

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** APRIL 26, 2021

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
BRENDA WISNESKI, DIRECTOR  
SEAN NICHOLAS, SENIOR PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP20-0027 TO DEMOLISH A SINGLE FAMILY RESIDENCE AND CONSTRUCT A ONE-STORY SINGLE FAMILY RESIDENCE LOCATED AT 200 MONARCH BAY DRIVE

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**RECOMMENDATION:** That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP20-0027 (Action Document 1).

**APPLICANT:** Eric Olsen, Architect

**OWNER:** Paul Black

**REQUEST:** A request to demolish a single family residence and construct a one-story single family residence.

**LOCATION:** 200 Monarch Bay Drive (APN 670-111-30)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on April 16, 2021, published within a newspaper of general circulation on April 16, 2021, and posted on April 16, 2021, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves a new one-story single-family residence.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for

approval of a Coastal Development Permit (CDP).

- Project compatibility with and enhancement of the site and surrounding neighborhood.

### **BACKGROUND:**

The subject site is located west of the intersection of Crown Valley Parkway and Pacific Coast Highway in the Residential Single Family 4 (RSF 4) Zoning District and within the appeals jurisdiction of the City's Coastal Overlay District. The project site is an 11,240 square foot corner lot on Monarch Bay Drive. The property is improved with a one-story single-family residence.

### **DISCUSSION:**

The project proposes to demolish the existing one-story, single family residence and construct a one-story, single family residence and attached two car garage. The proposed habitable area is 2,872 square feet with an attached 460 square foot two-car garage. The proposed residence will include: three bedrooms, four bathrooms, kitchen and great room, covered patio, and laundry room. Various accessory uses and structures are proposed including a pool and outdoor fireplace.

Staff has reviewed the required Residential Single Family 4 (RSF4) and determined that the project complies with all development standards as identified in Table 1 below.

**Table 1: Compliance with RSF-4 Development Standards**

| <b>Development Standard</b> | <b>Requirement</b> | <b>Proposed</b>  | <b>Compliant w/ Standard</b> |
|-----------------------------|--------------------|------------------|------------------------------|
| Front Setback               | 20 ft minimum      | 20 ft            | Yes                          |
| Side Setback                |                    |                  |                              |
| Interior                    | 5 ft               | 5 ft             | Yes                          |
| Street                      | 10 ft              | 10 ft            | Yes                          |
| Rear Setback                | 25 ft minimum      | 26 ft-1 in       | Yes                          |
| Height                      | 24 ft maximum      | 12 ft-4 in       | Yes                          |
| Lot Coverage                | 45% maximum        | 32.5%            | Yes                          |
| Parking Required            | 2 parking spaces   | 2 parking spaces | Yes                          |

The proposed modern architecture utilizes flat roofs, large full height windows, and stone accent features. The elevation facing the exterior side yard also incorporates large windows and doors that open to create views towards the ocean. The proposed plans are provided as Supporting Document 4, and a materials board will be provided at the Planning Commission public hearing. The proposed architecture is compatible with the neighborhood which has a diverse mix of architectural styles.

The project was approved by the Monarch Bay Home Owners Association prior to the submittal of the application (Supporting Document 3).

COASTAL DEVELOPMENT PERMIT CDP20-0027

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the proposed demolition of a one-story single family residence and construction of a new one-story single family residence in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a Coastal Development Permit (CDP). The project complies with all of the applicable provisions of the Dana Point Zoning Code for the issuance of a Coastal Development Permit as the proposed home does not impact public access or Environmentally Sensitive Habitat Areas (ESHA) as the parcel is already developed.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are provided in the attached draft Resolution identified as Action

Document 1.

**CORRESPONDENCE:**

No correspondence were received as of the publication date of this staff report.

**CONCLUSION:**

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project is found to comply with all standards of development, including the provisions of DPZC Section 9.05.190. Staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit CDP20-0027 subject to the findings and conditions of approval contained therein.



Sean Nicholas, Senior Planner



Brenda Wisneski, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 21-04-26-XX

**Supporting Documents**

2. Vicinity Map
3. Monarch Bay Association Approval Letter
4. Architectural Plans



**ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 21-04-26-XX**

**RESOLUTION NO. 21-04-26-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0027 TO DEMOLISH A RESIDENCE AND CONSTRUCT A ONE-STORY SINGLE-FAMILY RESIDENCE LOCATED AT 200 MONARCH BAY DRIVE.**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Eric Olsen (the "Representative") has filed an application on behalf of Paul Black (the "Property Owner"), the owner of real property commonly referred to as 200 Monarch Bay Drive (APN 670-111-30) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit for the demolition of a single family residence and construction of a new one-story, single-family residence; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves the demolition of one single family residence and the construction of a new single family residence; and

WHEREAS, the Planning Commission did, on the 26<sup>th</sup> day of April, 2021, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0027.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP20-0027 subject to the following conditions of approval:

Findings:

- A) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP20-

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0027, subject to conditions:

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the design of the proposed one-story single family residence complies with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property). The project will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by adding a new high quality modern style house that adds to the eclectic mix of styles within Monarch Bay.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot, zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exists nearby at City, County, and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction) in that it proposes to replace a one-story, single-family residence with another one-story, single-family residence. The project will comply with all applicable development standards and will be consistent with the developed community.**
4. That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA), and the proposed improvements would not result in adverse impacts.**

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5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is an already developed property located in an established area of residential uses with no natural landforms present. The proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed project will replace a one-story, single-family residence with a new one-story, single-family residence. The project design conforms to the development and design standards of the Dana Point Zoning Code and is complementary to surrounding development in terms of mass and size.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that, the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

General:

1. Approval of this application permits the demolition and construction of a one-story, single-family residence, and applicable ancillary outdoor improvements associated with the single-family residence pursuant to the approved plans, at 200 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition

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to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.

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11. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
12. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

**Prior to Issuance of a Grading Permit:**

13. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
14. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual.
15. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
16. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy.
17. Separate submittal for review, approval and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements.
18. All walls required to be construction to facilitate the grading operations or establishment of the design PAD grades and rough grading certification shall be issued concurrently

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with the grading permit. This includes but not limited to temporary shoring walls, permanent shoring walls, property line masonry walls, or other structures as determined by the Director of Public Works.

**Prior to Issuance of a Building Permit:**

19. The applicant shall submit an application for separate structures, including any retaining walls, interior house improvements, rear yard accessory uses consistent with the approved plan. A separate permit submittal shall be made to the Building Department in accordance with the current submittal requirements and California Building Code.
20. Fire sprinkler system is required. Please work with OCFA and Building Division to provide the necessary plans and permits.
21. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
22. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
23. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
24. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
25. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the

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site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

26. A separate building permit will be required for the pool and spa, proposed walls, and all other structures referenced on the submitted plan. The Building Department should be consultant for all permitting and submittal requirements.
27. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all existing and proposed drainage from site being directed to an approved outlet.

**Prior to issuance of a Certificate of Occupancy**

28. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
29. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
30. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
31. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
32. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
33. Prior to commencement of framing, the Applicant shall submit a setback certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP20-0020/SDP20-0027(M). The City's standard "Setback Verification Certification" form shall be obtained at time of permit issuance, prepared by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval.
34. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP20-0020/SDP20-0027(M). The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

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35. All project landscaping within all yards shall be installed prior to scheduling of a final inspection of the project by the Planning Division.
36. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials, and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 26<sup>th</sup> day of April, 2021 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Eric Nelson, Chairperson  
Planning Commission

ATTEST:

\_\_\_\_\_  
Brenda Wisneski, Director  
Community Development Department

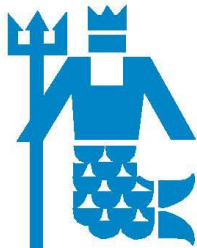


SUPPORTING DOCUMENT 2: Vicinity Map

# ***VICINITY MAP***



**SUPPORTING DOCUMENT 3:** Monarch Bay Association Approval Letter



## Monarch Bay Association

October 28, 2020

Paul and Esra Black  
198 and 200 Monarch Bay Drive  
Monarch Beach, CA 92629

via e-mail

RE: 198 and 200 MONARCH BAY DRIVE  
NEW HOME CONSTRUCTION PLANS DATED 9/28/20 BY ERIC OLSEN DESIGN

Dear Mr. and Mrs. Black,

We are pleased to advise that the Monarch Bay Association Architectural Control Committee has approved your new home construction plans for both of your homes as submitted. We are attaching a scanned signed approval on a reduced plan sheet as an alternative to stamping plans which is challenging due to our "work from home" requirement at this time.

There was an inquiry from your neighbor at 241 about the common property line and wall which Eric advised he will investigate and address, to ensure there is sufficient room for the equipment, access and a hedge.

The landscape/hardscape plans will be reviewed as a separate submittal.

We have received your construction deposit in the amount of \$25,000 made payable to the Monarch Bay Association. Upon the successful completion of your homes, the deposit will be reconciled against the road use fees and the balance refunded to you. In the event that the deposit is depleted (as this is typical for one home instead of two) we will notify you and ask for a replenishment.

Attached are the construction rules to share with your contractor to ensure they know what is expected of them while working in the Monarch Bay community.

The Committee truly appreciates your on-going cooperation and wish you luck with your project.

Respectfully,

THE MONARCH BAY ASSOCIATION  
ARCHITECTURAL CONTROL COMMITTEE

CC: Board  
Architectural Control Committee  
Eric Olsen Architects via email  
MB/198 and 200/arch/new home approval/10.28.20

**SUPPORTING DOCUMENT 4:** Architectural Plans

ATTACHMENT





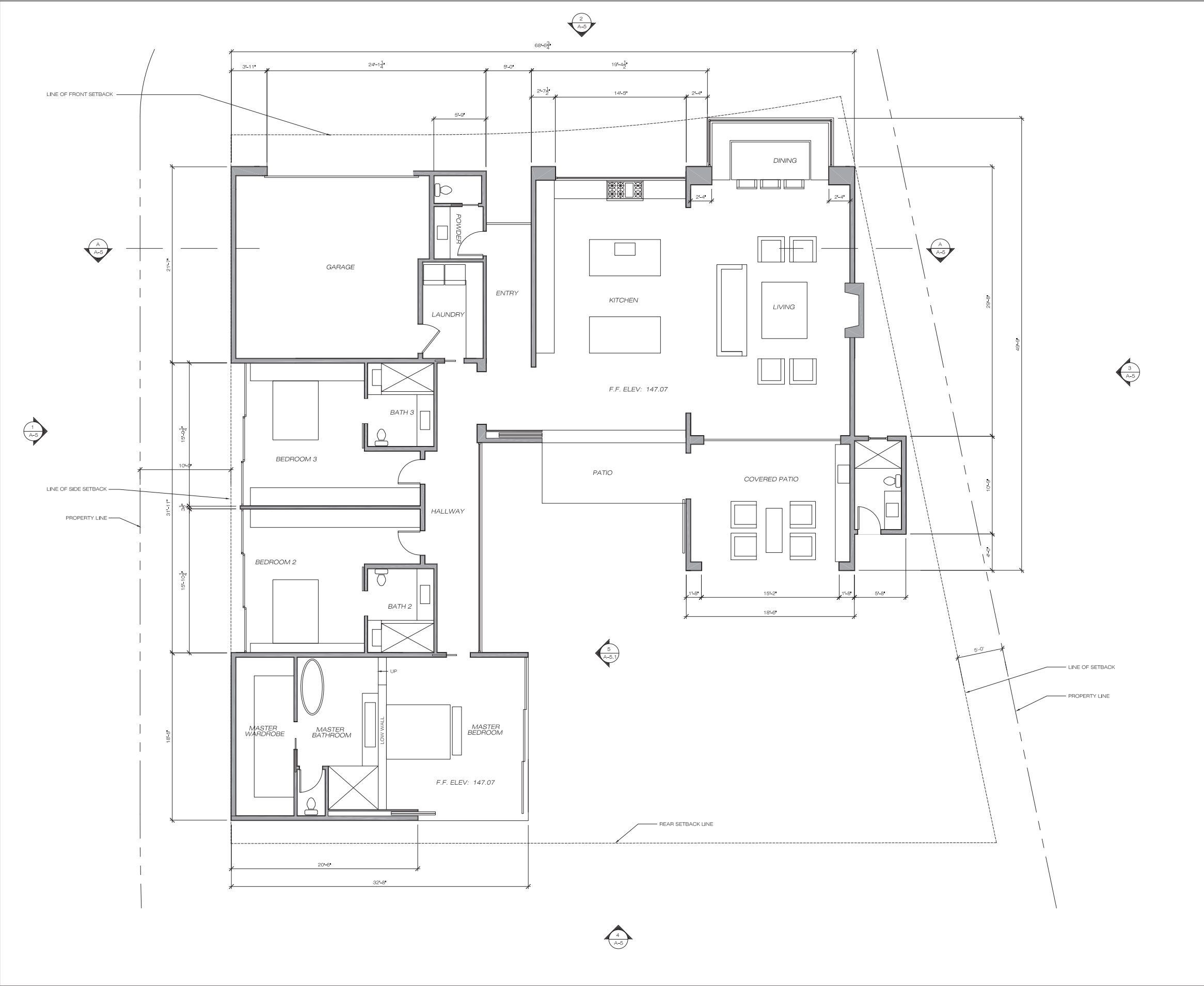
ERIC OLSEN DESIGN

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2728 E. COAST HIGHWAY, SUITE A  
CORONA DEL MAR, CA 92625  
TELEPHONE: 949.887.8886

|           |       |               |          |
|-----------|-------|---------------|----------|
| REVISION: | DATE: | PROFESSIONAL: | DRAWING: |
|           |       |               |          |
|           |       |               |          |
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|           |                   |                              |
|-----------|-------------------|------------------------------|
| SITE PLAN | JOB NUMBER:       | DRAWING NUMBER:<br><br>A-1.1 |
|           | DATE:<br>03.22.21 |                              |
|           | DRAWN BY:<br>E.O. |                              |
|           | SCALE:            |                              |



