

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: SEPTEMBER 14, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: MAJOR ANTENNA USE PERMIT REQUESTS TO ALLOW LIGHT STANDARD RIGHT-OF-WAY INSTALLATIONS OF COMMERCIAL WIRELESS TELECOMMUNICATION ANTENNAS ON SAN DIEGO GAS AND ELECTRIC UTILITY POLES, LOCATED WITHIN 100-FEET OF RESIDENTIAL PROPERTY LINES AT 27093CS CALLE REAL AND 34113CS CAMINO EL MOLINO.

RECOMMENDATION: That the Planning Commission adopt the attached, draft Resolution approving Major Antenna Use Permits AUP20-0001 and AUP20-0002.

APPLICANT: Eukon Group on behalf of Verizon

OWNER: San Diego Gas and Electric

REQUEST: Approval of two Antenna Use Permits (AUP) to allow the light standard right-of-way installation of two commercial wireless telecommunication antenna facilities on separate San Diego Gas and Electric (SDGE) utility poles, and each located within 100-feet of residential property lines.

LOCATIONS: **27093CS Calle Real (AUP20-0001):** existing utility pole to be replaced, located northeast of the intersection of Calle Real and Camino El Molino.

34113CS Camino El Molino (AUP20-0002): existing combination utility/ light pole located southwest of the intersection of Via California and Camino El Molino.

NOTICE: Notice of the Public Hearing was mailed to property owners within a 500-foot radius of the subject site, published within a newspaper of general circulation on September 4, 2020, and

posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on September 4, 2020.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Sections 15301 (AUP20-0002) & 15302 (AUP20-0001) of the CEQA Guidelines (Classes 1 & 2 – Existing Facilities and Replacement or Reconstruction) because the projects consists of (1) the minor alteration of existing public facility, and (2) the replacement of an existing utility facility involving negligible or no expansion of capacity in conjunction with the installation of a new utility pole to accommodate a light standard commercial antenna.

ISSUES:

- A. Are the proposals consistent with the Dana Point General Plan and the Dana Point Zoning Code (DPZC)?
- B. Do the proposals satisfy all findings required pursuant to the DPZC for approval of an AUP?
- C. Are the projects compatible with and enhancements to the sites and surrounding neighborhoods?

BACKGROUND: Eukon Group on behalf of Verizon Wireless submitted AUP applications in March 2020 for the light standard right-of-way (ROW) installation of two (2) antennas to be located in two (2) different locations in Capistrano Beach. The City originally scheduled these applications to be presented at the July 13, 2020 Planning Commission hearing, with notices sent to neighbors within a 500-foot radius of each site on July 2, 2020. After noticing both items, City staff was notified that, due to unforeseen circumstances, Verizon decided to withdraw both applications prior to the hearing. On July 29, 2020, Eukon Group requested to reinstate both applications without any changes.

The first site (27093CS Calle Real) is an existing 24'-10" SDGE wood utility pole that is located within the City's ROW, northeast of the intersection of Calle Real and Camino El Molino (Supporting Document 1 – Vicinity Map and Site Photo).

The second location (34113CS Camino El Molino) is an existing 34'-2" SDGE wood, combination utility/light pole that is located within the City's ROW, southwest of the intersection of Via California and Camino El Molino (Supporting Document 2 - Vicinity Map and Site Photo).

For addressing purposes, the City includes a "CS" for "Cell Site" at the end of the numerical portions of the project addresses involving the installation, swap-out or upgrade

of commercial antennas & antenna equipment within City ROW.

Both sites are located within the City's ROW, which is zoned Transportation Corridor (TC) on the City's Zoning Map. They are also within close proximity to existing single-family dwellings (SFD), other SDGE utility and light poles, sidewalks and streets. Pursuant to Section 9.07.020(b)(4)(J), a Major Antenna Use permit is required for light standard-mounted, ROW installation of commercial wireless telecommunication antenna facilities located within 100-feet of residential property lines. The Major AUPs are required to be reviewed and approved by the Planning Commission.

DISCUSSION: The applications propose the installation of two (2) light standard, ROW commercial wireless telecommunication antenna facilities on separate SDGE wood utility and light poles within the City's TC Zone in the following locations:

27093CS Calle Real/AUP20-0001:

Proposed improvements at this site include the demolition of an existing 24'-1" SDGE wood utility pole and the construction of a new 34'0" SDGE wood utility pole which will support an attached canister type commercial antenna and two (2) remote radio units (RRU). The new utility pole will accommodate the antenna while complying with the TC Zoning District height limit of 35-feet. The proposed canister type commercial antenna and RRU's will be mounted on a 5-foot wide double cross arm at a height of 22-feet above existing grade to the bottom of cross arm. All equipment will be either mounted onto the new utility pole, or vaulted underground. The proposed commercial antenna, RRU's cross arm and accessory equipment will be painted dark brown to match the color of the utility pole (Supporting Document 3 – Plans and Simulations).

34113CS Camino El Molino/AUP20-0002:

Proposed improvements at this site include the installation of a light standard ROW canister style commercial antenna and one (1) RRU on top of an existing SDGE wood, combination utility/light pole. The existing combination utility/light pole will be lowered from 34'-2" down to 31'-9" in order to accommodate the new canister commercial antenna, while complying with the TC Zoning District height limit of 35-feet. All equipment will be mounted onto the existing combination utility/light pole, or vaulted underground. The proposed commercial antenna, RRU and accessory equipment will be painted dark brown to match the color of the combination utility/light pole (Supporting Document 4 – Plans and Simulations).

MAJOR ANTENNA USE PERMIT:

DPZC Section 9.07.020 details the regulations pertaining to commercial antennas, including the procedures for obtaining an AUP, location criteria, design criteria and findings for approval. Both proposed projects satisfy all location and design criteria required for light standard ROW commercial antenna installation.

Pursuant to Section 9.07.020(b)(6) "Antenna Use Permit Required Findings" of the DPZC, every AUP requires the following findings:

1. That the proposed antenna facility will not create any significant or meaningful blockage to public views; and,
2. That the proposed antenna facility will be an enhancement to the City due to its ability to provide additional communication capabilities; and,
3. That the proposed antenna facility will be aesthetically integrated into its surrounding environment; and,
4. That the proposed antenna facility will not interfere with the reception or transmission of other wireless telecommunication signals within the surrounding community; and,
5. That the proposed antenna facility will operate in compliance with all applicable Federal safety regulations for such facilities; and,
6. That the public need for the use of the antenna facility has been documented.

A Radio Frequency (RF) report for each site has been submitted by the project applicant verifying that the proposed facility will comply with Federal Communication Commission (FCC) standards for public radio frequency exposure (Supporting Document 5 – RF Reports). In addition, the submitted coverage maps for each site verify that placement of the new commercial antennas would improve Verizon's cellular service for both public and private users within Capistrano Beach (Supporting Document 6 – Coverage Maps).

Responses addressing the above-mentioned AUP findings are detailed in the attached draft Planning Commission Resolution.

CORRESPONDENCE:

To date, the City has not received correspondence related to AUP20-0001 and AUP20-0002

CONCLUSION:

Based on the subject analysis, Staff has determined that the projects are consistent with the policies and provisions of the City of Dana Point General Plan and the DPZC. Findings supporting approval of the requested AUP's are articulated in the attached draft resolutions. Therefore, staff recommends approval of AUP20-0001 and AUP20-0002, subject to the conditions contained in the attached draft resolutions.



Danny Giometti
Associate Planner



Brenda Wisneski, Director
Community Development Department

ACTION DOCUMENTS:

1. Draft PC Resolutions 20-09-14-XX & 20-09-14-XX

SUPPORTING DOCUMENTS

1. Vicinity Map and Site Photography for Calle Real
2. Vicinity Map and Site Photography for Camino El Molino
3. Calle Real Plans and Simulations
4. Camino El Molino Plans and Simulations
5. Calle Real and Camino El Molino RF Reports
6. Calle Real and Camino El Molino Coverage Maps

ACTION DOCUMENT 1: Draft PC Resolutions 20-09-14-XX & 20-09-14-XX

RESOLUTION NO. 20-09-14-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING MAJOR ANTENNA USE PERMIT AUP20-0001 TO ALLOW THE INSTALLATION OF A CANISTER STYLE, LIGHT STANDARD-MOUNTED COMMERCIAL WIRELESS TELECOMMUNICATION ANTENNA FACILITY ON A REPLACED SAN DIEGO GAS AND ELECTRIC WOOD UTILITY LOCATED WITHIN 100-FEET OF A RESIDENTIAL PROPERTY LINE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, San Diego Gas and Electric (SDGE) (the "Owner"), owns the existing utility pole located at 27093CS Calle Real (the "Property"); and

WHEREAS, the Owner authorized Eukon Group, on behalf of Verizon, (the "Applicant") and the Applicant caused to be filed a verified application for Major Antenna Use Permit AUP20-0001 to allow the light standard right of way (ROW) installation of a commercial antenna mounted on a SDGE wood utility pole within 100-feet of a residential property line, in the Transportation Corridor (TC) zoning district; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15302 of the CEQA Guidelines (Class 2 – Replacement or Reconstruction) because the project consists of the replacement of an existing utility facility involving negligible or no expansion of capacity in conjunction with the installation of a new utility pole to accommodate a light standard commercial antenna.; and

WHEREAS, the Planning Commission did, on the 14th day of September, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Antenna Use Permit AUP20-0001.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves major Antenna Use Permit AUP20-0001, subject to conditions:

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0001
PAGE 2

1. That the proposed antenna facility will not create any significant or meaningful blockage to public views **in that although the existing SDGE utility pole will be replaced with a new, taller, utility pole to accommodate a commercial wireless telecommunication antenna facility, the width of the proposed utility pole remains unchanged. The double cross arm mount supporting the canister antenna and remote radio units are designed to be relatively small-scale and are located at a height well above the ground level view shed. Therefore, the improvement will not result in the significant or meaningful blockage of public views as seen from the streets of Calle Real and Camino El Molino.**
2. That the proposed antenna facility will be an enhancement to the City due to its ability to provide additional communication capabilities **in that Verizon Wireless demonstrated a coverage gap within this portion of the community that installation of the proposed commercial wireless telecommunication antenna would fill, thus enhancing its ability to provide additional communication capabilities.**
3. That the proposed antenna facility will be aesthetically integrated into its surrounding environment **in that the canister antenna, remote radio units and equipment are relatively small in size and will be painted dark brown to match the SDGE wood utility pole. Additionally, pursuant to Section 9.07.020(b)(5)(A) of the DPZC, all equipment and utility lines not attached to the pole will be vaulted underground. Therefore, the proposed antenna facility will be aesthetically integrated into its surrounding environment.**
4. That the proposed antenna facility will not interfere with the reception or transmission of other wireless telecommunication signals within the surrounding community **in that the proposed antenna is designed to work on a stand-alone radio frequency designated for the subject carrier. The facility must also conform to the Federal Communication Commission (FCC) regulations regarding non-interference.**
5. That the proposed antenna facility will operate in compliance with all applicable Federal safety regulations for such facilities **in that the proposed light standard ROW commercial wireless telecommunication antenna facility will be tested to demonstrate that the facility complies with all current FCC safety standards prior to final building sign off.**
6. That the public need for the use of the antenna facility has been

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0001
PAGE 3

documented in that the proposed light standard ROW commercial wireless telecommunication antenna facility will fill an existing coverage gap within the Capistrano Beach community using line-of-sight technology to communicate with other commercial antennas within the Verizon network. Evidence of this coverage gap is supported by the existing coverage map provided by the applicant demonstrating a gap in coverage without construction of the new ROW antenna facility at the requested location and height, thereby providing evidence of the public need for the proposed commercial wireless telecommunication facility. Additionally, the post installation coverage map illustrates an increase in coverage to private, commercial and/or emergency cellular users with implementation of the proposed antenna facility further documenting the public need of the antenna facility.

Conditions:

A. **General:**

1. Approval of this application permits the light standard ROW installation of a canister style commercial antenna, two radios and accessory equipment on an SDGE wood utility pole. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan/Local Coastal Program, and the Dana Point Zoning Code.
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, he may approve the amendment without

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0001
PAGE 4

requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction shall not commence before 7 a.m. and must cease by 8 p.m., Monday through Saturday, and no construction activity is permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
10. The Waste Management Plan shall indicate the estimated quantities of material to

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0001
PAGE 5

be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.

11. During construction, the project shall implement and maintain all applicable minimum construction Best Management Practices (BMPs), assigned by priority level and/or as required by the Director of Public Works or designee. Applicable minimum BMPs, for the project's priority as determined by the Urban Runoff Threat Assessment Form may be found in the City's Construction Urban Runoff Best Management Practices (BMPs) Requirements Manuals.
12. During the construction phase, all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, managed, secured and disposed to prevent transport into the streets, gutters, storm drains, creeks and/or coastal waters by wind, rain, tracking, tidal erosion or dispersion.
13. The approved antenna equipment and application shall both be subject to review by the City every two (2) years from the date of approval to determine if technology has changed to the point where an installation can be reduced in size or redesigned in a more "stealth" manner and to evaluate Radio-Frequency emissions. Should this review be deemed required/appropriate, the applicant shall submit a technology upgrade report and Radio-Frequency emission testing report for review by the Director of Community Development. Said report will not be required more than once within a twenty four (24) month period.
14. At all times, other than during a 24-hour "cure period," the applicant shall not prevent the City of Dana Point from having adequate spectrum capacity on the City's 800 MHz radio frequency.
15. The applicant shall provide a 24-hour phone number to which interference problems may be reported, and will resolve all interference complaints within 24 hours.
16. The applicant shall cease operation of this facility should it cause interference with the City's facilities immediately upon expiration of the 24-hour "cure period" until the cause of interference is eliminated.
17. Building materials, unlicensed vehicles, portable toilets, and similar items shall not be placed in the public right-of-way.
18. All proposed mechanical equipment and supports shall be screened in a manner consistent with the color of the SDGE wood utility pole.
19. The owner of the commercial wireless telecommunication antenna facility shall

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0001
PAGE 6

ensure that the facility is kept clean. Prior to approval of a building permit the applicant shall provide the City with a contact name and telephone number for site maintenance.

