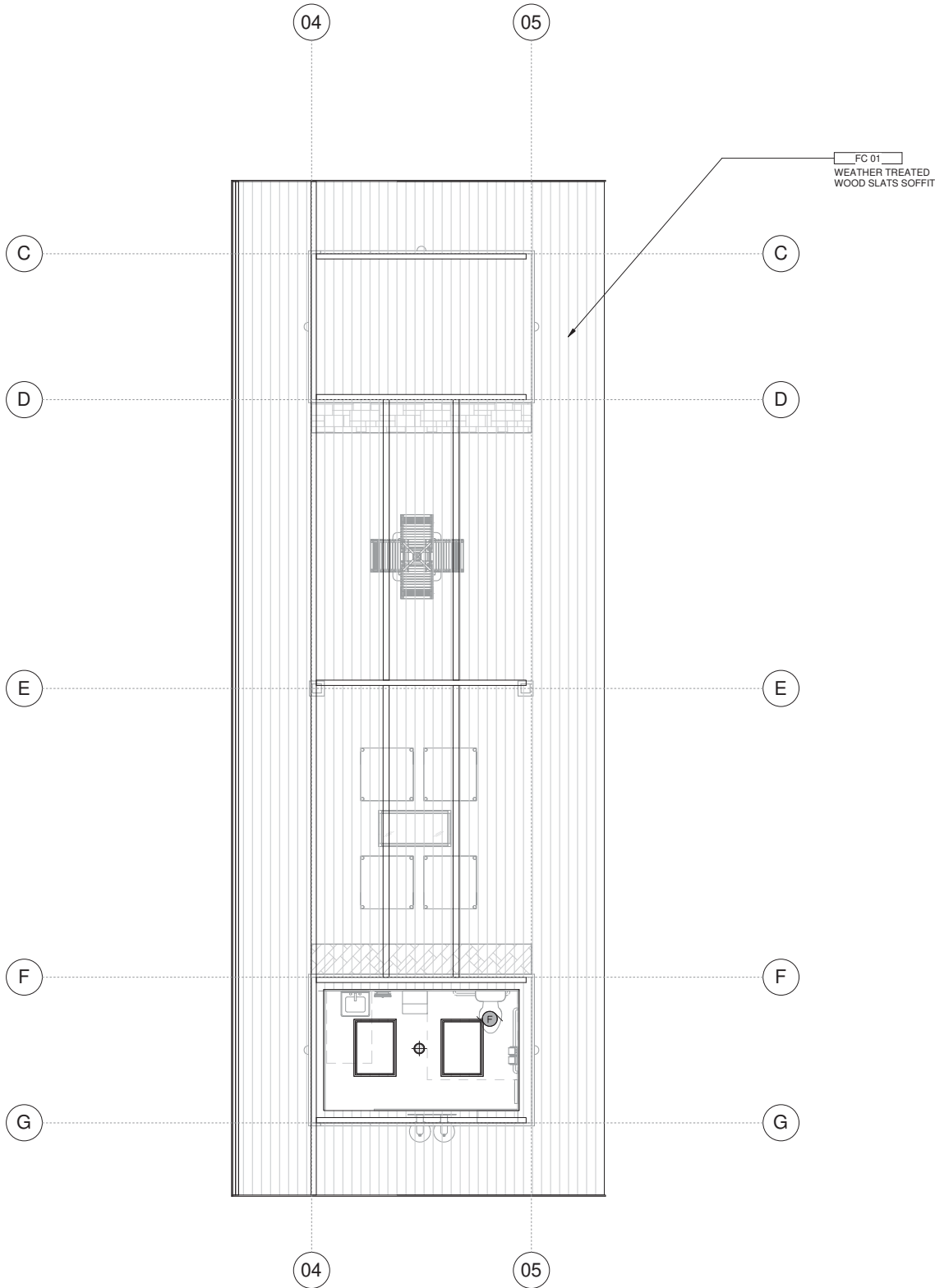
B	Civ Submittal 02	FL	BUILDING PERMIT SUBMITTAL	12/01/20
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#	DISCUSSION	BY	ISSUED TO	DATE
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Sheet Title
ENLARGED FLOOR PLAN - PAVILLION

Sheet Number
A.B-111

GENERAL NOTES



PAVILLION-LEVEL 01

1/4" = 1'-0"

1

RCP LEGEND

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD
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- ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.