- FLOOR PLAN KEYNOTES
- 1 WOOD FLOORING
  - 2 STONE FLOORING
  - 3 CARPET
  - 4 ARTISAN MASON-LITE GAS FIREPLACE, ICC REPORT ESR-2401  
RADCO LISTING #1365, ANSI Z21.50/CSA 2.22-2016 FOR DECORATIVE GAS APPLIANCES
  - 5 WOOD DINING TABLE
  - 6 SINK
  - 7 STONE COUNTERTOP
  - 8 TOILET
  - 9 SHOWER W/ 3/8" TEMPERED GLASS ENCLOSURE
  - 10 DISHWASHER
  - 11 REFRIGERATOR
  - 12 DOUBLE OVENS
  - 13 BUILT IN BENCH SEATING
  - 14 TRASH PULLOUT
  - 15 SHOWER W/ NO CURB - DEPRESS SLAB 3" - 3/8" TEMP. GLASS ENCLOSURE
  - 16 LINEAR DRAIN
  - 17 48" RANGE TOP
  - 18 TRELLIS. SEE CEILING PLAN
  - 19 CABINETRY. SEE INTERIOR ELEVATIONS
  - 20 UNDERMOUNT TUB
  - 21 FREESTANDING TUB
  - 22 CLOSET CABINETRY. VERIFY IF DONE BY OUTSIDE VENDOR OR CARPENTER
  - 23 STONE HEARTH FLUSH WITH WOOD FLOOR
  - 24 DEX-G-TEX WEATHERWEAR ROOF DECK COVERING, ICC REPORT #ESR-1757  
CLASS 15' MINIMUM FIRE CLASSIFICATION

FIREPLACE NOTES

-FIREPLACE OPENING: COMBUSTIBLE MATERIALS SURROUNDING THE OPENING TO BE MIN. 6" FROM OPENING MATERIAL ABOVE AND WITHIN 12" SHALL NOT PROJECT MORE THAN 1/8" FOR EACH INCH DISTANCE FROM OPENING. COMBUSTIBLE MATERIAL AT SIDES THAT PROJECT MORE THAN 1 1/2" FROM THE FACE OF THE FIREPLACE SHALL HAVE AN ADDITIONAL CLEARANCE EQUAL TO THE PROJECTION

-PROVIDE 2 INCH CLEARANCE TO FRAMING AROUND FIREBOX AND CHIMNEY OR THICKNESS FROM LINING TO COMBUSTIBLES TO BE 12 INCHES.

-HEARTH THICKNESS TO BE 2 INCHES MIN.

PLUMBING NOTES:

-ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

INTERIOR NOTES

-VERIFY BASEBOARD WITH INTERIOR DESIGNER

-THERE WILL BE NO CASING AT DOORS. ALL JAMBS WILL BE CURVED WITH 3/4" OAK EDGE EXPOSED

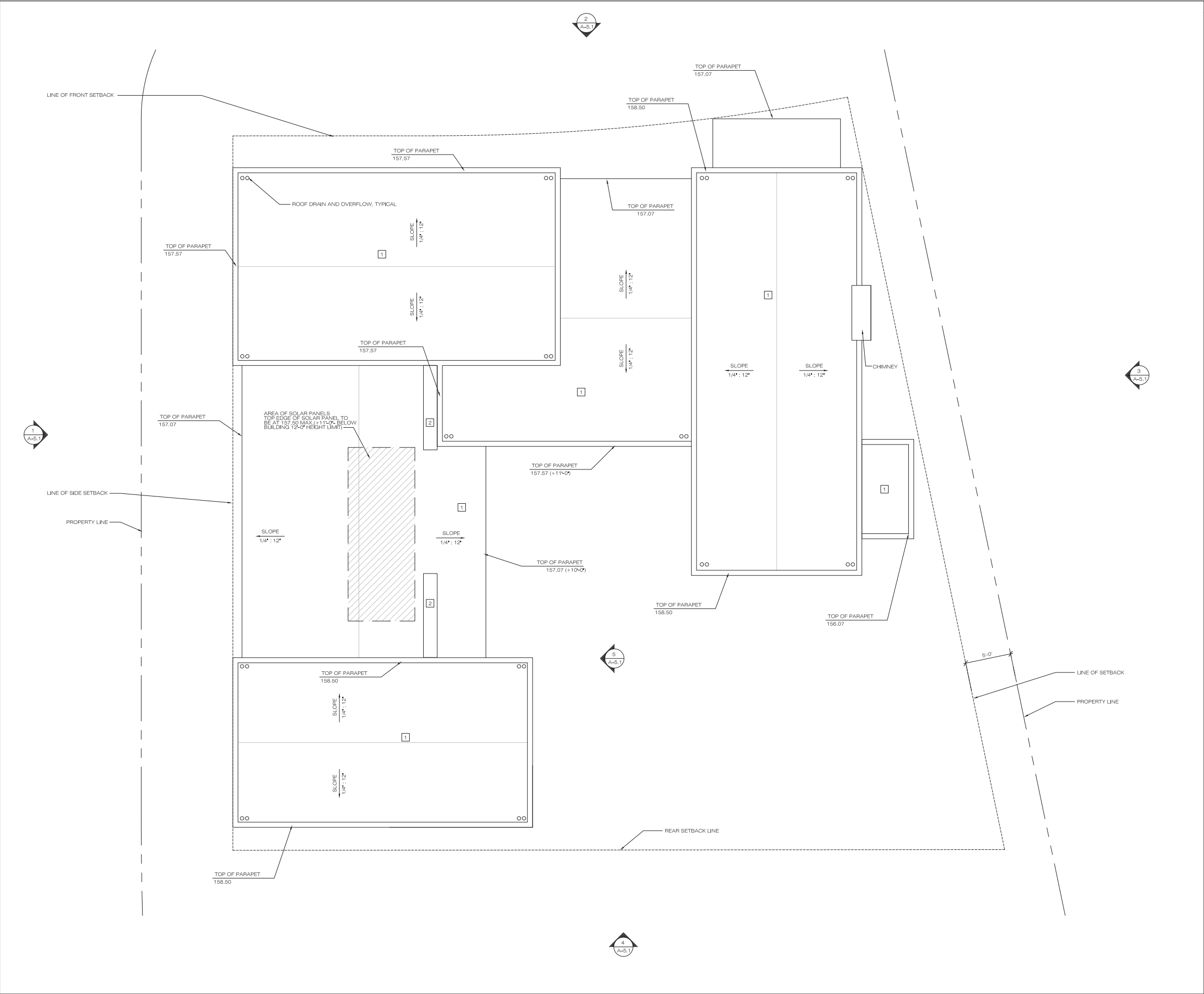
-THERE WILL BE NO CASING AT WINDOWS. DRYWALL CURVED JAMBS, SILLS, AND HEADERS

NOTE: PLEASE REFER TO SHEET A-1.2 FOR DOOR AND WINDOW SCHEDULE

WALL LEGEND

NEW WALL

ALL EXTERIOR WALLS AND INTERIOR WALLS BETWEEN THE R-3 AND U OCCUPANCY SHALL BE 2X6 AT 16" O.C. WITH R-21 INSULATION



ROOF NOTES

1

CLASS 'W' MEMBRANE ROOF  
GAF CORPORATION 'RUBEROID' MEMBRANE ROOF  
ICC REPORT #ESR-1274  
COLOR TO BE DARK BROWN OR DARK GREY  
  
CLASS 'W' ASSEMBLY PER ESR REPORT 1274:  
GRAVEL OVER 1 LAYER OF GAF RUBEROID TORCH OVER  
2 LAYERS OF GAFGLAS #75 BASE SHEET OVER 1/8\"/>

2

ACRALIGHT CURB MOUNTED SKYLITE, 18\"/>

NOTES:

- ROOF VENTS TO BE COLORED TO MATCH ROOFING MATERIAL

- NO ROOF MOUNTED MECHANICAL EQUIPMENT ALLOWED

TYPICAL FIREPLACE / CHIMNEY NOTES:

FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURERS INSTALLATION INSTRUCTIONS. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY-BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FACTORY-BUILT CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. CMV (802.5.2.4) GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY WITH THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.

CHIMNEY SHALL EXTEND 2 FT. HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FT.; CHIMNEY SHROUD MAY EXTEND ANOTHER 12\"/>

PROVIDE SPARK ARRESTOR TO MEET ALL THE REQUIREMENTS PER CBC 2113.9.1.



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CITY OF DANA POINT  
PUBLIC WORKS-ENGINEERING DEPARTMENT

STANDARD GRADING AND EROSION CONTROL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY RDMD STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING. PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM THE OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
5. RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
6. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
7. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
10. FILLS SHALL BE BENCIED INTO COMPETENT MATERIAL PER ORANGE COUNTY RDMD STANDARD PLAN NO. 1322.
11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEANING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, UNSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
12. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
13. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINEGRADE AND SHOWN ON AS-GRADED PLANS.
14. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
16. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
17. CUT AND HILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SOLE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDATION TO THE BUILDING OFFICIAL FOR APPROVAL.
19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
20. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FRACTURED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
21. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
22. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
24. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
25. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
26. EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST BE APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
27. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE).
28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
29. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
30. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
31. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
32. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTILL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL. HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
33. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
34. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
36. GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.
- A. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- B. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
- C. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
37. GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
38. ASPHALT SECTION MUST BE PER CODE: PARKING LOTS = 3" AC OVER 10" (COMM.) 12" (INDUSTRIAL); OR PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR. THE CITY GRADING INSPECTOR SHALL PROVIDE SECTION RECOMMENDATIONS BASED ON K-VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
39. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDMD STANDARD PLAN NO. 1805.
40. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDMD STANDARD NO. 1804.
41. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.
42. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE HIGH POINT ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
43. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
44. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
45. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
46. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
47. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
48. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
49. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.
50. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8671 OF THE BUSINESS AND PROFESSIONAL CODE.

EROSION CONTROL

1. IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT \_\_\_\_\_ PAUL & ESRA BLACK AT PHONE NUMBER (949) 309-8351
2. ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
3. TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
4. MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
5. AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
6. CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
7. SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
8. THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
9. BMPs SHOWN ON THE PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE UNROUNDED WATER CREEKS ARE LOCATED.
11. ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 3/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
12. SHOULD GERMINATION OF HYDROSEEDED SLOPES FAIL, TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
13. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

ADJACENT PROPERTY STABILITY NOTES

CALIFORNIA CIVIL CODE, SECTION 832

LATERAL AND SUBJACENT SUPPORT: EXCAVATIONS, DEGREE OF CARE, DAMAGES, PROTECTION OF OTHER STRUCTURES. EACH COTERMINOUS OWNER IS ENTITLED TO THE LATERAL AND SUBJACENT SUPPORT WHICH HIS LAND RECEIVES FROM THE ADJOINING LAND, SUBJECT TO THE RIGHT OF THE OWNER OF THE ADJOINING LAND TO MAKE PROPER AND USUAL EXCAVATIONS ON THE SAME FOR PURPOSES OF CONSTRUCTION OR IMPROVEMENT, UNDER THE FOLLOWING CONDITIONS:

