

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: DECEMBER 14, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
JOHN CIAMPA, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0011 TO PERMIT A REMODEL, 1,322 SQUARE FOOT ADDITION, AND MINOR SITE IMPROVEMENTS TO A SINGLE-FAMILY DWELLING ON A COASTAL BLUFF LOT AT 37 MONARCH BAY DRIVE.

RECOMMENDATION: That the Planning Commission adopt the attached Resolution approving Coastal Development Permit CDP20-0011

APPLICANT: Danahy Architects

OWNERS: Ronald and Katherine Brown

REQUEST: A request to permit a remodel, 1,322 square foot addition, and minor site improvements to an existing single-family dwelling (SFD) on a coastal bluff lot.

LOCATION: 37 Monarch Bay (APN 670-141-35)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on December 4, 2020, published within a newspaper of general circulation on December 4, 2020, and posted on December 4, 2020, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Sections 15301 of the CEQA Guidelines (Classes 1 – Existing Facilities) since the project consists of an addition and minor site improvements for an existing SFD.

ISSUES:

- Project consistency with the Dana Point General Plan, DPZC, and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for

approval of a Coastal Development Permit (CDP).

- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND:

The subject site is a 20,800 square foot coastal bluff lot located in the private community of Monarch Bay. The property is bordered by similar single-family development due east and west, across the private street to the north, and borders the Pacific Ocean to the south. The site is located within both the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission (CCC). The entire Monarch Bay community is designated as Residential Single Family 4 DU/AC (RSF 4) on the City's Zoning Map and is designated Residential 3.5 - 7 D.U./AC in the City's General Plan Land Use Element.

The site is improved with a one-story, 4,093 square foot SFD with an attached 675 square foot, three-car garage, deck, and patio cover that was constructed in 1965. In 2015, a CDP approved the demolition of the existing structure and the construction of a new house with an approved coastal bluff setback deviation from 40 feet to 28 feet due to the geotechnical stability of the site. Following the approval of the CDP, the property was sold and the entitlement expired.

DISCUSSION:

The project proposes the demolition of the existing 675 square foot garage and the construction of a 1,322 square foot addition and an attached 796 square foot three-car garage. In the location of the existing garage, 1,106 square feet of the proposed addition would create two new bedrooms with attached bathrooms, a craft room, laundry room, and a half bathroom. A 216 square foot addition is proposed to expand the kitchen, study, master bathroom, and create a pool equipment enclosure. The proposed additions would expand the house's living area to 6,080 square feet. At the front of the house, a 796 square foot addition is proposed for the attached three-car garage. The project also includes the remodel of the kitchen, pantry, and master bathroom. The façade of the house is proposed to be updated with new windows, doors, stone veneer, and smooth stucco to enhance the modern architecture with high-quality materials. Additional site improvements include low walls, hardscape, and landscaping in the front yard to improve the curb appeal of the property.

The project site is located on a coastal bluff lot and is subject to the City's Local Coastal Program. The coastal bluff edge setback is established on the City's adopted Zoning Map, which requires a 40-foot coastal bluff edge setback. A deviation from this setback is permitted with Planning Commission approval, per Section 9.27.030(c)(4) of the DPZC, subject to the review of a site-specific geotechnical report explaining the stability of the site. The geotechnical report justifies the deviation with the evaluation of the site's stability and an assessment of the estimated erosion of the bluff edge over 50 years. The City's

Engineering Geologist reviewed the applicant's geotechnical report and concurs that the recommended coastal bluff setback deviation to 28 feet is safe and consistent with the City's LCP. The existing house and proposed addition comply with the deviation recommendation with the nearest portion of the proposed addition setback 38 feet and the existing structure setback 33 feet from the coastal bluff edge.

Table 1 summarizes the project's conformance with applicable development standards of the RSF-4 zoning district.

Table 1: Compliance with RSF 4 Development Standards

Development Standard	Requirement	Proposed (P)/ Existing (E)	Compliant with Standard
Front Setback	20 feet	20 feet (P)	Yes
Side Setbacks	5 feet	5 feet(E)	Yes
Bluff Edge Setback	28 feet	33 feet (E)	Yes
Height	24 feet	13.6 feet (P)	Yes
Lot Coverage	45%	29% (P)	Yes
Landscape Coverage	25%	56% (P)	Yes
Parking Required	3 garage spaces	3 car garage (P)	Yes

A preliminary landscaping plan proposes the addition of new landscaping to complement the existing palette with California native and drought-tolerant plantings throughout the property. The landscaping in the coastal bluff setback will remain unchanged and a condition of approval is included in the draft Resolution to prohibit irrigation in the coastal bluff setback. Compliance with the preliminary landscape plan shall be enforced through the submittal of a landscape plan during the property's building permit review process and a final inspection.

COASTAL DEVELOPMENT PERMIT (CDP20-0011)

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the proposed addition, remodel, and minor site improvements to the SFD on a coastal bluff lot in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a Coastal Development Permit (CDP) for additions exceeding 10 percent of the gross floor area of the house (27 percent expansion proposed). The project complies with all of the applicable provisions of the Dana Point Zoning Code for the issuance of a Coastal Development Permit as the addition, remodel, and minor site improvements do not impact public access or Environmentally Sensitive Habitat Areas (ESHA) as the parcel is already developed and the proposed improvements are outside the required coastal bluff setback.

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit

Applications” of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and
7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting approval of the project based on the above quoted findings are detailed in the attached draft Planning Commission Resolution.

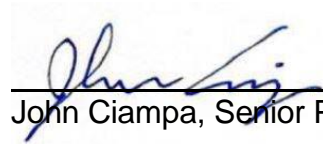
CORRESPONDENCE:

To date, correspondence has only been received from the Monarch Bay Homeowner’s Association (HOA), notifying of that entity’s approval of the project as proposed (Supporting Document 3)

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the

City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP20-0011, subject to the findings and conditions of approval contained therein.



John Ciampa, Senior Planner



Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 20-12-14-XX

Supporting Documents

2. Vicinity Map
3. HOA Approval
4. Site Photos
5. Project Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 20-12-14-XX

RESOLUTION NO. 20-12-14-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0011 TO PERMIT A REMODEL, 1,322 SQUARE FOOT ADDITION, AND MINOR SITE IMPROVEMENTS TO A SINGLE-FAMILY DWELLING ON A COASTAL BLUFF LOT AT 37 MONARCH BAY DRIVE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Ronald and Katherine Brown, (the "Owners") are the owners of real property commonly referred to as 37 Monarch Bay Drive (APN 670-141-35) (the "Property"); and

WHEREAS, the Owners authorized Dennis Danahy (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit to permit a remodel, 1,322 square foot addition, and minor site improvements to an existing single-family dwelling (SFD) on a coastal bluff lot; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1 – Existing Facilities) due to the fact that the project consists of a 1,322 square foot addition and minor site improvements for an existing SFD; and

WHEREAS, the Planning Commission did, on the 14th day of December, 2020, hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0011.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP20-0011, subject to conditions:
 - 1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning

Code in that, the site and architectural design of the project complies with all development standards of the Residential Single Family 4 (RSF 4) Zoning District and Section 9.27.030(c) (Development Adjacent to Coastal Bluffs) and furthering Conservation/Open Space Element Goal 2 Policy 2.12: *"New bluff top development shall minimize risks to life and property in geologically sensitive areas and be designed and located so as to ensure geological stability and structural integrity. Such development shall have no detrimental affect, either on-site or off-site, on erosion or geologic stability, and shall be designed so as not to require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs."*, by locating the proposed addition and minor site improvements out of the required 28 foot coastal bluff setback there is no need for protective devices or deepened foundations.

2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that, the proposed project does not alter existing public access and public recreation areas as the site is located within a private community and public access exists in the vicinity at the Salt Creek Beach.**
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 of the CEQA Guidelines (Classes 1 – Existing Facilities) due to the fact the project consists of a 1,322 square foot addition and minor site improvements for an existing SFD.**
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the site is already developed and the proposed addition and minor site improvements are not immediately adjacent to a park or recreation area containing environmentally sensitive habitat or scenic resources.**
5. That the proposed development will minimize the alterations of

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natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the City's Geotechnical Engineer confirmed that the site specific geotechnical study of the project and the coastal bluff setback deviation from 40 feet to 28 feet will not result in undue risks from geologic and erosional forces.**

6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed development is located on a developed site with no change in use, and in a fully established and developed community surrounded by similarly developed single-family residential lots. Proposed improvements will enhance the modern architecture of the house and the surrounding neighborhood.**
7. That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that, the project conforms with the City regulations regarding development of single-family dwellings adjacent to coastal bluffs, Residential Single Family 4 (RSF 4) Zoning District development standards, the Residential 3.5-7 DU/AC designation in the City's General Plan, and with applicable requirements of the Local Coastal Program.**

Conditions:

A. General:

1. Approval of this application permits a remodel, 1,322 square foot addition, and minor site improvements to an existing single-family dwelling on a coastal bluff lot at 37 Monarch Bay.
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved as a plan for the location and design of the

uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City

expenses in ensuring compliance with these conditions.

8. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
9. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
11. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
12. Prior to the commencement of any work within the community streets, the applicant shall apply and be approved for encroachment by the HOA.
13. The applicant shall limit all construction activities within the coastal bluff edge setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity. During all construction activities the approved coastal bluff edge shall be staked and delineated on-site. The approved coastal bluff edge shall remain delineated during all phases of construction activity and inspections.
14. The total bluff setback (located 28' landward of the designated bluff edge), as shown on the submitted architectural plans and sections and geotechnical reports, shall be clearly shown and labeled on all plans submitted for review and approval.
15. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the total bluff setback. Review of the submitted architectural plans indicates that any potential foundation elements associated with the proposed building addition/remodel would be located behind (landward) of the indicated total bluff setback (28' landward of the designated bluff edge) as established by the geotechnical consultant. Should the existing foundations be found not

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suitable for the proposed structure/improvements during construction, new permitted foundations would be required to be landward of the 28' bluff edge setback (total setback). All design professionals should evaluate the existing foundation system of the existing structure as it relates to the proposed work in order to verify that new foundation elements within the bluff edge setback will not be required as part of the proposed construction.

B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

16. The applicant shall submit an application for a grading permit. The grading permit application, in compliance with City standards, submitted for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
17. The applicant shall execute the City's standard deed restriction or, if prepared by the owner(s), shall be submitted for review and approval by the City Attorney. The deed restriction shall provide that; (1) the applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards; (2) the owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such hazards; and (3) the owner(s) assume all liability for damages incurred as a result of any required off-site grading. The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.
18. The applicant shall submit a geotechnical report for the proposed development in compliance with all the City of Dana Point standards for review and approval. The applicant shall also submit the geotechnical reports relative to establishing the coastal bluff edge and associated setbacks in compliance with all the City of Dana Point standards.
19. The applicant shall submit a drainage plan addressing the proposed construction in compliance with all City of Dana Point standards for review and approval. The drainage plan shall clearly show all drainage from proposed improvements being directed away from the bluff edge and to an approved outlet.
20. All plans submitted shall reflect the determined Coastal Bluff Edge and all associated setbacks, as shown and/or discussed in the "submitted

geotechnical reports for the project by NOVA.

C. Prior to Building Permit Issuance, the applicant shall meet the following conditions:

21. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
22. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
23. The applicant shall submit a rough grade certification from the Geotechnical Engineer/Engineering Geologist of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
24. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, geologic mapping, etc. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report and addenda.
25. All plans/reports submitted shall reflect the bluff edge and all associated setbacks as shown on the geotechnical reports prepared by NOVA.
26. Building(s) shall comply with the 2019 editions of the Building Code with all local amendments.
27. Within the first three (3) sheets of the building construction documents submitted for plan check the applicant shall include a verbatim copy of the City's approved Resolution and conditions of approval for the project,

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and the conditions of approval shall also be identified on the sheet index on the cover/title sheet of the plan set.

28. Building plan check submittal shall include the following construction documents:

- Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
- Energy Calculations (2 sets)
- Structural Calculations (2 sets)
- Soils/Geology Report (3 sets)
- Drainage Plan (3 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

29. Separate review, approval, and permits are required for separate structures.

30. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought-tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC. The landscape plan shall include plant species to screen the over height freestanding and retaining walls within the required front yard and approved as part of the project.

The Landscape plan shall illustrate the coastal bluff edge setback area and be in accordance with the approved grading plan and DPZC for improvements allowed within the 28-foot bluff edge setback. Any existing irrigation and any associated equipment located within the 28-foot bluff edge setback and on the bluff face shall be removed prior to final sign-off of the landscape permit.

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D. Prior to Final approval of all permits, the applicant shall meet the following conditions:

31. Public Works final inspection and approval will be required for all permits.
32. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
33. A written approval (precise grade certification) by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
34. A written approval by the Civil Engineer of Record (precise grade certification) approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
35. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
36. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
37. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030, with no new structure foundations or improvements requiring a building permit located within the total bluff setback.
38. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
39. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the bluff edge setback.
40. Prior to the commencement of framing, the applicant shall verify, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of these entitlements. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point

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Building/Safety and Planning Divisions for review and approval.

41. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP20-0011. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
42. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
43. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Planning Commission as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.
44. Verification of all conditions of approval is required by all City Departments.
45. The final condition of the coastal bluff edge setback shall be in accordance with DPZC Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the coastal bluff edge setback.
46. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to building final project sign-off.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 14th day of December 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mary Opel, Chairwoman
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map



Vicinity Map

37 Monarch Bay Dr., CDP20-0011



SUPPORTING DOCUMENT 3: HOA Approval



Monarch Bay Association

September 5, 2020

Ron and Kathy Brown
37 Monarch Bay Drive
Monarch Beach, CA 92629

via e-mail

RE: 37 MONARCH BAY DRIVE
APPROVAL OF HOME REMODEL PLAN DATED 8/20/20 BY DANAHY ARCHITECTS

Dear Mr. and Mrs. Brown,

We are pleased to advise that the Monarch Bay Association Architectural Control Committee approved your home remodel plans as submitted and discussed at their meeting on July 27th and revised by Architect Dennis Danahy on August 20th. We attaching a scanned signed approval on a reduced plan sheet as an alternative to stamping plans which is challenging due to our "work from home" requirement at this time.

Please submit the review retainer fee of \$5,000 and the construction deposit of \$10,000, both made payable to the Monarch Bay Association. We are still reviewing the landscape/hardscape plan separately, but these fees will cover both projects.

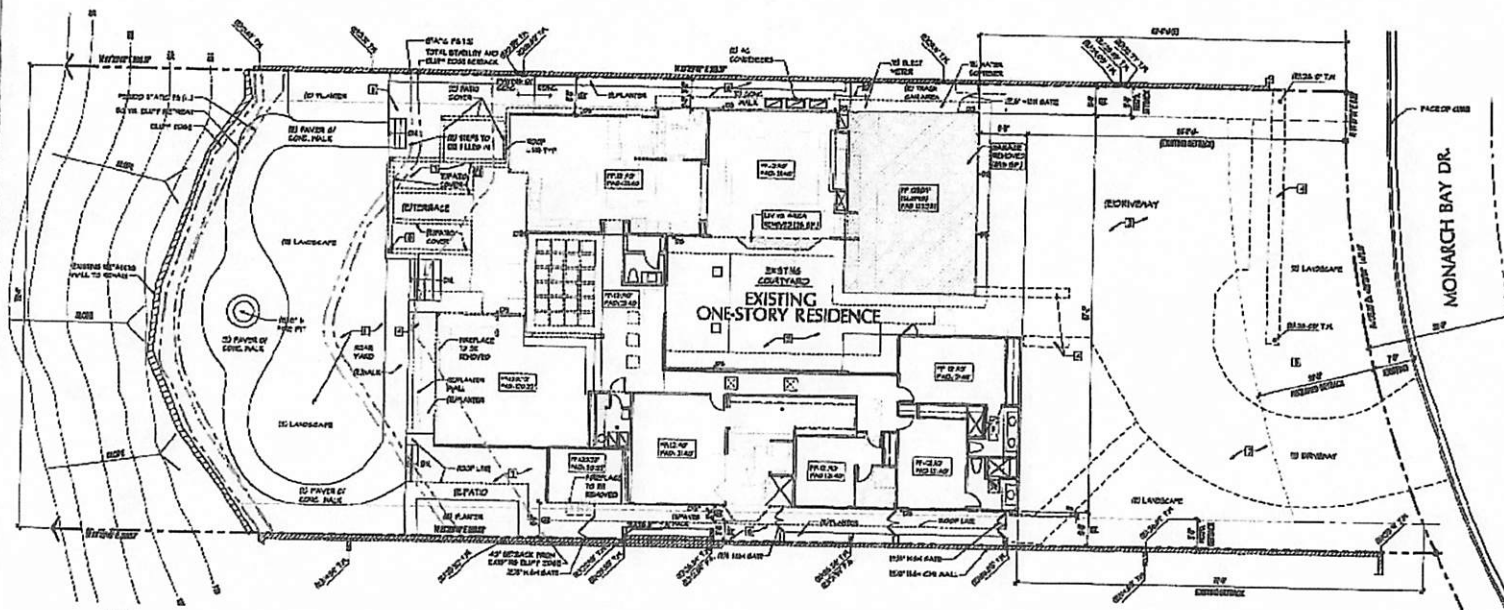
Upon the successful completion of your remodel project, the review retainer and construction deposit will be reconciled against the road use fees and the balance refunded to you. Attached are the construction rules to share with your contractor to ensure they know what is expected of them while working in the Monarch Bay community.

The Committee truly appreciates your on-going cooperation and wish you luck with your project.

