

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: DECEMBER 14, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
SEAN NICHOLAS, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0020/MINOR SITE DEVELOPMENT PERMIT SDP20-0027(M) TO DEMOLISH A SINGLE FAMILY RESIDENCE AND CONSTRUCT A TWO-STORY SINGLE FAMILY RESIDENCE WITH A RETAINING WALL GREATER THAN 30 INCHES IN HEIGHT LOCATED AT 429 MONARCH BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP20-0020/Minor Site Development Permit SDP20-0027(M) (Action Document 1).

APPLICANT: Morris Skenderian, Architect

OWNER: Gary Dapelo

REQUEST: A request to demolish a single family residence, and construct a new two-story single family residence with exterior improvements including a retaining wall greater than 30 inches in height.

LOCATION: 429 Monarch Bay Drive (APN 670-151-21)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on December 4, 2020, published within a newspaper of general circulation on December 4, 2020, and posted on December 4, 2020, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves a new two-story single family residence and retaining walls over 30 inches in height.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP(M)).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND:

The subject site is located west of the intersection of Crown Valley Parkway and Pacific Coast Highway in the Residential Single Family 4 (RSF 4) Zoning District and within the appeals jurisdiction of the City's Coastal Overlay District. The project site is an 8,378 square foot lot on Monarch Bay Drive and backs up to Pacific Coast Highway. The property is improved with a two-story, 3,173 square foot residence with an attached two-car garage.

DISCUSSION:

The project proposes to demolish the existing two-story, single family residence and construct a new two-story, single family residence and attached three car garage. The proposed habitable area is 4,490 square feet with an attached 789 square foot three-car garage. The proposed residence will include: three bedrooms, three and a half bathrooms, multi-purpose room, kitchen and great room, and laundry room. Various attached decks/balconies and accessory uses are proposed including a spa and other outdoor features. The applicant also proposes a 7'-8" wall at the rear of the property which would face Pacific Coast Highway (PCH). The wall would match the height and finish of the existing walls along PCH.

The proposed project site is rectangular in shape, but the longest portion of the site is parallel to the street. Due to this, the lot is considered to be shallow pursuant to Dana Point Zoning Code (DPZC) Section 9.05.190. Accordingly, lots with an average lot depth of 75 feet or less, the required front and rear setback shall not be more than 15% of the average depth. The project site has an average depth of 71.27'. Therefore, the front and rear yard setback is fifteen percent of 71.27', or 10'-9". Taking into account the reduced front and rear yard setbacks, the proposed project complies with the RSF 4 development standards identified in Table 1 below.

Table 1: Compliance with RSF-4 Development Standards

Development Standard	Requirement	Proposed	Compliant w/ Standard
Front Setback	10'-9" minimum	10'-9" minimum	Yes
Side Setback Interior	5 ft minimum	Left SYSB-15 ft Right SYSB- 14'6"	Yes
Rear Setback	10'-9" minimum	17'-10"	Yes
Height	24 ft maximum	24 ft	Yes
Lot Coverage	45% maximum	40%	Yes
Parking Required	2 parking spaces	3 parking spaces	Yes

The proposed Modern architecture utilizes flat roofs, curved radiuses, and stone accent features. A majority of the decks/balconies are located at the front of the house to take advantage of views towards the landscaped Mall and Ocean. Proposed plans are provided as Supporting Document 4, and a materials board will be provided at the Planning Commission public hearing. The proposed architecture is compatible with the neighborhood which has a diverse mix of architectural styles.

The project was approved by the Monarch Bay Home Owners Association prior to the submittal of the application (Supporting Document 3).

COASTAL DEVELOPMENT PERMIT CDP20-0020

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the proposed demolition of a two-story single family residence and construction of a new two-story single family residence in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a Coastal Development Permit (CDP). The project complies with all of the applicable provisions of the Dana Point Zoning Code for the issuance of a Coastal Development Permit as the proposed home does not impact public access or Environmentally Sensitive Habitat Areas (ESHA) as the parcel is already developed.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

- 1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
- 2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*

3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are provided in the attached draft Resolution identified as Action Document 1.

MINOR SITE DEVELOPMENT PERMIT SDP20-0027(M)

Pursuant to Section 9.05.120 of the Dana Point Zoning Code, the height of the proposed wall along the rear yard, requires approval of a Minor Site Development Permit. The wall will be 7'-8" as measured from the finished grade on PCH. Facing inward to the property, the maximum height is 8'-6", with lower walls to create planters for landscaping. The wall and landscaping is proposed to match the recently constructed wall at the rear of 431 Monarch Bay Drive which is located next door to the subject site, as shown in Image 1.

Image 1: Existing Rear Wall along PCH to be Matched



Pursuant to Section 9.69.070 of the DPZC stipulates four (4) findings to approve a Minor Site Development Permit:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and

2. That the site is suitable for the proposed use and development; and
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines; and
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.

The required findings are provided in the attached draft Resolution identified as Action Document 1.

CORRESPONDENCE:

No correspondence were received as of the publication date of this staff report.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project is found to comply with all standards of development, including the provisions of DPZC Section 9.05.190. Staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit CDP20-0020 and Minor Site Development Permit SDP20-0027(M) subject to the findings and conditions of approval contained therein.


Sean Nicholas, Senior Planner


Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 20-12-14-xx

Supporting Documents

2. Vicinity Map
3. Monarch Bay Association Approval Letter
4. Architectural Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 20-12-14-xx

RESOLUTION NO. 20-12-14-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0020/MINOR SITE DEVELOPMENT SDP20-0027(M) TO DEMOLISH A RESIDENCE AND CONSTRUCT A NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH A RETAINING WALL TALLER THAN 30 INCHES IN HEIGHT LOCATED AT 429 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Morris Skenderian (the "Representative") has filed an application on behalf of Gary Dapelo (the "Property Owners"), the owners of real property commonly referred to as 429 Monarch Bay Drive (APN 670-151-21) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit and Minor Site Development Permit for the demolition of a single family residence and construction of a new two-story, single family residence with retaining walls over 30 inches in height; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 – New Construction) in that the project involves the demolition of one single family residence and the construction of a new single family residence; and

WHEREAS, the Planning Commission did, on the 14th day of December, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0020/Minor Site Development Permit SDP20-0027(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP20-0020 and SDP20-0027(M) subject to the following conditions of approval:

Findings:

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- A) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP20-0020, subject to conditions:
1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the design of the proposed two-story single family residence complies with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property). The project will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by adding a new high quality modern style house that adds to the eclectic mix of styles within Monarch Bay.**
 2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot, zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exists nearby at City, County, and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
 3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction) in that it proposes to replace a two-story, single family residence with another two-story, single family residence. The project will comply with all applicable development standards and will be consistent with the developed community.**
 4. That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the subject property is an already developed parcel containing no environmentally sensitive habitat area**

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(ESHA), and the proposed improvements would not result in adverse impacts.

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is an already developed property located in an established area of residential uses with no natural landforms present. The proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
 6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed project will replace a two-story, single family residence with a new two-story, single family residence. The project design conforms to the development and design standards of the Dana Point Zoning Code and is complementary to surrounding development in terms of mass and size.**
 7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that, the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**
- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP20-0027(M), subject to conditions:
1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that Section 9.05.120(d)(2) of the DPZC allows retaining walls to exceed 30 inches in height. The proposed over height wall will be visible from Pacific Coast Highway (PCH), but will match the height, finish, and landscaping of the adjacent wall. The approval will continue the aesthetic approved for other new walls adjacent to the project site.**
 2. That the site is suitable for the proposed use and development **in that the project will replace the existing two-story single family residence with a new two-story single family residence, including removing the existing aged rear fence with a new wall matching the adjacent wall facing PCH.**

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3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that pursuant to Policy 5.5 of the Urban Design Element of the General Plan, consistent landscaping is proposed to screen the proposed wall and will add to the overall aesthetics of PCH.**
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture **in that the proposed siting and structural design for the masonry block wall is appropriate for the site since it matches adjacent improvements, and includes landscape that will grow to cover the wall and screen it from view from PCH.**

Conditions:

General:

1. Approval of this application permits the demolition and construction of a two-story, single family residence with retaining walls exceeding 30 inches in height, and applicable ancillary outdoor improvements associated with the single family residence pursuant to the approved plans, at 429 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from

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any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
11. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
12. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

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Prior to Issuance of a Grading Permit:

13. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
14. The applicant shall submit a geotechnical report for review and approval by the Director of Public Works. This report shall, at a minimum, involve a discussion of the current development and an assessment of potential soil related constraints and geologic hazards such as slope instability, settlement, liquefaction, and/or related seismic impacts. The report shall also include an evaluation of potentially expansive soils and recommend construction procedures and/or design criteria to minimize the effect of these soils on the proposed development. All reports shall recommend appropriate mitigation measures and provide a statement of the feasibility or approval of the project from a geotechnical standpoint. All reports shall be completed in the manner specified by the City of Dana Point Municipal Code, the City of Dana Point Grading Manual, and Orange County Grading Manual.
15. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
16. A performance bond shall be required for the completion of all grading activities up to 100% of the proposed improvements. The grading and final improvements shall be constructed and approved by Director of Public Works, prior to the issuance of a Certificate of Occupancy.
17. Separate submittal for review, approval and permits are required for project walls. Separate applications shall be made to the Community Development Department for all project walls. The submittals shall be in accordance with the latest Community Development requirements.
18. All walls required to be construction to facilitate the grading operations or establishment of the design PAD grades and rough grading certification shall be issued concurrently with the grading permit. This includes but not limited to temporary shoring walls, permanent shoring walls, property line masonry walls, or other structures as determined by the Director of Public Works.

Prior to Issuance of a Building Permit:

19. The applicant shall submit an application for separate structures, including any retaining walls, interior house improvements, rear yard accessory uses consistent with the approved plan. A separate permit submittal shall be made to the Building Department in accordance with the current submittal requirements and California Building Code.

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20. Fire sprinkler system is required. Please work with OCFA and Building Division to provide the necessary plans and permits.
21. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
22. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
23. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
24. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
25. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
26. A separate building permit will be required for the pool and spa, proposed walls, and all other structures referenced on the submitted plan. The Building Department should be consultant for all permitting and submittal requirements.
27. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all existing and proposed drainage from site being directed to an approved outlet.

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Prior to issuance of a Certificate of Occupancy

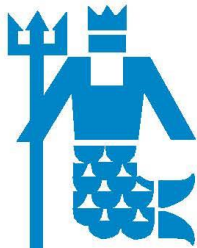
28. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
29. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
30. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
31. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
32. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
28. Prior to commencement of framing, the Applicant shall submit a setback certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP20-0020/SDP20-0027(M). The City's standard "Setback Verification Certification" form shall be obtained at time of permit issuance, prepared by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval.
29. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP20-0020/SDP20-0027(M). The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
30. All project landscaping within all yards shall be installed prior to scheduling of a final inspection of the project by the Planning Division.
31. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials, and compliance with any outstanding project conditions of approval.

SUPPORTING DOCUMENT 2: Vicinity Map

VICINITY MAP



SUPPORTING DOCUMENT 3: Monarch Bay Association Approval Letter



Monarch Bay Association

August 11, 2020

Gary Dapelo
429 Monarch Bay Drive
Monarch Beach, CA 92629

via e-mail

RE: 429 MONARCH BAY DRIVE
NEW HOME CONSTRUCTION PLAN DATED 7/30/20 BY MORRIS SKENDERIAN

Dear Mr. Dapelo,

We are pleased to advise that the Monarch Bay Association Architectural Control Committee approved your home remodel plans and the variance to expand the footprint of your home as requested. We are attaching a scanned signed approval on a reduced plan sheet as an alternative to stamping plans which is challenging due to our "work from home" requirement at this time.

The landscape/hardscape plans will be reviewed as a separate submittal.

Prior to the commencement of construction you will be required to submit a construction deposit in the amount of \$25,000 made payable to the Monarch Bay Association. Upon the successful completion of your home, the deposit will be reconciled against the road use fees and the balance refunded to you.

Attached are the construction rules to share with your contractor to ensure they know what is expected of them while working in the Monarch Bay community.

The Committee truly appreciates your on-going cooperation and wish you luck with your project.

Respectfully,

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

CC: Board
Architectural Control Committee
Skenderian Architects via email
MB/429/arch/new home and variance approval/08.11.20

DAPELO RESIDENCE

429 MONARCH BAY DRIVE

SCOPE OF WORK

DEMOLISH AND REMOVE EXISTING:

1. TWO STORY RESIDENCE AND TWO CAR GARAGE.
2. STORAGE SHED AND SPA.
3. LANDSCAPE AND HARD-SCAPE.
4. CONCRETE BLOCK SOUND WALL.

CONSTRUCT / INSTALL NEW:

5. TWO STORY RESIDENCE WITH THREE CAR GARAGE.
6. SITE WALLS AND RETAINING WALLS.
7. SOUND WALL CLOSER TO PROPERTY LINE.
8. TWO OUTDOOR CONDENSING UNITS.
9. SPA IN SIDE YARD AND WATER FEATURE IN REAR YARD.
10. LANDSCAPE AND HARD-SCAPE.
11. FUTURE FOR SOLAR POWER.

SITE PLAN

SITE PLAN KEYNOTES:

1. OFF-STREET PARKING LOCATIONS 8'-0" X 20'-0" [C18]
2. OFF-STREET PARKING DRIVEWAY LENGTH (23'-0" MINIMUM REQUIRED) AS MEASURED FROM THE PROPERTY LINE TO THE GARAGE DOOR WALL PER DPM 3.5.000 (NVA) 16A
3. TRASH STORAGE AREA 3'-0" X 7'-0" ON CONCRETE.
4. OUTDOOR CONDENSER UNIT.
5. BUILDING OUTLINE ABOVE.
6. ENTRY LANDING PAVERS OVER CONCRETE SLAB. [C17]
7. EXTERIOR DOOR LANDING NATURAL CONCRETE. [C18]
8. WATER FEATURE.
9. SPA WITH PRECAST CAP.
10. SITE WALL SMOOTH COAT STUCCO OVER WOOD FRAMING. [C21]
11. SIDE YARD SITE WALL, MAXIMUM 8'-0" TALL ON NEIGHBORING PROPERTY SIDE, SMOOTH COAT STUCCO OVER CONCRETE BLOCK. [C2]
12. REAR YARD SOUND WALL, MAXIMUM 8'-0" TALL ON COAST HIGHWAY SIDE, SPLIT-FACE CONCRETE BLOCK AND PRECAST CAP.
13. FRONT YARD SITE WALL, MAXIMUM 6'-0" TALL ON SUBJECT PROPERTY SIDE, SMOOTH COAT STUCCO OVER CONCRETE BLOCK. [C2]
14. LANDSCAPE PLANTER WALL, SMOOTH COAT STUCCO OVER CONCRETE BLOCK AND PRECAST CAP. [C2]
15. LANDSCAPE PLANTER WALL 7'-0" TALL, SMOOTH COAT STUCCO OVER CONCRETE BLOCK AND PRECAST CAP. [C2]
16. LANDSCAPE PLANTER WALL 4'-0" TALL, SMOOTH COAT STUCCO OVER CONCRETE BLOCK AND PRECAST CAP. [C2]
17. METAL FENCE, MAXIMUM 6'-0" TALL ON NEIGHBORING PROPERTY SIDE. [C18]
18. FENCE AND GATES - METAL FRAME WITH WOOD FINISH 6'-0" TALL. [C23]
19. TURF BLOCK SIDE YARD.
20. ARTIFICIAL TURF YARD AREA.
21. 400 AMP ELECTRIC METER.
22. GAS METER.
23. SEWER LATERAL CONNECTION LOCATION.
24. STORM DRAIN OUTLET LOCATIONS IN CURB.
25. WATER METER 8" O.D. 1" SERVICE LOCATION.
26. ELECTRIC SERVICE BOX.
27. OUTDOOR SHOWER.
28. MAILBOX LOCATION.
29. NATURAL CONCRETE WALK AREAS. [C19]

REFERENCE TO MATERIAL / COLOR TABLE: ON SHEET A-4.0 [C9]

PROJECT SUMMARY TABLES

PROJECT DATA

DESCRIPTION	EXISTING	ADDITION / REDUCTION	PROPOSED TOTAL
LIVING AREA LOWER	1,385 SF	2,081 / (1,305)	2,081 SF
UPPER	1,778 SF	2,439 / (1,778)	2,439 SF
TOTAL HABITABLE	3,173 SF	4,499 / (3,173)	4,499 SF
GARAGE:			
ELEVATED DECK	0 SF	789 / (0)	789 SF
M. FORM	0 SF	180 / (0)	180 SF
GROOM	422 SF	311 / (422)	311 SF
KITCHEN	143 SF	148 / (143)	148 SF
TOTAL DECK	565 SF	557 / (565)	557 SF
STORAGE:			
TOTAL STORAGE	115 SF	0 / (115)	0 SF
LOT COVERAGE %:			
		CITY ALLOWED = 3,770 / 8,378 = 45%	
		H.O.A. ALLOWED = 3,352 / 8,378 = 40%	
		EXISTING = 3,780 / 8,378 = 45%	
		PROPOSED = 3,352 / 8,378 = 40%	

PROJECT INFORMATION

TYPE OF CONSTRUCTION: V-8
TYPE OF OCCUPANCY: R-1
APPLICABLE: 2019 CALIFORNIA RESIDENTIAL CODE (CRC), (CBC), MECHANICAL (CMC), PLUMBING (CPC), ELECTRICAL (CEC), ENERGY (CENC), FIRE (CFC), GREEN (CGC), DANA POINT MUNICIPAL CODE (CMC).

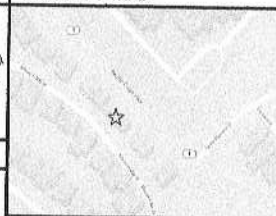
LEGAL DESCRIPTION

A.P.N. 670-151-21
N TR 4472 BLK LOT 40

LOT SIZE

8,378 SQUARE FEET

VICINITY MAP



PROJECT ADDRESS

429 MONARCH BAY DRIVE
DANA POINT, CA 92629

CONTACTS

OWNER:
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SHEET INDEX

ARCHITECTURE	TITLE SHEET / SITE PLAN
STK	STAKING PLAN
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A-2.1	UPPER LEVEL FLOOR PLAN
A-2.2	ROOF PLAN
A-3.0	EXTERIOR ELEVATIONS
A-3.1	EXTERIOR ELEVATIONS
A-4.0	BUILDING SECTIONS
A-4.1	BUILDING SECTIONS
A-4.2	BUILDING SECTIONS

CIVIL	TOPOGRAPHIC SURVEY
T-01	PRELIMINARY GRADING AND DRAINAGE

VIEW CORRIDOR

432 PHOTOS PER HCA SITE WALK ON 7/26/2020

REVISIONS

NO.	DATE	BY
1	7/6/2020	DJB
2	7/30/2020	DJB



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TITLE SHEET
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVISIONS

1	7/6/2020	HOA REVIEW MODIFICATION
2	7/30/2020	HOA REVIEW MODIFICATION

REVISIONS	DATE	BY
1	7/6/2020	DJB
2	7/30/2020	DJB

T-1

SUPPORTING DOCUMENT 4: Architectural Plans

ATTACHMENT

DAPELO RESIDENCE

429 MONARCH BAY DRIVE

SCOPE OF WORK

DEMOLISH AND REMOVE EXISTING:

1. TWO STORY RESIDENCE AND TWO CAR GARAGE.
2. STORAGE SHED AND SPA.
3. LANDSCAPE AND HARD-SCAPE.
4. CONCRETE BLOCK SOUND WALL.

CONSTRUCT / INSTALL NEW:

5. TWO STORY RESIDENCE WITH THREE CAR GARAGE.
6. SITE WALLS AND RETAINING WALLS.
7. SOUND WALL CLOSER TO PROPERTY LINE.
8. TWO OUTDOOR CONDENSING UNITS.
9. SPA IN SIDE YARD AND WATER FEATURE IN REAR YARD.
10. LANDSCAPE AND HARD-SCAPE.
11. SOLAR POWER INSTALLATION.

PROJECT SUMMARY TABLES

PROJECT DATA

DESCRIPTION	EXISTING	ADDITION / (REDUCTION)	PROPOSED TOTAL
LIVING AREA: LOWER	1,395 SF	2,081 / (1,395)	2,081 SF
UPPER	1,778 SF	2,409 / (1,778)	2,409 SF
TOTAL HABITABLE	3,173 SF	4,490 / (3,173)	4,490 SF
GARAGE:	498 SF	789 / (498)	789 SF
ELEVATED DECK: M.BDRM	0 SF	100 / (0)	100 SF
G.ROOM	422 SF	311 / (422)	311 SF
KITCHEN	143 SF	146 / (143)	146 SF
TOTAL DECK	565 SF	557 / (565)	557 SF
STORAGE:	115 SF	0 / (115)	0 SF
TOTAL STORAGE	115 SF	0 / (115)	0 SF
LOT COVERAGE %:	CITY ALLOWED = 3,770 / 8,378 = 45% H.O.A. ALLOWED = 3,352 / 8,378 = 40% EXISTING = 2,780 / 8,378 = 33% PROPOSED = 3,352 / 8,378 = 40%		
LANDSCAPE AREA:	EXISTING = 3,222 / 8,378 = 38% PROPOSED = 2,340 / 8,378 = 28%		
MIN. REQ. = 25% (2,095 SF)			

PROJECT INFORMATION

TYPE OF CONSTRUCTION: V-B

TYPE OF OCCUPANCY: R-1

APPLICABLE BUILDING CODES: 2019 CALIFORNIA RESIDENTIAL CODE (CRC), (CBC), MECHANICAL (CMC), PLUMBING (CPC), ELECTRICAL (CEC), ENERGY (CENC), FIRE (CFC), GREEN (CGBC), DANA POINT MUNICIPAL CODE (DPMC).

SPRINKLERS REQUIRED: YES

LEGAL DESCRIPTION

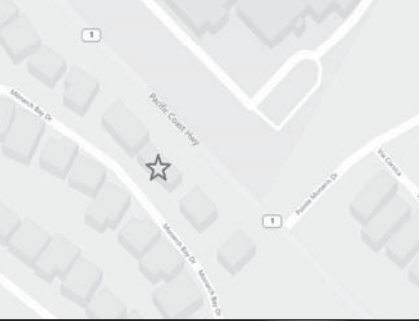
A.P.N. 670-151-21

N TR 4472 BLK LOT 40

LOT SIZE

8,378 SQUARE FEET

VICINITY MAP



PROJECT ADDRESS

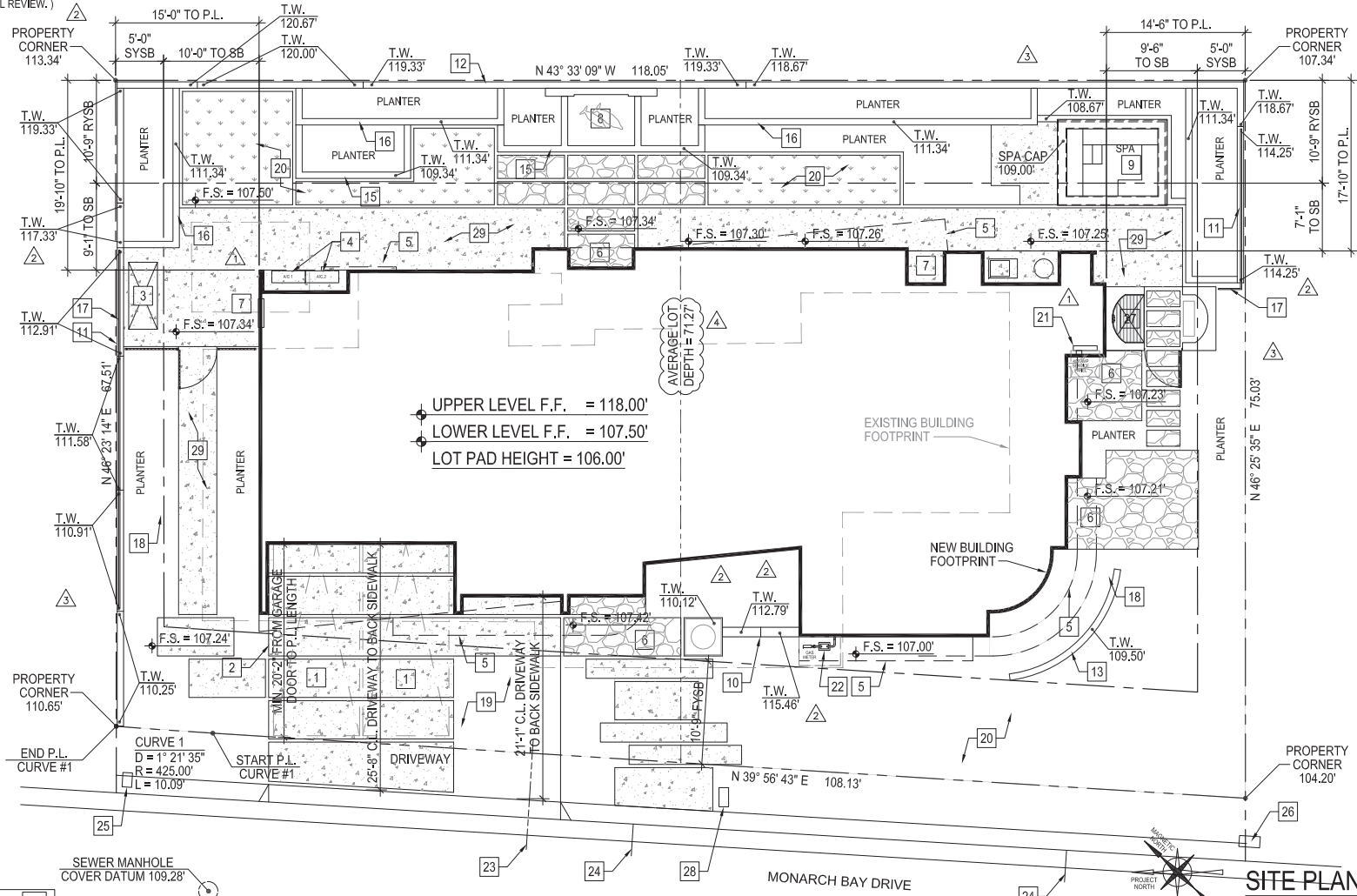
429 MONARCH BAY DRIVE
DANA POINT, CA 92629

SITE PLAN

SITE PLAN KEYNOTES:

(NOTE: ALL HARDSCAPE ITEMS UNDER SEPARATE HOA SUBMITTAL REVIEW.)