1. ANY OWNER OF LAND OR HIS LESSEE INTENDING TO MAKE OR TO PERMIT AN EXCAVATION SHALL GIVE REASONABLE NOTICE TO THE OWNER OR OWNERS OF ADJOINING LANDS AND OF BUILDINGS OR OTHER STRUCTURES, STATING THE DEPTH TO WHICH SUCH EXCAVATION IS INTENDED TO BE MADE, AND WHEN THE EXCAVATION WILL BEGIN.
2. IN MAKING ANY EXCAVATION, ORDINARY CARE AND SKILL SHALL BE USED, AND REASONABLE PRECAUTIONS TAKEN TO AVOID INJURY TO ANY BUILDINGS OR OTHER STRUCTURES, OR TO THE PERSONS OR PROPERTY OF ANY OTHER PARTY WHICH MAY BE THEREON, AND THERE SHALL BE NO LIABILITY FOR DAMAGE DONE TO ANY SUCH BUILDING OR OTHER STRUCTURE BY REASON OF THE EXCAVATION, EXCEPT AS OTHERWISE PROVIDED OR ALLOWED BY LAW.
3. IF AT ANY TIME IT APPEARS THAT THE EXCAVATION IS TO BE OF A GREATER DEPTH THAN ARE THE WALLS OR FOUNDATIONS OF ANY ADJOINING BUILDING OR OTHER STRUCTURE, AND IS TO BE SO CLOSE AS TO ENDANGER THE BUILDING OR OTHER STRUCTURE IN ANY WAY, THEN THE OWNER OF THE BUILDING OR OTHER STRUCTURE MUST BE ALLOWED AT LEAST 30 DAYS IF HE SO DESIRES, IN WHICH TO TAKE MEASURES TO PROTECT THE SAME FROM ANY DAMAGE, OR IN WHICH TO EXTEND THE FOUNDATIONS THEREOF, AND HE MUST BE GIVEN FOR THE SAME PURPOSES REASONABLE LICENSE TO ENTER ON THE LAND ON WHICH THE EXCAVATION IS TO BE OR IS BEING MADE.
4. IF THE EXCAVATION IS INTENDED TO BE OR IS DEEPER THAN THE STANDARD DEPTH OF FOUNDATIONS, WHICH DEPTH IS DEFINED TO BE A DEPTH OF NINE FEET BELOW THE ADJACENT CURB LEVEL AT THE POINT WHERE THE JOINT PROPERTY LINE INTERSECTS THE CURB AND IF ON THE LAND OF THE COTERMINOUS OWNER THERE IS ANY BUILDING OR OTHER STRUCTURE, THE WALL OR FOUNDATION OF WHICH GOES TO STANDARD DEPTH OR DEEPER THAN THE OWNER OF THE LAND ON WHICH THE EXCAVATION IS BEING MADE SHALL, IF GIVEN THE NECESSARY LICENSE TO ENTER ON THE ADJOINING LAND, PROTECT THE SAID ADJOINING LAND AND ANY SUCH BUILDING OR OTHER STRUCTURE THEREON WITHOUT COST TO THE OWNER THEREOF, FROM ANY DAMAGE BY REASON OF THE EXCAVATION, AND SHALL BE LIABLE TO THE OWNER OF SUCH PROPERTY FOR ANY SUCH DAMAGE, EXCEPTING ONLY FOR MINOR SETTLEMENT CRACKS IN BUILDINGS OR OTHER STRUCTURES.

STORMWATER PROTECTION NOTES:

1. DURING THE RAINY SEASON, THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
2. NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE CITY OF DANA POINT'S STAFSACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION SILTATION AND SEDIMENT CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
3. THE PROPERTY OWNER IS OBLIGATED TO ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS ON THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORMWATER QUALITY. THE INSTALLATION AND MAINTENANCE OF THE BMPs IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE CITY OF DANA POINT OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
4. ON PROJECTS OF GREATER THAN 1 ACRE, ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE WASTE DISCHARGE IDENTIFICATION (WQID) NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS [WQID#] [ALTERNATIVE: NOT YET ASSIGNED, BUT WILL BE PROVIDED BEFORE A PERMIT IS ISSUED]. THE PERMITTEE SHALL KEEP A COPY OF AN UP-TO-DATE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY CITY.
5. BONDED FIBER MATRIX (BFM)
- THE USE OF BFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:
- A. APPLICATION RATES SHALL BE 3,500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4,000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
- B. BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
- C. THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
- D. BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E., APPLICATION FROM MULTIPLE ANGLES).
- E. FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEED EROSION CONTROL VEGETATION.
- F. A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE CITY INSPECTOR FOR APPROVAL.

PROPERTY OWNER

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

BY: \_\_\_\_\_  
PAUL BLACK

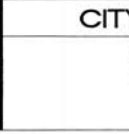
BY: \_\_\_\_\_  
OWNERS DATE

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| REVISION | DESCRIPTION | APPROVED | DATE | SCALE:<br>1" = 8' | DESIGNED:<br>R.J.                  | DRAWN:<br>R.J. | CHECKED:<br>P.J.D. | PLANS PREPARED BY:  |
|----------|-------------|----------|------|-------------------|------------------------------------|----------------|--------------------|---|
|          |             |          |      | ACAD FILE NO.     |                                    |                |                    | DUCA-McCOY, INC.<br>3840 E. COAST HIGHWAY<br>CORONA DEL MAR, CA 92625<br>PH: (949) 675-4487 FAX: (949) 675-4456 |
|          |             |          |      | PROJECT NO.       |                                    |                |                    |   |
|          |             |          |      |                   | PETE J. DUCA      ENGINEER OF WORK |                |                    | DATE<br>24668   |
|          |             |          |      |                   | R.C.E. NO.                         |                |                    |   |

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|--|--|
| COUNTY OF ORANGE BENCHMARK<br>3P-35-04<br>ELEVATION=157.955 NAVD 88 DATUM<br>(ESTABLISHED A T.B.M. AT THE TOP OF<br>CURB ON CROWN COAST DR. AT THE<br>S.W.1/4 CORNER OF THIS PROPERTY) |  |
| ELEV= 115.53 TC TBM  |  |

|                          |      |
|--------------------------|------|
| CITY PLANNING DEPARTMENT | DATE |
|--------------------------|------|



|   |  |
|---|--|
| CITY OF DANA POINT<br>GRADING PLAN<br>200 MONARCH BAY<br>DANA POINT, CA<br>APN # 670-111-30 | ENG 20-0xxx<br>CONTRACT NO.<br>1 of 5 SHEETS |
|---|--|

NOTE:

1. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND GENERAL SITE DIMENSIONS.
2. REFER TO ARCHITECTURAL PLANS FOR ANY SECTIONS SHOWN HEREON.
3. MAINTAIN A MIN. OF 2% FILL AWAY FROM BUILDING ON CONC., 5% MIN. ON FINISH GRADE.

BASIS OF BEARINGS

THE CENTERLINE OF QUEEN CATHERINE COURT AS BEING N 04°52'6" E AS SHOWN ON TRACT MAP NO. 3748

ARCHITECT

ERIC OLSEN DESIGN  
2728 E. COAST HIGHWAY, SUITE A  
CORONA DEL MAR, CA. 92625  
(949) 887-8856

SOILS ENGINEER & GEOLOGIST

EGA CONSULTANTS  
375-C MONTE VISTA AVENUE  
COSTA MESA, CA. 92627  
(949) 642-9309

SOURCE OF TOPOGRAPHY

A FIELD TOPOGRAPHIC SURVEY BY  
APEX SURVEYING

IMPERVIOUS SURFACE AREA

NEW BUILDING 2,336 S.F.  
NEW HARDSCAPE 2,342 S.F.  
TOTAL IMPERVIOUS AREA 5,698 S.F.  
TOTAL LOT AREA 11,240 S.F. (0.26 AC.)

LEGAL DESCRIPTION

LOT 98, TRACT 3748  
DANA POINT, CALIFORNIA  
APN: 670-111-30

SEE SHEET 2 FOR QUANTITY ESTIMATES

EARTHWORK QUANTITY ESTIMATE:

CUT 340 (FOR PERMIT PURPOSES ONLY) CU. YDS. OVEREX. 530 CU. YDS.  
FILL 50 CU. YDS.

NOTE: ANY OVEREX. AND EXCAVATION FOR WALL FOOTINGS HAS NOT BEEN CALCULATED. SHRINKAGE AND/OR SUBSIDENCE HAS NOT BEEN CALCULATED.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT. I DECLARE THAT I HAVE EXERCISED RESPONSIBLE CHARGE OF THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE. I DECLARE THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS OF CIVIL ENGINEERING. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE MYSELF, AS ENGINEER OF RECORD, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DUCA-MCCOY, INC.  
3840 EAST COAST HIGHWAY  
CORONA DEL MAR, CA. 92625  
(949) 675-4487

BY: \_\_\_\_\_  
PETE DUCA R.C.E. 24668 12/31/19 DATE

SHEET INDEX

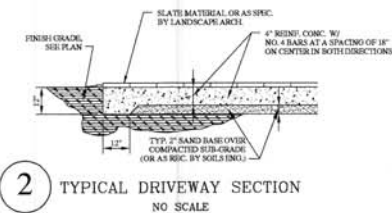
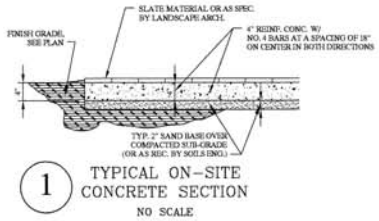
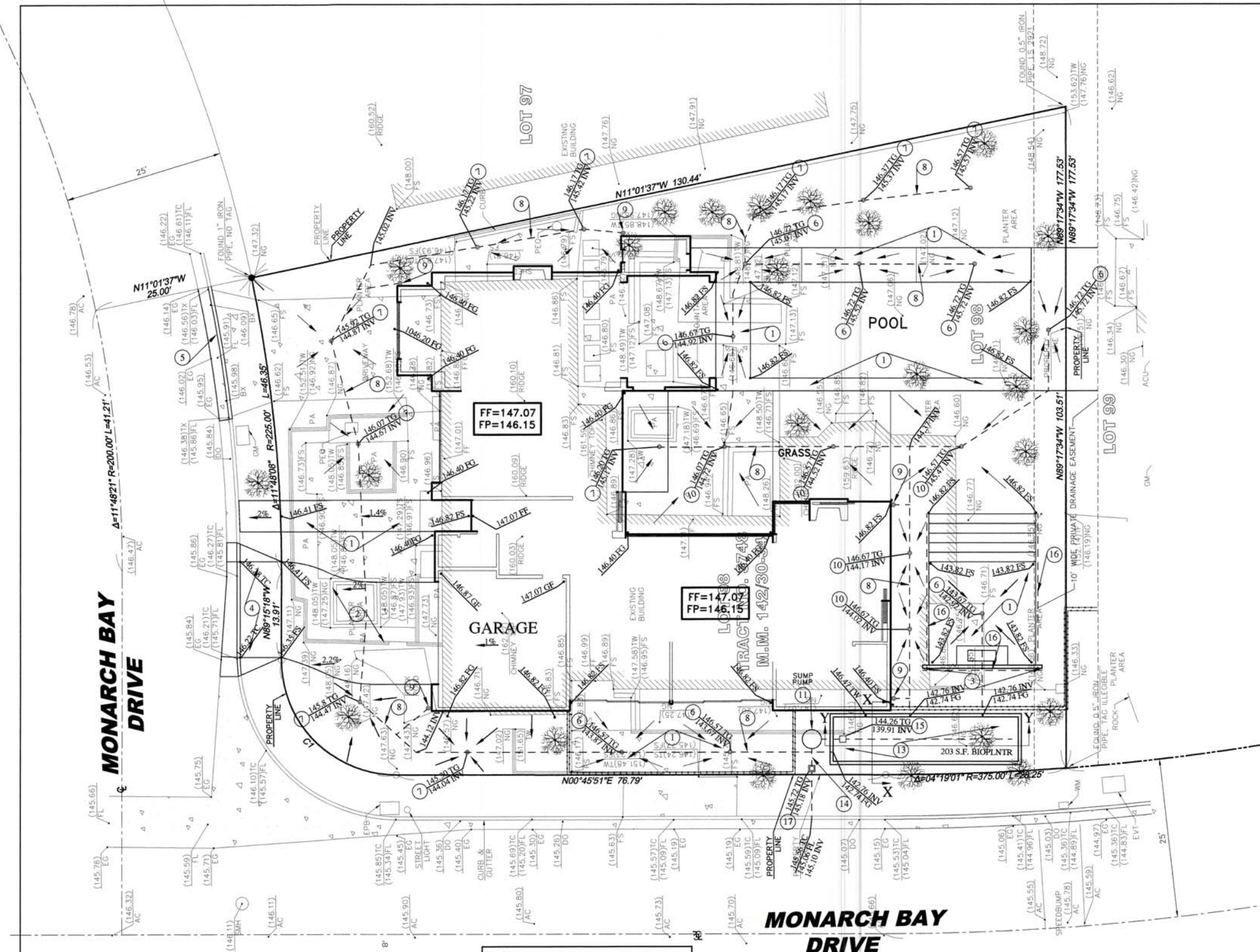
- SHEET 1; TITLE SHEET  
SHEET 2; GRADING PLAN  
SHEET 3; SECTIONS  
SHEET 4; EROSION CONTROL  
SHEET 5; TOPOGRAPHIC SURVEY