Respectfully,

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

CC: Board
MB/037/arch/home remodel plan approval/09.05.20



LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- DEMOLITION AREA
- DEMOLITION

DEMOLITION SITE PLAN KEYNOTES:

1. ALL EXISTING LANDSCAPE SHALL BE DEMOLISHED
2. REMOVE EXISTING DRIVEWAY
3. REMOVE EXISTING LANDSCAPE AND DISPOSE ON PROPERTY AS DIRECTED BY OWNER
4. REMOVE EXISTING LANDSCAPE WALLS
5. REMOVE ALL EXISTING LANDSCAPE IN COURTYARD
6. ALL EXISTING CONCRETE AND PLASTER AREAS SHALL BE DEMOLISHED
7. REMOVE EXISTING PAVING STONE FOR NEW PAVING STONE
8. PROTECT EXISTING POSTS IN PLACE
9. REMOVE EXISTING LOW PLASTER WALL
10. REMOVE ALL EXISTING CONCRETE WORK TOWARD STREET FOR REDUNDANT

"NAVD83" DATUM (SEA APPROVED)

LOT	ADDRESS	MAX. HEIGHT	FAD ELEVATION
12	31	34' (10.50)	10.5'

"NAVD88" DATUM (SEA APPROVED BY ABA)

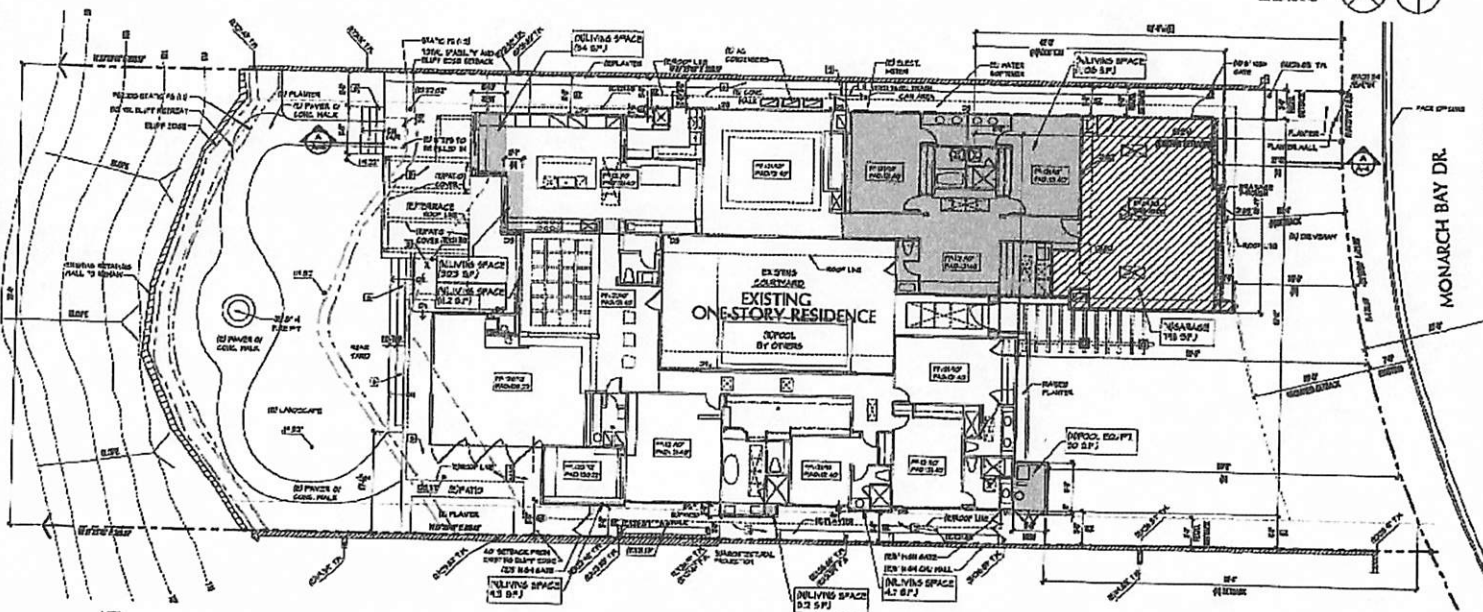
LOT	ADDRESS	MAX. HEIGHT	FAD ELEVATION
12	31	34' (10.50)	10.5'

NOTES:

- 1. ALL LANDSCAPE WORK SHALL BE FOR LANDSCAPE DRAWINGS BY OTHERS.

EXISTING & DEMO SITE PLAN

SCALE 1/4"=1'-0"



LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- DEMOLITION AREA
- DEMOLITION

NEW SITE PLAN KEYNOTES:

1. NEW CONCRETE AT EXISTING WALL LANDSCAPE
2. NEW PAVING ON EXISTING CONCRETE
3. NEW PAVING ON EXISTING CONCRETE
4. NEW PAVING CONCRETE FOR LANDSCAPE DRAWINGS BY OTHERS
5. EXISTING SPACE TO BE FILLER IN TO MATCH EXISTING GROUND
6. NEW OPEN EXISTING CONCRETE STONE TREADS ON EXISTING SPACE MAY BE ALLOWED TO SUPPORT ON SOIL IS ALLOWED NOTHING IS TO BE DEMOLISHED

NEW SITE PLAN

SCALE 1/4"=1'-0"

SITE PLANS - DEMOLITION AND NEW

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20111 1/2th Ave., Suite 100
La Jolla, CA 92037
619.455.4000
danhay.com



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Dana Point, California 92629

DATE
10.2.2020

FIGURE

DATE

10.2.2020

PROJECT NUMBER

SP-1

SUPPORTING DOCUMENT 4: Site Photos







SUPPORTING DOCUMENT 5: Project Plans

ATTACHMENT

BROWN RESIDENCE RENOVATION

37 MONARCH BAY DRIVE, DANA POINT CA



PROJECT DESCRIPTION

REMODEL AND ROOM ADDITION OF AN EXISTING SINGLE-STORY SINGLE-FAMILY RESIDENCE INCLUDING NEW POOL EQUIPMENT ENCLOSURE, TWO NEW BEDROOMS AND BATHS, NEW LAUNDRY, NEW CRAFT ROOM, NEW POWDER, EXTENDED KITCHEN, AND NEW 3-CAR GARAGE. LANDSCAPE IMPROVEMENTS INCLUDING NEW COURTYARD WITH SHALLOW POOL, NEW DRIVEWAY AND FRONT YARD LANDSCAPE.

PROJECT DATA

APN#:	610-141-35
LOT:	12
TRACT:	3884
ZONE:	RSF-4
OCCUPANCY:	R-3/U
CONSTRUCTION TYPE:	VB NON-SFRINKLERED

SQUARE FOOTAGES

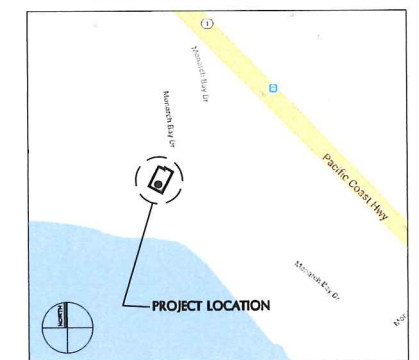
	EXISTING	PROPOSED	TOTAL
LIVING:	4,049 S.F.	-25 + 1,226	5,244 S.F.
GARAGE:	675 S.F.	-1,201 S.F.	796 S.F.
LOT AREA:		-121 S.F.	20,800 S.F.
BUILDING AREA:	4,768 S.F.	1,322 S.F.	6,090 S.F.
LOT COVERAGE:	23%	06%	24%

AREA CALCULATION	REAR YARD AND LANDSCAPING AREA CALCULATIONS
TOTAL LOT AREA: 20,800 S.F.	AREA OF APPROVED TOTAL STABILITY AND BLUFF EDGE SETBACK: 2,185 S.F. 100%
TOTAL BUILDABLE AREA: 18,642 S.F. (100%)	
- BUILDABLE AREA: 6,903 S.F. (44%)	
- LANDSCAPE AREA: 8,734 S.F. (56%)	- LANDSCAPING AREA: 1,420 S.F. (85%)
TOTAL LANDSCAPE AREA PROPOSED: (100%)	UNCHANGED EXCEPT:
FOR THE WHOLE PROPERTY: 8,734 S.F.	- REDUCED TERRACE HARDSCAPE 455 S.F. FOR ADDITION
- HARDSCAPE: 4,168 S.F. (48%)	- CONVERTED 833 S.F. LANDSCAPE AREA TO HARDSCAPE AT EXTERIOR OF LIVING ROOM
- LANDSCAPE AREA: 4,566 S.F. (52%)	

PROJECT DIRECTORY

PROPERTY OWNER: RON & KATHY BROWN 37 MONARCH BAY DRIVE DANA POINT, CA 92624 P: (480)206-4674	ARCHITECT: DANAHY Architects DENNIS DANAHY 30012 IVY GLEN DRIVE, STUDIO 145 LAGUNA NIGUEL, CA 92677 949.305.4505
STRUCTURAL ENGINEER: MOR ENGINEERS 1401 DOVE STREET, SUITE 520 NEWPORT BEACH, CA 92660 P: (949)502-5523 KYLE MORRIS	SOILS ENGINEER: NOVA SERVICES INC. 944 CALLE AMANECER, SUITE F SAN CLEMENTE, CA 92675 P: (949)559-7710 JESSE BEARFIELD
CIVIL ENGINEERING: TOTAL ENGINEERING 181 AVENIDA NAVARRO SAN CLEMENTE, CA 92612 P: (949)442-5556 CALEB RIGGS	SURVEYOR: TOTAL ENGINEERING 181 AVENIDA NAVARRO SAN CLEMENTE, CA 92612 P: (949)442-5556 VICTOR MEUM

VICINITY MAP



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TITLE SHEET & PROJECT DATA

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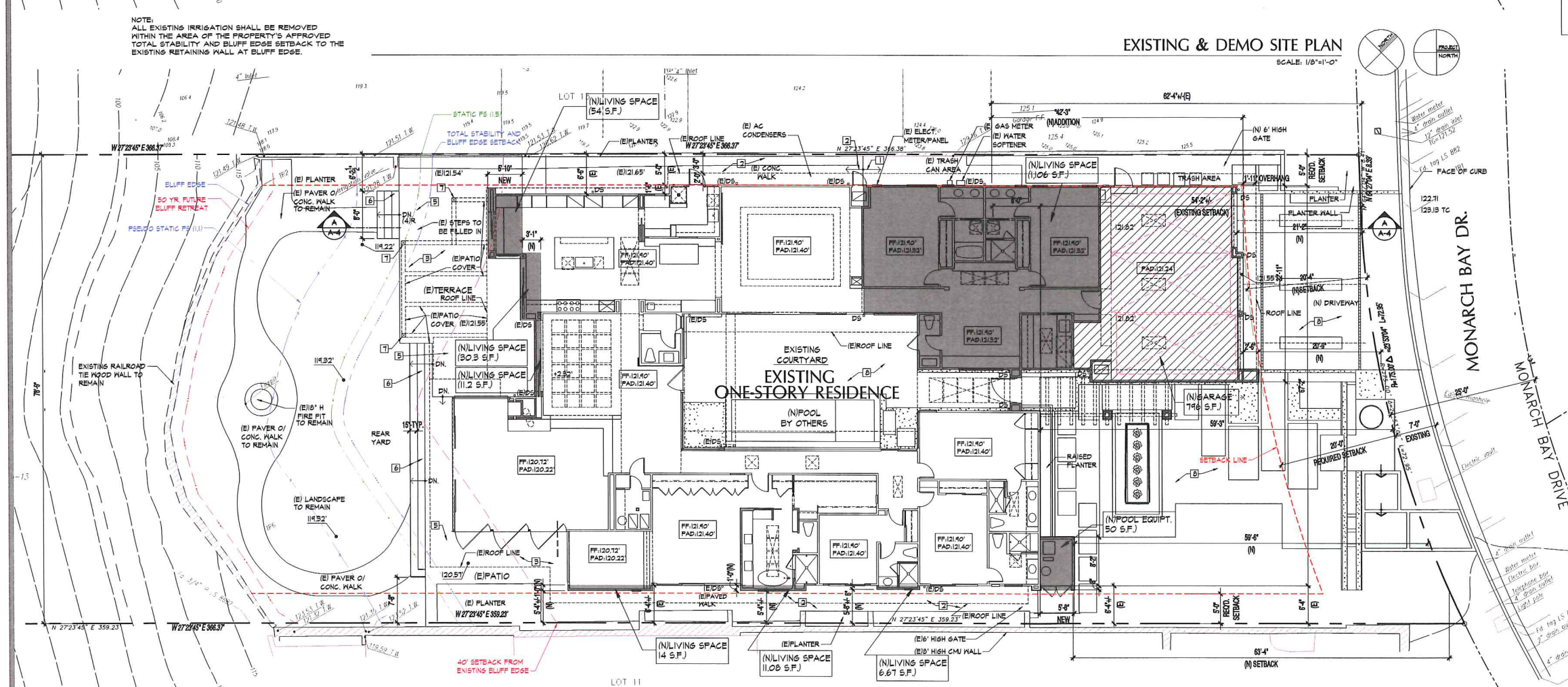
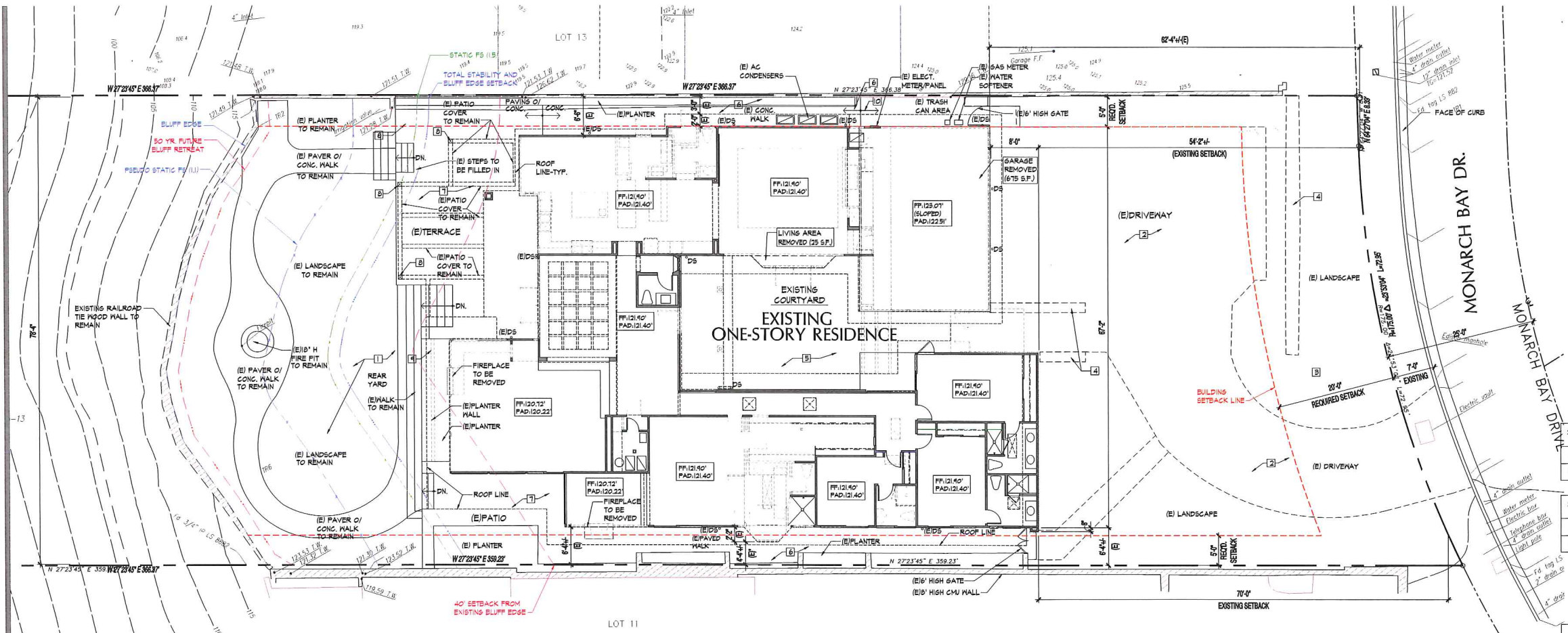
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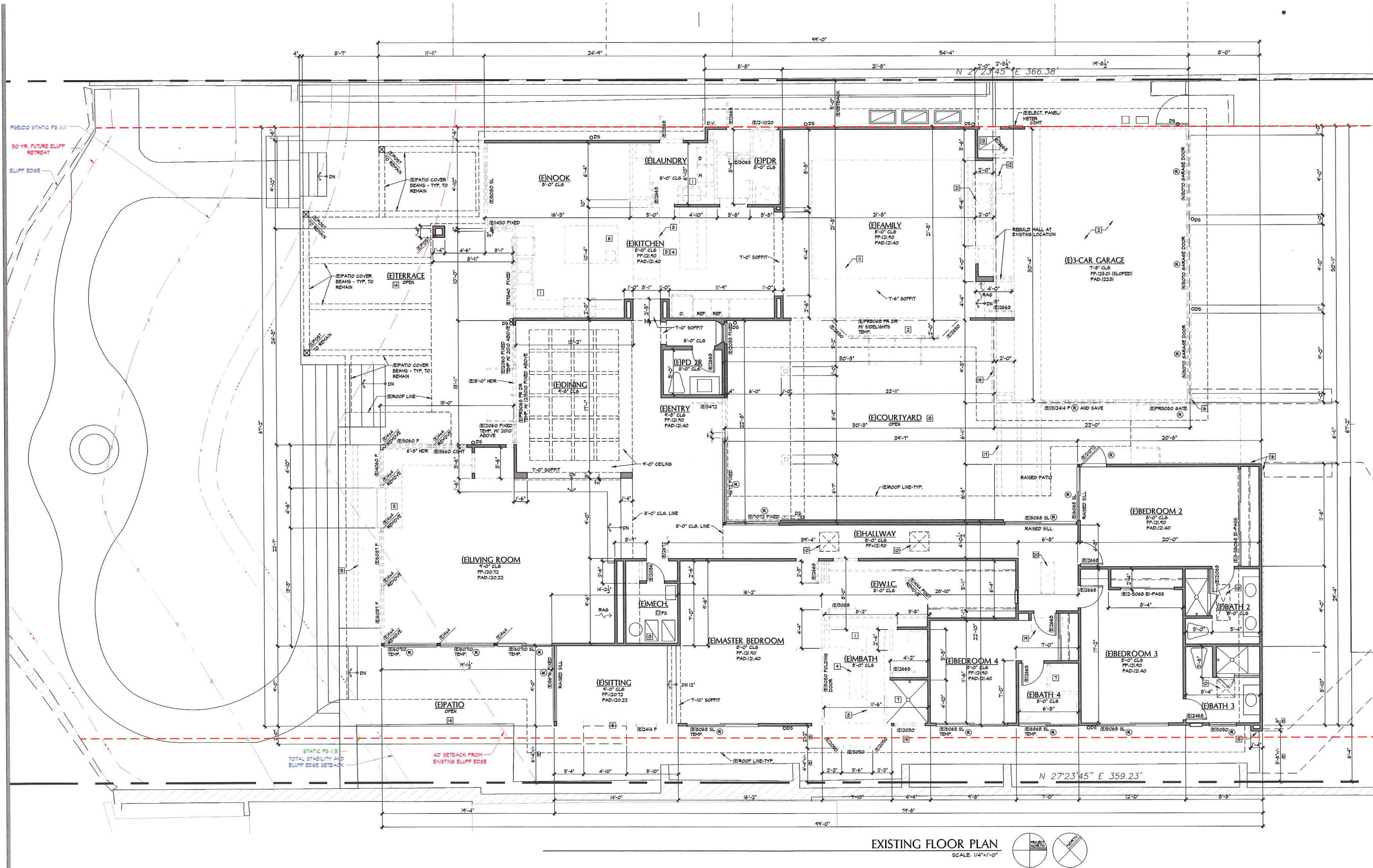
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DATE:
11.20.2020

PROJECT NUMBER:
2010

T-1





EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"

DEMOLITION FLOOR PLAN KEYNOTES

- 1 REMOVE ALL CABINETS
- 2 REMOVE CONCRETE SLAB (ENTIRELY AT GARAGE)
- 3 REMOVE FLOORING AS DIRECTED IN ENTIRE HOME
- 4 REMOVE ALL EXISTING LIGHTING AS REQUIRED FOR NEW WORK & PATCH
- 5 REMOVE HEARTH AND FIREPLACE
- 6 SAW-CUT EXISTING SLAB AS REQUIRED FOR NEW PLUMBING AND ELECTRICAL NEEDS
- 7 REMOVE EXISTING TUB AND SHOWER AND ALL TILE FOR NEW WORK
- 8 REMOVE CEILING FRAMING/FINISH AS REQUIRED FOR NEW SKYLIGHT
- 9 EXISTING SKYLIGHT TO BE REMOVED
- 10 EXISTING SKYLIGHT TO REMAIN
- 11 EXISTING SOFFIT TO REMAIN
- 12 EXISTING TANKLESS W/H TO BE RELOCATED
- 13 EXISTING PAU TO REMAIN
- 14 REMOVE ALL PAVING MATERIAL FOR NEW PAVING O/
- 15 EXISTING CONCRETE BASE
- 16 REMOVE EXISTING PLANTER WALL PER NEW WORK
- 17 REMOVE EXISTING MASONRY VENEER COMPLETELY
- 18 EXISTING WOOD TRELLIS BEAMS TO BE REMOVED
- 19 REMOVE ALL EXISTING HARDSCAPE AND LANDSCAPE IN COURTYARD. SAVE ALL PLANTING FOR FUTURE USE. AS DIRECTED
- 20 EXISTING SKYLIGHT TO BE MOVED
- 21 RELOCATED SKYLIGHT
- 22 REMOVED EXISTING FIREPLACE FOR NEW WORK

SQUARE FOOTAGES:

	EXISTING	REMOVED
LIVING:	4,043 S.F.	25 S.F.
GARAGE:	675 S.F.	675 S.F.

