

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: MARCH 22, 2021

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR COMMUNITY DEVELOPMENT
JOHN CIAMPA, SENIOR PLANNER

SUBJECT: TENTATIVE PARCEL MAP TPM20-0003 AND CONDITIONAL USE
PERMIT CUP21-0005 TO ALLOW THE CONDOMINIUM CONVERSION
OF A RESIDENTIAL DUPLEX FOR INDIVIDUAL OWNERSHIP.

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Tentative Parcel Map TPM20-0003 and Conditional Use Permit 21-0005.

APPLICANT: Jay Skjerven

PROPERTY OWNER: Jay and Kim Skjerven

REQUEST: Approval of a Tentative Parcel Map and Conditional Use Permit for condominium purposes to allow individual ownership of an existing duplex in the Residential Duplex (RD 14) zoning district.

LOCATION: 26392 Via Canon units A and B (APN:123-173-13)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius on March 12, 2021, published within a newspaper of general circulation on March 12, 2021, and posted on March 12, 2021, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, Dana Point Library, as well as on the City of Dana Point website.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) and Section 153015 (Minor Land Divisions) in that project involves the division of an existing two (2) unit residential duplex into a condominiums where no physical changes are occurring that are otherwise exempt.

ISSUES:

1. Is the proposal consistent with the City's adopted General Plan?
2. Is the project compatible with, and an enhancement to the site and surrounding neighborhood?
3. Does the project satisfy all required findings pursuant to the City's Zoning Code for approving a Tentative Parcel Map and Conditional Use Permit?

BACKGROUND:

In 2017, the Planning Commission approved SDP16-0041(M) for two detached residential units. The 9,630 square foot through lot allowed for two independent units with attached garages, separate access, and private back yards. Each unit is 2,037 square feet with two-stories, four bedrooms, and three bathrooms. The property owner completed the development of the project in 2018 and has rented the units for the last three years.

DISCUSSION:

The applicant's proposing a Tentative Parcel Map (TPM) and a Conditional Use Permit (CUP) to convert the two units into condominiums to allow for the individual ownership of the dwelling units with their respective detached garages.

Tentative Parcel Map

Pursuant to Section 7.02.110 of the Dana Point Subdivision Code (DPSC), a TPM is required to subdivide a project to create less than five (5) condominium units. Conditions of approval are included in the resolution requiring the review of the CC&R's by City Staff and the City Attorney to ensure compliance with the conditions of approval, and requirements of both the California Subdivision Map Act and the City's Subdivision Code. As with all parcel maps proposing condominiums, the owner/developer submits a condominium plan and documents establishing a homeowner's association when submitting the Final Map's recordation.

Per Section 9.09.040(b)(2) of the DPZC the requirements to allow the conversion of apartments into condominiums includes the following:

1) Conversion projects shall provide high quality urban design by the provision of architectural enhancement, high quality landscaping, high quality construction, and improvements to the function of the site and project signage.

The project was approved in 2017 and complied with the RD 14 zoning district and the City's Design Guidelines. The units are contemporary Spanish architecture and reflect a high-quality design.

2) Privacy between residential units shall be enhanced through urban design, insulation,

and other means.

The project maintains the detached configuration and private garages for each unit to ensure the units are private. Each unit has separate utility metering and trash areas that are designated to ensure compliance with City regulations. The project's design as two detached units resembles two single-family residences to improve the visual quality and ensure the project is compatible with the neighborhood, which comprises single and multi-family structures.

3) Individual gas and/or electrical metering systems shall be provided for each dwelling unit.

The units are detached and have individual gas and electrical metering systems.

4) Where individual trash and recycling pick-up is not provided, common trash and recycling storage shall be provided within a totally walled and roofed structure with a roof not exceeding twelve (12) feet in height. All enclosures shall be located within two hundred (200) feet of all dwelling units.

The units have separate trash areas that comply with City regulations.

Section 7.05.060 of the Dana Point Subdivision Code establishes findings required to approve a subdivision. These findings relate to consistency with the General Plan and Zoning Code, adequacy of the site to accommodate the development and density, potential environmental impacts, and adequate utilities and improvements proposed to serve the subdivision. The TPM meets the City's Subdivision Code requirements and is consistent with the General Plan and Zoning designations. The site is suitable for the proposed type, and density of development as previously assessed through SDP16-0041(M), and the following findings supporting approval of the TPM can be made.

Findings:

1. That the proposed map is consistent with the City's General Plan;
2. That the design and improvement of the proposed subdivision is consistent with the City's General Plan;
3. That the site is physically suitable for the proposed type of development;
4. That the requirements of the California Environmental Quality Act have been satisfied;
5. That the site is physically suitable for the proposed density of development;
6. That the design of the subdivision and the proposed improvements are not likely to

cause substantial environmental damage or substantial and avoidable injury to fish or wildlife habitat;

7. That the design of the subdivision and the proposed improvements are not likely to cause serious public health problems;
8. That the design of the subdivision and the proposed improvements will not conflict with easements of record or established by court judgment or acquired by the public at large for access through or use of property within the proposed subdivision;
9. That the design and improvement of the proposed subdivision are suitable for the uses proposed and the subdivision can be developed in compliance with the applicable zoning regulations;
10. That the subdivision is not located in a fee area, or if located in a fee area, the subdivider has met the requirements or payment of the applicable fees or the subdivision would not allow development of a project which would contribute to the need for the facility for which a fee is required;
11. That the subdivision is located in an area which has access to adequate utilities and public services to support the development proposed within the subdivision or that the subdivision includes the provisions and improvements necessary to ensure availability of such utilities and services.

Conditional Use Permit (CUP)

A Conditional Use Permit is required for a condominium conversion per Section 9.09.040(b)(2) to ensure consistency with the General Plan and ensure there are no negative impacts on the adjacent properties. The project complies with the applicable development standards of the RD 14, including the condominium conversion requirements, to allow for the individual sale of the units.

Section 9.65.060 of the DPZC stipulates the standard three (3) findings to approve a Conditional Use Permit:

- 1. That the proposed conditional use is consistent with the General Plan.*
- 2. That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures.*
- 3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in this Code and required by the Commission or Council in order to integrate the use with existing and planned uses in the vicinity.*

The recommended findings for approval of the CUP are outlined in the draft Resolution No. 21-3-22-XX, attached to this report as Action Document 1.

CORRESPONDENCE:

To date, no correspondence has been received concerning the subject project.

CONCLUSION:

Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. Staff is therefore recommending that the Planning Commission adopt the attached draft resolution, approving Tentative Parcel Map TPM20-0003 and Conditional Use Permit CUP21-0005 subject to findings and conditions of approval.


John Ciampa
Senior Planner
Brenda Wisneski
Director of Community Development

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 21-3-22-XX

Supporting Documents

2. Vicinity Map
3. Property Photographs
4. SDP16-0041(M) Approved Plan
5. Tentative Parcel Map

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 21-3-22-XX

RESOLUTION NO. 21-3-22-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING TENTATIVE PARCEL MAP TPM20-0003 AND CONDITIONAL USE PERMIT CDP21-0005 FOR CONDOMINIUM PURPOSES TO ALLOW THE CONDOMINIUM CONVERSION OF A RESIDENTIAL DUPLEX FOR INDIVIDUAL OWNERSHIP AT 26392 VIA CANON.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Jay and Kim Skjerven, (the "Owner") is the owner of real property commonly referred to as 26392 Via Canon units A and B (APN: 26392 Via Canon units A and B) (the "Property"); and

WHEREAS, the Owners authorized Advanced Civil Engineering (the "Applicant") and the Applicant caused to be filed a verified application for a Tentative Parcel Map for condominium purposes to allow individual ownership of a previously approved residential Duplex located at 26392 Via Canon units A and B.

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically Exempt per Section 15301 (Class 1 – Existing Facilities) and Section 153015 (Minor Land Divisions) in that the project involves the division of an existing two (2) unit residential duplex into condominiums where no physical changes are occurring that are otherwise exempt; and

WHEREAS, the Planning Commission did, on the 22nd day of March, 2021, hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Tentative Parcel Map TPM20-0003 and Conditional Use Permit CUP21-0005.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Tentative Parcel Map TPM20-0003, subject to conditions:

1. That the proposed map is consistent with the City's General Plan in that, it satisfies the intent of the Land Use Element Goal 1 pertaining to balanced development for the City, which states, "Achieve a desirable mixture of land uses to meet the residential, commercial, industrial, recreational, open space, cultural and public service needs of the City residents."
2. That the design and improvement of the proposed subdivision is consistent with the City's General Plan in that, the proposed density and design conforms to the applicable City standards and policies related to residential development for the General Plan Land Use Designation "Residential 7-14 DU/AC", and the proposed subdivision will provide for individual and common interest and responsibility areas as further articulated in the Conditions, Covenants and Restrictions (CCR's), and final condominium map required as conditioned in this resolution.
3. That the site is physically suitable for the proposed type of development in that, it is of a reasonable shape, size, and topography to accommodate a residential condominium subdivision for the two (2) dwelling units, two (2) garages, and retaining walls previously approved for development on the site.
4. That the requirements of the California Environmental Quality Act have been satisfied in that, per Section 15301 (Class 1 – Existing Facilities) and Section 153015 (Minor Land Divisions) in that project involves the division of a previously approved two (2) unit residential duplex into two condominiums and no physical changes are occurring.
5. That the site is physically suitable for the proposed density of development in that, required development standards have already been met through the approval of Minor Site Development Permit SDP16-0041(M) and the site is large enough to accommodate the proposed density and land area requirements for the residential duplex, two (2) garages, and retaining walls proposed for development on the site.
6. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantial and avoidable injury to fish or wildlife habitat in that, the subdivision is located within an urbanized area within the Capistrano Beach community of the City that does not contain any special status habitat. The project is only for the conversion of the two residential units into two condominiums

and no physical changes are occurring.