KEYNOTE LEGEND

KEY	KEYNOTE TEXT
FC 01	WEATHER TREATED WOOD SLATS SOFFIT

ELECTRICAL KEY

- 220V OUTLET
- OUTLET
- QUAD OUTLET
- 400 VOLT VEHICLE OUTLET
- QUAD FLOOR OUTLET
- WATERPROOF GFCI OUTLET
- SWITCH
- DIMMER SWITCH
- MOTION SWITCH
- ETHERNET/TELEPHONE
- EXHAUST FAN
- SMOKE DETECTOR
- CO DETECTOR
- GARBAGE DISPOSAL
- TV RECESSED OUTLET
- SURFACE MOUNTED LIGHT
- RECESSED CEILING CAN
- LED STRIP FIXTURE
- RECESSED CEILING SPOT FIXTURE
- WATERPROOF RECESSED CEILING FIXTURE
- WALL MOUNTED FIXTURE
- RECESSED WALL FIXTURE
- PENDANT FIXTURE WITH PULL CHAIN
- PENDANT FIXTURE
- FAN/LIGHT COMBO FIXTURE
- CHANDELIER FIXTURE
- DUPLEX OUTLET
- DUPLEX FLOOR OUTLET

ELECTRICAL NOTES

- SMOKE DETECTORS: SHALL BE WIRED TO THE BUILDING BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN THE BATTERY IS LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE WITH OTHERS.
- CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR, NFPA 720 STANDARDS. 2013 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315
- RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
- THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'FOR FUTURE SOLAR PHOTOVOLTAIC'.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS 'EV CAPABLE'

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MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA

GENERAL NOTES

1700

DATE

ISSUED TO
REVISION SCHEDULE

DISCRIPTION
BY



Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY

foxlin

architecture
design
consulting

392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672 foxlin.com web
info@foxlin.com email

Job #

1700

Size

24" x 36"