DEMOLITION FLOOR PLAN LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- REMOVE DOOR
- REMOVE WINDOW
- SOFFIT AT HEIGHT PER PLAN

EXISTING & DEMOLITION FLOOR PLAN

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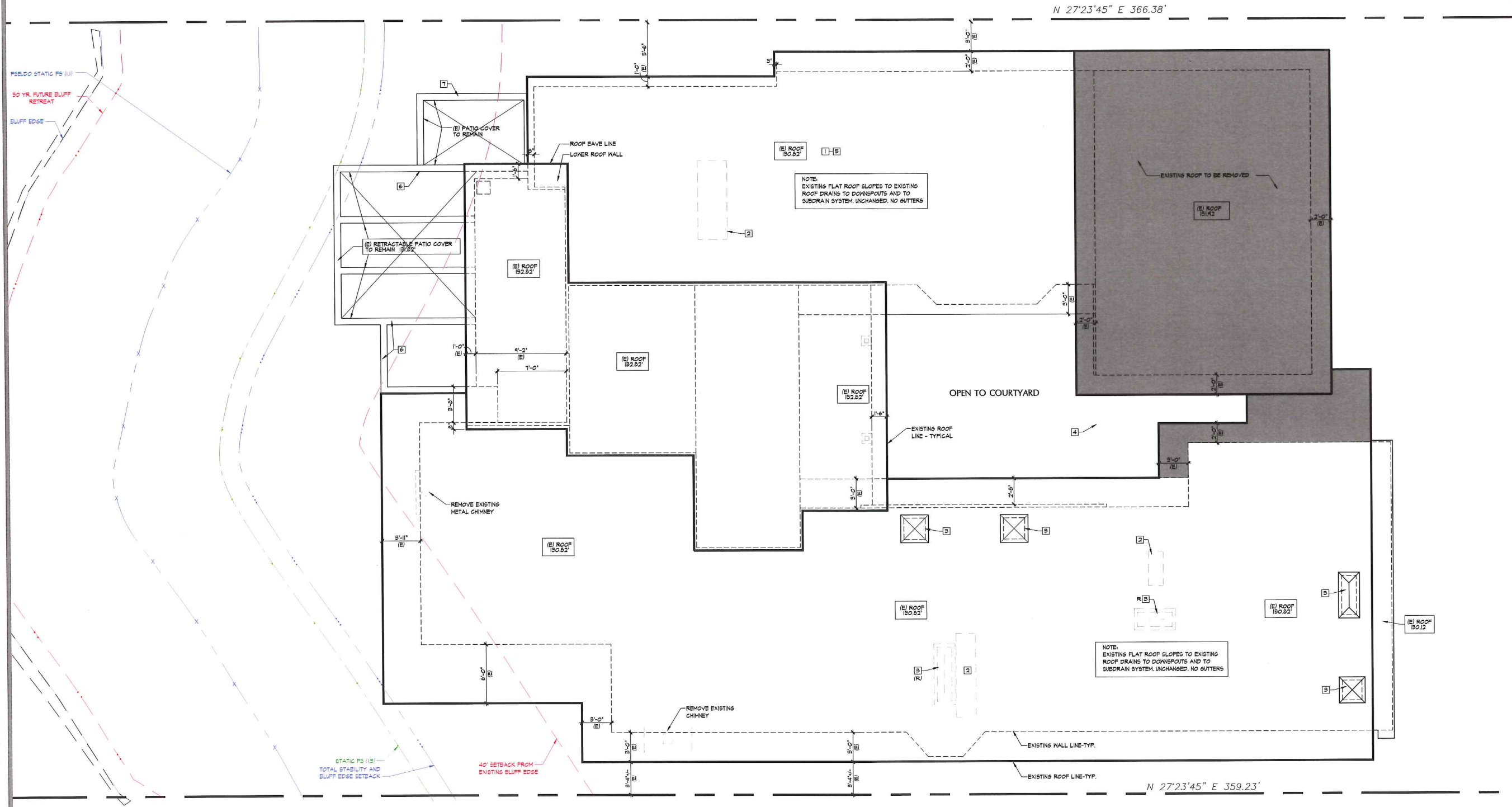
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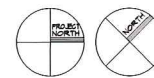
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DEMO-1

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EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"



DEMOLITION ROOF PLAN KEYNOTES:

- 1) REMOVE EXISTING ROOFING FOR NEW WORK PER DRAWINGS ONLY-UNO. BY OWNER
- 2) DEMO AS NECESSARY FOR NEW SKYLIGHT
- 3) EXISTING SKYLIGHT - REPLACE GLASS W/ FLAT GLASS PER NEW ROOF PLAN
- 4) EXISTING HOOD TRELLIS BEAMS TO BE REMOVED
- 5) REMOVE ALL PLUMBING AND MECHANICAL VENTS NO LONGER IN USE
- 6) EXISTING HOOD PATIO COVER BEAMS AND RETRACTABLE FABRIC TO REMAIN
- 7) REMOVE EXISTING WOOD BEAM FOR NEW WORK ONLY AS REQUIRED

DEMOLITION ROOF PLAN LEGEND:

- EXISTING ROOF TO BE REMOVED
- (R) REMOVE
- (E) EXISTING

DEMOLITION PLAN-ROOF

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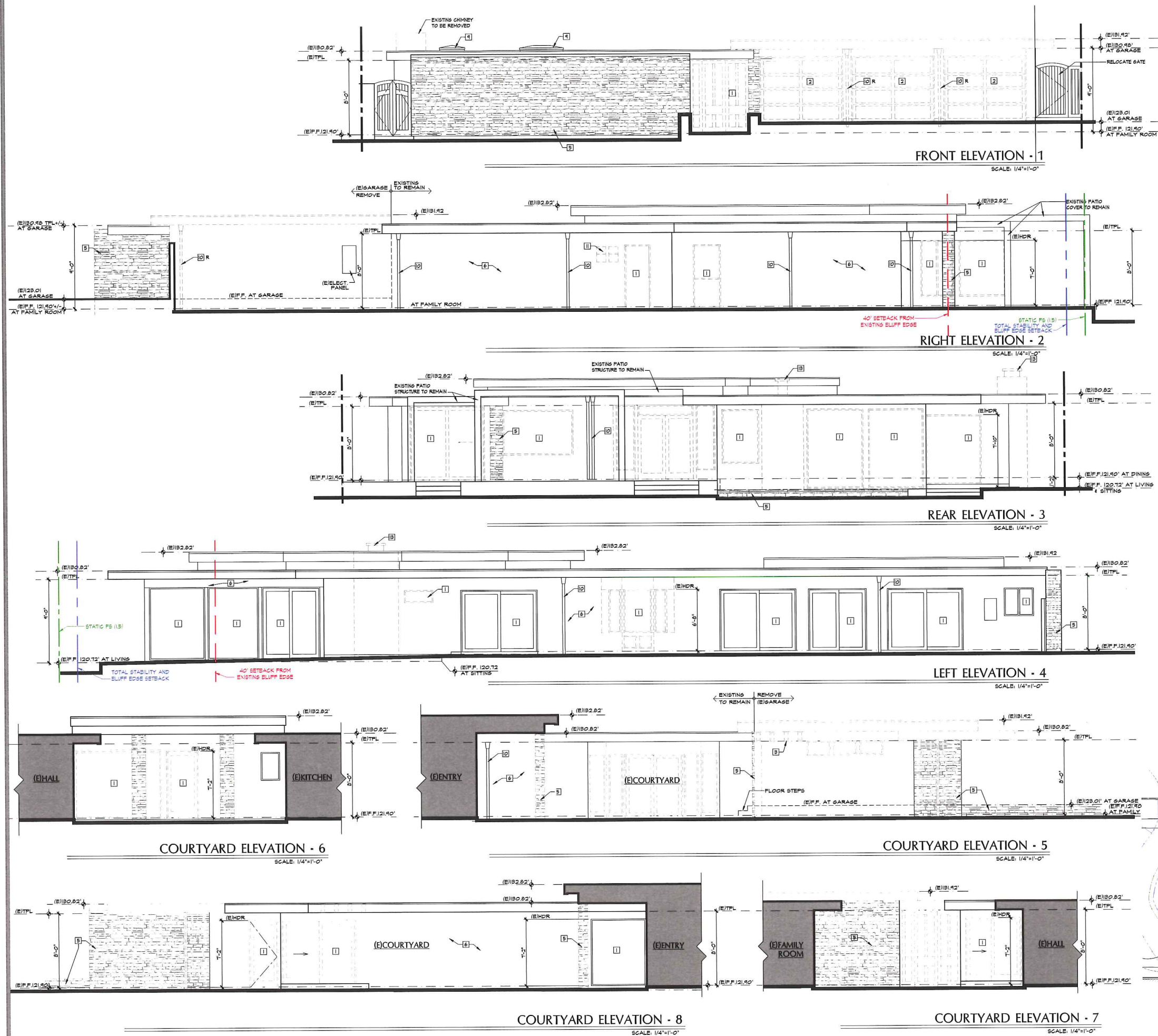
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DEMOLITION ELEVATION LEGEND:

DASHED LINE INDICATE ELEMENTS TO BE REMOVED

DEMOLITION ELEVATION KEYNOTES:

- 1 REMOVE EXISTING DOOR/WINDOW FOR NEW WORK.
- 2 REMOVE GARAGE DOOR FOR NEW WORK.
- 3 REMOVE EXISTING WOOD TRELLIS
- 4 REMOVE MALL AS NECESSARY FOR NEW WINDOW/DOOR
- 5 REMOVE ALL EXISTING STONE VENEER
- 6 EXISTING STUCCO TO REMAIN EXCEPT AS REQUIRED FOR NEW WORK
- 7 EXISTING DOWNEPOUT - TO REMAIN - UNO.
- 8 EXISTING PLASTER ROOF FASCIA SHALL REMAIN - UNO.
- 9 EXISTING SKYLIGHT
- 10 EXISTING DOWNEPOUT
- 11 EXISTING SPACED GLASS BLOCK TO BE REMOVED
- 12 EXISTING WOOD PATIO COVER BEAMS AND RETRACTABLE FABRIC TO REMAIN
- 13 EXISTING CHIMNEY TO BE REMOVED

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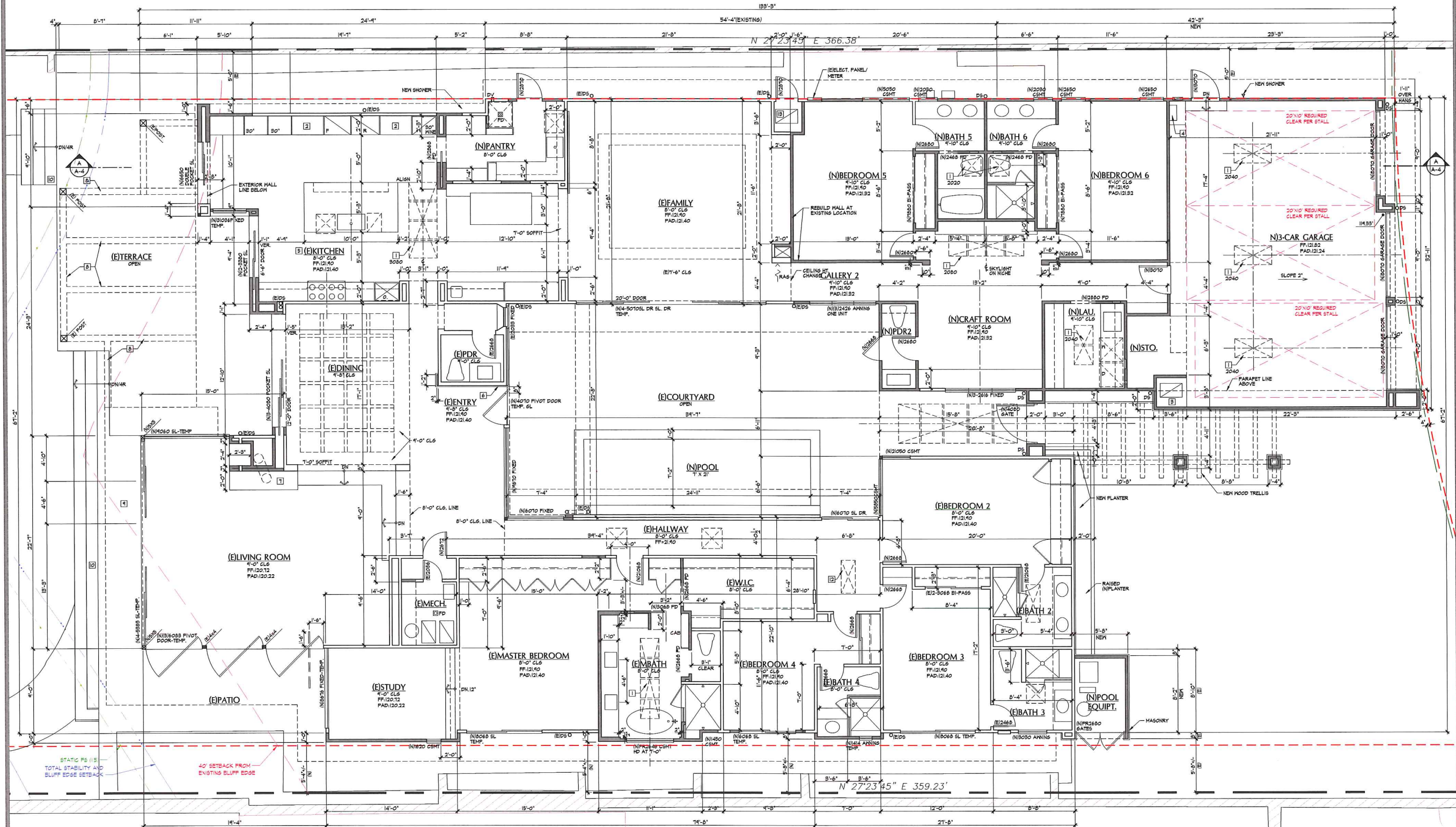
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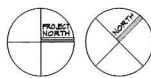
DEMO-3

DEMOLITION PLAN - EXISTING ELEVATIONS

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FLOOR PLAN
SCALE: 1/4"=1'-0"



FLOOR PLAN KEYNOTES:

- 1 NEW SKYLIGHT - NON OPERABLE
- 2 4'-0" WIDE PANTRY CABINET
- 3 NEW DOWNFLOW HVAC UNIT ON 18" HIGH PLATFORM.
- 4 NEW TANKLESS RECIRCULATING WATER HEATER
- 5 NEW CABINETS THROUGHOUT
- 6 NEW ADHERED STONE FINISH AT WALL
- 7 NEW 3 SIDED FIREPLACE
- 8 EXISTING PATIO COVER AT TERRACE
- 9 NEW LANDINGS
- 10 NEW CANTILEVERED CONCRETE TREADS. NO PORTION OF TREADS OR SUPPORT SHALL TOUCH SOIL
- 11 SKYLIGHT OPENINGS ABOVE
- 12 RELOCATED SKYLIGHT

FLOOR PLAN LEGEND:

- EXISTING STUD WALL
- NEW 2x4 STUDS AT 16" O.C. MAX UNO. ON STRUCTURAL DRAWINGS
- NEW 2x6 STUDS AT 16" O.C. MAX UNO. ON STRUCTURAL DRAWINGS
- EXISTING OR NEW SOFFIT OR DROPPED CEILING AT HEIGHT PER PLAN

ABBREVIATIONS:
(N) NEW
(E) EXISTING

SQUARE FOOTAGE

EXISTING LIVING AREA:	4,049 S.F.
NEW LIVING AREA:	1,201 S.F.
TOTAL NEW LIVING AREA:	5,244 S.F.
GARAGE AREA:	746 S.F.
SEE SHEET T-1 FOR DETAILED CALCULATIONS	

NEW FLOOR PLAN

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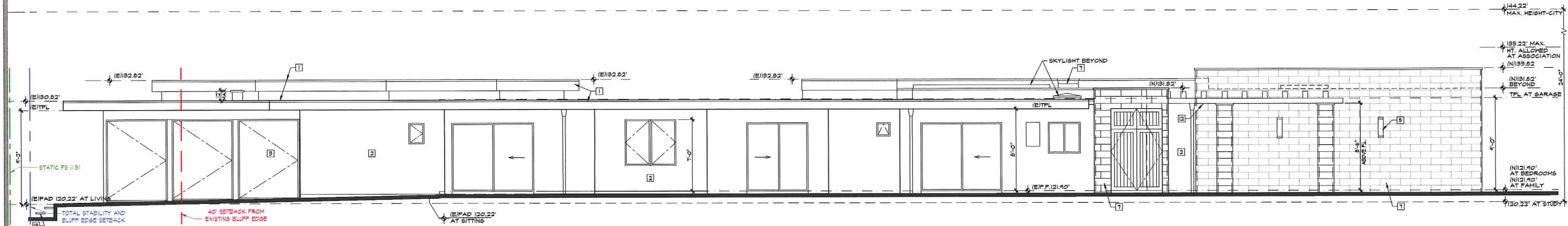
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A-1