VICINITY MAP  
NO SCALE

ORIGINAL SCALE: 1" = 8'





| QUANTITY ESTIMATE | CONSTRUCTION NOTES :  |
|-------------------|---|
| 2246 S.F.         | 1. CONSTRUCT ON-SITE PATIO/WALKWAY. SEE DETAIL HEREON   |
| 175 S.F.          | 2. CONSTRUCT NEW CONCRETE DRIVEWAY PER SOILS ENGINEERS RECOMMENDATIONS. (SEE DETAIL HEREON) SEE LANDSCAPE PLANS FOR MATERIAL TYPE   |
| 19 L.F.           | 3. CONSTRUCT ON-SITE RETAINING WALL (SEPARATE PERMIT REQUIRED) SEE RETAINING WALL PLANS FOR WALL CONSTRUCTION DETAILS.  |
| 132 S.F.          | 4. CONSTRUCT NEW DRIVE APPROACH PER COUNTY R.D.M.D. STD. NO. 1209 (W=15', X=3')   |
| 22 L.S.           | 5. REMOVE EXIST. DRIVE APPROACH AND CONSTRUCT NEW CURB & GUTTER PER COUNTY R.D.M.D. STD. NO.  |
| 8 EA.             | 6. CONSTRUCT 3" DIA. BRASS DECK DRAIN INLET (FLAT GRATE)  |
| 8 EA.             | 7. CONSTRUCT 6" DIA. AREA DRAIN INLET (DOMED GRATE). NDS MODEL 80. OR APPROVED EQUAL. PROVIDE 6" WIDE BY 4" DEEP GRAVEL (1" GRAVEL MIN.) APRON AROUND DRAINS IN PLANTER AREAS |
| 491 L.F.          | 8. CONSTRUCT 4" DIA. P.V.C. (SCH. 40 OR SDR-35) DRAIN PIPE AT 0.50% MIN. SLOPE.   |
| 5 EA.             | 9. CONNECT ROOF DOWNSPOUT TO UNDERGROUND DRAINAGE SYSTEM.   |
| 5 EA.             | 10. CONSTRUCT 12" SQUARE LAWN AREA DRAIN CATCH BASIN (FLAT GRATE)   |
| 1 EA.             | 11. CONSTRUCT SUMP PUMP PER MANUFACTURERS SPECIFICATIONS  |
| 93 L.F.           | 12. CONSTRUCT BLOCK WALL ALONG PROPERTY LINE (SEE WALL PLANS)   |
| 194 S.F.          | 13. CONSTRUCT BIORETENTION PLANTERS (FOR WATER QUALITY) PER DETAIL ON SHEET 3   |
|                   | 14. CONSTRUCT 3" DIA. FORCE MAIN  |
|                   | 15. BIORETENTION PLANTER OVERFLOW DRAIN   |
| 68 L.F.           | 16. CONSTRUCT 4" DIA. PERFORATED P.V.C. (SCH. 40 OR SDR-35) SUBDRAIN PIPE AT 0.50% MIN. SLOPE. (SEE DETAIL ON SHEET 3)  |
| 1 EA.             | 17. CONSTRUCT 12" SQUARE BOTTOMLESS AREA DRAIN CATCH BASIN (FLAT GRATE) FOR WATER QUALITY PER CITY STD. DP-202  |

**CIVIL ENGINEERS NOTES :**

- THE DISTINCTIVE BOUNDARY SHOWN HEREON WAS PLOTTED PER ON-SITE FIELD OBSERVATIONS. ALL BEARINGS AND DISTANCES ARE MEASURED, UNLESS NOTED OTHERWISE.
- LICENSED CIVIL ENGINEER OF RECORD SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.
- PLEASE CALL THE LICENSED CIVIL ENGINEER OF RECORD...PETE DUCA @ 949-675-4487 TO SCHEDULE CONSTRUCTION STAKING AND ALL CERTIFICATIONS
- THE LICENSED CIVIL ENGINEER OF RECORD TO SUBMIT A "RECORD OF SURVEY" OR "CORNER RECORD" TO THE COUNTY SURVEYOR. EVIDENCE OF SUBMITTAL TO BE SUBMITTED TO THE BUILDING INSPECTOR AT OR PRIOR TO FOUNDATION INSPECTION.

| LEGEND: |                                       |
|---------|---------------------------------------|
|         | P.C.C. CONCRETE                       |
|         | NEW BLOCK RETAINING WALL              |
|         | DIRECTION OF FLOW                     |
|         | PROPOSED ELEVATION                    |
|         | FINISH SURFACE ELEV.                  |
|         | FINISH GRADE ELEV.                    |
|         | TOP OF CURB                           |
|         | EXISTING GRADE ELEV.                  |
|         | ELEVATION OF SHOT SURVEY PT. REF. NO. |
|         | T.W. --- TOP OF WALL                  |
|         | T.S.W. --- TOP OF STEM WALL           |
|         | T.F.C. --- TOP OF FOUND. CURB         |
|         | F.L. --- FLOW LINE                    |
|         | G.B. --- GRADE BREAK                  |
|         | F.F. --- FINISH FLOOR                 |
|         | G.F. --- GARAGE FLOOR                 |
|         | T.F. --- TOP OF FOOTING               |
|         | INV. --- PIPE INVERT ELEV.            |
|         | SIZE OF BOX TREE                      |
|         | AREA DRAIN                            |
|         | ROOF DOWN SPOUT                       |

**NOTES:**

ALL RECOMMENDATIONS FOUND IN THE SOILS AND GEOLOGY REPORTS SHALL BE INCORPORATED AS A PART OF THIS PLAN. CONTRACTOR SHALL OBTAIN A SEPARATE ENCROACHMENT PERMIT FROM THE CITY FOR ANY WORK WITHIN THE CITY RIGHT-OF-WAY.

**NOTE:**

- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND GENERAL SITE DIMENSIONS.
- REFER TO ARCHITECTURAL PLANS FOR ANY SECTIONS SHOWN HEREON.
- MAINTAIN A MIN. OF 2% FALL ON CONC. AWAY FROM BUILDING. 5% MIN. ON FINISHED GRADE.
- REFER TO ARCHITECTURAL SITE DEMO PLAN FOR ALL ON-SITE REMOVALS AND IMPROVEMENTS TO BE PROTECTED IN PLACE.



*Pete J. Duca*  
3-17-21

**LOT AREA :**  
11,256.94 SQ. FT.  
0.26 AC.

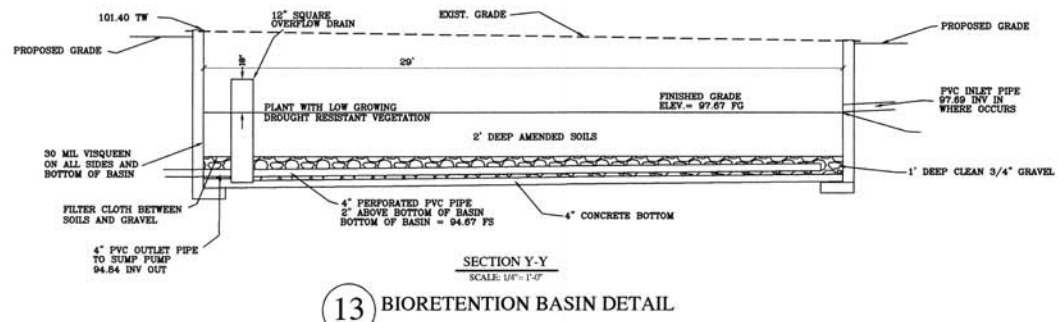
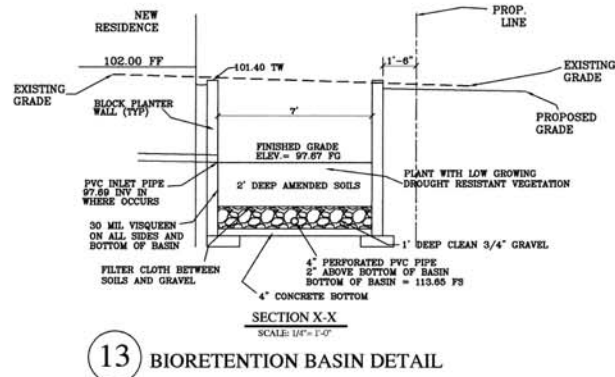
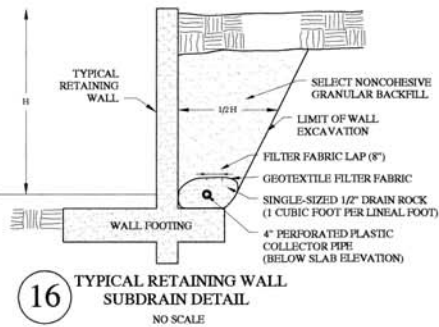
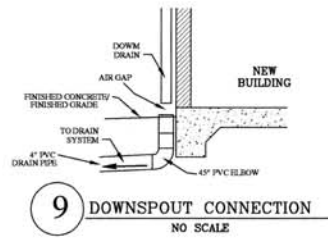
**APN NUMBER :**  
670-111-30

**BASIS OF BEARINGS :**  
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF QUEEN CATHERINE COURT BEING N 0°45'26" E AS SHOWN ON TRACT NO. 3748.

| REVISION | DESCRIPTION | APPROVED | DATE | SCALE:  | DESIGNED: | DRAWN: | CHECKED: | PLANS PREPARED BY: | BENCHMARK  | APPROVED BY THE CITY OF DANA POINT  | PLANS REVIEWED BY:   | CITY OF DANA POINT                          | ENG 20-0XXXX  |
|----------|-------------|----------|------|---------|-----------|--------|----------|--------------------|--|---|--|---|---------------|
|          |             |          |      | 1" = 8' | G.A.G.    | G.A.G. | P.J.D.   | DUCA-McCOY, INC.   | COUNTY OF ORANGE BENCHMARK 3P-35-04 ELEVATION=157.95 NAVD 88 DATUM ESTABLISHED A T.B.M. AT THE TOP OF CURB ON CROWN COAST DR. AT THE S.W. CORNER OF THIS PROPERTY. BLEV.=115.53 TC TBM | THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: | CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 3002 GOLDEN LANTERN DANA POINT, CA 92629 | GRADING PLAN 200 MONARCH BAY DANA POINT, CA | CONTRACT NO.  |
|          |             |          |      |         |           |        |          |                    |  |   |  |   | 2 OF 5 SHEETS |