1. OFF-STREET PARKING LOCATIONS 9'-0" X 20'-0". [C14]
2. OFF-STREET PARKING DRIVEWAY LENGTH (20'-0" MINIMUM REQUIRED) AS MEASURED FROM THE PROPERTY LINE TO THE GARAGE DOOR WALL PER DPMC 9.35.050(b)(5)(A)(1)(a).
3. TRASH STORAGE AREA 3'-0" X 7'-0" ON CONCRETE.
4. OUTDOOR CONDENSER UNIT.
5. BUILDING OUTLINE ABOVE.
6. DOOR LANDING PAVERS OVER CONCRETE SLAB. [C17]
7. EXTERIOR DOOR LANDING NATURAL CONCRETE. [C15]
8. WATER FEATURE.
9. SPA WITH PRECAST CAP.
10. SITE WALL SMOOTH COAT STUCCO OVER WOOD FRAMING. [C3]
11. SIDE YARD SITE WALL, MAXIMUM 6'-0" TALL ON NEIGHBORING PROPERTY SIDE, SMOOTH COAT STUCCO OVER CONCRETE BLOCK. [C2]
12. REAR YARD SOUND WALL, MAXIMUM 8'-0" TALL ON COAST HIGHWAY SIDE, SPLIT-FACE CONCRETE BLOCK AND PRECAST CAP. [C17]
13. FRONT YARD SITE WALL, MAXIMUM 6'-0" TALL ON SUBJECT PROPERTY SIDE, SMOOTH COAT STUCCO OVER CONCRETE BLOCK. [C2]
14. N/A.
15. LANDSCAPE PLANTER WALL 2'-0" TALL, SMOOTH COAT STUCCO OVER CONCRETE BLOCK AND PRECAST CAP. [C2]
16. LANDSCAPE PLANTER WALL 4'-0" TALL, SMOOTH COAT STUCCO OVER CONCRETE BLOCK AND PRECAST CAP. [C2]
17. METAL SPA SAFETY FENCE, MAXIMUM 6'-0" TALL ON NEIGHBORING PROPERTY SIDE. [C19]
18. FENCE AND GATES - METAL PICKET 5'-0" TALL. [C13]
19. TURF BLOCK DRIVEWAY.
20. ARTIFICIAL TURF YARD AREA.
21. 400 AMP ELECTRIC METER.
22. GAS METER.
23. SEWER LATERAL CONNECTION LOCATION.
24. STORM DRAIN OUTLET LOCATIONS IN CURB.
25. WATER METER 3/4" ON 1" SERVICE LOCATION.
26. ELECTRIC SERVICE BOX.
27. OUTDOOR SHOWER.
28. MAILBOX LOCATION.
29. NATURAL CONCRETE WALK AREAS. [C15]



REFERENCE TO MATERIAL / COLOR TABLE: ON SHEET A-4.0 [C#]

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SHEET INDEX

ARCHITECTURE

T-1	TITLE SHEET / SITE PLAN	
BMP	BEST MANAGEMENT PRACTICES	
R-0.0	RECORD SITE PLAN	
A-0.0	ARCHITECTURAL SITE PLAN	
A-2.0	LOWER LEVEL FLOOR PLAN	
A-2.1	UPPER LEVEL FLOOR PLAN	
A-2.2	ROOF PLAN	
A-2.3	DOOR AND WINDOW SCHEDULES	
A-3.0	EXTERIOR ELEVATIONS	
A-3.1	EXTERIOR ELEVATIONS	
A-4.0	BUILDING SECTIONS	
A-4.1	BUILDING SECTIONS	
A-4.2	BUILDING SECTIONS	

CIVIL

1 of 1	TOPOGRAPHIC SURVEY
C-1	PRELIMINARY GRADING AND DRAINAGE

LANDSCAPE

L-1	HARDSCAPE PLAN
L-2	HARDSCAPE DETAILS
L-3	HARDSCAPE DETAILS
L-4	PLANTING PLAN
L-5	PLANT IMAGES
L-6	EXTERIOR LIGHTING PLAN

REVISIONS

NO.	DATE	BY
△	7/6/2020	DJB
△	7/30/2020	DJB
△	9/28/2020	ABC
△	11/2/2020	ABC

REVISIONS

NO.	DATE	BY
△	7/6/2020	DJB
△	7/30/2020	DJB
△	9/28/2020	ABC
△	11/2/2020	ABC



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TITLE SHEET
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	-
FIRST SUBMITTAL DATE	6 / 5 / 2020
DRAWN BY	JOB NUMBER
	19-010

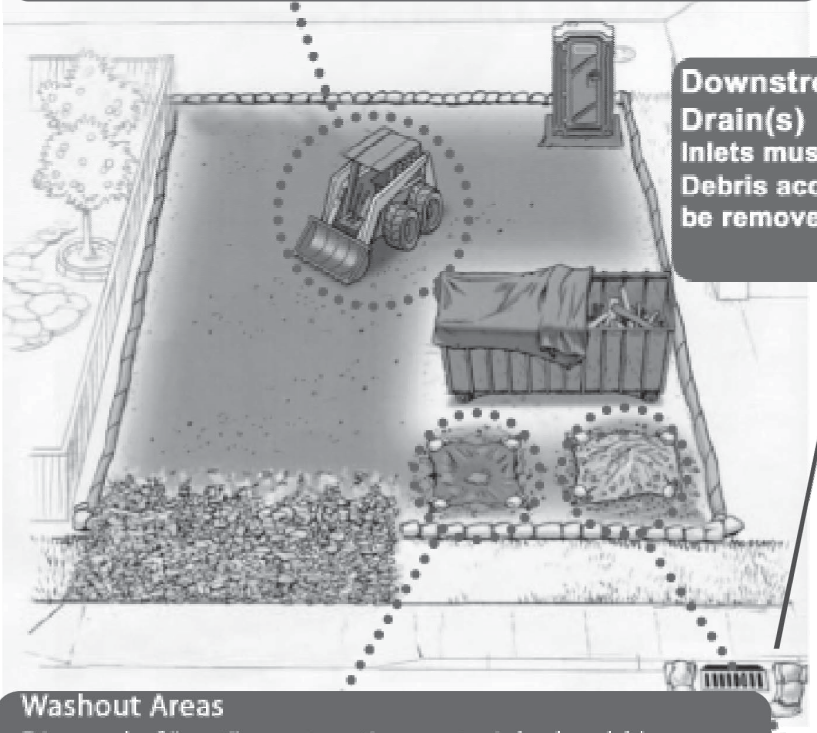
SHEET NUMBER
T-1

Gravel bag material shall have a mullen burst strength exceeding 2,700 kPa (300 psi) per ASTM D3786 & UV stability exceeding 70% per ASTM D4355. Burlap is not acceptable. Baron Bag or appr equal. Addl. requirements for bags used 6 mos. or longer.

Best Management Practices for Construction Sites

Earthmoving Equipment

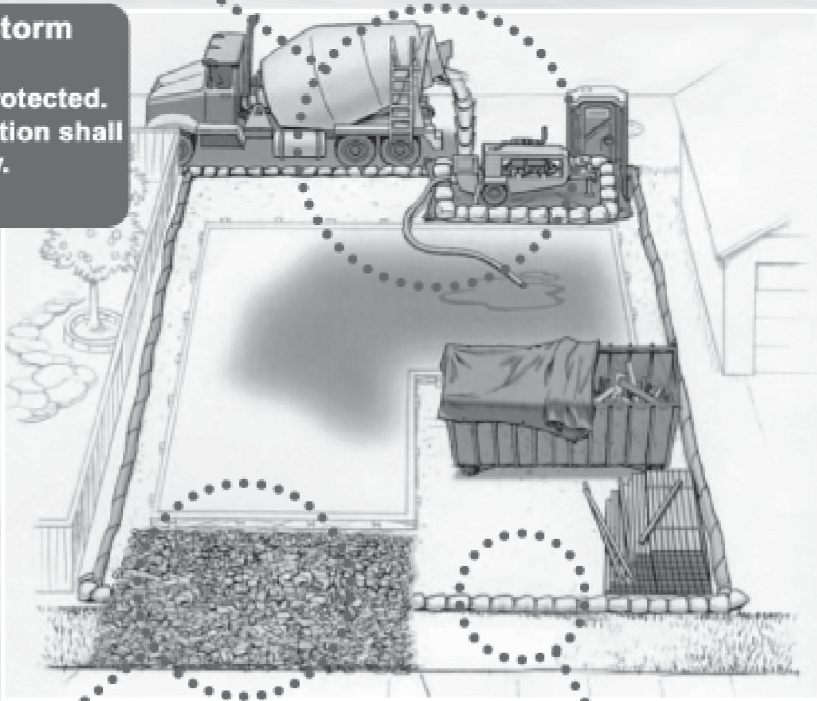
All earthmoving equipment must be stored onsite. Drip pans must be placed under equipment not in use, to contain leaks when observed. Maintenance must be conducted onsite instead of in the street. Any leaks should be cleaned up and repaired immediately.



Downstream Storm Drain(s)
Inlets must be protected. Debris accumulation shall be removed daily.

Concrete Trucks/Pumpers

Pumpers must be surrounded by perimeter controls, such as gravel bags, sandbags, or straw wattles. Waterproof tarps also must be placed beneath concrete pumpers at all times to prevent spills into the street and sidewalk. Residual materials must be cleaned up. Trucks and pumpers are required to clean out in the washout area, not in the street, catch basin or a wheelbarrow.

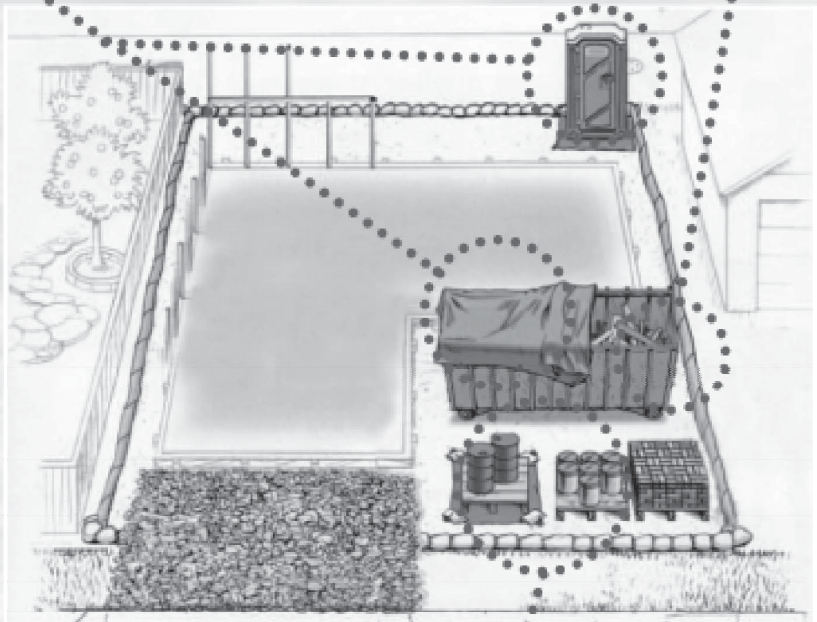


Dumpsters and Portable Toilets

Dumpsters must be covered with a waterproof covering at the end of each work day and during a rain event. Area around dumpster must be kept clean. Dumpsters must be located onsite unless an Encroachment Permit is obtained for placement in street. Portable toilets must have drip pans and be placed onsite so that any spills do not discharge offsite.

Building Materials/Staging Areas

Construction materials (including landscape materials) must be stored onsite. Building materials must be covered when not in use to prevent runoff caused by wind or rain.



Washout Areas

Disposal of "wet" construction materials should be handled in the washout area. This includes paint, stucco, and concrete. Use a waterproof pit (visqueen or kiddie pool, etc.) to collect and contain liquids and prevent runoff into the street and gutter. The washout area must be checked and maintained daily to ensure compliance. Washout material must be disposed of properly. Leaks must be repaired immediately.

Dirt and Grading

Stockpiled dirt and gravel must be stored onsite and covered. Dust control shall be maintained throughout all phases on construction. During the rainy season (October 1 - April 30) additional gravel, bags, tarps, and visqueen must be stored on site for emergency repair with perimeter control, when not in use.

Perimeter Controls

Gravel bags, silt fences and straw wattles are acceptable perimeter controls and must be used to control site run-on and runoff. Avoid running over perimeter controls with vehicles or heavy equipment, as they can damage the materials. Keep extra absorbent materials and/or a wet/dry vacuum onsite to quickly pick up spills. Sites must be checked and maintained daily.

Tracking Controls

All entrances/exits on the site must have coarse gravel (2" to 6" angular material, as effective) and/or steel shaker plates to prevent offsite sediment tracking. Hand or mechanical sweeping must also be used as needed to clean up any material that gets tracked offsite.

Liquid Storage

Paints, solvents, fuel and other liquids stored onsite must be contained in watertight containers and covered with waterproof tarp. It is illegal for contractors to wash out and dump liquid waste or residue in the street, storm drain or sewer. Use washouts or hazardous material drums to contain liquid waste and residue and dispose of this material

Revised January 2017

REVISIONS		
NO.	DATE	BY

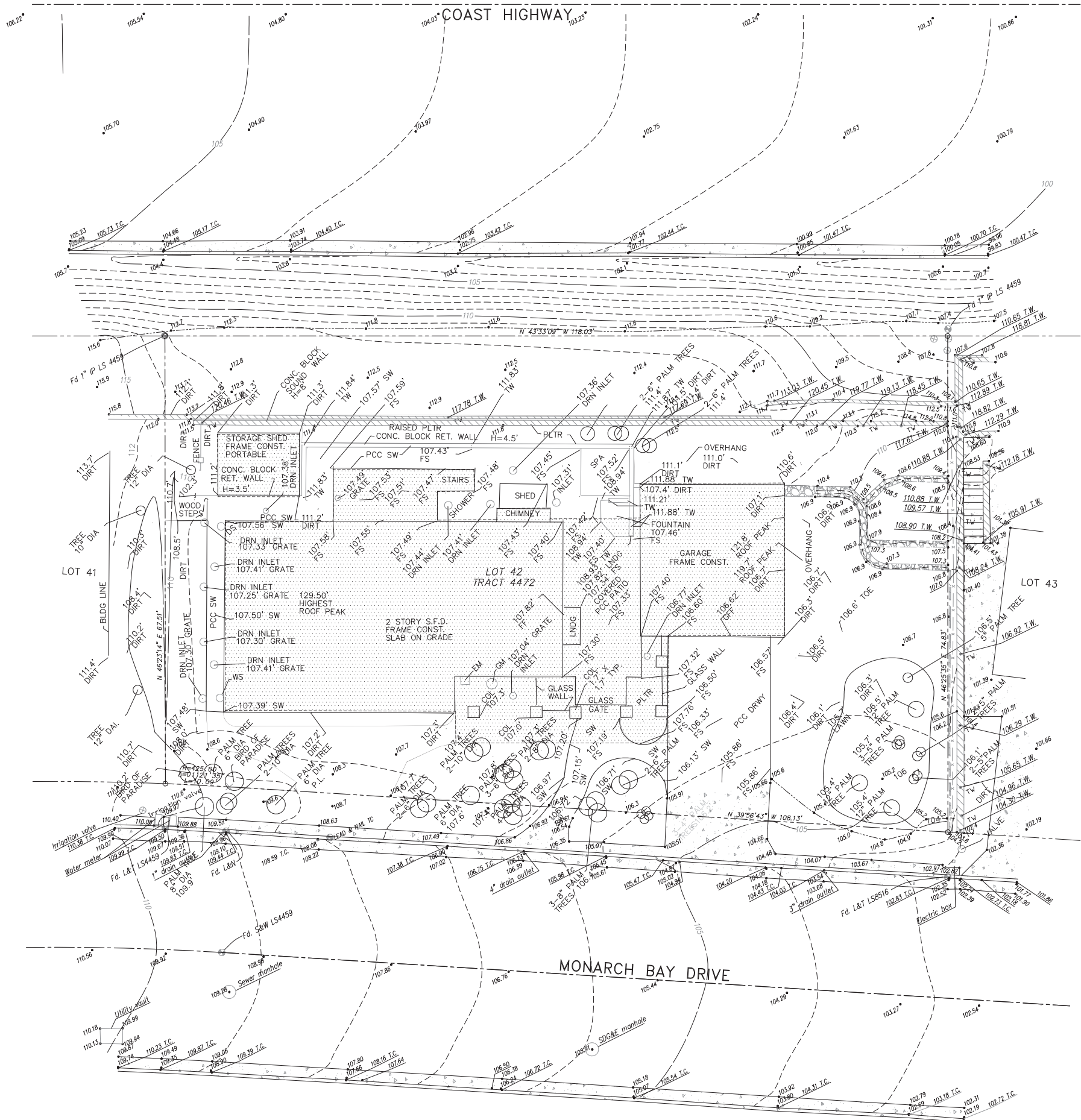


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CITY OF DANA POINT - BEST MANAGEMENT PRACTICES
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
- / -	
FIRST SUBMITTAL DATE	
6 / 5 / 2020	
DRAWN BY	JOB NUMBER
19-010	19-010
SHEET NUMBER	
00 BMP	



RECORD SITE - DEMOLITION NOTES:

1. DEMOLISH AND REMOVE EXISTING RESIDENCE TO GRADE AND CLEAR THE SITE OF ANY DEBRIS.
2. REMOVE AND CAP ALL EXISTING UTILITIES AT THE PROPERTY LINE.
3. DEMOLISH AND REMOVE ALL EXISTING HARDSCAPE INCLUDING: DRIVEWAY, WALKWAYS, LANDSCAPE WALLS, SITE WALLS, SOUND WALL, PLANT MATERIAL, ETC.
4. REMOVE ALL PLANT MATERIAL EXCEPT THAT NOTED TO REMAIN ON THE LANDSCAPE PLANS.
5. FOLLOW ALL CITY OF DANA POINT "BEST MANAGEMENT PRACTICES". SEE SHEET BMP.

CONTACT DIG ALERT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION TO IDENTIFY ALL UNDERGROUND UTILITIES.

GENERAL NOTES:

UTILITY LOCATIONS:

THE GENERAL CONTRACTOR SHALL LOCATE ALL EXISTING ABOVE AND BELOW GROUND UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK. EXACT LOCATION AND DEPTH OF SEWER CONNECTION SHALL BE DETERMINED PRIOR TO INSTALLATION OF ANY WASTE SYSTEMS.

SITE AND CONSTRUCTION PHOTO DOCUMENTATION:

PRIOR TO COMMENCEMENT OF DEMOLITION, THE GENERAL CONTRACTOR SHALL PHOTO DOCUMENT ALL EXISTING STRUCTURES, STREET OR OTHER SITE CONDITIONS THAT ARE TO REMAIN, AND ALL STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS PRIOR TO REMOVAL FOR FUTURE REFERENCES INCLUDING ELECTRICAL WIRING, UNDERGROUND CONDUIT, WASTE AND WATER LINES, DUCT WORK, STRUCTURAL FRAMING, ETC..

DEMOLITION:

INCLUDES CAPPING OFF OF ALL EXISTING UTILITIES AT THE PROPERTY LINE.

DEMOLITION CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE TO ADJACENT PUBLIC OR PRIVATE PROPERTIES OR STRUCTURES DURING DEMOLITION AND DEBRIS REMOVAL OPERATIONS.

EXISTING ADJACENT CONSTRUCTION TO REMAIN SHALL BE PHOTO DOCUMENTED AND THEN ADEQUATELY PROTECTED OR SUPPORTED DURING ALL DEMOLITION AND DEBRIS REMOVAL OPERATIONS.

DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY THE DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM SITE AND TRANSPORTED TO A LEGAL DUMPSITE PER APPLICABLE MUNICIPAL AND / OR COUNTY REQUIREMENTS.

ASBESTOS REMOVAL:

- 1) NOTIFY AQMD IN WRITING, 10 DAYS PRIOR TO STARTING ANY DEMOLITION WORK.
- 2) CONTRACT WITH A LICENSED ENVIRONMENTAL CONTRACTOR TO PROVIDE A REPORT, REMOVE, HANDLE, LABEL, STORE AND DISPOSE OF FRANGIBLE AND NON-FRANGIBLE ASBESTOS CONTAINING MATERIAL (ACM) PER AQMD.
- 3) COMPLY WITH THE PROCEDURES OUTLINED BY AQMD WHEN YOU REMOVE, STRIP OR HANDLE ACM.

INDICATES EXISTING BUILDING TO BE DEMOLISHED AND SITE CLEARED TO GRADE.