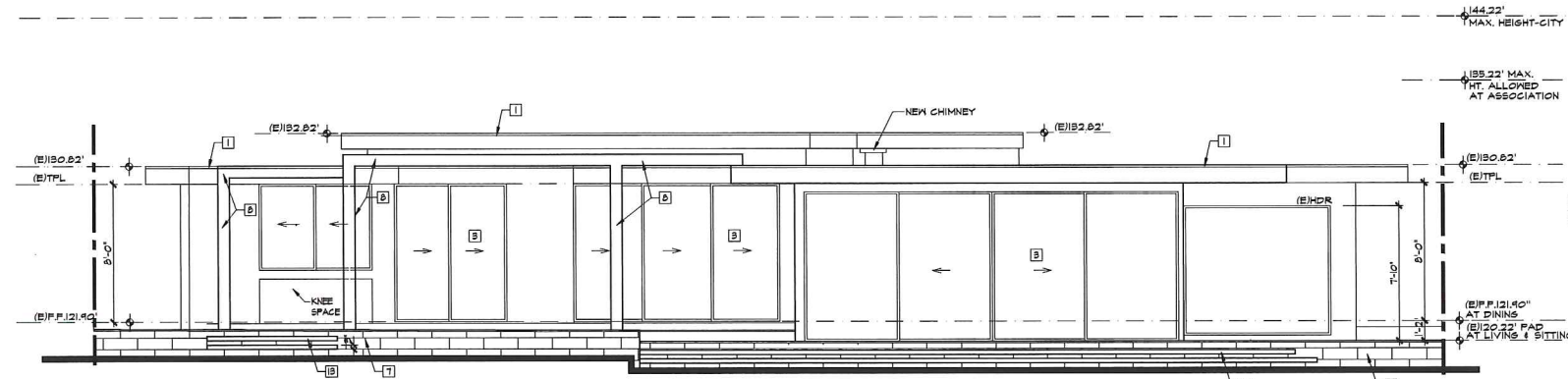
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NEW ROOF PLAN

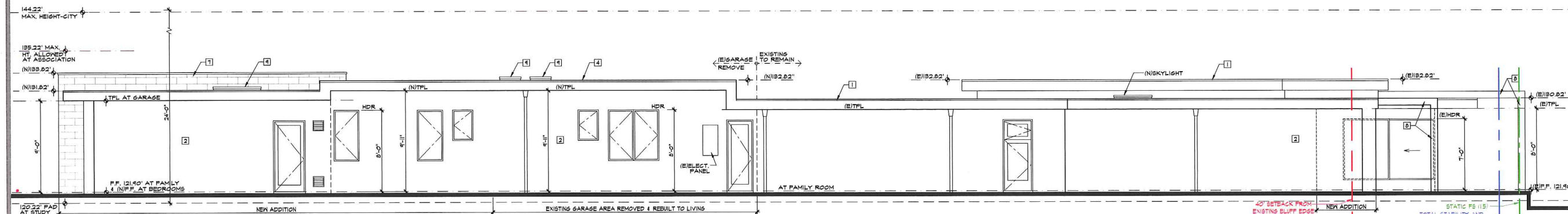
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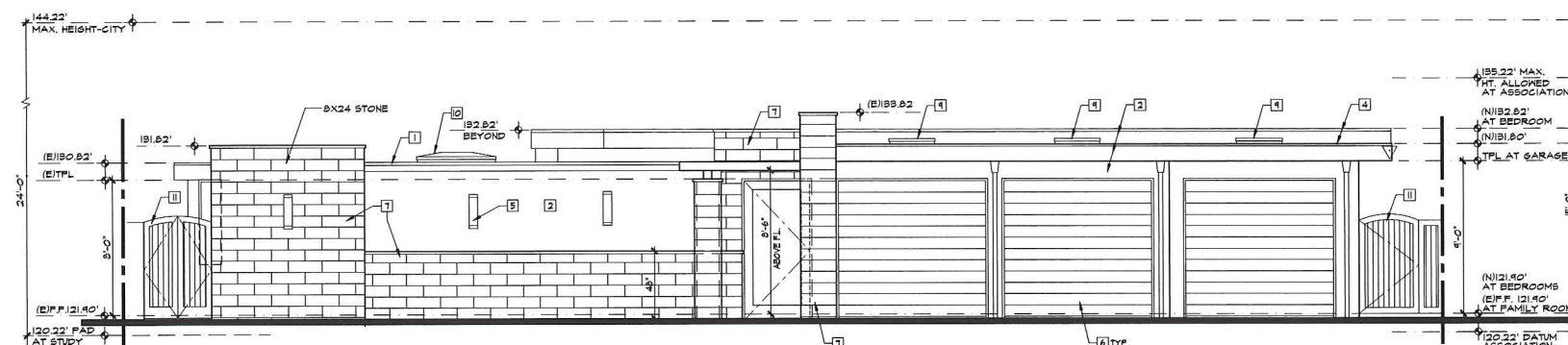
LEFT ELEVATION - 4
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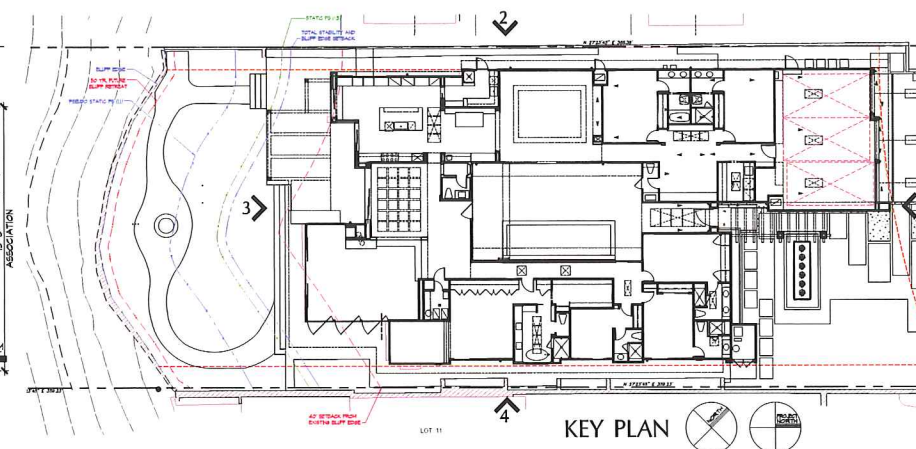
REAR ELEVATION - 3
SCALE: 1/4"=1'-0"



RIGHT ELEVATION - 2
SCALE: 1/4"=1'-0"



FRONT ELEVATION - 1
SCALE: 1/4"=1'-0"



KEY PLAN

ELEVATION KEYNOTES:

- EXISTING ROOF TO REMAIN
- NEW SMOOTH COAT FINISH PLASTER O/ EXISTING PLASTER W/ CRACK ISOLATION SYSTEM-FIBER GLASS MESH EMBEDDED IN ACRYLIC CEMENT. INTEGRAL COLOR TO BE SELECTED.
- NEW DOORS PER PLAN
- NEW ROOFING PER ROOF PLAN
- NEW EXTERIOR LIGHT - SELECTED BY OWNER
- NEW GARAGE DOORS AS SELECTED BY OWNER (INSULATED) RECOMMEND GROWN GARAGE DOORS OR NEAL GARAGE DOORS.
- NEW ADHERED STONE VENEER O/SCRATCH & BROWN COAT AS REQUIRED BY MANUFACTURER.
- EXISTING PATIO COVER
- NEW SKYLIGHT PER PLAN
- EXISTING SKYLIGHT PER PLANS
- EXISTING GATE
- NEW WOOD TRELLIS PER DRAWINGS
- NEW CANTILEVERED CONCRETE TREADS. NO PORTION OF TREADS OR SUPPORTS SHALL TOUCH SOIL

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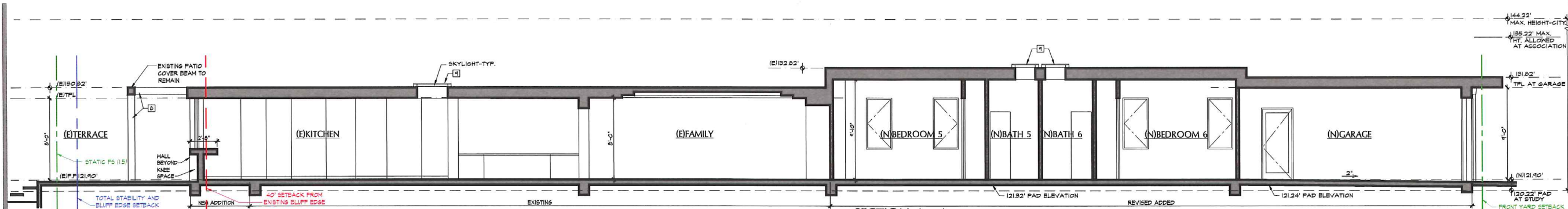
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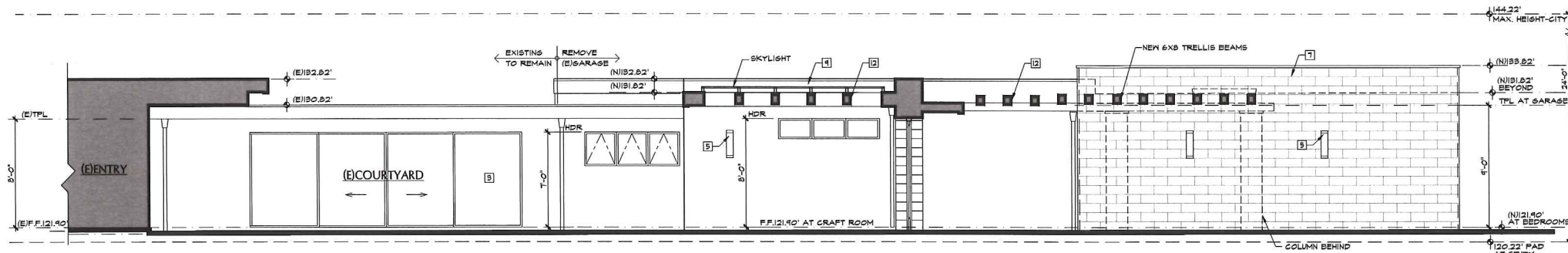
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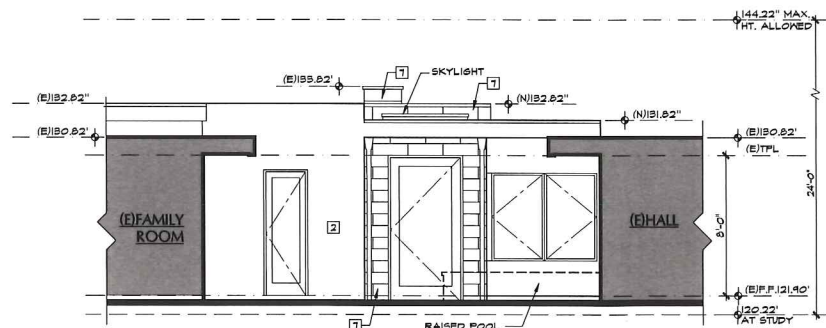
NEW EXTERIOR ELEVATIONS



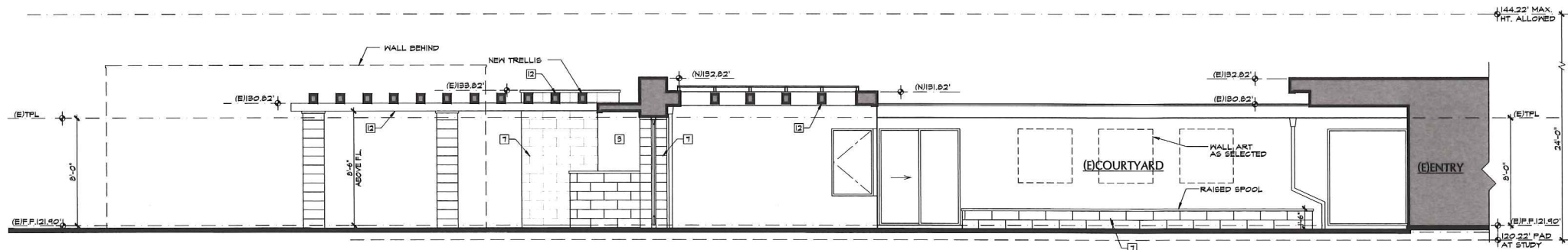
SECTION A - A
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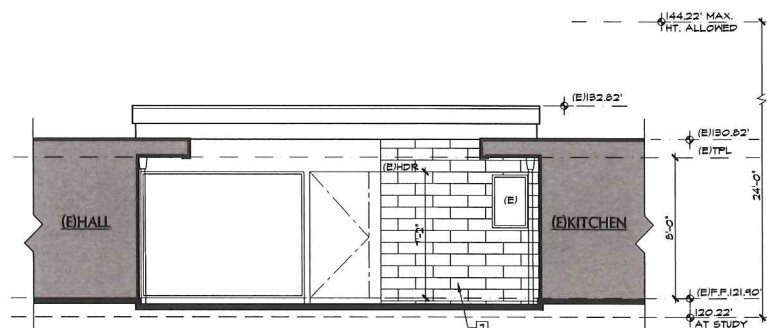
COURTYARD ELEVATION - 4
SCALE: 1/4"=1'-0"



COURTYARD ELEVATION - 3
SCALE: 1/4"=1'-0"



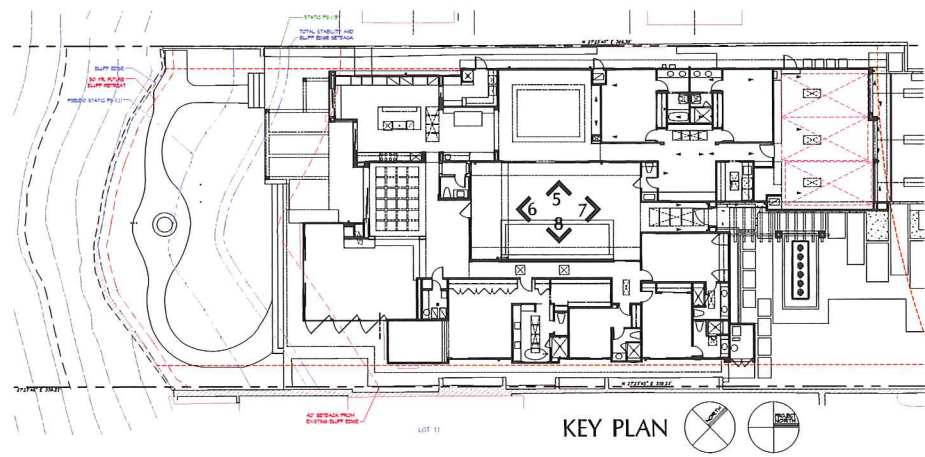
COURTYARD ELEVATION - 2
SCALE: 1/4"=1'-0"



COURTYARD ELEVATION - 1
SCALE: 1/4"=1'-0"

ELEVATION KEYNOTES:

- 1 EXISTING ROOF TO REMAIN
- 2 NEW SMOOTH COAT FINISH PLASTER O/ EXISTING PLASTER W/ CRACK ISOLATION SYSTEM-FIBER GLASS MESH EMBEDDED IN ACRYLIC CEMENT. INTEGRAL COLOR TO BE SELECTED.
- 3 NEW DOORS PER PLAN
- 4 NEW ROOFING PER ROOF PLAN
- 5 NEW EXTERIOR LIGHT - SELECTED BY OWNER
- 6 NEW GARAGE DOORS AS SELECTED BY OWNER (INSULATED) RECOMMEND CROWN GARAGE DOORS OR NEAL GARAGE DOORS.
- 7 NEW ADHERED STONE VENEER O/SCRATCH & BROWN COAT AS REQUIRED BY MANUFACTURER.
- 8 EXISTING PATIO COVER
- 9 NEW SKYLIGHT PER PLAN
- 10 EXISTING SKYLIGHT PER PLANS
- 11 EXISTING GATE
- 12 NEW WOOD TRELLIS PER DRAWINGS
- 13 NEW CANTILEVERED CONCRETE TREADS. NO PORTION OF TREADS OR SUPPORTS SHALL TOUCH SOIL.



KEY PLAN

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VIEW AT NORTHWEST



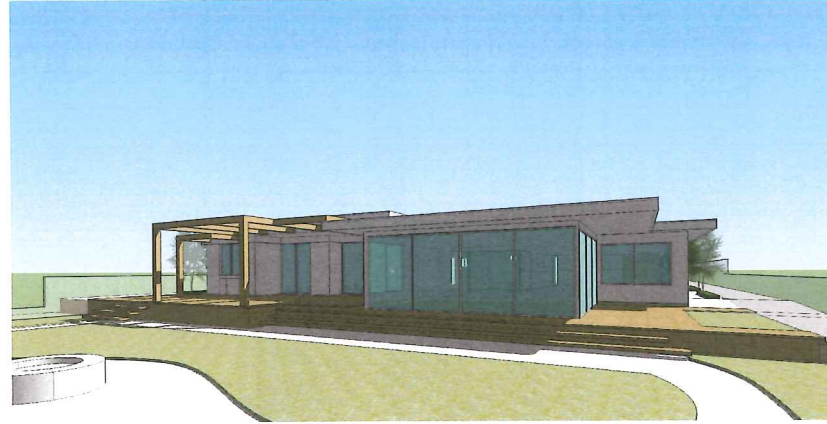
VIEW AT SOUTHWEST



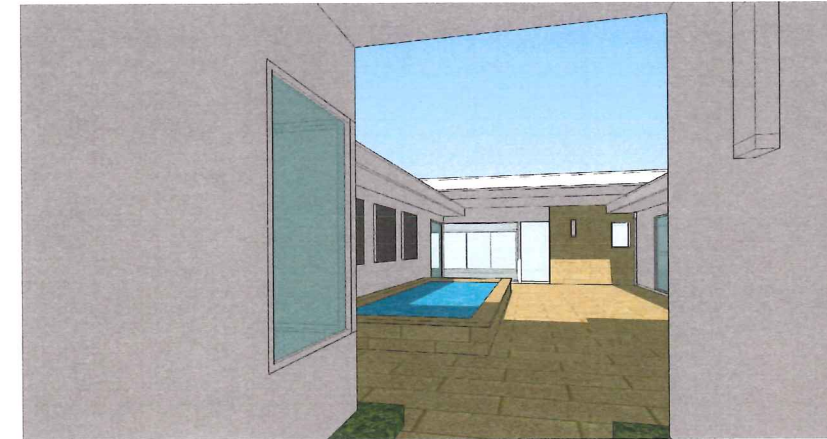
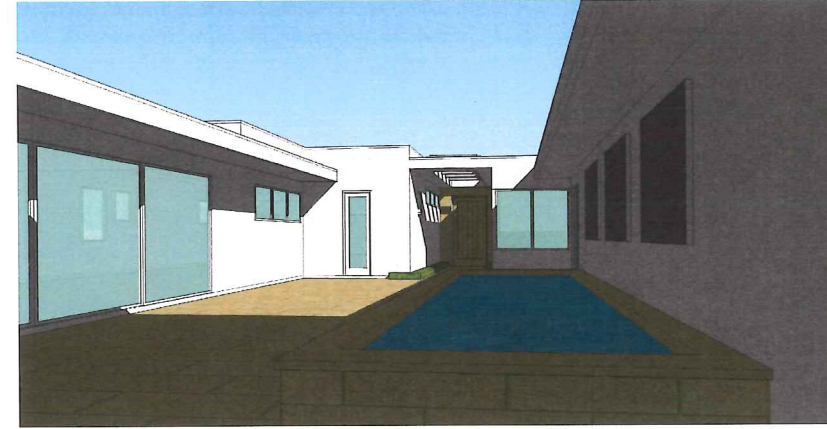
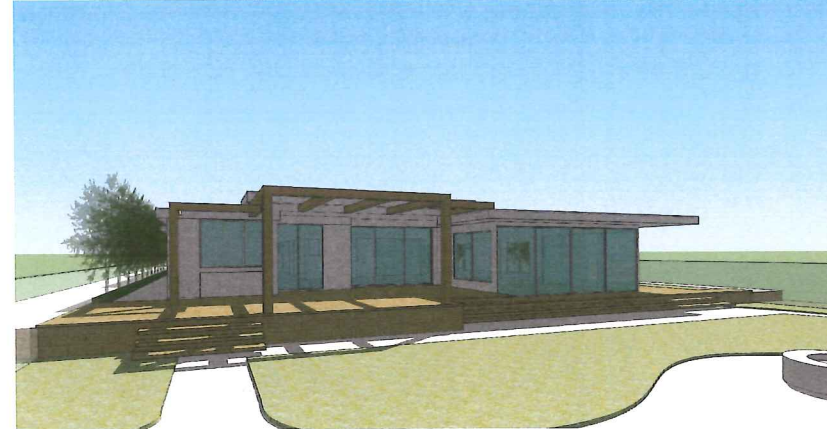
VIEW AT SOUTHEAST