20. The subject and nearby SDGE utility poles where antennas are being added, shall remain in normal operation during construction. Further, any damage caused to City above ground or vaulted equipment shall be the applicant's responsibility to repair.
21. The applicant shall be responsible for all reasonable inspection and administrative costs associated with the project, including City personnel and the contract utility pole maintenance provider.
22. Above ground surface mounted structures are not allowed. All equipment shall be vaulted underground or attached to the utility pole.
23. Any existing hardscape, landscaping and/or irrigation shall be protected in place. Any damage shall be restored in kind to the City's satisfaction and at the applicant's cost.
24. Any curb or gutter areas damaged or removed shall be replaced by the applicant to the satisfaction of the Public Works/Engineering Department/City Engineer.

B. Prior to Building Plan Check and Public Works & Engineering Encroachment Permit Submittal:

25. The building construction and/or encroachment permit documents shall contain a copy of the City's conditions of approval and it shall be attached to each set of plans submitted for City approval or shall be printed on the title sheet verbatim.
26. Undergrounding of all on-site utilities is required. Site authorization from SDGE as well as an approved SDGE Work Order and Undergrounding Plan are required prior to permit issuance.
27. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w.c. ratio of 0.45, F'c of 4,500 psi.

C. Prior to Issuance of a Building and/or Encroachment Permit or release on certain related inspections, the applicant shall meet the following conditions:

28. All approvals from outside departments and agencies are the responsibility of the applicant.

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0001
PAGE 7

D. Prior to final inspection or release on certain related inspections including final inspection.

29. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all interference issues. The name, telephone number, fax number, and e-mail address of that person shall be provided to the Communications Division of the Orange County Sheriff's Department.
30. The applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure height included as part of AUP20-0001. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of Building Department final inspection is granted.
31. A Radio-Frequency testing report shall be provided after the initial installation. At the time a Temporary Certificate of Occupancy will be issued and then once the site is operable, an additional report shall be submitted within 45 days to demonstrate that the facility is in compliance with government safety standards.
32. The applicant shall submit to a post-installation test to confirm that the facility does not interfere with the City of Dana Point's Public Safety radio equipment. This test will be conducted by the Communications Division of the Orange County Sheriff's Department or a Division- approved contractor at the expense of the applicant. Proof of compliance shall be provided the Director of Community Development.
33. All conditions of approval and requirements from City departments or external agencies shall be satisfied.

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0001
PAGE 8

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 14th day of September 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mary Opel, Chairwoman
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

RESOLUTION NO. 20-09-14-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING MAJOR ANTENNA USE PERMIT AUP20-0002 TO ALLOW THE INSTALLATION OF A CANISTER TYPE LIGHT STANDARD-MOUNTED COMMERCIAL WIRELESS TELECOMMUNICATION ON A ANTENNA FACILITY ONTO AN EXISTING SAN DIEGO GAS AND ELECTRIC WOOD COMBINATION UTILITY/LIGHT POLE LOCATED WITHIN 100-FEET OF A RESIDENTIAL PROPERTY LINE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, San Diego Gas and Electric (SDGE) (the "Owner"), owns the existing combo utility/ light pole located at 34113CS Camino El Molino (the "Property"); and

WHEREAS, the Owner authorized Eukon Group, on behalf of Verizon, (the "Applicant") and the Applicant caused to be filed a verified application for Major Antenna Use Permit AUP20-0001 to allow the light standard right of way (ROW) installation of a commercial antenna mounted on a SDGE wood, combo utility/ light pole within 100-feet of a residential property line, in the Transportation Corridor (TC) zoning district; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1– Existing Facilities) because the project consists of the light standard installation of a commercial antenna; and

WHEREAS, the Planning Commission did, on the 14th day of September, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Antenna Use Permit AUP20-0002.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves major Antenna Use Permit AUP20-0002, subject to conditions:

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0002
PAGE 2

1. That the proposed antenna facility will not create any significant or meaningful blockage to public views **in that the proposed light standard ROW, canister style, commercial wireless telecommunication antenna facility will be mounted on top of the combo utility/light pole. Additionally, a remote radio unit and accessory equipment will be mounted on the existing pole. The canister antenna and equipment is designed to be relatively small-scale and is located at a height well above the ground level view shed. Therefore, the improvement will not result in the significant or meaningful blockage of public views as seen from the streets of Calle Real and Via California.**
2. That the proposed antenna facility will be an enhancement to the City due to its ability to provide additional communication capabilities **in that Verizon Wireless demonstrated a coverage gap within this portion of the community that installation of the proposed commercial wireless telecommunication antenna would fill, thus enhancing its ability to provide additional communication capabilities.**
3. That the proposed antenna facility will be aesthetically integrated into its surrounding environment **in that the canister antenna, remote radio unit and equipment are relatively small in size and will be painted dark brown to match the SDGE combo utility/light. Additionally, pursuant to Section 9.07.020(b)(5)(A) of the DPZC, all equipment and utility lines not attached to the pole will be vaulted underground. Therefore, the proposed antenna facility will be aesthetically integrated into its surrounding environment.**
4. That the proposed antenna facility will not interfere with the reception or transmission of other wireless telecommunication signals within the surrounding community **in that the proposed antenna is designed to work on a stand-alone radio frequency designated for the subject carrier. The facility must also conform to the Federal Communication Commission (FCC) regulations regarding non-interference.**
5. That the proposed antenna facility will operate in compliance with all applicable Federal safety regulations for such facilities **in that the proposed light standard ROW commercial wireless telecommunication antenna facility will be tested to demonstrate that the facility complies with all current FCC safety standards prior to final building sign off.**
6. That the public need for the use of the antenna facility has been

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0002
PAGE 3

documented in that the proposed light standard ROW commercial wireless telecommunication antenna facility will fill an existing coverage gap within the Capistrano Beach community using line-of-sight technology to communicate with other commercial antennas within the Verizon network. Evidence of this coverage gap is supported by the existing coverage map provided by the applicant demonstrating a gap in coverage without construction of the new ROW antenna at the requested location and height, thereby providing evidence of the public need for the proposed commercial wireless telecommunication facility. Additionally, the post installation coverage map illustrates an increase in coverage to private, commercial and/or emergency cellular users with implementation of the proposed antenna facility further documenting the public need of the antenna facility.

Conditions:

A. **General:**

1. Approval of this application permits the light standard ROW installation of a canister style commercial antenna, one radios and accessory equipment on an SDGE wood combo utility/light pole. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan/Local Coastal Program, and the Dana Point Zoning Code.
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, he may approve the amendment without

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0002
PAGE 4

requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction shall not commence before 7 a.m. and must cease by 8 p.m., Monday through Saturday, and no construction activity is permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
10. The Waste Management Plan shall indicate the estimated quantities of material to

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0002
PAGE 5

be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.

11. During construction, the project shall implement and maintain all applicable minimum construction Best Management Practices (BMPs), assigned by priority level and/or as required by the Director of Public Works or designee. Applicable minimum BMPs, for the project's priority as determined by the Urban Runoff Threat Assessment Form may be found in the City's Construction Urban Runoff Best Management Practices (BMPs) Requirements Manuals.
12. During the construction phase, all construction materials, wastes, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, managed, secured and disposed to prevent transport into the streets, gutters, storm drains, creeks and/or coastal waters by wind, rain, tracking, tidal erosion or dispersion.
13. The approved antenna equipment and application shall both be subject to review by the City every two years from the date of approval to determine if technology has changed to the point where an installation can be reduced in size or redesigned in a more "stealth" manner and to evaluate Radio-Frequency emissions. Should this review be deemed required/appropriate, the applicant shall submit a technology upgrade report and Radio-Frequency emission testing report for review by the Director of Community Development. Said report will not be required more than once within a twenty four (24) month period.
14. At all times, other than during a 24-hour "cure period," the applicant shall not prevent the City of Dana Point from having adequate spectrum capacity on the City's 800 MHz radio frequency.
15. The applicant shall provide a 24-hour phone number to which interference problems may be reported, and will resolve all interference complaints within 24 hours.
16. The applicant shall cease operation of this facility should it cause interference with the City's facilities immediately upon expiration of the 24-hour "cure period" until the cause of interference is eliminated.
17. Building materials, unlicensed vehicles, portable toilets, and similar items shall not be placed in the public right-of-way.
18. All proposed mechanical equipment and supports shall be screened in a manner consistent with the color of the SDGE wood combination utility/ light pole.
19. The owner of the commercial wireless telecommunication antenna facility shall

**PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0002
PAGE 6**

ensure that the facility is kept clean. Prior to approval of a building permit the applicant shall provide the City with a contact name and telephone number for site maintenance.

20. The subject and nearby SDGE utility poles where antennas are being added, shall remain in normal operation during construction. Further, any damage caused to City above ground or vaulted equipment shall be the applicant's responsibility to repair.
21. The applicant shall be responsible for all reasonable inspection and administrative costs associated with the project, including City personnel and the contract utility pole maintenance provider.
22. Above ground surface mounted structures are not allowed. All equipment shall be vaulted underground or attached to the utility pole.
23. Any existing hardscape, landscaping and/or irrigation shall be protected in place. Any damage shall be restored in kind to the City's satisfaction and the applicant's cost.
24. Any sidewalk panels removed by the applicant during construction phases shall be replaced in full panel sections, joint to joint, to the satisfaction of the Public Works/Engineering Department. No saw cutting of any sidewalk panels shall be permitted.
25. Any curb or gutter areas damaged or removed shall be replaced by the applicant to the satisfaction of the Public Works/Engineering Department/City Engineer.

B. Prior to Building Plan Check and Public Works & Engineering Encroachment Permit Submittal:

26. The building construction and/or encroachment permit documents shall contain a copy of the City's conditions of approval and it shall be attached to each set of plans submitted for City approval or shall be printed on the title sheet verbatim.
27. Undergrounding of all on-site utilities is required. Site authorization from SDGE as well as an approved SDGE Work Order and Undergrounding Plan are required prior to permit issuance.
28. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w.c. ratio of 0.45, F'c of 4,500 psi.

C. Prior to Issuance of a Building and/or Encroachment Permit or release on certain related inspections, the applicant shall meet the following

PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0002
PAGE 7

conditions:

29. All approvals from outside departments and agencies are the responsibility of the applicant.

D. Prior to final inspection or release on certain related inspections including final inspection.

30. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all interference issues. The name, telephone number, fax number, and e-mail address of that person shall be provided to the Communications Division of the Orange County Sheriff's Department.

31. The applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure height included as part of AUP20-0002. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of Building Department final inspection is granted.

32. A Radio-Frequency testing report shall be provided after the initial installation. At the time a Temporary Certificate of Occupancy will be issued and then once the site is operable, an additional report shall be submitted within 45 days to demonstrate that the facility is in compliance with government safety standards.

33. The applicant shall submit to a post-installation test to confirm that the facility does not interfere with the City of Dana Point's Public Safety radio equipment. This test will be conducted by the Communications Division of the Orange County Sheriff's Department or a Division- approved contractor at the expense of the applicant. Proof of compliance shall be provided the Director of Community Development.

34. All conditions of approval and requirements from City departments or external agencies shall be satisfied.

**PLANNING COMMISSION RESOLUTION NO. 20-09-14-XX
ANTENNA USE PERMIT AUP20-0002
PAGE 8**

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 14th day of September 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mary Opel, Chairwoman
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 1: Vicinity Map and Site Photography for Calle Real



City of Dana Point
AUP20-0001
Danny Giometti, Associate Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, Associate Planner)
Dana Point, CA 92629-1805

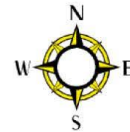
VICINITY MAP



Project : AUP20-0001

Applicant: Eukon Group on behalf of Verizon Wireless

Location: 27093CS Calle Real





SUPPORTING DOCUMENT 2: Vicinity Map and Site Photography for Camino El Molino



City of Dana Point
AUP20-0002
Danny Giometti, Associate Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, Associate Planner)
Dana Point, CA 92629-1805

VICINITY MAP



Project : AUP20-0002

Applicant: Eukon Group on behalf of Verizon Wireless

Location: 34113CS Camino El Molino





SUPPORTING DOCUMENT 3: Calle Real Plans and Simulations

ATTACHMENT

FLOYD SURVEYING

1-A ACCURACY CERTIFICATION

VERIZON SITE NO:
SITE NAME: SAN CLEMENTE PCH 22 A
PROJECT TYPE: UTILITY POLE
SITE ADDRESS: 27092 CALLE REAL
DANA POINT, CA 92624
ORANGE COUNTY
SURVEY DATE: FEBRUARY 3, 2017

I hereby certify that the Coordinates at the center of the proposed sectors are as follows:

GEOGRAPHIC COORDINATES
(NAD 83-Epoch 2010)
SECTOR: A, B & C
LATITUDE: N 33°27'46.01"
LONGITUDE: W 117°39'25.92"

Geodetic coordinates were established using Trimble 5700/5800 GPS receivers and Trimble Geodetic Office processing software version 1.60. I further certify that the elevations and heights referenced hereon are as follows:

	ELEVATIONS (NAVD88)		
	Elevations (AMSL)	Heights (AGL)	
	Above Mean Sea Level	Above Ground Line	
		Decimal/FT	Inches/FT
ELEVATION AT GROUND LEVEL.....	262.9 FEET		
OVERHEAD WIRE.....	281.5 FEET	18.6'	18' 7"
OVERHEAD WIRE.....	287.3 FEET	24.4'	24' 5"
TOP OF POLE (Structure/Overall Height).....	287.7 FEET	24.8'	24' 10"

The horizontal accuracy of the latitude and longitude at the center of each sector falls within fifteen (15) feet. The elevations (NAVD88) of the ground and fixtures fall within three (3) feet. The measured heights (AGL) are within +/- one (1) foot vertically.