1st SUBMITTAL



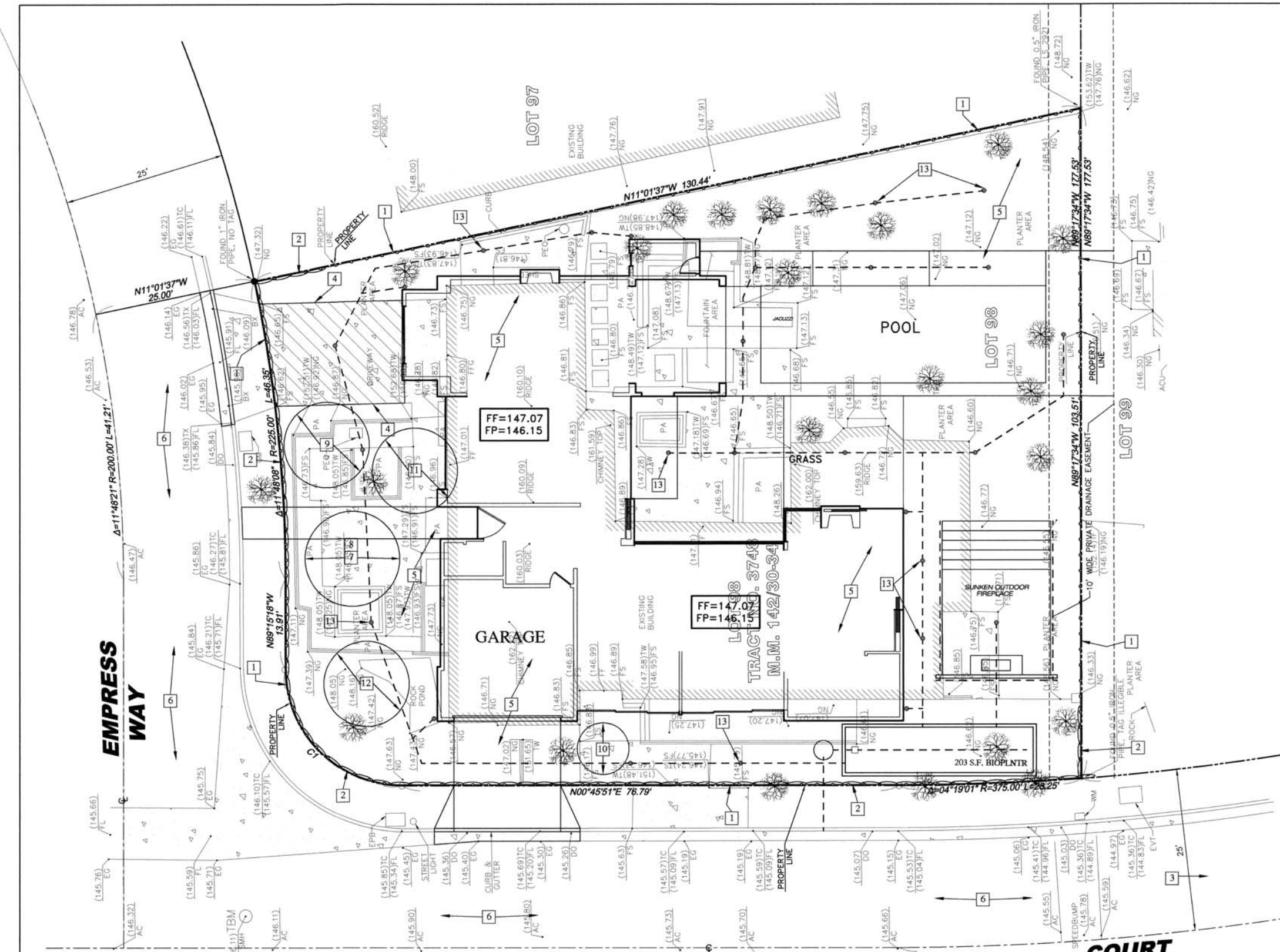


*Red 12/10/20*

LEGAL DESCRIPTION: LOT 98 OF TRACT NO. 3748

| REVISION | DESCRIPTION | APPROVED | DATE | SCALE:<br>1" = 8' | DESIGNED:<br>G.A.G. | DRAWN:<br>G.A.G. | CHECKED:<br>P.J.D. | PLANS PREPARED BY:<br><b>DUCA-McCOY, INC.</b><br>3840 E. COAST HIGHWAY<br>CORONA DEL MAR, CA 92625<br>PH: (949) 675-4487 FAX: (949) 675-4456 | BENCHMARK<br>COUNTY OF ORANGE BENCHMARK<br>3P-35-04<br>ELEVATION=157.955 NAVD 88 DATUM<br>ESTABLISHED A T.B.M. AT THE TOP OF<br>CURB ON CROWN COAST DR. AT THE<br>S.W. 1/4 CORNER OF THIS PROPERTY<br>ELEV.= 115.53 TC TBM | APPROVED BY THE CITY OF DANA POINT<br>PLANNING DEPARTMENT<br>THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY<br>AND MEETS THE REQUIREMENT OF THE DANA POINT<br>MUNICIPAL CODE:<br><br>CITY PLANNING DEPARTMENT<br>DATE | PLANS REVIEWED BY:<br>CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES<br>33252 GOLDEN LARKER<br>DANA POINT, CA 90259<br><br>MATTHEW V. SINACORI, CIVIL ENGINEER<br>RCE # 59239 EXP 06/00/21<br>THIS PLAN IS REVIEWED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARD<br>REQUIREMENTS, CITY CODES, & OTHER GENERAL ENGINEERING & REGULATORY REQUIREMENTS<br>ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY. | CITY OF DANA POINT<br>GRADING PLAN<br>200 MONARCH BAY<br>DANA POINT, CA | ENG 20-0XXXX<br>CONTRACT NO.<br>3 OF 5 SHEETS |
|----------|-------------|----------|------|-------------------|---------------------|------------------|--------------------|--|--|--|---|---|---|
|          |             |          |      | ACAD FILE NO.     |                     |                  |                    |  |  |  |   |   |   |
|          |             |          |      | PROJECT NO.       |                     |                  |                    |  |  |  |   |   |   |
|          |             |          |      |                   | PETE J. DUCA        | ENGINEER OF WORK | R.C.E. NO.         |  |  |  |   |   |   |





- SILTATION AND SEDIMENT CONTROL MEASURES:**
1. THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEARED TO DESIGN CONTOURS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL ESTABLISHED ON ALL EROSION PRONE SLOPES. SEDIMENT BASINS MUST BE DESIGNED IN ACCORDANCE WITH SECTION A OF THE STATE OF CALIFORNIA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES (GENERAL PERMIT), WHEN APPLICABLE. FOR PROJECTS NOT SUBJECT TO THE GENERAL PERMIT, SIZING SHALL BE IN ACCORDANCE WITH THE CITY'S GRADING AND EXCAVATION CONTROL ORDINANCE.
  2. SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
  3. SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHOULD BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE.
  4. ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS WITH A TOP ELEVATION TWO SANDBAGS BELOW THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE BUT NOT TO EXCEED THE FOLLOWING:

| GRADE OF THE STREET | INTERVAL    |
|---------------------|-------------|
| LESS THAN 2%        | AS REQUIRED |
| 2% TO 4%            | 100 FEET    |
| 4% TO 10%           | 50 FEET     |
| OVER 10%            | 25 FEET     |
  5. AFTER SEWER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR GROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT THE CENTERLINE OF A CROWNED STREET.
  6. ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAY AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET.
  7. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

| GRADE OF CHANNEL | INTERVALS BETWEEN CHECK DAMS |
|------------------|------------------------------|
| LESS THAN 3%     | 100 FEET                     |
| 3% TO 6%         | 50 FEET                      |
| OVER 6%          | 25 FEET                      |
  8. PROVIDE VELOCITY CHECK DAMS IN ALL PAVED STREET AREAS ACCORDING TO RECOMMENDED CRITERIA INDICATED ON THE ENCLOSED GRAPH ENTITLED "SANDBAG BARRIER SPACING FOR EROSION CONTROL IN GRADED STREETS". VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE CITY ENGINEER, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE VELOCITY CHECK DAMS. MAY ALSO SERVE AS SEDIMENT TRAPS.
  9. PROVIDE EFFECTIVE INLET PROTECTION BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.
  10. SAND/GRAVEL BAGS AND FILL MATERIAL, AND OTHER BMP MATERIALS SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.
  11. ALL EROSION AND SEDIMENT CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RUNOFF PRODUCING STORM. IF POSSIBLE, MAINTENANCE CREWS WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.
  12. PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOW THAT MAY BE ANTICIPATED FROM DENUDED SLOPES, OR FROM IMPERVIOUS SURFACES.
  13. ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE CITY AGENCIES.
  14. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AS NECESSARY TO ENSURE THAT ON-SITE SEDIMENT IS NOT TRANSPORTED OFF SITE.

- EROSION CONTROL NOTES :**
1. CONSTRUCT SILT FENCE ON PROPERTY LINE (WHERE NECESSARY) FOR EROSION CONTROL. BMP SE-1
  2. INSTALL STRAW WADDLE FOR EROSION CONTROL. BMP SE-5
  3. PROVIDE DOWNSTREAM INLET PROTECTION BMP SE-10
  4. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE BMP TC-1 (MODIFIED)
  5. PROVIDE WIND EROSION CONTROL PER BMP WE-1
  6. PROVIDE STREET SWEEPING AND VACUUMING PER BMP SE-7
  7. PROVIDE MATERIAL DELIVERY AND STORAGE AREA PER BMP WM-1
  8. PROVIDE STOCKPILE MANAGEMENT AREA PER BMP WM-3
  9. PROVIDE CONCRETE WASTE MANAGEMENT AREA PER BMP WM-8
  10. PROVIDE SANITARY/SEPTIC WASTE MANAGEMENT AREA PER BMP WM-9
  11. PROVIDE VEHICLE AND EQUIPMENT MAINTENANCE AREA PER BMP NS-10
  12. PROVIDE SOLID WASTE MANAGEMENT AREA PER BMP WM-5
  13. PROVIDE ON-SITE INLET PROTECTION BMP SE-10

**EROSION CONTROL LEGEND:**

Gravel Bags  
Silt Fence

**LEGEND:**

--- P.C.C. CONCRETE  
--- NEW BLOCK RETAINING WALL  
--- DIRECTION OF FLOW  
--- PROPOSED ELEVATION  
F.S. --- FINISH SURFACE ELEV.  
F.G. --- FINISH GRADE ELEV.  
T.C. --- TOP OF CURB  
E.G. --- EXISTING GRADE ELEV.  
\* 56: 98.90 TC  
--- ELEVATION OF SHOT SURVEY PT. REF. NO.

T.W. --- TOP OF WALL  
T.S.W. --- TOP OF STEM WALL  
T.F.C. --- TOP OF FOUND. CURB  
F.L. --- FLOW LINE  
G.B. --- GRADE BREAK  
F.F. --- FINISH FLOOR  
G.F. --- GARAGE FLOOR  
T.F. --- TOP OF FOOTING  
INV. --- PIPE INVERT ELEV.  
24' --- SIZE OF BOX TREE  
--- AREA DRAIN  
--- ROOF DOWN SPOUT

**NOTES:**

ALL RECOMMENDATIONS FOUND IN THE SOILS AND GEOLOGY REPORTS SHALL BE INCORPORATED AS A PART OF THIS PLAN. CONTRACTOR SHALL OBTAIN A SEPARATE ENCROACHMENT PERMIT FROM THE CITY FOR ANY WORK WITHIN THE CITY RIGHT-OF-WAY.

**NOTE:**

1. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND GENERAL SITE DIMENSIONS.  
2. REFER TO ARCHITECTURAL PLANS FOR ANY SECTIONS SHOWN HEREON.  
3. MAINTAIN A MIN. OF 2% FALL ON CONC. AWAY FROM BUILDING. 5% MIN. ON FINISHED GRADE.  
4. REFER TO ARCHITECTURAL SITE DEMO PLAN FOR ALL ON-SITE REMOVALS AND IMPROVEMENTS TO BE PROTECTED IN PLACE.

**REVISION**

| REVISION | DESCRIPTION | APPROVED | DATE |
|----------|-------------|----------|------|
|          |             |          |      |
|          |             |          |      |
|          |             |          |      |
|          |             |          |      |

**SCALE:** 1" = 8'

**DESIGNED:** G.A.G.

**DRAWN:** G.A.G.

**CHECKED:** P.J.D.

**PLANS PREPARED BY:** DUCA-McCOY, INC.

**BENCHMARK:** 3840 E. COAST HIGHWAY CORONA DEL MAR, CA 92625 ELEVATION=155.636 NGVD 29 DATUM ESTABLISHED AT T.B.M. AT THE TOP OF SEWER MANHOLE ON QUEEN CATHERINE COURT ELEV=146.11 SMT/MTM

**APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT:** THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:

**CITY PLANNING DEPARTMENT**

**PLANS REVIEWED BY:** CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 32022 GOLDEN LANTERN DANA POINT, CA 92629

**MATTHEW V. SNACORE, CIVIL ENGINEER** No. 24668 12-31-21 CIVIL

**CITY OF DANA POINT**

**EROSION CONTROL PLAN**

**200 MONARCH BAY DANA POINT, CA**

**ENG 20-0XXX**

**CONTRACT NO.**

**4 OF 5 SHEETS**



## LEGEND

|       |  |
|-------|--|
| —     | BLOCK WALL   |
| —X—X— | CHAIN LINK FENCE (CLF)   |
| —O—O— | WROUGHT IRON FENCE (WIF)   |
| AC    | ASPHALT PAVEMENT   |
| BFP   | BACK FLOW PREVENTOR  |
| BX    | BOTTOM OF DRIVEWAY X   |
| C     | CENTERLINE   |
| CATV  | CABLE TV BOX   |
| CLF   | CHAIN LINK FENCE   |
| EG    | EDGE OF GUTTER   |
| ELP   | ELECTRICAL PANEL   |
| EP    | EDGE OF PAVEMENT   |
| EMH   | ELECTRICAL MANHOLE   |
| EPB   | ELECTRICAL PULL BOX  |
| FF    | FINISH FLOOR   |
| FL    | FLOWLINE   |
| FS    | FINISHED SURFACE   |
| GM    | GAS METER  |
| MH    | MANHOLE  |
| NG    | NATURAL GROUND   |
| PA    | PLANTER AREA   |
| SDMH  | STORM DRAIN MANHOLE  |
| SLPB  | STREET LIGHT PULL BOX  |
| SMH   | SEWER MANHOLE  |
| TC    | TOP OF CURB  |
| TS    | TOP OF STEP  |
| TX    | TOP OF DRIVEWAY X  |
| WIF   | WROUGHT IRON FENCE   |
| WM    | WATER METER  |
| WV    | WATER VALVE  |
| ( )   | EXISTING ELEVATION   |
| O     | SEARCHED, FOUND NOTHING, SET NOTHING                                     |
| TBM   | TEMPORARY BENCHMARK SET ON A SEWER MANHOLE (SMH) ELEVATION = 146.11 FEET |

| CURVE DATA |           |        |        |
|------------|-----------|--------|--------|
| CURVE      | DELTA     | RADIUS | LENGTH |
| C1         | 89°58'51" | 18.00' | 28.27' |

CONCRETE SURFACE

## TITLE REPORT/EASEMENT NOTES

200 MONARCH BAY DRIVE  
DANA POINT, CA 92629  
(APN: 670-111-30)

NO TITLE REPORT PROVIDED.

## LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF DANA POINT, COUNTY OF ORANGE,  
STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 98 OF TRACT NO. 3748, IN THE CITY OF DANA POINT, COUNTY OF  
ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 142,  
PAGE 30 TO 34 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE  
COUNTY RECORDER OF SAID COUNTY.