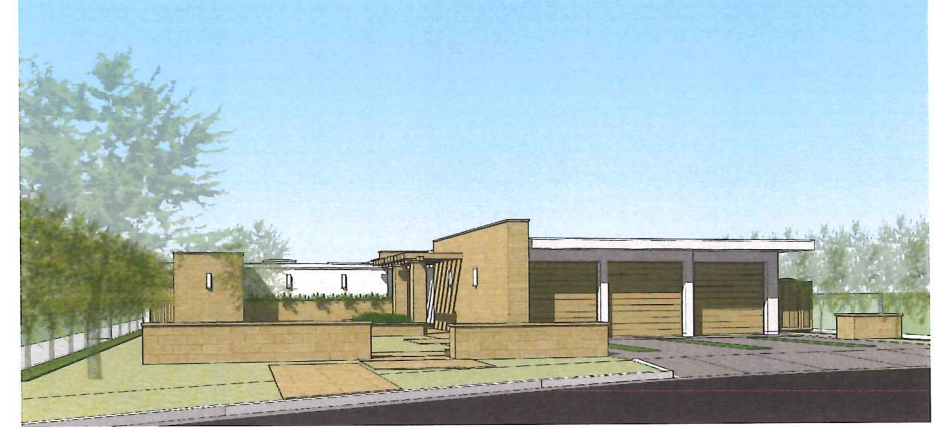
VIEW AT NORTHEAST



VIEW AT COURTYARD



VIEW FROM THE STREET



NOTICE TO CONTRACTOR

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
2. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.
3. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF O.C.P.W. STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
5. RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
6. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
7. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
10. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER ORANGE COUNTY O.C.P.W. STANDARD PLAN NO. 1322.
11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
12. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
13. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
14. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
16. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
17. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
20. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
21. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
22. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
24. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
25. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
26. EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
27. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE)
28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
29. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.

PRELIMINARY GRADING PLAN
FOR
37 MONARCH BAY DRIVE, DANA POINT, CA



SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIGALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.

SHEET INDEX

TITLE SHEET
PRECISE GRADING AND DRAINAGE PLAN
SECTIONS & DETAILS
EROSION CONTROL PLAN
TOPOGRAPHIC SURVEY - 1
TOPOGRAPHIC SURVEY - 2

C-1
C-2
C-3
C-4
C-5
C-6

CONSTRUCTION NOTES & QUANTITY ESTIMATE

EARTHWORK	CUT	FILL
EXCAVATION	120 CY	
EMBANKMENT		20 CY
OVEREXCAVATION/RECOMPACTION	313 CY	313 CY
EXPORT		100 CY
TOTAL	433 CY	433 CY

- ①—CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3. 1,400 S.F.
- ②—CONSTRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3. 700 S.F.
- ③—CONSTRUCT DRIVE APPROACH PER O.C.P.W. STD. PLAN 1209. 270 S.F.
- ④—CONSTRUCT CURB & GUTTER PER O.C.P.W. STD. PLAN 120-2, CASE A2-6. 20 L.F.
- ⑤—INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM. 250 L.F.
- ⑥—INSTALL 6" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL SHEET C-3. 10 EA.
- ⑦—INSTALL 2" CHANNEL DRAIN NDS TYPE 9209 W/ PEDESTRIAN GRATE OR EQUAL W/ 4" OUTLETS AT 8' MAXIMUM SPACING. 25 L.F.
- ⑧—INSTALL 8" CHANNEL DRAIN NDS TYPE 820 W/ TRAFFIC GRATE NDS 888 OR EQUAL W/ 4" OUTLETS AT 8' MAXIMUM SPACING. 30 L.F.
- ⑨—LOCATION OF DOWNSPOUT TO BE CONNECTED TO STORM DRAIN SYSTEM PER DETAIL ON SHEET C-3. 7 EA.

NOTE: QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMIT PURPOSES ONLY. CONTRACTOR SHALL PERFORM OWN QUANTITY TAKEOFF FOR BIDDING AND OTHER PURPOSES.

SOILS AND GEOLOGIST'S CERTIFICATION

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERING REPORT ENTITLED: "PROPOSED REMODEL & ADDITIONS, AND SWIMMING POOL, 37 MONARCH BAY DRIVE, DANA POINT, CALIFORNIA 92629"

I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS, AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

BY: PROJECT ENGINEER R.C.E. 84335
JESSE D. BEARFIELD

BY: ENGINEERING GEOLOGIST C.E.G. 900
CARL D. SCHRENK

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

TOAL ENGINEERING, INC.
139 AVENIDA NAVARRO
SAN CLEMENTE, CALIFORNIA 92672
(949) 492-8586



BY: CALEB RIOS R.C.E. 57587 DATE 11-23-20

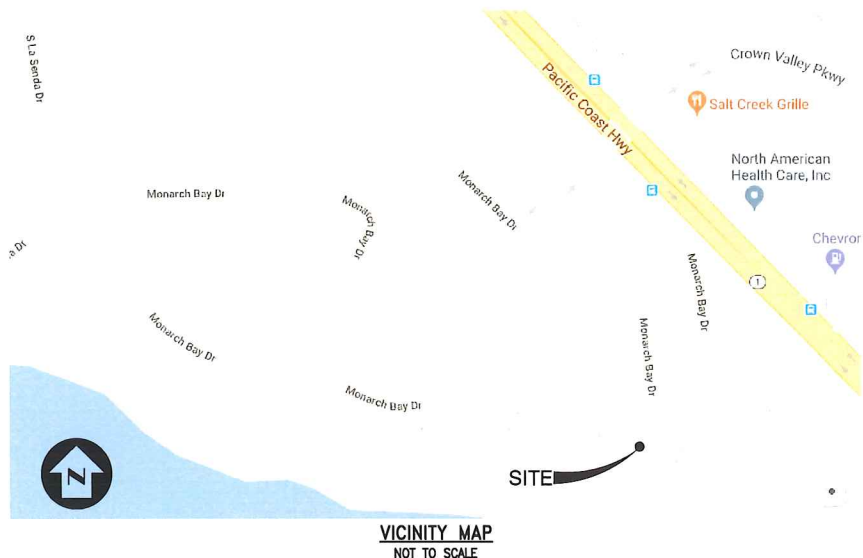
EROSION CONTROL NOTES

INCLUDED ON THESE SHEETS FOR EROSION CONTROL ARE GENERAL NOTES, STANDARDS AND GUIDELINES FOR THE IMPLEMENTATION OF EROSION, SILTATION AND SEDIMENT CONTROL AND OTHER BEST MANAGEMENT PRACTICES (BMPs) PROPOSED FOR THIS PROJECT. HOWEVER, THE OVERALL GOAL IS THAT ANY WATER THAT LEAVES THE SITE BE FREE AND CLEAR OF POLLUTANTS AT A RATE THAT DOESN'T CAUSE DOWNSTREAM EROSION. THE CITY MAY REQUIRE ADDITIONAL BMPs AT ANY TIME TO ACHIEVE THAT GOAL.

1. IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT: RON BROWN AT: (480) 206-9874
2. ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
3. TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
4. MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY
5. AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
6. CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
7. SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
8. THE DEVELOPER SHALL MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND THE DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
9. BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 3/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
12. SHOULD GERMINATION OF HYDROSEEDDED SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
13. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

GRADING NOTES (cont.)

30. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
31. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
32. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
33. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
34. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
36. GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. DAILY, NOR ON SATURDAYS, SUNDAYS, AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.
- a. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- b. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
- c. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
- GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
37. ASPHALT SECTIONS MUST BE PER CODE: PARKING LOTS = 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON "R" VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
38. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY PUBLIC WORKS STANDARD PLAN NO. 1805.
39. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY PUBLIC WORKS STANDARD NO. 1804.
40. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.
41. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
42. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
43. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
44. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
45. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
46. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
47. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
48. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.
49. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8871 OF THE BUSINESS AND PROFESSIONAL CODE.



REVISION	DESCRIPTION	APPROVED	DATE

SCALE: N/A	DESIGNED: A.M.S.	DRAWN: A.M.S.	CHECKED: C.R.
DATE: 11/20/20			
PROJECT NO.: 20157			DATE 57587 R.C.E. NO.

PLANS PREPARED BY: TOAL ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
(949) 492-8586
www.toalengineering.com

BENCHMARK
O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.947 FT. ADJUSTED: 2004

APPROVED BY THE CITY OF DANA POINT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:

CITY PLANNING DEPARTMENT DATE

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

PLANNING DEPARTMENT

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/21

DATE

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT

TITLE SHEET

37 MONARCH BAY DRIVE
LOT 12, TRACT 3839
A.P.N.: 670-141-35

C-1

PLAN CHECK NO.
ENG20-XXXX

1 OF 6 SHEETS

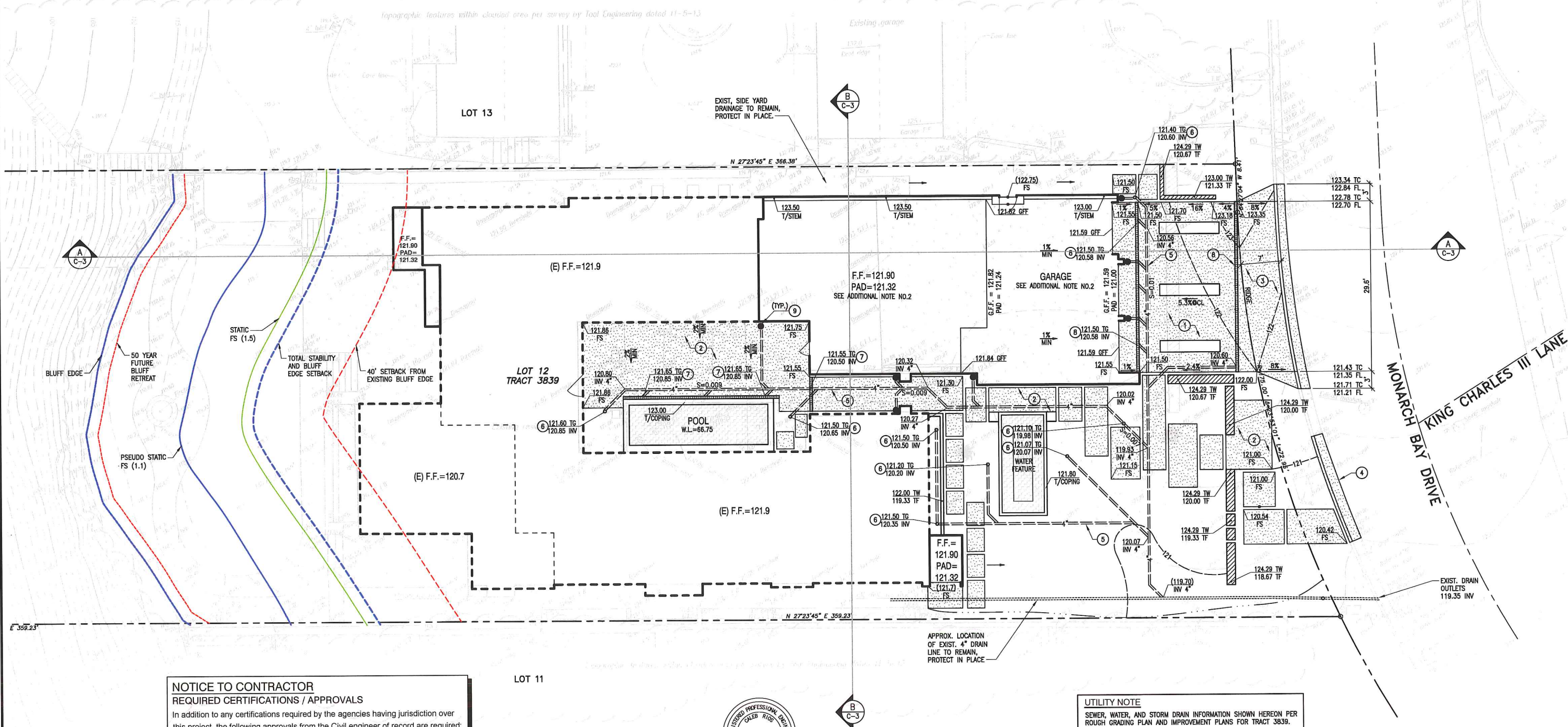
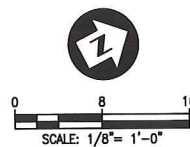
1. ALL ROOFS SHALL BE GUTTERED & DOWNSPOUTS CONNECTED TO STORM DRAIN SYSTEM.
2. PAD ELEVATIONS ARE BASED ON 5" CONC. SLAB OVER 15-MIL (MIN.) VAPOR RETARDER OVER 2" OF SAND PER SOILS REPORT PREPARED BY NOVA INC. CONTRACTOR SHALL VERIFY W/ CURRENT SOILS REPORT AND STRUCTURAL DRAWINGS.
3. SEE SOIL REPORT FOR ALL OVEREXCAVATION REQUIREMENTS.
4. FOR FOOTING AND FOUNDATION DESIGN, SEE STRUCTURAL PLANS.
5. ALL RECOMMENDATIONS CONTAINED IN THE SOILS REPORT BY NOVA INC., PROJECT NO. 3020022 DATED MAY 20, 2020 AND ALL ADDENDA, ARE CONSIDERED PART OF THIS PLAN.

9 A NON-EXCLUSIVE EASEMENTS OVER THE COMMON AREA. THE EASEMENTS DO NOT AFFECT THE SUBJECT PARCEL AND IS NOT PLOTTED HEREON.

16 A NON-EXCLUSIVE EASEMENTS OVER THE COMMON AREA. THE EASEMENTS DO NOT AFFECT THE SUBJECT PARCEL AND IS NOT PLOTTED HEREON.

	EXISTING CONTOUR	F.F.	PROPOSED FINISHED FLOOR
	PROPOSED CONTOUR	G.F.F.	PROPOSED GARAGE FINISHED FLOOR
		T/SLAB	PROPOSED TOP OF SLAB
	SPOT ELEVATION	PAD	PROPOSED PAD ELEVATION
	EXIST. ELEVATION	FS	PROPOSED FINISHED SURFACE
	PROPOSED CONCRETE PAVING	FG	PROPOSED FINISHED GRAOUND
	PROPOSED STORM DRAIN	TC	TOP OF GRATE
	EXISTING SCREEN WALL	INV	INVERT OF PIPE
	PROPOSED SCREEN WALL	HP	HIGH POINT
	PROPOSED STEM WALL AROUND GARAGE	MIN.	MINIMUM
	PROPOSED RETAINING WALL	MAX.	MAXIMUM
	GRADING LIMITS	TC	TOP OF CURB
	DOWNSPOUT	R.O.W.	RIGHT-OF-WAY
	DEEPEINED CONCRETE EDGE	P.L.	PROPERTY LINE
		PA	PLANTER AREA
		TW	TOP OF WALL
		F.Y.S.B.	FRONT YARD SETBACK
		R.Y.S.B.	REAR YARD SETBACK
		S.Y.S.B.	SIDE YARD SETBACK
		SUB	SUBDRAIN
		TP	TYPICAL
		T/BERM	TOP OF BERM
		TF	TOP OF FOOTING
		A/C	AIR CONDITIONING UNIT


- ①—CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3.
- ②—CONSTRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3.
- ③—CONSTRUCT DRIVE APPROACH PER O.C.P.W. STD. PLAN 1209.
- ④—CONSTRUCT CURB & GUTTER PER O.C.P.W. STD. PLAN 120-2, CASE A2-6.
- ⑤—INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM. (ASTM D1785)
- ⑥—INSTALL 6" ATRIUM DRAIN NDS 90 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL SHEET C-3.
- ⑦—INSTALL 2" CHANNEL DRAIN NDS TYPE 9209 W/ PEDESTRIAN GRATE OR EQUAL w/ 4" OUTLETS AT 8' MAXIMUM SPACING.
- ⑧—INSTALL 8" CHANNEL DRAIN NDS TYPE 820 W/ TRAFFIC GRATE NDS 888 OR EQUAL w/ 4" OUTLETS AT 8' MAXIMUM SPACING.
- ⑨—LOCATION OF DOWNSPOUT TO BE CONNECTED TO STORM DRAIN SYSTEM PER DETAIL ON SHEET C-3.



In addition to any certifications required by the agencies having jurisdiction over this project, the following approvals from the Civil engineer of record are required:

1. Foundation forms for improvements on or abutting property lines is required prior to concrete pour.
2. Location, size, and depth of all drain lines prior to backfill.

UTILITY NOTE
SEWER, WATER, AND STORM DRAIN INFORMATION SHOWN HEREON PER
ROUGH GRADING PLAN AND IMPROVEMENT PLANS FOR TRACT 3839.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1"=8'	DESIGNED: A.M.S.	DRAWN: A.M.S.	CHECKED: C.R.
				DATE: 11/20/20			11-23-20
				PROJECT NO.: 20157			DATE 5/587
							R.C.E. NO.

PLANS PREPARED BY:

TOAL
ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

134 Avenida Navajo
San Clemente, CA 92672
949 442 2500
www.toalengineering.com

BENCHMARK

O.C.S.B.M.: 3P-31-86
DATUM: NAVD 88
ELEVATION: 193.947 FT.
ADJUSTED: 2004

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS
THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:

CITY PLANNING DEPARTMENT _____ DATE _____

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/21

DATE

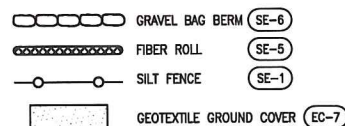
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT
PRELIMINARY GRADING & DRAINAGE PLAN
37 MONARCH BAY DRIVE
LOT 12, TRACT 3839
A.P.N.: 670-141-35

C-2
PLAN CHECK NO. ENG20-XXXX
2 OF 6 SHEETS

LEGEND

XX-X BMP DESIGNATION IN CALIFORNIA STORMWATER BMP HANDBOOK CONSTRUCTION, LATEST EDITION, BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.