7. That the design of the subdivision and the proposed improvements are not likely to cause serious public health problems **in that, the proposed improvements and condominium subdivision conform to their applicable development standards and subdivision code requirements, respectively. The project is only for the conversion of the two residential units into two condominiums and no physical changes are occurring.**
8. That the design of the subdivision and the proposed improvements will not conflict with easements of record or established by court judgment or acquired by the public at large for access through or use of property within the proposed subdivision **in that, any easement issues were previously reviewed under the required SDP16-0041(M) and there is no easement on the property related to access through or the use of the property.**
9. That the design and improvement of the proposed subdivision are suitable for the uses proposed and the subdivision can be developed in compliance with the applicable zoning regulations **in that, the subdivision creates individual ownership opportunities for the previously approved duplex development, which was designed and approved in conformance with the RD 14 zoning district.**
10. That the subdivision is not located in a fee area, or if located in a fee area, the subdivider has met the requirements or payment of the applicable fees or the subdivision would not allow development of a project which would contribute to the need for the facility for which a fee is required **in that, all applicable fees will be collected prior to issuance of the final map. The creation of the condominium subdivision will not create the need for additional public facilities as the units are existing and the project does not result in any physical changes to the site.**
11. That the subdivision is located in an area which has access to adequate utilities and public services to support the development proposed within the subdivision or that the subdivision includes the provisions and improvements necessary to ensure availability of such utilities and services **in that, public utilities and services are currently being provided to the existing residential units and the conversion of the units to condominiums will not result in any physical changes to the property.**

C) Based on the evidence presented, the Planning Commission adopts

the following findings and approves Conditional Use Permit CUP21-0005, subject to conditions:

1. That the proposed conditional use is consistent with the General Plan. The site is designated for residential uses in the Dana Point Zoning Code. **The proposed project is to convert the existing two residential units into condominiums and would not result in any physical changes to the site. The project is in conformance with the applicable development standards of RD 14 zoning district of the Dana Point Zoning Code. Additionally, the architectural design of the proposed improvements furthers Urban Design Element Goal No. 2 which states that the development should “preserve the individual positive character and identity of the City’s communities” as the property is improved with two detached residential units that are aesthetically pleasing and compatible and complimentary to surrounding neighborhood.**
2. That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures **in that, the existing use of the property as two residential units will remain. The proposed project was reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable standards of Dana Point Zoning Code and, subject to conditions of approval, has been found consistent.**
3. That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in this Code and required by the Commission or Council in order to integrate the use with existing and planned uses in the vicinity **in that, the site is designated for residential uses in the Dana Point Zoning Code and the proposed project is to convert the two residential units to condominiums to allow for the legal ownership of the individual units. The existing residential units comply with the applicable development standards of RD 14 site designation of the Dana Point Zoning Code, including the allowed density for the lot.**

Conditions:

A. General:

1. Approval of this application is to allow for a Tentative Parcel Map and Conditional Use Permit to subdivide the airspace and allow individual ownership of a previously approved duplex located at 26392 Via Canon. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan and the Dana Point Zoning Code.
2. This conditionally approved tentative map shall expire two (2) years after its conditional approval unless the Applicant/subdivider requests an extension in writing prior to the expiration date, and the Subdivision Committee/Planning Commission grants the extension request in accordance with all provisions outlined in Subdivision Code Section 7.05.075.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, the Director may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses

incurred concerning the claim, action, or proceeding.

6. The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expenses in ensuring compliance with these conditions.
9. The Final Parcel Map must be in substantial compliance with Tentative Parcel Map TPM20-0003, as determined by the Director of Community Development and the Director of Public Works. If the Final Parcel Map is approved, the Map shall be recorded with the Office of the County Recorder.
10. The project shall meet all water quality requirements.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television services.
12. The applicant shall obtain all applicable permits for the proposed improvements, including any that may be required from outside agencies.
13. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

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14. Prior to any submittal to the City of Dana Point, an address assignment may be required for submittal to the Public Works Department for the addresses of the proposed development units.
15. Any curb and gutter or other public improvements damaged during construction in the public right of way shall be repaired and replaced to the satisfaction of the City Engineer.

B. Prior to approval of the final parcel map the applicant shall meet the following conditions:

16. A Final Map shall be submitted for review and approval in accordance with requirements of the Public Works Department and Community Development Department. The final map must be in substantial compliance with Tentative Parcel Map, as determined by the Director of Community Development and the Director of Public Works/City Engineer. Said map shall be prepared as required by the City of Dana Point Subdivision Code.
17. The Final Map shall be in accordance with the Subdivision Map Act including Article 2 and Article 3.
18. The applicant shall provide proof of all required notices per the Subdivision Map Act including Sections 66452.17 through 66452.20 and 66427.
19. The applicant shall provide adequate written notice to prospective and current tenants of the intent to convert per Subdivision Map Act Section 66452.17.
20. All taxes and fees shall be paid to the County of Orange and the County Treasurer-Tax Collector's Certificate shall be signed. Prior to City Engineer and City Clerk signature, the Treasurer-Tax Collector's Certificate shall be signed and submitted to the City.
21. All existing and proposed easements shall be shown and labeled on the Final Map clearly indicating the easement ownership, location, purpose and width. A copy of the recorded easements shall be included along with the plan submittal for review by the City Engineer. The Final Map shall also include a note to identify any easements proposed to be vacated with the Map.
22. Utility easements shall be provided to the specifications of the appropriate utility companies and subject to review and approval by the Director of Public Works.

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23. The applicant shall submit the Final Map to the County of Orange for review and Approval. A copy of the approval shall be submitted to the Public Works Department.
24. The Final Map shall clearly state the subdivision is for condominium purposes.
25. Applicant shall provide to the City a copy of a current title report not less than six months old and any other survey documentation in relation to the subject subdivision.
26. Applicant shall provide to the City a Subdivision Guarantee from a licensed title company prior to City approval of the Parcel Map.
27. The applicant shall submit a copy of the proposed CC&Rs and Articles of Incorporation of the Owners' Association for review and approval by the Director's of Public Works and Community Development, the City Engineer, and the City Attorney. The CC&Rs shall include:
 28. A statement that prohibits amendment of the document without review and approval by the City Attorney, the Director of Public Works and Community Development at any time prior to or preceding recordation of the Final Parcel Map.
 29. A method to ensure resolution of any disputes regarding maintenance of any commonly held portions of the lot, any common walls, or disputes regarding the maintenance of the proposed duplex shall be included in CC&R's.
 30. Reflect common access easements, and maintenance responsibility of all recreation areas, common walls, access ways, parking areas, landscaping and grounds by the parties common to the CC&Rs.
 31. An acceptable means for maintaining the easements within the subdivision and to distribute the cost of such maintenance in an equitable manner among the owners of the units within the subdivision.
 32. Require a private drainage easement and maintenance agreement for all existing and proposed storm drain facilities and appurtenant structures. Said easement and agreements shall address existing drainage conditions and easement documents.
 33. Provisions which prohibit any obstructions within any fire protection access and shall also require approval of the Fire Chief for any modifications; such as control gates, or changes in parking plans.

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34. Clearly assign maintenance responsibility of the Homeowners' Association for landscaping, irrigation and other improvements installed on City property for the benefit of the Project.
35. Implement and Maintain all structural and non-structural improvements and Best Management Practices (BMPs).
36. The applicant shall be responsible for the payment of any City fees related to the review and approval of CC&Rs for the condominiums.
37. The applicant shall submit evidence of the availability of an adequate water supply for fire protection for review and approval by the Fire Chief. A copy of the documentation shall be submitted to the Public Works and Engineering Department.
38. The applicant shall submit "will serve" letters from the applicable water and sewer districts.
39. The approved Fire Master Plan shall be submitted to the City of Dana Point Public Works Department.
40. Prior to the recordation of a subdivision map, a note shall be placed on the map stating that all residential structures shall be protected by an approved automatic fire sprinkler system, as required by the building official.
41. All monuments shall be set, or a security provided, to ensure all monuments will be set in accordance with the County of Orange and City of Dana Point standards.
42. The applicant/owner shall submit a preliminary Condominium Map to the Public Works Department and Community Development Department for review and approval prior to Parcel Map recordation.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 22nd day of March 2021, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mary Opel, Chairwoman
Planning Commission

ATTEST:

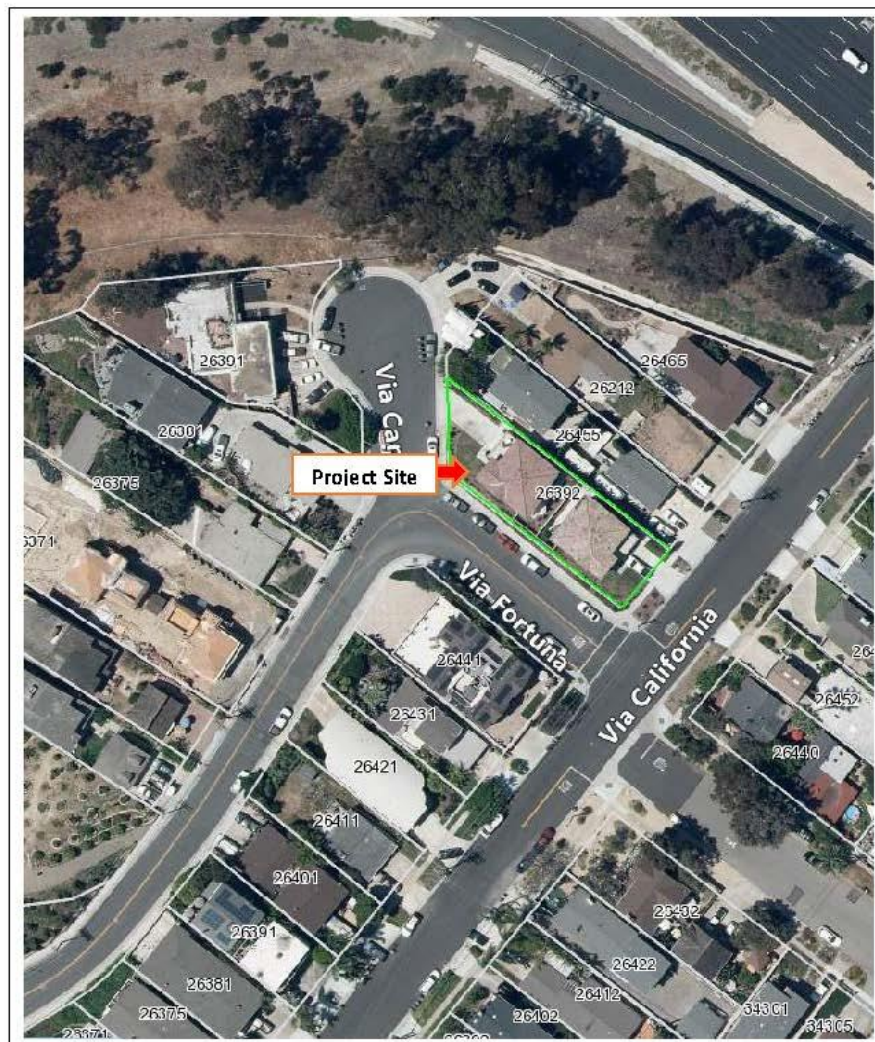
Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map



Vicinity Map

26392 Via Canon
TPM20-0003, CUP21-0005



SUPPORTING DOCUMENT 3: Property Photographs







SUPPORTING DOCUMENT 4: SDP16-0041(M) Approved Plan

ATTACHMENT

2 NEW HOMES

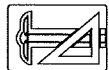
26392 VIA CANON
DANA POINT, CA

SHEET INDEX

T1	TITLE SHEET	
SP1	SITE PLAN, EXTERIOR COLOR GROUP SCHEDULE	
ARCHITECTURAL		
A1.1	PLAN 1	FLOOR PLAN
A1.2		EXTERIOR ELEVATIONS PLAN 1
A1.3		ROOF PLAN & CROSS SECTIONS
A2.1	PLAN 2	FLOOR PLAN
A2.2		EXTERIOR ELEVATIONS PLAN 2
A2.3		ROOF PLAN & CROSS SECTIONS

DATE	REVISION DESCRIPTION
11/17/17	PLANNING COMMENTS
1/28/17	PLANNING COMMENTS
5/18/17	PLANNING COMMENTS
11/17/17	PLANNING COMMENTS

WISHARD ARCHITECTS
231 E. ALESSANDRO, STE. A-216
RIVERSIDE, CA. 92508
PHONE (951) 776-9900 FAX (951) 776-9970



2 NEW HOMES
26392 VIA CANON
DANA POINT, CA

OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUBLA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902



TITLE SHEET

PROJECT NO.	16481
DATE	7/18/16
DRAWN BY	EW
CHECKED BY	SEE PLANS
SHEET NO.	

T1

SITE DATA

SITE ADDRESS:	26392 V15 CANON
ASSESSOR'S PARCEL NO.	APN 123-173-13
ZONING:	RD-14
LOT AREA: (.19 ACRES)	8,243 SF
BUILDING FOOTPRINT AREA:	2,758 SF
LOT COVERAGE:	33.46 %
HARD SURFACE AREA:	1,717 SF
TOTAL IMPERVIOUS AREA:	4,472 SF
IMPERVIOUS SURFACE COVERAGE:	54.25 %
TOTAL LANDSCAPE AREA:	3,771 SF
LANDSCAPE COVERAGE:	45.75 %
BUILDING HEIGHT	25'-9"
FRONT SETBACK	20'-0"
LEFT SETBACK	5'-0"
RIGHT SETBACK	10'-0"
REAR SETBACK	20'-0"

PROJECT DATA

NEWCASTLE DEVELOPMENT

OWNER:	JAY SKJERVEN
MAILING:	22596 LA PUBLA #6 MISSION VIEJO, CA 92692
PHONE:	(714) 713-2902
EMAIL:	newcastledev@sbcglobal.net

UNIT DESCRIPTIONS

SINGLE STORY RESIDENCE W/ ATTACHED GARAGE
TYPE VB SPRINKLERED, GROUP R3 / U

PLAN 1	
1st FLOOR AREA	820 SF
2nd FLOOR AREA	1217 SF
TOTAL LIVING AREA	2037 SF
GARAGE AREA	483 SF
PORCH AREA	76 SF
DECK AREA	205 SF

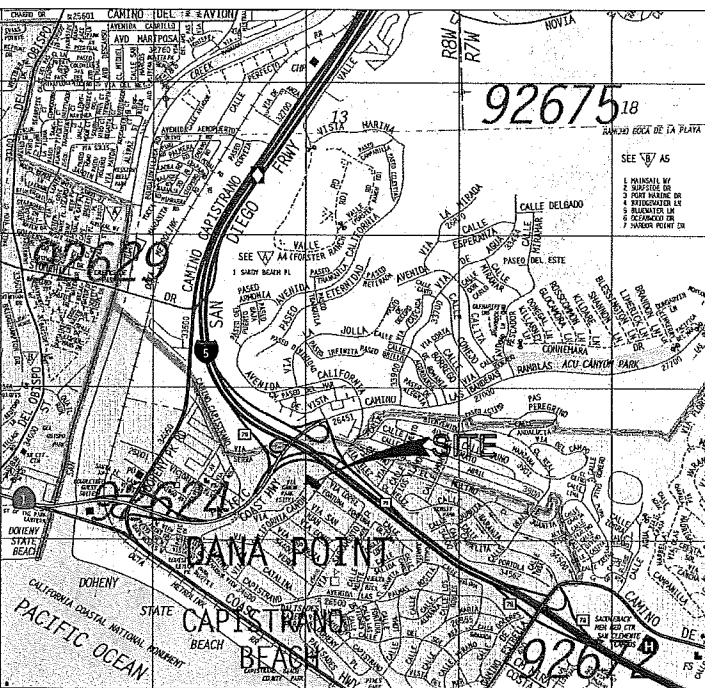
SINGLE STORY RESIDENCE W/ ATTACHED GARAGE
TYPE VB SPRINKLERED, GROUP R3 / U

PLAN 2	
1st FLOOR AREA	820 SF
2nd FLOOR AREA	1217 SF
TOTAL LIVING AREA	2037 SF
GARAGE AREA	483 SF
PORCH AREA	76 SF
DECK AREA	205 SF

BUILDING CODES

CONSTRUCTION TYPE = VB / OCCUPANCY GROUP = R3/U / 1 STORY SINGLE FAMILY
ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE FOLLOWING CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA T-24 ENERGY CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA FIRE CODE
ALL APPLICABLE CITY ORDINANCES AND OR CONDITIONS OF APPROVAL.

