

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: OCTOBER 12, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
JOHN CIAMPA, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0015 AND MINOR SITE DEVELOPMENT PERMIT SDP20-0019(M) FOR A 1,098 SQUARE FOOT ADDITION AND REMODEL TO A SINGLE-FAMILY RESIDENCE AND SITE WALLS THAT EXCEED 42 INCHES IN THE FRONT AND EXTERIOR SIDE YARD SETBACK FOR A PROPERTY LOCATED AT 216 MONARCH BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP20-0015 and Minor Site Development Permit SDP20-0019(M) (Action Document 1).

APPLICANT: Phil Edmondson

OWNER: Derek and Sally Johnson

REQUEST: A request for a 1,098 square foot addition and remodel to a single-family residence and attached garage to expand the structure to 4,150 square feet and for site walls to exceed 42 inches in the front and exterior side yard setback.

LOCATION: 216 Monarch Bay Drive (APN 670-111-20)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on October 2, 2020, published within a newspaper of general circulation on October 2, 2020, and posted on October 2, 2020, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project involves a 1,098 square foot addition and remodel to expand the structure to 4,150 square feet and for site walls that exceed 42 inches in the front and exterior side yard setback.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND:

The subject site is located west of the intersection of Crown Valley Parkway and Pacific Coast Highway in the Residential Single Family 4 (RSF 4) Zoning District and within the appeals jurisdiction of the City's Coastal Overlay District. The project site is an 11,858 square foot corner lot along Monarch Bay Drive. The property is improved with a one-story, 2,662 square foot house and a 390 square foot attached garage that were constructed in 1962. Accessory improvements to the site include a pool and spa, hardscape, and landscaping.

DISCUSSION:

The project proposes a 1,098 square foot addition and remodel to the single-family residence (SFR) and for new exterior site walls and accessory improvements to the property. The project requires a Coastal Development Permit for the 36 percent addition to the residential structure located in the Coastal Zone. The 859 square foot addition and remodel to the livable area of the SFR would expand the master bedroom and bathroom, a bedroom, laundry room, foyer, and bathroom and the conversion of 11 square feet of garage area to expand another bedroom. The project also includes a 239 square foot addition to the garage and a conversion of 53 square feet of livable space to the existing attached two-car garage. On the north side of the house, another 132 square feet would create a third garage space (substandard in size) for golf cart parking. If approved, the project would expand the livable area to 3,479 square feet and the garage to 671 square feet. The additions to the SFR comply with the RSF 4 development standards identified in Table 1 below.

The project also proposes site walls along the front and exterior side yard setback areas. A Minor Site Development Permit is required to allow walls to exceed 42 inches within the front and exterior side yard setback. Two walls are proposed in the front yard that would be 5.75 feet tall and setback 18 feet from the front property line. Along the exterior side yard, a six foot tall wall would be setback four feet from the property line. Some segments of the exterior side yard wall would retain approximately two feet of grade with the taller side of the wall facing the subject site. In the back yard, a four foot retaining wall is proposed to level the slope and provide space for a new barbeque, seating area, and fire

pit.

Table 1: Compliance with RSF-4 Development Standards

Development Standard	Requirement	Proposed/ Existing	Compliant w/ Standard
Front Setback	20 ft minimum	20 ft	Yes
Side Setback Interior	5 ft minimum	8 ft	Yes
Side Setback Exterior	10 ft minimum	14 ft 8 in	Yes
Rear Setback	25 ft minimum	25 ft	Yes
Height	24 ft maximum (less than 3:12 pitch)	13 ft 2 in (no pitch)	Yes
Lot Coverage	45% maximum	35%	Yes
Parking Required	2 parking spaces	2 parking spaces	Yes

The Mid-Century Modern architecture of the house would be modified to a Modern design with the exterior of the structure finished with smooth, metal clad windows and doors, and new sectional garage doors (Supporting Document 4). All existing and new site walls are proposed to be finished in smooth white plaster to match the design of the SFR. New drought-tolerant landscaping and concrete flatwork will surround the exterior of the home. The proposed façade modifications and site improvements would be compatible with the neighborhood which has a diverse mix of architectural styles.

The project was approved by the Monarch Bay Home Owners Association prior to the submittal of the application (Supporting Document 3).

COASTAL DEVELOPMENT PERMIT CDP20-0015

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, the proposed addition to the SFR in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires the approval of a Coastal Development Permit (CDP) for additions that exceed 10 percent of the gross floor area of the house (36 percent expansion proposed). The project complies with all of the applicable provisions of the Dana Point Zoning Code for the issuance of a Coastal Development Permit as the addition and remodel do not impact public access or Environmentally Sensitive Habitat Areas (ESHA) as the parcel is already developed.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

- 1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*

2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are provided in the attached draft Resolution identified as Action Document 1.

MINOR SITE DEVELOPMENT PERMIT SDP20-0019(M)

Pursuant to Section 9.05.120(c) of the Dana Point Zoning Code, walls exceeding 42 inches in height in the front and exterior side yard setbacks are permitted, with the approval of a Minor Site Development Permit. The project is proposing two 5.75 ft walls that are setback 18 feet from the front property line to create an entry courtyard for the SFR. A wall in the exterior side yard setback requires an SDP(M) because it would be six feet tall and setback four feet from the property line. The proposed walls would be landscaped to screen and soften their appearance and improve their visual compatibility with the abutting properties and the community. The requested SDP(M) is consistent with the developed neighborhood as adjacent corner lots to the subject property have similar walls and tall hedges that exceed 42 inches in the required setbacks.

The approval of the Site Development Permit is subject to the following findings:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*

3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Recommended approval findings for the Site Development Permit are included in the attached draft Resolution (Action Document 1).

CORRESPONDENCE:

No correspondence were received as of the publication date of this staff report.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project is found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 20-0015 and Minor Site Development Permit 20-0019 subject to the findings and conditions of approval contained therein.



John Ciampa, Senior Planner

Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 20-10-12-xx

Supporting Documents

2. Vicinity Map
3. Monarch Bay Association Approval Letter
4. Sample Materials
5. Site Photos
6. Architectural Plans

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 20-10-12-xx

RESOLUTION NO. 20-10-12-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0015 AND MINOR SITE DEVELOPMENT PERMIT SDP20-0019(M) FOR A 1,098 SQUARE FOOT ADDITION AND REMODEL TO A SINGLE FAMILY RESIDENCE AND FOR SITE WALLS TO EXCEED 42 INCHES IN THE FRONT AND EXTERIOR SIDE YARD SETBACK FOR A PROPERTY LOCATED AT 216 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Phil Edmondson (the "Representative") has filed an application on behalf of Derek and Sally Johnson (collectively, the "Applicant"), the owners of real property commonly referred to as 216 Monarch Bay Drive (APN 670-111-20) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit and Minor Site Development Permit for a 1,098 square foot addition and remodel to a single-family residence and for site walls that exceed 42 inches in the front and side yard setback; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project involves for a 1,098 square foot addition and remodel to a single-family residence and for site walls that exceed 42 inches in the front and side yard setback; and

WHEREAS, the Planning Commission did, on the 12th day of October, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0015 and Minor Site Development Permit SDP20-0019(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP20-0015 and SDP20-0019(M) subject to the following conditions of approval:

Findings:

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 2

Coastal Development Permit CDP20-0015

- A) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP20-0015, subject to conditions:
1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that, the design of the proposed addition and improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property). The project will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” in that the property is maintained as a single-story residence that is architecturally compatible and in scale with the developed neighborhood. Additionally, the increased wall heights preserve the individual positive character of the property and Monarch Bay community in that the walls in the front yard are 5.75 feet and are setback 18 feet from the front property line and the six-foot wall along the exterior side yard are setback four feet from the property line. The project also proposes landscaping in front of the walls to soften and screen them from view.**
 2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that, while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot, zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exists nearby at City, County, and State beaches; therefore, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
 3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that, the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) in that it proposes a 1,098 square foot addition and**

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 3

remodel to a single-family residence and for site walls that exceed 42 inches in the front and side yard setback. The project will comply with all applicable development standards, except for the increased wall heights approved by an SDP(M), and will be consistent with the developed community.

4. That the project has been located and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA), and the proposed improvements would not result in adverse impacts.**
5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is an already developed property located in an established area of residential uses with no natural landforms present. The proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that, the proposed project maintains the single-family residence as a single story. The project design conforms to the development and design standards of the Dana Point Zoning Code and is complementary to surrounding development in terms of mass and size. The modifications to the residence and the proposed walls are consistent with the developed neighborhood in that adjacent properties are a similar size, and adjacent corner lots have walls and landscaping within the required setbacks that exceed 42 inches.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that, the subject project was reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Minor Site Development Permit SDP20-0019(M)

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Minor Site Development Permit SDP20-

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 4

0019(M), subject to conditions:

1. Compliance of the site design with development standards of the Dana Point Zoning Code, **in that Section 9.05.120(c) states that walls greater than 42 inches within the required front and exterior side yard setbacks can be approved subject to a Minor Site Development Permit. The walls in the front yard are 5.75 feet tall, and setback 18 feet from the front property line. The six foot wall along the exterior side yard is setback four feet from the property line. The project also includes landscaping in front of the walls to soften and screen them from view.**
2. Suitability of the site for the proposed use and development, **in that, the site was improved with a single-family residence in 1962, and the proposed project does not change the primary use. The walls in the front and exterior side yards are setback a sufficient distance from their applicable setbacks for the RSF 4 zone (front yard 20 feet and exterior side yard 10 feet) in that the walls in the front yard will be setback 18 feet and the exterior side yard will be setback four feet from the property lines. Both walls will be landscaped to soften and screen the walls from view.**
3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines, **in that pursuant to Goal 2, Policy 5.5 of the Urban Design Element of the General Plan, as well as Section III.A.5. of the Urban Design Guidelines, the inclusion of proposed landscaping in front of the walls improves the overall aesthetic of the site and reduces the overall massing of the proposed walls. The use of landscaping creates aesthetic relief for the subject improvements and surrounding residential development.**
4. Site and structural design which is appropriate for the site and function of the proposed use(s), without requiring a particular style and type of architecture, **in that the setbacks for the walls and landscape design are appropriate for the site and consistent the adjacent properties which have a similar wall and landscape improvements within the required setbacks. The completion of the project will contribute to an aesthetically compatible design for the property.**

Conditions:

General:

1. Approval of this application permits a 1,098 square foot addition and remodel to a single-family residence and site walls that exceed 42 inches in the front and side yard setback, at 216 Monarch Bay Drive in accordance with the plans on file with

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 5

the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 6

8. The project shall meet all water quality requirements.
9. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services.
10. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
11. The Applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
12. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

Prior to issuance of a Grading Permit

13. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
14. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
15. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
16. A performance bond shall be required for all grading activities up to 100% of the proposed improvements.
17. All proposed site walls and retaining walls shall be a separate submittal to the Building Department and a separate permit will be issued. The submittal guidelines and permit requirements shall be per the current requirements.

Prior to Issuance of a Building Permit:

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 7

18. The applicant shall submit an application for separate structures, including retaining walls. Retaining walls and other structures not supported by the building foundation require a separate submittal for review and approval to the Building Department. A separate permit submittal shall be made to the Building Department in accordance with the current submittal requirements.
19. Prior to the issuance of a building permit, the applicant shall submit a separate Landscape Plan, in compliance with City Standards, for review and approval by the Director of Public Works/City Engineering and Director of Community Development.
20. Fire sprinkler system is required for alterations of 50 percent or greater in a two year period. With Building Plan submittal provided calculations on the cover sheet if fire sprinklers are exempted. If it is determined that fire-sprinklers are not required, add a note on the cover sheet, "The depicted scope of work does not require an automatic sprinkler system installation. Work may trigger the City of Dana Point fire sprinkler system installation requirement."
21. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
22. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
23. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
24. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
25. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 8

grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

Prior to issuance of a Certificate of Occupancy

26. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
27. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
28. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
29. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
30. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
31. Prior to commencement of framing, the Applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP20-0015, SPD20-0019(M). The City's standard "Setback Verification Certification" form shall be obtained at time of permit issuance, prepared by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval.
32. All project landscaping within all yards shall be installed prior to scheduling of a final inspection of the project by the Planning Division.
33. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials, and compliance with any outstanding project conditions of approval.