RECORD ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"

REVISIONS

NO.	DATE	BY
4	11/2/2020	ABC

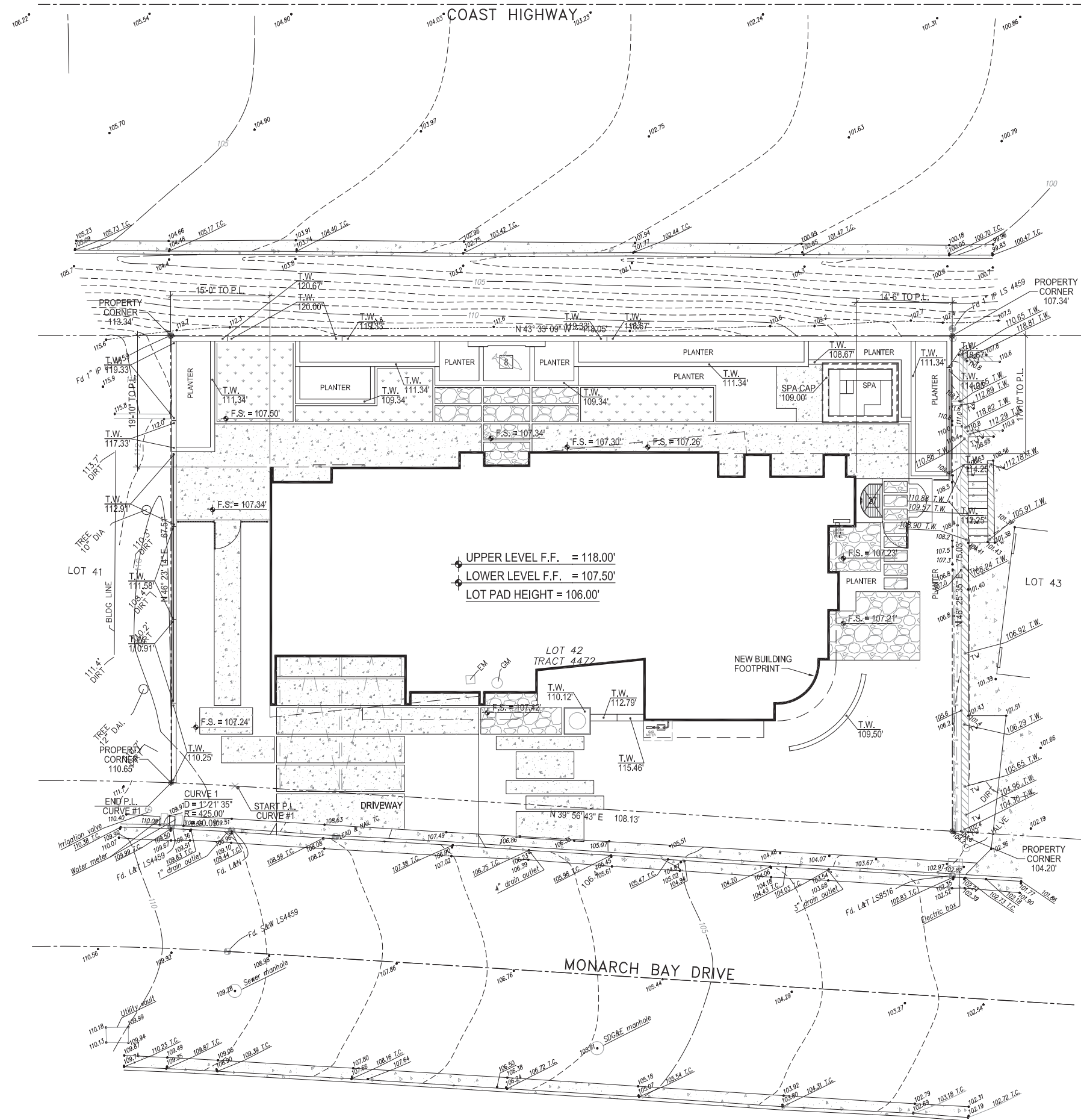


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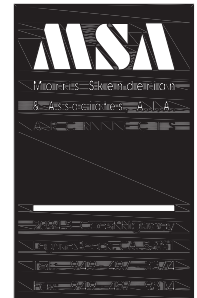
RECORD ARCHITECTURAL SITE PLAN
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
FIRST SUBMITTAL DATE	
6 / 5 / 2020	
DRAWN BY	JOB NUMBER
19-010	
SHEET NUMBER	
R-0.0	



ARCHITECTURAL SITE PLAN
SCALE: 1/8"=1'-0"

REVISIONS		
NO.	DATE	BY
4	11/2/2020	ABC

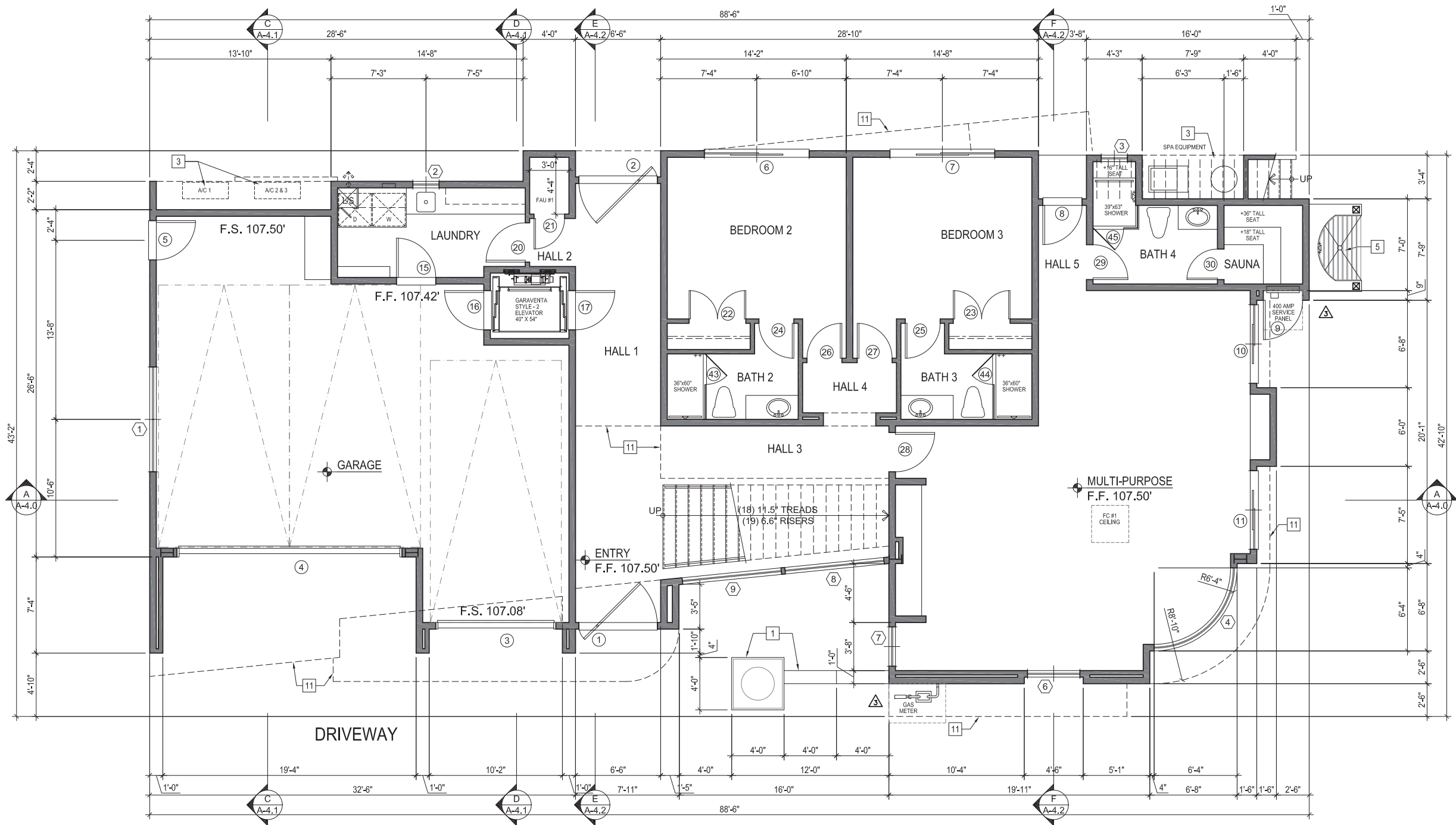


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ARCHITECTURAL SITE PLAN
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
FIRST SUBMITTAL DATE	
6 / 5 / 2020	
DRAWN BY	JOB NUMBER
19-010	19-010
SHEET NUMBER	
A-0.0	



FLOOR KEYNOTES:

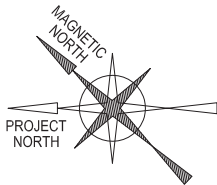
1. STUCCO - SMOOTH COAT FINISH WITH FIBER ADDITIVE AND MESH IN SCRATCH AND BROWN COATS TO MINIMIZE CRACKING TYPICAL. COLORS APPROVED BY ARCHITECT AND OWNER. [C3]
2. COPPER GUTTER - 20 OZ. MATERIAL WITH CONCEALED FASTENERS CONNECTED TO BELOW GRADE STORM WATER SYSTEM. [C10]
3. AIR CONDITIONING - CONDENSER UNIT LOCATIONS.
4. SPA EQUIPMENT LOCATION.
5. OUTDOOR SHOWER - STONE OVER CONCRETE BLOCK, OPEN ON ONE SIDE WITH WALNUT STAINED TEAK STANDING SURFACE.
6. TRELLIS OVER OUTDOOR SHOWER WITH EXPOSED WALNUT STAINED 4X6 AND 6X8 WOOD BEAMS WITH COPPER CAP.

7. PIZZA OVEN - ON REAR DECK.
8. DECKS / EXTERIOR STAIRS - NATURAL CONCRETE COLOR CERAMIC TILE OVER POLYURETHANE WATERPROOFING AND WOOD DECKING. [C18]
9. GUARDS - METALIZED STEEL SUPPORTS AND CAP TO 42 INCHES ABOVE THE DECK SURFACE WITH 1/2 INCH CLEAR TEMPERED GLASS PANELS. STEEL COLOR APPROVED BY ARCHITECT AND OWNER. [C13]
10. GUARDS - SMOOTH STUCCO FINISH OVER WOOD FRAMING TO 42 INCHES ABOVE THE DECK SURFACE. [C2]
11. LINE OF FLOOR ABOVE.

REFERENCE TO MATERIAL / COLOR TABLE: [C#]
ON SHEET A-4.0

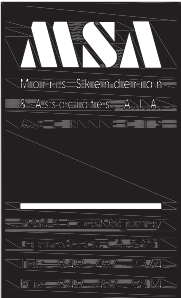
HABITABLE:	
LOWER FLOOR =	2,081 S.F.
UPPER FLOOR =	2,409 S.F.
TOTAL HABITABLE =	4,490 S.F. [A]
GARAGE =	
	789 S.F.
DECKS:	
M. BDRM DECK =	100 S.F.
GREAT ROOM DECK =	311 S.F.
KITCHEN DECK =	146 S.F.
TOTAL DECK =	557 S.F. [A]

(CITY OF DP MAX) = 3,770 / 8,378 = 45%
SITE COVERAGE = 3,352 / 8,378 = 40%
(PER HOA MAX) 3,352 / 8,378 = 40% [A]



LOWER FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY
1	7/6/2020	DJB
2	7/30/2020	DJB
3	9/28/2020	ABC

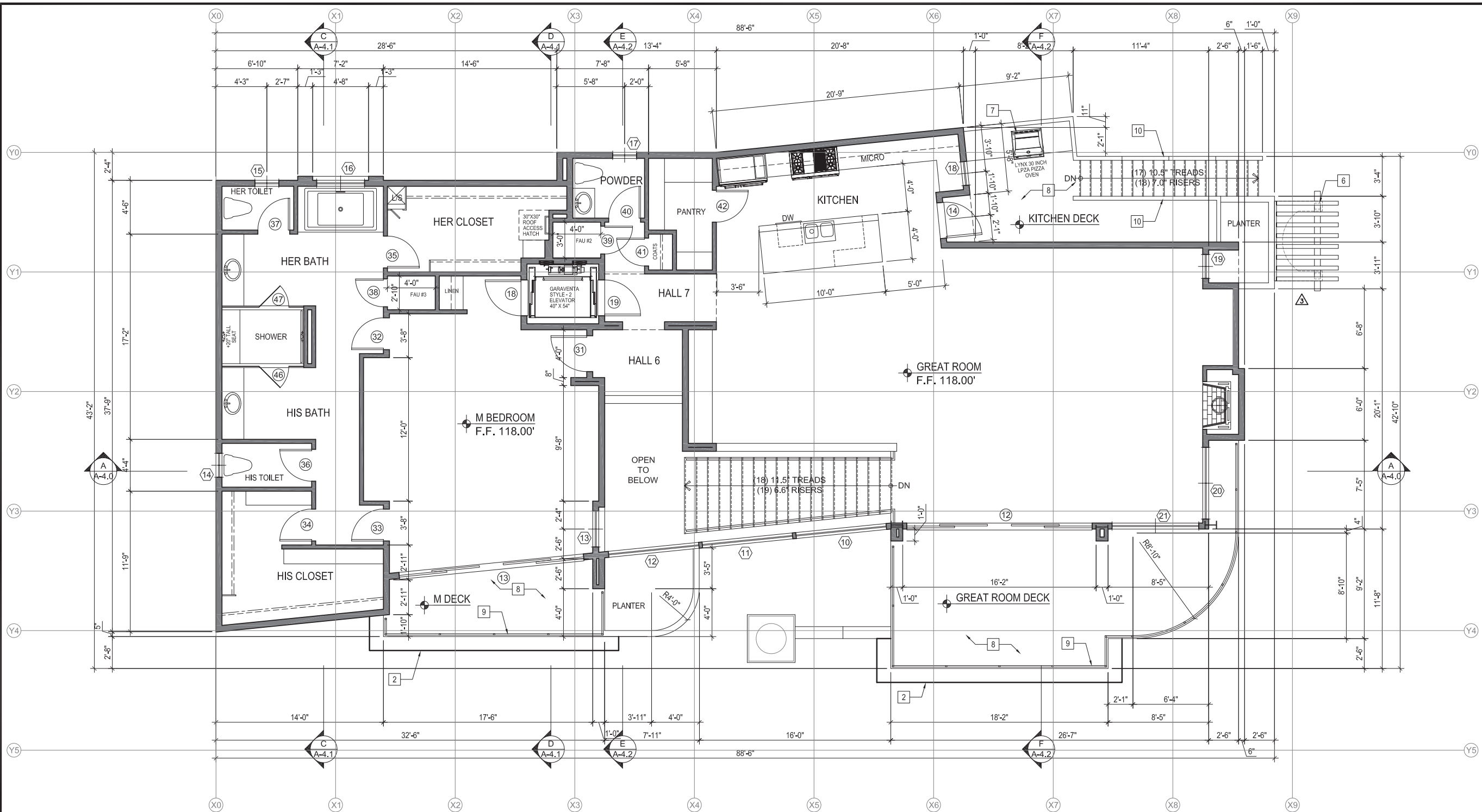


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LOWER FLOOR PLAN
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
-	
FIRST SUBMITTAL DATE	
6 / 5 / 2020	
DRAWN BY	JOB NUMBER
19-010	
SHEET NUMBER	
A-2.0	
00	



FLOOR KEYNOTES:

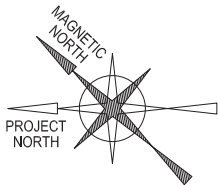
1. STUCCO - SMOOTH COAT FINISH WITH FIBER ADDITIVE AND MESH IN SCRATCH AND BROWN COATS TO MINIMIZE CRACKING TYPICAL. COLORS APPROVED BY ARCHITECT AND OWNER. [C3]
2. COPPER GUTTER - 20 OZ. MATERIAL WITH CONCEALED FASTENERS CONNECTED TO BELOW GRADE STORM WATER SYSTEM. [C10]
3. AIR CONDITIONING - CONDENSER UNIT LOCATIONS.
4. SPA EQUIPMENT LOCATION.
5. OUTDOOR SHOWER - OPEN ON EACH END, PARTIAL OPEN ON ONE SIDE WITH WALNUT STAINED TEAK STANDING SURFACE.
6. TRELLIS OVER OUTDOOR SHOWER WITH EXPOSED WALNUT STAINED 4X6 AND 6X8 WOOD BEAMS WITH COPPER CAP.

7. PIZZA OVEN - ON REAR DECK.
8. DECKS / EXTERIOR STAIRS - NATURAL CONCRETE COLOR CERAMIC TILE OVER POLYURETHANE WATERPROOFING AND WOOD DECKING. [C18]
9. GUARDS - METALIZED STEEL SUPPORTS AND CAP TO 42 INCHES ABOVE THE DECK SURFACE WITH 1/2 INCH CLEAR TEMPERED GLASS PANELS. STEEL COLOR APPROVED BY ARCHITECT AND OWNER. [C13]
10. GUARDS - SMOOTH STUCCO FINISH OVER WOOD FRAMING TO 42 INCHES ABOVE THE DECK SURFACE. [C2]
11. LINE OF FLOOR ABOVE.

REFERENCE TO MATERIAL / COLOR TABLE: [C#]
ON SHEET A-4.0

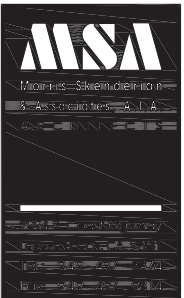
HABITABLE:	
LOWER FLOOR =	2,081 S.F.
UPPER FLOOR =	2,409 S.F.
TOTAL HABITABLE =	4,490 S.F. △
GARAGE =	
789 S.F.	
DECKS:	
M. BDRM DECK =	100 S.F.
GREAT ROOM DECK =	311 S.F.
KITCHEN DECK =	146 S.F.
TOTAL DECK =	557 S.F. △

(CITY OF DP MAX) = 3,770 / 8,378 = 45% △
SITE COVERAGE = 3,352 / 8,378 = 40%
(PER HOA MAX) 3,352 / 8,378 = 40%



UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY
△	7/6/2020	DJB
△	9/28/2020	ABC



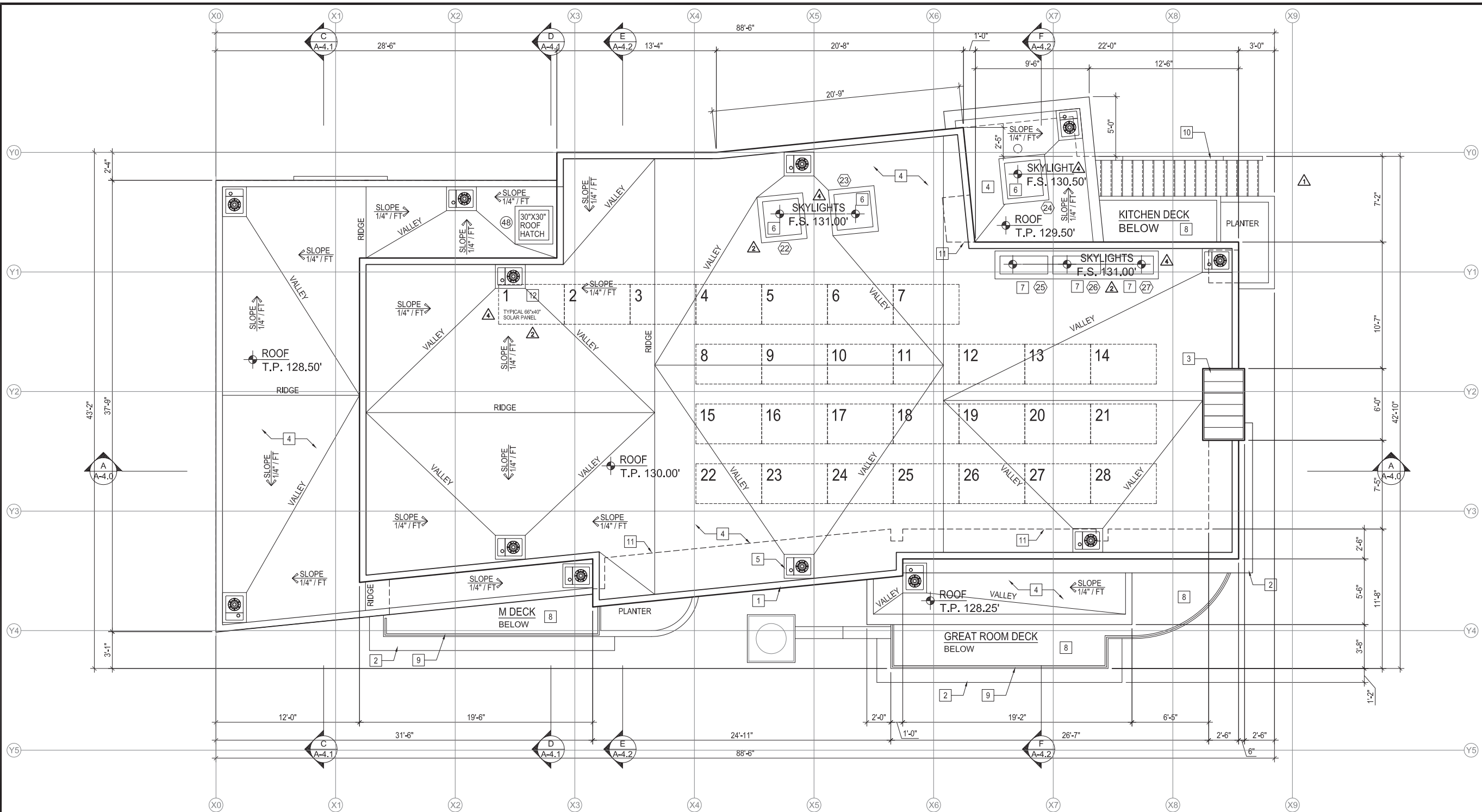
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UPPER FLOOR PLAN

DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
-	
PROJECT SUBMITTAL DATE	
6 / 5 / 2020	
DRAWN BY	JOB NUMBER
19-010	19-010
SHEET NUMBER	
A-2.1	
00	

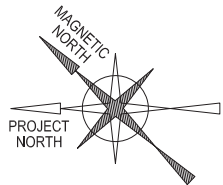


ROOF KEYNOTES:

1. PARAPET CAPS - SMOOTH COAT STUCCO FINISH BY OMEGA OR APPROVED EQUAL WITH FIBER ADDITIVE AND MESH IN SCRATCH AND BROWN COATS TO MINIMIZE CRACKING TYPICAL. COLORS PER MATERIAL BOARD. [C2]
2. COPPER GUTTER - 20 OZ. MATERIAL WITH CONCEALED FASTENERS CONNECTED TO BELOW GRADE STORM WATER SYSTEM. [C10]
3. COPPER CHIMNEY CAP. DESIGN BY ARCHITECT APPROVED BY OWNER. [C10]
4. BUILT-UP ROOFING WITH 90 LB CAP SHEET BY CERTAINTED OR APPROVED EQUAL. COLOR PER MATERIAL BOARD. [C1]
5. ROOF DRAIN LOCATIONS - TYPICAL WITH NO EXTERIOR DOWNSPOUTS.
6. SKYLIGHTS - FLAT 36 INCH SQUARE WITH TINTED GLASS. [C20]

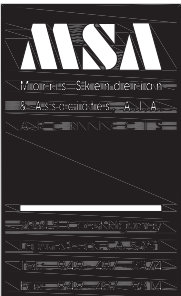
7. SKYLIGHTS - FLAT 48 INCH X 18 INCH WITH TINTED GLASS. [C20]
8. DECKS / EXTERIOR STAIRS - NATURAL CONCRETE COLOR CERAMIC TILE OVER POLYURETHANE WATERPROOFING AND WOOD DECKING. [C18]
9. GUARDS - METALIZED STEEL SUPPORTS AND CAP TO 42 INCHES ABOVE THE DECK SURFACE WITH 1/2 INCH CLEAR TEMPERED GLASS PANELS. STEEL COLOR APPROVED BY ARCHITECT AND OWNER. [C13]
10. GUARDS - SMOOTH COAT STUCCO FINISH OVER WOOD FRAMING TO 42 INCHES ABOVE THE DECK SURFACE. COLOR PER MATERIAL BOARD. [C2]
11. LINE OF BUILDING WALL BELOW.
12. SOLAR PANELS NOT TO BE SEEN FROM COMMUNITY.
- THE NUMBER OF PANELS AND LOCATIONS HAVE BEEN REVIEWED WITH OUR SOLAR CONSULTANT.

REFERENCE TO MATERIAL / COLOR TABLE: [C#]
ON SHEET A-4.0



ROOF PLAN
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY
1	7/6/2020	DJB
2	7/30/2020	DJB
3	11/2/2020	ABC



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ROOF PLAN

DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
FIRST SUBMITTAL DATE 6 / 5 / 2020	
DRAWN BY	JOB NUMBER 19-010
SHEET NUMBER A-2.2	

DOOR SCHEDULE

#	ROOM	SIZE	THK	TYPE	DOOR			FRAME			GLZ'G	WEIGHTED AVG.		REMARKS	
					MAT	INT	EXT	FIN	MAT	INT		EXT	FIN		U FACTOR
EXTERIOR DOORS	1	ENTRY	6'-0" x 8'-0"		1	1	1	1	1	1	1	2	<= .45	<= .27	A
	2	HALL 1	6'-0" x 8'-0"		1	1	1	1	1	1	1	4	<= .38	<= .22	A
	3	GARAGE	9'-0" x 8'-0"		2										
	4	GARAGE	17'-0" x 8'-0"		2										
	5	GARAGE	3'-0" x 8'-0"		6	1	1	1	1	1	1	4	<= .46	<= .29	B
	6	BEDROOM 2	8'-0" x 8'-0"		5	1	1	1	1	1	1	4	<= .41	<= .32	C
	7	BEDROOM 3	8'-0" x 8'-0"		5	1	1	1	1	1	1	4	<= .41	<= .32	C
	8	HALL 5	3'-0" x 8'-0"		6	1	1	1	1	1	1	4	<= .46	<= .29	B
	9	ELEC. CLOSET	3'-0" x 8'-0"	1 3/4"	7										
	10	MULTI-PURPOSE	6'-0" x 8'-0"		5	1	1	1	1	1	1	4	<= .41	<= .32	C
	11	MULTI-PURPOSE	6'-0" x 8'-0"		5	1	1	1	1	1	1	4	<= .41	<= .32	C
	12	GREAT ROOM	15'-6" x 8'-0"		5	1	1	1	1	1	1	2	<= .41	<= .32	C
	13	MASTER BDRM	15'-6" x 8'-0"		5	1	1	1	1	1	1	2	<= .41	<= .32	C
	14	KITCHEN	3'-0" x 8'-0"		6	1	1	1	1	1	1	4	<= .46	<= .29	B
	INTERIOR DOORS	15	LAUNDRY	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2			
16		ELEVATOR	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				G, H
17		ELEVATOR	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				G
18		ELEVATOR	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				G
19		ELEVATOR	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				G
20		LAUNDRY	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
21		FAU #1	2'-4" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				J
22		BEDROOM 2	PAIR 2'-2" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
23		BEDROOM 3	PAIR 2'-2" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
24		BATH 2	2'-8" x 8'-0"	1 3/4"	4	2	3	2	2	3	2				
25		BATH 3	2'-8" x 8'-0"	1 3/4"	4	2	3	2	2	3	2				
26		BEDROOM 2	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
27		BEDROOM 3	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
28		HALL 3	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
29		BATH 4	2'-8" x 8'-0"	1 3/4"	4	2	3	2	2	3	2				
30		SAUNA	2'-4" x 8'-0"	1 3/4"	4	2	3	3	2	3	3				
31		MASTER BDRM	3'-0" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
32		MASTER BDRM	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
33		MASTER BDRM	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
34		HIS CLOSET	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
35		HER CLOSET	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
36		HIS TOILET	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
37		HER TOILET	2'-8" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
38		FAU #2	2'-4" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				J
39		FAU #3	2'-4" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				J
40		POWDER	2'-8" x 8'-0"	1 3/4"	4	2	3	2	2	3	2				
41		COATS	2'-4" x 8'-0"	1 3/4"	4	2	2	2	2	2	2				
42		PANTRY	2'-8" x 8'-0"	1 3/4"	6	3	5	5	3	5	5	5			
43		BATH 2 SHOWER	2'-4" x 6'-0"	1/2"	8	3	5	5	3	5	5	5			
44		BATH 3 SHOWER	2'-4" x 6'-0"	1/2"	8	3	5	5	3	5	5	5			
45		BATH 4 SHOWER	2'-4" x 6'-0"	1/2"	8	3	5	5	3	5	5	5			
46		HIS SHOWER	2'-8" x 6'-0"	1/2"	8	3	5	5	3	5	5	5			
47		HER SHOWER	2'-8" x 6'-0"	1/2"	8	3	5	5	3	5	5	5			
48	ROOF HATCH	2'-6" x 2'-6"		9											