Revision #

Date

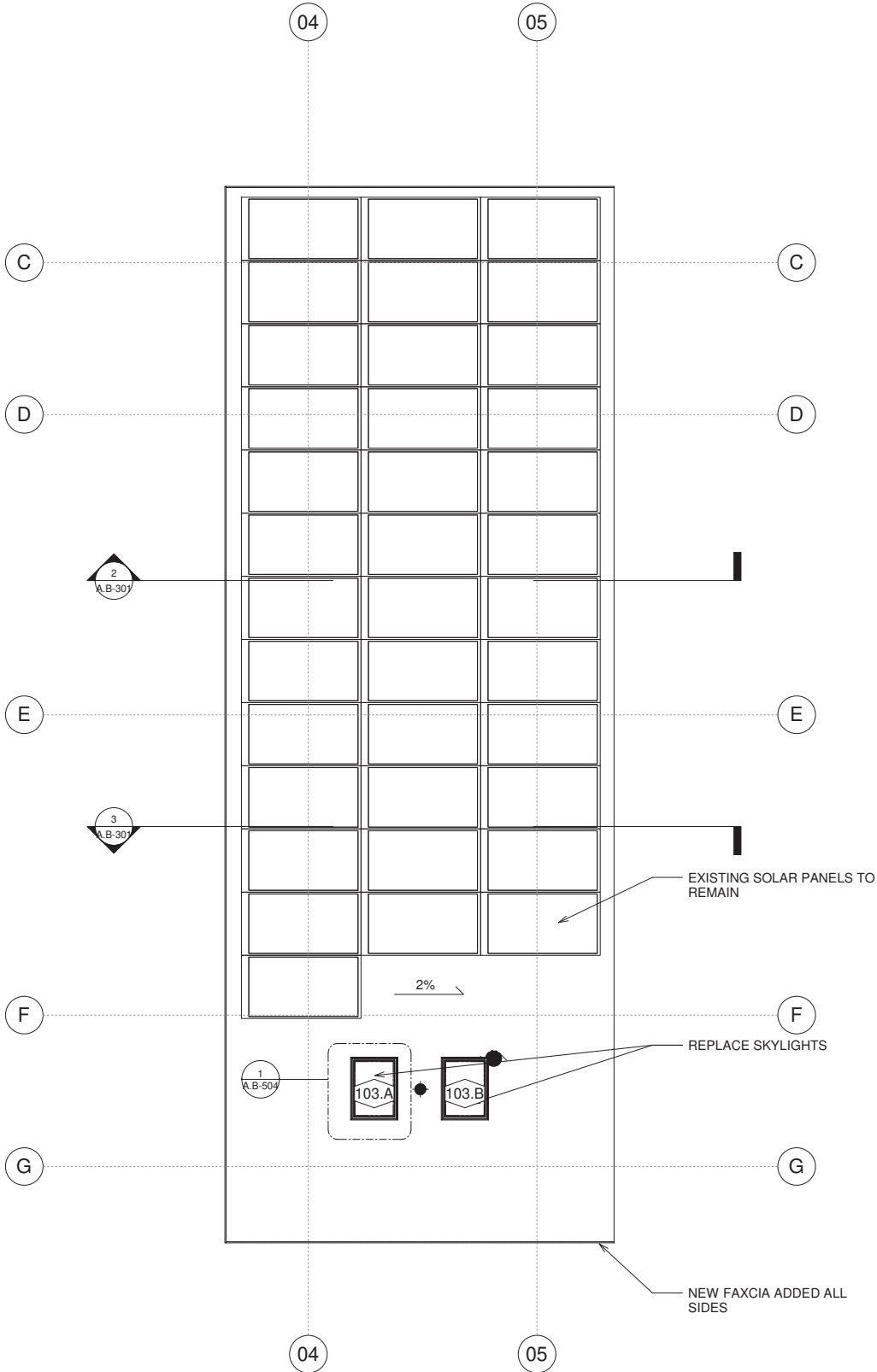
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Sheet Title

REFLECTED CEILING PLAN - PAVILLION

Sheet Number

A.B-112



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
<div><div><div><div><div></div><div>#</div></div><div><div>TO STRUCTURE</div></div></div><div><div><div></div><div>#</div></div><div><div>TO FINISH</div></div></div></div></div>	
<div><div><div>1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.</div><div>2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.</div><div>3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.</div><div>4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.</div><div>5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5" LOWER THAN THE DOOR THRESHOLD.</div><div>6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.</div><div>7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.</div><div>8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.</div><div>9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.</div><div>10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.</div><div>11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.</div><div>12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.</div><div>13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.</div><div>14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div><div>15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.</div><div>16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.</div><div>17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.</div><div>18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div><div>19. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.</div><div>20. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.</div><div>21. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.</div><div>22. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT.</div><div>23. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK. NO KITCHENS AND BARS TO DRAIN TO GREYWATER.</div><div>24. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.</div></div></div>	
PLAN NOTES	

KEYNOTE TEXT	
<div><div><div>1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.</div><div>2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE.</div><div>3. AS-BUILT CONDITIONS TO BE VERIFIED.</div><div>4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.</div><div>5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT.</div><div>6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.</div></div></div>	
GENERAL NOTES	