PLANNING COMMISSION RESOLUTION NO. 20-10-12-XX
CDP20-0015 SDP20-0019(M)
PAGE 9

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 12th day of October, 2020 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mary Opel, Chairperson
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map

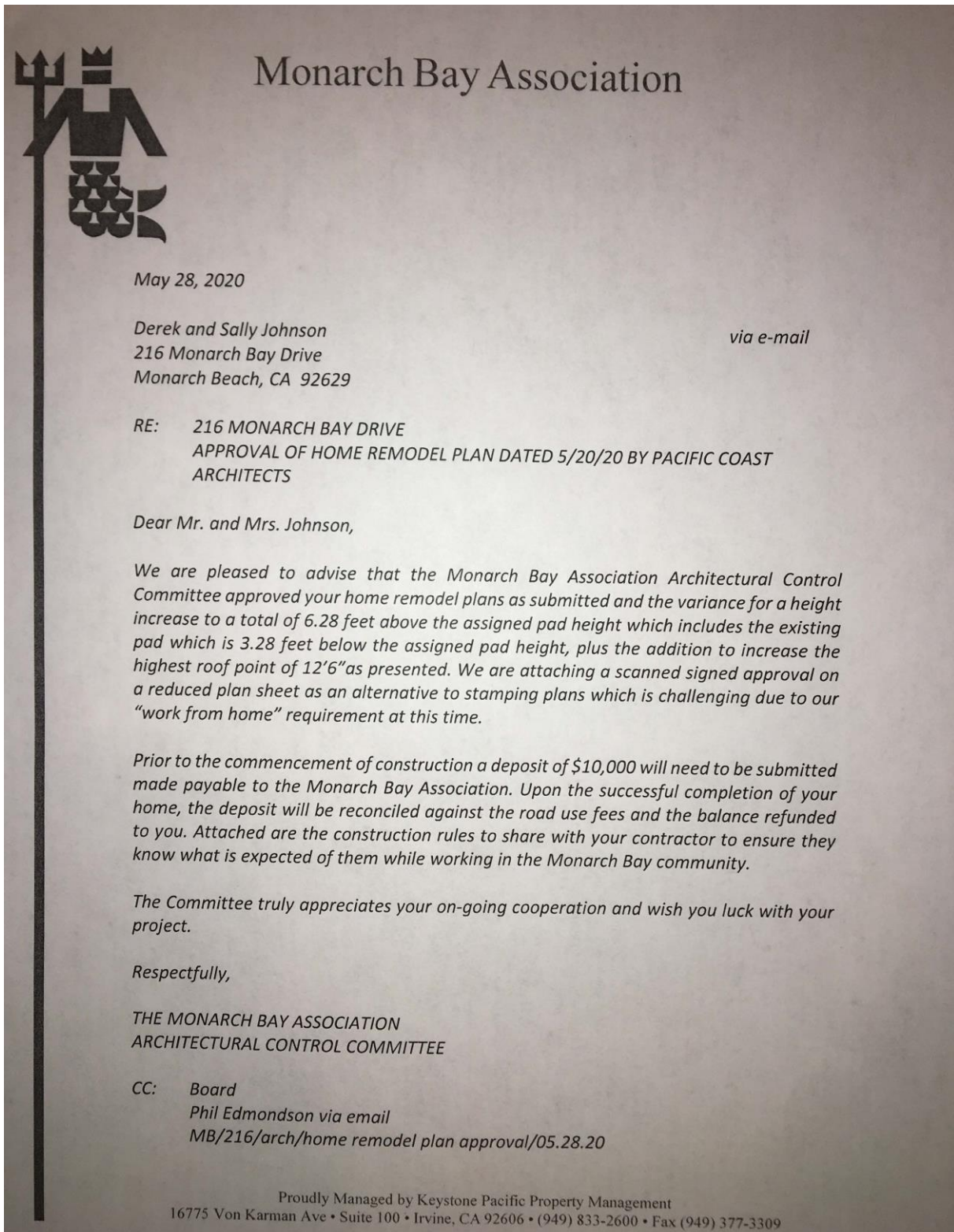


Vicinity Map

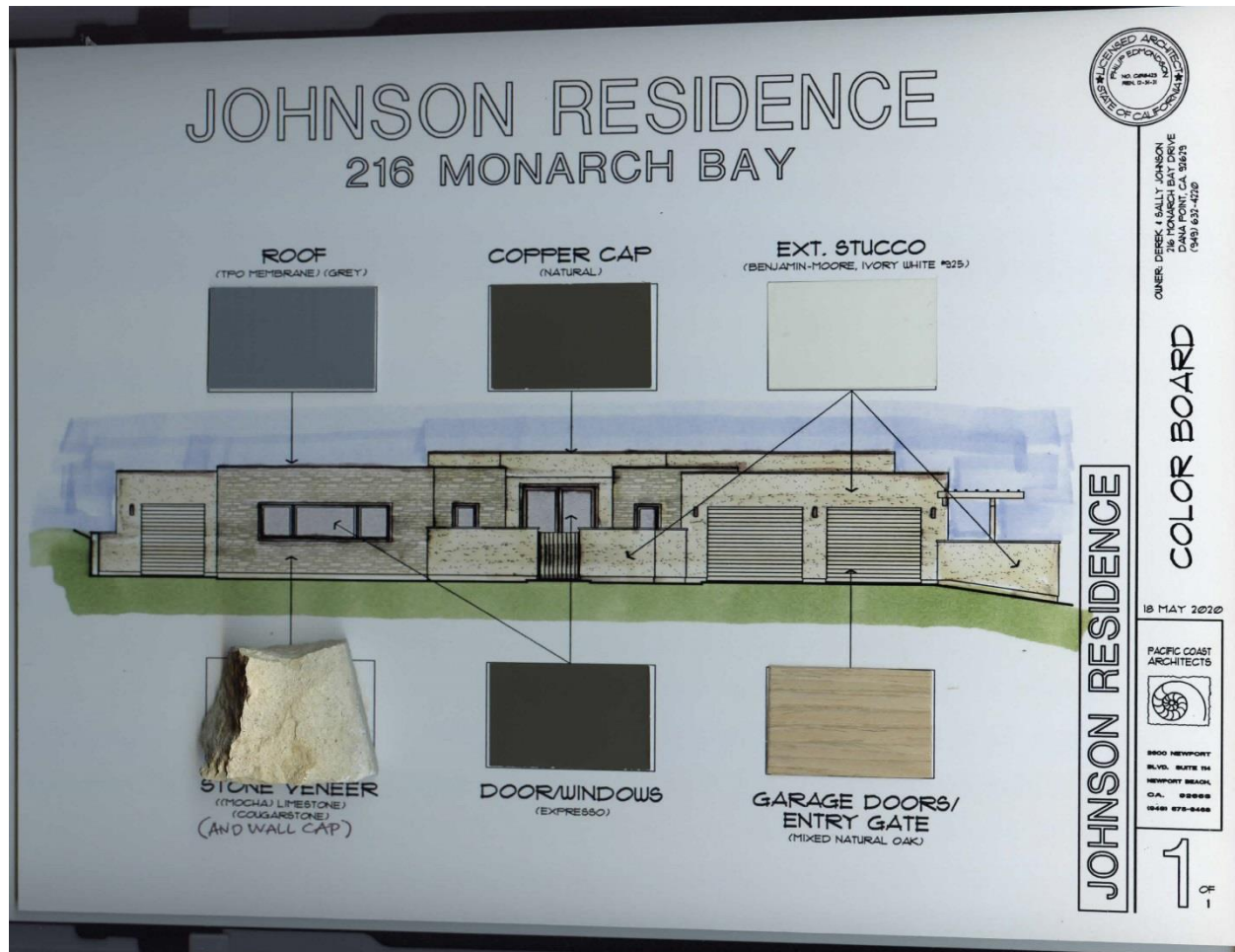
216 Monarch Bay Dr, CDP20-0015/SDP20-0019(M)



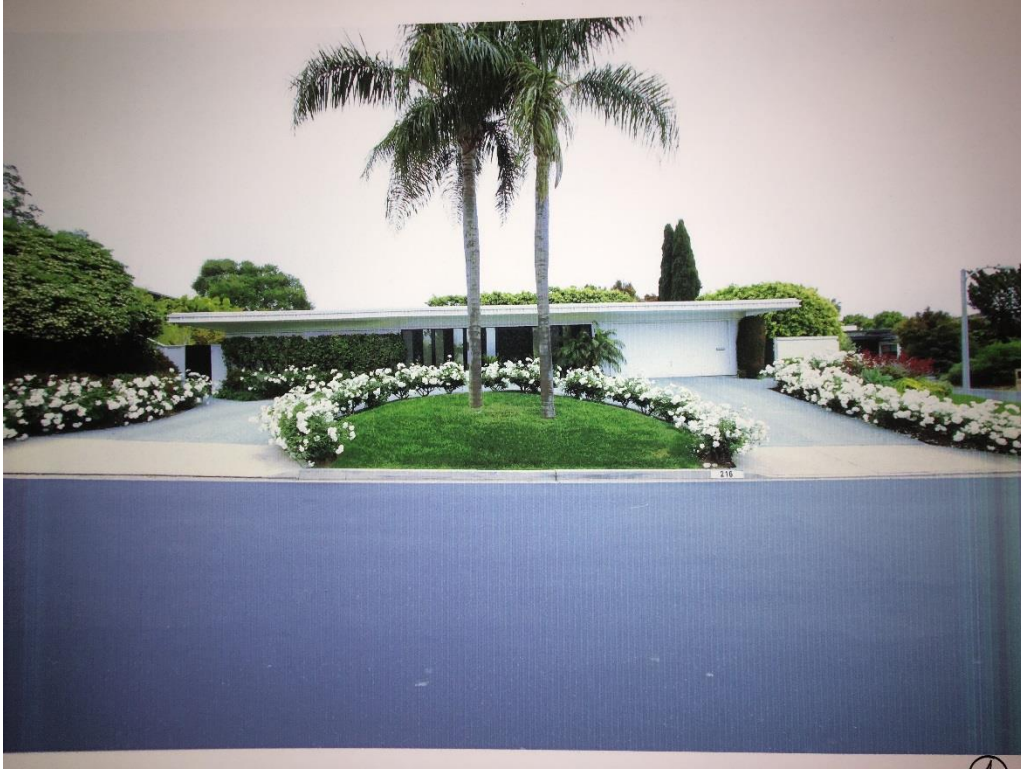
SUPPORTING DOCUMENT 3: Monarch Bay Association Approval Letter



SUPPORTING DOCUMENT 4: Sample Materials



SUPPORTING DOCUMENT 5: Site Photos





SUPPORTING DOCUMENT 6: Architectural Plans

ATTACHMENT

IMPROVEMENTS AT THE
JOHNSON RESIDENCE
216 MONARCH BAY DRIVE
(MONARCH BAY)
DANA POINT, CA. 92629



OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA. 92629
(949) 632-4220

TITLE SHEET W/ SITE PLAN

20 AUG 2020

PACIFIC COAST ARCHITECTS



2600 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 675-9488
FAX 675-8234

JOHNSON CDP

1

PROJECT DESCRIPTION:

CONSTRUCT PARAPET AT ENTIRE ROOF.
CONSTRUCT NEW GOLF CART GARAGE. ADD
NEW ENTRY/FOYER AREA W/ POWDER ROOM.
CONSTRUCT ADDITION TO MASTER SUITE &
ADDITION TO GARAGE. REMODEL INTERIOR
LAYOUT INCLUDING KITCHEN, DEN, REPLACE
ALL WINDOWS AND DOORS. CONSTRUCT NEW
WOOD TRELLIS AT SIDE YARD. CONSTRUCT
NEW RETAINING WALLS.

CITY NOTES:

1. PLANNING FINAL REQUIRED.
2. SETBACK CERTIFICATE REQUIRED.
3. BUILDING HEIGHT CERTIFICATE REQUIRED.

CODES:

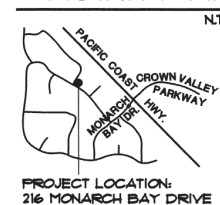
THIS PROJECT SHALL COMPLY WITH 2019
CALIFORNIA STANDARDS CODE.
(2019 CBC, CMC, CPC, AND CEC),
T-24 AND LOCAL ORDINANCES.

PROJECT DIRECTORY:

ARCHITECT: PACIFIC COAST ARCHITECTS
2600 NEWPORT BLVD, STE 114
NEWPORT BEACH, CA 92663
(949) 675-9488
ATTN: PHIL EDMONDSON

LAND SURVEYOR: SOUTH COAST SURVEYING
3214 CLAY ST.
NEWPORT BEACH, CA 92663
(949) 631-8840
ATTN: HENRY

VICINITY MAP



PROJECT LOCATION:
216 MONARCH BAY DRIVE

PROJECT DATA:

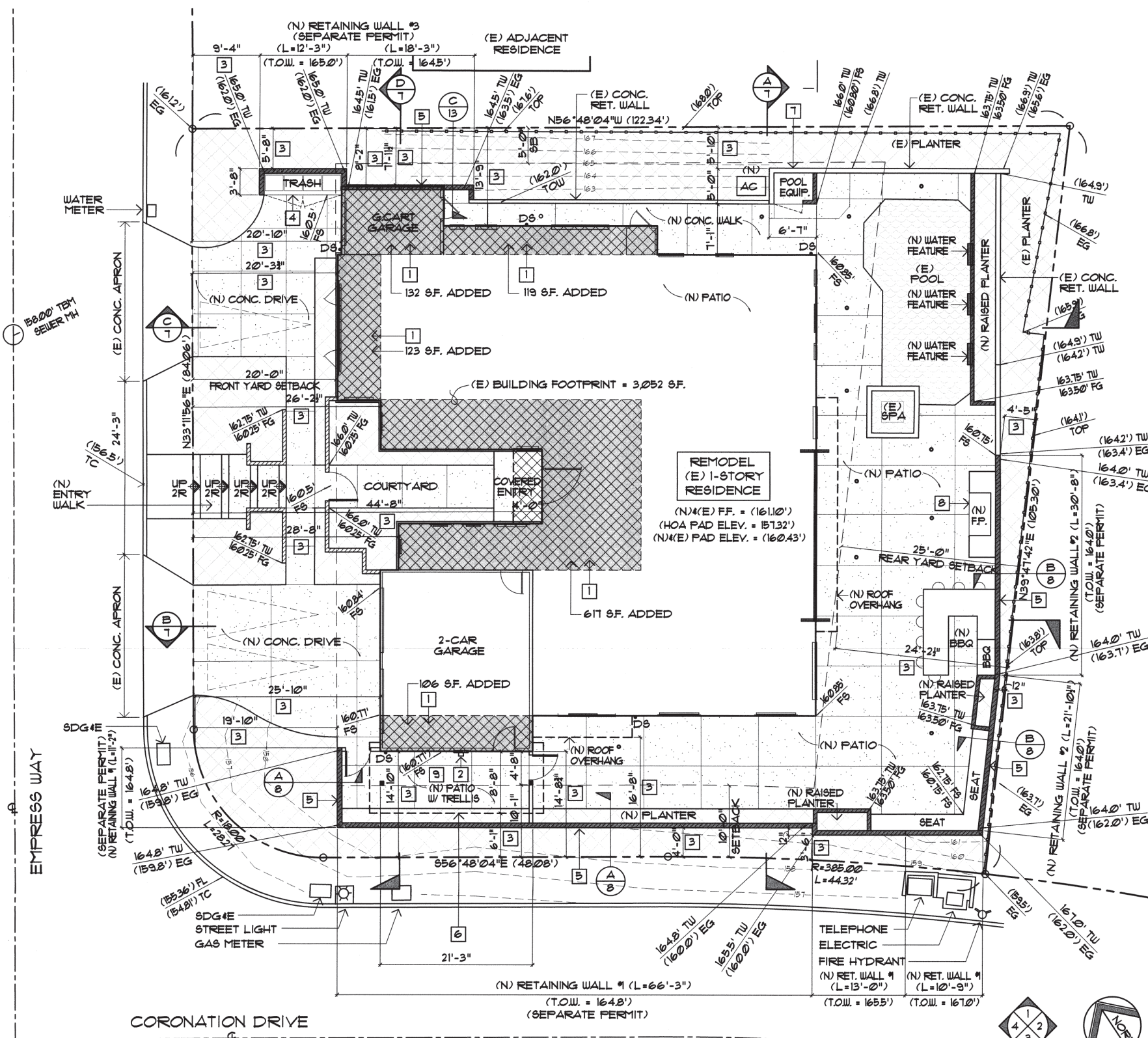
BUILDING TYPE _____ V-B, (FULLY SPRINKLERED)
OCCUPANCY TYPE _____ R-3 / U
ZONE _____ RSF-4
FRONT SETBACK (STREET) _____ 20'-0"
LEFT SIDE YARD SETBACK _____ 5'-0"
STREET SIDE YARD SETBACK _____ 10'-0"
REAR YARD SETBACK _____ 25'-0"
HEIGHT LIMIT _____ (10' H.O.A.) 28' MAX.
LOT AREA _____ 11,858 S.F.
ALLOWABLE LOT COVERAGE CITY (45%) _____ 5,336 S.F.
ALLOWABLE LOT COVERAGE HOA (40%) _____ 4,743 S.F.
MIN. LANDSCAPE AREA REQUIRED (25%) _____ 2,964 S.F.
PROPOSED LANDSCAPE AREA _____ 3,008 S.F.