VICINITY MAP



SUBMITTALS

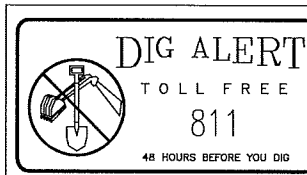
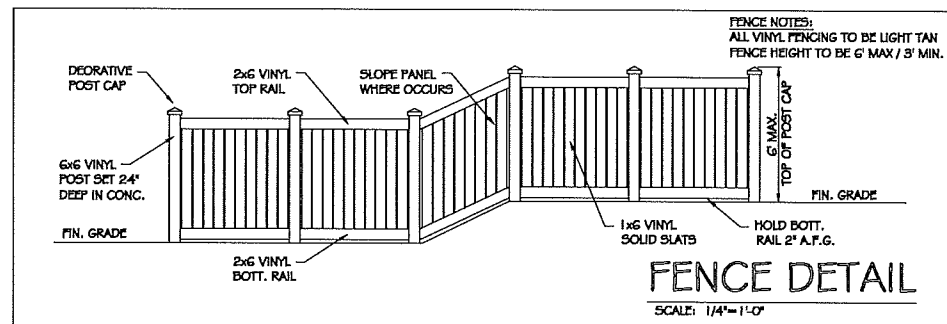
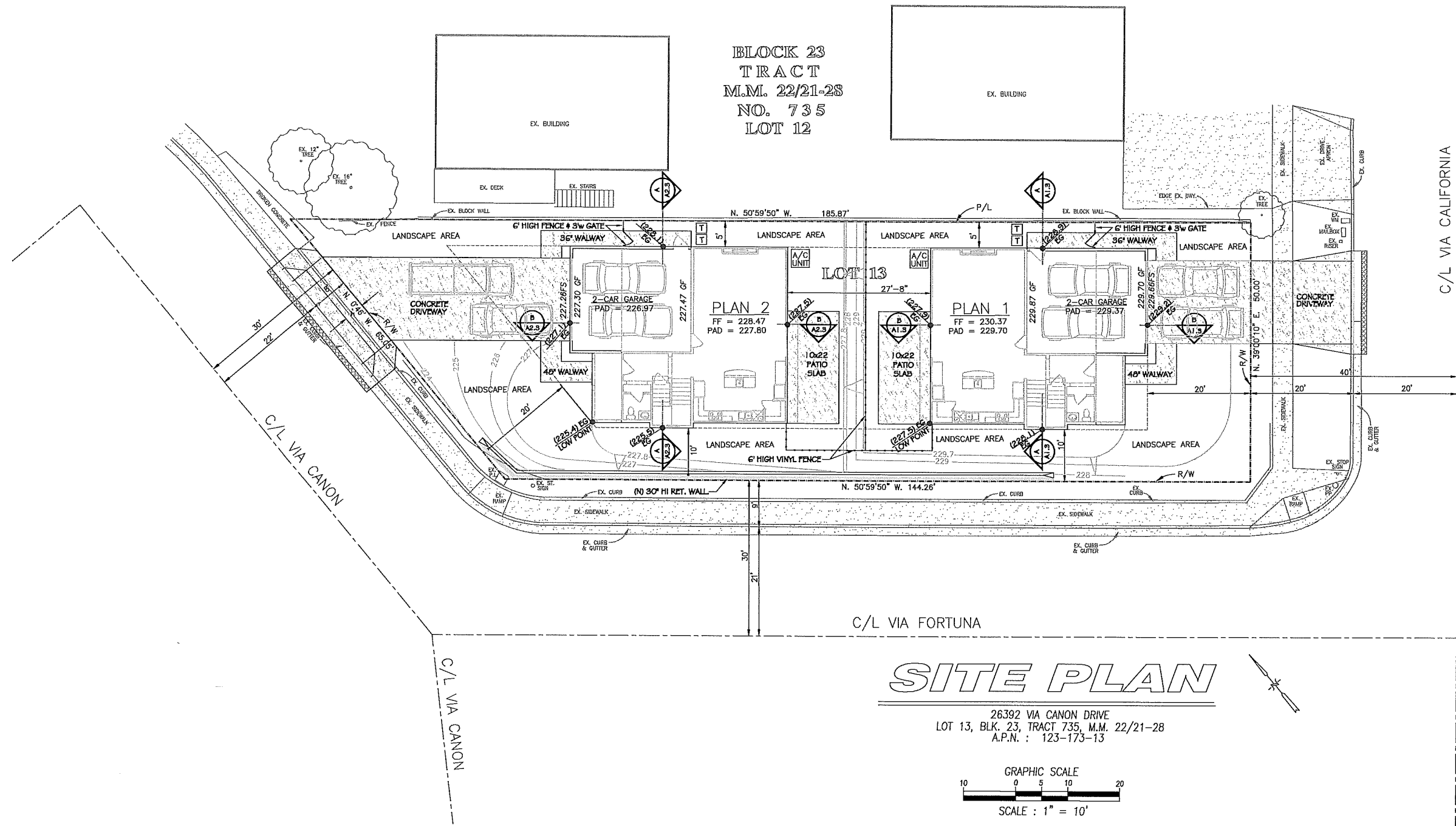
PERMITS REQUIRED:

THESE PLANS ARE APPROVED FOR BUILDING PERMIT ONLY.
SEPERATE PERMITS WILL BE REQUIRED FOR ACCESSORY BUILDINGS, SWIMMING POOL, RETAINING WALLS, DEMO WORK, GRADING, OFFSITE IMPROVEMNTS, ETC.

DEFERRED SUBMITTAL:

ROOF TRUSS PLANS AND CALCULATIONS = DEFERRED
FIRE SPINKLER PLANS AND CALCULATIONS = DEFERRED

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION THAT THESE DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY ARE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. FIRE SPRINKLER DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT BY THE CONTRACTOR. SEPARATE PERMIT REQUIRED.

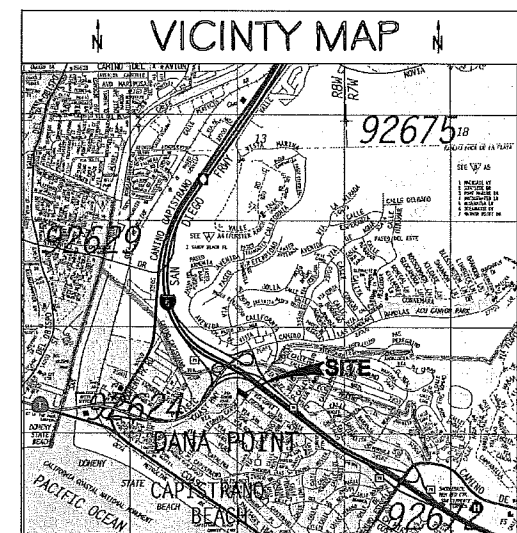


SITE PLAN NOTES:

1. SWIMMING POOLS AND ACCESSORY STRUCTURES WILL REQUIRE A SEPARATE PERMIT
2. ALL GROUND MOUNTED A/C EQUIPMENT SHALL BE ADEQUATELY SCREENED FROM PUBLIC VIEW AND IN NO CASE SHALL ANY MECHANICAL EQUIPMENT BE LOCATED IN FRONT OF THE BUILDING.
3. THIS PLAN IS FOR REFERENCE ONLY. REFER TO APPROVED PRECISE GRADE PLAN FOR ADDITIONAL REQUIREMENTS AND SITE FEATURES NOT SHOWN ON THIS PLAN.
4. RETAINING WALLS OVER 3' HIGH, OR SUPPORTING A SURCHARGE, REQUIRE A SEPARATE PERMIT.

SITE DATA

SITE ADDRESS:	26392 VIS CANON
ASSESSOR'S PARCEL NO.	APN 123-173-13
ZONING:	RD-14
LOT AREA: (.19 ACRES)	8,243 SF
BUILDING FOOTPRINT AREA:	2,758 SF
LOT COVERAGE:	33.46 %
HARD SURFACE AREA:	1,717 SF
TOTAL IMPERVIOUS AREA:	4,472 SF
IMPERVIOUS SURFACE COVERAGE:	54.25 %
TOTAL LANDSCAPE AREA:	3,771 SF
LANDSCAPE COVERAGE:	45.75 %
BUILDING HEIGHT	25'-9"
FRONT SETBACK	20'-0"
LEFT SETBACK	5'-0"
RIGHT SETBACK	10'-0"
REAR SETBACK	20'-0"



NO.	REVISION DESCRIPTION	DATE
1	1/1/17	1/1/17
2	1/1/17	1/1/17
3	1/1/17	1/1/17
4	1/1/17	1/1/17
5	1/1/17	1/1/17
6	1/1/17	1/1/17
7	1/1/17	1/1/17
8	1/1/17	1/1/17
9	1/1/17	1/1/17
10	1/1/17	1/1/17

WISHARD ARCHITECTS
231 E. ALESSANDRO, STE. A-216
RIVERSIDE, CA. 92508
PHONE (951) 776-9800 FAX (951) 776-9870

SITE PLAN
26392 VIA CANON
DANA POINT, CA

OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUBLA #6
MISSION VIEJO, CA 92692
CONTACT: JAY SKJERVEN (714) 713-2902



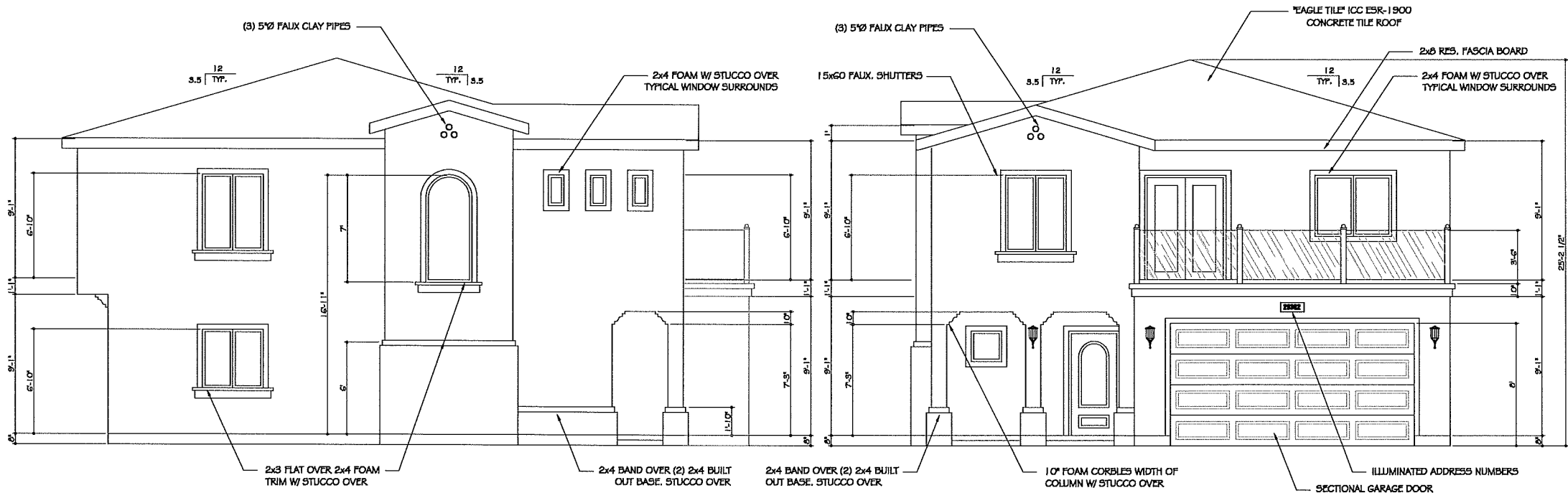
SITE PLAN

PROJECT NO.	15481
DATE	7/19/16
DRAWN BY	DN
SCALE	1" = 10'-0"
SHEET NO.	