Monarch Bay Estates

MONARCH BAY DRIVE
DANA POINT, CA 92629

MONARCH BAY HOA

1700

B City Submittal 02

C City Submittal 03

DISCUSSION

FL BUILDING PERMIT SUBMITTAL

FL BUILDING PERMIT SUBMITTAL

BY ISSUED TO

DATE

12/01/20

02/09/21

LICENSED ARCHITECT

MICHAEL FOX

8-31-21

C-37753

STATE OF CALIFORNIA

Monarch Bay Estates

PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY

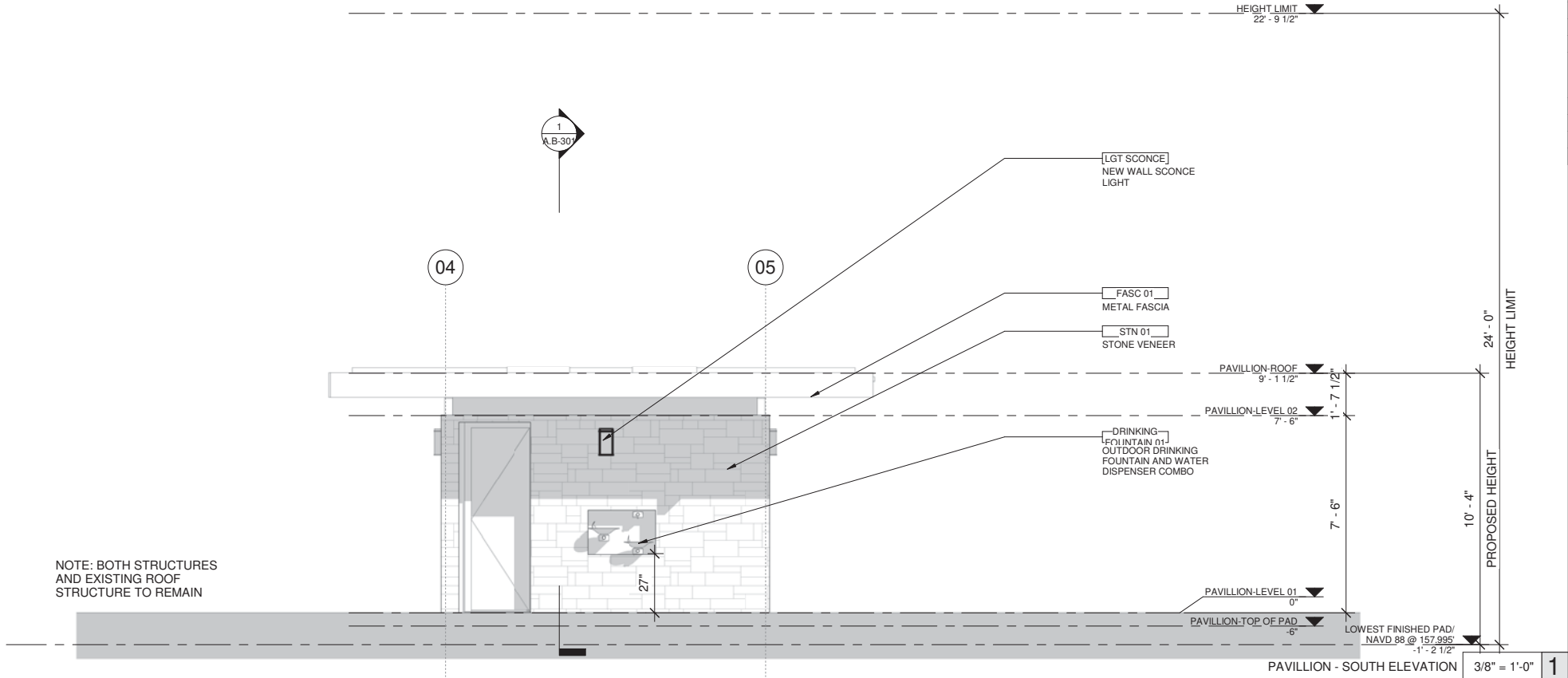


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PAVILLION-ROOF				1/4" = 1'-0"	1
Job #	1700	Size	24" x 36"	Revision #	C
Date	4/14/2021 10:17:40 AM				
					City Submittal 03