EXISTING FLOOR AREA _____ 2,662 S.F.
EXISTING GARAGE _____ 390 S.F.
EXISTING GROSS S.F. _____ 3,052 S.F.
EXISTING BUILDING FOOTPRINT _____ 3,052 S.F.
EXISTING LOT COVERAGE _____ 3,052 S.F.
(26% OF LOT COVERAGE, 40% ALLOWED)

PROPOSED FLOOR AREA ADDITION _____ 859 S.F.
PROPOSED GARAGE CONVERTED TO FLOOR AREA _____ 11 S.F.
PROPOSED FLOOR AREA CONVERTED TO GARAGE _____ 53 S.F.
PROPOSED FLOOR AREA _____ 3,479 S.F.
PROPOSED GARAGE ADDITION _____ 239 S.F.
PROPOSED GARAGE (INCLUDES GOLF CART) _____ 671 S.F.
PROPOSED GROSS S.F. _____ 4,150 S.F.
PROPOSED BUILDING FOOTPRINT _____ 4,150 S.F.
PROPOSED COVERED ENTRY _____ 43 S.F.
PROPOSED LOT COVERAGE _____ 4,193 S.F.
(35.5% OF LOT COVERAGE, 40% ALLOWED)

LIST OF DRAWINGS:

1. TITLE SHEET W/ SITE PLAN
2. SITE SURVEY
3. ROOF PLAN & EXISTING FLOOR PLAN
W/ AREA CALCULATIONS
4. PROPOSED FLOOR PLAN
5. EXTERIOR ELEVATIONS
6. EXTERIOR ELEVATIONS
7. BUILDING SECTIONS W/ SITE CROSS SECTIONS
8. RETAINING WALL ELEVATIONS AND SECTIONS
9. LOT COVERAGE CALCULATIONS
10. DEMOLITION PLANS
11. PRECISE GRADING PLAN (REFERENCE ONLY)
12. PUBLIC WORKS CONDITIONS OF APPROVAL



SITE PLAN LEGAL DESCRIPTION: LOT 11, TRACT 3148, CITY OF DANA POINT (APN# 670-121-11)

SITE PLAN NOTES:

1. AREA OF PROPOSED ADDITION
(FF. = 1611', PAD = 16043') (FOR GARAGE PAD REFER
TO SHT. 4)
2. (N) 400 AMP PANEL.
3. THIS DIMENSION IS FROM PROPOSED ADDITION,
IMPROVEMENTS OR ROOF OVERHANG TO
PROPERTY LINE.
4. (N) SCREENED TRASH AREA, W/ WOODEN GATES.
5. (N) RETAINING WALL, (SEPARATE PERMIT).
6. (N) WOOD TRELLIS, OPEN 50% SO AS TO NOT COUNT
TOWARD H.O.A. LOT COVERAGE.
7. REMODEL THIS (E) POOL EQUIPMENT SHED. REMOVE
ROOF AND REDUCE SIZE PER PLAN.
8. (N) FIREPLACE

SITE PLAN GENERAL NOTES:

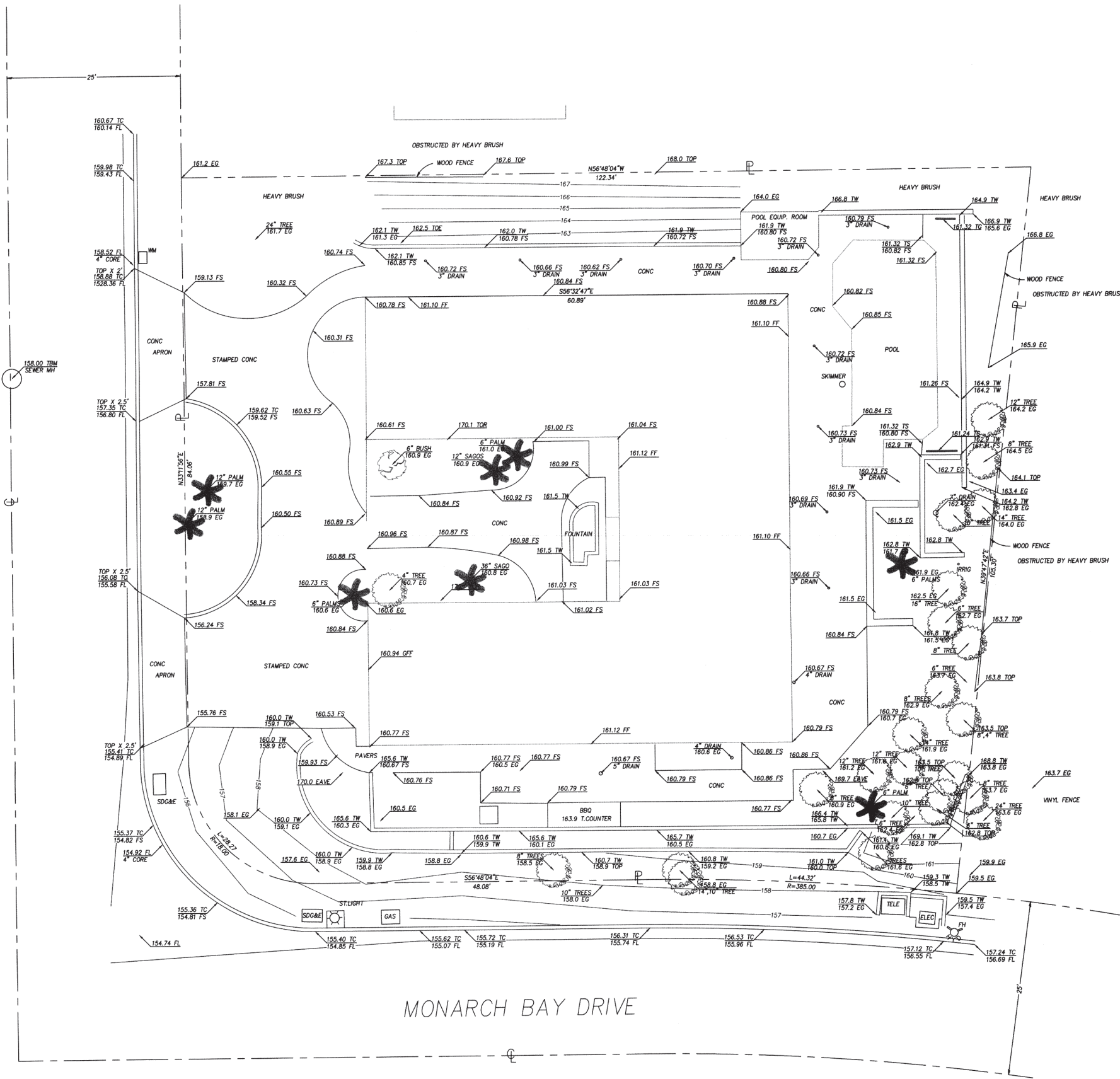
1. FOR SITE DRAINAGE REFER TO REFERENCE ONLY
PRECISE GRADING PLAN, SHT 11.
2. FOR LANDSCAPING SCOPE REFER TO ATTACHED
LANDSCAPE PLANS.
(SEPARATE PERMIT)

SITE PLAN LEGEND:

- AREA OF PROPOSED ADDITION
- (N) LANDSCAPE AREA
- (N) HARDSCAPE AREA
- (E) WALLS
- (N) CONC. WALL
(SEPARATE PERMIT)
- (N) CONC. RETAINING WALL
W/ (N) STUCCO TO MATCH (E)
(SEPARATE PERMIT EXCEPT
GOLF CART GARAGE WALL)
- PROPERTY LINE
- EXISTING CONTOURS
- (E) WOOD FENCE

SCALE = 1/8" = 1'-0"

MONARCH BAY DRIVE



LEGEND

- TC = TOP CURB
FL = FLOW LINE
FS = FINISH SURFACE
TS = TOP STEP
EG = EXISTING GROUND
TW = TOP WALL
TP = TOP PLANTER
TOP = TOP SLOPE
TOE = TOE SLOPE
FF = FINISH FLOOR
GFF = GARAGE FINISH FLOOR
TOR = TOP ROOF
BW = BACK WALK
SOD = SEWER CLEANOUT
PP = POWER POLE
WV = WATER VALVE
WM = WATER METER
TBM = TEMPORARY BENCHMARK
S.F.N. = SEARCHED FOUND NOTHING
CL = CENTERLINE
P = PROPERTY LINE



TOPOGRAPHIC MAP

8 SCALE	LOT 11 TRACT NO. 3748
DECEMBER 2019	
216 MONARCH BAY DRIVE DANA POINT CA.	
OCS BENCHMARK 3P-35-04 ELEV. = 156.96 NAVD88 DATUM	
SOUTH COAST SURVEYING 3214 CLAY ST. NEWPORT BEACH CA. (949)631-8840	

OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

SITE SURVEY

20 AUG 2020

JOHNSON • CDP

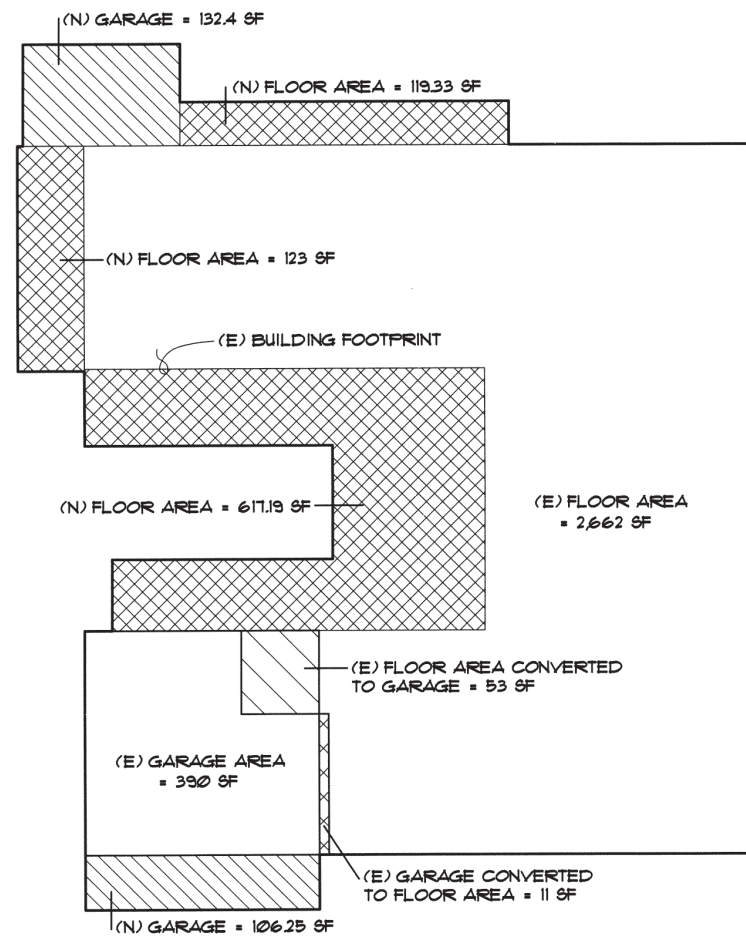
PACIFIC COAST ARCHITECTS



2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 675-9488
FAX 675-8234

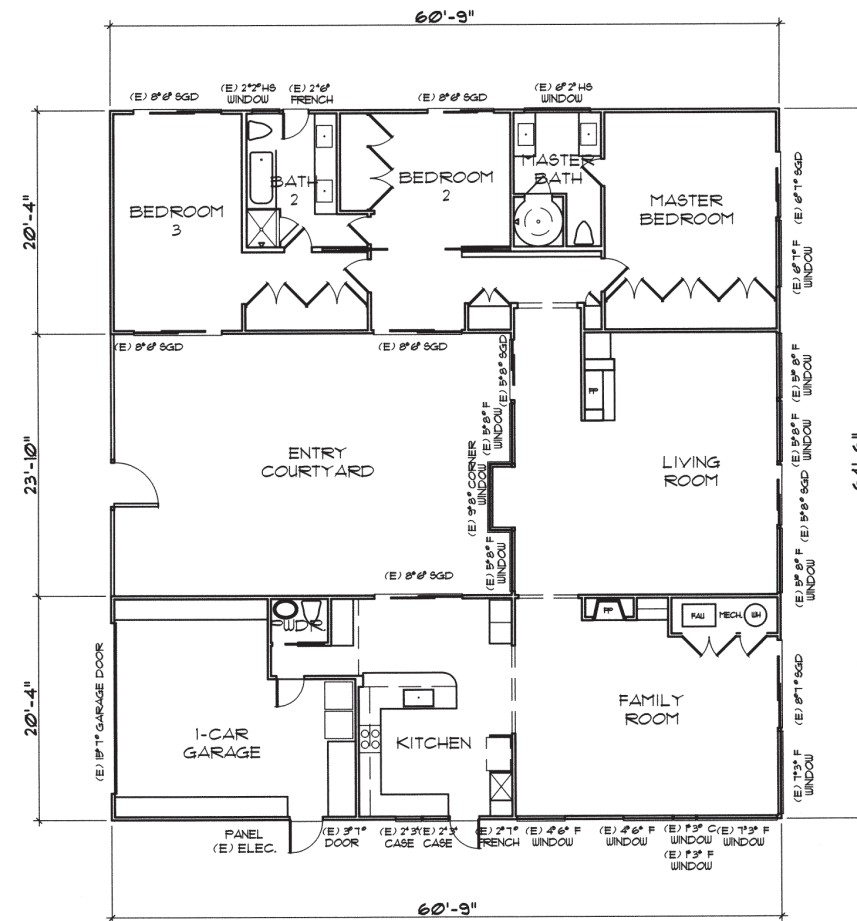
2

BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN
ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAT UPON COMPLETION
OF A BOUNDARY SURVEY.



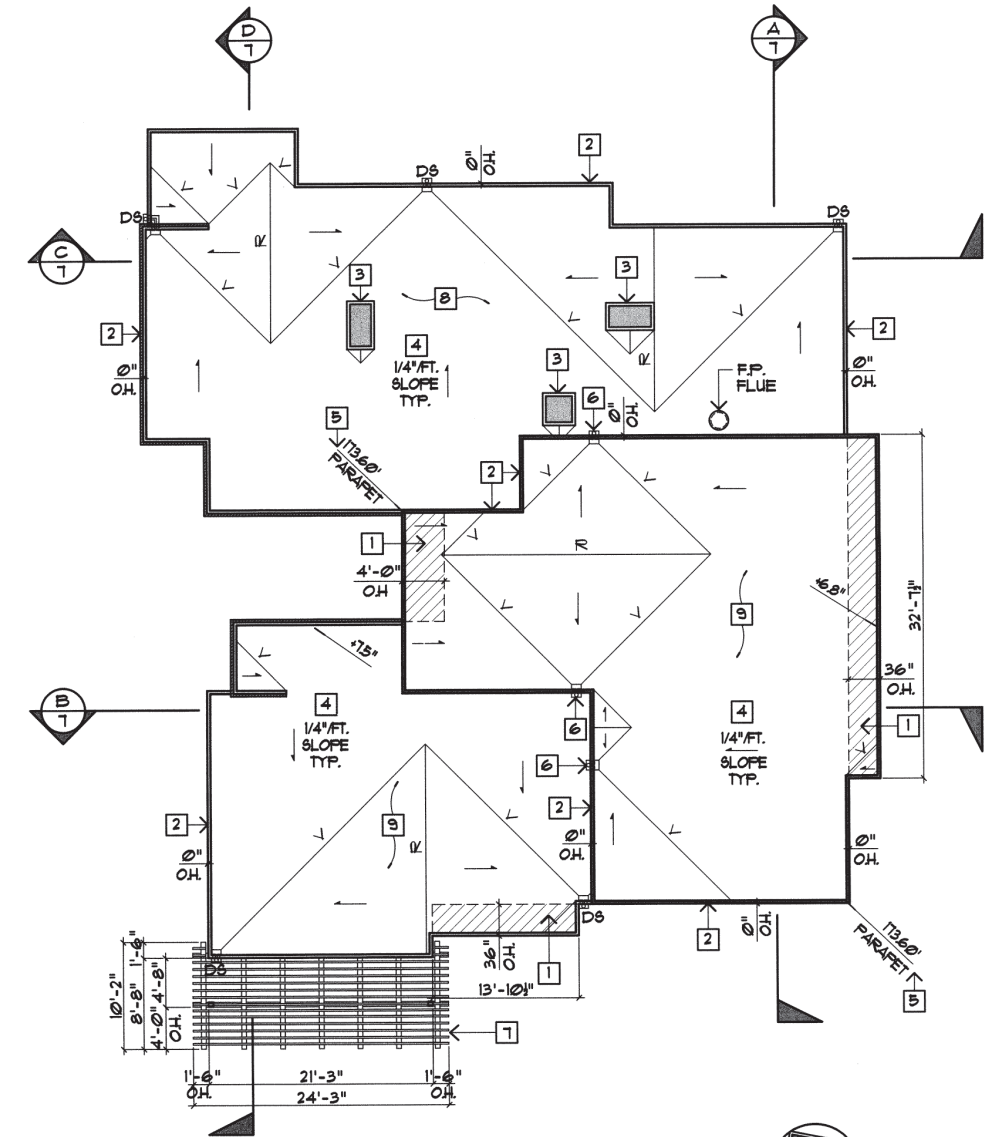
AREA CALCULATIONS

SCALE: 1/8"=1'-0"



EXISTING FLOOR PLAN

SCALE: 1/8"=1'-0"






PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"

□ ROOF PLAN NOTES:

1. (N) 36" ROOF OVERHANG AS NOTED.
2. (N) 'ZERO' (Ø)" ROOF OVERHANG
3. (N) FIXED SKYLIGHT/DARK BRONZE ANODIZED ALUM. FRAME W/ SOLAR BRONZE GLASS, NON REFLECTIVE. NO UPLIGHTING FROM BELOW SKYLIGHT WILL BE ALLOWED. MANUF.: BRISTOLITE, ESR-317T. (FIXED)
4. (N) T.P.O. MEMBRANE ROOFING, MANUF.: GAF.
5. THIS PARAPET @ 17360' IS THE HIGHEST POINT OF ROOF.
6. (N) ROOF DRAIN/OVERFLOW OUTLETS TO ROOF BELOW.
7. (N) WOOD TRELLIS, (50% OPEN).
8. NO SOLAR PANELS ON THIS ROOF PER H.O.A. APPROVAL.
9. SOLAR PANELS AT THIS ROOF AREA.

LEGEND:

-  ■ (N) PARAPET
 ■ (N) PARAPET
 AT ROOF OVERHANG
 ■ (N) PARAPET W/
 STONE VENEER

 R ■ RIDGE
 H ■ HIP
 V ■ VALLEY
 DS ■ DOWNSPOUT
 O.H. ■ OVERHANG

AREA DATA:

EXISTING TOTAL FLOOR AREA _____ 2,662 SF.

EXISTING GARAGE _____ 390 SF.

EXISTING GROSS SF. _____ 3,052 SF.

PROPOSED ADDITION TO FLOOR AREA _____ 859 SF.

PROPOSED FLOOR AREA CONVERTED TO GARAGE _____ 53 SF.

PROPOSED GARAGE CONVERTED TO FLOOR AREA _____ 11 SF.

PROPOSED TOTAL FLOOR AREA _____ 3,479 SF.

PROPOSED GARAGE ADDITION _____ 239 SF.

PROPOSED TOTAL GARAGE _____ 671 SF.

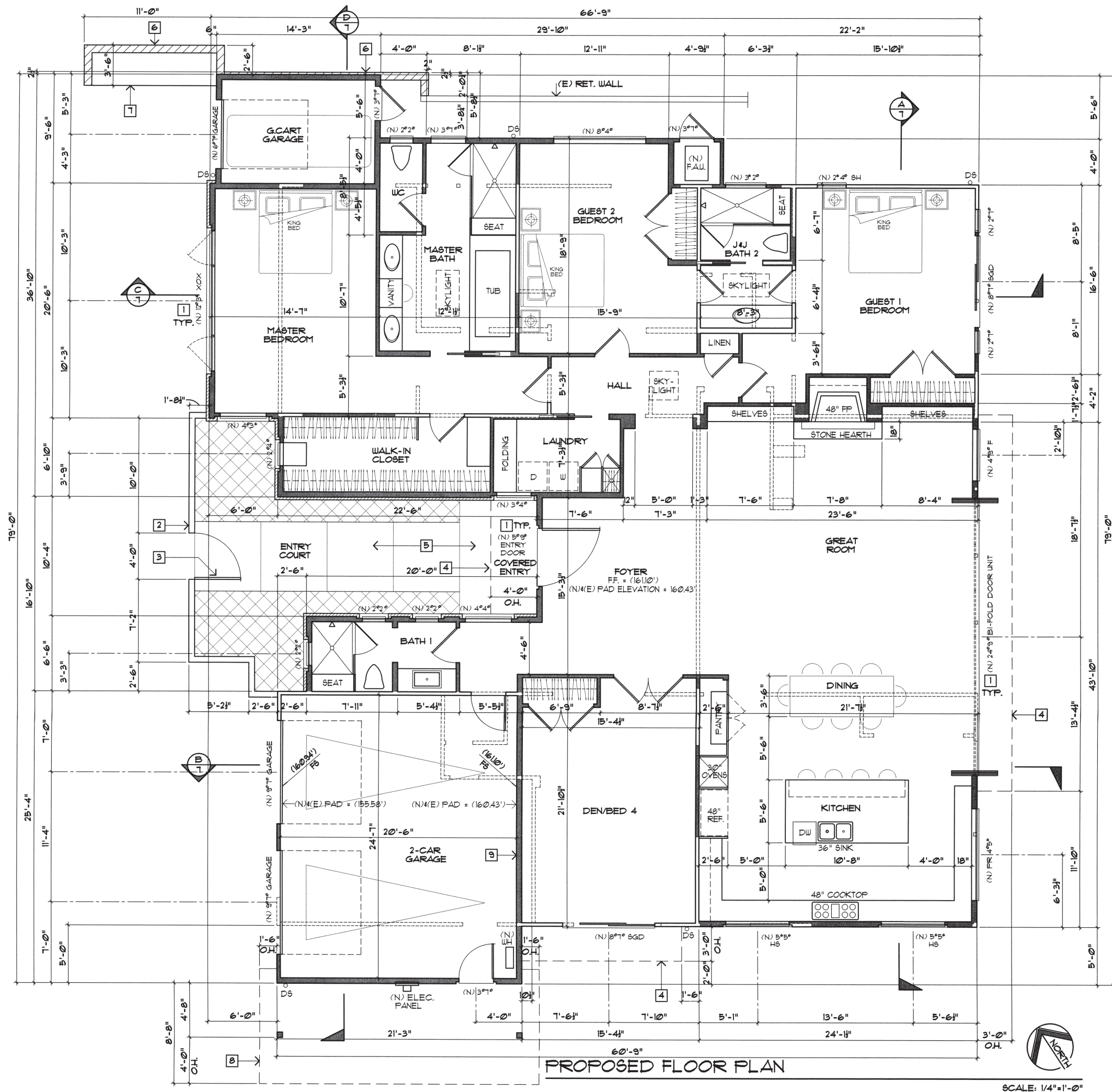
PROPOSED GROSS SF. _____ 4,150 SF.

FLOOR AREA ADDITIONS:
119.33 SF. + 123.0 SF. + 617.19 SF. = 859.19 SF.

FLOOR AREA:
(E) FLOOR AREA = 2,662 SF.
(E) FLOOR AREA CONVERTED TO GARAGE = -53 SF.
(E) GARAGE CONVERTED TO FLOOR AREA = +11 SF.
(N) TOTAL ADDITIONS = 859 SF.
PROPOSED FLOOR AREA = 3,479 SF.

GARAGE:
(E) GARAGE = 390 SF.
(E) FLOOR AREA CONVERTED TO GARAGE = +53 SF.
(E) GARAGE CONVERTED TO FLOOR AREA = -11 SF.
(N) GOLF CART GARAGE = 132.4 SF.
(N) ADDITION TO (E) GARAGE = 106.25
(N) TOTAL GARAGE ADDITIONS = 238.65 SF.
PROPOSED GARAGE = 611 SF.