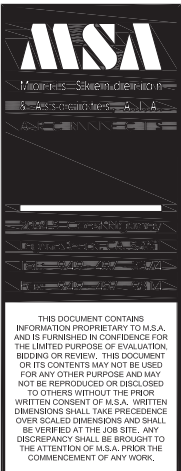
TYPE :		MATERIAL :		FINISH :		GLAZING :	
1	PIVOT	1	ALUMINUM	1	FACTORY KYNAR FINISH	1	CLEAR DUAL PANE, LOW-E
2	SECTIONAL ROLL-UP	2	WOOD	2	FLAT PAINT	2	CLEAR DUAL PANE, LOW-E, TEMPERED
3	PANEL DOOR - SOLID CORE	3	1/2" TEMPERED GLASS	3	SEMI-GLOSS PAINT	3	CLEAR TRIPLE PANE, LOW-E OR DUAL PANE (1) 1/8" OVER 1/8" LAMINATED AND (2) 3/16".
4	SOLID CORE DOOR	4	METAL / WOOD	4	STAIN		
5	SLIDING DOOR	5	WOOD / FIBERGLASS	5	GLASS		
6	FRENCH DOOR					4	CLEAR TRIPLE PANE, LOW-E OR DUAL PANE (1) 1/8" OVER 1/8" LAMINATED AND (2) 3/16" TEMPERED.
7	LOUVERED EXTERIOR						
8	SHOWER DOOR						
9	ROOF HATCH DOOR					5	1/2" THICK TEMPERED SHATTERPROOF
10	FIXED						
11	CASEMENT					6	CURVED CLEAR 1/4" OVER LOW-E LAMINATION OVER 1/4" CLEAR
12	SKYLIGHT						

WINDOW SCHEDULE

#	ROOM	SIZE	TYPE	SASH			FRAME			GLZ'G	WEIGHTED AVG.		REMARKS	
				MAT	INT	FIN	EXT	FIN	MAT		INT	FIN		EXT
1	GARAGE	8'-0" x 2'-0"	10	1	1	1	1	1	1	1	1	<= .33	<= .36	E
2	LAUNDRY	2'-0" x 4'-0"	11	1	1	1	1	1	1	1	3	<= .23	<= .28	E
3	BATH 4	2'-0" x 2'-0"	11	1	1	1	1	1	1	1	4	<= .23	<= .28	E
4	MULTI-PURPOSE	4'-10" x 8'-0"	10	1	1	1	1	1	1	1	6	<= .33	<= .36	K
5														
6	MULTI-PURPOSE	4'-0" x 4'-0"	11	1	1	1	1	1	1	1	1	<= .23	<= .28	E
7	MULTI-PURPOSE	3'-0" x 4'-0"	11	1	1	1	1	1	1	1	1	<= .23	<= .28	E
8	ENTRY	7'-6" x 10'-4"	10	1	1	1	1	1	1	1	2	<= .33	<= .36	D
9	ENTRY	7'-6" x 10'-4"	10	1	1	1	1	1	1	1	2	<= .33	<= .36	D
10	ENTRY	7'-6" x 8'-2"	10	1	1	1	1	1	1	1	1	<= .33	<= .36	D
11	ENTRY	7'-6" x 8'-2"	10	1	1	1	1	1	1	1	1	<= .33	<= .36	D
12	ENTRY	7'-6" x 8'-2"	10	1	1	1	1	1	1	1	1	<= .33	<= .36	D
13	MASTER BDRM	3'-0" x 3'-0"	10	1	1	1	1	1	1	1	1			E
14	HIS TOILET	2'-0" x 3'-0"	11	1	1	1	1	1	1	1	3	<= .23	<= .28	E
15	HER TOILET	2'-0" x 3'-0"	11	1	1	1	1	1	1	1	3	<= .23	<= .28	E
16	MASTER BATH	4'-0" x 5'-0"	10	1	1	1	1	1	1	1	4	<= .33	<= .36	E
17	POWDER	2'-0" x 3'-0"	11	1	1	1	1	1	1	1	3	<= .23	<= .28	E
18	KITCHEN	2'-0" x 4'-0"	11	1	1	1	1	1	1	1	3	<= .23	<= .28	E
19	GREAT ROOM	2'-0" x 7'-0"	10	1	1	1	1	1	1	1	3	<= .33	<= .36	E
20	GREAT ROOM	6'-0" x 8'-0"	10	1	1	1	1	1	1	1	4	<= .33	<= .36	D
21	GREAT ROOM	7'-3" x 8'-0"	10	1	1	1	1	1	1	1	4	<= .33	<= .36	D
22	KITCHEN	3'-0" x 3'-0"	12	1	1	1	1	1	1	1	4			F
23	KITCHEN	3'-0" x 3'-0"	12	1	1	1	1	1	1	1	4			F
24	DECK	3'-0" x 3'-0"	12	1	1	1	1	1	1	1	2			F
25	GREAT ROOM	1'-6" x 4'-0"	12	1	1	1	1	1	1	1	4			F
26	GREAT ROOM	1'-6" x 4'-0"	12	1	1	1	1	1	1	1	4			F
27	GREAT ROOM	1'-6" x 4'-0"	12	1	1	1	1	1	1	1	4			F

REMARKS :	
A	FLEETWOOD - 4400-T SERIES PIVOT DOOR. FINISH AND COLOR SELECTED BY ARCHITECT / OWNER.
B	FLEETWOOD - 3200-T SERIES HINGE DOOR. FINISH AND COLOR SELECTED BY ARCHITECT / OWNER.
C	FLEETWOOD - 3000-T SERIES SLIDING DOOR. FINISH AND COLOR SELECTED BY ARCHITECT / OWNER.
D	FLEETWOOD - 3800-T SERIES FIXED WINDOW. FINISH AND COLOR SELECTED BY ARCHITECT / OWNER.
E	FLEETWOOD - 250-T SERIES FIXED, CASEMENT OR AWNING. FINISH AND COLOR SELECTED BY ARCHITECT / OWNER.
F	VELUX - FCM SERIES CURB MOUNTED SKYLIGHT. FINISH AND COLOR SELECTED BY ARCHITECT / OWNER.
G	PROVIDE 1-HOUR RATED DOOR.
H	DOOR SHALL BE EQUIPPED WITH SELF CLOSER AND SELF LATCHING DEVICES.
J	RETURN AIR LOUVERS OR SCREEN IN LOWER 25% OF DOOR. TOUCH LATCH OPENING, NO HANDLE.
K	FLEETWOOD - 3800-T SERIES CURVED FIXED WINDOW. FINISH AND COLOR SELECTED BY ARCHITECT / OWNER.

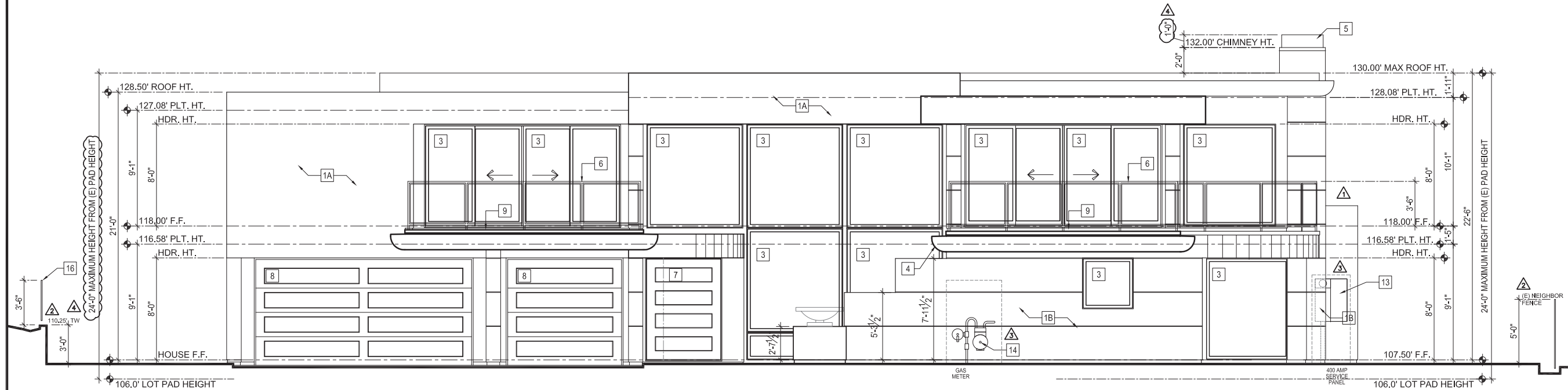
REVISIONS		
NO.	DATE	BY



DOOR AND WINDOW SCHEDULE

DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

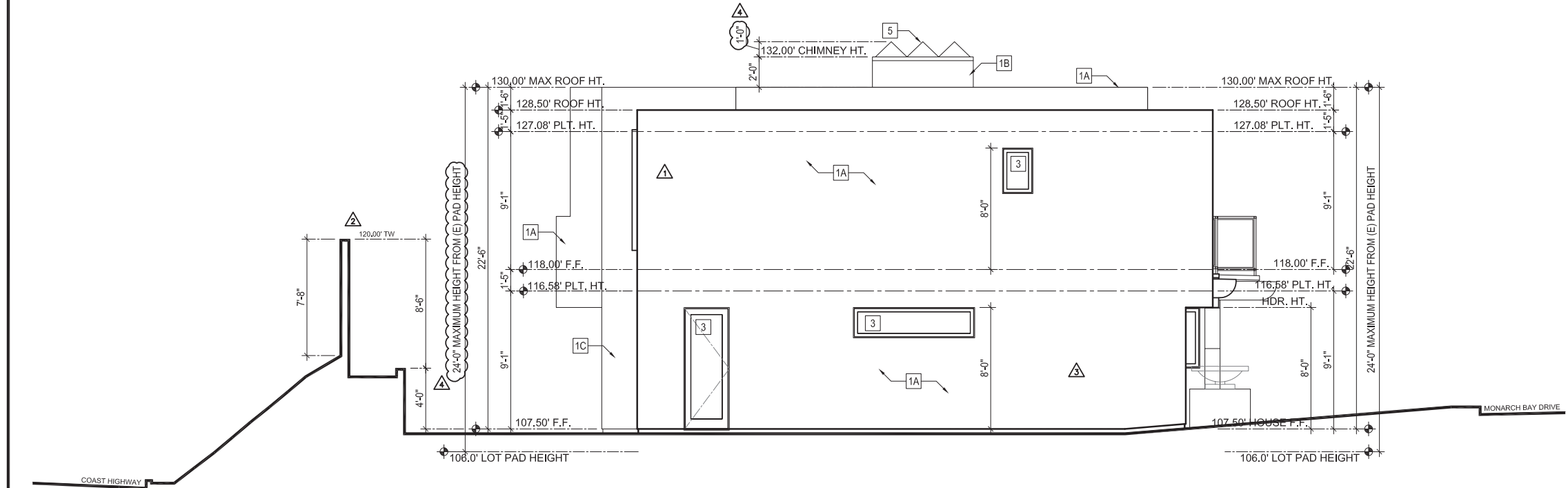
REVIEWED BY / DATE	
- FIRST SUBMITTAL DATE 6 / 5 / 2020	
DRAWN BY	JOB NUMBER 19-010
SHEET NUMBER A-2.3	



WEST / FRONT ELEVATION
1/4" = 1'-0"

- ELEVATION KEYNOTES: #
1. SMOOTH COAT STUCCO FINISH WITH FIBER ADDITIVE AND MESH IN SCRATCH AND BROWN COATS TO MINIMIZE CRACKING. COLORS APPROVED BY ARCHITECT AND OWNER. 1A - COLOR [C2], 1B - COLOR [C3], 1C - COLOR [C4]
 2. METALIZED ALUMINUM 1/2" "V" GROOVE CONTROL JOINT TO MINIMIZE STUCCO CRACKING. COLOR APPROVED BY ARCHITECT AND OWNER.
 3. ALUMINUM FRAME DOORS AND WINDOWS WITH FACTORY FINISH AND WITH DUAL PANE LAMINATED GLAZING. COLOR APPROVED BY ARCHITECT AND OWNER. [C6] [C9]
 4. COPPER GUTTER OF 20 OZ. MATERIAL WITH CONCEALED FASTENERS CONNECTED TO BELOW GRADE STORM WATER SYSTEM. [C10]
 5. COPPER CHIMNEY CAP. DESIGN BY ARCHITECT APPROVED BY OWNER. [C10]
 6. METALIZED STEEL GUARD SUPPORTS AND CAP TO 42" ABOVE THE DECK SURFACE WITH 1/2" CLEAR TEMPERED GLASS PANELS. STEEL COLOR APPROVED BY ARCHITECT AND OWNER. [C13]
 7. ENTRY AND REAR DOORS ARE PIVOT STAINED 1X8 IPE WOOD FINISH OVER 1-3/4" SOLID CORE BASE WITH FROSTED GLASS INSERTS. STAIN COLOR APPROVED BY ARCHITECT AND OWNER. [C8]
 8. GARAGE DOORS ARE 4 PANEL ROLL UP WITH FROSTED GLASS INSERTS WITH STAINED 1X8 IPE WOOD FINISH OVER SOLID WOOD FRAME. STAIN COLOR APPROVED BY ARCHITECT AND OWNER. [C7]
 9. STONE PAVING TILES ON DECKS AND EXTERIOR STAIRS OVER WATERPROOFING AND WOOD DECKING. [C18]
 10. TRASH STORAGE AREA.
 11. OUTDOOR CONDENSER / HEAT PUMPS.
 12. STEEL FRAME GATE WITH WOOD FINISH MATERIAL PANELS AND SELF CLOSER. COLOR APPROVED BY ARCHITECT AND OWNER. [C11]
 13. 400 AMP ELECTRIC METER LOCATION.
 14. GAS METER LOCATION.
 15. SPA EQUIPMENT LOCATION.
 16. METAL FENCE 6'-0" TALL MAXIMUM, ON NEIGHBORING PROPERTY SIDE. [C19]

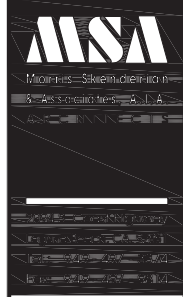
REFERENCE TO MATERIAL / COLOR TABLE: [C#]
ON SHEET A-4.0



NORTH / SIDE ELEVATION
1/4" = 1'-0"

BUILDING ELEVATIONS
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY
1	7/6/2020	DJB
2	7/30/2020	DJB
3	9/28/2020	ABC
4	11/2/2020	ABC

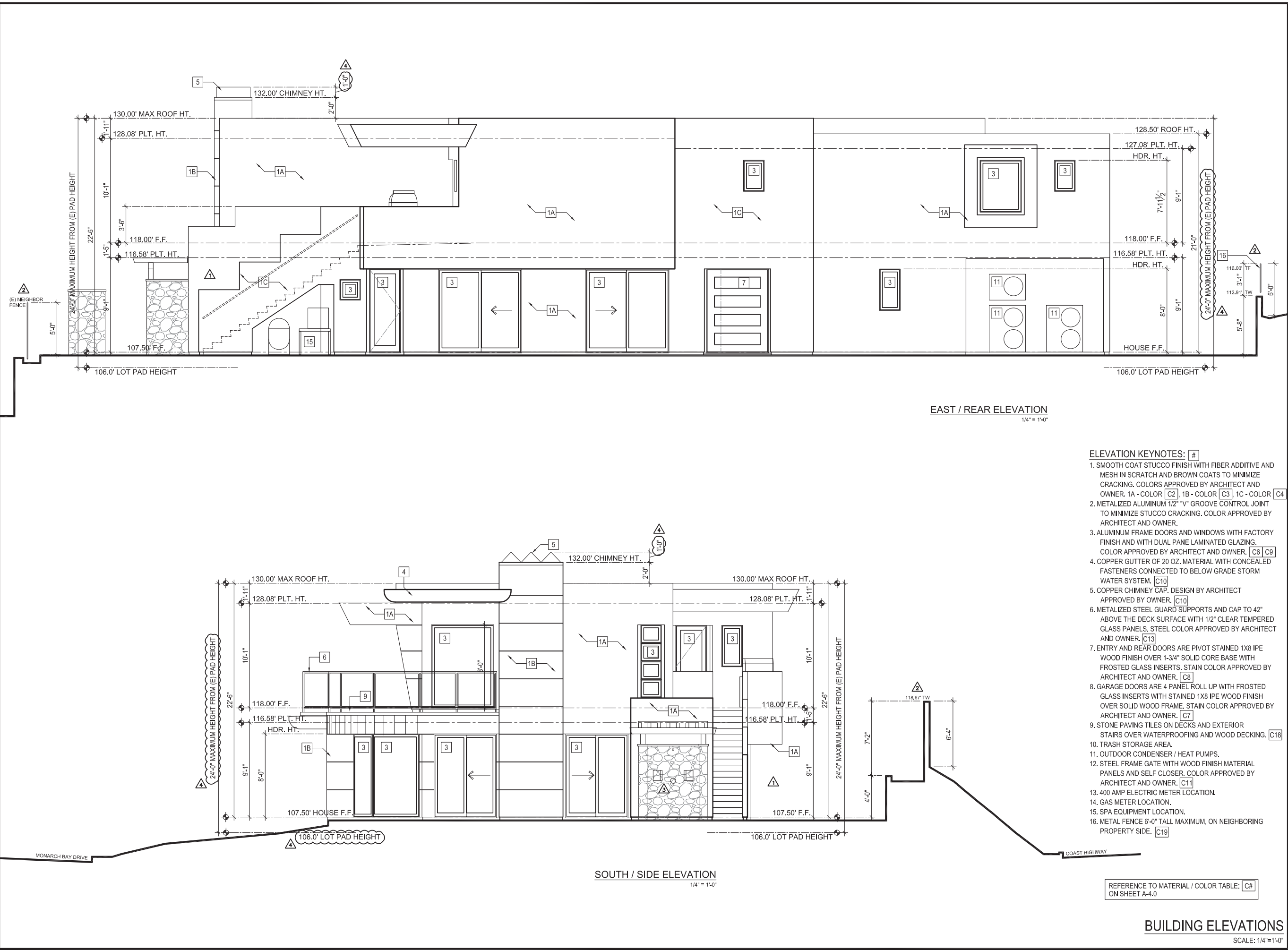


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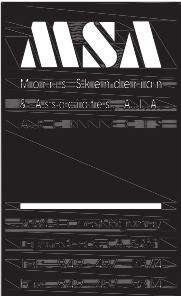


EXTERIOR ELEVATIONS
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
-	
FIRST SUBMITTAL DATE	
6 / 5 / 2020	
DRAWN BY	JOB NUMBER
19-010	19-010
SHEET NUMBER	
A-3.0	



REVISIONS		
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EXTERIOR ELEVATIONS

DAPELO RESIDENCE

429 MONARCH BAY DRIVE

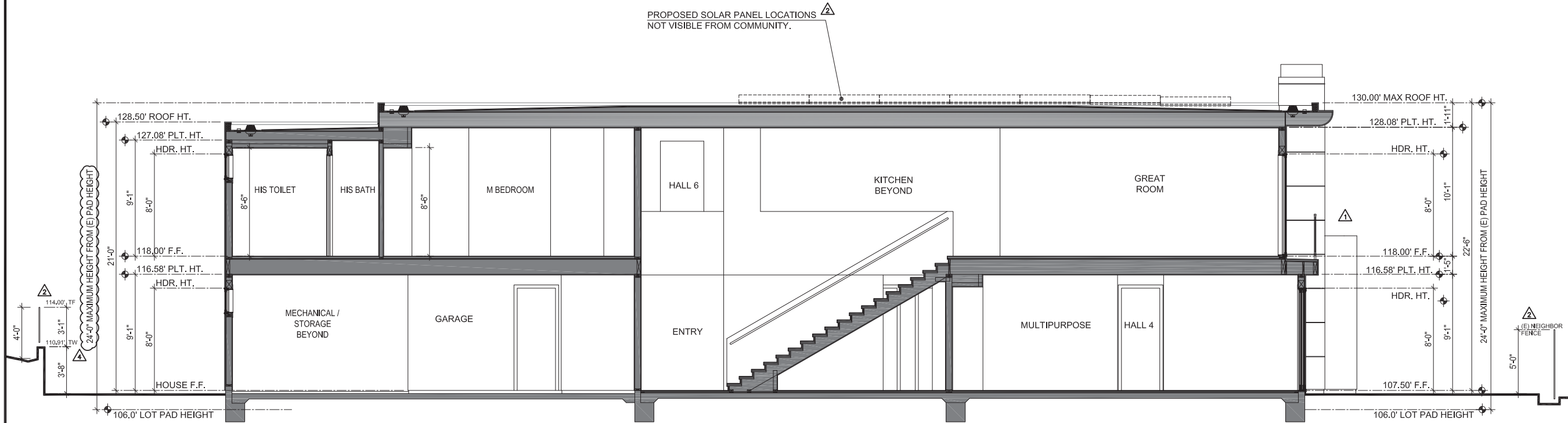
DANA POINT, CALIFORNIA 92629

- ELEVATION KEYNOTES: #
1. SMOOTH COAT STUCCO FINISH WITH FIBER ADDITIVE AND MESH IN SCRATCH AND BROWN COATS TO MINIMIZE CRACKING. COLORS APPROVED BY ARCHITECT AND OWNER. 1A - COLOR [C2], 1B - COLOR [C3], 1C - COLOR [C4]
 2. METALIZED ALUMINUM 1/2" "V" GROOVE CONTROL JOINT TO MINIMIZE STUCCO CRACKING. COLOR APPROVED BY ARCHITECT AND OWNER.
 3. ALUMINUM FRAME DOORS AND WINDOWS WITH FACTORY FINISH AND WITH DUAL PANE LAMINATED GLAZING. COLOR APPROVED BY ARCHITECT AND OWNER. [C6] [C9]
 4. COPPER GUTTER OF 20 OZ. MATERIAL WITH CONCEALED FASTENERS CONNECTED TO BELOW GRADE STORM WATER SYSTEM. [C10]
 5. COPPER CHIMNEY CAP. DESIGN BY ARCHITECT APPROVED BY OWNER. [C10]
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REFERENCE TO MATERIAL / COLOR TABLE: [C#]
ON SHEET A-4.0

BUILDING ELEVATIONS
SCALE: 1/4"=1'-0"

REVIEWED BY / DATE	
-	
FIRST SUBMITTAL DATE	
6 / 5 / 2020	
DRAWN BY	JOB NUMBER
19-010	
SHEET NUMBER	
A-3.1	



SECTION A-A
1/4" = 1'-0"

BUILDING SECTIONS
SCALE: 1/4"=1'-0"

MATERIALS AND COLOR LEGEND FOR BUILDING AND HARDSCAPE

NO.	ITEM	MATERIAL	MFR.	COLOR NAME	COLOR NO.	COMMENTS
1	ROOF	Built-up / Gravel	Certainteed	Coolstar		
2	WALLS - FIELD	Smooth Stucco	Omega	Bison Beige	DEC750	Smooth Coat Finish
3	WALLS P ACCENT	Smooth Stucco	Omega	Heather	DEC773	Smooth Coat Finish
4	FASCIA TRIM	Smooth Stucco	Omega	Weathered	DEC756	Smooth Coat Finish
5	WOOD TRIM	N/A				
6	WINDOWS	Aluminum	Fleetwood	Black	DEA187	
7	GARAGE DOOR	IPE Wood	Custom Built	Walnut		Custom Door
8	ENTRY DOOR	IPE Wood	Custom Built	Walnut		Custom Door
9	EXTERIOR DOORS	Aluminum	Fleetwood	Black	DEA187	
10	GUTTERS	Copper	Custom Built	Copper		Custom Mfr.
11	GATES	Metal / Wood	Custom Built	Walnut		Custom Gate
12	GARDEN WALLS	Stucco o/ Block	Oroco Block	Bison Beige	DEC750	Smooth Finish
13	GUARDS	Metal w/ Glass	CRL	Black		Clear Glass
14	DRIVEWAY	Turf Block				
15	HARDSCAPE	Concrete		Nat. Grey		
16	DRIVEWAY	Concrete		Nat. Gray		
17	HARDSCAPE	Paver o/ Conc.	Sydney Peak			
18	DECKS	Ceramic Tile		Nat. Grey		
19	FENCE	Metal	Custom Built	Black	DEA187	
20	SKYLIGHTS	Aluminum	Velux	Black	DEA187	Sungate 70 Tinted