Sheet Title		ROOF PLAN - PAVILLION
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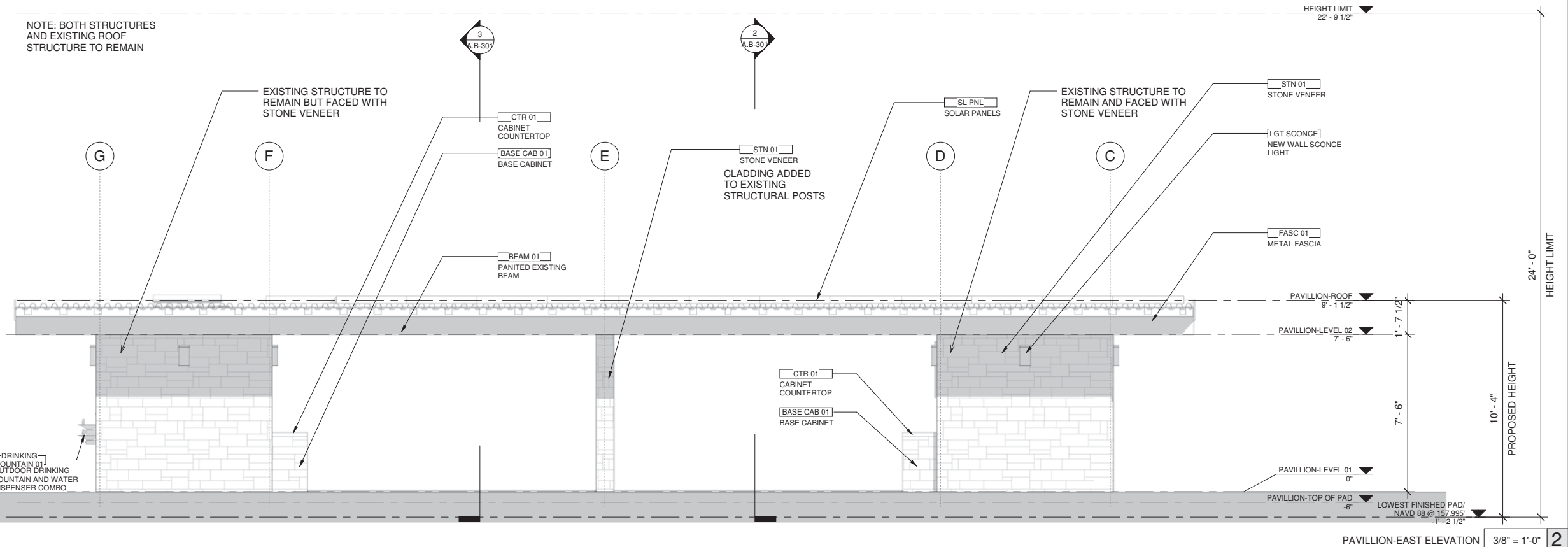
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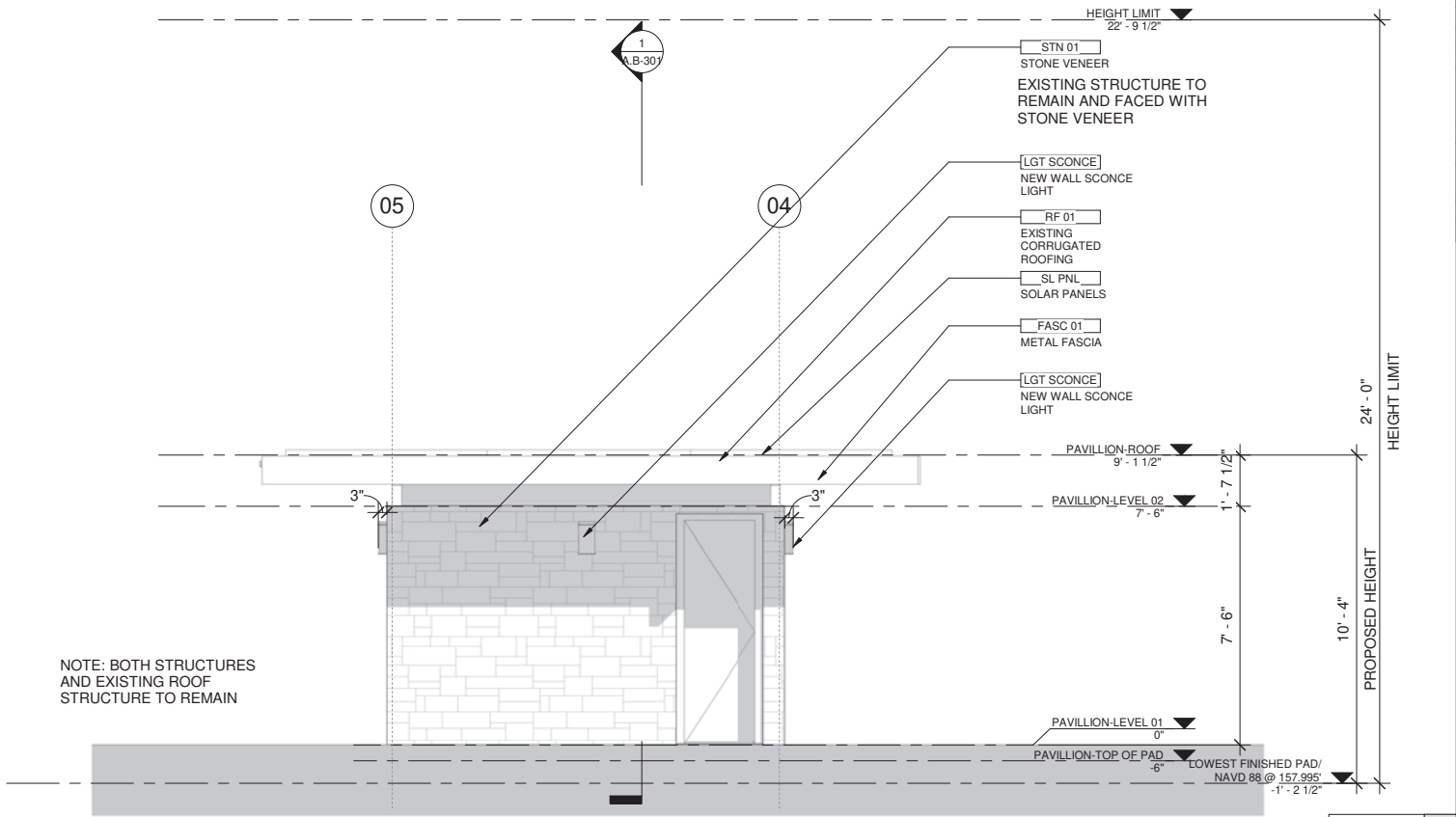
KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
BASE CAB 01	BASE CABINET
BEAM 01	PANITED EXISTING BEAM
CTR 01	CABINET COUNTERTOP
DRINKING FOUNTAIN 01	OUTDOOR DRINKING FOUNTAIN AND WATER DISPENSER COMBO
FASC 01	METAL FASCIA
LGT SCONCE	NEW WALL SCONCE LIGHT
SL PNL	SOLAR PANELS
STN 01	STONE VENEER