## BASIS OF BEARINGS

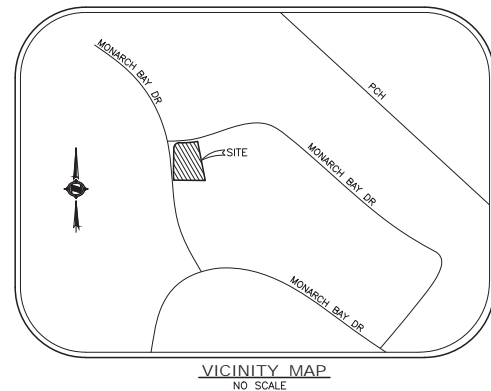
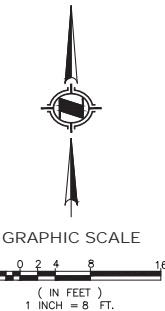
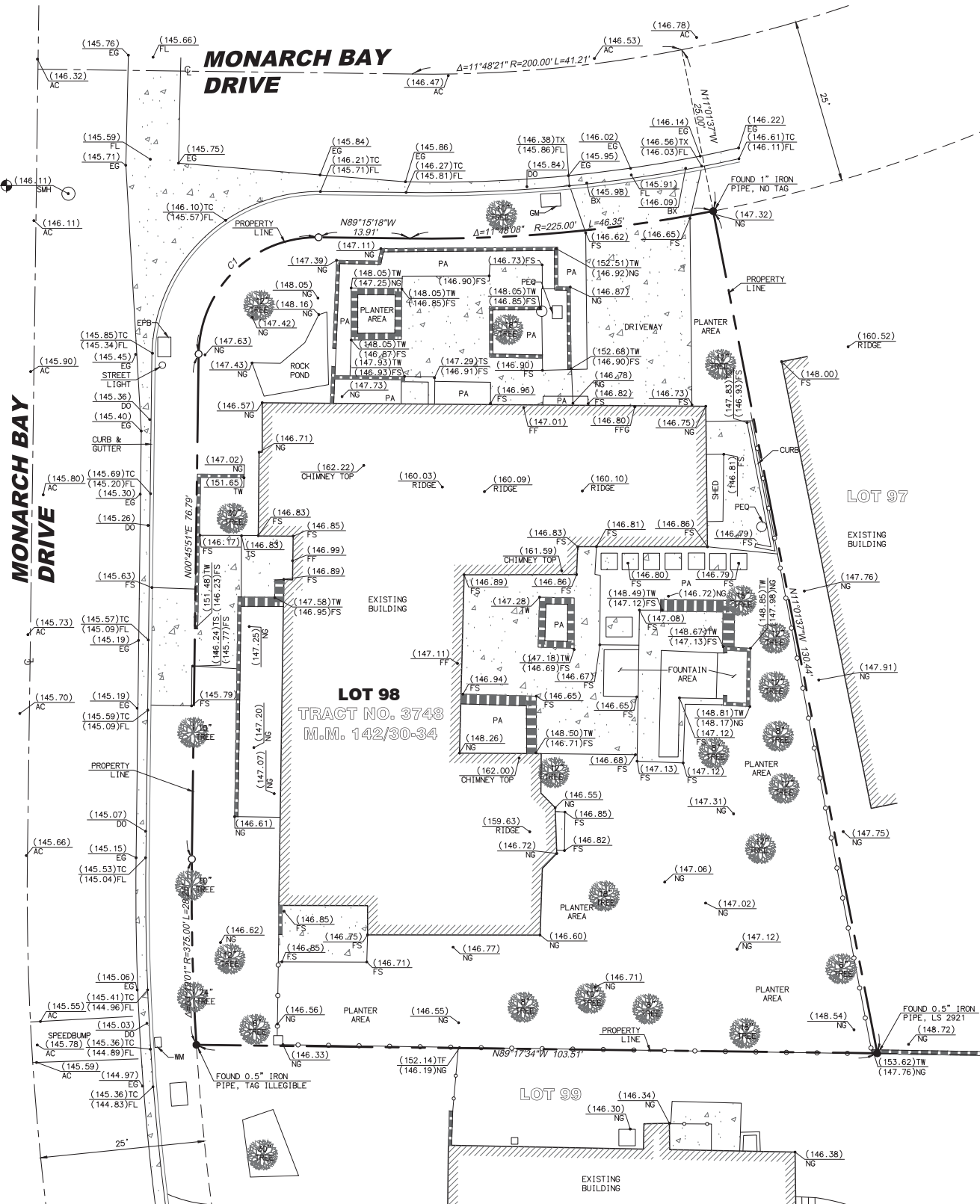
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE LINE OF MONARCH  
BAY DRIVE (EMPRESS WAY) HAVING A BEARING OF N33°11'56"E PER TRACT NO. 3748,  
M.M. 142/30-34.

## BENCHMARK INFORMATION

BENCHMARK NO: 3P-35-04

DESCRIBED BY OCS 2004 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK  
STAMPED "3P-35-04", SET IN THE EASTERLY CORNER OF A 15 FT. BY 4.5 FT.  
CONCRETE CATCH BASIN MONUMENT IS LOCATED IN THE NORTHERLY CORNER  
OF THE INTERSECTION OF PACIFIC COAST HIGHWAY AND CROWN VALLEY  
PARKWAY, 51 FT. NORTHEASTERLY OF THE CENTERLINE OF PCH AND  
70 FT. NORTHWESTERLY OF THE CENTERLINE OF CROWN VALLEY PARKWAY.  
MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 155.636 FEET (NGVD29), YEAR LEVELED 2004

VICINITY MAP  
NO SCALE

## SURVEYOR'S NOTES

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY  
CORNERS OR OFFSETS BEFORE STARTING GRADING.

PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.



PAUL D. CRAFT, P.L.S. 8516  
LICENSE RENEWAL DATE 12/31/22

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE  
STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A  
LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE  
PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING  
DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION  
REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE  
CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE,  
EITHER EXPRESSED OR IMPLIED.

**APEX LAND SURVEYING INC.**  
HUNTINGTON BEACH, CALIFORNIA 92646  
PHONE: (714) 488-5006 FAX: (714) 333-4440  
APEXLSINC@GMAIL.COM

PROJECT SURVEYOR

|         |          |
|---------|----------|
| DATE    | 3/5/2020 |
| SCALE   | 1" = 8'  |
| DRAWN   | J. A. H  |
| CHECKED | P. D. C. |

TOPOGRAPHIC MAP

200 MONARCH BAY DRIVE  
DANA POINT, CA 92629  
APN: 670-111-31

SHEET TITLE

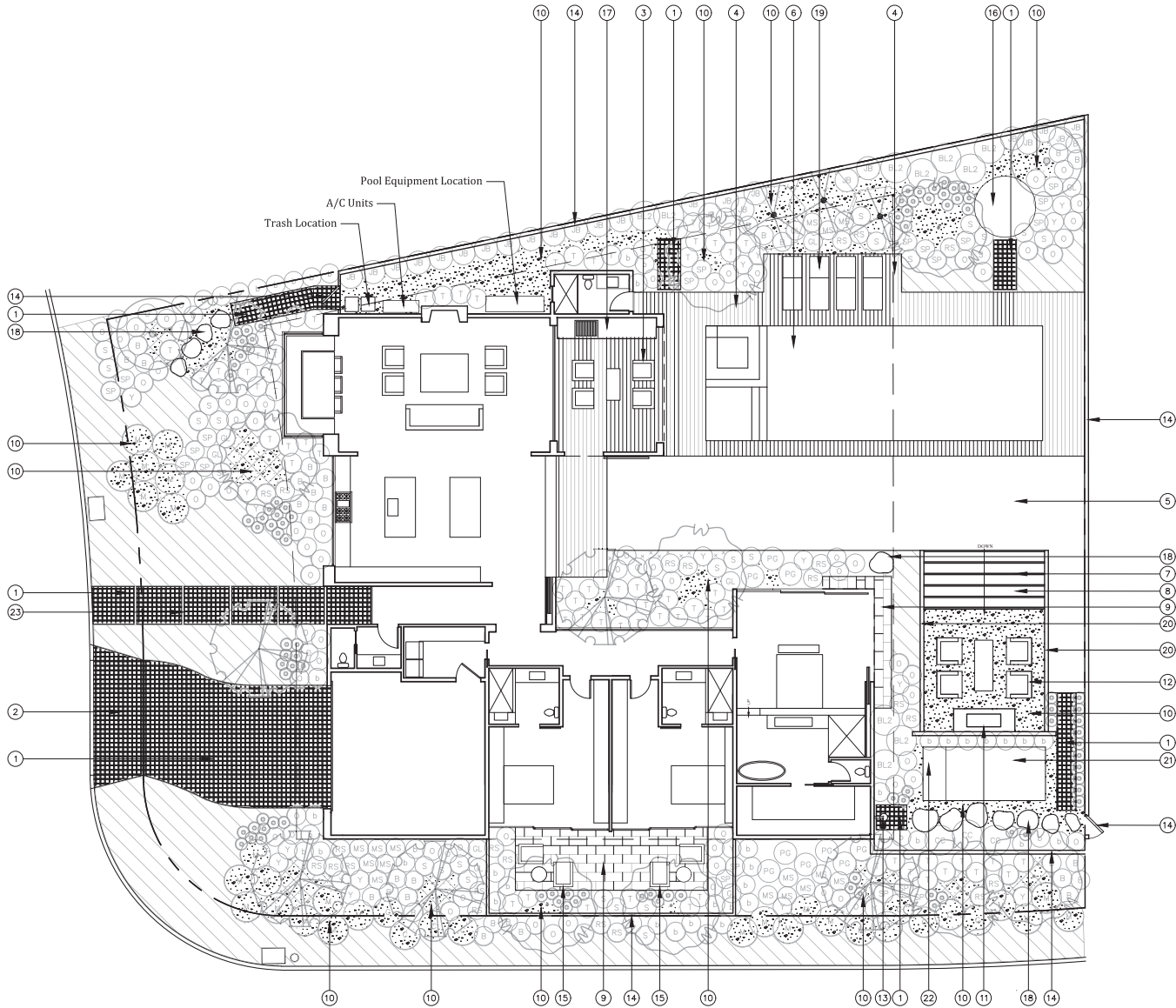
SHEET NO.

1 OF 1

JUN 20015

Construction Notes:

- A. Contractor shall examine the site of proposed work noting existing conditions and proposed work as shown on the plans, Notify landscape designer of discrepancies
- B. Contractor shall stake proposed work prior to construction for review by landscape designer
- C. Protect existing utilities, paving and structures from damage, Trenching adjacent to existing tree drip lines to be done by hand to avoid root damage
- D. Construction and installation of all landscape items shall be according to State, County, and Local codes, Ordinances and up to CAL\_OSHA safety orders regarding performance of work
- E. Contractor to obtain required permits and comply with applicable codes
- F. All Concrete edges to be 1/8" trowel
- G. All Stucco edges to be 1/8" trowel
- H. Contractor is responsible for damage to underground utilities and shall replace or repair same required at contractors expense
- I. Contractor shall assemble material samples including: flagstone, gravel, DG, stains, Stucco, etc, for review by owner and landscape designer prior to construction
- J. coordinate electrical, low voltage, and irrigation conduit sleeves prior to installation of new pavement.
- K. Contractor to coordinate work with other trades
- L. Verify grades and elevations in field and notify landscape design of discrepancies
- M. Contractor to review site for proper drainage and report apparent problems to landscape designer
- N. Contractor to verify location of any surface drains in concrete surface prior to pour for location verification by owner and landscape designer
- O. Contractor shall install this project utilizing the landscape industries B.M.P, Best Management Practices
- P. Contractor to Provide Direct Drainage, Low Voltage, and Irrigation to All Pots
- Q. Contractor to verify proper soil preparation specific to project climate, native soil, site conditions.
- R. CONTRACTOR TO REVIEW, SIGN, AND APPROVE GARDEN STUDIO'S DESIGN/CONSTRUCTION NOTEBOOK AND AGREES TO BUILD PER THE SPECIFICATIONS IN THE NOTEBOOK



HARDSCAPE LEGEND

- 6" x 6" Limestone, TBD
  - Grout Spacing and Grout Color, TBD
- Driveway Apron
- (4x) Club Chairs and a Coffee Table, TBD
- Grade 'A' Wood 'Teak' Decking
- Grass
- Pool with Integrated Spa
  - Plaster Color, TBD
  - Pool Tile, TBD
- 6"ht. x 2" Step Face, Stone to match House
- Grass Step Treads
- 18" x 30" Limestone, TBD
- 3/8" Crushed 'Palm Springs' Gravel
- Fire Pit, See Sheet L-3 Fire Pit Elevation
- (4x) Club Chairs with Coffee Table, TBD
- Outdoor Shower, See Sheet L-3 Outdoor Shower Elevation
- Garden Fence with Gate, See Sheet L-3 Garden Fence and Gate Elevation
- (2x) Club Chairs with (1x) Side Tables, TBD
- Free Standing Sauna, TBD
- Built-In BBQ, See Sheet L-3 Built-In BBQ Elevation
- Flagstone Steppers, TBD
- (4x) Chaise Lounge Chairs, TBD
- Retaining Walls with Stone Wrap, Stone to match House
- Golf Simulator Artificial Turf
- SkyTrak Golf Simulator, See Golf Simulator Elevation Sheet L-3
- 4" Green Seams Throughout Front Entry Path

LOT COVERAGE

Total Lot:12,560 S.F.  
Building Footprint (27.15%): 3,410 S.F.  
Hardscape (23.34%): 2,932 S.F.  
Softscape (44.25%): 5,558 S.F.  
Pool (5.25%): 660 S.F.