BENCHMARK USED: National Geodetic Survey Continues Operating Reference Station: JPLM
ELEVATION: 1503.49' NAVD88



[Signature]

David A. Floyd, PLS #7676

2/22/2017
Date:

34006 Galleron Street, Temecula, CA 92592 Phone (949) 200-0626
Email: fsi@floydsurveying.com

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
2	05/20/20	CITY COMMENTS	FE
3	06/04/20	FINAL POWER	FE
4	06/05/20	CITY COMMENTS	FE
Δ	06/24/20	CITY COMMENTS	FE



65 POST, SUITE 1000
IRVINE, CA 92618
TEL: (949) 553-8566
www.eukongroup.com



SMALL CELL PROJECT

SCL SAN
CLEMENTE PCH 22
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
1A CERTIFICATION
LETTER

T-2

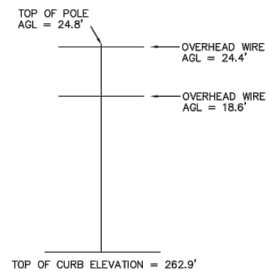
OWNER'S NAME: CITY OF DANA POINT
ASSESSOR'S PARCEL NUMBER(S) RIGHT OF WAY
BASIS OF BEARINGS: (NAD 83; Epoch 2010)
THE BEARINGS SHOWN HEREON ARE BASED ON NAD 1983 CALIFORNIA STATE PLANE COORDINATE SYSTEM - ZONE 6. AS DETERMINED BY G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.
BASIS OF ELEVATIONS: NAVD 1988
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM TWO NATIONAL GEODETIC SURVEY C.O.R.S. REFERENCE STATIONS: 1) PLO5, ELEVATION = 45.07' AND 2) BILL, ELEVATION = 1650.81' WITH GEOID 2012A CORRECTIONS APPLIED.

SITE DATA

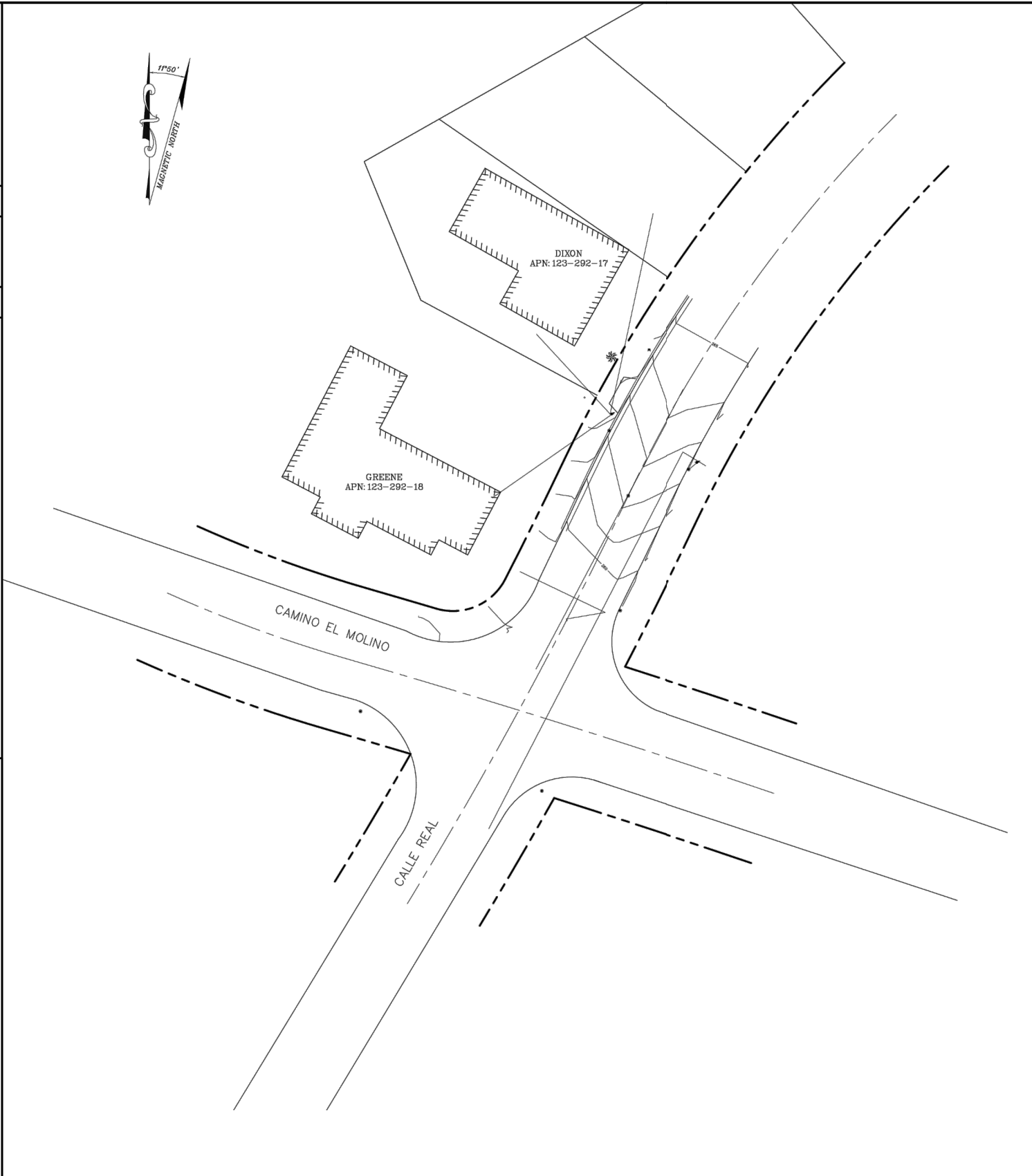
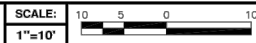
FEMA FLOOD ZONE DESIGNATION:
County: ORANGE Effective Date: 12/3/2009
Map/Panel: 06059C0508J
The Flood Zone Designation for this site is: ZONE: X

FEMA FLOOD ZONE INFORMATION

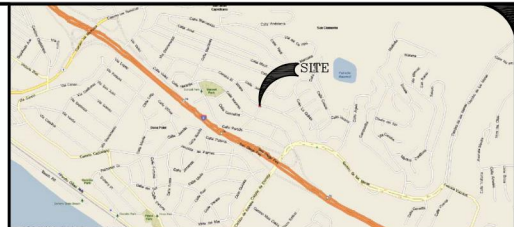
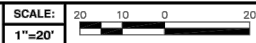
WAITING FOR TITLE



TOWER DETAIL



OVERALL SITE PLAN



VICINITY MAP

LEGEND

These standard symbols will be found in the drawing.

- GUY WIRE
- MONUMENT FOUND
- TREE TOP PALM
- UTILITY POLE
- WATER METER
- BUILDING EDGE
- CENTER LINE
- FLOWLINE CURB & GUTTER
- LIP OF GUTTER
- GROUND SPOT ELEVATION
- SIDEWALK
- TOP OF CURB
- WIRE OVERHEAD
- BOUNDARY LINE
- CENTER LINE
- MISC. PROPERTY LINE
- MISC. TIE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- FENCE LINE

LEGEND

- This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.
- Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.
- These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
- Field survey completed on FEBRUARY 3, 2017.

LEGEND

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	2/22/17	SITE SURVEY	DF

FLOYD SURVEYING
34006 GALLERON STREET
TEMECULA, CA 92592
OFFICE: (949) 200-0626
EMAIL: fsl@floydsurveying.com

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS
ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED

verizon
15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618

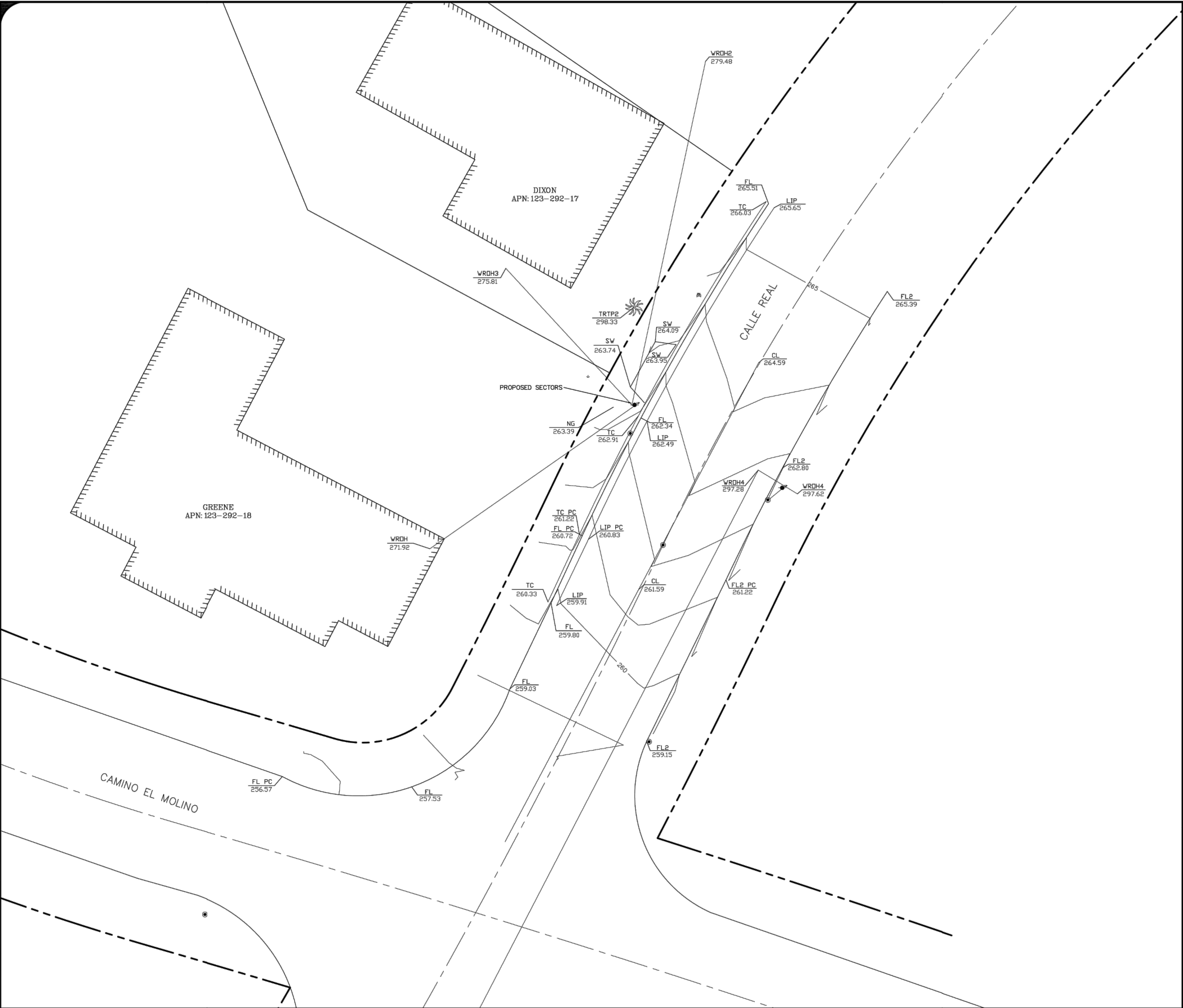
PROFESSIONAL LAND SURVEYOR
David A. Floyd
EXP: 12/31/2018
No. 7676
STATE OF CALIFORNIA

SAN CLEMENTE PCH
22 A
27092 CALLE REAL
DANA POINT, CA 92624

SHEET TITLE:
SITE SURVEY
GENERAL INFORMATION

LS1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



DETAIL SITE PLAN

SCALE:
1"=10'



LEGEND

These standard symbols will be found in the drawing.

- + GUY WIRE
- MONUMENT FOUND
- ✱ TREE TOP PALM
- UTILITY POLE
- ⊙ WATER METER
- ▬ BUILDING EDGE
- CL CENTER LINE
- FL FLOWLINE CURB & GUTTER
- LIP LIP OF GUTTER
- NG GROUND SPOT ELEVATION
- SW SIDEWALK
- TC TOP OF CURB
- WROH WIRE OVERHEAD
- BOUNDARY LINE
- CENTER LINE
- MISC. PROPERTY LINE
- MISC. TIE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- X- FENCE LINE

LEGEND

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- 4) Field survey completed on FEBRUARY 3, 2017.

LEGEND

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	2/22/17	SITE SURVEY	DF

FLOYD
SURVEYING

34006 GALLERON STREET
TEMECULA, CA 92592
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15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618



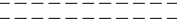
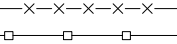
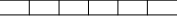
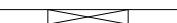



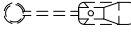










SAN CLEMENTE PCH
22 A

27092 CALLE REAL
DANA POINT, CA 92624

SHEET TITLE:
SITE SURVEY
GENERAL INFORMATION

LS2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

SYMBOL	DESCRIPTION
EOD	EDGE OF DIRT
W/L	WHITE LINE
ROW	RIGHT OF WAY
EOP	EDGE OF PAVEMENT
C/L	CENTER LINE
C/F	CURBFACE
P/L	PROPERTY LINE
	EXISTING CUT
	FENCE
	WALL
	DRIVEWAY
	BUSHES
	TREE
	STREET LIGHT SITE POLE
	STREET LIGHT EXISTING
	JPA SITE POLE
	UTILITY POLE EXISTING
	PARKING METER/STREET SIGN
	DOWN GUY
	FIRE HYDRANT
	UTILITY VALVE
	UTILITY MANHOLE
	SEWER MANHOLE
	SQUARE VENT
	ROUND VENT
	DIG-ALERTS
	(POC) POINT OF CURBFACE
	ADA CURB RAMP

ABBREVIATIONS AND SYMBOLOGY


INTENT
1. THESE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE DONE & THE MATERIALS TO BE FURNISHED FOR CONSTRUCTION.
2. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.
3. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.
4. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.
CONFLICTS
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED IN THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.
2. THE BIDDER, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING CONCERNING WHICH SUCH BIDDER MIGHT HAVE FULLY INFORMED THEMSELVES PRIOR TO THE BIDDING.
3. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.
WARRANTIES & BONDS
1. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACTOR LICENSES AND BONDS.
2. SEE MASTER CONTRACTION SERVICES AGREEMENT FOR ADDITIONAL DETAILS.
STORAGE
1. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK.
2. BTS CABINETS MUST BE STORED INSIDE UNTIL THERE IS POWER ON SITE.
3. STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.
RELATED DOCUMENTS AND COORDINATION
1. GENERAL CONSTRUCTION, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, THE CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
CHANGE ORDER PROCEDURE
1. CHANGE ORDERS MAY BE INITIATED BY THE OWNER AND/OR THE CONTRACTOR INVOLVED. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE OWNER SHALL PREPARE A WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT TO THE OWNER WITHIN 72 HRS FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPE OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED & APPROVED BY THE OWNER SHALL PLACE FULL RESPONSIBILITY OF THESE ACTIONS ON THE CONTRACTOR.
SHOP DRAWINGS
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE DRAWINGS TO THE OWNER FOR APPROVAL.
2. ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER.