NOTE

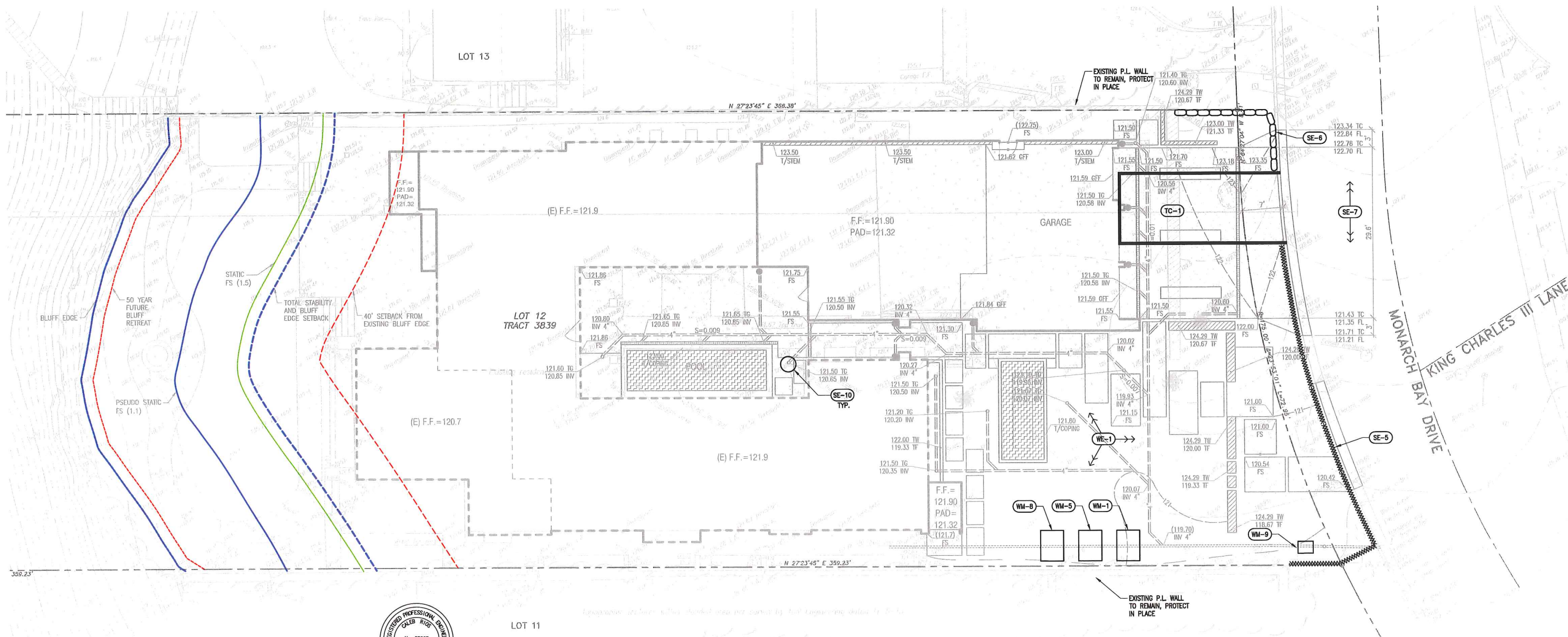
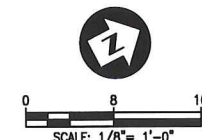
THE LOCATION AND TYPE OF EROSION AND SEDIMENT CONTROL MEASURES TO BE USED WILL CHANGE DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE CONTROLS NECESSARY TO PREVENT NON-STORMWATER, SEDIMENT, AND CONTAMINATED RUNOFF DISCHARGES FROM THE SITE AT ALL TIMES.

EROSION CONTROL BMPs		
EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL		
SE-1	SILT FENCE	INSTALL WHERE SHOWN ON PLAN.
SE-5	FIBER ROLL	INSTALL WHERE SHOWN ON PLAN.
SE-6	GRAVEL BAG BERM	PLACE AS SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED AND SEDIMENT COLLECTED AND PROPERLY DISPOSED OF, ON OR OFF-SITE, ON A DAILY BASIS.
SE-10	STORM DRAIN INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, EXTEND THE RISER PIPE 6" ABOVE GROUND SURFACE AND CAP, OR SURROUND RISERS WITH GRAVEL BAGS FOR DRAINAGE SYSTEM SEDIMENT CONTROL.
WIND EROSION CONTROL		
WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE FROM ANY DISTURBED AREAS DURING CONSTRUCTION.
TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION EXIT	CONSTRUCT WHERE SHOWN ON PLAN.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-1	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTIONS.

WM-2	MATERIAL DELIVERY AND STORAGE	IF MATERIALS ARE STORED ON SITE, THEY SHALL BE STORED IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND.
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEES SHALL BE EDUCATED ON THE CLASSIFICATIONS OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENTS OF THE CITY.
WM-9	SANITARY/SEPTIC WASTE MANAGEMENT	ON-SITE FACILITIES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
NON-STORMWATER MANAGEMENT		
NS-1	WATER CONSERVATION PRACTICES	MAINTAIN EQUIPMENT TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRINDING OPERATIONS	APPLY PERIMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGES.
NS-7	POTABLE WATER / IRRIGATION	EXERCISE CARE DURING CONSTRUCTION TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

YEAR-ROUND BMP REQUIREMENTS

- WHERE APPROPRIATE, SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AT THE SITE PERIMETER, AT ALL OPERATIONAL STORM DRAIN INLETS, AND AT ALL NON-ACTIVE SLOPES, TO PROVIDE SUFFICIENT PROTECTION FROM STORMS.
- WIND EROSION BMPs (DUST CONTROL) SHALL BE IMPLEMENTED AND MAINTAINED.
- BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING SHALL BE IMPLEMENTED AND MAINTAINED.
- APPROPRIATE WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER BY WASTES AND CONSTRUCTION MATERIALS.
- APPROPRIATE NON-STORM WATER BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER FROM CONSTRUCTION ACTIVITIES.
- ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs (TEMPORARY OR PERMANENT) SHALL BE INSTALLED AND ESTABLISHED AS SOON AS PRACTICAL FOR ALL COMPLETED SLOPES OR SLOPES IN NON-ACTIVE AREAS. THESE BMPs MUST BE MAINTAINED THROUGHOUT THE YEAR. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP MAY INDICATE THAT THE BMP, AS INSTALLED, WAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENTS MUST RESULT IN A MORE ROBUST BMP, OR ADDITIONAL BMPs SHOULD BE INSTALLED TO PROVIDE ADEQUATE PROTECTION.
- A DISTURBED AREA THAT IS NOT COMPLETED, BY THAT IS NOT BEING ACTIVELY GRADED (NON-ACTIVE AREA), SHALL BE FULLY PROTECTED FROM EROSION WITH TEMPORARY OR PERMANENT BMPs (EROSION AND SEDIMENT CONTROL). THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. EROSION AND SEDIMENT CONTROL BMPs MUST ACTUALLY BE DEPLOYED. THIS INCLUDES ALL BUILDING PADS, UNFINISHED ROADS, AND SLOPES.
- SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY EROSION AND SEDIMENT CONTROL BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PERMANENT PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
- THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN).
- THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED RAINSTORM.



REVISION	DESCRIPTION	APPROVED	DATE

SCALE:	DESIGNED:	DRAWN:	CHECKED:
1"=8'	A.M.S.	A.M.S.	C.R.
DATE:	DATE:	DATE:	DATE:
11/20/20	11-23-20	57587	57587
PROJECT NO.:	ENGINEER OF WORK	R.C.E. NO.	
20157			

PLANS PREPARED BY:

TOAL
ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

112 Avenida Naranja
San Clemente, CA 92673
949.481.1111
www.toalengineering.com

BENCHMARK

O.C.S.B.M.: 3P-31-86
DATUM: NAVD 88
ELEVATION: 193.947 FT.
ADJUSTED: 2004

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THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE.

CITY PLANNING DEPARTMENT

PLANS REVIEWED BY:

CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES

33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/21

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CITY OF DANA POINT

EROSION CONTROL PLAN

37 MONARCH BAY DRIVE

LOT 12, TRACT 3839

A.P.N.: 670-141-35

C-4

PLAN CHECK NO.
ENG20-XXXX

4 OF 6 SHEETS



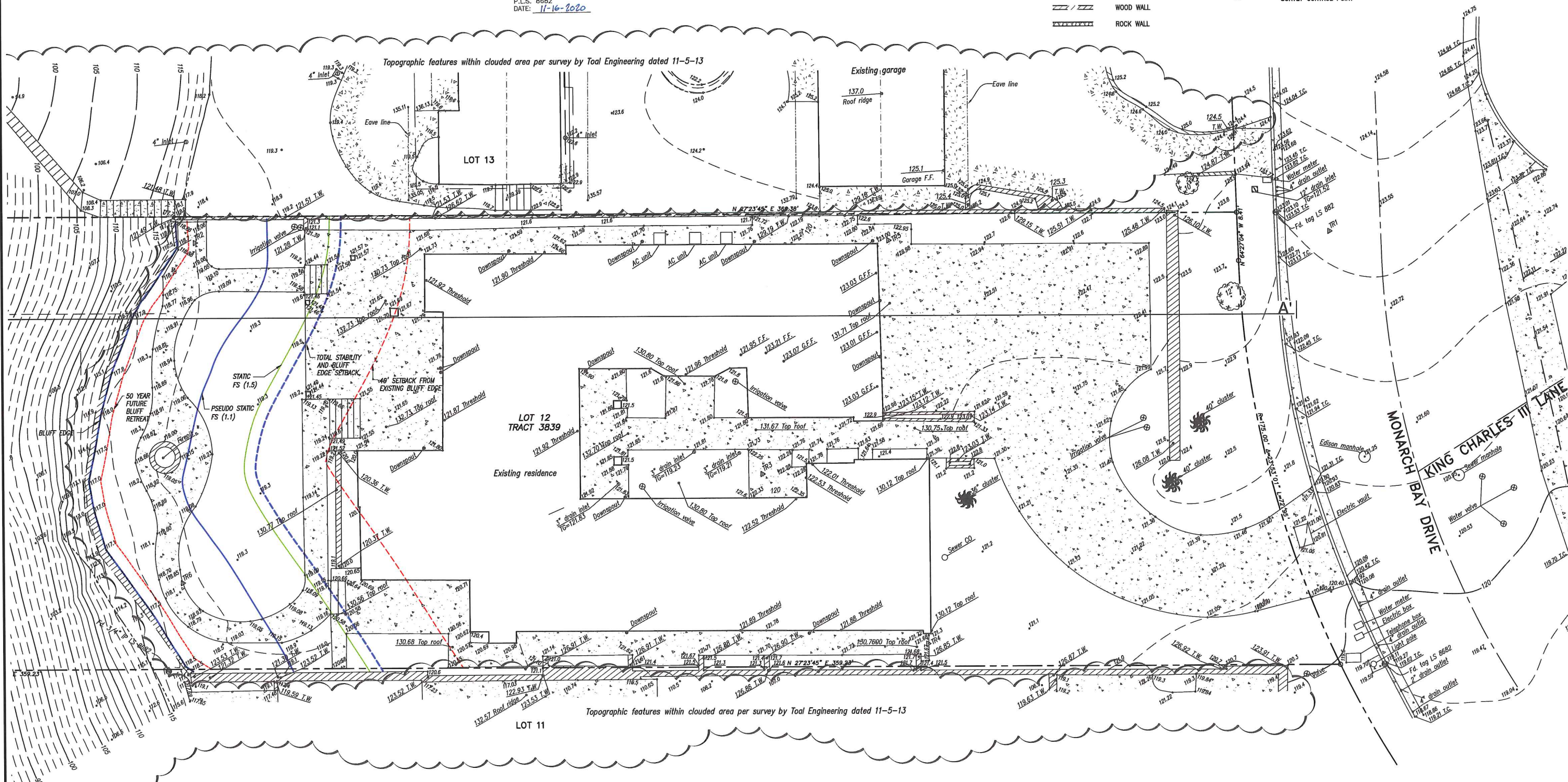
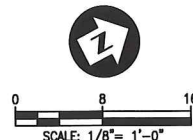
Viktor P. Meum
P.L.S. 8682
DATE: 11-16-2020

EASEMENT NOTE:
ALL EASEMENTS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PER A
POLICY OF TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE
COMPANY, FILE NO. MB383912 DATED JULY 1, 2020 UNLESS NOTED
OTHERWISE.

- 9 A NON-EXCLUSIVE EASEMENTS OVER THE COMMON AREA. THE
EASEMENTS DO NOT AFFECT THE SUBJECT PARCEL AND IS NOT
PLOTTED HEREON.
- 16 A NON-EXCLUSIVE EASEMENTS OVER THE COMMON AREA. THE
EASEMENTS DO NOT AFFECT THE SUBJECT PARCEL AND IS NOT
PLOTTED HEREON.

LEGEND

- GRADE BREAK LINE F.F. FINISHED FLOOR
- INDEX CONTOUR LINE F.S. FINISHED SURFACE
- INTERMEDIATE CONTOUR LINE T.G. TOP OF GRATE
- PROPERTY LINE INV INVERT OF PIPE
- X-X- FENCE T.C. TOP OF CURB
- [Pattern] MSE WALL E.P. EDGE OF PAVEMENT
- [Pattern] CONCRETE SURFACE T.W. TOP OF WALL
- [Pattern] MASONRY WALL [Symbol] FOUND MONUMENT
- [Pattern] WOOD WALL [Symbol] SURVEY CONTROL POINT
- [Pattern] ROCK WALL



REVISION	DESCRIPTION	APPROVED	DATE

SCALE:	DESIGNED:	DRAWN:	CHECKED:
1"=8'	A.M.S.	A.M.S.	C.R.
DATE:			DATE:
11/20/20			57587
PROJECT NO.:			R.C.E. NO.
20157			

PLANS PREPARED BY:

TOOL ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

110 Avenida Nacional
San Clemente, CA 92673
949.425.1000
www.toolengineering.com

BENCHMARK

O.C.S.B.M.: 3P-31-86
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CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES

33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER

RCE #59239 EXP. 06/30/21

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DATE

CITY OF DANA POINT

TOPOGRAPHIC SURVEY

37 MONARCH BAY DRIVE

LOT 12, TRACT 3839

A.P.N.: 670-141-35

C-5

PLAN CHECK NO.

ENG20-XXXX

5 OF 6 SHEETS

TOLL FREE 1-800-422-4155
(Two working days before you dig)


1. Connect all downspouts to drain system
2. Maintain 10% minimum flow in all landscape areas
3. Maintain 28% minimum flow in all planted areas
4. Backfill all trenches with sand or 40% compacted fill
5. Use 50R-95 drainage with a 15% minimum flow throughout system
6. Min. 4" drain dia., actual sizes per Civil plans.
7. Align all deck drains to fall on scorelines or expansion joints where possible
8. Prior to grading any excavation, contractor shall verify the location of all underground utilities, septic tanks, seepage pits or any other below grade items.
9. Give all pipe joints per manufacturer's recommendations
- 10.

- ① 5" SQUARE DECORATIVE BRONZE GRATE
IN BONDAGE AFFRACK BY URBAN ACCESSORIES
MODEL TO BE SELECTED
- 8" x 6" SQUARE GRATE
- NDS 4" ROUND ATRIUM GRATE
- ⊙ NDS 4" ROUND FLAT GRATE
- NDS 3" ROUND BRASS GRATE
- ◆ SLEEVE FOR POT, FIRE PIT AND SEALED PLANTER
IRRIGATION, ELECTRICITY AND DRAINAGE
(SEE DETAIL)
- CHANNEL DRAIN WITH BRONZE TRAFFIC GRATE
- Ⓢ FOUNTAIN DRAIN
- ② 12" x 50" BRONZE GRATE
- 4" FLAT LAVIN GRATE (BETWEEN STEPPERS)
- GROCEALED STRIP DRAIN UNDER PAVING
- PERFORATED DRAIN
- SDR 35 4" HD PIPE
- 4" PERFORATED DRAIN WITH GRAVEL
AND SAND FILTERS (SEE DETAIL)

BTH	BROWN TRUNK HEIGHT
B5	BOTTOM OF STEP
CL	CENTERLINE
CLB	CLEAR
PC	POINT/RAIN COPINGS
CF	CORNER OF ROOF ELEVATION
FL	FLUSH LINE
FCN	FACE OF COLUMN
FCF	FACE OF CORNER
FS	FINISH SURFACE
FF	GRADE FINISH FLOOR
HP	HIGH POINT
INV	INVERT ELEVATION
MAX	MAXIMUM
NX	NOT IN CONTRACT
PA	PLANTER AREA
PC	POOL COORDINATE
PC	PERFORATED LINE
R	RADIUS
S	SEAL IN HALL
SG	SIPA COPING
SP	SEALED PLASTER
TC	TOP OF CURB
TF	TOP OF FOOTING
TFG	TOP OF FENCE
TS	TOP OF SETTE
TPC	TOP OF PLASTER
TP	TOP OF POLE
TH	TOP OF HALL
TP	TYPE
W	WATER LINE

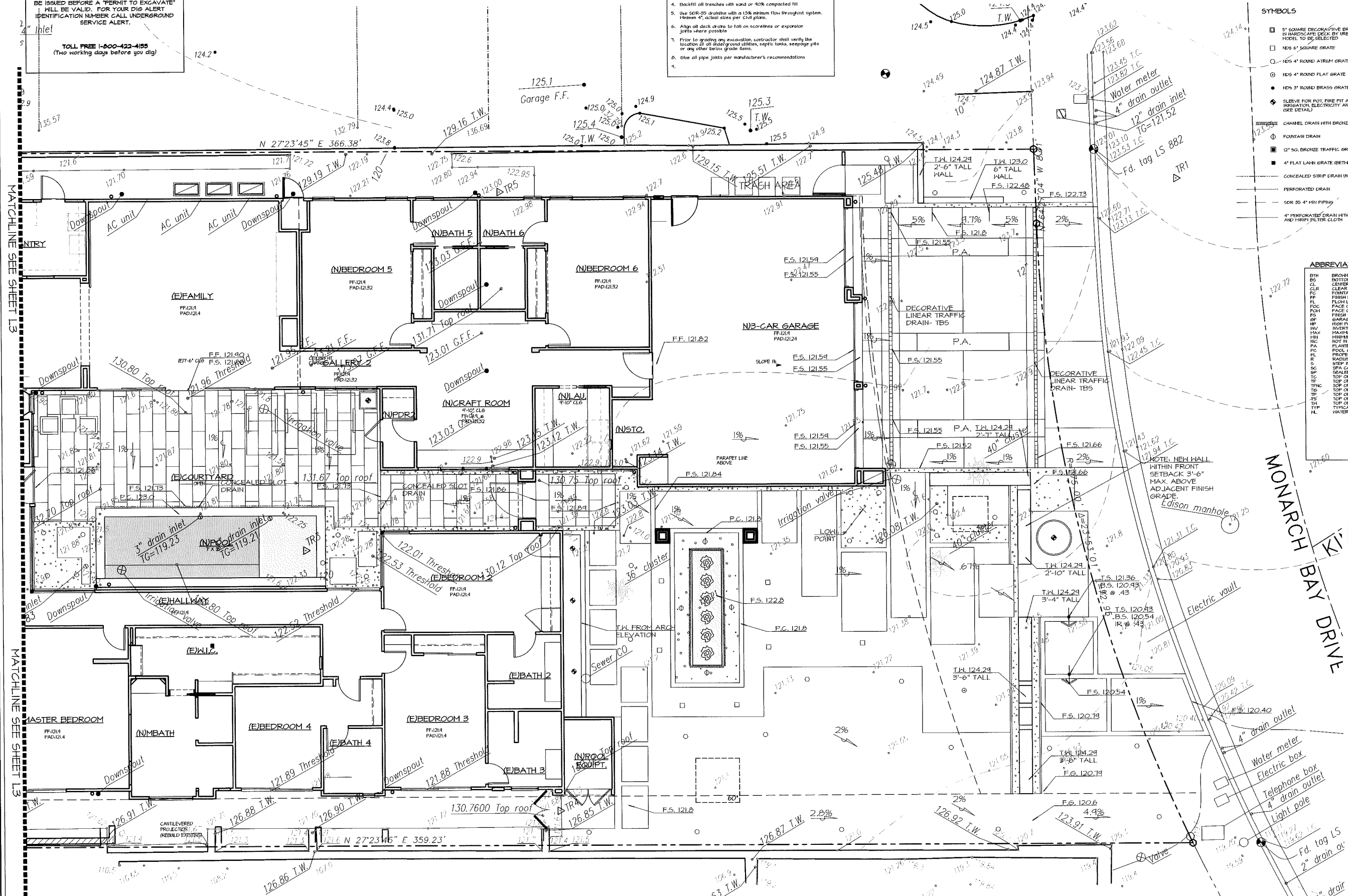
IN NUMBER	20-114
DATE	11-20-20
MADE BY	LY
SCALE	1/4" = 1'-0"

REGISTERED LANDSCAPE ARCHITECT
DANIEL D. STEWART
11517
12-31-20
Expiration Date
STATE OF CALIFORNIA

 **Daniel Stewart & Assoc.**
Landscape Architects

2753 CAMINO CAPISTRANO B-2
SAN CLEMENTE, CALIF. 95072
TEL: (649) 341-8300 • FAX: (649) 361-2679

H:\AutoCad 2002\DWGA NEW PROJECTS\BROWN MONARCH BAY\2 Grading.dwg, 1/23/2020 2:28:45 AM, LY



Topographic features within clouded area per survey by Toal Engineering dated 11-5-13

0 4
SCALE: 1/4" = 1'-0"

TOLL FREE 1-800-422-4133
(Two working days before you dig)

SEE SHEET L5 FOR
CONSTRUCTION NOTES

NOTE:
DOMESTIC WATER BACKFLOW DEVICE
TO BE SCREENED WITH PLANT MATERIAL.