Note: Refer to Civil Engineer's Plans for all Spot Elevations and Proposed Grading and Drainage

Black Residence  
200 Monarch Bay Dr.  
Dana Point, California

Contractor to Field Verify  
All Measurements and  
Confirm Details to Provide  
Accurate Bid

|           |            |
|-----------|------------|
| Date      | 11.13.2020 |
| Revisions |            |
|           | 12.07.2020 |
|           | 03.19.2021 |
|           |            |
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|           |            |
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Sheet

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Of 5

Job No. 0000



SCALE:1/8"=1'-0"

Landscape Plan

Black Residence  
200 Monarch Bay Dr.  
Dana Point, California

























Contractor to Field Verify  
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Confirm Details to Provide  
Accurate Bid

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|-----------|------------|
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Sheet  
**L-2**  
Of 5  
Job N<sup>o</sup>. 0000

Plant List:

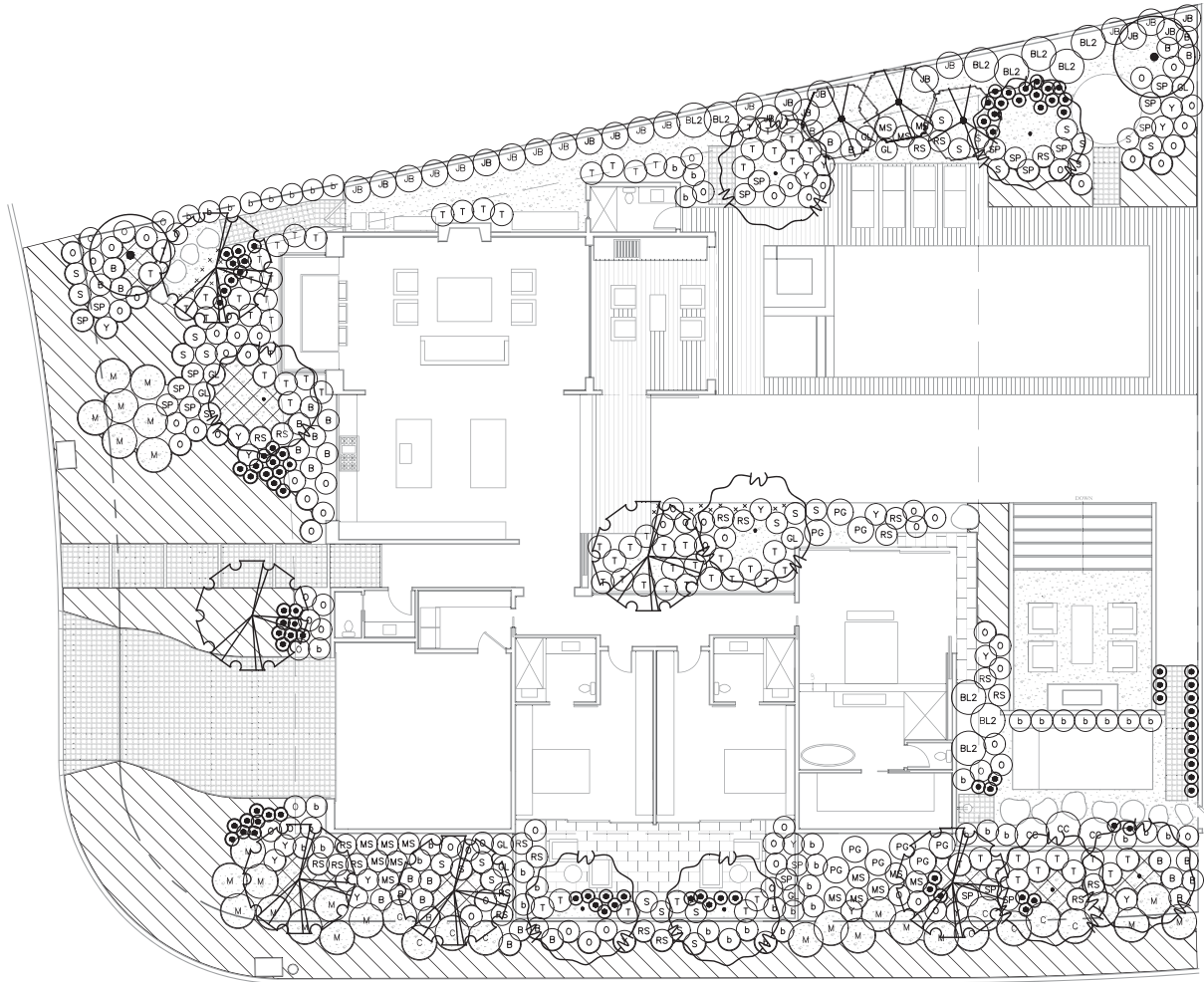
|   | Trees  | Size     | Qty | To Be Maintained At (Height x Spread) |
|---|--|----------|-----|---------------------------------------|
|    | Maytenus boaria<br>Mayten Tree   | 36" box  | 2   | 16' x 8'                              |
|    | Olea Europaea<br>Olive Tree  | Specimen | 8   | Roof Height x 15'                     |
|    | Laurus nobilis<br>Bay Laurel   | 36" box  | 3   | 16' x 15'                             |
|    | Quarcus agrifolia<br>Coastal Live Oak                                    | 48" Box  | 6   | 16' x 15'                             |
|   | Shrubs   | Size     | Qty |                                       |
|    | Laurus nobilis<br>Bay Laurel   | 1 gal.   | 46  | 3' x 3'                               |
|    | Bouteloua gracilis 'Blonde Ambition'<br>Blonde Ambition Blue Grama Grass | 5 gal.   | 31  | 2' x 2'                               |
|    | Laurus nobilis<br>Bay Laurel   | 15 gal.  | 10  | 6' x 4'                               |
|    | Prunus caroliniana<br>Carolina Cherry Laurel                             | 15 gal.  | 3   | 6' x 4'                               |
|    | Gaura lindheimeri 'Whirling Butterflies'<br>Beeblossom                   | 1 gal.   | 9   | 3' x 2'                               |
|    | Elaeocarpus decipiens<br>Japanese Blueberry Tree                         | 15 gal.  | 25  | 8' x 3'                               |
|    | Olea europaea<br>Little Ollie  | 5 gal.   | 80  | 2' x 2'                               |
|    | Westringia fruticosa 'Mundi'<br>Low Coast Rosemary                       | 5 gal.   | 26  | 18" x 4'                              |
|    | Miscanthus sinensis 'Adagio'<br>Adagio Maiden Grass                      | 5 gal.   | 15  | 3' x 3'                               |
|    | Feijoa sellowiana<br>Pineapple Guava                                     | 15 gal.  | 9   | 6' x 4'                               |
|    | Perovskia artiplicifolia<br>Russian Sage                                 | 5 gal.   | 23  | 3' x 3'                               |
|    | Westringia fruticosa 'Smokey'<br>Coast Rosemary                          | 5 gal.   | 26  | 3' x 3'                               |
|   | Salvia mohavensis<br>Mojave Sage   | 5 gal.   | 21  | 3' x 3'                               |
|  | Trachelospermum jasminoides<br>Star Jasmine                              | 5 gal.   | 76  | 3' x 3'                               |
|  | Achillea millefolium 'Terracotta'<br>Terra Cotta Common Yarrow           | 1 gal.   | 20  | 2' x 4'                               |
|   | Groundcover- Medium  | Size     | Qty |                                       |
|  | Ceanothus 'Yankee Point'<br>California Lilac                             | 5 gal.   | 9   | 1' x 4'                               |
|  | Sesleria autumnalis<br>Autumn Moore Grass                                | 1 gal.   | 91  | 18" x 18"                             |
|   | Groundcover- Low   | Size     | Qty |                                       |
|  | Buchloe dactyloides<br>OC Verde Buffalo Grass                            | plugs    | 38  | 6" ht.                                |
|  | Viola hederacea<br>Australian Violet                                     | 4" Flats | 13  | 6" ht.                                |
|  | Viola hederacea<br>Australian Violet                                     | 4" Flats | 3   | 6"ht.                                 |

8.0 LANDSCAPE DESIGN CRITERIA

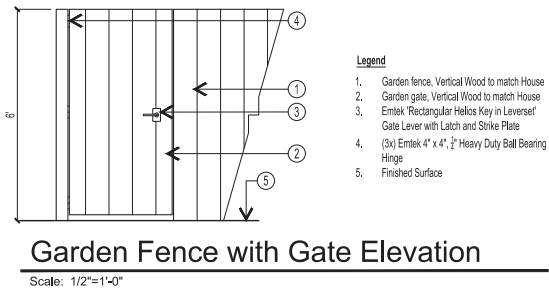
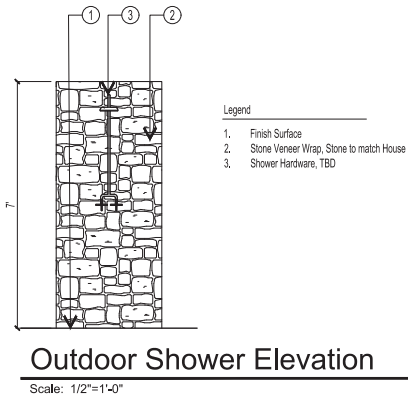
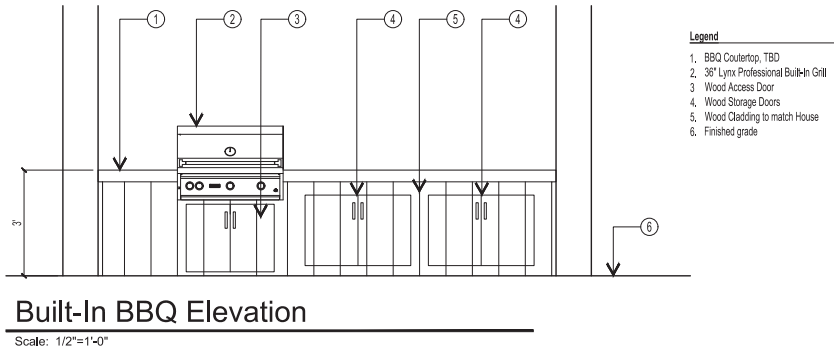
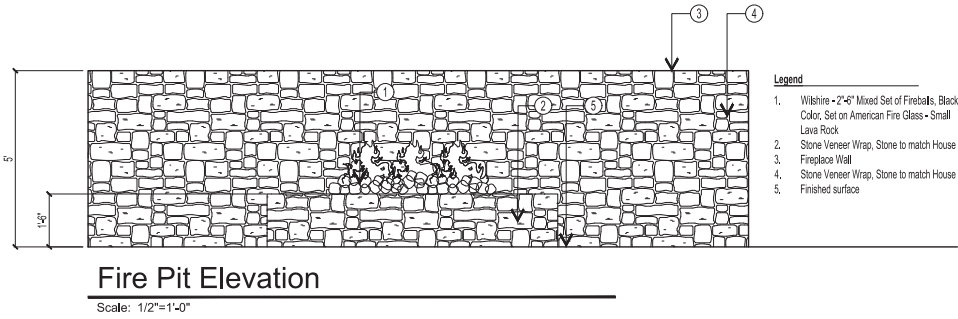
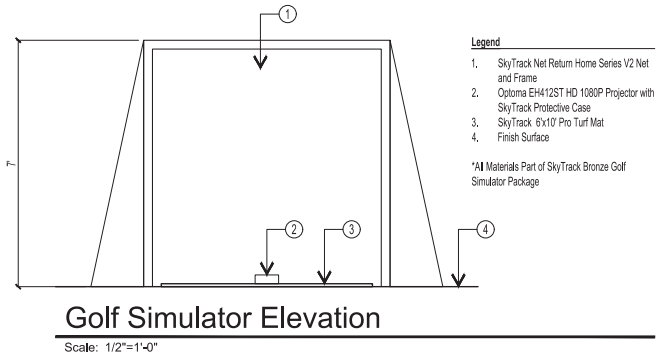
- 8.1 Allowed Height  
No tree, bush, shrub, hedge or other planting over three feet in height, or which is of the type which may grow to over three feet in height shall be planted or grown without prior approval of a landscape plan by the ACC. (Bylaws 12.12.6.1)
- 8.2 View Obstruction  
No owner shall permit any tree or other planting to grow to the point of obstructing the view from any other Lot, obstruction being defined as impact on seated view from the affected neighbor's lowest living level. In the event that any owner shall violate the provisions hereof, the Association may enforce the provisions hereof as provided in paragraph 12.15.2. (Bylaws 12. 12.6.2)



SCALE:1/8"=1'-0"  
Planting Plan







Black Residence  
200 Monarch Bay Dr.  
Dana Point, California

Contractor to Field Verify  
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Confirm Details to Provide  
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|           |            |
|-----------|------------|
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Of 5