GENERAL NOTES

GENERAL NOTES AND CONDITIONS
PRODUCTS & SUBSTITUTIONS
1. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.
2. SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS & MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER SUBMIT ACTUAL SAMPLES TO THE OWNER FOR APPROVAL IN LIEU OF CUT SHEETS.
CODE COMPLIANCE
1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE BUT NOT BE LIMITED TO THE LATEST VERSION OF THE FOLLOWING: <ul style="list-style-type: none">2019 CALIFORNIA ENERGY CODE2019 CALIFORNIA BUILDING CODE2019 CALIFORNIA ELECTRICAL CODE2019 CALIFORNIA FIRE CODE2019 CALIFORNIA GREEN BUILDING CODE2019 CALIFORNIA MECHANICAL CODE2019 CALIFORNIA PLUMBING CODEG095/G0128
INSURANCE AND BONDS
1. CONTRACTOR SHALL AT THEIR OWN EXPENSE CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AS REQUIRED AND LISTED.
2. CONTRACTOR SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGES TO THE OWNER.
3. THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICIES.
4. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS.
ADMINISTRATION
1. BEFORE THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR WILL ASSIGN A PROJECT MANAGER WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERSONNEL INVOLVED IN THIS PROJECT. THIS PROJECT MANAGER WILL BE DEVELOPING A MASTER SCHEDULE FOR THE PROJECT WHICH WILL SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.
2. SUBMIT A BAR TYPE PROGRESS CHART NOT MORE THAN THREE (3) DAYS AFTER THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK ON THE SCHEDULE, INDICATING A TIME BAR FOR EACH MAJOR CATEGORY OF WORK TO BE PERFORMED AT THE SITE, PROPERLY SEQUENCED AND COORDINATED WITH OTHER ELEMENTS OF WORK & SHOWING COMPLETION OF THE WORK SUFFICIENTLY IN ADVANCE OF THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION OF THE SITE.
3. PRIOR TO COMMENCING CONSTRUCTION, THE OWNER SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE OWNER, PROJECT MANAGER, CONTRACTOR, LAND OWNER REPRESENTATIVE, LOCAL TELEPHONE COMPANY, TOWER ERECTION FOREMAN (IF SUBCONTRACTED).
4. CONTRACTOR SHALL BE EQUIPPED WITH SOME MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A MOBILE PHONE OR A BEEPER. THIS EQUIPMENT WILL NOT BE SUPPLIED BY THE BY THE OWNER, NOR WILL WIRELESS SERVICE BE ARRANGED.
5. DURING CONSTRUCTION, CONTRACTOR MUST ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES. CONTRACTOR WILL COMPLY WITH ALL VERIZON WIRELESS SAFETY REQUIREMENTS IN THEIR AGREEMENT.
6. PROVIDE WRITTEN DAILY UPDATES AND PHOTOGRAPHS OF ON SITE PROGRESS TO THE PROJECT MANAGER VIA E-MAIL.
7. A COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.
8. NOTIFY THE OWNER / PROJECT MANAGER IN WRITING NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, TOWER ERECTIONS, AND EQUIPMENT CABINET PLACEMENTS.
9. CLOSEOUT PACKAGE IS DUE COMPLETE WITH DETAILED TOP PHOTOS UPON SITE PUNCHWALK WITH PROJECT MANAGER (SEE PROJECT MANAGER FOR SAMPLE CLOSEOUT PACKAGE).
CLEAN UP
1. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK. AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THEIR WORK CLEAN AND READY FOR USE.
2. VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES & OTHER FOREIGN MATTER.
3. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
4. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.


GENERAL NOTES:
1. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL: ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THAT THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD VERIZON WIRELESS, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
2. PRIOR TO THE BEGINNING OF ANY CONSTRUCTION AND THROUGHOUT THE COURSE OF CONSTRUCTION WORK, THE CONTRACTOR SHALL FULLY COMPLY WITH "CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH" ACT OF 1973 INCLUDING ALL REVISIONS AND AMENDMENTS THERETO.
3. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF GO 95, 128, AND THE STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AS ADOPTED BY THE CITY, COUNTY OR STATE AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.
4. THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER AGENCIES FACILITIES AS SHOWN HEREON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. THE CONTRACTOR SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION AND SHALL USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY OR AGENCY FACILITIES WITHIN THE LIMITS OR WORK, WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
5. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800) 227-2600, AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
6. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT AT LEAST TWO DAYS BEFORE THE START OF ANY WORK REQUIRING THEIR INVOLVEMENT.
7. ALL WORK AREA AND STREET TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WORK AREA TRAFFIC CONTROL BOOK AND SPECIFICATIONS FROM THE CITY, COUNTY OR STATE.
8. THE CITY, COUNTY OR STATE SHALL SPECIFY THE EXPIRATION PERIOD OF THE PERMIT FOR THIS CONSTRUCTION PROJECT.
9. THE MINIMUM COVER FOR ALL CONDUITS PLACED UNDERGROUND SHALL BE 36 INCHES TO THE FINISHED GRADE AT ALL TIMES.
10. THE CONTRACTOR SHALL HDD OR OPEN TRENCH ALL CURB AND GUTTERS, CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE INSPECTOR.
11. ALL AC. AND/OR CONCRETE PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEERS.
12. ALL SHRUBS, PLANTS OR TREES THAT HAVE BEEN DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
13. IF DAMAGE OCCURS TO THE CITY OR COUNTY FACILITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY, TRAFFIC CONTROL LIGHTING AND STREET LIGHTING
14. AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK, NOTIFY THE POLICE TRAFFIC BUREAU AND THE FIRE DEPARTMENT:
15. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROCESSING OF ALL APPLICATION PERMIT FORMS ALONG WITH THE REQUIRED LIABILITY INSURANCE FORMS. CLEARLY DEMONSTRATING THAT THE CLIENT, THE CITY, COUNTY OR STATE AS ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE IN THE AMOUNT OF \$ 1,000,000.00, FOR THIS CONSTRUCTION PROJECT.
16. VAULTS, PEDESTALS, CONDUITS AND OTHER TYPES OF SUBSTRUCTURE ARE EITHER SPECIFIED ON THIS PLAN OR WILL BE SPECIFIED BY THE CONSTRUCTION ENGINEER. ANY AND ALL DEVIATIONS FROM THE SPECIFIED TYPES OF MATERIAL MUST BE APPROVED BY THE SYSTEM ENGINEER, IN WRITING BEFORE INSTALLATION THEREOF.
17. ALL U.G. CONDUIT MUST BE SCHEDULE 40 OR BETTER.
18. CONDUIT REQUIREMENTS: UG-SCHEDULE 40 EXCEPT ALL RADIUS CONDUITS TO BE SCH. 80 RISERS-SCHEDULE 80.
19. GROUND REQUIREMENTS: 5/8" ROD-10' LENGTH #2 GROUND WIRE WOOD MOLDING, STAPLED EVERY 3' AND AT EACH END GROUNDS 2' FROM POLE.
20. POWER REQUIREMENT FOR 3 WIRE SERVICE 120/240V.
21. CONTRACTOR SHALL NOTIFY POWER & TELCO COMPANIES THREE DAYS PRIOR TO START OF CONSTRUCTION FOR CONDUIT INSPECTION.
22. ANY AND ALL PROPOSED SITE MODIFICATIONS, EXPANSION, OR REARRANGEMENT OF THIS CELLULAR SITE MUST BE COMPLIANT WITH ALL GO 95, AND GO 128 REGULATIONS AS PRESCRIBED BY STATE LAW. FUTURE EXPANSION OF THIS CELLULAR SITE MUST BE APPROVED BY THE DESIGNING ENGINEERING FIRM OR AN EQUALLY QUALIFIED ENGINEERING COMPANY.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
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3	06/04/20	FINAL POWER	FE
4	06/05/20	CITY COMMENTS	FE
	06/24/20	CITY COMMENTS	FE




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TEL: (949) 553-8566
www.eukongroup.com



15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 05-14-20

SCL SAN
CLEMENTE PCH 22

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
ABBREVIATIONS,
SYMBOLGY AND
GENERAL NOTES

GN-1

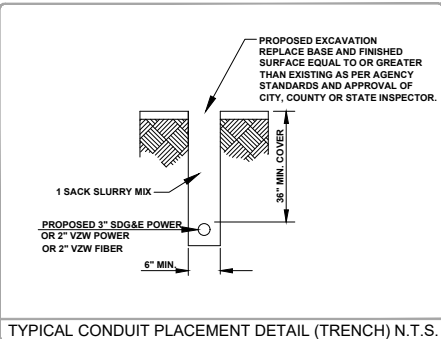
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPERTY OWNER & NECESSARY UTILITY COMPANIES FOR THE LOCATION OF ALL EXISTING BELOW GRADE UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE COSTS ASSOCIATED WITH EXISTING BELOW GRADE UTILITIES.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.
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- CONTRACTOR TO CALL DIG ALERT (800)-227-2600 A MINIMUM OF 48 HRS PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NONPUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
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NOTE TO CONTRACTOR:
CONCRETE SIDEWALKS SHALL BE SAWCUT TO THE NEAREST SCORE MARK AND BE REPLACED EQUAL IN DIMENSION TO THAT REMOVED.

NOTE:
CONTRACTOR TO ALLOW INGRESS AND EGRESS TO DRIVEWAYS AT ALL TIMES DURING CONSTRUCTION.



UNDERGROUND UTILITIES NOTE:

THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

UTILITY LINETYPE LEGEND:

POWER	_____	E	_____
PHONE	_____	T	_____
WATER	_____	W	_____
SEWER	_____	S	_____
STORM DRAWN	_____	SD	_____
GAS	_____	G	_____
GASOLINE	_____	GS	_____
OIL	_____		_____



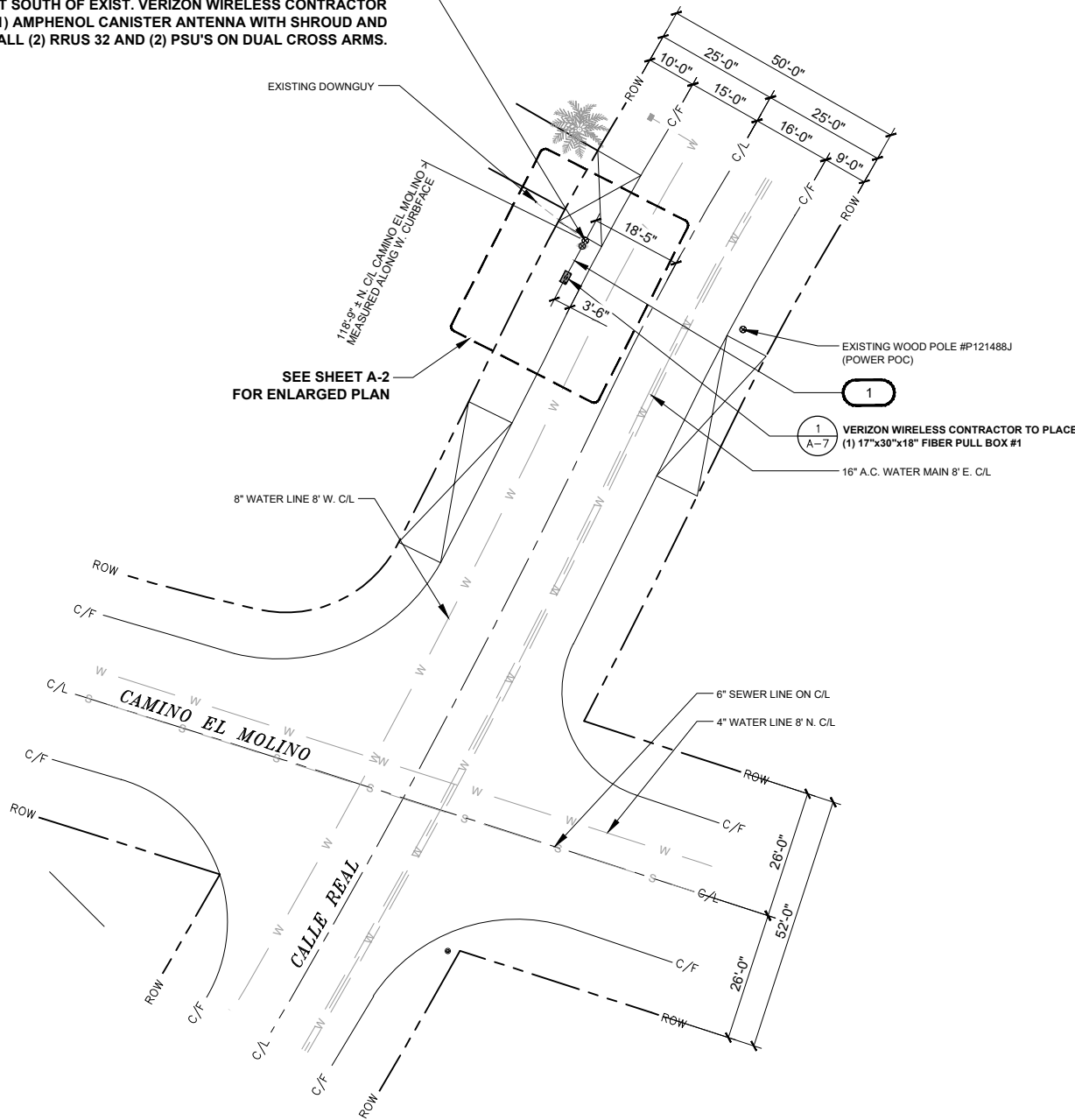
Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (SOUTH), CALL DIG ALERT
TOLL FREE: 1-800-227-2600 OR
www.digalert.org
CALIFORNIA STATUTE
REQUIRES MIN OF 2
WORKING DAYS NOTICE
BEFORE YOU EXCAVATE