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- DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.

Monarch Bay Estates	12/01/20
MONARCH BAY DRIVE	02/09/21
DANA POINT, CA 92629	DATE
MONARCH BAY HOA	REVISION SCHEDULE
1700	



PROJECT ADDRESS		CLIENT	DRAWING SET	foxlin architecture design consulting	392 camino de estrella 949 325 3001 phone san clemente, california 92672 949 203 3339 fax foxlin.com web info@foxlin.com email	Job #	1700	Size	24" x 36"	C	City Submittal 03	Sheet Title	Sheet Number
MONARCH BAY DRIVE DANA POINT, CA 92629		MONARCH BAY HOA	AGENCY			Date	4/14/2021 10:17:49 AM	Revision #				SOUTH AND EAST ELEVATIONS - PAVILLION	A.B-201



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
BASE CAB 01	BASE CABINET
CTR 01	CABINET COUNTERTOP
DRINKING FOUNTAIN 01	OUTDOOR DRINKING FOUNTAIN AND WATER DISPENSER COMBO
FASC 01	METAL FASCIA
LGT SCONCE	NEW WALL SCONCE LIGHT
RF 01	EXISTING CORRUGATED ROOFING
SL PNL	SOLAR PANELS
STN 01	STONE VENEER

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Monarch Bay Estates	1700
MONARCH BAY DRIVE DANA POINT, CA 92629	
MONARCH BAY HOA	

B	City Submittal 02	FL	BUILDING PERMIT SUBMITTAL	12/01/20
C	City Submittal 03	FL	BUILDING PERMIT SUBMITTAL	02/09/21
#	DISCUSSION	BY	ISSUED TO	DATE
REVISION SCHEDULE				

1700	24" x 36"	C	City Submittal 03	Sheet Title	Sheet Number
4/14/2021 10:18:01 AM	Revision #	NORTH AND WEST ELEVATIONS - PAVILLION			A.B-202

Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

foxlin
architecture
design
consulting

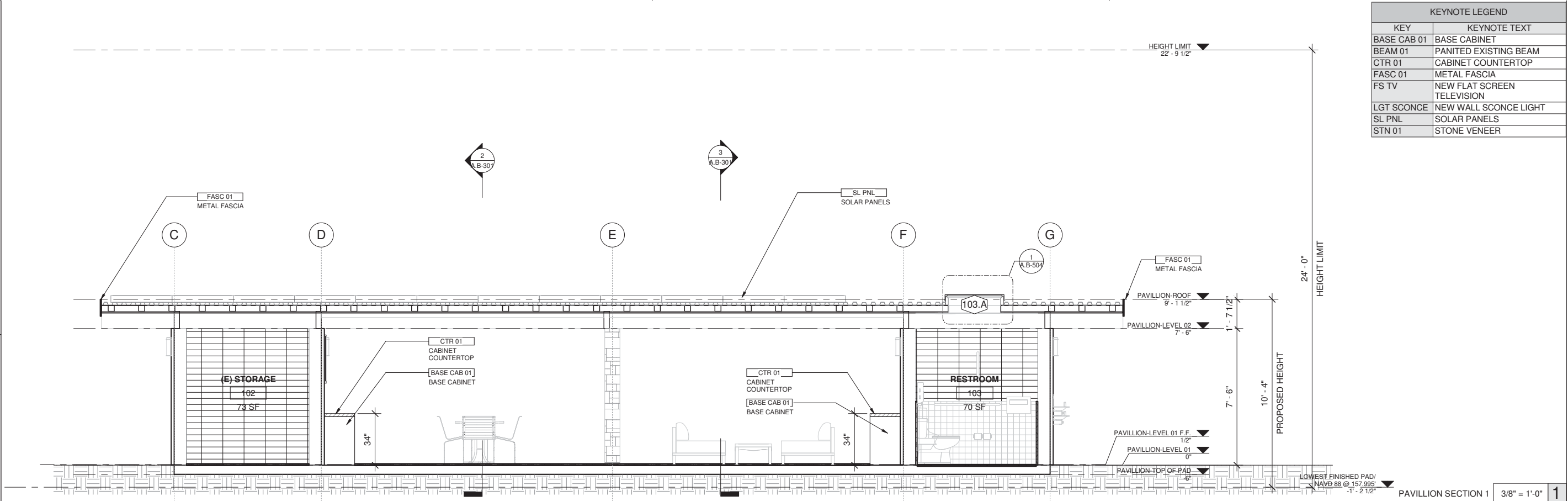
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Revision # C
City Submittal 03