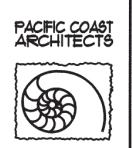




OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

PROPOSED FLOOR PLAN

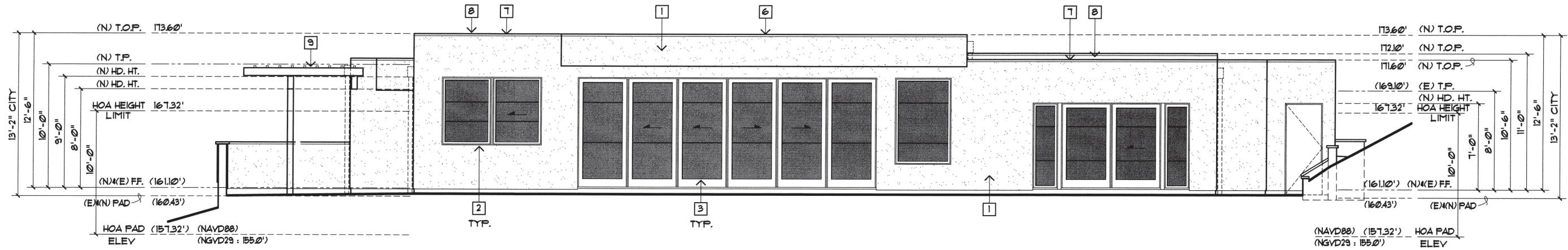
20 AUG 2020



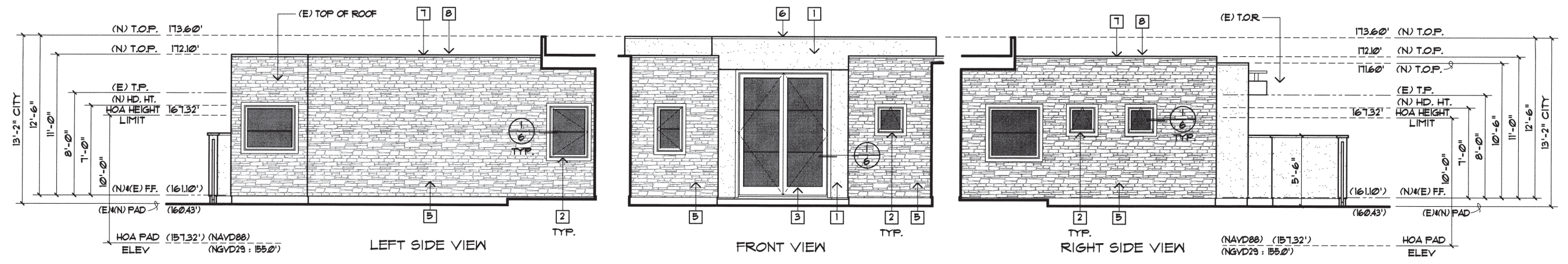
2800 NEWPORT BLVD. SUITE 114
NEWPORT BEACH, CA 92663
(949) 675-8468
FAX 675-8234

JOHNSON CDP

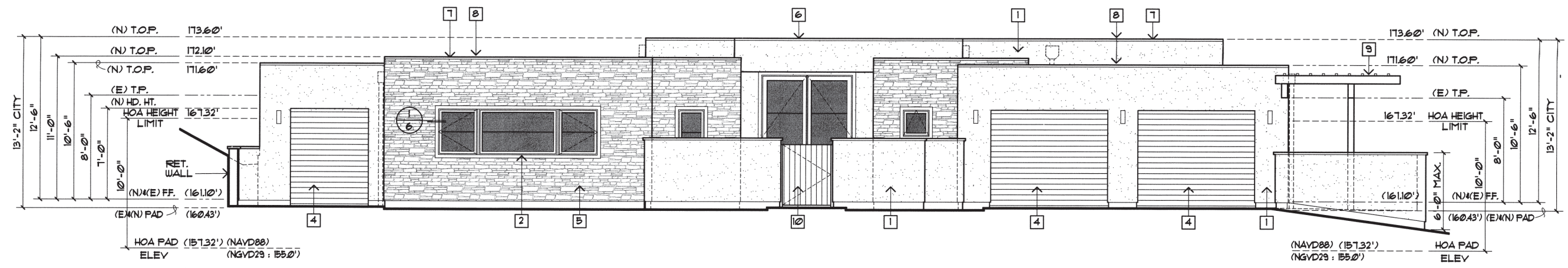
4



REAR ELEVATION



ENTRY COURTYARD ELEVATIONS



FRONT ELEVATION

NOTE: ALL NEW MATERIALS AND COLORS ARE PER H.O.A. COLOR BOARD.

ELEVATION NOTES:

- (N) STUCCO, COLOR & TEXTURE TO MATCH (E) STUCCO.
- (N) WINDOW, METAL CLAD.
- (N) DOOR, METAL CLAD.
- (N) GARAGE DOOR.
- (N) STONE VENEER.
- (N) PARAPET W/ OVERHANG AT ROOF, STUCCO TO MATCH.
- (N) PARAPET ABOVE WALL W/ ZERO' (0") OVERHANG.
- (N) ROOF AREA BEHIND PARAPET TO BE TPO MEMBRANE ROOFING.
- (N) WOOD TRELLIS, MORE THAN 50% OPEN FOR HOA CRITERIA.
- (N) WOOD GATE.



OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

EXTERIOR ELEVATIONS

20 AUG 2020

PACIFIC COAST ARCHITECTS



2800 NEWPORT BLVD. SUITE 114
NEWPORT BEACH, CA 92663
(949) 675-9468
FAX 675-8234

JOHNSON ■ CDP

5



OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

EXTERIOR ELEVATIONS

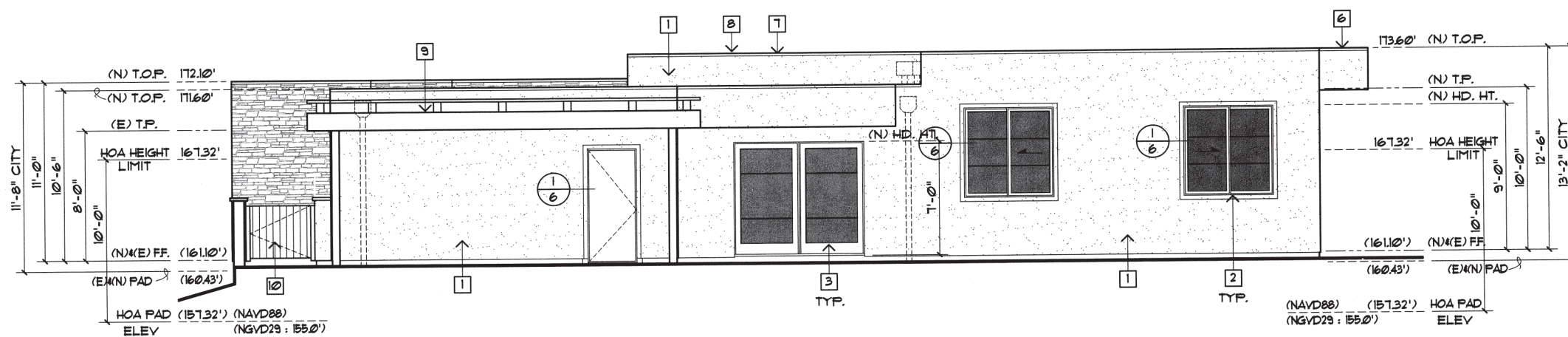
20 AUG 2020

PACIFIC COAST
ARCHITECTS



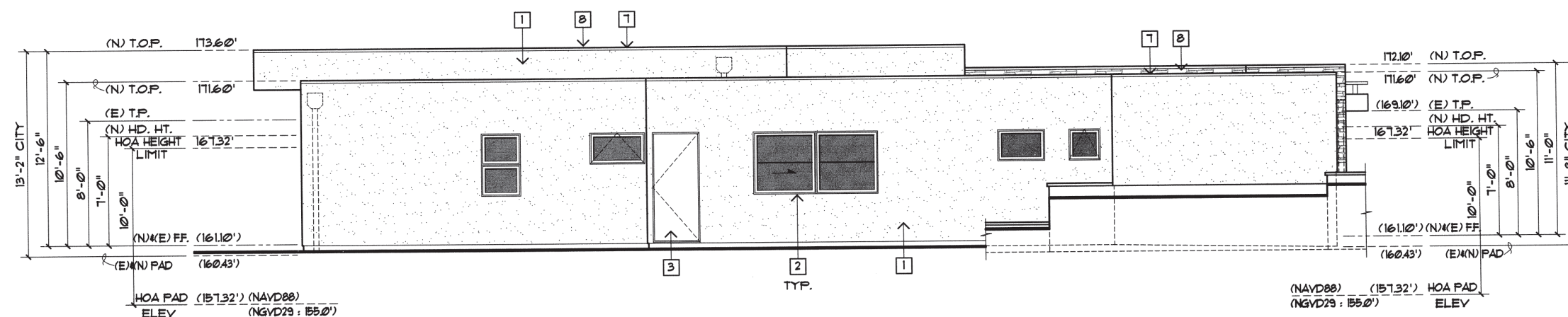
2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA 92663
(949) 675-9488
FAX 675-8234

JOHNSON CDP



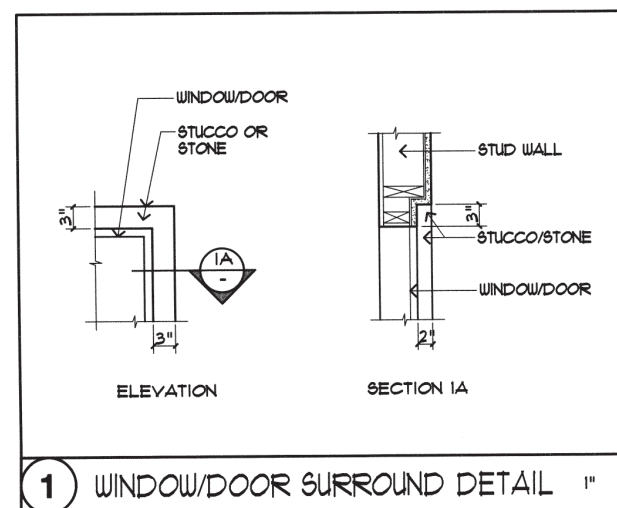
RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

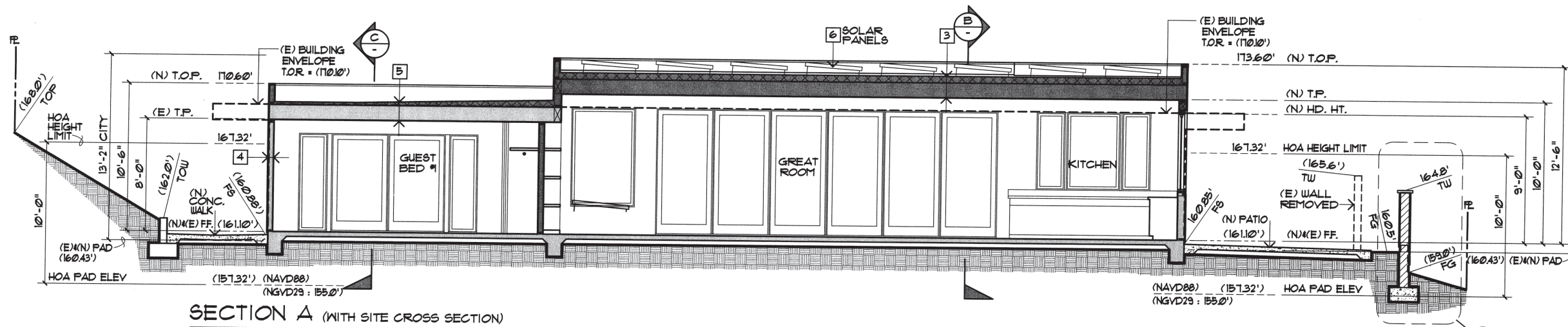
SCALE: 1/4"=1'-0"



ELEVATION NOTES:

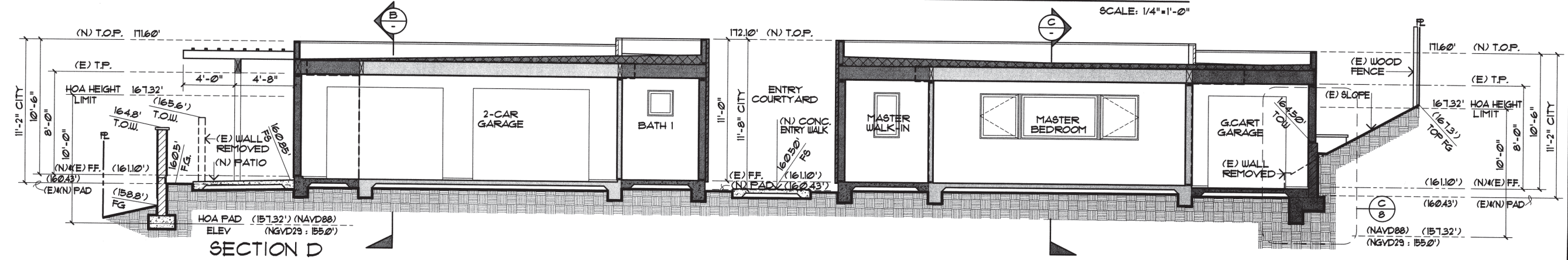
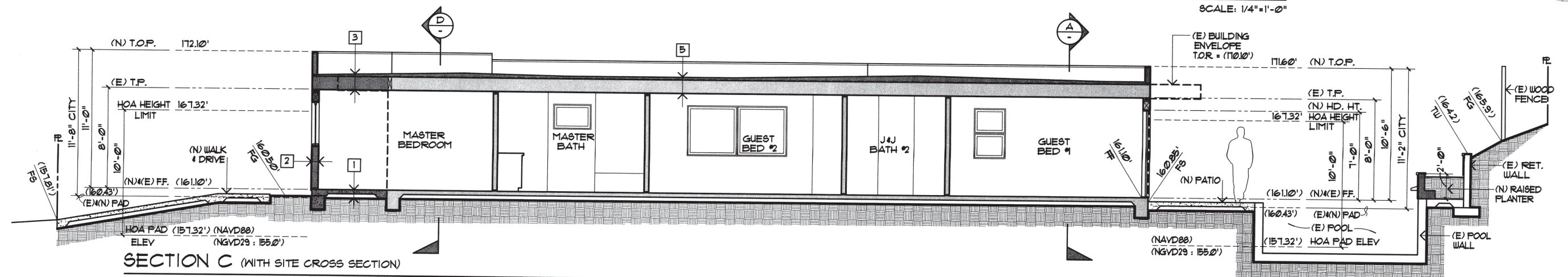
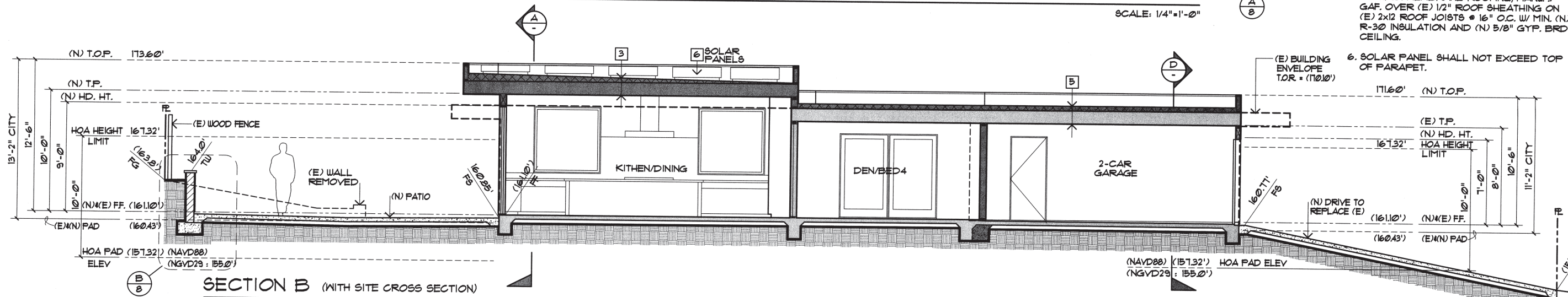
1. (N) STUCCO, COLOR & TEXTURE TO MATCH (E) STUCCO.
2. (N) WINDOW, METAL CLAD.
3. (N) DOOR, METAL CLAD.
4. (N) GARAGE DOOR.
5. (N) STONE VENEER.
6. (N) PARAPET W/ OVERHANG AT ROOF, STUCCO TO MATCH.
7. (N) PARAPET ABOVE WALL W/ ZERO' (0") OVERHANG.
8. (N) ROOF AREA BEHIND PARAPET TO BE TPO MEMBRANE ROOFING.
9. (N) WOOD TRELLIS, MORE THAN 50% OPEN FOR HOA CRITERIA.
10. (N) WOOD GATE.