CITY PERMIT INFORMATION

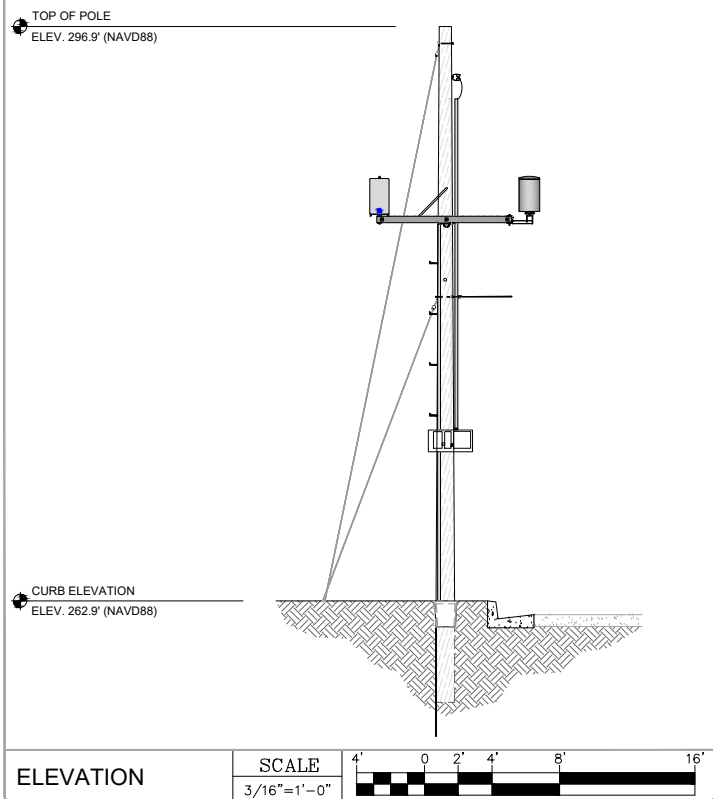
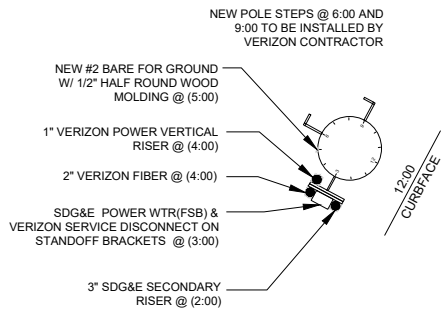
HDD / OPEN TRENCH A/C STREET FOOTAGE:	0
HDD / OPEN TRENCH CONC. PARKWAY FOOTAGE:	0
HDD / OPEN TRENCH GRASS/DIRT PARKWAY FOOTAGE:	6'-0"
HDD / OPEN TRENCH TOTAL PROJECT FOOTAGE:	6'-0"

SDG&E TO REPLACE EXIST. (24'-10" AGL) WOOD POLE #P206707J WITH A NEW 40'-0 (34'-0" AGL) CLASS 4 WOOD POLE HARD SET SOUTH OF EXIST. VERIZON WIRELESS CONTRACTOR TO (1) AMPHENOL CANISTER ANTENNA WITH SHROUD AND INSTALL (2) RRUS 32 AND (2) PSU'S ON DUAL CROSS ARMS.



PROPOSED PULL BOX LOCATION		
PULL BOX #	HANDHOLE SIZE	LOCATION
PULL BOX 1	17"x30"x18" (FIBER) PULL BOX	118'-11"± N. CAMINO EL MOLINO & 18'-6"± W. C/L CALLE REAL PL.

PROPOSED ITEM #	DESCRIPTION
1	6'-0" SITE POLE TO VZW (FIBER) PULL BOX #1 (1)-2" SCH. 40 PVC CONDUIT (VZW FIBER)



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
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3	06/04/20	FINAL POWER	FE
4	06/05/20	CITY COMMENTS	FE
Δ	06/24/20	CITY COMMENTS	FE



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IRVINE, CA 92618
TEL: (949) 553-8566
www.eukongroup.com



15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 05-14-20

SCL SAN CLEMENTE PCH 22

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:

SITEPLAN

A-1

SITE PLAN



NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

- NOTES:
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NOTE TO CONTRACTOR:
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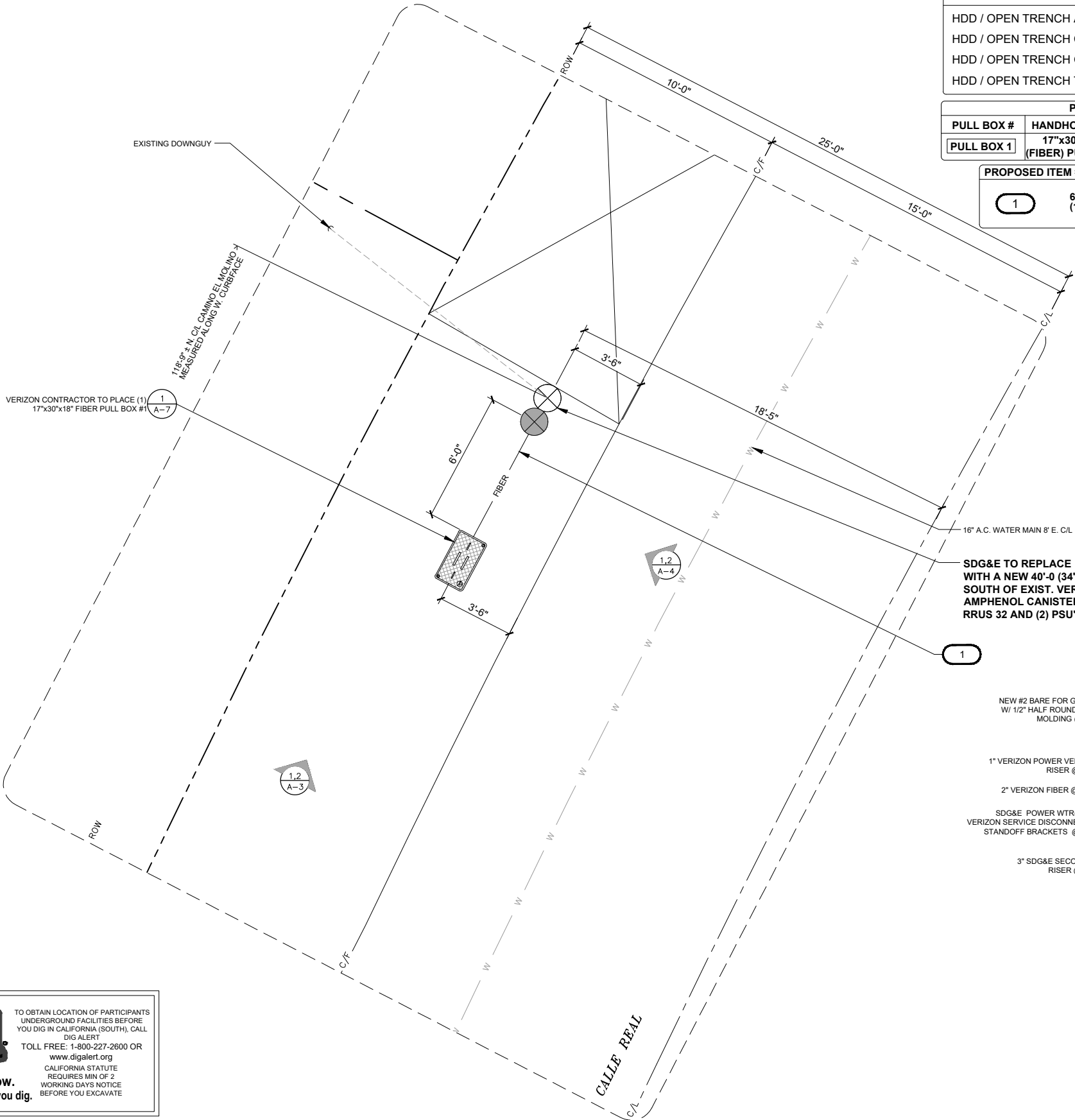
UTILITY LINETYPE LEGEND:

POWER	_____	E	_____
PHONE	_____	T	_____
WATER	_____	W	_____
SEWER	_____	S	_____
STORM DRAIN	_____	SD	_____
GAS	_____	G	_____
GASOLINE	_____	GS	_____
OIL	_____		_____



Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (SOUTH), CALL DIG ALERT
TOLL FREE: 1-800-227-2600 OR
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CALIFORNIA STATUTE
REQUIRES MIN OF 2
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BEFORE YOU EXCAVATE



CITY PERMIT INFORMATION

HDD / OPEN TRENCH A/C STREET FOOTAGE:	0
HDD / OPEN TRENCH CONC. PARKWAY FOOTAGE:	0
HDD / OPEN TRENCH GRASS/DIRT PARKWAY FOOTAGE:	6'-0"
HDD / OPEN TRENCH TOTAL PROJECT FOOTAGE:	6'-0"

PROPOSED PULL BOX LOCATION

PULL BOX #	HANDHOLE SIZE	LOCATION
PULL BOX 1	17"x30"x18" (FIBER) PULL BOX	118'-11"± N. CAMINO EL MOLINO & 18'-6"± W. C/L CALLE REAL PL.

PROPOSED ITEM # DESCRIPTION

1	6'-0" SITE POLE TO VZW (FIBER) PULL BOX #1 (1)-2" SCH. 40 PVC CONDUIT (VZW FIBER)
---	--

SDG&E TO REPLACE EXIST. (24'-10" AGL) WOOD POLE #P206707J WITH A NEW 40'-0 (34'-0" AGL) CLASS 4 WOOD POLE HARD SET SOUTH OF EXIST. VERIZON WIRELESS CONTRACTOR TO (1) AMPHENOL CANISTER ANTENNA WITH SHROUD AND INSTALL (2) RRUS 32 AND (2) PSU'S ON DUAL CROSS ARMS.

NEW #2 BARE FOR GROUND
W/ 1/2" HALF ROUND WOOD
MOLDING @ (5:00)

1" VERIZON POWER VERTICAL
RISER @ (4:00)

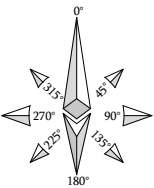
2" VERIZON FIBER @ (4:00)

SDG&E POWER WTR(FSB) &
VERIZON SERVICE DISCONNECT ON
STANDOFF BRACKETS @ (3:00)

3" SDG&E SECONDARY
RISER @ (2:00)

NEW POLE STEPS @ 6:00 AND
9:00 TO BE INSTALLED BY
VERIZON CONTRACTOR

12:00
CURBFACE



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
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3	06/04/20	FINAL POWER	FE
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Δ	06/24/20	CITY COMMENTS	FE



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TEL: (949) 553-8566
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IRVINE, CA 92618

SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 05-14-20

SCL SAN
CLEMENTE PCH 22

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
ENLARGED SITE
PLAN

A-2

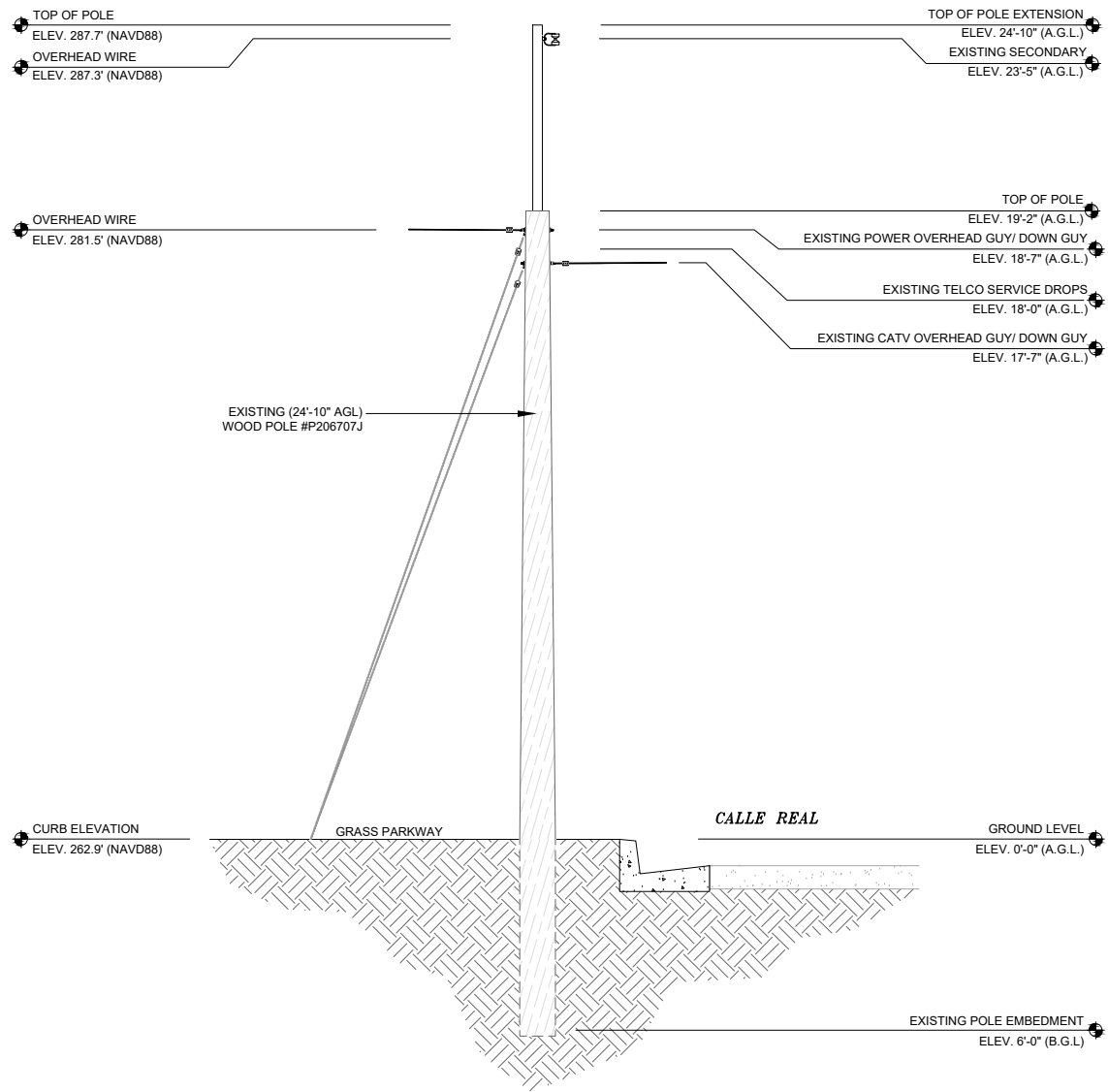
ENLARGED SITE PLAN

SCALE

3/8"=1'-0"