GENERAL CONSTRUCTION NOTES

[illegible]

MATERIAL SCHEDULE

VERIFY ALL MATERIALS WITH SAMPLE TO BE APPROVED PRIOR TO ORDER AND INSTALLATION. REFER TO MATERIAL BOARD.

DRIVEWAY PAVING: INTEGRAL COLOR CONCRETE. COLOR TO BE SANDSTONE BY DAVIS-COLOR.

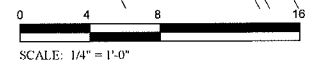
BATIO, CUT STONE PAVING, WINTERSET NEW MEXICO LIMESTONE. SANDBLAST FINISH, 10"x6" SIZE. BY MODERN BUILDERS SUPPLY.

WALKWAY PAVING: INTEGRAL COLOR CONCRETE. COLOR TO BE SANDSTONE BY DAVIS-COLOR.




ON-SITE WALL AND CARP. CUT STONE PAVING, WINTERSET NEW MEXICO LIMESTONE. BUSH HAMMERED FINISH, 8"x24" SIZE. BY MODERN BUILDERS SUPPLY.

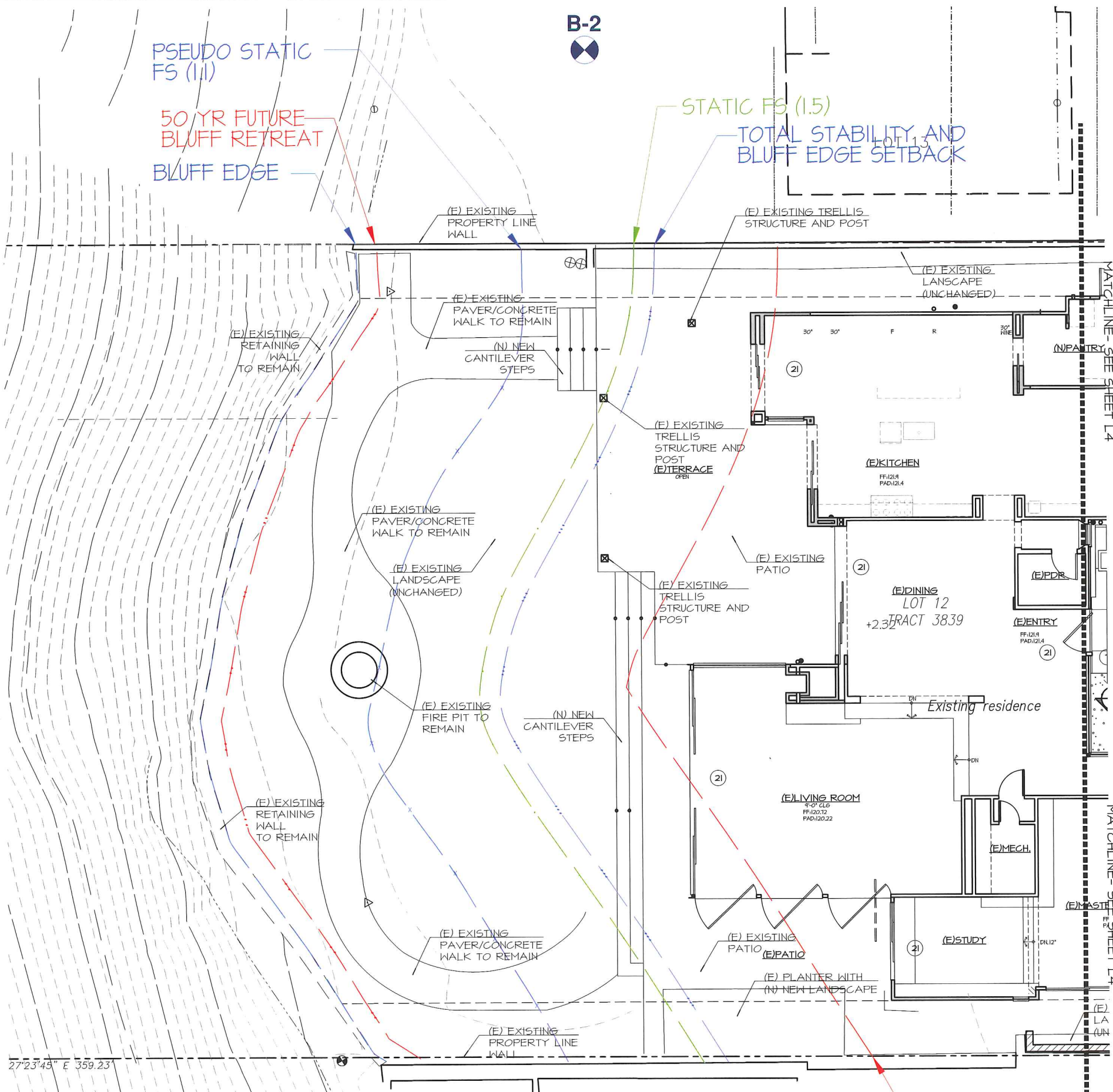
MONOLITHIC STONE FOUNTAIN, JERUSALEM WHITE LIMESTONE CUT STONE.

LINEAR PAVING DRAIN, JAMISON STYLE TRAFFIC DRAIN BY URBAN INDUSTRIES.



Topographic features within clouded area per survey by Toal Engineering dated 11-5-13

 Daniel Stewart & Assoc. Landscape Architects	253 CAJON CANYON STR. #2 SAN CLEMENTE, CALIF. 92622 TEL: (949) 361-0900 • FAX: (949) 361-2975			CLIENT BROWN RESIDENCE 571 MONARCH BAY DRIVE DANA POINT, CA 92624	JOB NUMBER 20-114	SHEET 4
		PROJECT CONSTRUCTION PLAN	DATE 11-20-20	DESIGNED BY LY	SCALE 1/4" = 1'-0"	NORTH 



BROWN RESIDENCE
CONSTRUCTION NOTES

1. SCORED INTEGRAL COLOR CONCRETE: Color to be 'Sandstone' by Davis Color. With medium wash finish, 4" thick minimum at walls and patios, with #3 rebar at 18" o.c. each way with #3 rebar at 18" o.c. each way over compacted sand base and sub grade. Provide deepened edge at all paving adjacent to planting. Preconstruction and the percentage of compaction of sand base and sub grade as prescribed by engineer. Exact slab thickness, reinforcing and base requirements as per worked by engineer with reference to soils report. Driveway areas to have a 'Rugosa' finish to minimize tire marks. See plan for scored integral color concrete.
2. EXPANSION JOINT: 3/8" thick foam w/ removable 'W' cap. Seal with Thikolite, dual sealant w/ silica sand. Color of sealant and silica to match paving. Place per plan and at all walls and every 100 square feet minimum.
3. STONE PAVING: Oversized cut stone running bond pattern set on mortar bed over concrete base to match concrete paving note.
4. COLOR CONCRETE STEPPING PAVING: Linear poured in place color concrete paving to match concrete paving note.
5. STONE STEPS WITH PLANTING STRIP: 2 1/2" thick cut slab stone with flamed finish laid on mortar bed over concrete step base w/ 12" wide treads and planting strip, verify riser height w/ grading plans.
6. CONCRETE STEP BASE STRUCTURE AND REINFORCING: As prescribed by engineer with reference to soils report.
7. DRIVEWAY: Oversized cut stone running bond pattern set on mortar bed over concrete base to match concrete paving note.
8. DECORATIVE SMOOTH BEACH PEBBLES: Color to be tan.
9. PLANTING AREA (P.A.): Amended topsoil, free of debris, rocks and weeds. Back fill all raised planters with approved topsoil planting mix. See agronomy soils report, may be required to remove portions of existing soils in planter areas.
10. CORTEN STEEL EDGE.
11. PLANTING STRIP: Pottery: Fire cast concrete pots and troughs, to be selected by landscape architect and approved by owner. Provide sleeving for pot irrigation, drainage and electricity (if req'd, on lighting plan) as shown on potting detail.
12. RAISED PLANTER STONE WALL W/ STONE CAP: Concrete block structure with stone cap and ledger stone veneer. Note any retaining condition and provide drainage behind wall. Drainage to include waterproof coating, gravel backfill and perforated pipe wrapped in Mifflin filter cloth, see details. Wall structure and reinforcing as prescribed by engineer with reference to soils report. Where adjacent to planting areas allow 30" minimum planting depth from finish grade to top of footing or turn footing into slope or under planter.
13. STONE WALL W/ STONE CAP: Concrete block structure with stone cap and stone veneer. Note any retaining condition and provide drainage behind wall. Drainage to include waterproof coating, gravel backfill and perforated pipe wrapped in Mifflin filter cloth, see details. Wall structure and reinforcing as prescribed by engineer with reference to soils report. Where adjacent to planting areas allow 30" minimum planting depth from finish grade to top of footing or turn footing into slope or under planter, 3'-6" tall max. above adjacent finish grade.
14. EXISTING PROPERTY LINE WALLS: Existing to remain. Protect in place.
15. LINEAR BLOCK WATER ELEMENT: Block water element with central bubble. Waterproofed granite structure and stone coping. Provide niche type overflow, underwater lights within recessed niches. Floor drain with brass plug and suction and return lines as required by fountain operation. Granite structure and reinforcing as prescribed by Pool Engineer with reference to soils report.
16. STONE CAP.
17. LINEAR STRIP DRAIN: COMMUNITY STREET: Protect in place.
18. 6x6x6 METAL PER ARCHITECTURE'S PLANS.
19. RAISED SWIMMING POOL WITH BACKDROP WALL AND BAJA SHELF: Granite structure with raised bond beam for backdrop water wall into pool. Hydrozo finish- Sand color to be selected with owner. Granite thickness and reinforcing as prescribed by engineer with reference to soils report. Verify exact pool depth and the locations and depths of all seat ledges and steps with owner.
20. RESIDENCE: Per architect's plans.
21. PROPERTY LINE.
22. BAJA SHELF.
23. POOL BENCH.
24. HIGH DENSITY PLASTIC REINFORCED GRID BELOW GRADE OF GROUND COVER: Tuffrack paver panel by ND5 or an approved equal. Install per manufacturer's spec.

GENERAL CONSTRUCTION NOTES

All dimensions are taken from face of curb or edge of paving unless otherwise noted on plan. The dimensions are shown for approximate the and wall, curves are to have continuous and smooth transitions without abrupt changes or bends.

All forms and alignment of paving location shall be inspected and approved by the Landscape Architect prior to paving (give a minimum of 48 hours).

Contractor shall verify location of all utilities prior to construction, and shall be held liable for all damages incurred.

Contractor shall note and install stone locations shown on irrigation plan and construction plan.

These notes shall be used in conjunction with the plans and any discrepancies shall be brought to the attention of the Landscape Architect.

Contractor must check all dimensions, framing conditions and site conditions before starting work. Landscape Architect shall be notified immediately of any discrepancies or possible deficiencies.

Conditions not specifically shown shall be constructed similar to the details for respective materials.

The drawings and specifications represent the finished structure. All bracing, temporary supports, shoring, etc. in the site responsibility of the contractor. Observation visits to the site shall be by the Landscape Architect and shall include inspection of construction methods and safety conditions of the work area. These visits shall not be construed as continuous and detailed inspection.

Design materials, equipment and products other than those described below or indicated on the drawings may be considered for use provided prior approval is obtained from the owner, Landscape Architect, and the applicable governing code authority.

All exposed Douglas fir wood, such as decking, handrails, sliding overheads, posts, etc., shall be stained with low-solids or stain or the coats of enamel paint. For color of stain or paint refer to construction and finish schedule.

All wood members adjacent to finish grade or concrete surface shall be reduced or pressure treated Douglas fir.

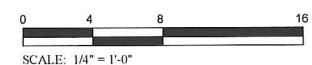
Contractor is responsible for coordinating and making all orders to purchase the brick and other materials, as soon as contract is determined. This is all the necessary to order not to delay implementation of these elements or allow inadequate time for research and acquisition of appropriate materials.

All structural details including wood structure, footings, walls, etc., are shown for design, aesthetic purposes only. Owner shall provide all engineering services necessary for review of structural elements, soils and slope engineering, drainage, civil, retaining walls, etc.

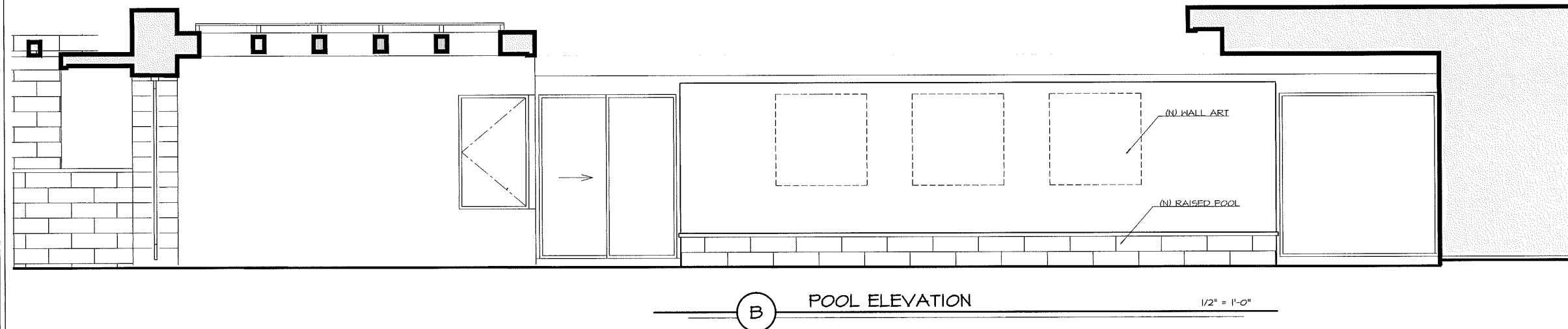
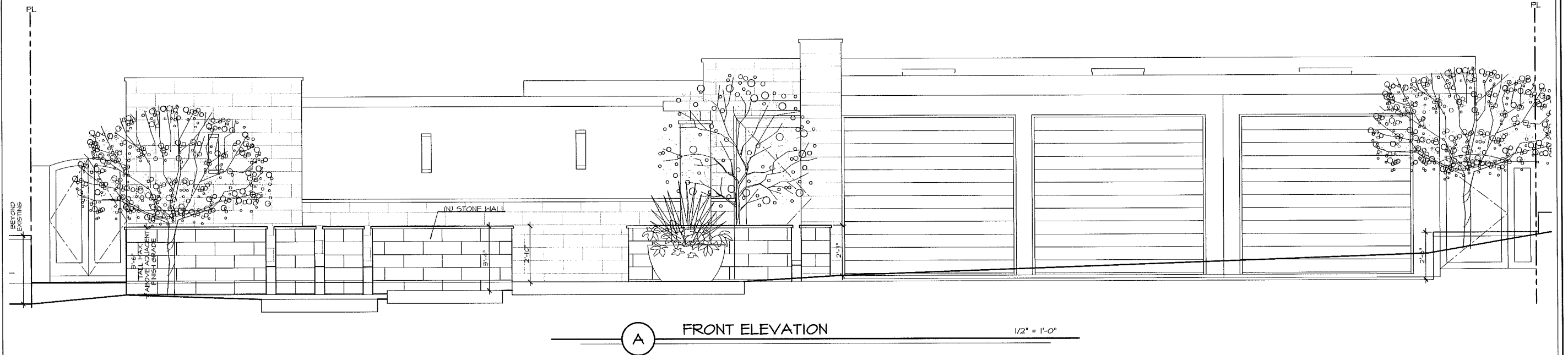
Contractor shall secure all permits required for work herein.

SECTION 4216/4217 OF THE GOVERNMENT CODE
REQUIRES A DIG ALERT IDENTIFICATION NUMBER
BE ISSUED BEFORE A 'PERMIT TO EXCAVATE'
WILL BE VALID. FOR YOUR DIG ALERT
IDENTIFICATION NUMBER CALL UNDERGROUND
SERVICE ALERT.