MATERIALS AND COLOR LEGEND
SCALE: NONE

REVISIONS		
NO.	DATE	BY
1	7/6/2020	DJB
2	7/30/2020	DJB
3	11/2/2020	ABC

MSA
Morris Skenderian Associates
Architects

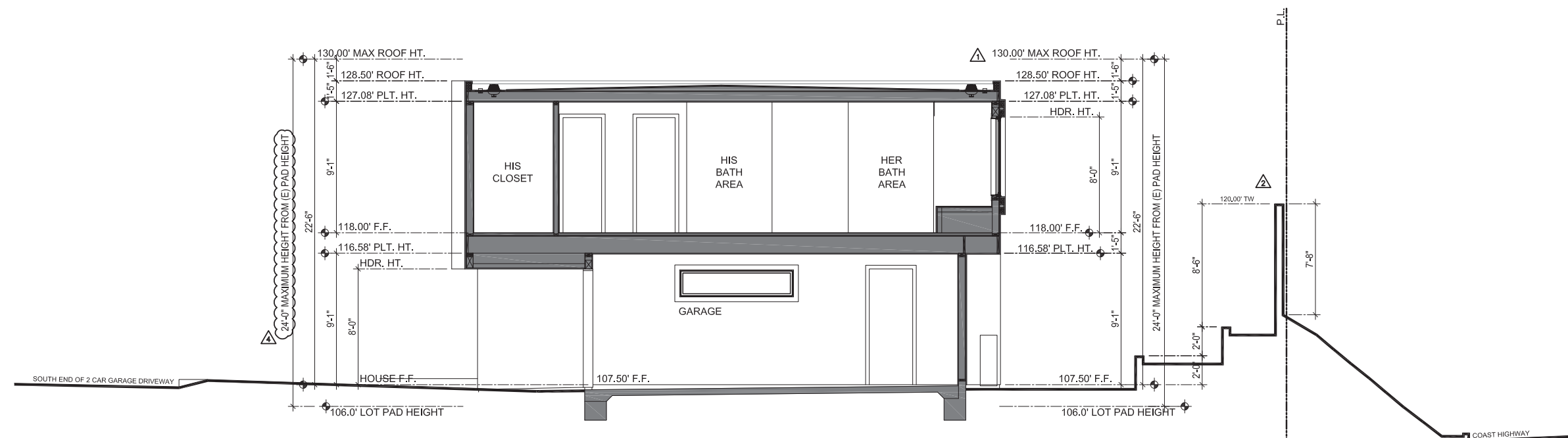
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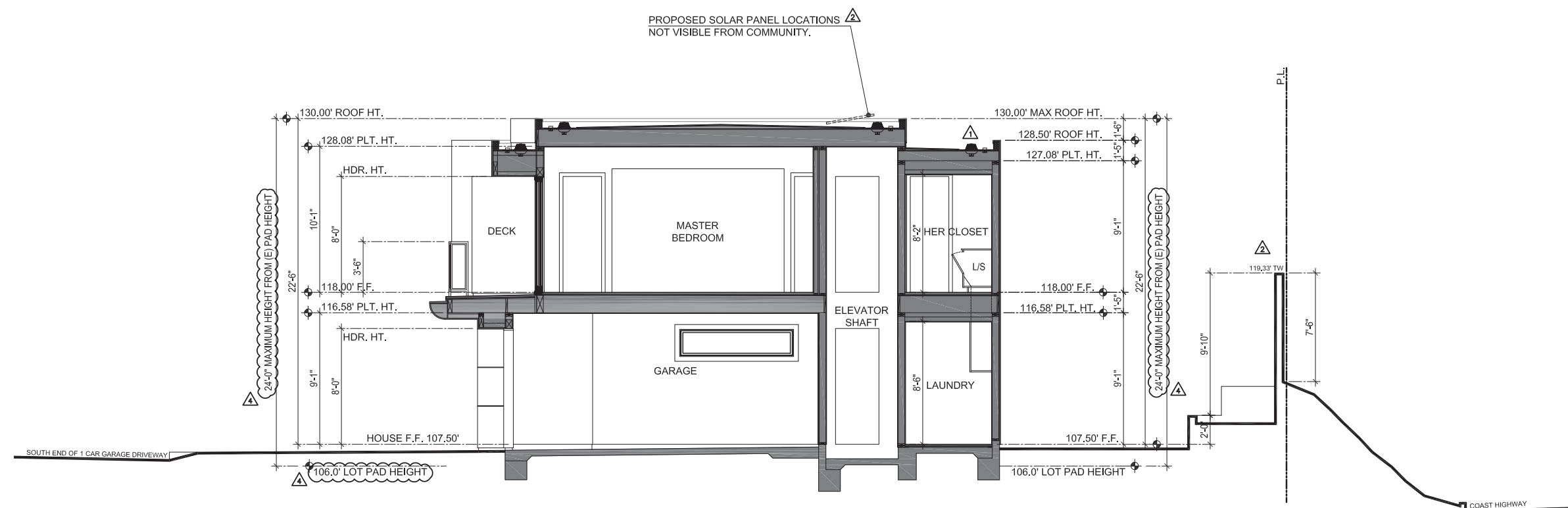
BUILDING SECTIONS

DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

REVIEWED BY / DATE	
-	
FIRST SUBMITTAL DATE	
6 / 5 / 2020	
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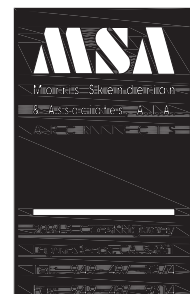
SECTION C-C
1/4" = 1'-0"



SECTION D-D
1/4" = 1'-0"

BUILDING SECTIONS
SCALE: 1/4"=1'-0"

REVISIONS		
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△	11/2/2020	ABC

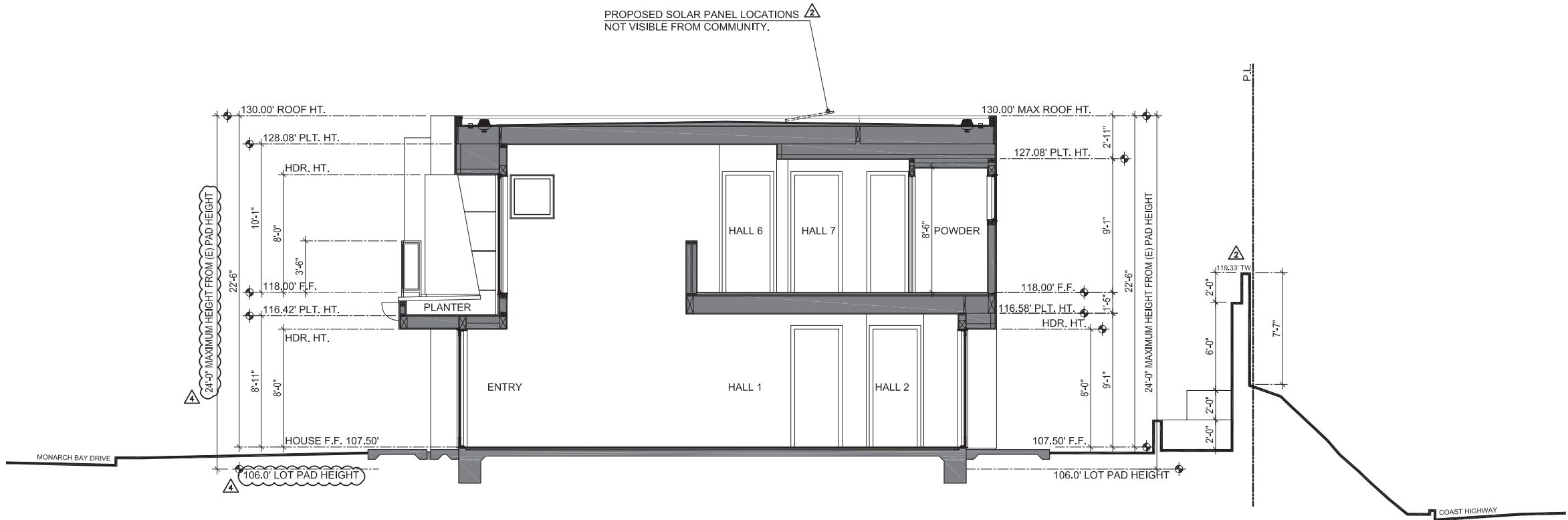


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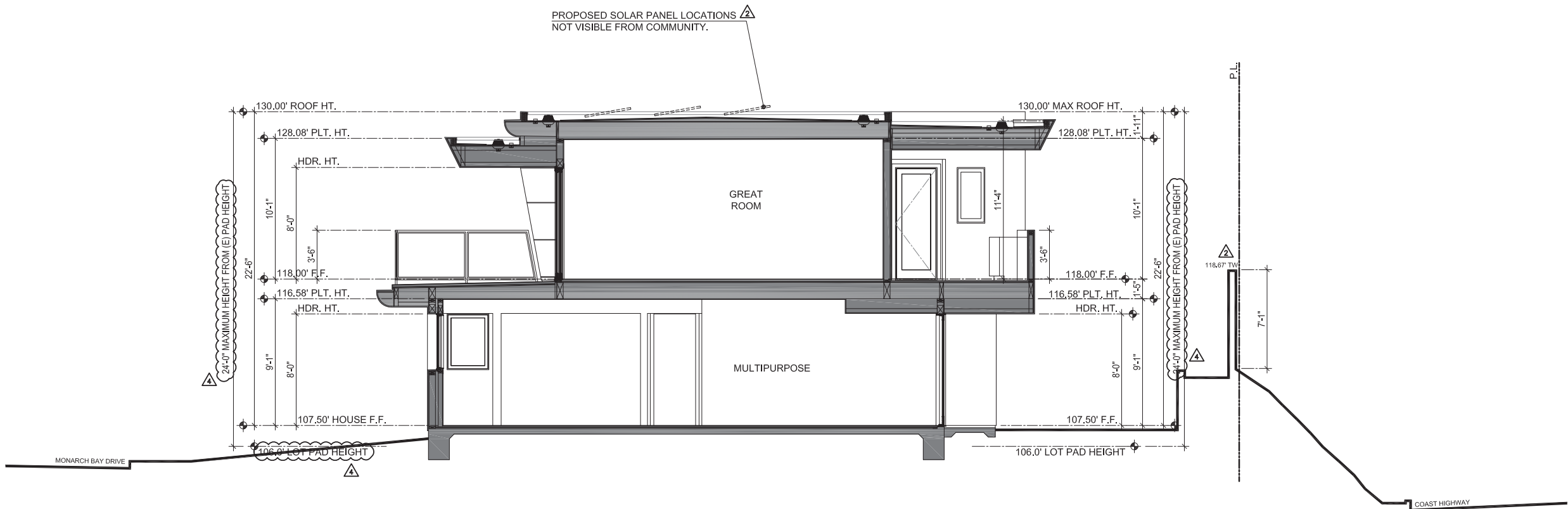


BUILDING SECTIONS
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

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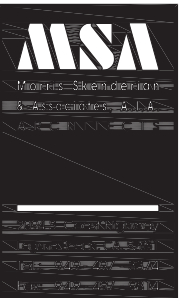
SECTION E-E
1/4" = 1'-0"



SECTION F-F
1/4" = 1'-0"

BUILDING SECTIONS
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY
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2	11/2/2020	ABC

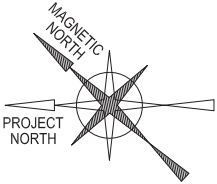
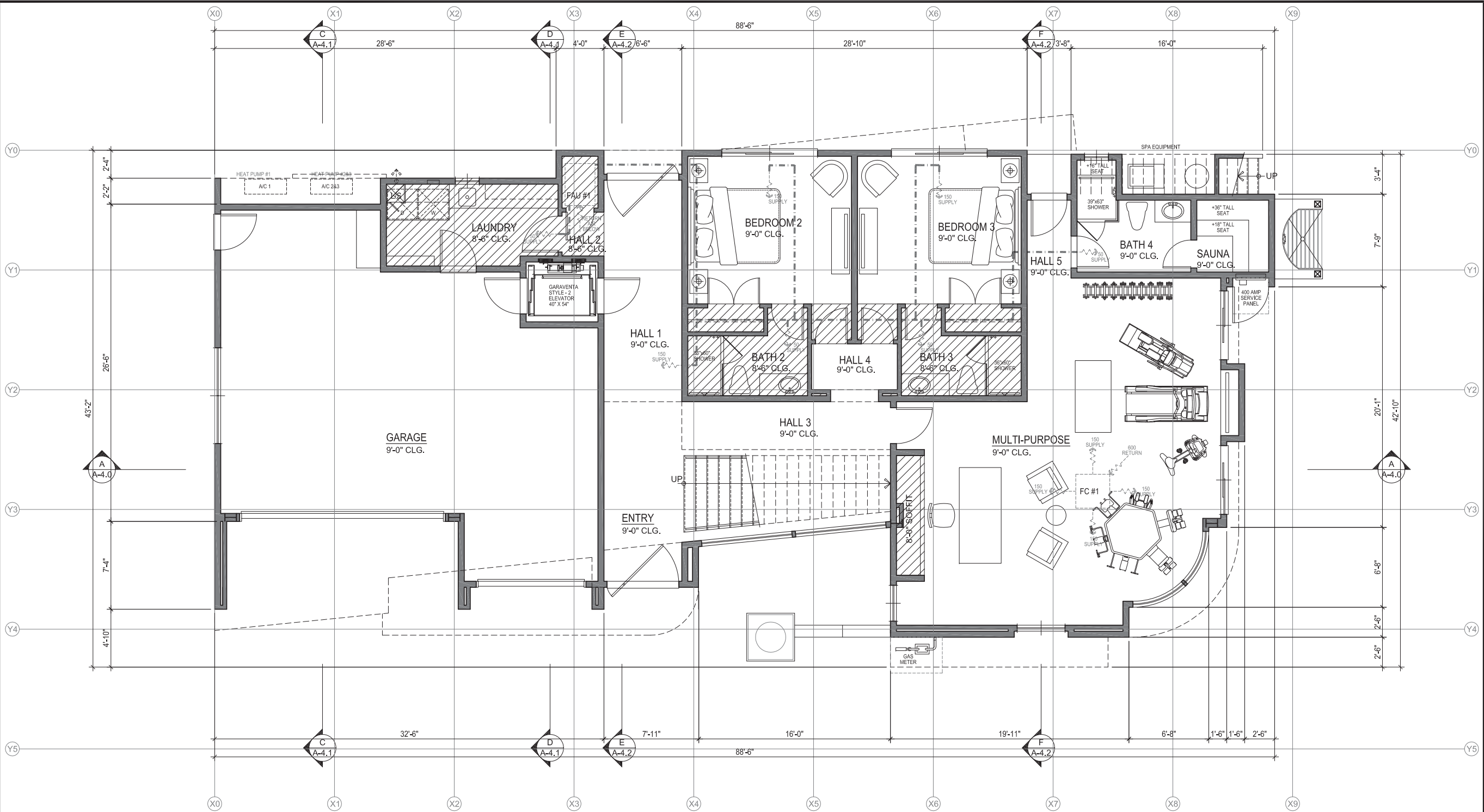


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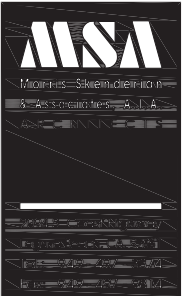
BUILDING SECTIONS
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

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19-010	19-010
SHEET NUMBER	
A-4.2	



LOWER FLOOR REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY

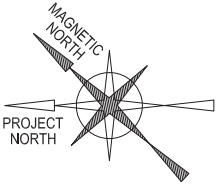
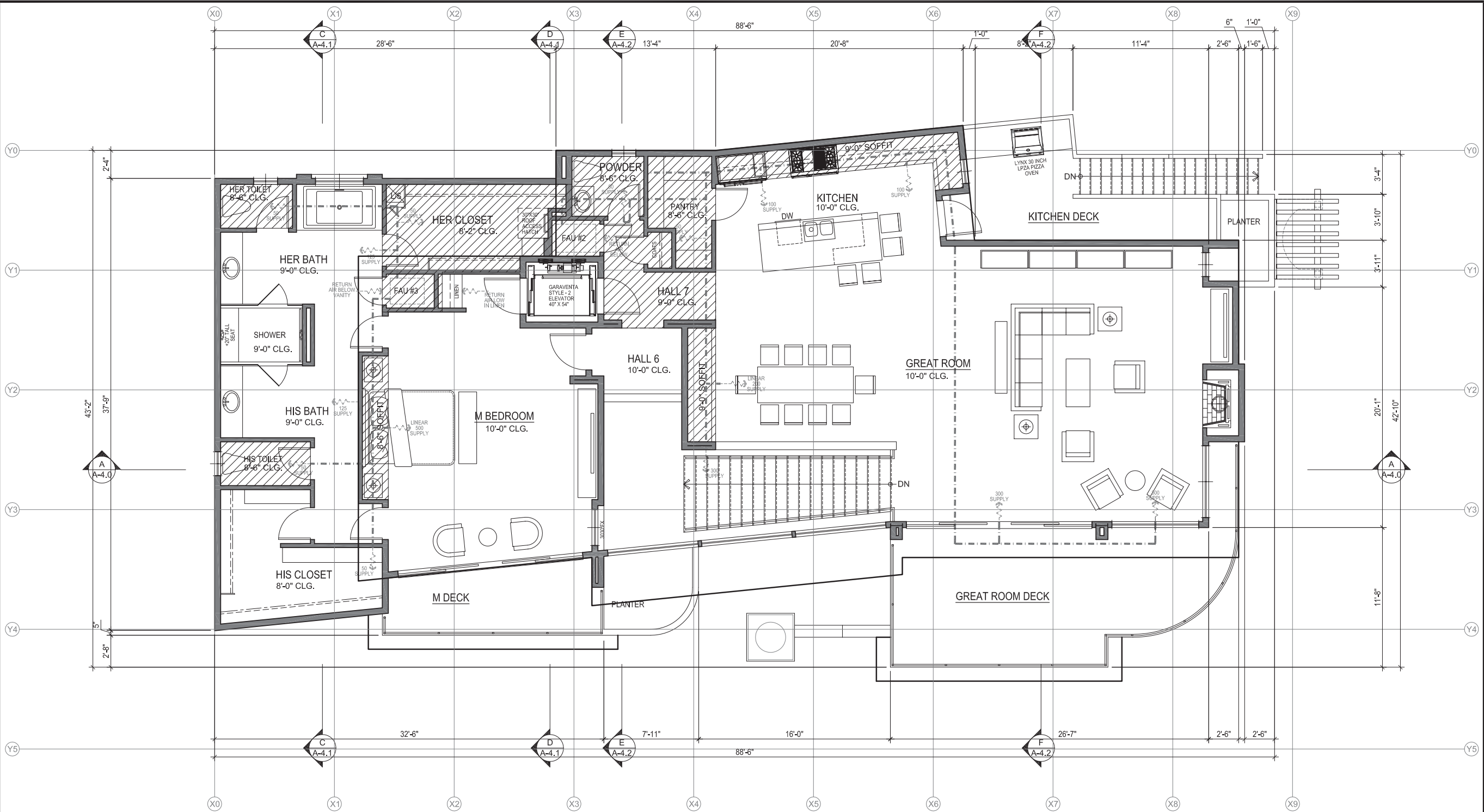


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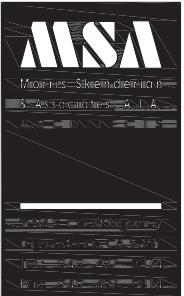
LOWER FLOOR REFLECTED CEILING PLAN
DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

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SHEET NUMBER	
A-5.0	



UPPER FLOOR REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

REVISIONS		
NO.	DATE	BY

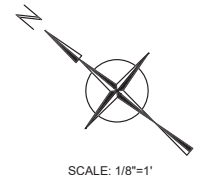
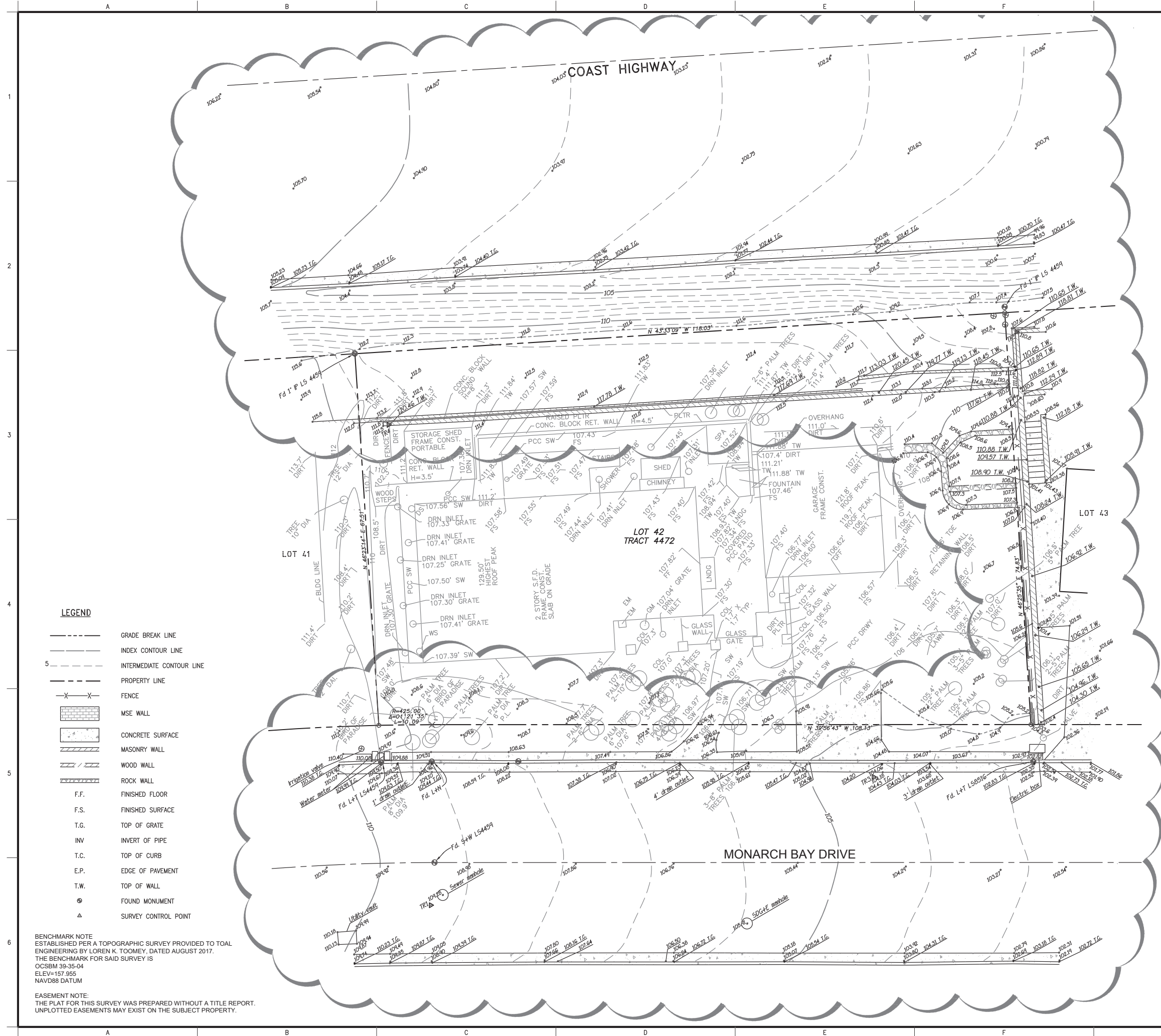


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UPPER FLOOR REFLECTED CEILING PLAN
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PLANS PREPARED BY:



**CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY**

139 Avenida Navarro
San Clemente, CA 92672
949.492.8586
www.toalengineering.com



VIKTOR P. MEUM
P.L.S. 8682
DATE:

PREPARED FOR:
GARY DAPELO

[illegible]

TOPOGRAPHIC SURVEY

LOT 42, TRACT 4472, APN 670-151-21
429 MONARCH BAY DRIVE, DANA POINT CALIFORNIA
S:\new\Toda\20046-fb-01.dwg

DATE: 3-31-20		H. SCALE: 1/8"=1'	
SURVEY DATE: 3-16-20		V. SCALE: -	
DRN.: MSF	DWG. NO. TP-01		
CHD.: -			
APPD.: VM			
JOB NO. 20046		SHEET 1	OF 1

UTILITY NOTE:
SEWER, WATER AND STORM DRAIN INFORMATION SHOWN HEREON PER
ROUGH GRADING PLAN AND IMPROVEMENT PLANS FOR TRACT NO. 16331

NOTE TO CONTRACTOR:
REQUIRED CERTIFICATIONS / APPROVALS
In addition to any certifications required by the agencies having jurisdiction over this
project, the following approvals from the Civil engineer of record are required:
1. Foundation forms for improvements on or abutting property lines is required prior to
concrete pour.
2. Location, size, and depth of all drain lines prior to backfill.