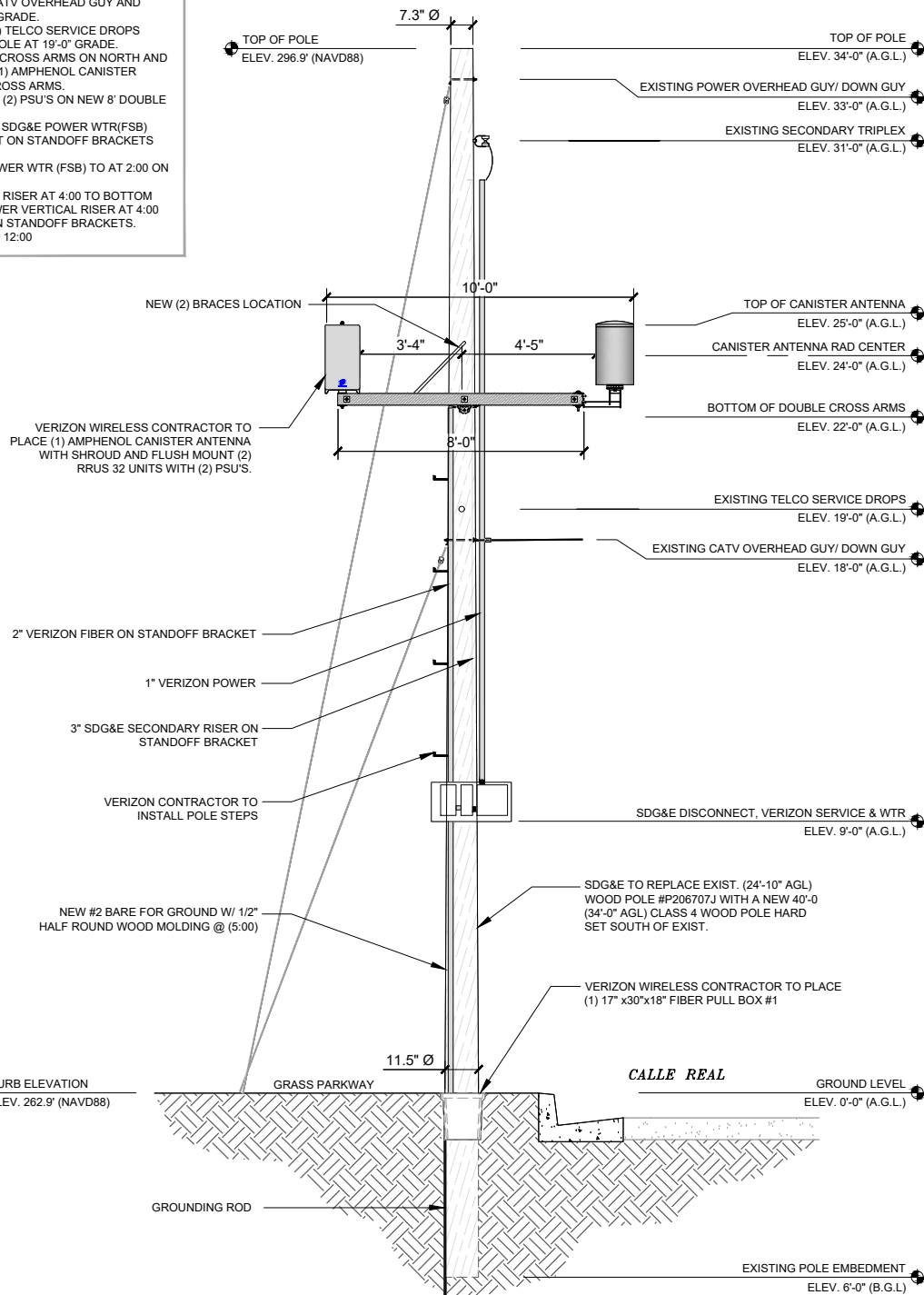
1



SIDE VIEW
LOOKING NORTH

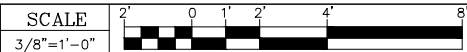
- MAKE READY NOTES:
SITE POLE # P206707J WEST SIDE CALLE REAL 120' NORTH OF CAMINO EL MOLINO.
- A) SDG&E TO REPLACE EXISTING (24'-10" AGL) WOOD POLE #P206707J AND PTX WITH A NEW A 40' (34'-0" AGL) CLASS 4 WOOD POLE HARD SET SOUTH OF EXIST.
 - B) SDG&E TO TRANSFER EXIST POWER OVERHEAD GUY AND DOWN GUY TO NEW POLE AT 33'-0" GRADE.
 - C) SDG&E TO TRANSFER EXIST SECONDARY TRIPLEX TO NEW POLE AT 31'-0" GRADE.
 - D) VERIZON TO TRANSFER EXISTING CATV OVERHEAD GUY AND DOWN GUY TO NEW POLW AT 18'-0" GRADE.
 - E) VERIZON TO TRANSFER EXISTING (3) TELCO SERVICE DROPS FROM DISTRIBUTION ARM TO NEW POLE AT 19'-0" GRADE.
 - F) VERIZON TO PLACE NEW 8' DOUBLE CROSS ARMS ON NORTH AND SOUTH SIDES OF POLE AND PLACE (1) AMPHENOL CANISTER ANTENNA WITH SHROUD TO NEW CROSS ARMS.
 - G) VERIZON TO PLACE (2) RRUS 32 AND (2) PSU'S ON NEW 8' DOUBLE CROSS ARMS.
 - H) VERIZON TO PLACE POLE MOUNTED SDG&E POWER WTR(FSB) AND VERIZON SERVICE DISCONNECT ON STANDOFF BRACKETS AT 3:00.
 - I) VERIZON TO PLACE (1) 3" SDG&E POWER WTR (FSB) TO AT 2:00 ON STANDOFF BRACKETS AT 3:00.
 - J) VERIZON TO PLACE (1) 2" VZW FIBER RISER AT 4:00 TO BOTTOM OF RADIO UNITS AND (1) 1" VZW POWER VERTICAL RISER AT 4:00 FROM RADIO UNITS TO CANISTER ON STANDOFF BRACKETS.
 - K) VERIZON TO STEP POLE AT 6:00 AND 12:00

NOTE:
ALL POLE MOUNTED EQUIPMENT AND CONDUITS TO BE PAINTED BROWN TO MATCH EXISTING WOOD UTILITY SITE POLE



SIDE VIEW
LOOKING NORTH

EXISTING ELEVATION



PROPOSED ELEVATION



ISSUE STATUS

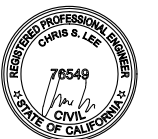
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Δ	06/24/20	CITY COMMENTS	FE



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SMALL CELL PROJECT



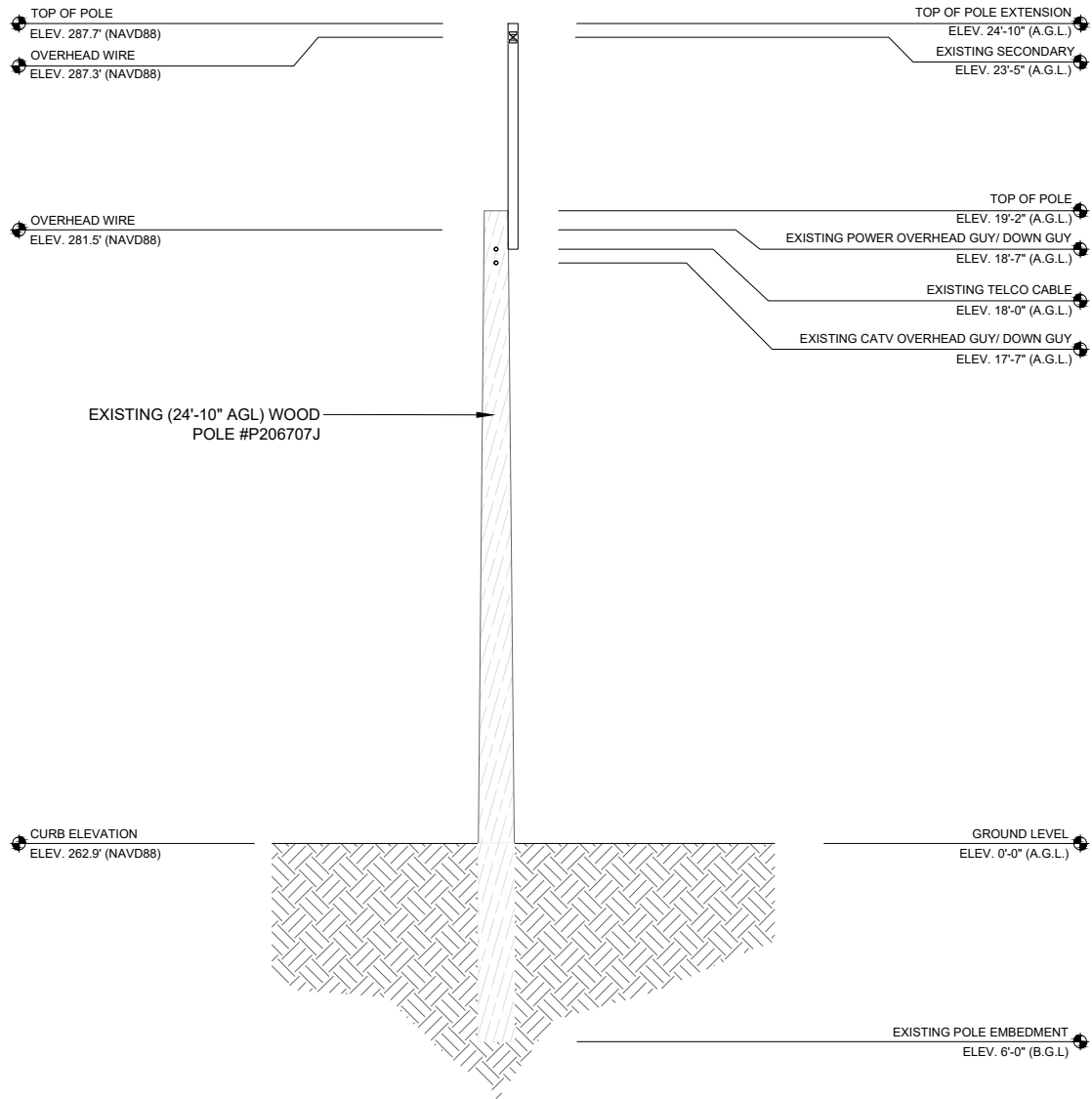
EXPIRATION DATE: 12-31-20
DATE SIGNED: 05-14-20

SCL SAN CLEMENTE PCH 22
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
EXISTING AND PROPOSED ELEVATION

A-3

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



FRONT VIEW
LOOKING WEST

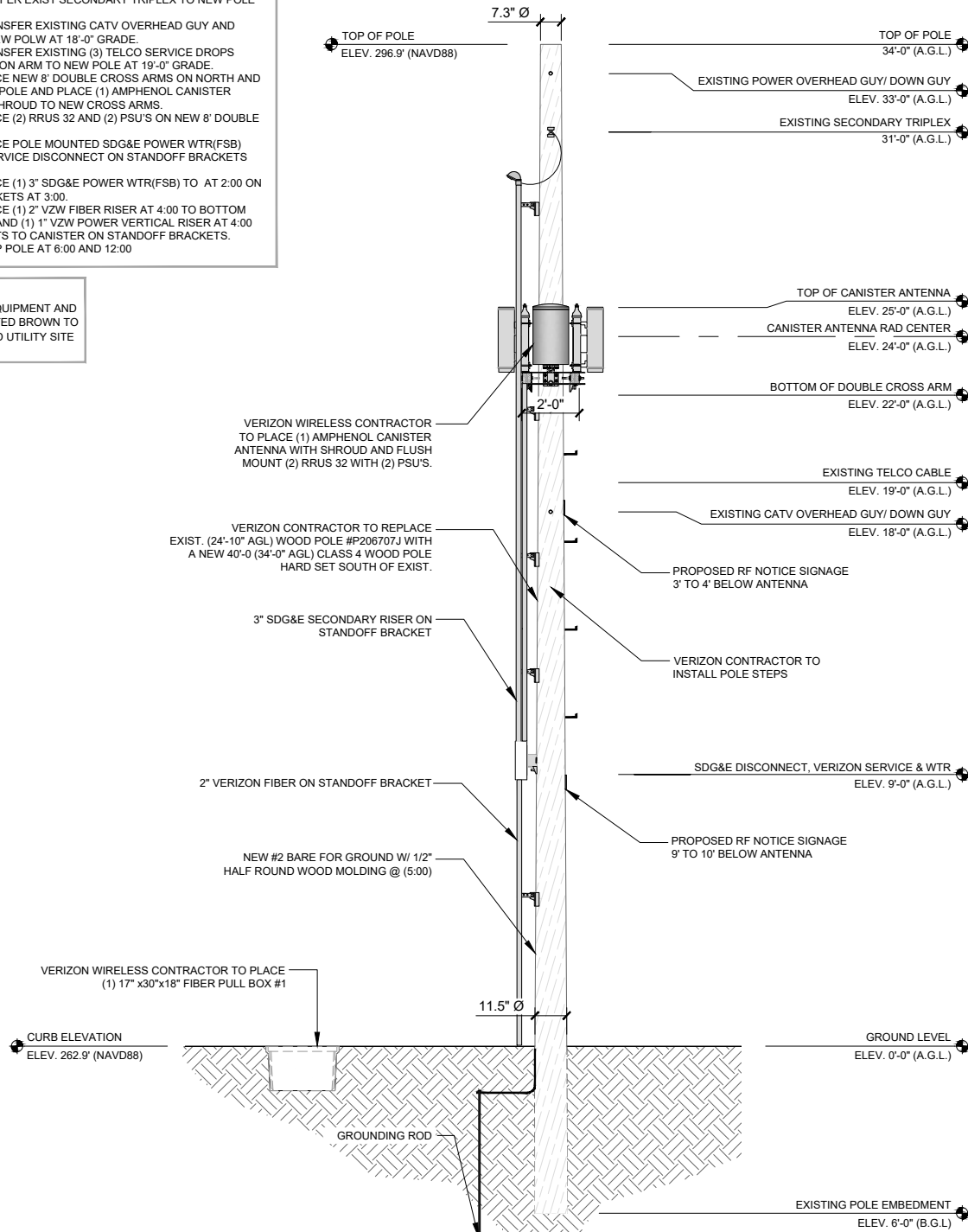
EXISTING ELEVATION



1

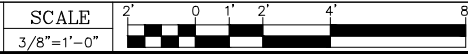
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NOTE:
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FRONT VIEW
LOOKING WEST