SP1

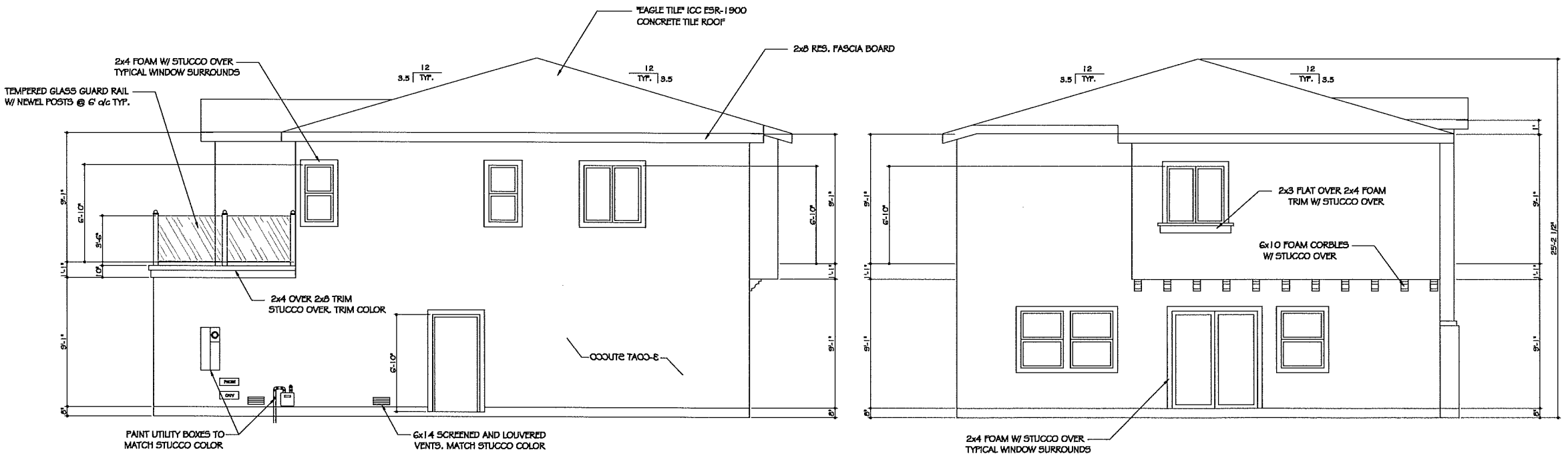
COLOR AND MATERIALS PALETTE

- M1 CONCRETE TILE ROOF
EAGLE TILE #9636 / FIDMONT BLEND / CAPISTRANO
TERRACOTTA, MAROON, BROWN, BLEND
- M3 STUCCO WALLS
MERLEX STUCCO F-174 (B-BASE) / DESERT BEIGE
2080 SAND FINISH
- M4 TRIM / ACCENT COLOR
DUNN EDWARDS DE 6088 / BURNS CAVE
EXTERIOR PLAT
- M5 LIGHT FIXTURES
DUNN EDWARDS DEC756 / WEATHERED BROWN / BRONZE
POWDER COATED / FACTORY FINISH



LEFT ELEVATION I

FRONT ELEVATION I

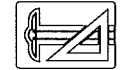


RIGHT ELEVATION I

REAR ELEVATION I

REVISION	DESCRIPTION	DATE
1/1/17	PLANNING COMMENTS	
1/1/17	PLANNING COMMENTS	
1/1/17	PLANNING COMMENTS	
1/1/17	PLANNING COMMENTS	
1/1/17	PLANNING COMMENTS	
1/1/17	PLANNING COMMENTS	

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RIVERSIDE, CA. 92508
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PLAN I
26392 VIA CANON
DANA POINT, CA

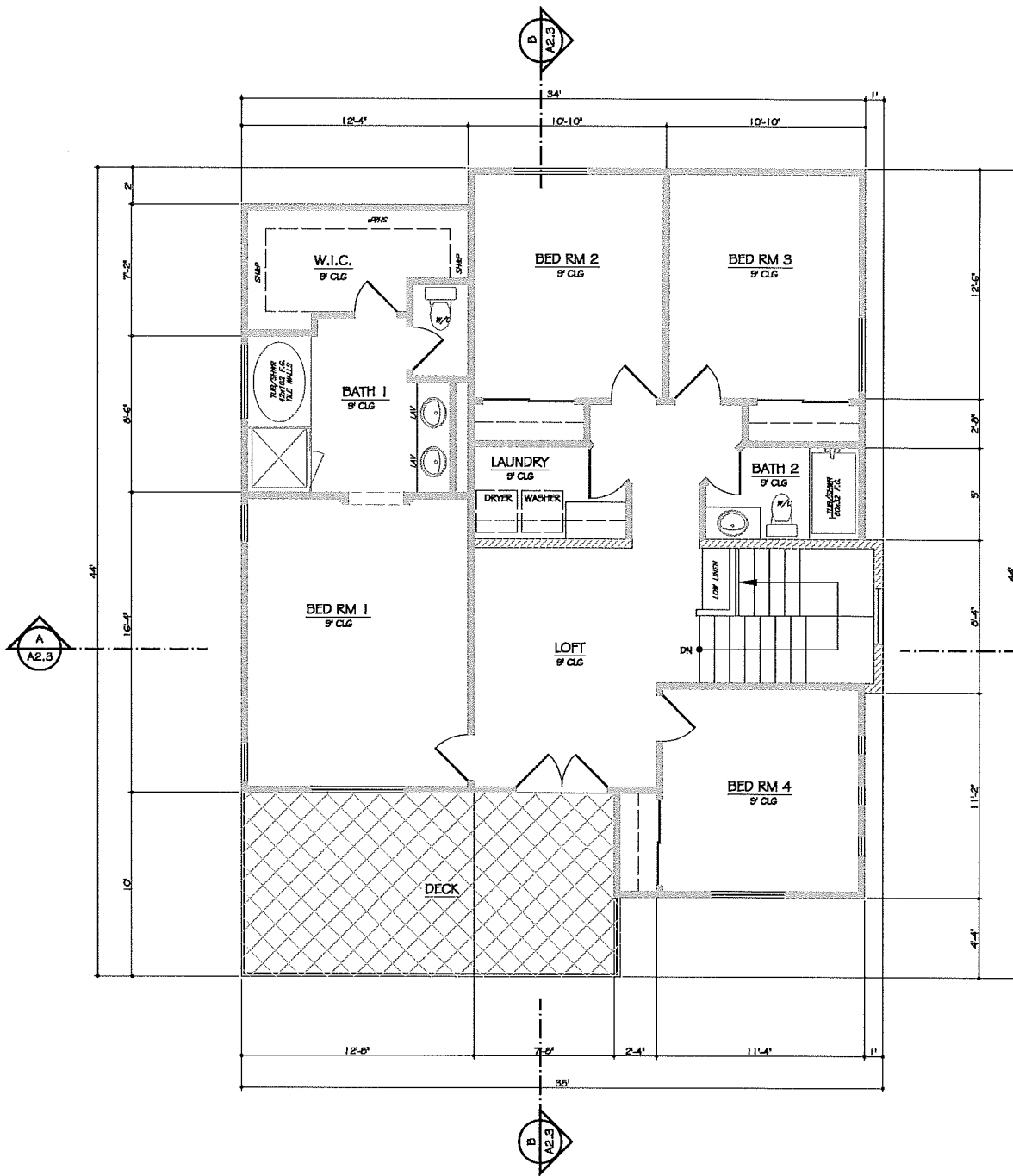
OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUBLA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902