SOUTH COAST WATER DISTRICT NOTES

- ALL NEW WATER MAINS, SERVICES, METERS, BACKFLOW DEVICES, LATERALS, FIRE HYDRANTS, AND APPURTENANCES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE SOUTH COAST WATER DISTRICT DESIGN GUIDELINES AND STANDARD SPECIFICATIONS, BOTH OF WHICH ARE AVAILABLE ON THE DISTRICT'S WEBSITE [HTTP://SCWD.ORG/DEPTS/ENGINEERING/DEFAULT.HTM](http://SCWD.ORG/DEPTS/ENGINEERING/DEFAULT.HTM)
- WATER THROUGHOUT SOUTHERN CALIFORNIA, INCLUDING SOUTH COAST WATER DISTRICT, IS NATURALLY VERY HIGH IN TOTAL HARDNESS AND IN OVERALL MINERAL CONTENT. THESE CONSTITUENT LEVELS DO NOT CAUSE ANY ADVERSE HEALTH EFFECTS, HOWEVER YOU MAY NEED TO CONSIDER THIS IN YOUR SELECTION OF A PRE TREATMENT SYSTEM (I.E., WATER SOFTENER TO REDUCE HARDNESS), PLUMBING FIXTURES, LANDSCAPE PLANTINGS, ETC. PLEASE FEEL FREE TO REFER TO SOUTH COAST WATER DISTRICT'S LATEST WATER QUALITY REPORT FOR A DETAILED REPORT OF CONSTITUENT LEVELS, AT: [HTTP://SCWD.ORG/SERVICES/DRINKING/WATERREPORT/DEFAULT.HTM](http://SCWD.ORG/SERVICES/DRINKING/WATERREPORT/DEFAULT.HTM)

CONSTRUCTION NOTES

- CONSTRUCT CONCRETE DRIVEWAY.
- CONSTRUCT CONCRETE HARDSCAPE.
- CONSTRUCT CONCRETE DRIVE APPROACH PER CITY OF DANA POINT STD. DP-103.
- CONSTRUCT DRIVABLE ARTIFICIAL TURF PER LANDSCAPE PLAN.
- INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
- INSTALL 6" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
- INSTALL 6" ATRIUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL 6" DECK DRAIN NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL 12" ATRIUM DRAIN NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL.
- CONSTRUCT CURB DRAIN PIPE OUTLET PER CITY OF DANA POINT STD. DP-123 USING 4" OUTLET TO THE EXISTING CURB.
- INSTALL 12X18 DRAINBOX (BROOKS 1218CB OR EQ.) W/ LIGHT TRAFFIC RATED SOLID STEEL COVER.
- INSTALL SUBDRAIN PER SOILS REPORT RECOMMENDATIONS.
- CONNECT DOWNSPOUT TO STORM DRAIN SYSTEM.
- SAWCUT AND REPLACE 18" WIDE SECTION OF AC PAVEMENT. REPLACE W/ FULL DEPTH AC.(10" MIN.) PER DP-122
- INSTALL 9" DECK DRAIN NDS TYPE 930 W/ RISER & ADAPTOR OR EQUAL.
- INSTALL CHANNEL DRAIN, 3" WIDE PRO SERIES NDS TYPE 734 W/ TRAFFIC RATED CHANNEL GRATE.
- INSTALL CHANNEL DRAIN, 5" WIDE W/ TRAFFIC RATED GRATE.
- INSTALL 12" FLAT DRAIN W/ TRAFFIC RATED GRATE NDS TYPE 1210 W/ RISER & ADAPTOR OR EQUAL.

DISPOSITION NOTES

- EXIST. WALL TO REMAIN, PROTECT IN PLACE.
- EXIST. WATER METER TO REMAIN, PROTECT IN PLACE.
- EXIST. UTILITY VAULT TO REMAIN, PROTECT IN PLACE.
- SAWCUT, JOIN EXISTING.

ADDITIONAL NOTES

- ALL ROOFS SHALL BE GUTTERED AND DOWNSPOUTS CONNECTED TO THE STORM DRAIN SYSTEM.
- PAD ELEVATIONS ARE BASED ON 5" CONC. SLAB OVER 4" THICK OF GRAVEL BASE COURSE OF 1/2 INCH OR LARGER CLEAN AGGREGATE OVER 15 MM OF VAPOR RETARDER OVER 2" OF CLEAN SAND PER SOILS REPORT PREPARED BY VIAEGOS, INC. DATED 04/10/2020 PROJECT NO.201624. CONTRACTOR TO VERIFY PAD ELEVATION W/ STRUCTURAL ENGINEER AND SOILS ENGINEER PRIOR TO GRADING.
- WHERE EXTERIOR/INTERIOR UTILITY TRENCHES ARE PROPOSED IN A DIRECTION THAT PARALLELS ANY BUILDING FOOTING, THE BOTTOM OF THESE TRENCHES SHALL NOT EXTEND BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF FOOTING. WHERE THIS OCCURS, ADJACENT FOOTING SHALL BE DEEPEENED OR UTILITY CONSTRUCTED & BACKFILLED PRIOR TO CONSTRUCTION.
- FOR FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
- RETAINING WALLS UNDER SEPARATE PLAN & PERMIT. (RW PERMIT NUMBER : BLD 20-_____)
- ALL RECOMMENDATIONS IN THE PROJECT SOILS REPORT PREPARED BY VIAEGOS INC. DATED APRIL 13, 2010, AND ALL ADDENDA, ARE CONSIDERED A PART OF THESE PLANS.
- ALL DRAIN LINES SHALL HAVE A MIN. POSITIVE SLOPE OF 1.5% TOWARD OUTLET.
- PER SOILS REPORTS RECOMMENDATIONS SUBDRAIN SHALL BE INSTALLED BEHIND RETAINING WALLS AND AT A MINIMUM THEY SHALL CONSIST OF 4" DIA. SCH40 PERFORATED PIPE SURROUNDED WITH ONE CUBIC FOOT, PER LINEAR PIPE FOOT, OF 3/8" GRAVEL. THE GRAVEL SHALL BE WRAPPED IN FILTER FABRIC. OUTLET PIPES SHALL BE SOLID PIPE OF SIMILAR MATERIAL. SEE PROVIDED DETAIL ON SHEET C-3.
- ALL WORK IN PUBLIC RIGHT OF WAY SHALL BE UNDER A SEPARATE ENCROACHMENT PERMIT.

EASEMENT NOTES

ALL EASEMENTS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PER A PRELIMINARY TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NO MB47242 DATED JULY 29, 2019 UNLESS NOTED OTHERWISE

- 3a 4 6b AN EASEMENT FOR STATE HIGHWAY PURPOSES RECORDED IN BOOK 592, PAGE 104 OF DEEDS IS UNDEFINED AND NOT PLOTTED HEREON.
- 3b 6a 7 8c AN EASEMENT FOR STATE HIGHWAY PURPOSES RECORDED IN BOOK 416, PAGE 50 O.R. WAS ABANDONED PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 3c A RESOLUTION OF ABANDONMENT RECORDED IN BOOK 608, PAGE 442 WAS RECORDED PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 5a AN EASEMENT FOR PUBLIC UTILITY AND INCIDENTAL PURPOSES RECORDED IN BOOK 666, PAGE 316 OF DEEDS WAS QUITCLAIMED BY A DOCUMENT RECORDED IN BOOK 7901, PAGE 615 O.R. AND IS NOT PLOTTED HEREON.
- 5b A QUITCLAIM DOCUMENT OF AN EASEMENT LISTED IN ITEM 5a, RECORDED IN BOOK 7901, PAGE 615 IS NOT PLOTTED HEREON.
- 6d THE ABANDONMENT OF AN EASEMENT FOR HIGHWAY PURPOSES LISTED IN ITEM 6a, RECORDED IN BOOK 601, PAGE 60 IS NOT PLOTTED HEREON.
- 6e THE ABANDONMENT OF AN EASEMENT FOR HIGHWAY PURPOSES LISTED IN ITEM 6a, RECORDED IN BOOK 600, PAGE 308 IS NOT PLOTTED HEREON.
- 9 10 AN EASEMENT FOR NON EXCLUSIVE ROADWAY PURPOSES, RECORDED IN BOOK 2249, PAGE 286 O.R. WAS ABANDONED PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 11 A LEASE RECORDED IN BOOK 5311, PAGE 44 PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 12 AN EASEMENT FOR PUBLIC UTILITY, INGRESS AND EGRESS PURPOSES RECORDED IN BOOK 5615, PAGE 28 O.R. WAS GRANTED PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 13 AN EASEMENT FOR PUBLIC UTILITY, INGRESS AND EGRESS PURPOSES RECORDED IN BOOK 5460, PAGE 354 O.R. WAS GRANTED PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 14 AN EASEMENT FOR PUBLIC UTILITY, INGRESS AND EGRESS PURPOSES RECORDED IN BOOK 5741, PAGE 11 O.R. WAS GRANTED PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 15 AN EASEMENT FOR PUBLIC UTILITY, INGRESS AND EGRESS PURPOSES RECORDED IN BOOK 5741, PAGE 113 O.R. WAS GRANTED PRIOR TO TRACT 4472 SUBDIVISION AND IS NOT PLOTTED HEREON.
- 16 TRACT 4472 RECORDED IN BOOK 191, PAGES 11-14 M.M. DOES NOT CONTAIN ANY EASEMENTS OVER THE SUBJECT PROPERTY.
- 18 A NOTICE OF EASEMENT AND RESTRICTIVE USE RECORDED IN BOOK 9563, PAGE 299 O.R. DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- 21a CC&R'S RECORDED AS INSTRUMENT NO 12-786869 O.R. DO NOT CONTAIN EASEMENTS THAT AFFECT THE SUBJECT PROPERTY AND ARE NOT PLOTTED HEREON.
- 21b CC&R'S RECORDED AS INSTRUMENT NO 12-817477 O.R. DO NOT CONTAIN EASEMENTS THAT AFFECT THE SUBJECT PROPERTY AND ARE NOT PLOTTED HEREON.
- 21c CC&R'S RECORDED AS INSTRUMENT NO 16-502317 O.R. DO NOT CONTAIN EASEMENTS THAT AFFECT THE SUBJECT PROPERTY AND ARE NOT PLOTTED HEREON.

DEMOLITION NOTE

UNLESS NOTED OTHERWISE, ALL EXISTING ON-SITE IMPROVEMENTS SHALL BE REMOVED AND PROPERLY DISPOSED OF.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT
				N/A	AA.	AA.	C.R.	CIVIL ENGINEERING LAND SURVEYING STORMWATER QUALITY	O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.905 FT. ADJUSTED: 1994	PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
				DATE: 5/31/20				TOAL ENGINEERING, INC. 139 Avenida Navajo San Clemente, CA 92672 P 949.482.3333 www.toalengineering.com		
				PROJECT NO.: 20046				DATE: 5/27/25 R.C.E. NO.		
					ENGINEER OF WORK					

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/19

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.



CITY OF DANA POINT

PRELIMINARY GRADING PLAN
429 MONARCH BAY DRIVE
LOT 42, TRACT 4472

APN: 670-151-21

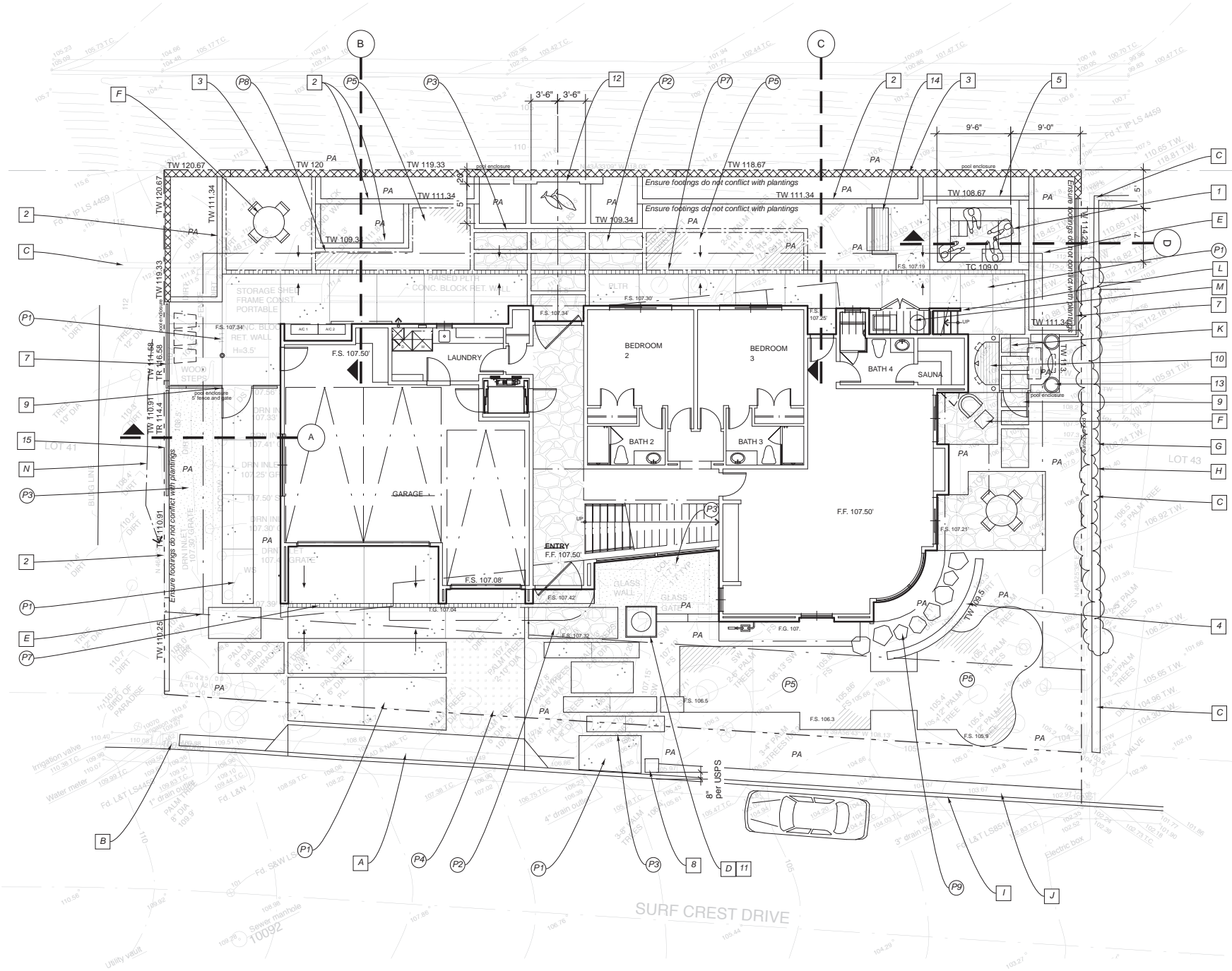
C-1

PLAN CHECK NO.
ENG _____

1 OF 1 SHEETS

20046

LOT 42, TRACT 4472
ORIGINAL SCALE: 1" = 100'-0"



NOTES

PROVIDE A REPRESENTATIVE SAMPLE OF EACH PAINTED OR STAINED ELEMENT TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO APPLYING FINISH.

WHERE PAVING AND FINISH GRADE MEET, DEPRESS FINISH GRADE 1" IN TURF AREAS, AND 1 1/2" IN SHRUB/GROUND COVER AREAS UNLESS OTHERWISE NOTED.

HOLD FINISH GRADE A MINIMUM OF 6" BELOW FINISH FLOOR UNLESS OTHERWISE NOTED ON CIVIL ENGINEER'S DRAWINGS. VERIFY POSITIVE DRAINAGE AWAY FROM BUILDING, MINIMUM 2% ON GRADE, MINIMUM 1% ON PAVED SURFACES.

REFER TO CIVIL ENGINEER'S DRAWINGS FOR WALL HEIGHTS AND SITE DRAINAGE. WALL AND PAVING LAYOUT IS PER LANDSCAPE DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR WALL STRUCTURAL DETAILING.

CONSTRUCT ALL CURVE-TO CURVE AND CURVE TO TANGENT LINES TO BE NEAT, TRIM, SMOOTH, AND UNIFORM. CURVES ARE TO BE TRUE RADIUS ARCS UNLESS OTHERWISE NOTED.

CONSTRUCT ALL CONCRETE SPECIFIED ON THE LANDSCAPE DRAWINGS WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS FOR PEDESTRIAN PAVING.

REPAIR ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTINGS, AND STRUCTURES AT NOT ADDITIONAL COST TO THE OWNER. IF DAMAGE OCCURS, IMMEDIATELY NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO REPAIR.

REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE OWNER'S AUTHORIZED REPRESENTATIVE. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO CONTINUATION OF THIS WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.

VERIFY PAVING AND CONSTRUCTION DRAWINGS WITH SOIL REPORT WITH REGARD TO BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY IS SOILS REPORT RECOMMENDATIONS DIFFER FROM THE DRAWINGS. NOTE DIFFERENCES IN PAVING THICKNESS AND REINFORCING FOR VEHICULAR AREAS.

PROJECT WALKS ARE NOT TO EXCEED 5% UNLESS OTHERWISE INDICATED ON CIVIL PLAN. VERIFY THAT CROSS SLOPES OF ACCESSIBLE ROUTES DO NOT EXCEED 2%.

SLOPE ON GRADE IS NOT TO EXCEED 2:1.

ENSURE THAT ALL DOWNSPOUTS ARE CONNECTED TO DRAINLINE SYSTEM

LOCATE ALL UTILITIES ONSITE AND WITHIN WORK AREA AND PROTECT IN PLACE.

VERIFY ALL PROPERTY LINE LOCATIONS AND DISCUSS ANY OFFSITE WORK WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO WORKING OFFSITE.

SEE ARCHITECT'S DRAWINGS FOR SETBACKS AND ARCHITECTURAL INFORMATION. SEE CIVIL DRAWINGS FOR EASEMENTS AND BOUNDARIES.

CONSTRUCT CONCRETE AND SUB-BASE PER SOILS REPORT. CONDUCT PRECONSTRUCTION ONSITE MEETING TO CONFIRM REQUIREMENTS. FOR BID PURPOSES, ASSUME FOR ON-GRADE SLABS: 4" THICKNESS MIN, SUBGRADE SCARIFIED TO MIN 12" DEPTH AND RECOMPACTED, #3 BAR AT 18" OC.

FORTY-EIGHT HOURS (48) BEFORE EXCAVATION CALL UNDERGROUND SERVICE ALERT 1-800-422-4133

OBTAIN REVIEW AND APPROVAL FROM OWNER'S REPRESENTATIVE OF CONCRETE PAVING LAYOUT AND FORMWORK PRIOR TO POURING. DISCUSS AND VERIFY JOINT LOCATIONS AND ADJUST IF NEEDED.

LAYOUT AND JOINTS FOR PEDESTRIAN PAVING IS PER LANDSCAPE ARCHITECT'S PLAN

DO NOT USE CHEMICAL HERBICIDES, WEED PRE-EMERGENT CHEMICALS, OR SOIL STERILIZATION CHEMICALS IN ANY PLANTING AREAS OR ON SOIL THAT IS TO BE USED IN PLANTING AREAS OR IN IMPORT SOILS

FOR ALL PLANTING AREAS, PRIOR TO IRRIGATION OR PLANTING OPERATIONS RIP, TILL, TURN OVER OR OTHERWISE DE-COMPACT THE SOIL TO A DEPTH OF 12" (NOTE IS REPEATED ON PLANTING PLANS). PROTECT UTILITIES AND OTHER UNDERGROUND FEATURES.

GENERAL LEGEND

- A APRON, DRIVEWAY SLOPE, AND STREET IMPROVEMENTS PER CIVIL DRAWINGS
- B UTILITY ELEMENT TO REMAIN
- C EXISTING MASONRY WALL TO REMAIN ON ADJACENT PROPERTY
- D WALL OR ARCHITECTURAL FEATURE PER ARCHITECT'S DRAWINGS
- E REQUIRED MINIMUM SETBACK LINE
- F SITE FURNITURE BY OTHERS
- G EXISTING VEGETATION ON ADJACENT PROPERTY TO REMAIN
- H EXISTING METAL FENCE ON ADJACENT PROPERTY TO REMAIN.
- I EXISTING CURB TO REMAIN
- J EXISTING PAVING BEHIND CURB TO REMAIN. REPLACE TO MATCH IF DAMAGED DURING CONSTRUCTION
- K OUTDOOR SHOWER WALL AND OVERHEAD COVER PER ARCHITECT'S DRAWINGS
- L LANDING AND STAIRS PER ARCHITECT'S DRAWINGS
- M POOL EQUIPMENT / MECHANICAL AREA PER ARCHITECT'S DRAWINGS. VERIFY APPROPRIATE CONNECTIONS FOR GAS, SEWER, STORM DRAIN, WATER, ELECTRICAL, AND VENTING. LOUVERED WOOD DOORS PER ARCHITECT'S DRAWINGS
- N APPROXIMATE EXISTING DRAINAGE PATTERN FROM NEIGHBOR'S PROPERTY TO APPLICANT'S PROPERTY

HARDSCAPE LEGEND -- WALLS AND FEATURES

- 1 CONSTRUCT SPA WITH COPING 22" ABOVE ADJACENT PAVING, 5' DEPTH AT BOTTOM
- 2 CONSTRUCT MASONRY RETAINING WALL WITH PLASTER FINISH, BOTH SIDES, TO MATCH HOUSE AND PRECAST CONCRETE CAP
- 3 CONSTRUCT MASONRY RETAINING WALL, SPLIT FACE 8 X 8 X 16 OAK #201 FROM ANGELUS BLOCK COMPANY WITH 8 X 2 X 16 OAK #201 CAP.
- 4 CONSTRUCT FREESTANDING LOW MASONRY WALL WITH STONE VENEER
- 5 CONSTRUCT LOW MASONRY RETAINING WALL WITH PLASTER FINISH AND ROLLED PLASTER TOP. TOP OF WALL AN INCH BELOW BOTTOM OF SPA COPING.
- 6 NOT USED
- 7 CONSTRUCT METAL FENCING ON LOW RETAINING WALL (PLASTER FINISH TO MATCH HOUSE). POOL ENCLOSURE HEIGHT PER SECTIONS A AND B
- 8 CONSTRUCT MASONRY MAILBOX WITH PLASTER FINISH TO MATCH HOUSE, PRECAST CONCRETE CAP, AND INSET METAL MAILBOX
- 9 CONSTRUCT METAL GATE PER DETAIL, SELF CLOSING, SELF LATCHING
- 10 FURNISH AND INSTALL SHOWER WAND ON WALL WITH HOT/COLD WATER SUPPLY FROM HOUSE, TEAK MAT OVER CONCRETE BASIN WITH CONCRETE CURB. INSTALL DRAIN INLET IN BASIN FLOOR, CONNECT TO SEWER
- 11 INSTALL LOW FLAT PLANTER DISH AS SELECTED BY OTHERS. PLUMB FOR IRRIGATION AND DRAINAGE
- 12 CONSTRUCT WATER WALL FEATURE WITH SCULPTURE BY OWNER. DEPTH LESS THAN 18", SUBMERSIBLE PUMP
- 13 CONSTRUCT MASONRY WALL, STONE VENEER, 5'-6" HEIGHT TO MATCH SHOWER WALL PER ARCHITECT'S DRAWINGS. SYDNEY PEAK AND MOSS ROCK STONE. INCLUDE SCULPTURE NICHE FACING HOUSE AND PLANTER DISHES ON TOP. SLAT BENCH BELOW, ON GRADE
- 14 IPE WOOD SEAT, BATTERED IPE BACKREST. CANTILEVERED.
- 15 CONSTRUCT LOW MASONRY RETAINING WALL WITH PLASTER FINISH TO MATCH HOUSE AND PRECAST CONCRETE CAP, WITH 42" HIGH METAL GUARDRAIL PER DETAIL

HARDSCAPE LEGEND -- PAVING AND GROUNDPLANE ELEMENTS

- P1 CONSTRUCT NATURAL GRAY CONCRETE PAVING WITH LIGHT WATER WASH FINISH. (SEE SPECIFICATIONS, BASE PREP, AND ENGINEERING FOR VEHICULAR CONDITIONS)
- P2 CONSTRUCT IRREGULAR FLAGSTONE PAVING ON CONCRETE BASE, SYDNEY PEAK OR OTHER SELECTED BY OWNER
- P3 CONSTRUCT GRAVEL SURFACE WHERE SHOWN AND IN GAPS BETWEEN ELEMENTS. 1" TUMBLED VOLCANIC COBBLE, DARK GRAY
- P4 FURNISH AND INSTALL ARTIFICIAL TURF, VEHICULAR CONDITION, WITH TURF BLOCK TOPS EXPOSED
- P5 FURNISH AND INSTALL ARTIFICIAL TURF
- P6 NOT USED
- P7 TRENCH DRAIN INLET AND GRATE UNDER GRAVEL, PER CIVIL DRAWINGS
- P8 1/4" METAL EDGING AT GRAVEL OR TURF EDGE
- P9 INDIVIDUAL FLAGSTONE STEPPING STONES ON CONCRETE BASE, 6" GAP BETWEEN

SEE CIVIL ENGINEER'S DRAWINGS FOR SITE GRADING AND DRAINAGE, INCLUDING INLET LOCATIONS, SPOT ELEVATIONS, METHODS OF DRAINAGE.