PROPOSED ELEVATION



2

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
2	05/20/20	CITY COMMENTS	FE
3	06/04/20	FINAL POWER	FE
4	06/05/20	CITY COMMENTS	FE
Δ	06/24/20	CITY COMMENTS	FE

an SFC Communications, Inc. Company

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TEL: (949) 553-8566
www.eukongroup.com

15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT

EXPIRATION DATE: 12-31-20
DATE SIGNED: 05-14-20

SCL SAN
CLEMENTE PCH 22

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
EXISTING AND
PROPOSED ELEVATION

A-4

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 34" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

SITE LOCATION PHOTOS



EXISTING SITE PROLE
LOOKING NORTH



PROPOSED SITE POLE
LOOKING NORTHWEST

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
2	05/20/20	CITY COMMENTS	FE
3	06/04/20	FINAL POWER	FE
4	06/05/20	CITY COMMENTS	FE
⚠	06/24/20	CITY COMMENTS	FE



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TEL: (949) 553-8566
www.eukongroup.com



SMALL CELL PROJECT



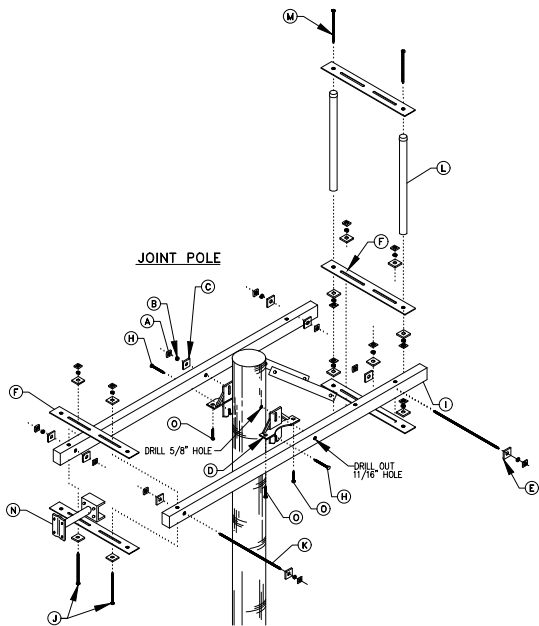
SCL SAN
CLEMENTE PCH 22
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
SITE LOCATION
PHOTOS

A-5

SCALE	1
NONE	

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



ITEM	DESCRIPTION	DIMENSIONS	CAT. NO.	QTY.
A	SQUARE NUT	5/8"	#563/OSLN	26
B	DOUBLE COIL LOCK WASHER	5/8"	#177/OSLN	24
C	FLAT SQUARE WASHERS	2 1/4" x 5/8" x 3/16"	#1014/OSLN	20
D	BRASSLESS CROSSARM GAINS	11" x 12"	PIRISA	2
E	MACHINE BOLT *	3/4" x 5/8"	#824 (17/OSLN)	1
F	ANTENNA MOUNTING PLATE *	32" x 4" x 1/4"	PRE-FAB	3
H	LAG BOLT	5/8" x 2"	HUBBELL	3
I	TYPE 98 GA-WOOD ARM/COMPOSITE	3 1/2" x 4 1/2" x 96"	BROOKS/WALMONT	2
J	MACHINE BOLT	5/8" x 5/8"	#806/OSLN	2
K	DOUBLE ARMING BOLT *	5/8" x 25"	#816/OSLN	2
L	GALV. STEEL PIPE W/END CAP *	2" x 18"	PRE-FAB	2
M	MACHINE BOLT *	5/8" x 22"	CUSTOM/OSLN	3
N	CUSTOM ANTENNA MOUNT	6" x 5/8"	BOUCHARD	1
O	LAG BOLT	1/2" x 1 1/2"	HUBBELL	4

* DIMENSIONS VARY BASED UPON POLE/ANTENNA SIZE

ARM ASSEMBLIES

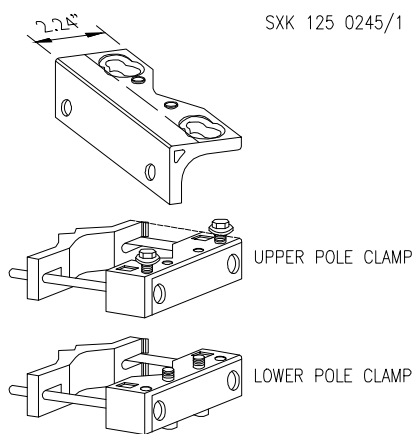
SCALE
NONE

1

RADIO UNIT MOUNT ON PIPE

SCALE
NONE

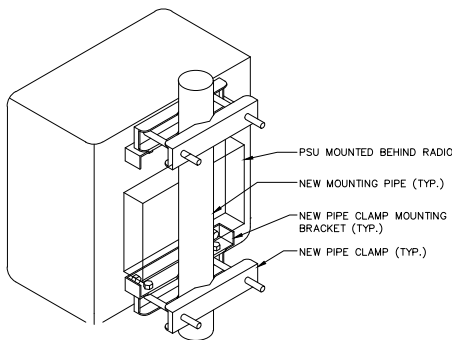
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RADIO UNIT MOUNTING HARDWARE

SCALE
NONE

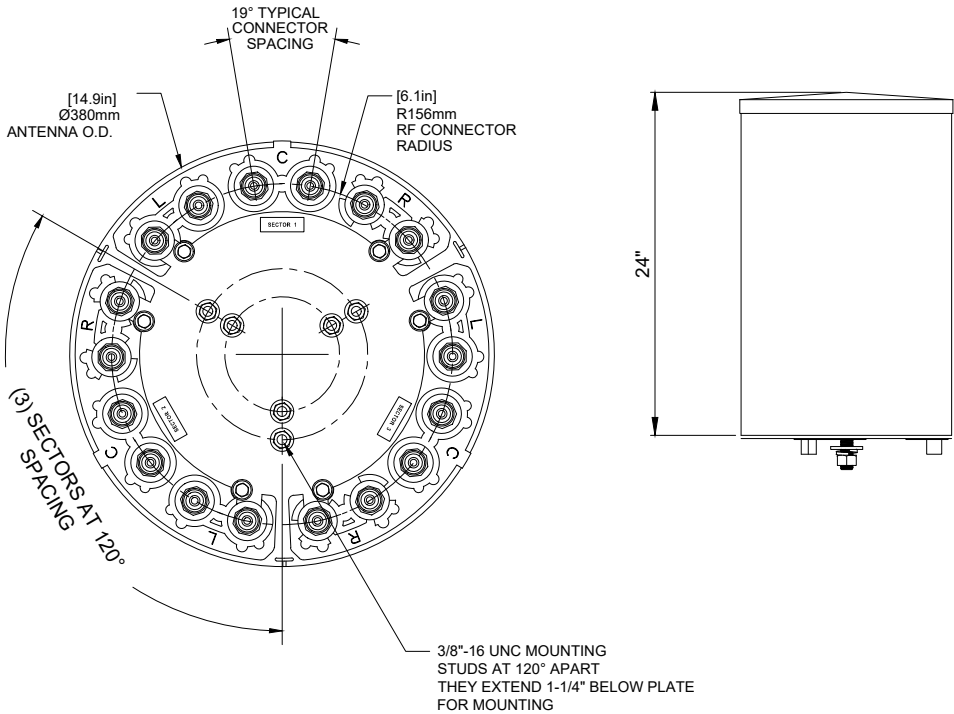
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CANISTER ANTENNA

SCALE
NONE

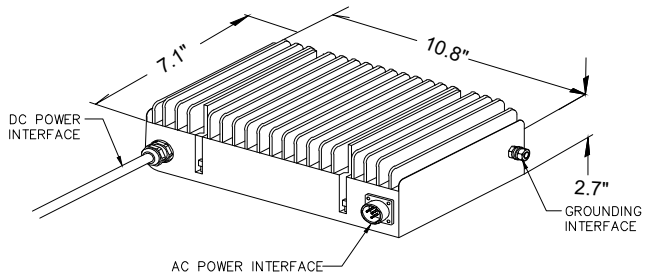
4



POWER SUPPLY UNIT (PSU AC 08)

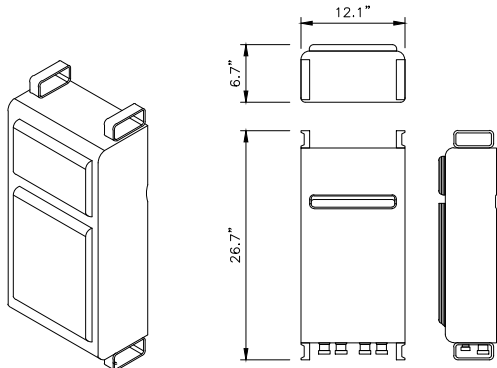
SCALE
NONE

6



ERICSSON RRUS-32

DIMENSIONS, WxDxH: 12.1"x6.7"x26.7"
TOTAL WEIGHT: 60 lbs



RRUS 32

SCALE
NONE

7

NOT USED

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
2	05/20/20	CITY COMMENTS	FE
3	06/04/20	FINAL POWER	FE
4	06/05/20	CITY COMMENTS	FE
Δ	06/24/20	CITY COMMENTS	FE

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verizon

15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 05-14-20

**SCL SAN
CLEMENTE PCH 22**

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
EQUIPMENT DETAILS

A-6

ARMORCAST - POLYMER
CONCRETE 17" x 30" x 18"
PULL BOX ASSEMBLY

MECHANICAL SPECIFICATIONS

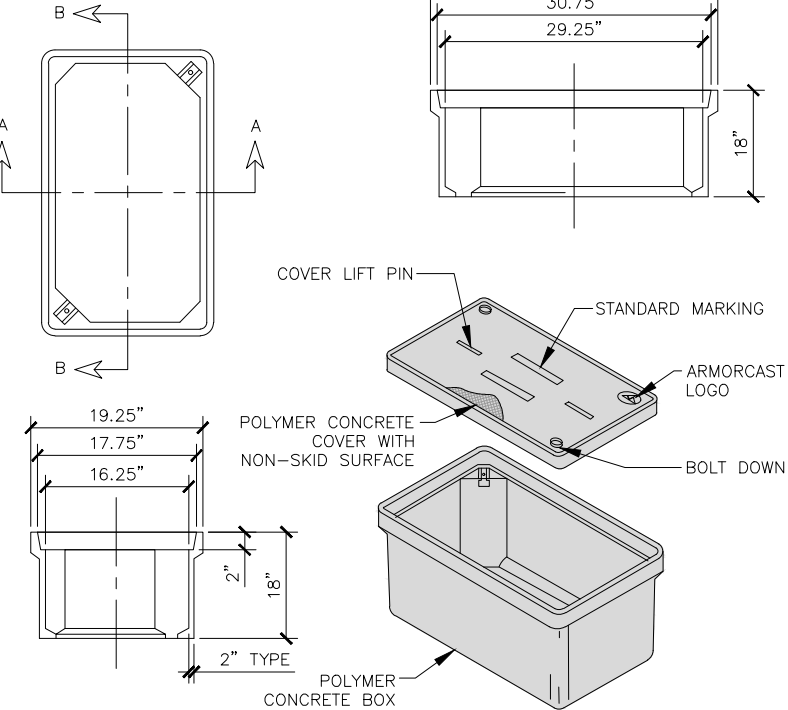
PART NUMBER: A6001640PCX18
LID NUMBER: A6001643

DIMENSIONS (WxLxD): 17"x30"x18"

APPROX. WEIGHT:
(BOX & COVER) 140 LB

LOAD RATING: 10K

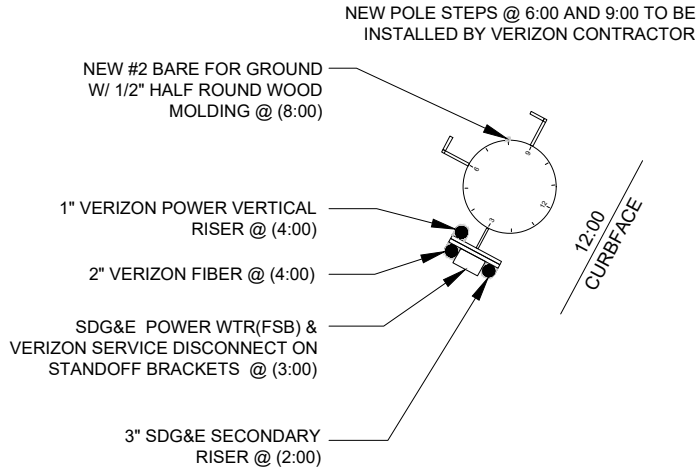
ANSI TIER: 8



NOTE:
1-LID TO BE MARKED "VZW FIBER" FOR PULLBOX #1

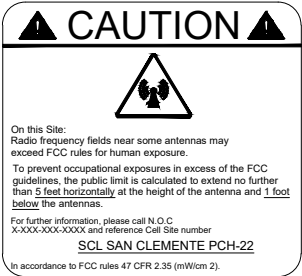
TYPICAL PULLBOX DETAIL - 17"x30"x18"

SCALE
NONE 1



RISER DETAIL - TOP VIEW

SCALE
NONE 2



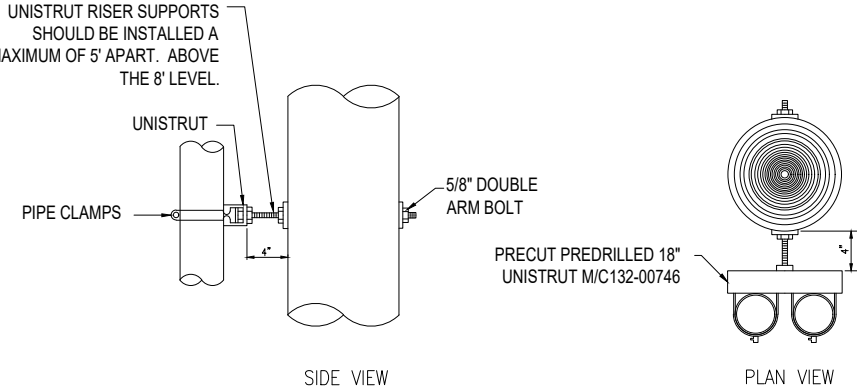
APPENDIX H: ADDITIONAL MARKING REQUIREMENTS:

ANTENNA OWNER/OPERATORS ARE RESPONSIBLE FOR THE INSTALLATION AND UPKEEP OF THEIR SIGN OR SIGNS AT EACH JOINT USE SITE.