Sheet Title
NORTH AND WEST ELEVATIONS - PAVILLION

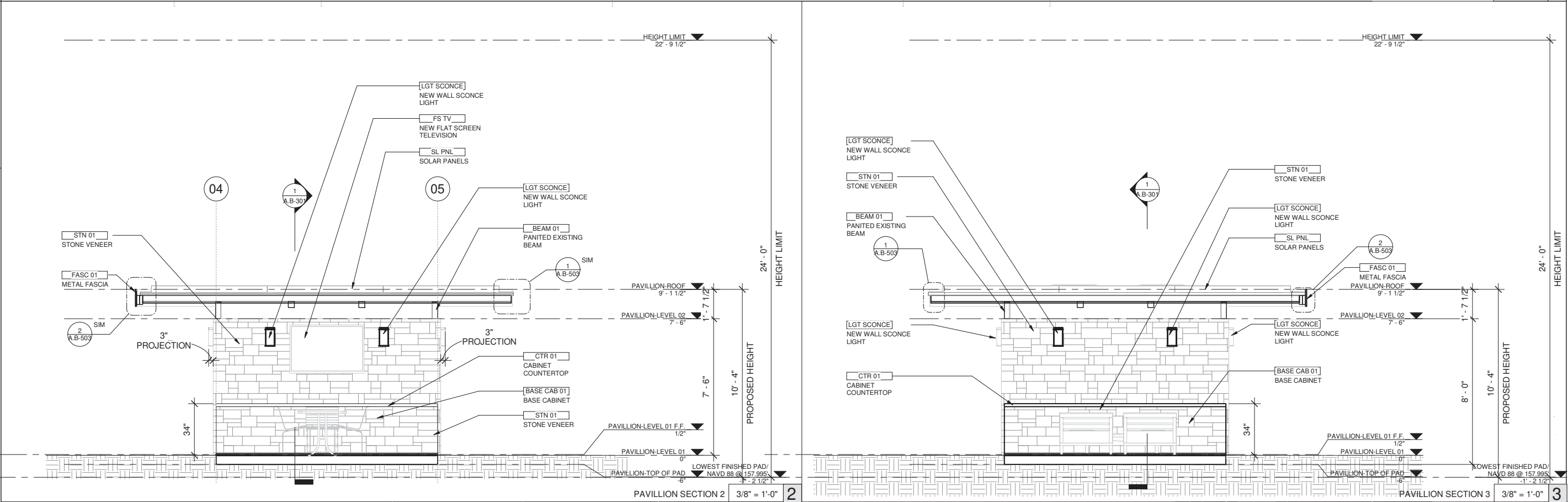
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KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
BASE CAB 01	BASE CABINET
BEAM 01	PANITED EXISTING BEAM
CTR 01	CABINET COUNTERTOP
FASC 01	METAL FASCIA
FS TV	NEW FLAT SCREEN TELEVISION
LGT SCENCE	NEW WALL SCONCE LIGHT
SL PNL	SOLAR PANELS
STN 01	STONE VENEER

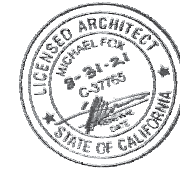
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GENERAL NOTES



REVISION SCHEDULE	
#	DESCRIPTION
1	ISSUED TO
2	DISCUSSION
3	BY
4	DATE

12/01/20
02/09/21



Monarch Bay Estates

PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY



architecture
design
consulting

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1700	24' x 36'	C
Date	4/14/2021 10:18:05 AM	City Submittal 03

Sheet Title
BUILDING SECTIONS - PAVILLION

Sheet Number
A.B-301



Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY



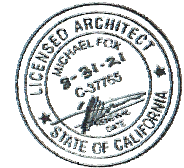
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info@foxlin.com email

Job # 1700
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Date 4/22/2021 2:21:50 PM
Revision #

C
City Submittal 03

Sheet Title
EXTERIOR VIEWS - PAVILLION


Sheet Number
A.B-901



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MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY						Date 4/14/2021 11:07:48 AM	MATERIAL BOARD-PAVILLION

Pavillion Material Board



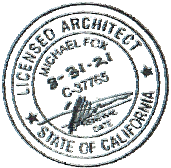
TREATED WOOD
SLATS



AAA NATURAL STONE -
RUBBLE



METAL ERA -
ANCHOR TITE
FASCIA: DARK
BRONZE



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MONARCH BAY DRIVE DANA POINT, CA 92629
MONARCH BAY HOA
1700

C City Submittal 03	FL	BUILDING PERMIT SUBMITTAL	02/09/21
# DISCUSSION	BY	ISSUED TO	DATE
		REVISION SCHEDULE	

SUPPORTING DOCUMENT 5: Wall Schedule

ATTACHMENT