Job N<sup>o</sup>. 0000

Black Residence

200 Monarch Bay Dr.

Dana Point, California

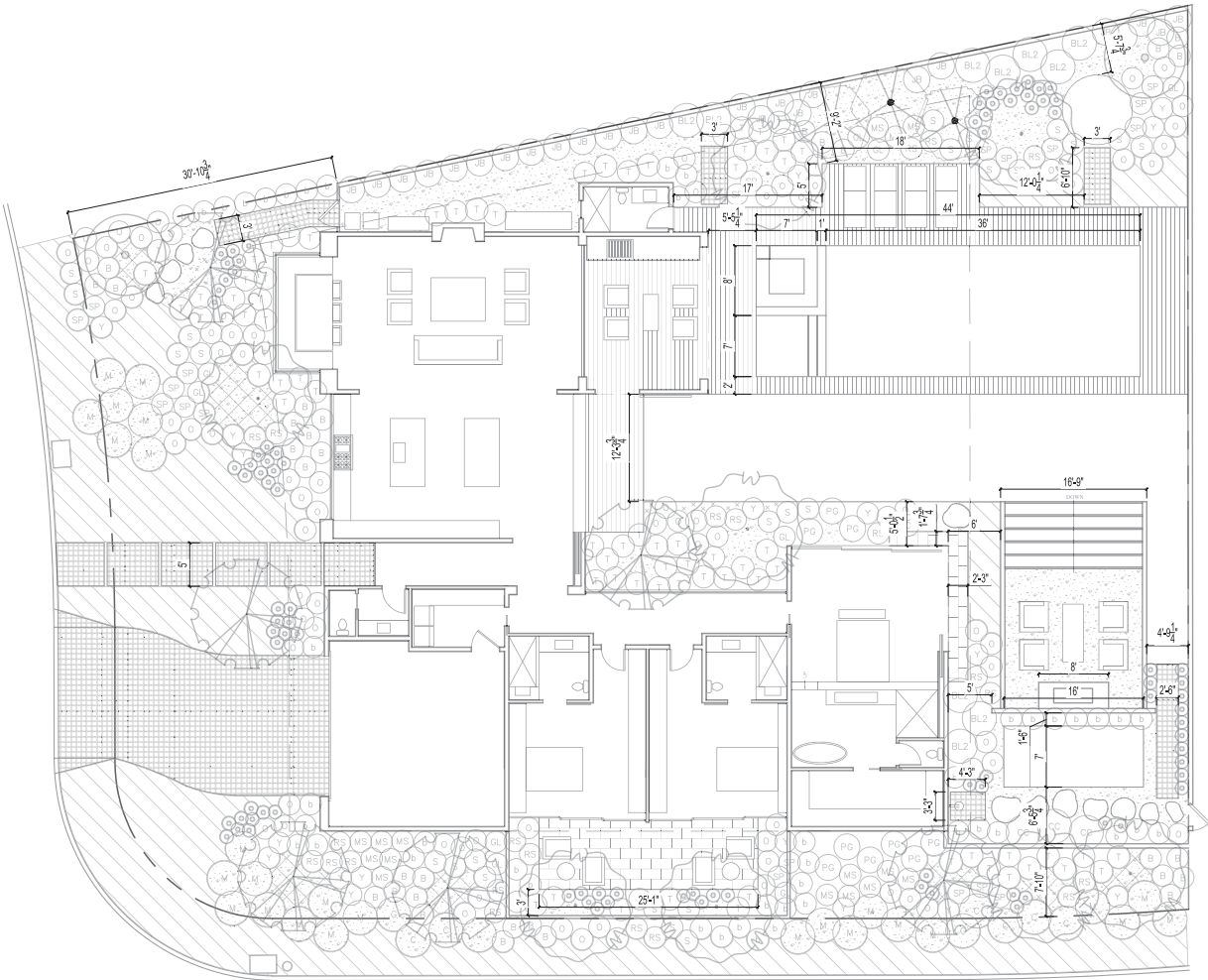
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Of 5  
Job No. 0000



SCALE:1/8"=1'-0"

Dimension Plan



Black Residence  
200 Monarch Bay Dr.  
Dana Point, California

Contractor to Field Verify  
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Confirm Details to Provide  
Accurate Bid

|           |            |
|-----------|------------|
| Date      | 11.13.2020 |
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|           | 12.07.2020 |
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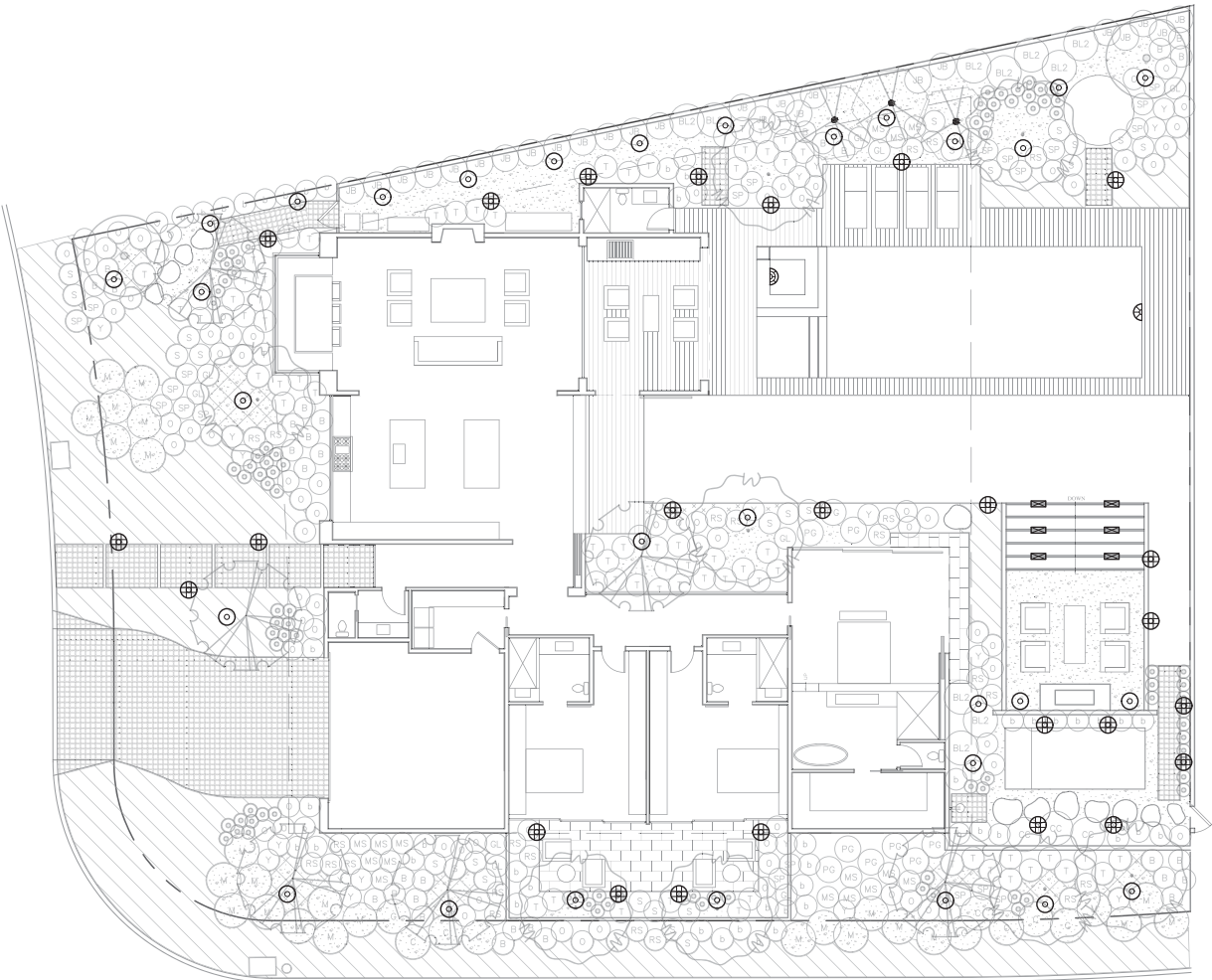
L-5

Of 5

Job No. 0000

LIGHTING LEGEND

| Symbol | Model        | Description                      | Finish       | Type     | Watts | Lumens | QTY |
|--------|--------------|----------------------------------|--------------|----------|-------|--------|-----|
| ⊕      | GSD-14-1-MBR | Path Lights                      | Matte Bronze | 12v LED  | 1.5   | 140    | 25  |
| ⊙      | GSD-11-1-MBR | Up Lights                        | Matte Bronze | 12v LED  | 1.5   | 140    | 30  |
| ⊗      | 601004       | IntelliBrite 5g Color Pool Light | Silver       | 120v LED | 26    | 1000   | 1   |
| ⊗      | 640120       | IntelliBrite 5g Color Spa Light  | Silver       | 120V LED | 18    | 400    | 1   |
| ⊞      | TOP-SL-602   | Step Light                       | Brass        | 12v LED  | 1.5   | 140    | 6   |






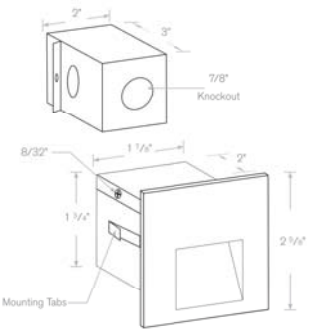
11798 Arroyo Street  
Garden Grove, CA 92641  
(949) 867-1336  
Fax: (949) 258-1390  
www.toplightsinc.com

SPECIFICATION SHEET


Step Lights



**Model:** TOP-SL-602  
**Material:** Brass  
**Finish:** Specify  
**Socket:** D1-pin  
**Electrical:** 12V  
**Mounting:** Recessed




ALL FINISHES & LED AVAILABLE!




2732 East Coast Highway  
Suite A, Corona del Mar, CA 92625  
info@gardenstudio.com  
Tel: (949) 673-5450  
gardenstudio.com

SPECIFICATION SHEET

Pathway Lights



**Model:** GSD-14-1-MBR  
**Material:** Brass  
**Finish:** Matte Bronze  
**Electrical:** 12V  
**Lamp:** 3.5W LED  
**Mounting:** 1/2" NPT, Spike Included



ALL FINISHES & LED AVAILABLE! Mounting: 1/2" NPT, Spike Included



2732 East Coast Highway  
Suite A, Corona del Mar, CA 92625  
info@gardenstudio.com  
Tel: (949) 673-5450  
gardenstudio.com

SPECIFICATION SHEET

Up Light



**Model:** GSD-11-1-MBR  
**Material:** Brass  
**Finish:** Specify  
**Electrical:** 12V  
**Lamp:** MR-16, LED  
**Mounting:** 1/2" NPT, Spike Included



INTELLIBRITE® 5G COLOR LED LIGHTS  
UNDERWATER LED LIGHTS FOR SWIMMING POOLS AND SPAS

**Featured Highlights**

- A superior reflector design ensures more light is directed toward the pool bottom to further increase intensity and color effects, while minimizing glare.
- Superior lens geometry distributes light in an optimum way to avoid "hot spots" on the pool bottom. Light intensity and color are distributed more uniformly throughout your pool.
- Pool lens can be rotated to 180 degrees to provide wide beam pattern (standard) or narrow beam pattern.
- IntelliBrite LED Light technology reduces use of the program and most energy efficient LEDs available in underwater pool and spa lights - up to 50% less energy consumption than competitor's lights.
- For ease of programming, IntelliBrite has a remote control that can be used to program the light to the evening - blue, green, magenta, white, and red or select from "Party" color show! Real color programming is available.
- IntelliBrite LED light was designed to work with IntelliBrite® and IntelliBrite® Automation, the leading control systems for pool, spa, and landscape equipment automation. In effect, you transfer control of IntelliBrite light to the IntelliBrite® or IntelliBrite® system which controls all your other landscape and pool features.
- IntelliBrite 5g Color Pool and Spa lights are backwards compatible with the previous IntelliBrite lights.
- Compatible with Pentair stainless steel and plastic niches.



IntelliBrite 5g Color LED Pool and Spa Lights

**CALIFORNIA PROPRIETARY WARNING**

**WARNING:** Cancer and Reproductive Harm  
See www.P65Warnings.ca.gov for more information.  
**WARNING:** Do not use in swimming pools or spas.  
www.intelbrite.com

All Pentair US Listed underwater lights are certified for use in fresh water with up to 0.000 ppm salinity.

**Ordering Information**

| Product                           | Voltage | Wattage | Beam Length (ft.) | Beam Type |
|-----------------------------------|---------|---------|-------------------|-----------|
| INTELLIBRITE 5G COLOR POOL LIGHTS |         |         |                   |           |
| 601000                            | 120     | 26W     | 30                | 1         |
| 601001                            | 120     | 26W     | 30                | 1         |
| 601002                            | 120     | 26W     | 100               | 1         |
| 601003                            | 120     | 26W     | 150               | 1         |
| 601004                            | 120     | 26W     | 250               | 1         |
| 601010                            | 12      | 26W     | 30                | 1         |
| 601011                            | 12      | 26W     | 30                | 1         |
| 601012                            | 12      | 26W     | 100               | 1         |
| 601013                            | 12      | 26W     | 150               | 1         |

**Dimensions and Certifications**



See pages 480-481 for replacement parts.



SCALE: 1/8" = 1'-0"

Lighting Plan