NOTE: ALL NEW MATERIALS
AND COLORS ARE
PER H.O.A. COLOR
BOARD.



SECTION NOTES:

- (N) CONCRETE SLAB (PER STRUCTURAL DETAILS) OVER 2" CLEAN SAND OVER 15 MIL. VAPOR MOISTURE BARRIER, WITH ALL LAPS SEALED, OVER 4" OF 3/4" GRAVEL (CAPILLARY BREAK).
- (N) 2x6 STUDS @ 16" O.C. W/ R-19 CLOSED CELL INSULATION W/ 5/8" GYP. BRD. AT INTERIOR.
- (N) T.P.O. MEMBRANE ROOFING, MANUF. GAF. OVER (N) 1/2" ROOF SHEATHING ON (N) 16" TJI ROOF JOIST @ 12" O.C. W/ MIN. R-30 INSULATION AND 5/8" GYP. BRD. CEILING.
- (E) 2x4 STUDS @ 16" O.C. W/ (N) R-19 CLOSED CELL INSULATION AND (N) 5/8" GYP. BRD. AT INTERIOR.
- (N) T.P.O. MEMBRANE ROOFING, MANUF. GAF. OVER (E) 1/2" ROOF SHEATHING ON (E) 2x12 ROOF JOISTS @ 16" O.C. W/ MIN. (N) R-30 INSULATION AND (N) 5/8" GYP. BRD. CEILING.
- SOLAR PANEL SHALL NOT EXCEED TOP OF PARAPET.



OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

BUILDING SECTIONS W/ SITE CROSS SECTIONS

20 AUG 2020

PACIFIC COAST
ARCHITECTS



2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 675-9488
FAX 675-8234

JOHNSON CDP



OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

RETAINING WALL ELEVATIONS AND SECTIONS

20 AUG 2020

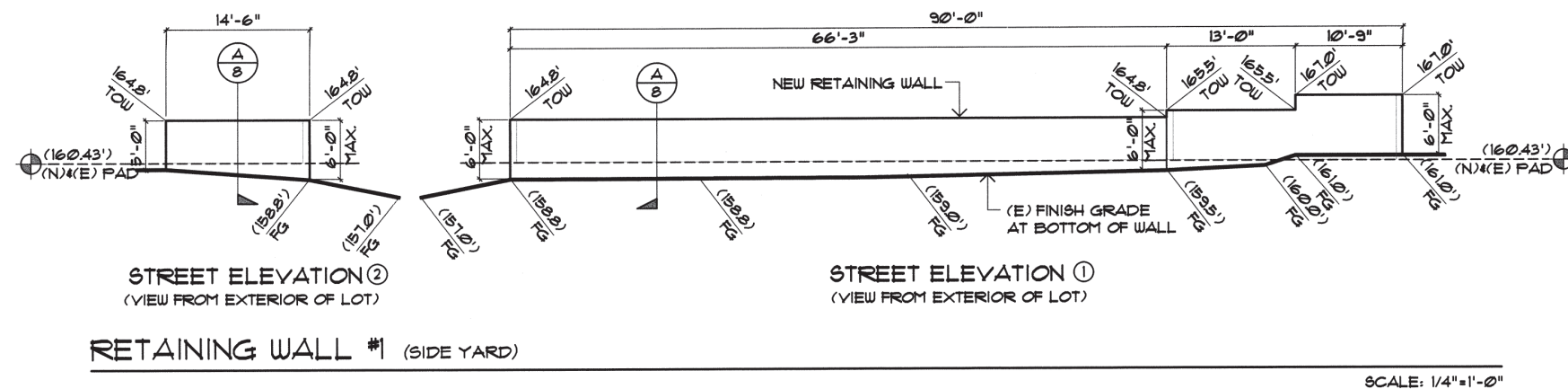
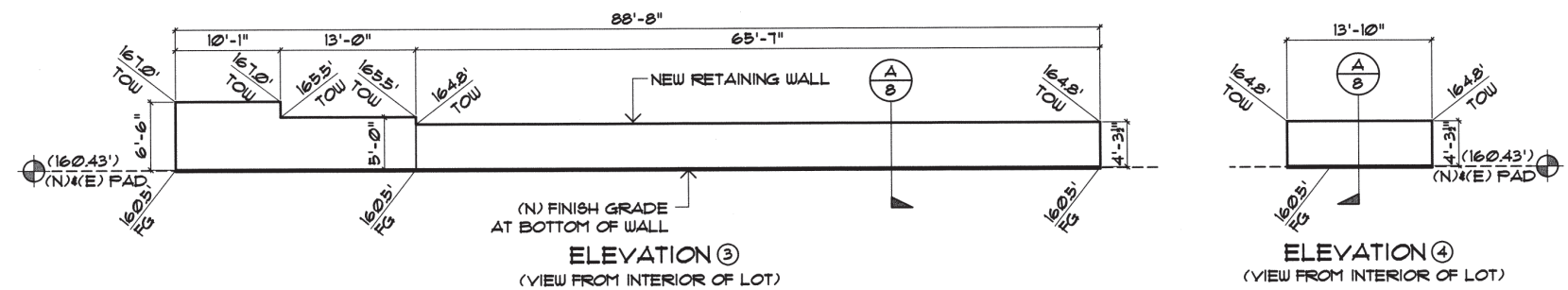
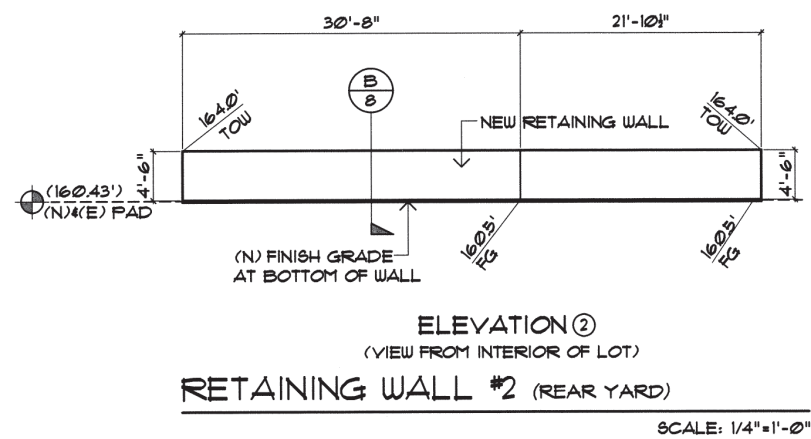
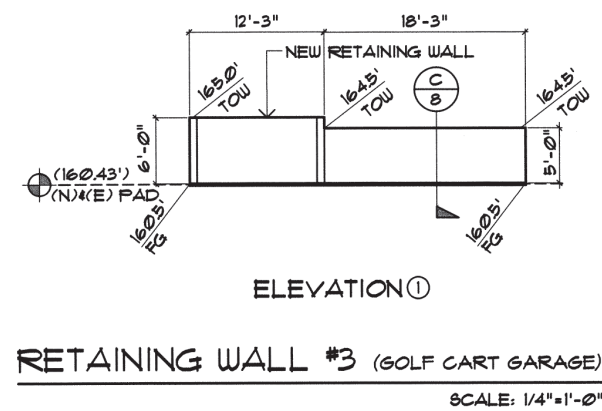
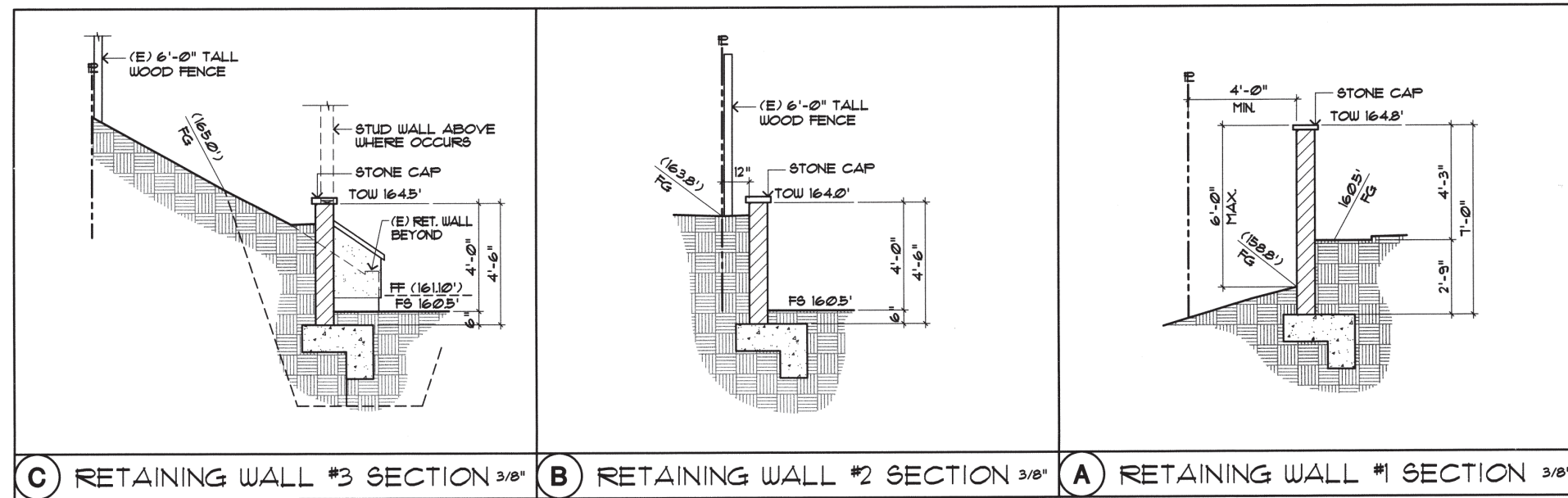
PACIFIC COAST
ARCHITECTS