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Submittals / Revisions:

July 5, 2020: Footprint adjust. Preserve existing palm in front

August 10, 2020: Association comments

September 10, 2020: Association comments

October 6, 2020: Association comments

Project:

THE DAPELO RESIDENCE

429 MONARCH BAY DRIVE
DANA POINT, CA

SHEET INDEX

- L-01 PRELIMINARY HARDSCAPE PLAN
- L-02 HARDSCAPE DETAILS
- L-03 HARDSCAPE DETAILS AND COLOR/MATERIALS BOARD
- L-04 PLANTING PLAN
- L-05 PLANT IMAGES
- L-06 LIGHTING PLAN

Sheet Title::

PRELIMINARY
HARDSCAPE PLAN

Project Number:

Scale: 1/8" = 1'-0"

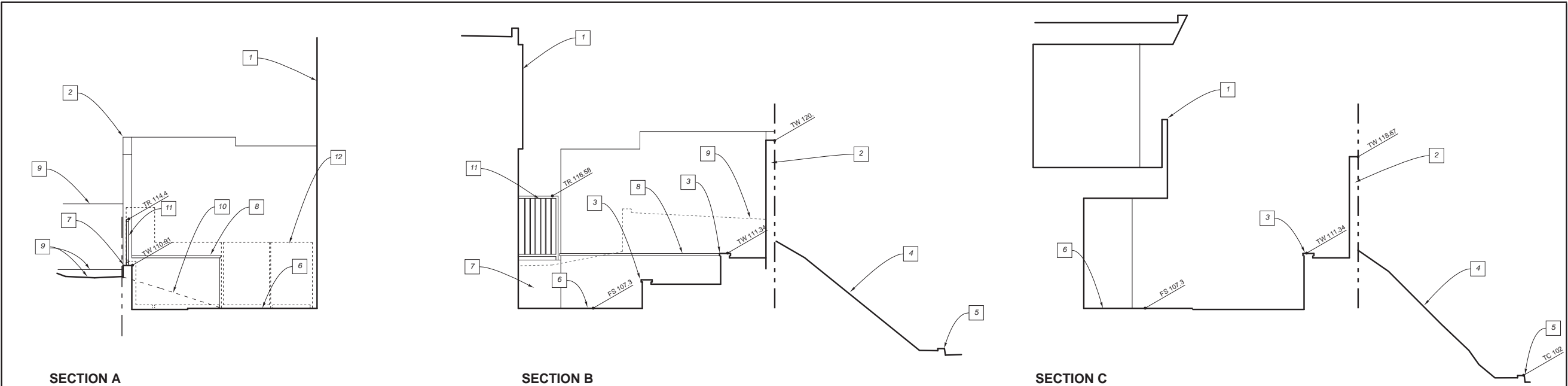
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SEPTEMBER 2020

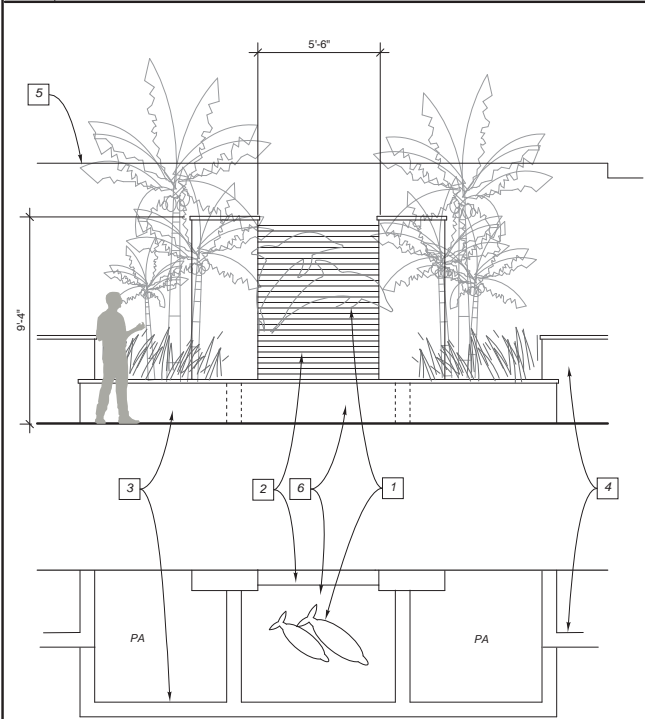
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B PERIMETER SECTIONS Scale: 1/4" = 1'-0"

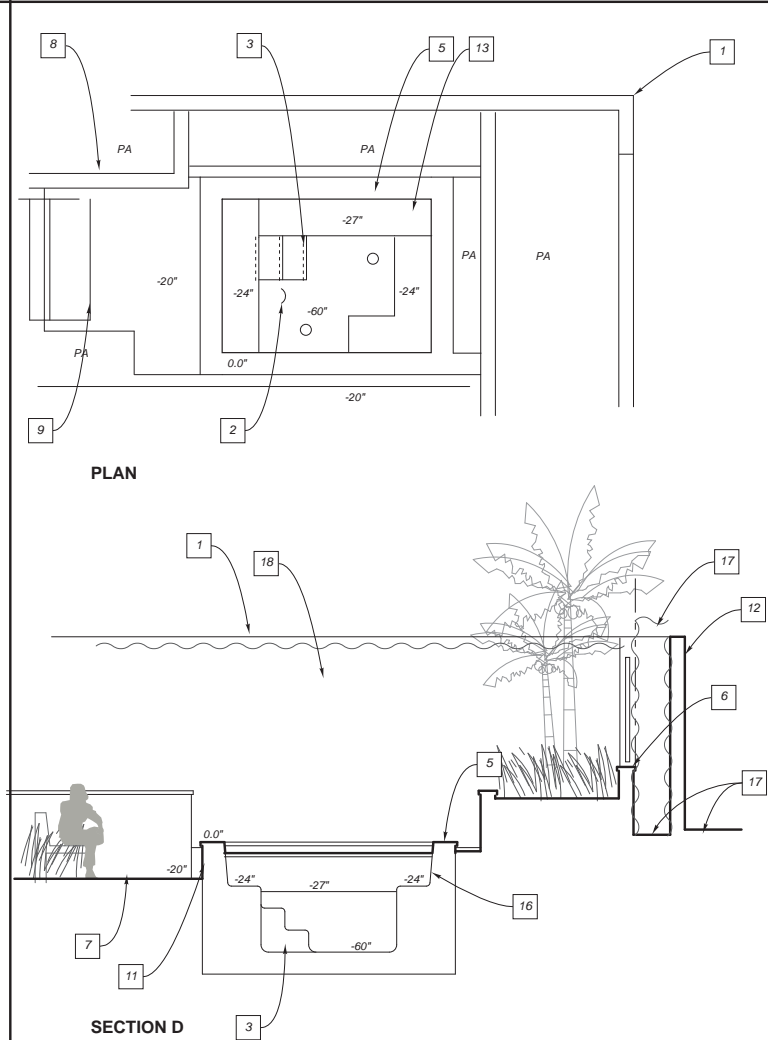


- LEGEND**
- 1 SCULPTURE BY OWNER
 - 2 WET WALL, STONE OR TILE AS SELECTED BY OWNER. LOW VOLUME FLOW OVER BATTERED FACE
 - 3 LOW PLANTER WALL PER PLAN, SYDNEY PEAK STONE CAP TO MATCH PAVING
 - 4 PLANTER WALL PER PLAN
 - 5 PROPERTY LINE WALL PER PLAN, COAST HIGHWAY BEYOND
 - 6 WATER BASIN, LESS THAN 18" DEEP
 - 7 PLANTING PER PLAN
 - 8 SUBMERSIBLE UPLIGHT IN BASIN, 6w MAX, ONE FOR SCULPTURE, ONE FOR WATER WALL

NOTES

PROVIDE SHOP DRAWING FOR PUMP, FILTER, WATER SUPPLY, DRAIN, AND WATERPROOFING FOR OWNER REVIEW PRIOR TO CONSTRUCTION

D WATER FEATURE Scale: 1/4" = 1'-0"



- LEGEND**
- 1 PERIMETER BLOCK WALL PER PLAN
 - 2 100W SPA LIGHT
 - 3 GUNITE STEPS, 12" RISERS 13" TREADS
 - 4 LINE OF 1" SQ CERAMIC TILES 1" FROM STEP NOSES, CONTRASTING COLOR AS SELECTED BY OWNER
 - 5 PRECAST CONCRETE COPING, INSIDE FLUSH WITH TILE, NO OVERHANG. OVERHANG ON OUTSIDE TO MATCH WALL COPING
 - 6 PRECAST CONCRETE WALL CAPS
 - 7 PAVING PER PLAN
 - 8 RAISED PLANTER PER PLAN
 - 9 PROPOSED WOOD BENCH PER PLAN
 - 10 FLOOR SUCTION INLETS, MIN 3' APART PER CODE
 - 11 PLASTER FINISH ON OUTSIDE OF SPA TO MATCH BUILDING
 - 12 EXISTING WALL ON ADJACENT PROPERTY TO REMAIN
 - 13 GUNITE SEAT, TWO DIFFERENT HEIGHTS PER SECTION
 - 14 2" INSIDE AND OUTSIDE RADIUS CORNERS AT SEAT
 - 15 4" RADIUS AT FLOOR
 - 16 BATTER BACK OF SEAT 2" FROM TILE TO SEAT SURFACE
 - 17 EXISTING HEDGE ON ADJACENT PROPERTY
 - 18 PROPOSED HEDGE, PER PLAN
 - 19 EXISTING GRADE ON ADJACENT PROPERTY

- JET LEGEND**
- A UPPER BACK JET 6" BELOW WATER SURFACE
 - B LOWER BACK JET 6" ABOVE SEAT
 - C CALF JET 10" BELOW SEAT
 - D OVERSIZED (1 1/2") HEAT INLET

PROVIDE STRUCTURAL AND MECHANICAL ENGINEERING AS NECESSARY FOR CONSTRUCTION; THIS DETAIL SHOWS DESIGN INTENT ONLY.

PROVIDE DETAILED SCALED SHOP DRAWINGS THAT INCLUDE ENGINEERING, PUMP AND PIPING SYSTEMS, MECHANICAL INFORMATION, FILTERING, SKIMMING, ACCESSORIES, COUNTY SUBMITTAL INFORMATION, AND ALL OTHER INFORMATION FOR POOL CONSTRUCTION, PROPER POOL OPERATION, AND COUNTY PROCESSING. PROVIDE ALL PERMITS. SUBMIT TO OWNER'S AUTHORIZED REPRESENTATIVE FOR REVIEW.

SPA FINISH IS TO BE MEDIUM GRAY PLASTER, COLOR AS SELECTED BY OWNER

PUMPS AND MOTORS ARE TO BE PUREX WHISPER FLOW. CARTIDGES ARE TO BE PUREX. DRAIN COVERS ARE TO BE ANTIVORTEX.

GUNITE: NO REBOUND IS TO BE USED

MINERAL SALT SYSTEM IS TO BE USED

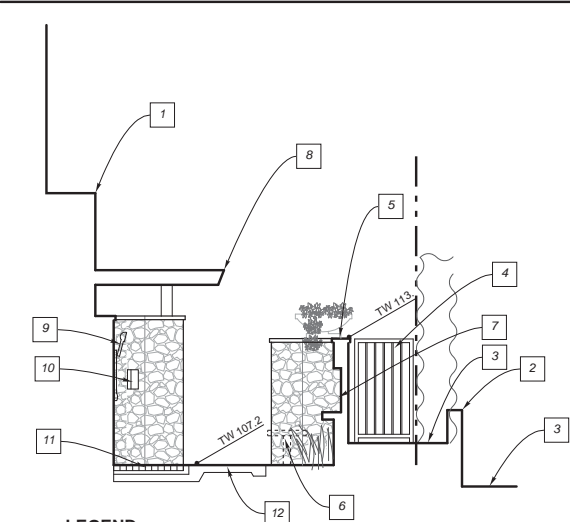
REQUEST POC OR SUPPLY FOR GAS, WATER, SEWER, STORM DRAIN, AND ELECTRICAL.

PROVIDE AN AIR SWITCH IN SPA. ALSO PROVIDE JANDY UNIT (OR APPROVED EQUAL) FOR INSTALLATION IN HOUSE IN LOCATION DETERMINED BY OWNER. GOAL TO BE ABLE TO TURN SPA LIGHT ON IN HOUSE. AND ALSO IN SPA (DIMMABLE).

C SPA Scale: 1/4" = 1'-0"

SECTION C

- LEGEND**
- 1 PROPOSED BUILDING LOCATION PER ARCHITECT'S DRAWINGS
 - 2 PROPOSED BLOCK SOUNDWALL PER PLAN
 - 3 PROPOSED RETAINING WALL/RAISED PLANTER PER PLAN
 - 4 EXISTING COAST HIGHWAY GRADE
 - 5 EXISTING COAST HIGHWAY CURB/EDGE
 - 6 PROPOSED FINISHED SURFACE/PAVING PER PLAN
 - 7 PROPOSED LOW RETAINING WALL
 - 8 WALLS/RAISED PLANTERS BEYOND
 - 9 NEIGHBOR'S EXISTING GRADE
 - 10 EXISTING ONSITE GRADE AT SECTION CUT
 - 11 PROPOSED METAL RAILING PER PLAN
 - 12 METAL GATE AND FENCE PER PLAN AND GATE DETAIL



- LEGEND**
- 1 PROPOSED BUILDING LOCATION PER ARCHITECT'S DRAWINGS
 - 2 NEIGHBOR'S EXISTING WALL AND HEDGE
 - 3 NEIGHBOR'S EXISTING GRADE/PAVING
 - 4 PROPOSED METAL POOL ENCLOSURE FENCING BEYOND
 - 5 PROPOSED MASONRY WALL WITH STONE VENEER
 - 6 PROPOSED WOOD SLAT BENCH
 - 7 NICHE FOR URN, SCULPTURE FACING HOUSE
 - 8 OVERHEAD COVER AND SUPPORT PER ARCHITECT'S DRAWINGS
 - 9 SHOWER WAND
 - 10 NICHE FOR SHOWER ESSENTIALS
 - 11 TEAK MAT WITH CONCRETE BASIN AND CURB UNDER FOR DRAINAGE
 - 12 PAVING PER PLAN

A SECTION AT OUTDOOR SHOWER Scale: 1/4" = 1'-0"



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Submittals / Revisions:

August 10, 2020:	Association comments
September 10, 2020:	Association comments
October 6, 2020:	Association comments

Project:

THE DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CA

PRELIMINARY
LANDSCAPE DETAILS

Project Number:

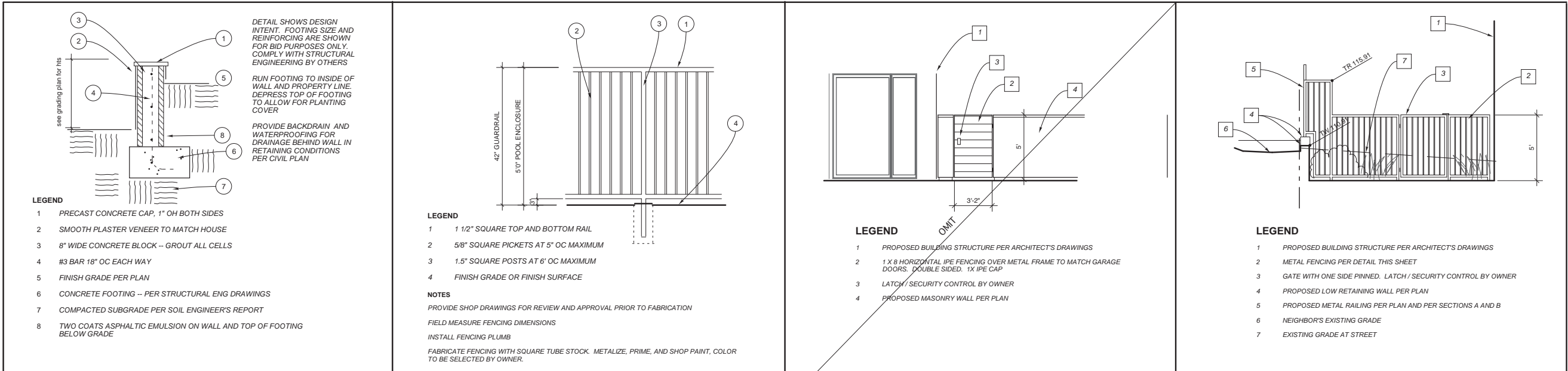
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F MASONRY WALL, PLASTER VENEER Scale: NTS

E METAL FENCING and RAILING NTS

D SOUTH SIDE GATE Scale: 1/4" = 1'-0"

A NORTH SIDE GATE Scale: 1/4" = 1'-0"

ITEM	MATERIAL/COLOR	LOCATION	IMAGES
SOUNDWALL AT PCH	SPLIT FACE BLOCK <i>Angelus Block</i> 8 x 8 x 16 Oak #201 8 x 2 x 16 Oak #201 cap <i>per Assoc requirements</i>	REAR YARD	
MASONRY WALL VENEER	SMOOTH STUCCO <i>Omega</i> <i>Bison Beige</i> <i>To match house field color</i>	REAR YARD SIDE YARDS	
SPA AND MASONRY WALL CAPS	PRECAST CONCRETE <i>Pacific Stone</i> WC-200, Natural color Straights, corners, ends	REAR YARD SIDE YARDS SPA MAILBOX	
WOOD FENCING/GATES	IPE WOOD <i>Custom</i> <i>Walnut color</i> <i>To match house doors</i>	SIDE YARDS REAR YARD SEAT	
METAL FENCING/GATES	POWDER COATED STEEL <i>Custom</i> <i>Black DEA 187</i> <i>To match house trim pieces</i>	SIDE YARDS	
SPA INTERIOR FINISH	AGGREGATE POOL FINISH <i>Pebbletec</i> <i>Tropical Breeze color</i>	SIDE YARD	
WATER FEATURE VENEER	LEDGER STONE <i>Sydney Peak</i> <i>Veneer Flats, European 3-5"</i>	REAR YARD	
PLANTER DISH ON WALL	CAST STONE <i>Pacific Stone Design</i> PT 1236 Paradise 12"H x 36"W	BY FRONT ENTRY	

ITEM	MATERIAL/COLOR	LOCATION	IMAGES
MAILBOX	SMOOTH STUCCO FACES PRECAST CONC CAP <i>Omega</i> <i>Bison Beige</i> <i>To match house field color</i>	FRONT AREA	
CONCRETE PAVING	POURED IN PLACE <i>Natural Gray</i> <i>Water wash finish</i> <i>Saw cut joints</i>	REAR YARD SIDE YARDS FRONT AREA PORTION OF DRIVEWAY	
STONE PAVING	IRREGULAR FLAGSTONE <i>Sydney Peak</i> <i>On concrete base</i>	REAR YARD FRONT ENTRY SIDE YARD SOUTH	
GRAVEL IN PAVING GAPS	TUMBLED VOLCANIC COBBLE <i>Dark Gray, 1-2" dia</i>	REAR YARD SIDE YARDS FRONT AREA PORTION OF DRIVEWAY	
SYNTHETIC TURF	MULTI COLOR <i>Poly Turf</i> <i>Luxury Lawn Natural</i> <i>Multiple greens plus thatch</i> 80 oz SY	REAR YARD PORTION OF DRIVEWAY (cut into turf block)	
TURF BLOCK	PRECAST CONCRETE <i>RCP Block and Brick</i> <i>Bella Vista</i> <i>Synthetic turf cut to fit</i>	PORTION OF DRIVEWAY	
PUTTING GREEN	TWO TONE <i>Poly Turf</i> <i>Golf Green</i> <i>T... ..</i> <i>... ..</i>	FRONT AREA	
STONE VENEER AT SHOWER	NATURAL STONE <i>Sydney Peak (shown above)</i> <i>Moss Rock (shown at right)</i>	REAR/SIDE	

LEGEND

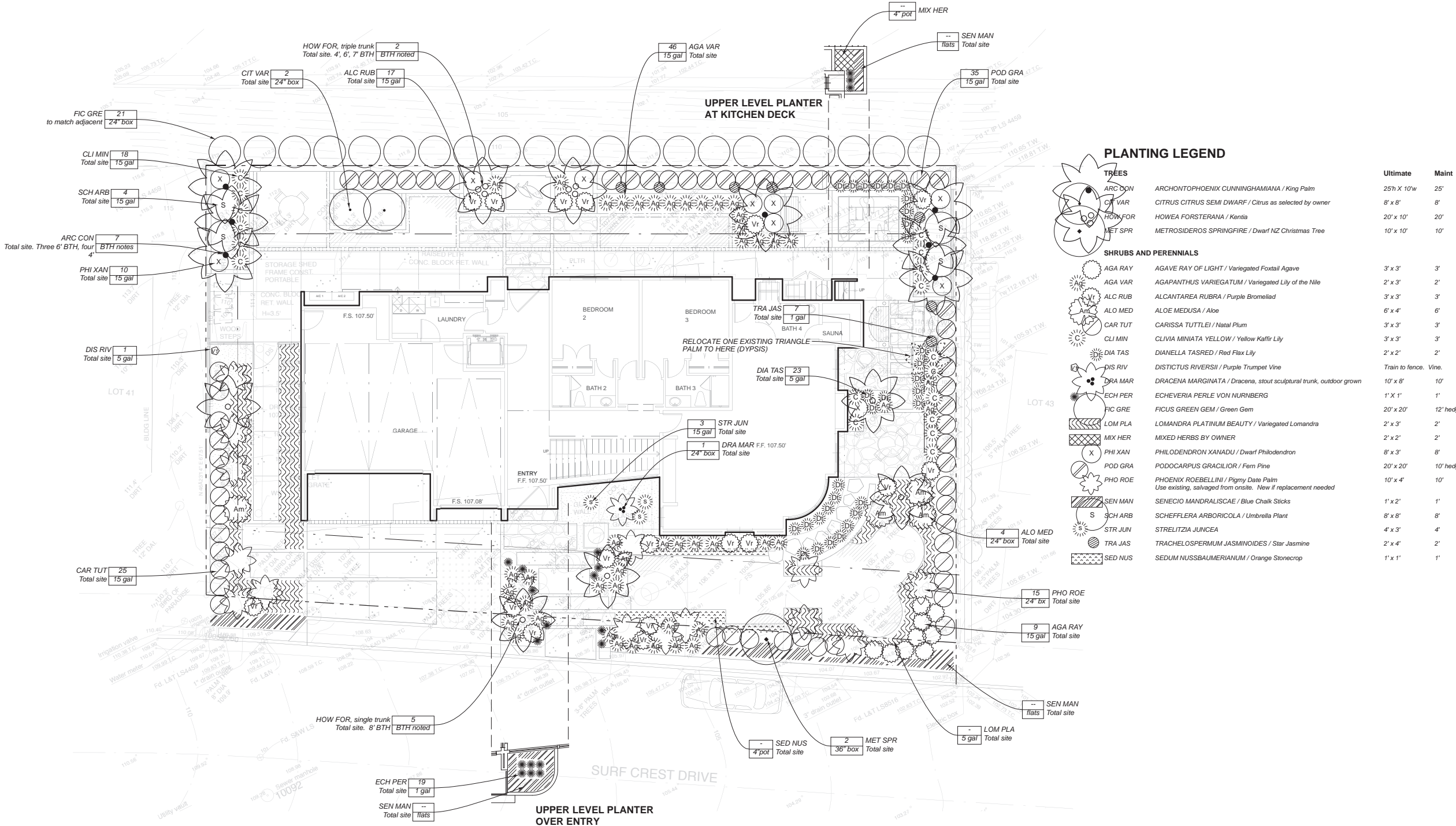
- 1 MASONRY COLUMN WITH PLASTER FINISH TO MATCH HOUSE
- 2 PRECAST CONCRETE CAP SIMILAR TO WALL CAPS, NATURAL GRAY
- 3 FRONT OPENING METAL MAILBOX INSERT SIMILAR TO COURTYARD LOCKING INSERT FROM THE MAILBOX STORE. BOTTOM OF MAIL INSERT IS 41" ABOVE CURB PER USPS RECOMMENDATIONS. FACE OF MAILBOX IS 8" FROM FACE OF CURB PER USPS RECOMMENDATIONS.

LEGEND

- 1 PRECAST PLANTER DISH, PACIFIC STONE 36" DIA. PLUMB FOR IRRIGATION AND DRAINAGE
- 2 WIDENED WALL PER ARCHITECT'S DRAWINGS, APPROXIMATELY 31" TALL
- 3 FRONT ENTRY DOOR PER ARCHITECT'S DRAWINGS

G MATERIALS AND COLORS BOARD

C FRONT ENTRY PLANTER DISH Scale: 1/4" = 1'-0"



PLANTING NOTES (CITY SUBMITTAL)

PROVIDE AUTOMATIC IRRIGATION FOR ALL PLANTED AREAS. IRRIGATION WILL CONSIST OF A COMBINATION OF LOW VOLUME DRIP TUBING AND SPRAY HEADS, CONTROLLED WITH AUTOMATIC VALVES AND A FLEXIBLE AUTOMATIC CONTROLLER. HAVING WEATHER SENSITIVITY. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE USED AND WILL NOT BE LOCATED IN THE RIGHT OF WAY.

THIS PRELIMINARY PLAN IS NOT INTENDED TO BE A CONSTRUCTION DOCUMENT

ALL EXISTING VEGETATION IS PROPOSED TO BE REMOVED

THE IRRIGATION SYSTEM IS DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY OR OTHER, SIMILAR CONDITIONS WHERE IRRIGATION WATER FLOWS ONTO NON-TARGETED AREAS, SUCH AS ADJACENT PROPERTY, NON-IRRIGATED AREAS, HARDSCAPES, ROADWAYS, OR STRUCTURES.