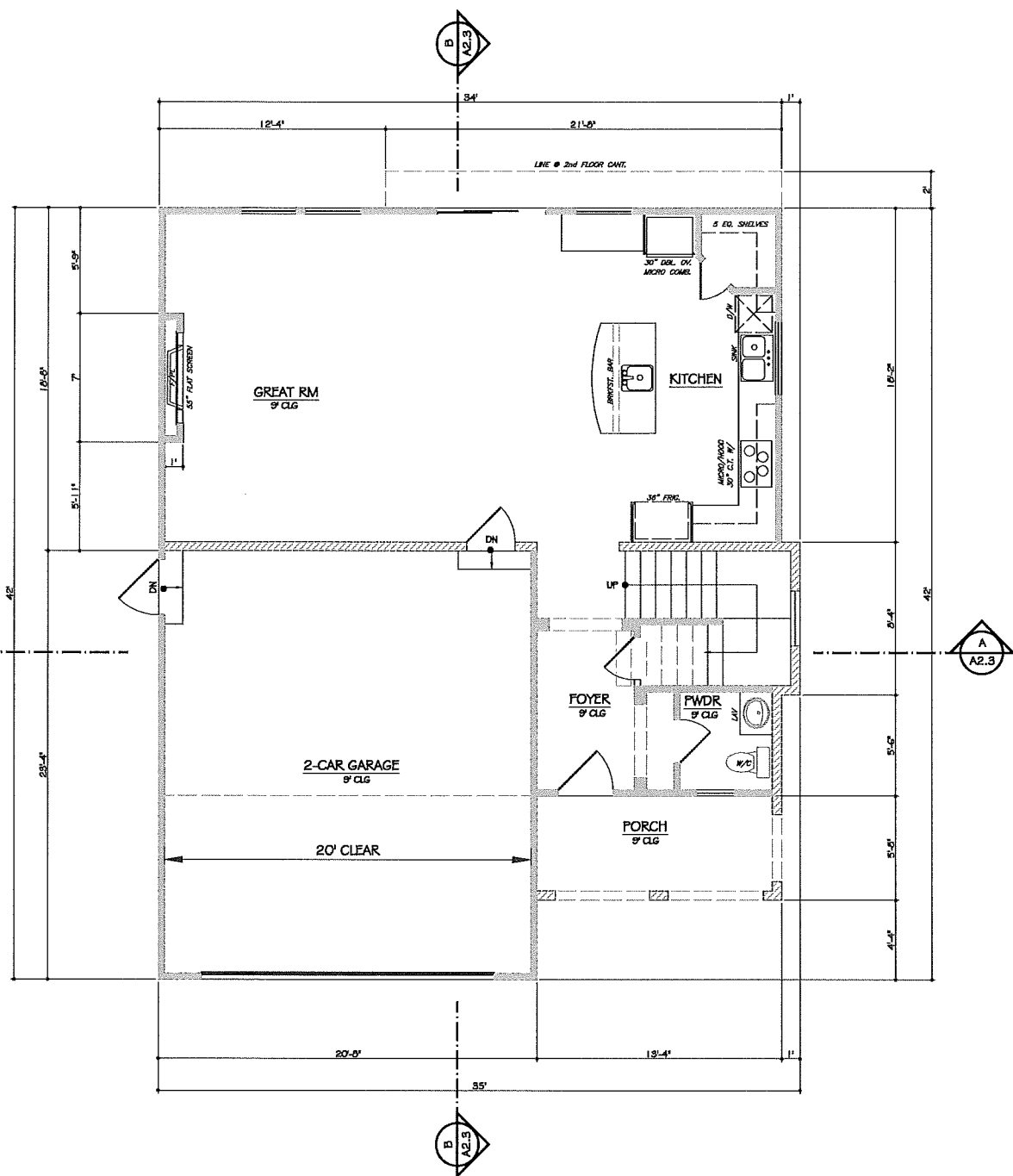
EXTERIOR
ELEVATIONS
PLAN I

PROJECT NO.	16481
DATE	7/19/16
DRAWN BY	DW
SCALE	1/4" = 1'-0"
SHEET NO.	

A1.2



2nd FLOOR PLAN 2



1st FLOOR PLAN 2

DOOR AND WINDOW NOTES

ROOM FINISH NOTES

FLOOR PLAN NOTES

BUILDING DESCRIPTION

- MEANS OF EGRESS IS NOT ALLOWED TO PASS THROUGH GARAGE
- MEANS OF EGRESS DOORS SHALL BE AS FOLLOWS:
 - MIN. 32" AND 48" MAX. CLEAR OPENING WIDTH OF EXIT DOORWAY. FOR SWINGING DOOR, CLEAR WIDTH IS MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. FOR NON-SWINGING TYPE DOOR, THE CLEAR WIDTH IS TO BE MEASURED FROM THE FACE OF THE DOOR JAMB. (CBC SECT. 1008.1.1)
 - MIN. HEIGHT OF 60" REQUIRED FOR ALL EXTERIOR DOORS AND 70" FOR ALL INTERIOR DOORS.
 - ALL REQUIRED EXTERIOR EGRESS DOORS SHALL BE SIDE HINGED SWINGING TYPE DOORS.
 - MAX. OF 0.75" THRESHOLD HEIGHT AT SLIDING DOORS AND MAX. OF 0.5" FOR ALL OTHER DOORS.
 - MIN. WIDTH OF LANDING AT DOORS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY OR DOOR.
 - MIN. LENGTH OF LANDING SHALL BE 36" MEASURED IN THE DIRECTION OF TRAVEL.
 - THRESHOLD HEIGHT SHALL BE MAX. 7.75" FROM TOP OF THRESHOLD TO FINISH SURFACE WHERE DOOR SWINGS IN (NOT DIRECTION OF TRAVEL) OR AT SLIDING DOORS, WHERE DOORS SWING OUT, PROVIDE LANDING (SEE NOTE 1. AND SEE NOTE 4. FOR THRESHOLD).
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE A MIN. OF 34" AND A MAX. OF 48" HEIGHT ABOVE FLOOR.
- MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED ON DOORS REQUIRED FOR EGRESS.
- LOCKS OR LATCHES SHALL NOT BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE:
 - DOOR SERVES A DWELLING UNIT WITH AN OCCUPANT LOAD GREATER THAN 10.
 - SINGLE EGRESS DOORS USE AUTOMATIC FLUSH BOLTS.

- ANY DOOR OR WINDOW THAT PERMITS DIRECT ACCESS FROM THE RESIDENCE TO THE POOL AREA SHALL BE EQUIPPED WITH AN EXIT ALARM THAT MAKES AUDIBLE, CONTINUOUS ALARM SOUNDS WHEN OPEN OR LEFT ALAR. DOORS SHALL BE SELF CLOSING WITH AN EXIT ALARM DEVICE LOCATED MIN. 54" ABOVE THE FLOOR.
- ALL SLEEPING ROOMS SHALL HAVE A WINDOW FOR EMERGENCY ESCAPE AND RESCUE. THE NET OPENING DIMENSIONS SHALL BE 24" CLEAR HEIGHT, AND 20" CLEAR WIDTH, WITH A MIN. OF 5.7 SQUARE FEET IN OPENING AREA. THE SILL HEIGHT FROM THE FINISH FLOOR TO THE OPENING SHALL BE 44" MAX.
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURERS DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER, AND THE AND THE SAFETY GLAZING STANDARD. THE FOLLOWING HAZARDOUS LOCATIONS WILL REQUIRE SAFETY GLAZING:
 - SWINGING DOORS.
 - FIXED AND SLIDING PANELS OF SLIDING DOORS.
 - STORM DOORS.
 - UNFRAMED SWINGING DOORS.
 - DOORS AND ENCLOSURES FOR HOT TUBS, STEAM ROOMS, WHIRLPOOLS, BATHTUBS AND SHOWERS.
 - WINDOWS ADJACENT TO TUBS OR SHOWERS WHERE THE BOTTOM EDGE IS LESS THAN 60" ABOVE FLOOR.
- FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF GLAZING IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF GLAZING IS WITHIN 60" ABOVE THE WALKING SURFACE.
- REFER TO CBC SECT. 2406 FOR ADDITIONAL LOCATIONS AT STAIRS, LANDINGS, WALLS, AND FENCES.

- WALL FLOOR AND CEILING MATERIALS AND FINISHES SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS LISTED IN CBC TABLE 603.5.
- INTERIOR FLOOR FINISHES SHALL COMPLY WITH CBC 604.2 THROUGH 604.4.1
- TOILET AND BATHING ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIALS THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 6".
- WALLS WITHIN 2' OF THE FRONT AND SIDES OF WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIALS TO A HEIGHT OF 4' AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED ON SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIALS TO A FINISHED HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET. USE OF WATER RESISTANT GYPSUM BACKING SHALL BE PER CBC SECT. 2509.2.
- WATER CLOSETS SHALL HAVE A MIN. OF 15" TO THE CENTER FROM ADJACENT WALLS OR OBSTRUCTION AND 80" CLEAR TOTAL WIDTH BETWEEN WALLS OR OBSTRUCTIONS. A MIN. OF 24" CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET.

WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN INLET AT SHOWERS OR TUB W/ SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. SMOKE DETECTORS SHALL BE HARD WIRED AND SHALL SOUND AN ALARM

FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING. ATTACH A COPY TO FIREPLACE PRIOR TO INSPECTION. THE FOLLOWING ARE MAXIMUM FLOW RATE STANDARDS SET BY THE

a. WATER CLOSETS:	1.28 PER FLUSH
b. SHOWERHEADS:	2.0 GPM @ 80 psi
c. SINK FAUCETS:	1.8 GPM @ 80 psi
d. LAVATORY FAUCETS:	1.5 GPM @ 80 psi

PROVIDE ANTI-SCALDING VALVES IN SHOWERS AND TUBSHOWERS. ALL HOSE BIBBS SHALL HAVE AN APPROVED ANTI-SIPHON DEVICE. WATER HEATERS HAVING NON-RIGID WATER CONNECTIONS AND OVER 4" HIGH SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE. PROVIDE 1.5" x 1.6 ga. STRAPS AT TOP AND BOTTOM W/ 5/8" x 5" LAG BOLTS

PROVIDE A 1.25x2' ACCESS PANEL FOR TUB TRAP SUB. JOINTS AT SPA OR WHERE APPLIES. NO ACCESS PANEL REQUIRED AT WELDED CONNECTIONS. AT ATTIC FAN PROVIDE MIN. 2x6 JOISTS OVER TRUSSES AT UNIT PLATFORM

CONDENSATE DRAIN TO TERMINATE AT APPROVED PLUMBING FIXTURE. BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT A LIST OF THE HEATING COOLING AND WATER HEATING AND LIGHTING CONSERVATION SYSTEMS OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO

SINGLE STORY RESIDENCE W/ ATTACHED GARAGE
TYPE VB SPRINKLERED, GROUP R3 / U

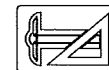
PLAN 2

1st FLOOR AREA	820 SF
2nd FLOOR AREA	1217 SF
TOTAL LIVING AREA	2037 SF
GARAGE AREA	483 SF
PORCH AREA	76 SF
DECK AREA	205 SF

WALL SYMBOL LEGEND

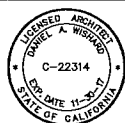
- INDICATES 2x4 @ 16" o/c STUD WALL (EXTERIOR R-15 INSULATION)
- INDICATES 2x6 @ 16" o/c STUD WALL (EXTERIOR R-19 INSULATION) (USED AT PLUMBING WALLS OR WALL HEIGHTS EXCEEDING 10')

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PLAN 2
26392 VIA CANON
DANA POINT, CA

OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUBLA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902



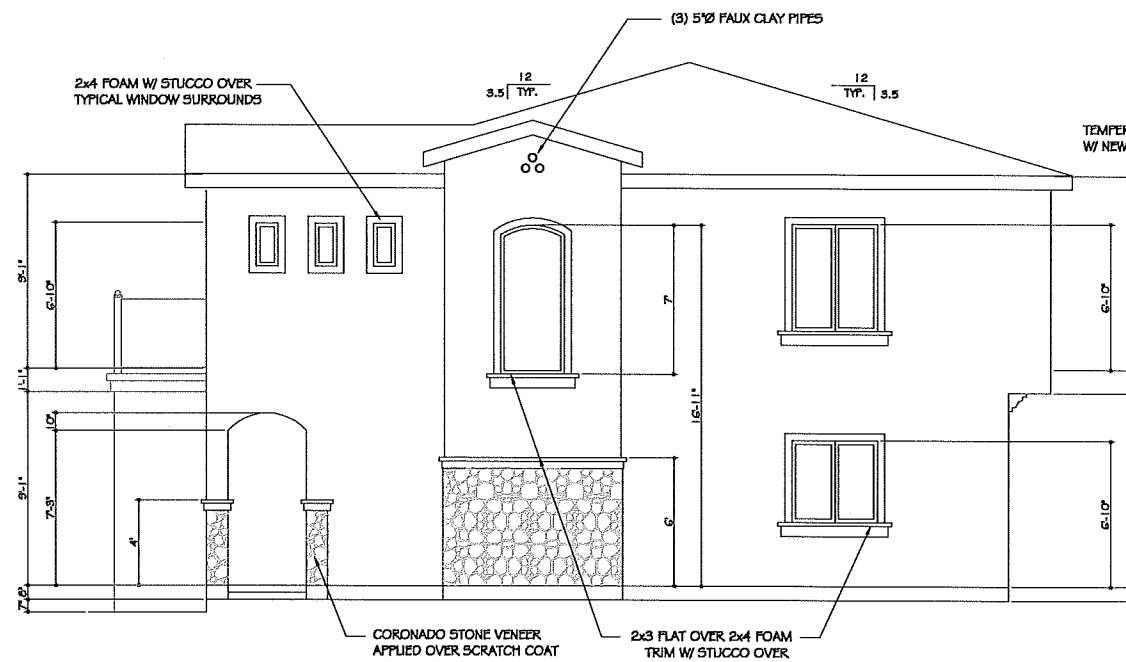
FLOOR
PLAN 2

PROJECT NO.	16481
DATE	7/1/16
DRAWN BY	DK
SCALE	1/4"=1'-0"
CHECKED BY	

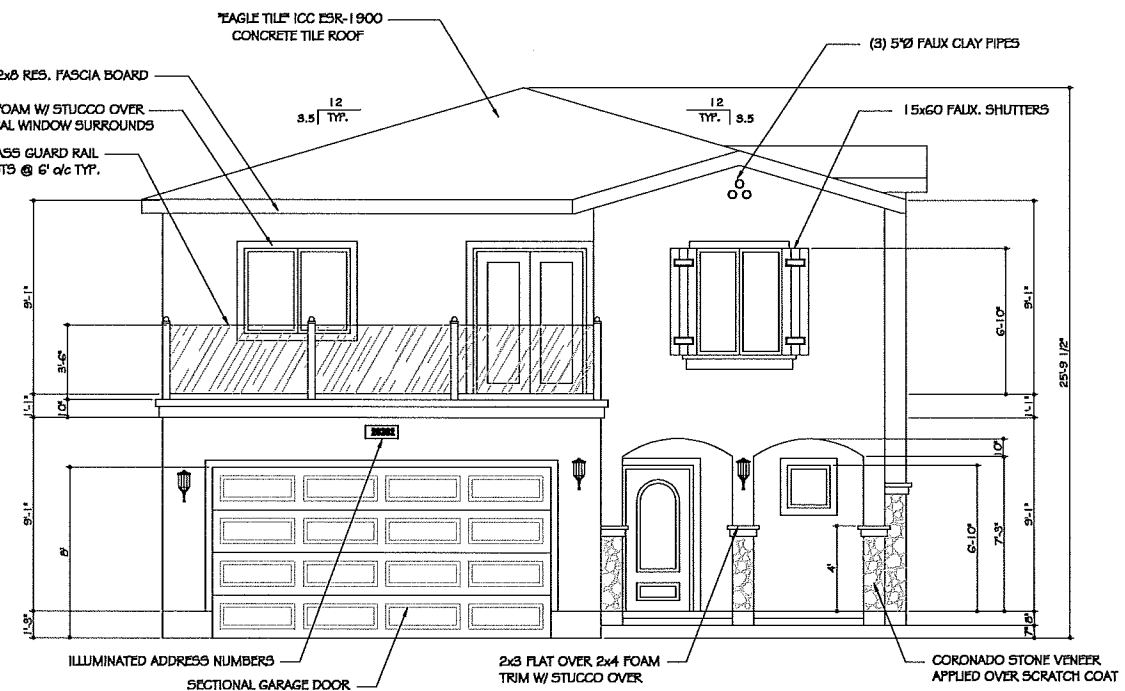
A2.1

COLOR AND MATERIALS PALETTE

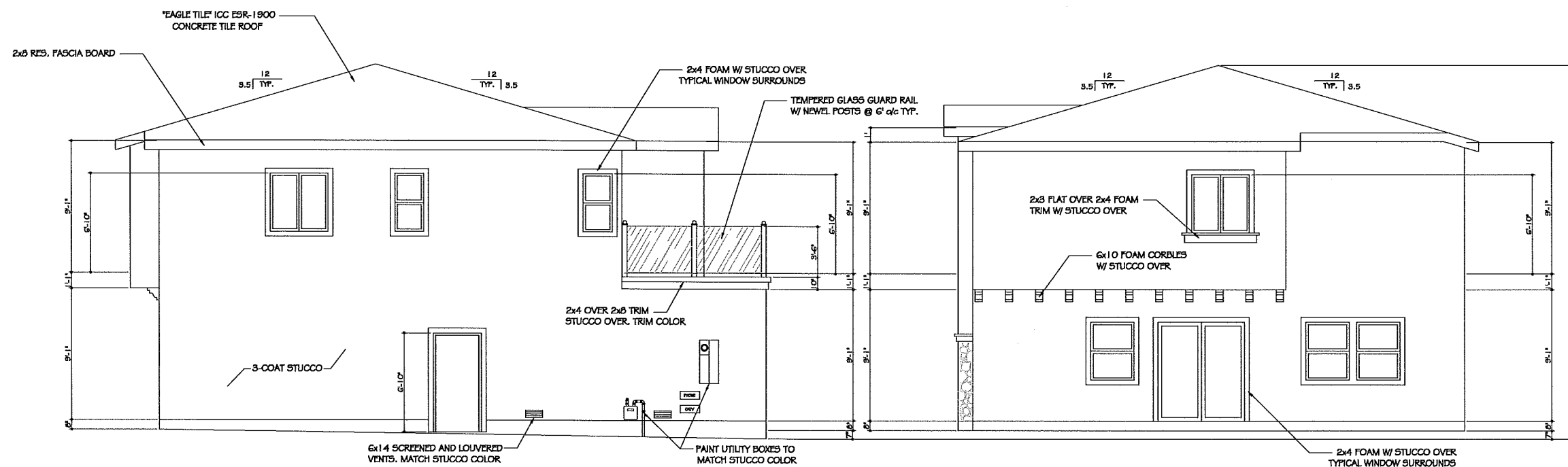
- M1 CONCRETE TILE ROOF
EAGLE TILE #3773 / WALNUT CREEK BLIND / CAPESTRANO
TAN, ORANGE, DK BRN, BLEND
- M2 MASONRY (BRICK)
ELDORADO STONE / BERGAMO / HILLSTONE
STANDARD GROUT / NATURAL
- M3 STUCCO WALLS
MERLEX STUCCO F-450 (B-BASE) / CAPE MOCHA
20/50 SAND FINISH
- M4 TRIM / ACCENT COLOR
DUNN EDWARDS DE 6088 / BURNS CAVE
EXTERIOR FLAT
- M5 LIGHT FIXTURES
DUNN EDWARDS DEC756 / WEATHERED BROWN / BRONZE
POWDER COATED / FACTORY FINISH



RIGHT ELEVATION 2



FRONT ELEVATION 2



LEFT ELEVATION 2

REAR ELEVATION 2

WISHARD ARCHITECTS
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RIVERSIDE, CA. 92508
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PLAN 2
26392 VIA CANON
DANA POINT, CA

OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUEBLA #6
MISSION VIEJO, CA 92692
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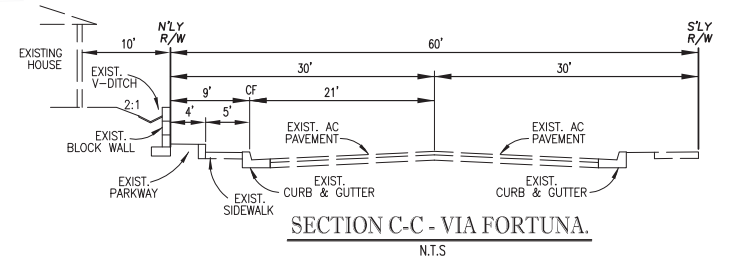
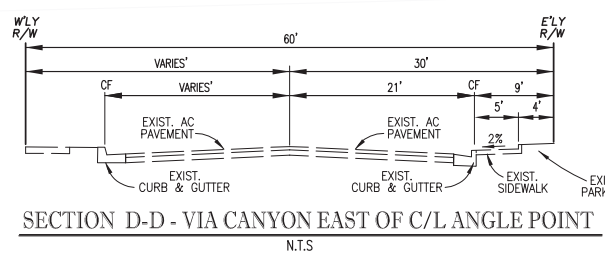
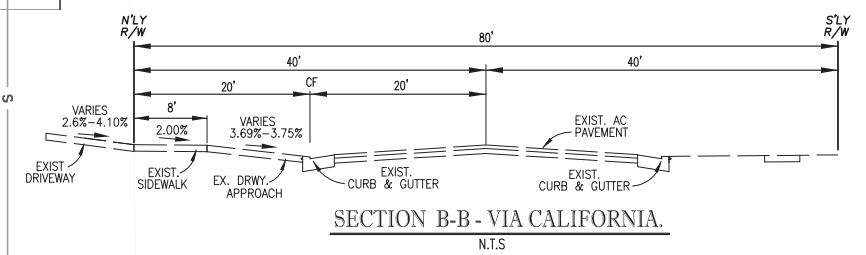
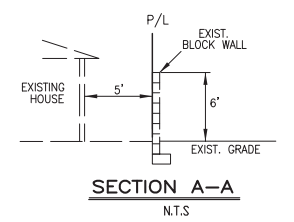
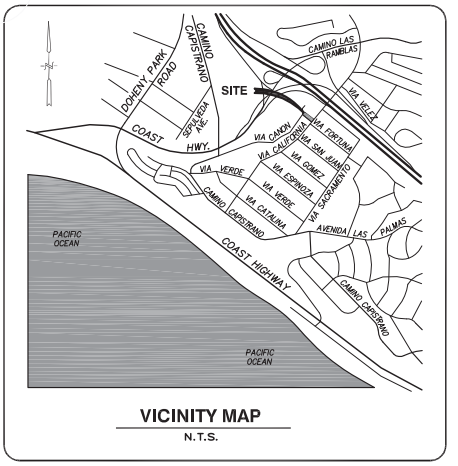
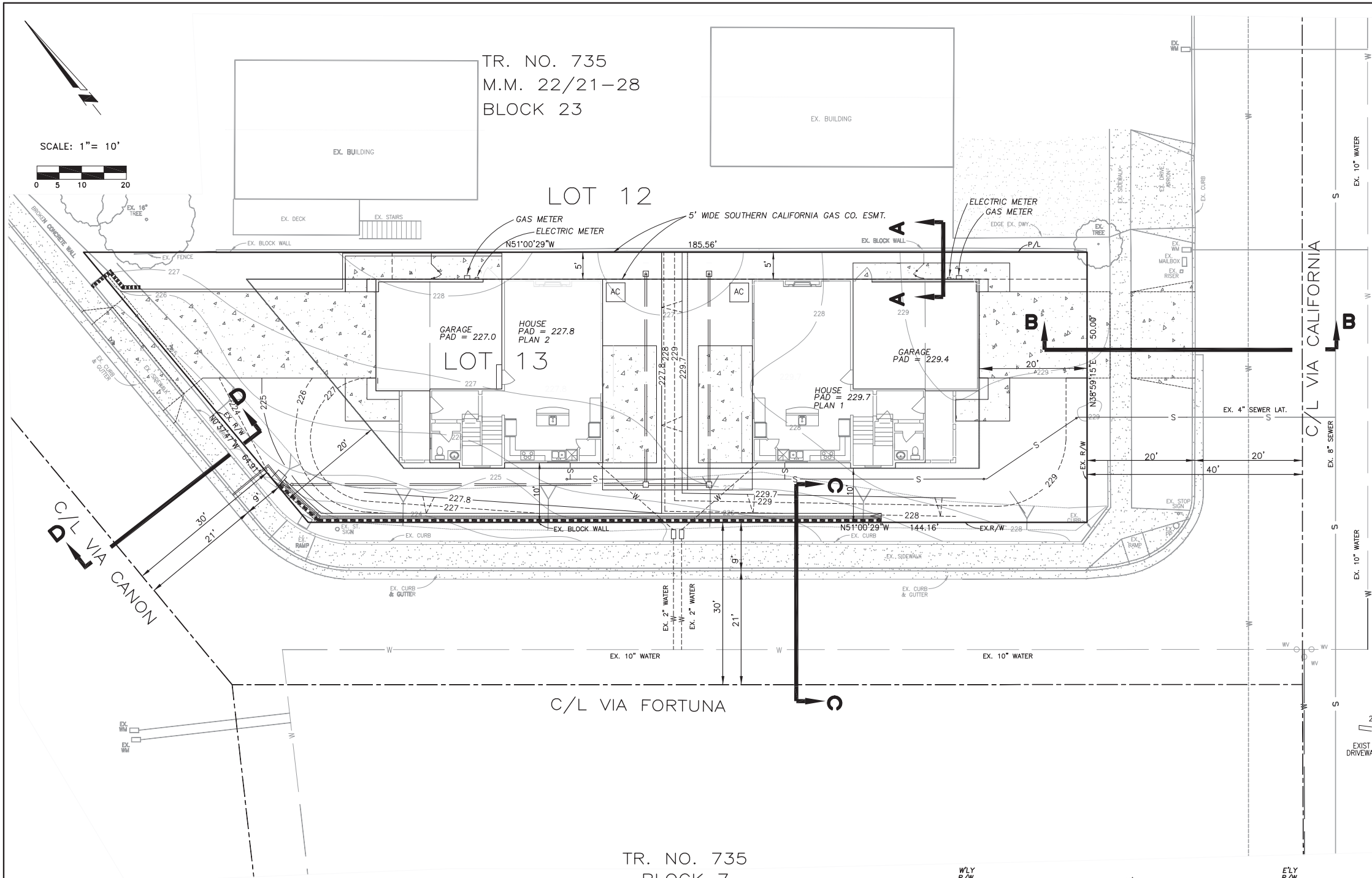
EXTERIOR
ELEVATIONS
PLAN 2

PROJECT NO. 16481
DATE 7/19/16
DRAWN BY DW
SCALE 1/4\"/>

A2.2

SUPPORTING DOCUMENT 5: Tentative Parcel Map

ATTACHMENT



OWNER:
JAY SKJERVEN AND KIM SKJERVEN,
TRUSTEES OF THE SKJERVEN LIVING TRUST
DATED DECEMBER 19, 2016
22596 LA PUEBLA
MISSION VIEJO, CA 92692
PHONE NO. (714) 713-2902

PREPARED BY:
KING CIVIL ENGINEERING CORP.
101 S. KRAEMER BOULEVARD, SUITE 232
PLACENTIA, CALIFORNIA 92870
PHONE NO. (714) 996-7010
kingcivil@earthlink.net

I, THOMAS A. KING, DEPOSE AND STATE THAT THE OWNERS
OF THIS PROPERTY COMPRISING THE PROPOSED SUBDIVISION
NO. 2020-143 SHOWN ON THIS MAP, HAVE CONSENTED TO THE
PREPARATION AND SUBMISSION OF THIS MAP.

THOMAS A. KING R.C.E. NO. 16916



UTILITY PROVIDERS:

WATER: SOUTH COAST WATER DISTRICT
31592 WEST STREET
LAGUNA BEACH, CA 92651
(949) 499-4555

SEWER: SOUTH COAST WATER DISTRICT
31592 WEST STREET
LAGUNA BEACH, CA 92651
(949) 499-4555

GAS: SOUTHERN CALIFORNIA GAS COMPANY
P.O. BOX C
MONTEREY PARK, CA 91756
(877) 238-0092

ELECTRIC: SAN DIEGO GAS & ELECTRIC
(800) 611-7343

COMMUNICATIONS: AT&T
(800) 288-2020

WASTE DISPOSAL: CR&R (SOLAC DISPOSAL)
31641 ORTEGA HIGHWAY
P.O. BOX 1100
SAN JUAN CAPISTRANO, CA 92693
(877) 728-0446

NOTES:

- Existing Zoning: R-1
- Proposed Zoning: R-1
- Proposed Use: Single Family Residential.
- FLOOD ZONE X.

TENTATIVE PARCEL MAP 2020-143
IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA.
LOT 13, BLOCK 23, TRACT NO. 735 AS PER MAP
RECORDED IN BOOK 22, PAGES 21 TO 28 INCLUSIVE,
OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

1 PARCEL 0.22 ACRES, 9,630 SQUARE FEET MARCH 2021
26392 VIA CANON DRIVE A.P.N. 123-173-13