2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 675-9468
FAX 675-8234

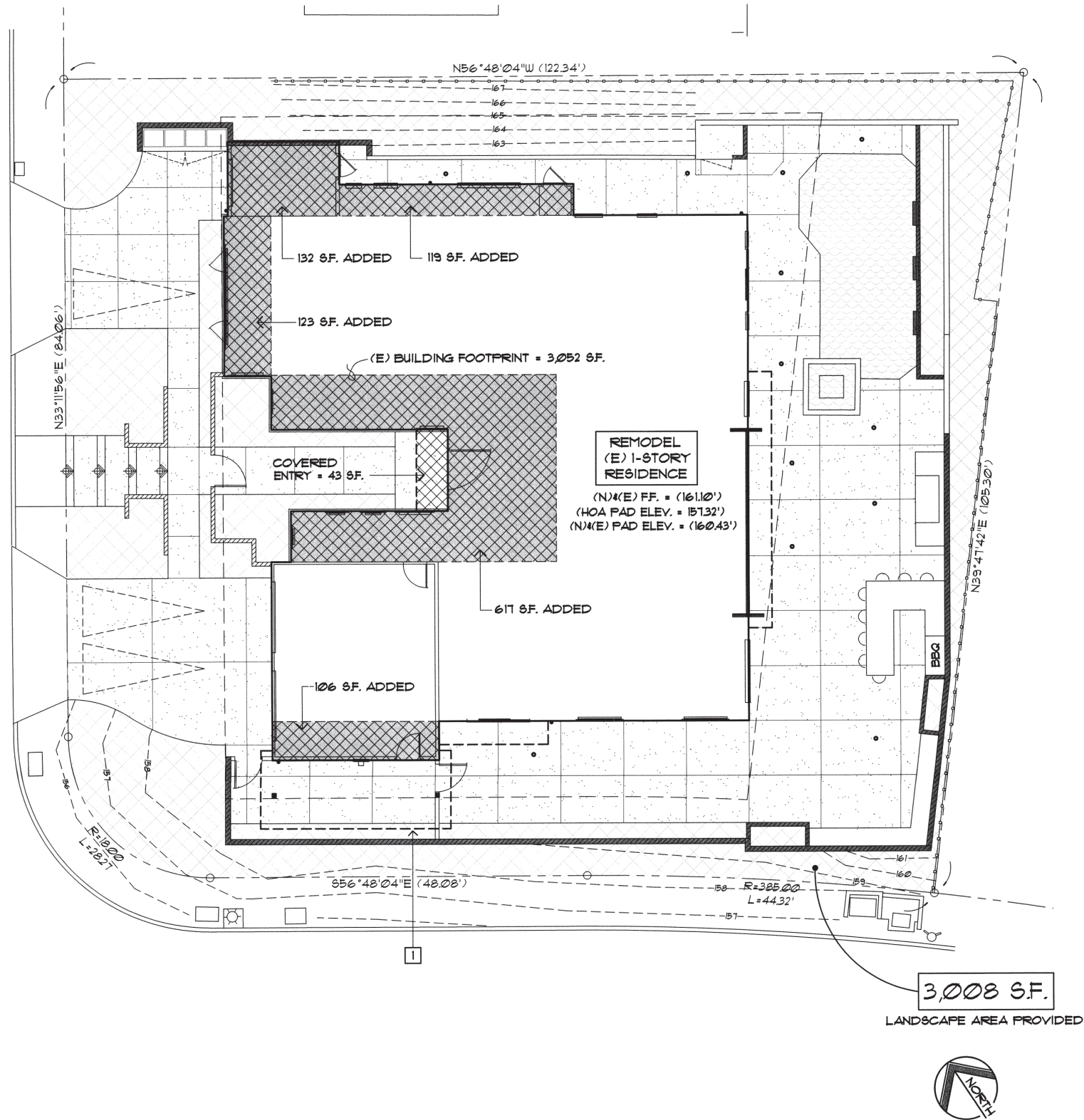


JOHNSON & CDP



STREET ELEVATION 2
(VIEW FROM EXTERIOR OF LOT)

STREET ELEVATION 1
(VIEW FROM EXTERIOR OF LOT)



LOT COVERAGE CALCULATIONS

SCALE = 1/8" = 1'-0"

LOT COVERAGE DATA:

LOT AREA	11,858 S.F.
ALLOWABLE LOT COVERAGE CITY (45%)	5,336 S.F.
ALLOWABLE LOT COVERAGE HOA (40%)	4,743 S.F.
MIN. LANDSCAPE AREA REQUIRED (25%)	2,964 S.F.
EXISTING LOT COVERAGE (26% OF LOT COVERAGE, 40% ALLOWED)	3,052 S.F.
PROPOSED LOT COVERAGE (35.5% OF LOT COVERAGE, 40% ALLOWED)	4,193 S.F.

LOT LANDSCAPE AREA:

MIN. LANDSCAPE AREA REQUIRED (25%)	2,964 S.F.
LANDSCAPE AREA PROVIDED	3,008 S.F. (25.5%)

PLAN NOTE:

- THIS (N) TRELLIS IS OPEN 50% & THEREFORE DOES NOT = LOT COVERAGE. (HOA)



OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

LOT COVERAGE CALCULATIONS

20 AUG 2020

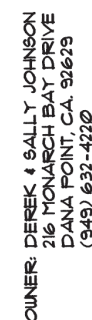
JOHNSON CDP

PACIFIC COAST ARCHITECTS



2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA 92663
(949) 675-9466
FAX 675-8234





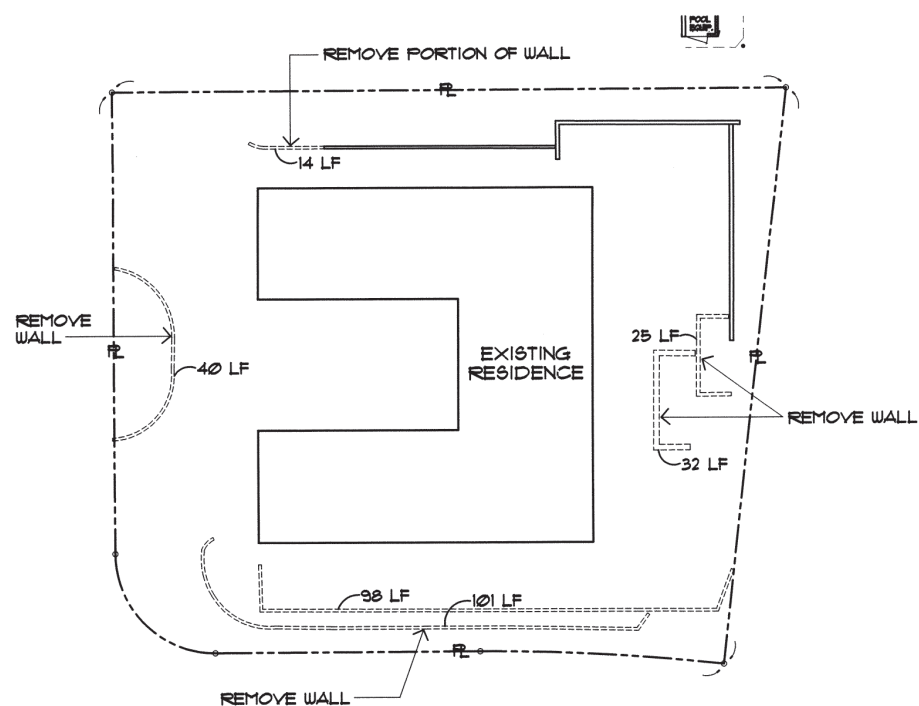
DEMOLITION PLANS

20 AUG 2020

PACIFIC COAST
ARCHITECTS

2600 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 675-9468
FAX 675-8234

10

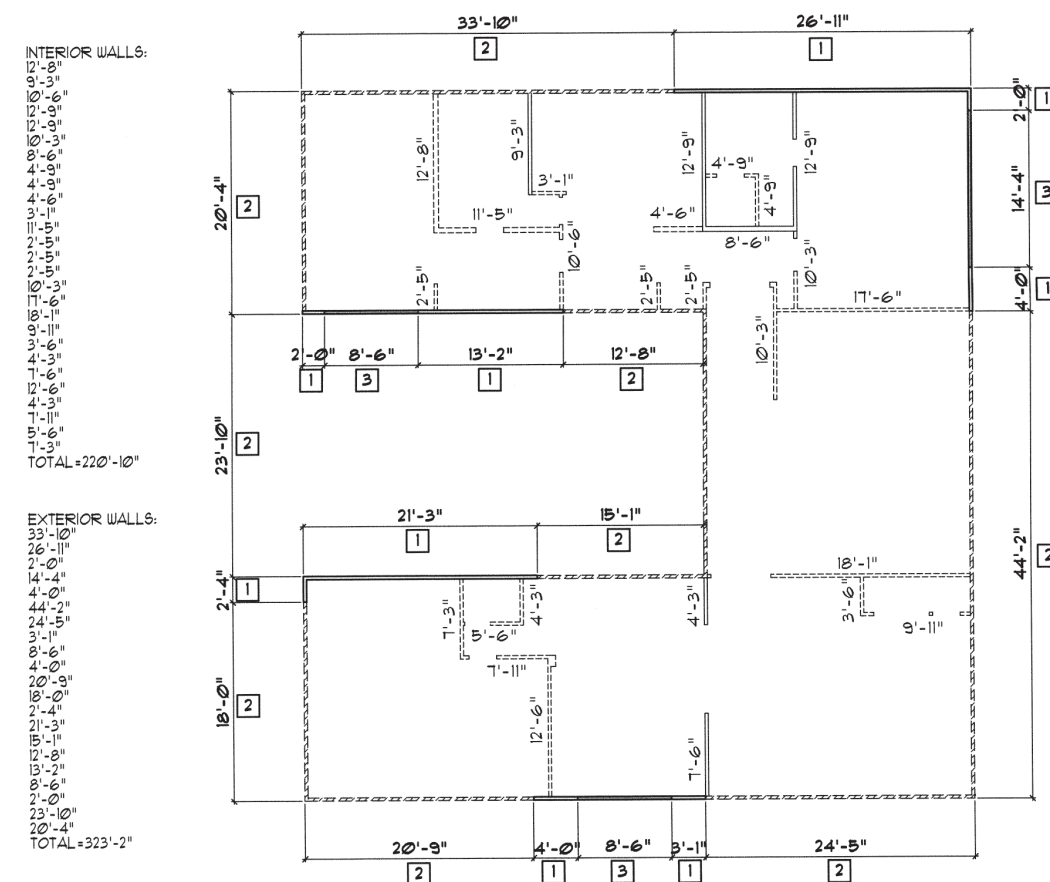


RETAINING WALL DEMOLITION PLAN

SCALE: 1/16"=1'-0"

RETAINING WALL CALCULATIONS:

TOTAL LINEAR LENGTH OF RETAINING WALLS TO BE REMOVED _____ 310'-0"



DEMOLITION FLOOR PLAN

SCALE: 1/8"=1'-0"

WALL CALCULATIONS:






INTERIOR WALLS TO BE REMOVED _____ (76%) 166'-10"
INTERIOR WALLS TO BE RECONSTRUCTED _____ (2%) 0'-0"
INTERIOR WALLS TO REMAIN _____ (24%) 54'-0"
TOTAL LINEAR LENGTH OF INTERIOR WALLS _____ 220'-10"

EXTERIOR WALLS TO BE REMOVED _____ (66%) 214'-1"
EXTERIOR WALLS TO BE RECONSTRUCTED _____ (10%) 31'-4"
EXTERIOR WALLS TO REMAIN _____ (24%) 77'-9"
TOTAL LINEAR LENGTH OF EXTERIOR WALLS _____ 323'-2"

☐ NOTES:

1. EXTERIOR WALL TO REMAIN.
2. EXTERIOR WALL TO BE REMOVED.
3. EXTERIOR WALL TO BE RECONSTRUCTED IN PLACE.

LEGEND:

-  ■ EXTERIOR WALL TO BE REMOVED.
 ■ EXTERIOR WALL TO REMAIN.
 ■ EXTERIOR WALL TO BE RECONSTRUCTED IN PLACE.
 ■ INTERIOR WALL TO BE REMOVED.
 ■ INTERIOR WALL TO REMAIN.



OWNER: DEREK & SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

PRECISE GRADING PLAN

20 AUG 2020

PACIFIC COAST
ARCHITECTS



2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA 92663
(949) 675-9468
FAX 675-9234

JOHNSON - CDP

11

REFERENCE ONLY.

GRADING LEGEND:

(TU)	EXISTING SPOT ELEVATION
(TI)	PROPOSED SPOT ELEVATION
TE	TOP OF WALL
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF CONC. SLAB
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FINISH SURFACE
DS	DOWNSPOUT
INL	INLET ELEVATION
INV	INVERT ELEVATION
FL	FLOW LINE
HI-PT	HIGH POINT
(E)	(E) SUBSURFACE DRAIN LINE
(S)	EXISTING CONTOURS
(S)	DIRECTION OF SLOPE
(S)	FLOW LINE ARROW
(S)	(E) DRAIN
(S)	(N) 4" DIA. ABS DRAINLINE
(S)	(N) 4" DIA. FRENCH DRAIN
(S)	(N) 6" DIA. DOME TOP ABS DRAIN INLET

BMP LEGEND:

BMP	TITLE
EC-2	PRESERVATION OF EXISTING VEGETATION
SE-6	GRAVEL BAG BERM
SE-7	STREET SWEEPING AND VACUUMING
WE-1	WIND EROSION CONTROL
NS-1	WATER CONSERVATION PRACTICES
UM-1	MATERIAL DELIVERY AND STORAGE
UM-2	MATERIAL USE
UM-3	STOCKPILE MANAGEMENT
UM-4	SPILL PREVENTION AND CONTROL
UM-5	SOLID WASTE MANAGEMENT
UM-6	CONCRETE WASTE MANAGEMENT
UM-9	SANITARY/SEPTIC WASTE MANAGEMENT
TC-1	ENTRANCE STABILIZATION

MISC. NOTES:

- ALL BMP'S SHALL BE INSTALLED IN ACCORDANCE WITH CORRESPONDING C.A.S.Q.A. BMP FACT SHEET.
- UTILIZE THIS PORTION OF THE SITE, (UM-3), FOR EARTH MATERIAL STORAGE DURING OVER-EXCAVATION PROCESS.