PLANTING NOTES

PROVIDE FERTILIZER TABLETS FOR EACH CONTAINER-GROWN PLANT 1 GALLON SIZE AND LARGER PER MANUFACTURER'S SPECIFICATIONS (DO NOT USE ON NATIVE PLANTS). USE AGROFIM PLANTING TABLETS (21g).

FOR AREAS TO BE PLANTED, THOROUGHLY INCORPORATE THE ORGANIC AND MINERAL AMENDMENTS INTO SOIL PER SPECIFICATIONS. DO NOT ALLOW IRON SULFATE TO CONTACT PAVED SURFACES OR DECKS.

LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE.

ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS, 2% MINIMUM. ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS.

PROVIDE PHOTOS OF TREES AND PLANTS AT NURSERY OR OFFER NURSERY VISIT TO OWNER'S REPRESENTATIVE PRIOR TO ORDERING. PLANTS WILL ALSO BE REVIEWED ONSITE PRIOR TO PLANTING. AMONG THE FACTORS REVIEWED BY OWNER'S REPRESENTATIVE WILL BE GROWING MEDIUM OF CONTAINERIZED FRUIT TREES. TREES GROWING IN OVERLY WOODY OR SHORT-TERM MIX MAY BE REJECTED OR ALTERNATIVE PLANTING INSTRUCTIONS PROVIDED.

FINAL LOCATIONS OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE. OBTAIN ALL PLANT MATERIAL FOR A GIVEN AREA AND PLACE IN FIELD IN ACCORDANCE WITH THE PLANTING PLAN. PRIOR TO PLANT PIT EXCAVATION, REQUEST REVIEW BY OWNER'S REPRESENTATIVE, WHO MAY THEN SUGGEST LOCATION ADJUSTMENTS TO BE MADE BY THE CONTRACTOR. GAIN APPROVAL OF LAYOUT PRIOR TO PLANTING.

SPECIFIED SPACING SHALL TAKE PRECEDENCE.

INSTALL GROUNDCOVERS AND/OR SHRUB MASSES WITH TRIANGULAR SPACING UNLESS OTHERWISE INDICATED.

REMOVE ALL NURSERY STAKES AND ESPALIER RACKS IMMEDIATELY AFTER INSTALLATION AND UPON PROVIDING SUPPORT PER PLAN.

MULCH ALL LANDSCAPE AREAS (EXCEPT TURF AND SLOPES 2:1 OR STEEPER) WITH A 3" LAYER OF FOREST FLOOR 0-2" MEDIUM GRIND MULCH AVAILABLE FROM AGUINAGA GREEN (949/ 786-9558) AT THE CONCLUSION OF PLANTING OPERATIONS.

ALL CURVE-TO-CURVE AND CURVE-TO-TANGENT LINES SHALL BE NEAT, SMOOTH, AND UNIFORM, WITH CURVES HAVING TRUE RADII ARCS.

FACILITATE HORTICULTURAL SOILS TESTING PER SPECIFICATIONS AND SUBMIT REPORT TO OWNER PRIOR TO AMENDING SOIL. PROVIDE SOILS TESTS FOR TWO LOCATIONS, ONE IN BACK IN FUTURE POOL AREA... AND ONE IN THE UPPER COURTYARD BELOW THE EXISTING GARAGE.

FOR ALL PLANTING AREAS, PRIOR TO IRRIGATION OR PLANTING OPERATIONS RIP, TILL, TURN OVER OR OTHERWISE DE-COMPACT THE SOIL TO A DEPTH OF 12". PROTECT UTILITIES AND OTHER UNDERGROUND FEATURES.

SEE TREE PLANTING DETAILS FOR ADDITIONAL REQUIREMENTS

PLANTING LEGEND

- TREES**
- ARC CON ARCHONTOPHOENIX CUNNINGHAMIANA / King Palm
 - CIT VAR CITRUS CITRUS SEMI DWARF / Citrus as selected by owner
 - HOW FOR HOWEA FORSTERIANA / Kentia
 - MET SPR METROSIDEROS SPRINGFIRE / Dwarf NZ Christmas Tree
- SHRUBS AND PERENNIALS**
- AGA RAY AGAVE RAY OF LIGHT / Variegated Foxtail Agave
 - AGA VAR AGAPANTHUS VARIEGATUM / Variegated Lily of the Nile
 - ALC RUB ALCANTAREA RUBRA / Purple Bromeliad
 - ALO MED ALOE MEDUSA / Aloe
 - CAR TUT CARISSA TUTTLEI / Natal Plum
 - CLIMIN CLIVIA MINIATA YELLOW / Yellow Kaffir Lily
 - DIA TAS DIANELLA TASRED / Red Flax Lily
 - DIS RIV DISTICTUS RIVERSII / Purple Trumpet Vine
 - DRA MAR DRACENA MARGINATA / Dracena, stout sculptural trunk, outdoor grown
 - ECH PER ECHEVERIA PERLE VON NURNBERG
 - FIC GRE FICUS GREEN GEM / Green Gem
 - LOM PLA LOMANDRA PLATINUM BEAUTY / Variegated Lomandra
 - MIX HER MIXED HERBS BY OWNER
 - PHI XAN PHILODENDRON XANADU / Dwarf Philodendron
 - POD GRA PODOCARPUS GRACILIOR / Fern Pine
 - PHO ROE PHOENIX ROEBELLINI / Pigmy Date Palm
 - SEN MAN SENEIO MANDRALISCAE / Blue Chalk Sticks
 - SCH ARB SCHEFFLERA ARBORICOLA / Umbrella Plant
 - STR JUN STRELITZIA JUNCSEA
 - TRA JAS TRACHELOSPERMUM JASMINOIDES / Star Jasmine
 - SED NUS SEDUM NUSSBAUMERIANUM / Orange Stonecrop

Ultimate	Maint
25h X 10'w	25'
8' x 8'	8'
20' x 10'	20'
10' x 10'	10'
3' x 3'	3'
2' x 3'	2'
3' x 3'	3'
6' x 4'	6'
3' x 3'	3'
3' x 3'	3'
2' x 2'	2'
Train to fence. Vine.	
10' x 8'	10'
1' X 1'	1'
20' x 20'	12' hedge
2' x 3'	2'
2' x 2'	2'
8' x 3'	8'
20' x 20'	10' hedge
10' x 4'	10'
1' x 2'	1'
8' x 8'	8'
4' x 3'	4'
2' x 4'	2'
1' x 1'	1'

JAMES DOCKSTADER
LANDSCAPE ARCHITECT
1493 Glenneyre Street
Laguna Beach, CA 92651
949 376 9589
License 3072

Submittals / Revisions:

July 5, 2020: Footprint adjust. Preserve existing palm in front
August 10, 2020: Association comments
September 10, 2020: Association comments
October 6, 2020: Association comments

Project:

THE DAPELO RESIDENCE
429 MONARCH BAY DRIVE
DANA POINT, CA

PRELIMINARY
PLANTING PLAN

Sheet Title::

Project Number:

Scale:

1/8" = 1'-0"

Date:

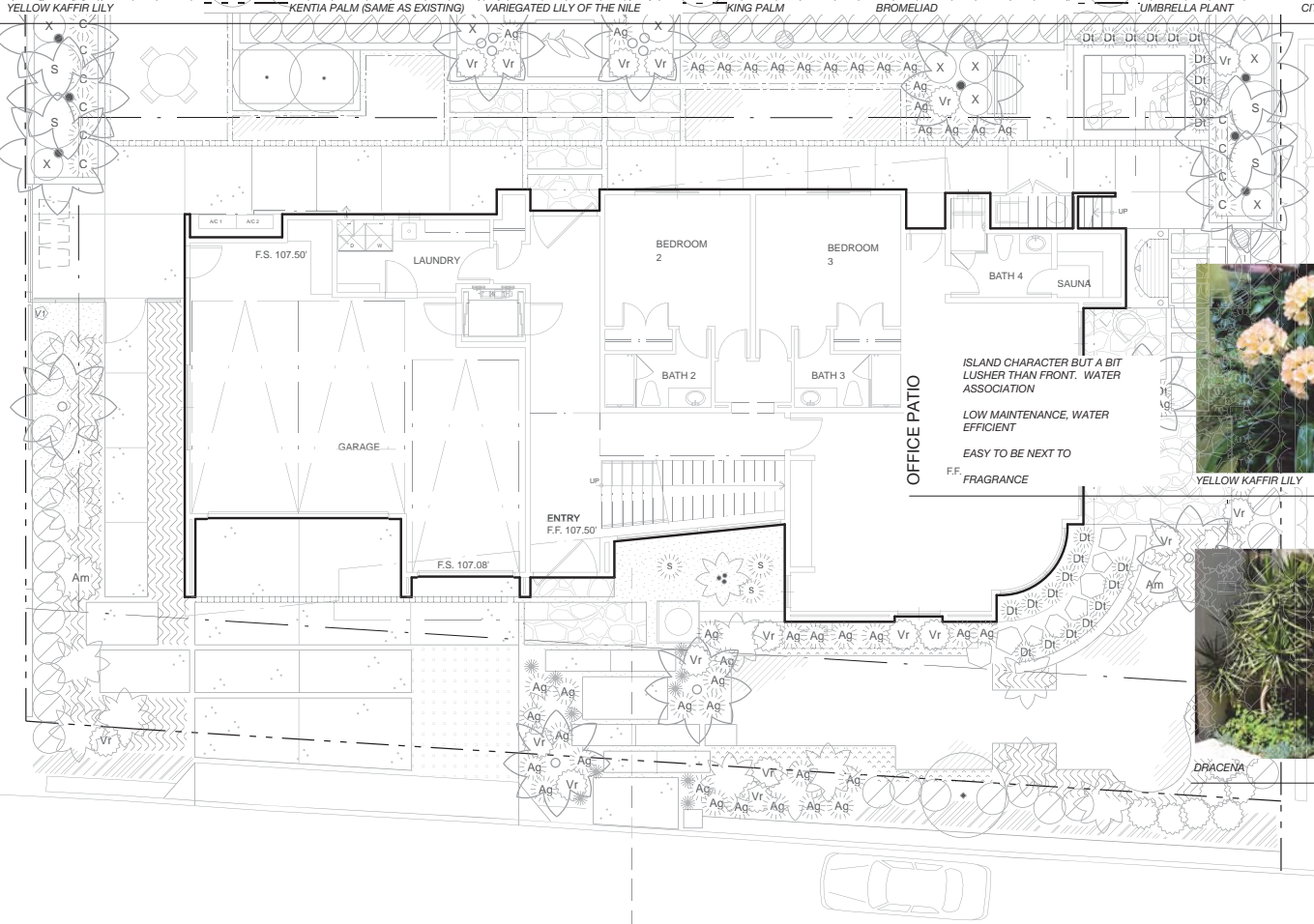
SEPTEMBER 2020

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REAR YARD

ISLAND CHARACTER SIMILAR TO FRONT ENTRY, BUT MORE LIMITED PALETTE
VARIETY OF TEXTURES, FOLIAGE COLOR. LUSH QUALITY
SIMPLE STRONG LINES
HEIGHT AGAINST WALLS



ISLAND CHARACTER BUT A BIT LUSHER THAN FRONT. WATER ASSOCIATION
LOW MAINTENANCE, WATER EFFICIENT
EASY TO BE NEXT TO F.F. FRAGRANCE



BETWEEN HOUSE AND STREET

ISLAND CHARACTER
DROUGHT TOLERANT AND LOW MAINTENANCE
VARIETY OF TEXTURES AND FOLIAGE COLOR
VIEW SENSITIVE



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Sheet Title::

PLANT IMAGES

Project Number:

Scale:

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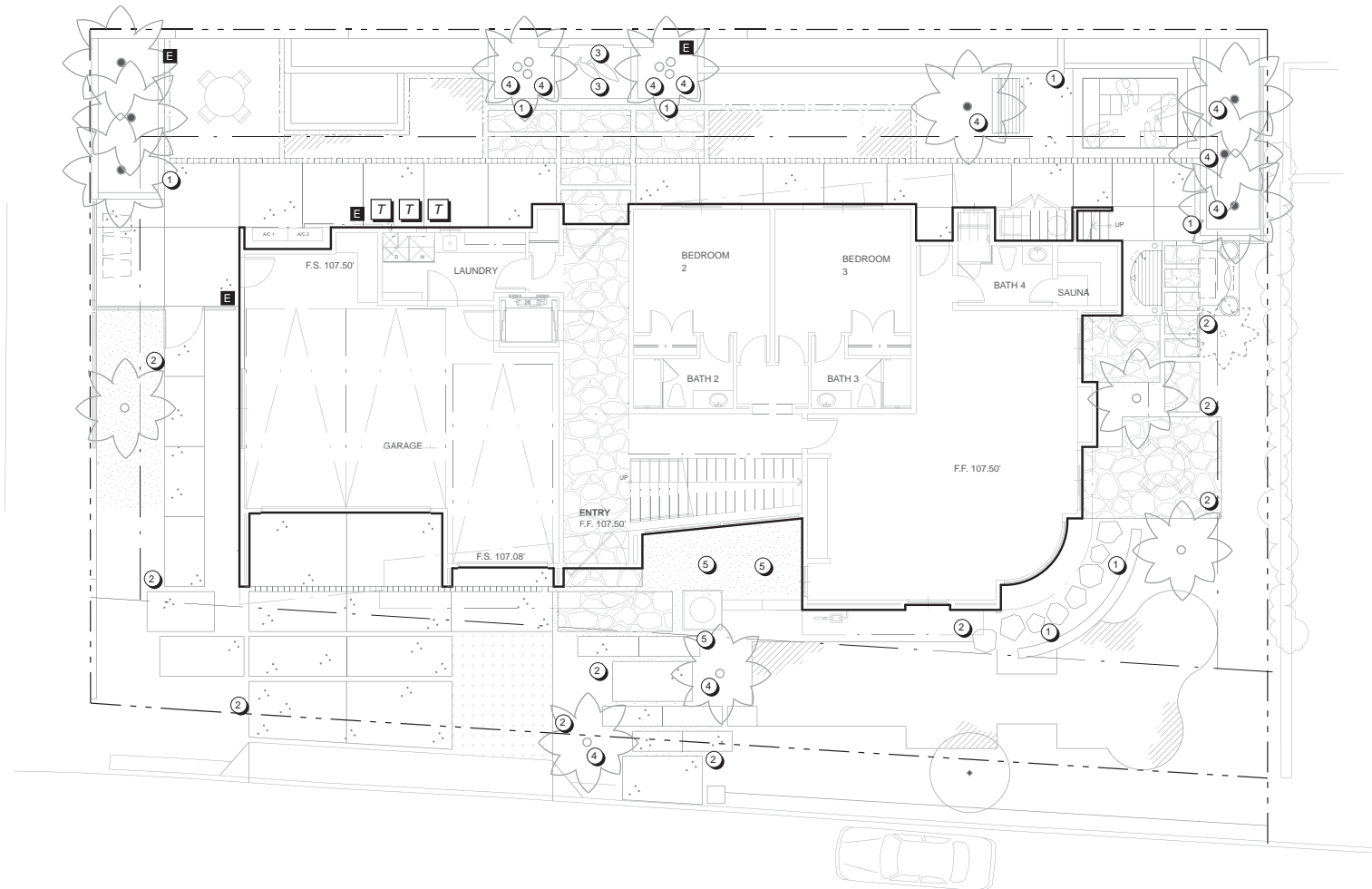
Date:

SEPTEMBER 2020

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LIGHTING NOTES

- 1 LOW VOLTAGE LED RECESSED LIGHT (AURORALIGHT VERTEX LSR5-L-BR-3.5-30D-B-BLP-XD...., louvered, brass, 3.5w, 3000K warm lamp, back box, extra dark bronze). 160 lumens each. Install in the faces of walls Quantity: 7 total
- 2 INDICATES LOW VOLTAGE LED PATHLIGHT (Auroralight LaJolla HPL4-2.5wLED-2700-ID-G/S-BLP-XD. 2.5W, warm lamp, internal diffuser, extra dark natural bronze finish, 18" stake, ground stake, 205 lumens each). Quantity: 5 total
- 3 LOW VOLTAGE LED SUBMERSIBLE LIGHT (AURORALIGHT SIRENA H2O11-60-4-M-30-H-15-CS-BLP-XD....brass, glare shield with hex baffles, 4w, 25 deg medium optic, 3000k, 15 foot cord, camloc stand, extra dark bronze) Quantity: 2 total
- 4 LOW VOLTAGE LED UPLIGHT (AURORALIGHT TAOS HSL-BR-60-NG-4W-W-30-G/S-BLP-XD.... brass, angled shroud, no grooves, 2w led, wide optics, 3000k warm, ground stake, extra dark bronze) 120 lumens each Quantity: 4 total
- 5 LOW VOLTAGE LED CYCLOPS UPLIGHT (AURORALIGHT CYCLOPS LSL6 1/2-br-60-w-27d-gs-blp-xd....brass, angled shield, wide optics, 2700K, ground stake, extra dark bronze finish) Quantity: 10 total

- T TRANSFORMER LOCATION. USE UNIQUE LIGHTING MULTI MATIC 300SS-SL, 3 TOTAL. Control by house central system. Available through Auroralight.
- E INDICATES 120V WP OUTLET WITH GFI BY OTHERS. DISCUSS AND VERIFY HOT/SWITCHED DUPLEX OPTIONS WITH OWNER

PROVIDE 1/22 OR 102 DIRECT BURIAL CABLE AS REQUIRED FOR LOW VOLTAGE APPLICATIONS.

120V OUTLETS ARE DETAILED AND CIRCUITS DESIGNED BY OTHERS

VERIFY LOCATIONS OF TRANSFORMERS AND FIXTURES WITH OWNER PRIOR TO INSTALLATION

CONTACT OWNER AND DISCUSS SWITCHING REQUIREMENTS PRIOR TO ORDERING EQUIPMENT

INSTALL CABLE ALONG HARDSCAPE ELEMENT WHEREVER FEASIBLE.

INSTALL PVC SLEEVES FOR RUNS UNDER HARDSCAPE

LEAVE 24" LOOPS AT EACH FIXTURE FOR LOCATION ADJUSTMENT OVER TIME

PROVIDE SAMPLE OF EACH FIXTURE FOR OWNER REVIEW PRIOR TO ORDERING

IT IS INTENDED THAT THE LOW VOLTAGE LANDSCAPE LIGHTING OPERATE IN CONJUNCTION WITH A FLEXIBLE HOUSE CONTROL SYSTEM, PROVIDING A VARIETY OF LIGHTING OPTIONS AND COMBINATIONS. CONFIRM THAT EACH TRANSFORMER HAS ITS OWN GFI OUTLET (INSTALLED BY OTHERS) IF IT IS TO BE INDEPENDENTLY CONTROLLED BY THE HOUSE SYSTEM.

"T" RUNS ARE GROUPS OF LIGHTS CONNECTED TOGETHER TO A DISTINCT OUTDOOR TRANSFORMER CONTROLLED BY THE HOUSE SYSTEM.

INSTALL PER MANUFACTURER'S SPECIFICATIONS

auroralight **LSR5-L VERTEX**

The LSR5-L is a low-energy recessed mount LED strip light that offers excellent low level illumination. Designed to fit any standard rectangular junction box. An optional stainless steel box is available which allows the fixture to be adjusted up to 12" out-of-plane. The included high-density EPDM rubber gasket ensures internal components are protected from moisture and prevents light leak.

Features include:

- 12.5 in. x 5.75 in.
- CREE XLAMP® XP-L LED
- 2700, 3000 or 4000K
- 12 VAC Electronic or Magnetic
- Dimmable to <10% lps
- Solid Brass or Copper Finishes

ORDERING GUIDE LSR5-L (1) (STEP LIGHT) (2) (RECTANGULAR) (3) (JUNCTION BOX)

FINISH	LED COLOR	WATTAGE	PRICE
BRASS	2700K	3.5W	\$12.50
BRASS	3000K	3.5W	\$12.50
BRASS	4000K	3.5W	\$12.50
COPPER	2700K	3.5W	\$12.50
COPPER	3000K	3.5W	\$12.50
COPPER	4000K	3.5W	\$12.50

auroralight **HPL4 LA JOLLA**

The compact size of the HPL4 allows for a low installed discreetly into planters and is ideal for illuminating pathways and entrance garden areas. The ambience is also created as light sources is desired. With a timeless design, precision manufacturing and the highest quality materials, our HPL4 luminaires are the clear choice.

Features include:

- Interchangeable LED Module in 2, 4 or 6 Watts
- 2700 or 3000K (CRI 80 typ.)
- Thermally Integrated, Field Serviceable LED Module
- TRIMAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic Source Compatible
- Solid Copper and Brass Construction
- Patent Pending

ORDERING GUIDE HPL4 (1) (UPPER) (2) (PATH LIGHT) (3) (JUNCTION BOX)

FINISH	LED COLOR	WATTAGE	PRICE
BRASS	2700K	2.5W	\$12.50
BRASS	3000K	2.5W	\$12.50
BRASS	4000K	2.5W	\$12.50
COPPER	2700K	2.5W	\$12.50
COPPER	3000K	2.5W	\$12.50
COPPER	4000K	2.5W	\$12.50

auroralight **H2O11 SIRENA**

The Auroralight Sirena H2O11 is an amphibious IP68, directional LED luminaire. At its core is a precision machined Cowl covered Thermally Integrated LED engine. An innovative CAM-LOC™ Stand allows quick and secure, tool-free adjustment from above. Adding a steel rod provides extra support of the luminaire for enhanced maneuverability. When used on dry land the Storm Drain™ System retains the low spill flow. The Field Serviceable IP67 module is offered in 2, 4 or 6 Watts for enhanced performance. See HSL11 for additional size and mounting options.

Features include:

- Interchangeable LED Module in 2, 4 or 6 Watts
- Max Lumens 120
- Interchangeable UV & Shock Resistant Silicone Optic
- CREE XLAMP® High-Intensity XP-L LED
- 2700, 3000 or 4000K (CRI 80 typ.)
- Thermally Integrated, Field Serviceable LED Module
- 12 VAC Electronic or Magnetic Source Compatible
- Solid Brass Construction

ORDERING GUIDE H2O11 (1) (SUBMERSIBLE) (2) (UPPER) (3) (JUNCTION BOX)

FINISH	LED COLOR	WATTAGE	PRICE
BRASS	2700K	2.5W	\$12.50
BRASS	3000K	2.5W	\$12.50
BRASS	4000K	2.5W	\$12.50
COPPER	2700K	2.5W	\$12.50
COPPER	3000K	2.5W	\$12.50
COPPER	4000K	2.5W	\$12.50

auroralight **HSL11 TAOS**

The new compact HSL11 is engineered around Auroralight's interchangeable LED module to deliver superior LED performance in a small package. Storm Drain™ housing prevents water from collecting on the lens surface, reducing maintenance. Our exclusive AMT™ mounting system offers an extensive choice of mounting options, making the widest variety of light ideal for illuminating residential areas or creating ambient light into low structures.

Features include:

- Interchangeable LED Module in 2, 4 or 6 Watts
- CREE XLAMP® High-Intensity XP-L LED
- Interchangeable UV & Shock Resistant Silicone Optic
- 2700, 3000 or 4000K (CRI 80 typ.)
- Thermally Integrated, Field Serviceable LED Module
- TRIMAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic Source Compatible
- Solid Brass or Solid Copper and Brass Construction

ORDERING GUIDE HSL11 (1) (UPPER) (2) (UPPER) (3) (JUNCTION BOX)

FINISH	LED COLOR	WATTAGE	PRICE
BRASS	2700K	2.5W	\$12.50
BRASS	3000K	2.5W	\$12.50
BRASS	4000K	2.5W	\$12.50
COPPER	2700K	2.5W	\$12.50
COPPER	3000K	2.5W	\$12.50
COPPER	4000K	2.5W	\$12.50

auroralight **LSL6 1/2 CYCLOPS**

Auroralight's new LSL6 is a Micro-Directional X-Platform IP67 luminaire that features a Thermally Integrated LED module. The micro-lens and sealed design incorporates a remarkably small yet capable Cowl powered light engine. The easily replaceable, self-contained unit fits snugly into a standard rectangular or hexagonal hole diameter, allowing the luminaire to operate in 3 ways. Offered in 4 unique configurations and 4 interchangeable optics, it's both inconspicuous and versatile.

Features include:

- 3 Ways and Up to 14 Lumens
- CREE XLAMP® High-Intensity XP-L LED
- 2700, 3000 or 4000K (CRI 80 typ.)
- Thermally Integrated LED Module
- TRIMAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic
- Solid Copper and Brass Construction
- Patent Pending

ORDERING GUIDE LSL6 1/2 (1) (CYCLOPS) (2) (UPPER) (3) (JUNCTION BOX)

FINISH	LED COLOR	WATTAGE	PRICE
BRASS	2700K	2.5W	\$12.50
BRASS	3000K	2.5W	\$12.50
BRASS	4000K	2.5W	\$12.50
COPPER	2700K	2.5W	\$12.50
COPPER	3000K	2.5W	\$12.50
COPPER	4000K	2.5W	\$12.50

Sheet Title:

PRELIMINARY LANDSCAPE LIGHTING PLAN

Project Number:

Scale:

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Date:

SEPTEMBER 2020

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