TOLL FREE 1-800-422-4195
(Two working days before you dig)

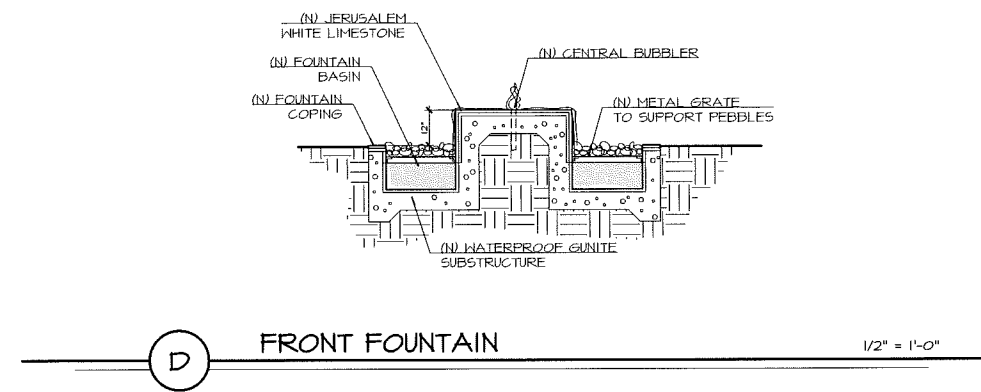
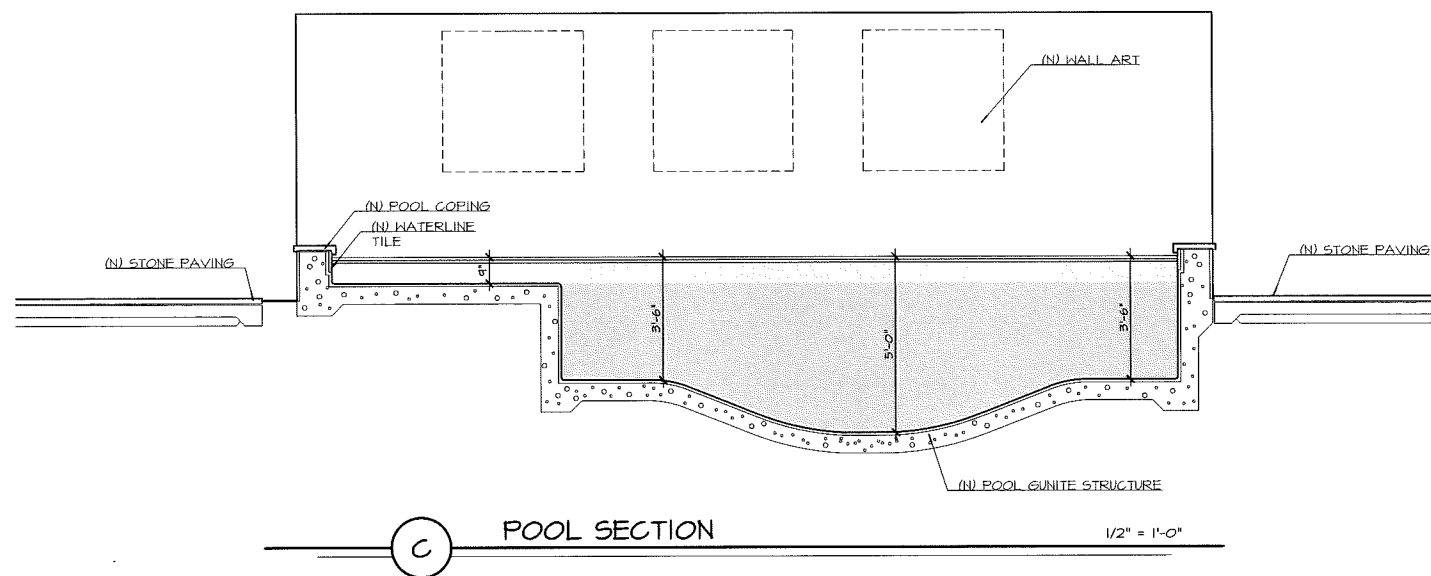


SHEET 5	JOB NUMBER 20-114	DATE 11-20-20	DRAWN BY LY	SCALE 1/4" = 1'-0"	NORTH
BROWN RESIDENCE 51 MONARCH BAY DRIVE DANA POINT, CA 92624					
CONSTRUCTION PLAN					
REVISIONS CITY CDP REV: 11-19-20					
Daniel Stewart & Assoc. Landscape Architects 2750 CAMINO CARISTANO 112 SAN CLEMENTE, CALIF. 92673 TEL: (949) 361-6550 • FAX: (949) 361-2679					



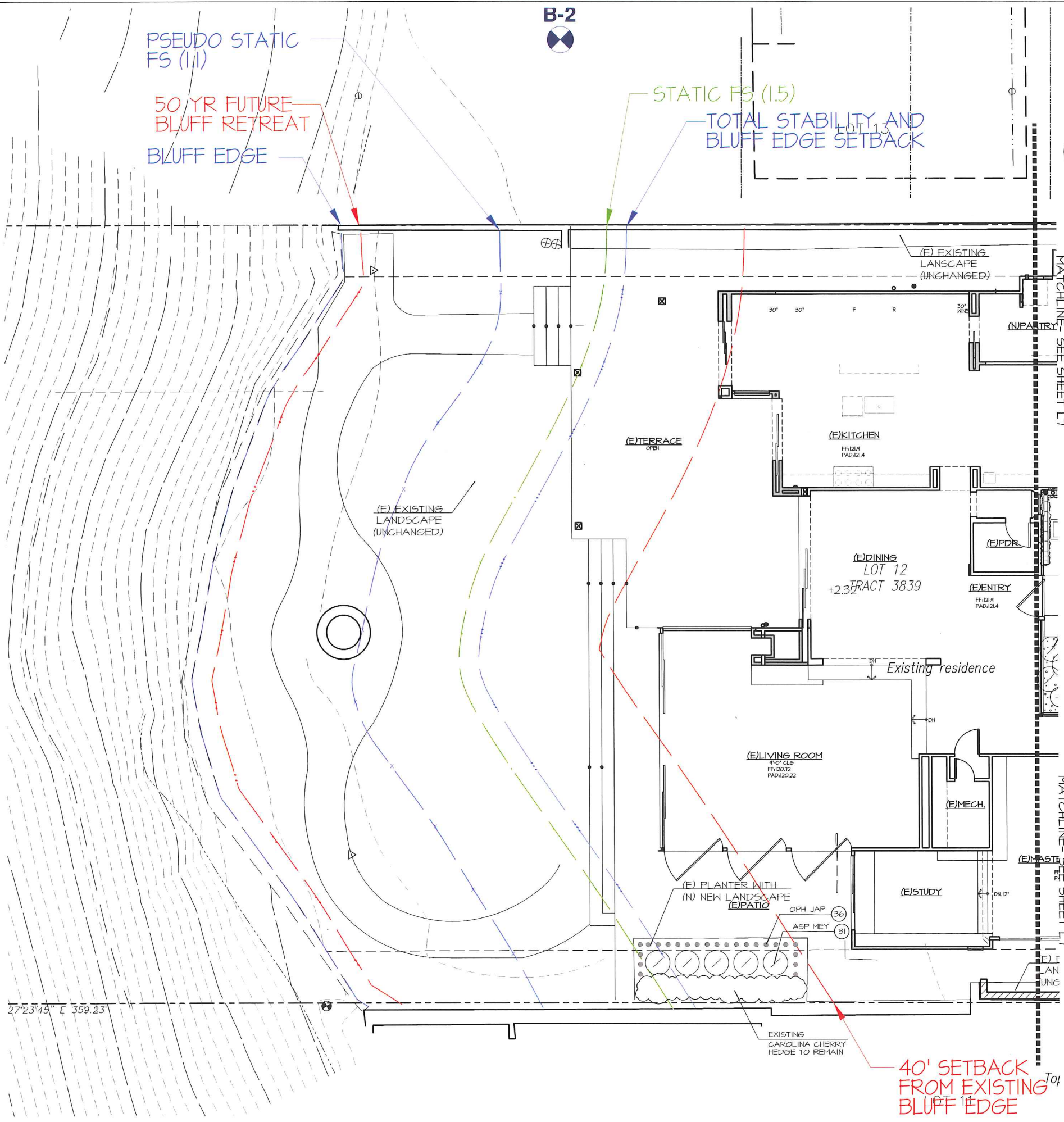
SECTION 4216/4217 OF THE GOVERNMENT CODE
REQUIRES A DIG ALERT IDENTIFICATION NUMBER
BE ISSUED BEFORE A "PERMIT TO EXCAVATE"
WILL BE VALID. FOR YOUR DIG ALERT
IDENTIFICATION NUMBER CALL UNDERGROUND
SERVICE ALERT.

TOLL FREE 1-800-422-4155
(Two working days before you dig)



	BROWN RESIDENCE 57 MONARCH BAY DRIVE DANA POINT, CA 92624	SHEET 20-114	DATE 11-20-20	DRAWN BY LY	SCALE 1/2" = 1'-0"
	REVISIONS CITY CDP REV: 11-19-20	DATE 11-20-20	DRAWN BY LY	SCALE 1/2" = 1'-0"	NORTH

Daniel Stewart & Assoc.
 Landscape Architects
 275 CARINO CASTRANO RD
 SAN CLEMENTE, CALIF. 92673
 TEL: (949) 261-9555 FAX: (949) 261-2675



NOTE: ALL TREES TO BE MAINTAINED BELOW MAX. HEIGHT OF ROOF OF RESIDENCE.

PLANTING LEGEND:

NH	NAME	SIZE	15 YEARS	MAINTAINED HT.
1.	ARB HAR AREBUTUS U. MARINA' -STRAWBERRY TREE	MULTI-TRUNK	48" BOX 15' T X 12" H	12' T X 8" H
2.	ARB STD AREBUTUS MARINA' -STRAWBERRY TREE	STANDARD	15 GAL 15' T X 15" H	10' T X 6" H
3.	MEL NES MELALEUCA NESOPHYLLA -PINK MELALEUCA	BONZAI FORM	60" BOX 15' T X 15" H	12' T X 12" H
4.	EQV HYH EQUSETUM HYEMALE -HORSETAIL	IN UNDERGROUND CONTAINER	15 GAL 5' T X 4" H	5' T X 4" H

SHRUBS:

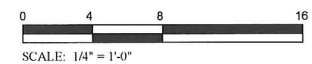
NH	NAME	COMMENTS	SIZE	15 YEARS
30.	AGA ATT AGAVE 'RAY OF LIGHT' -RAY OF LIGHT AGAVE		15 gal 4' T X 4" H	
31.	ASP MEY ASPARAGUS MEYERII -FOXTAIL FERIL		15 gal 2' T X 2" H	
32.	AGA BLU AGAVE 'BLUE FLAME' -BLUE FLAME AGAVE		5 gal 2' T X 2" H	
33.	AGA POT AGAVE POTATORIUM -BUTTERFLY AGAVE		5 gal 2' T X 2" H	
34.	LIR SIL LIRIOPE 'SILVER DRAGON' -LILY TURF		1 gal 10' T X 15" H	
35.	LIG JAP LIGUSTRUM JAPONICUM -PRIVET HEDGE		15 gal 5' T X 3" H	
36.	OPH JAP OPHIOPOSSON JAPONICUS -MONDO GRASS		15 gal 6' T X 3" H	
37.	EQV HYH EQUSETUM HYEMALE -HORSETAIL		5 gal 3' T X 1" H	
38.	ROS PRO ROSMARINUS 'PROSTRATUS' -PROSTRATE ROSEMARY	AT ROCK OUTCROP	1 gal 1.5' T X 6" H	
39.	ECH BLU ECHEVERIA 'BLUE ATOL' -BLUE ATOL ECHEVERIA	GROUND COVER	4" POT 6" T X 1" H	
40.	TRA JAS TRACHELOSPERMUM JASMINOIDES -STAR JASMINE		1 gal 2' T X 2" H	
41.	SED BLU SEDUM 'BLUE SPRUCE' -BLUE SPRUCE SEDUM		4" pot 5" T X 15" H	
42.	DIA HAR DIAMONDIA HARGARETAE -SILVER CARPET	WITH TUFFTRACK PAVES AT DRIVEWAY	FLAT 3" T X 3" H	
43.	VER REP VERONICA REPENS 'GOLDEN CARPET' -CREEPING SPEEDWELL		4" pot 1' T X 1" H	
44.				
45.				

POTS:

NH	NAME	COMMENTS	SIZE	15 YEAR
60.	POT A CRASSULA OVATA 'GOLDM' -CORAL JADE		3 @ 15 gal 3' T X 2" H	
61.	POT B EQUSETUM HYEMALE -HORSETAIL		15 gal 5' T X 4" H	
62.				

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(Two working days before you dig)



PROJECT
BROWN RESIDENCE
51 MONARCH BAY DRIVE
DANA POINT, CA 92629

DATE
11-20-20

SCALE
1/4" = 1'-0"

REVISIONS
CITY CDP REV: 11-19-20

LANDSCAPE ARCHITECT
STAMP
11-20-20

DATE
11-20-20

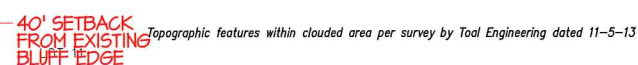
SCALE
1/4" = 1'-0"

Daniel Stewart & Assoc.
Landscape Architects

229 CAMINO CARIBANEO #12
SAN CLEMENTE, CALIF. 92673
TEL (949) 381-0220 FAX (949) 381-2673

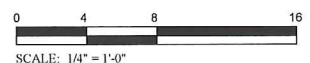
NOTE: ALL LIGHT SOLID BRASS, ALL LIGHT TO BE WARM LIGHT LMR-LED-4W (2700 AND 2900K) ON DIMMERS. SEE LIGHTING SPEC, THIS SHEET.



1. COORDINATE W/ ARCHITECT; EXTERIOR HOUSE FIXTURES, CONTROL SWITCH LOCATIONS AND LOAD REQUIREMENT OF LANDSCAPE LIGHTING. HOUSE ELECTRIC PANEL MUST BE ADEQUATE FOR HOUSE AND LANDSCAPE REQUIREMENTS.
2. INSTALL ALL LIGHTING TO CONFORM WITH ALL LOCAL CODES AND PER ASSOCIATION GUIDELINES.
3. VERIFY EXACT FIXTURES WITH OWNER PRIOR TO INSTALLATION.
4. VERIFY FINAL FIXTURE AND CONTROL SWITCH LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
5. CONCEAL ALL WIRING AND HARDWARE
6. SEE POTTING DETAIL FOR MORE INFORMATION.
7. ALL LIGHTING TO BE DIRECTED AWAY FROM STREET AND NEIGHBORS. ADJUST LIGHTING TO AVOID GLARE OR OVER SPILL INTO NEIGHBORING PROPERTIES.



NOTE:
ALL LIGHTING IS TO BE INSTALLED AND ADJUSTED SO AS TO PRECLUDE LIGHT SPILL ONTO ADJACENT PROPERTIES. UPLIGHTS WITHIN 10' OF PROPERTY LINES ARE TO BE DIRECTED STRAIGHT UPWARD.

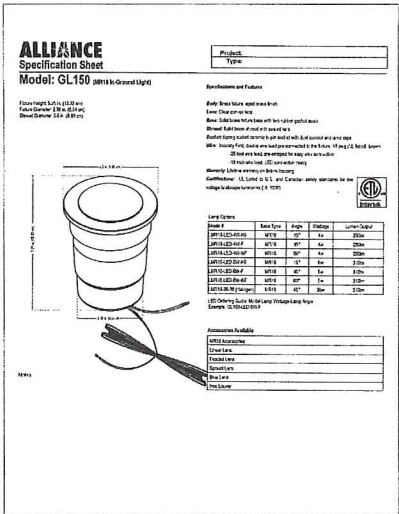
TOLL FREE 1-800-422-4155
(Two working days before you dig)



 <p>Daniel Stewart & Assoc. Landscape Architects</p>	<p>2551 CASINO CAPSTRANO BL. SAN CLEMENTE, CALIF. 92622 TEL: (949) 361-4555 • FAX: (949) 361-2975</p>			<p>THIS IS A PRELIMINARY DRAWING</p>		<p>CLIENT: BROWN RESIDENCE 37 MONARCH BAY DRIVE DANA POINT, CA 92624</p>	<p>DATE: 11-20-20</p>	<p>JANIS HARRISON</p>	<p>20-114</p>	<p>SHEET</p>
		<p>PROJECT: LIGHTING PLAN</p>		<p>DESIGNED BY: LY</p>						

ALLIANCE OUTDOOR LIGHTING
800-430-6225 Office
info@allianceoutdoorlighting.com

LED In Ground Light
GL150 LED



IN GROUND WELL LIGHT

ALLIANCE OUTDOOR LIGHTING
800-430-6225 Office
info@allianceoutdoorlighting.com

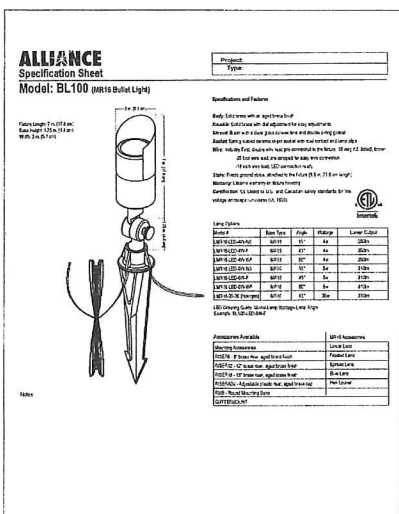
LED Hanging Light
HL100 LED



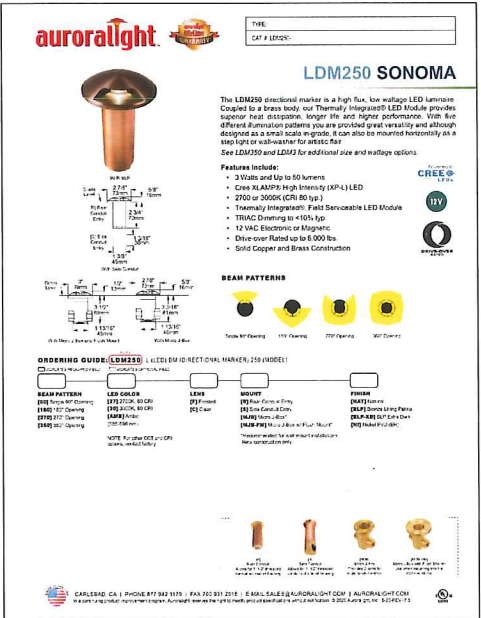
HANGING LIGHT
DOWN LIGHT FROM STRUCTURE

ALLIANCE OUTDOOR LIGHTING
800-430-6225 Office
info@allianceoutdoorlighting.com

LED Bullet Light
BL100 LED



MINI POT LIGHT



BUMP LIGHT

CLIENT BROWN RESIDENCE 51 MONARCH BAY DRIVE DANA POINT, CA 92629	DATE 11-20-20	DRAWN BY LY	SCALE N.T.S.	SHEET 10
				FILE LIGHTING CUT SHEET
				REVISIONS CITY CDF REV: 11-19-20
				DATE OF CUTOFF 12-31-20
Daniel Stewart & Assoc. Landscape Architects 2753 CANINE CANYON RD SAN CLEMENTE, CALIF 92683 TEL: (949) 381-3338 • FAX: (949) 381-2573	PROJECT NEW PROJECTS BROWN MONARCH BAY 10 Lighting cut sheet.dwg, 11/19/2020 2:12:58 PM, LY			