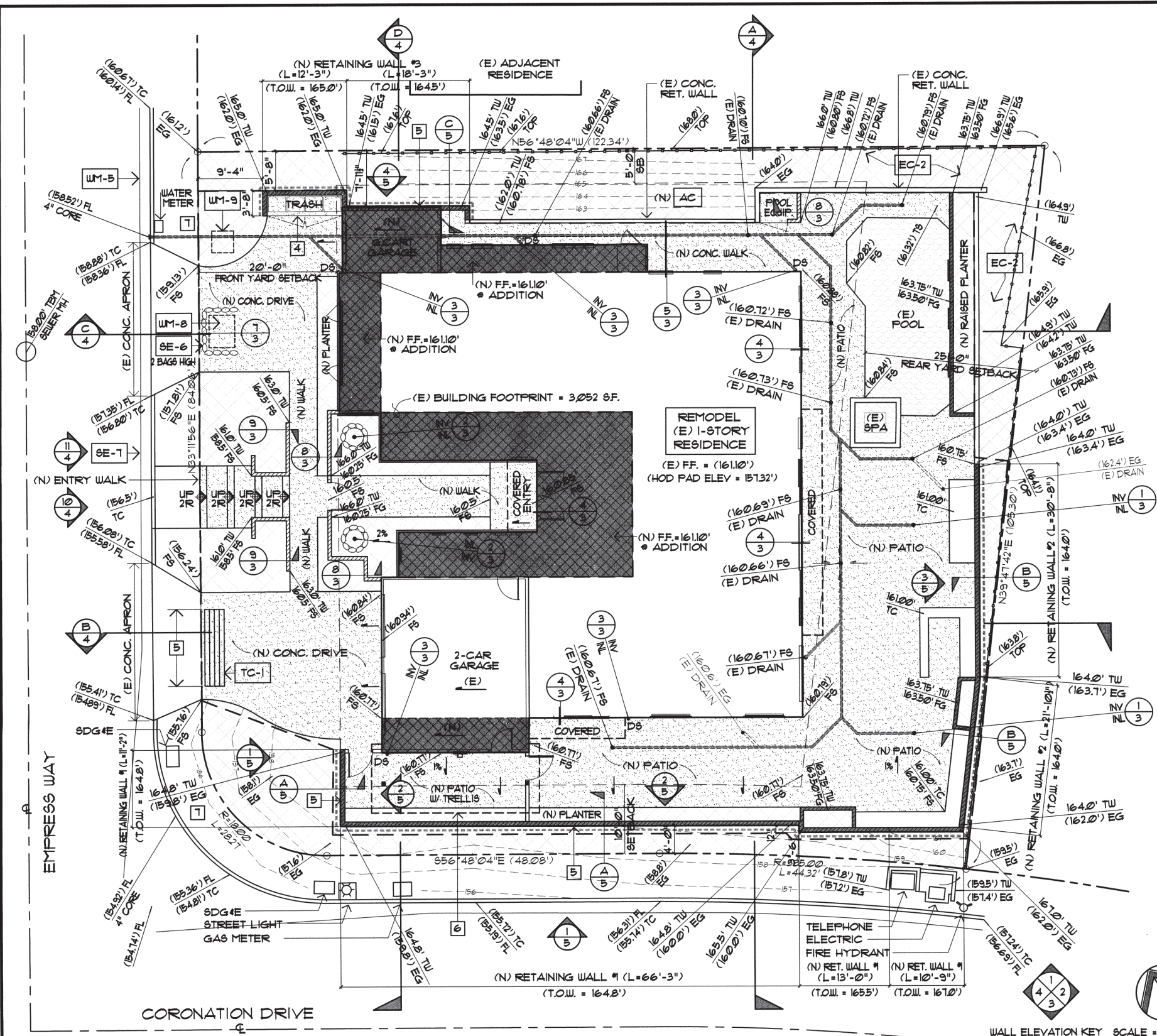
PLAN LEGEND:

(Hatched Box)	AREA OF PROPOSED ADDITION
(Dotted Box)	(N) LANDSCAPE AREA
(Cross-hatched Box)	(N) HARDSCAPE AREA
(Stippled Box)	(E) POOL OR (N) SPA
(Horizontal Lines)	(E) WALLS
(Vertical Lines)	(N) RETAINING WALL UNDER SEPARATE PERMIT (NOT ISSUED YET)
(Dashed Line)	PROPERTY LINE (SEE TOPO)
(Circle with X)	(N) GRAVEL BAGS PER SE-6
(Line with X)	(E) WOOD FENCE
(Thick Dashed Line)	LIMITS OF GRADING
(Box with AC)	PROPOSED AC UNIT

PLAN NOTES:

- (E) DRAINAGE TO REMAIN.
- (N) RETAINING WALL UNDER SEPARATE PERMIT. (BLD.).
- (N) CONTINUOUS TROUGH DRAIN.
- STEEL RUMBLE RACK OVER HEAVY SHAG CARPET ON (E) CONC. DRIVEWAY.
- CONSTRUCTION ACCESS IS LIMITED TO THIS (E) PAVED DRIVEWAY. TC-1 PROVISIONS MUST BE LOCATED AND SET IN FIELD TO PREVENT ALL MATERIAL FROM ENTERING STREET. ADDITIONAL WHEEL CLEANING AND BARRIERS MAY BE NEEDED SINCE ENTRANCE IS LOCATED ON CONCRETE.
- (CONNECT (N) SUBSURFACE DRAIN TO (E)).
- PROVIDE A LOW-FLOW INFILTRATION BOX AT THIS LOCATION, (PRIOR TO DISCARDING RUN OFF TO THE STREET), PER CITY STANDARD 8-14.
- THIS WALL SUB-DRAIN SHALL BE 4" Ø PERFORATED PIPE (SDR35-PVC) W/ PERFORATIONS DOWN AND SURROUNDED WITH ONE CUBIC FOOT, PER LINEAL PIPE FOOT, OF 3/4" INCH GRAVEL. THE GRAVEL SHALL BE WRAPPED IN FILTER FABRIC. OUTLET PIPES SHALL BE SOLID PIPE OF SIMILAR MATERIAL. A TYPICAL SUB-DRAIN DETAIL IS PRESENTED ON PLATE N, PER SOILS REPORT.
- RETAINING WALL SUB DRAIN OUTLET TO PLANTER AT THIS LOCATION.

WALL ELEVATION KEY SCALE = 1/8" = 1'-0"



REVISION	DESCRIPTION	APPROVED	DATE

SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK
ACAD FILE NO.	P.E.	S.C.	P.E.	PACIFIC COAST ARCHITECTS	O.C.S. J-1313 BRASS DISK ON CATCH BASIN
PROJECT NO. NOLET	PHIL EDMONDSON-ARCHITECT				BLVD. # 75-342 DATUM NOV 29

APPROVED BY THE CITY OF DANA POINT	DATE
PLANNING DEPARTMENT	
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	
CITY PLANNING DEPARTMENT	

PLANS REVIEWED BY:	CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN	DANA POINT, CA 92629
MATTHEW V. SINACORI, CITY ENGINEER	DATE
RCE #59239 EXP. 06/30/20	
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/20

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT

PRECISE GRADING PLAN FOR:
216 MONARCH BAY DR.

LOT 11, TRACT 3748, M.M. 142/30-34 APN: 670-121-11

20 AUG 2020

PLAN CHECK NO.

2 OF 8 SHEETS



CITY OF DANA POINT
PUBLIC WORKS – ENGINEERING SERVICES
33282 Golden Lantern, Suite 212
Dana Point, Ca 92629
949.248.3554
(www.danapoint.org)

DATE: July 21, 2020
TO: John Ciampa, Community Development
FROM: Matthew Kunk, Public Works
SUBJECT: PA20-0047 (Conditions of Approval)

Project Information

Applicant: Pacific Coast Architects
Location: 216 Monarch Bay
APN: 670-111-20

We have reviewed the submitted plans and supporting documents for the proposed project. The proposed project involves multiple permits and departments. The timing of these is included in the attached conditions of approval.

The following conditions of approval should be included with this project.

GENERAL CONDITIONS

1. The project shall meet all water quality requirements.
2. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television services.
3. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
4. The applicant, property owner or successor in interest shall prepare a

PA20-0047
July 21, 2020
Page 2 of 4

Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

PRIOR TO ISSUANCE OF A GRADING PERMIT:

5. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
6. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
7. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
8. A performance bond shall be required for all grading activities up to 100% of the proposed improvements.
9. All proposed site walls and retaining walls shall be a separate submittal to the Building Department and a separate permit will be issued. The submittal guidelines and permit requirements shall be per the current requirements.

PRIOR TO ISSUANCE OF A BUILDING PERMIT:

10. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
11. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the satisfaction of the City Engineer.

PA20-0047
July 21, 2020
Page 3 of 4

The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

12. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
13. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

PRIOR TO ISSUANCE OF A CERTIFICATE OF USE AND OCCUPANCY:

14. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
15. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
16. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
17. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.

PA20-0047
July 21, 2020
Page 4 of 4

18. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.



OWNER: DEREK A SALLY JOHNSON
216 MONARCH BAY DRIVE
DANA POINT, CA 92629
(949) 632-4220

PUBLIC WORKS
CONDITIONS OF APPROVAL

20 AUG 2020

PACIFIC COAST
ARCHITECTS

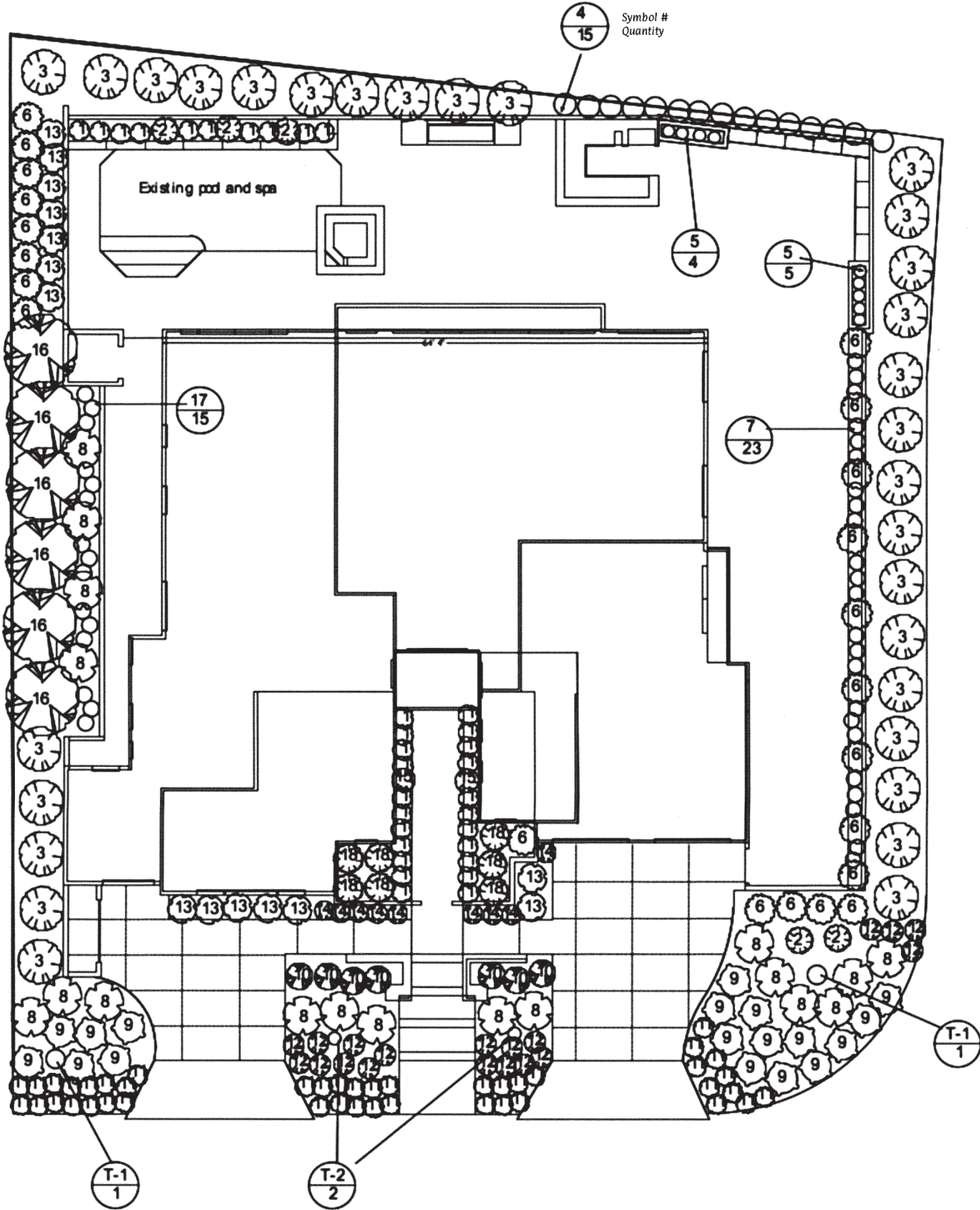


2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 675-9468
FAX 675-8234

JOHNSON CDP

12

Landscaping



Property Information:

Address: 216 Monarch Bay Dr
Dana Point CA 92629

Homeowners: Derek and Sally Johnson

Design:

SHORELINE POOLS & SPAS

Contact name: Dan Eshko1
Contact number: (949)228-0995
Date: 8/31/2020

Scale: 1/8"=1'

Planting Legend

Symbol	Plant Name	Mature size	Quantity	Container Size
T-1	Cupaniopsis anacardioides - multi trunk	25' H x 20' W	2	24" Box
T-2	Arbutus unedo	8' H x 8' W	2	24" Box
1	Philodendron xanadu	12' H x 10' W	32	5G
2	Phormium tenax 'atropurpureum'	6' H x 4' W	5	5G
3	Prunus caroliniana	10' H x 5' W	30	15G
4	Euonymus 'Green Spire'	5' H x 2' W	6	5G
5	Dianella tasmanica 'Variegata'	2' H x 2' W	9	1G
6	Podocarpus henkelii	10' H x 5' W	22	15G
7	Liriope gigantea	2' H x 2' W	23	1G
8	Agave attenuata	5' H x 3'-5' W	14	5G
9	Lantana montevidensis	1.5' H x 5' W	18	1G
10	Myrsine africana	5' H x 3' W	7	5G
11	Festuca ovina 'Glaucia'	1' H x 1' W	43	1G
12	Aeonium 'Green Saucer'	1' H x 1' W	19	1G
13	Agave 'Blue Flame'	3' H x 3' W	14	5G
14	Chondrapetalum tectorum	3' H x 2' W	9	5G
15	Camellia sasanqua 'Setsugekka'	4' H x 3' W	48	5G
16	Podocarpus gracilior	12' H x 6' W	6	15G
17	Dianella 'Little Rev'	1' H x 1' W	15	1G
18	Raphiolepis umbellata	4' H x 3' W	7	5G