- IN ADDITION TO THE REQUIREMENTS OF G095, RULE 94.5 (MARKING), AT A MINIMUM, EACH ANTENNA OWNER / OPERATOR WILL ALSO AFFIX A SIGN THAT:
 - IDENTIFIES THE APPLICABLE FCC EXPOSURE CATEGORY (GENERAL POPULATION / UNCONTROLLED OR OCCUPATIONAL / CONTROLLED);
 - IDENTIFIES THE FCC'S RECOMMENDED MINIMUM APPROACH DISTANCE AS SET FORTH IN 47 C.F.R.; AND IS OF WEATHER AND CORROSION RESISTANT MATERIAL.
- THE ANTENNA OWNER / OPERATOR WILL PLACE THE SIGN SO THAT IT IS CLEARLY VISIBLE TO WORKERS WHO OTHERWISE CLIMB THE POLE OR ASCEND BY MECHANICAL MEANS AND AFFIX SAID SIGN:
 - NO LESS THAN THREE (3) FEET BELOW THE ANTENNA (MEASURED FROM THE TOP OF THE SIGN); AND
 - NO LESS THAN NINE (9) FEET ABOVE THE GROUND LINE (MEASURED FROM THE BOTTOM OF THE SIGN).
- THE ANTENNA OWNER / OPERATOR MAY INSTALL A SINGLE SIGN THAT CONTAINS THE INFORMATION REQUIRED BY G095 RULE 94 AND SECTION(A) ABOVE, OR SEPARATE SIGNS. IN THE EVENT ONE OR MORE ANTENNAS ARE AFFIXED TO A POLE, EACH ANTENNA OWNER / OPERATOR SHALL PROVIDE A SIGN WITH SUFFICIENT INFORMATION TO ALLOW WORKERS TO IDENTIFY ITS ANTENNAS.

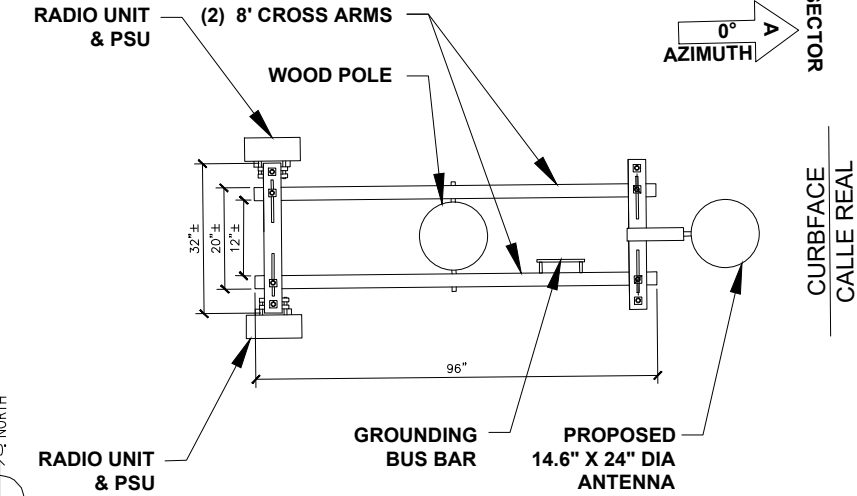
RF NOTICE SIGNAGE

SCALE
NONE 3



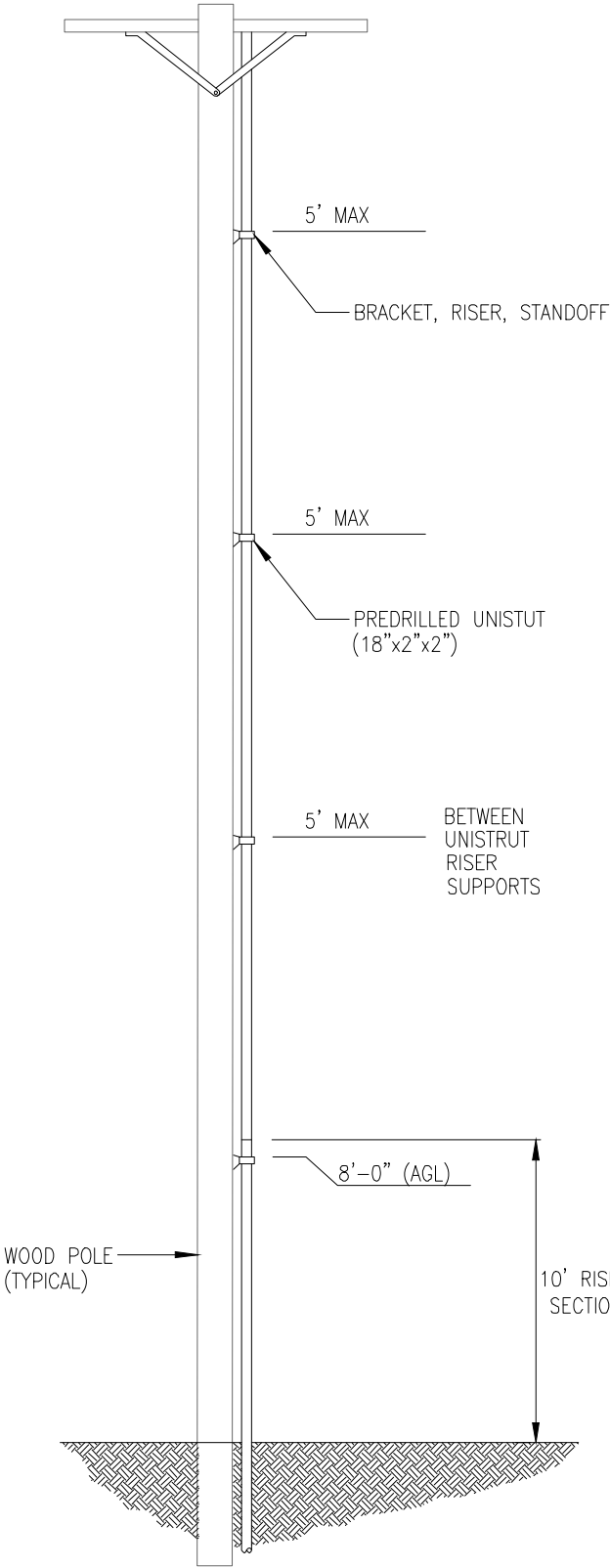
RISER INSTALLATION USING UNISTRUT DETAIL

SCALE
NONE 4



VECTOR DETAIL / TOP VIEW

SCALE
NONE 5



TYPICAL RISER STANDOFF BRACKET DETAIL POLE SCHEMATIC

SCALE
NONE 6

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	11/22/2019	90% CONSTRUCTION	PG
1	03/19/20	REVISED 90% CD	FE
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3	06/04/20	FINAL POWER	FE
4	06/05/20	CITY COMMENTS	FE
Δ	06/24/20	CITY COMMENTS	FE



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TEL: (949) 553-8566
www.eukongroup.com



SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 05-14-20

SCL SAN CLEMENTE PCH 22
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 27092
CALLE REAL
DANA POINT, CA 92624
CITY ADDRESS: 27093CS
CALLE REAL

SHEET TITLE:
EQUIPMENT DETAILS

A-7



SCL SAN CLEMENTE PCH 22

27092 Calle Real, Dana Point, CA 92624



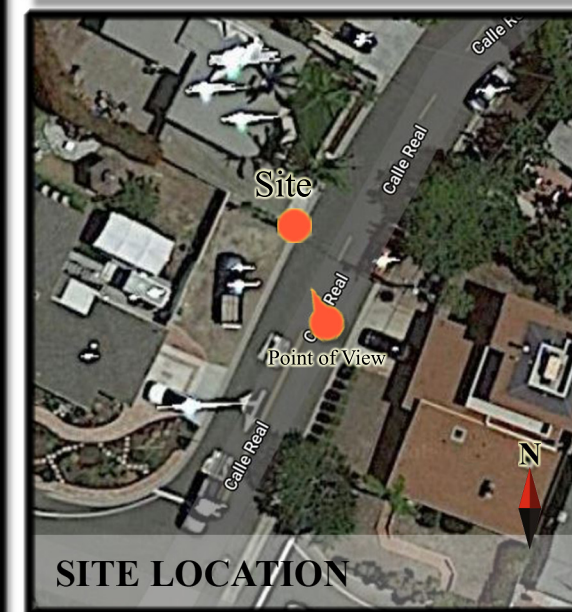
Eukon Group
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CA, 92618 - (949) 553-8566



PROPOSED VIEW SOUTH-EAST



EXISTING VIEW SOUTH-EAST



SITE LOCATION

SITE COORDINATES

Latitude: 33.46279345°

Longitude: -117.65720674°

SHEET NUMBER

1
3



SCL SAN CLEMENTE PCH 22

27092 Calle Real, Dana Point, CA 92624



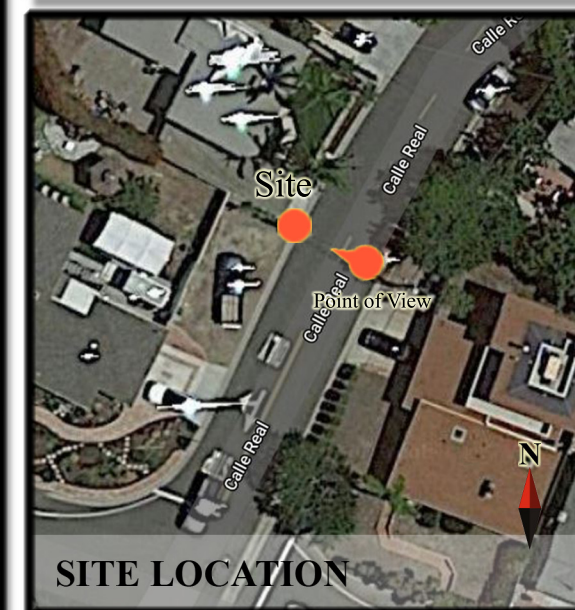
Eukon Group
65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566



PROPOSED VIEW SOUTH-EAST



EXISTING VIEW SOUTH-EAST



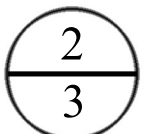
SITE LOCATION

SITE COORDINATES

Latitude: 33.46279345°

Longitude: -117.65720674°

SHEET NUMBER





SCL SAN CLEMENTE PCH 22

27092 Calle Real, Dana Point, CA 92624



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PROPOSED VIEW NORTH-EAST



EXISTING VIEW NORTH-EAST



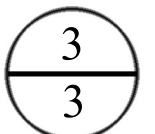
SITE LOCATION

SITE COORDINATES

Latitude: 33.46279345°

Longitude: -117.65720674°

SHEET NUMBER





SCL San Clemente PCH - 22

27093CS Calle Real, Dana Point, CA 92624



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65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566



PROPOSED VIEW NORTH-EAST



EXISTING VIEW NORTH-EAST



SITE LOCATION

SITE COORDINATES

Latitude: 33.46279345°

Longitude: -117.65720674°

SHEET NUMBER

1
3



SCL San Clemente PCH - 22

27093CS Calle Real, Dana Point, CA 92624



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CA, 92618 - (949) 553-8566



PROPOSED VIEW EAST



EXISTING VIEW EAST



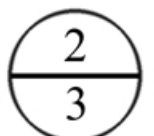
SITE LOCATION

SITE COORDINATES

Latitude: 33.46279345°

Longitude: -117.65720674°

SHEET NUMBER





SCL San Clemente PCH - 22

27093CS Calle Real, Dana Point, CA 92624



Eukon Group
65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566



PROPOSED VIEW SOUTH



EXISTING VIEW SOUTH



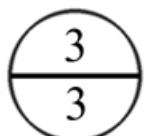
SITE LOCATION

SITE COORDINATES

Latitude: 33.46279345°

Longitude: -117.65720674°

SHEET NUMBER



SUPPORTING DOCUMENT 4: Camino El Molino Plans and Simulations

ATTACHMENT

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

FLOYD SURVEYING

1-A ACCURACY CERTIFICATION

VERIZON SITE NO:
SITE NAME: SCL SAN CLEMENTE PCH 17 B
PROJECT TYPE: UTILITY POLE
SITE ADDRESS: 34113 CAMINO EL MOLINO
DANA POINT, CA 92624
ORANGE COUNTY
SURVEY DATE: FEBRUARY 3, 2017

I hereby certify that the Coordinates at the center of the proposed sectors are as follows:

GEOGRAPHIC COORDINATES
(NAD 83-Epoch 2010)

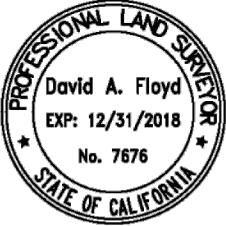
SECTOR: A, B & C
LATITUDE: N 33°28'00.20"
LONGITUDE: W 117°39'58.90"

Geodetic coordinates were established using Trimble 5700/5800 GPS receivers and Trimble Geodetic Office processing software version 1.60. I further certify that the elevations and heights referenced hereon are as follows:

	ELEVATIONS (NAVD88)		
	Elevations (AMSL)	Heights (AGL)	
	Above Mean Sea Level	Above Ground Line	
		Decimal/FT	Inches/FT
ELEVATION AT GROUND LEVEL.....	232.6 FEET		
TOP OF POLE (Structure/Overall Height).....	266.8 FEET	34.2'	34' 2"

The horizontal accuracy of the latitude and longitude at the center of each sector falls within fifteen (15) feet. The elevations (NAVD88) of the ground and fixtures fall within three (3) feet. The measured heights (AGL) are within +/- one (1) foot vertically.

BENCHMARK USED: National Geodetic Survey Continues Operating Reference Station: JPLM
ELEVATION: 1503.49' NAVD88



David A. Floyd

David A. Floyd, PLS #7676

5/29/2018

Date:

34006 Galleron Street, Temecula, CA 92592 Phone (949) 200-0626
Email: fsi@floydsurveying.com

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
Δ	06/23/30	CITY COMMENTS	FE



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TEL: (949) 553-8566
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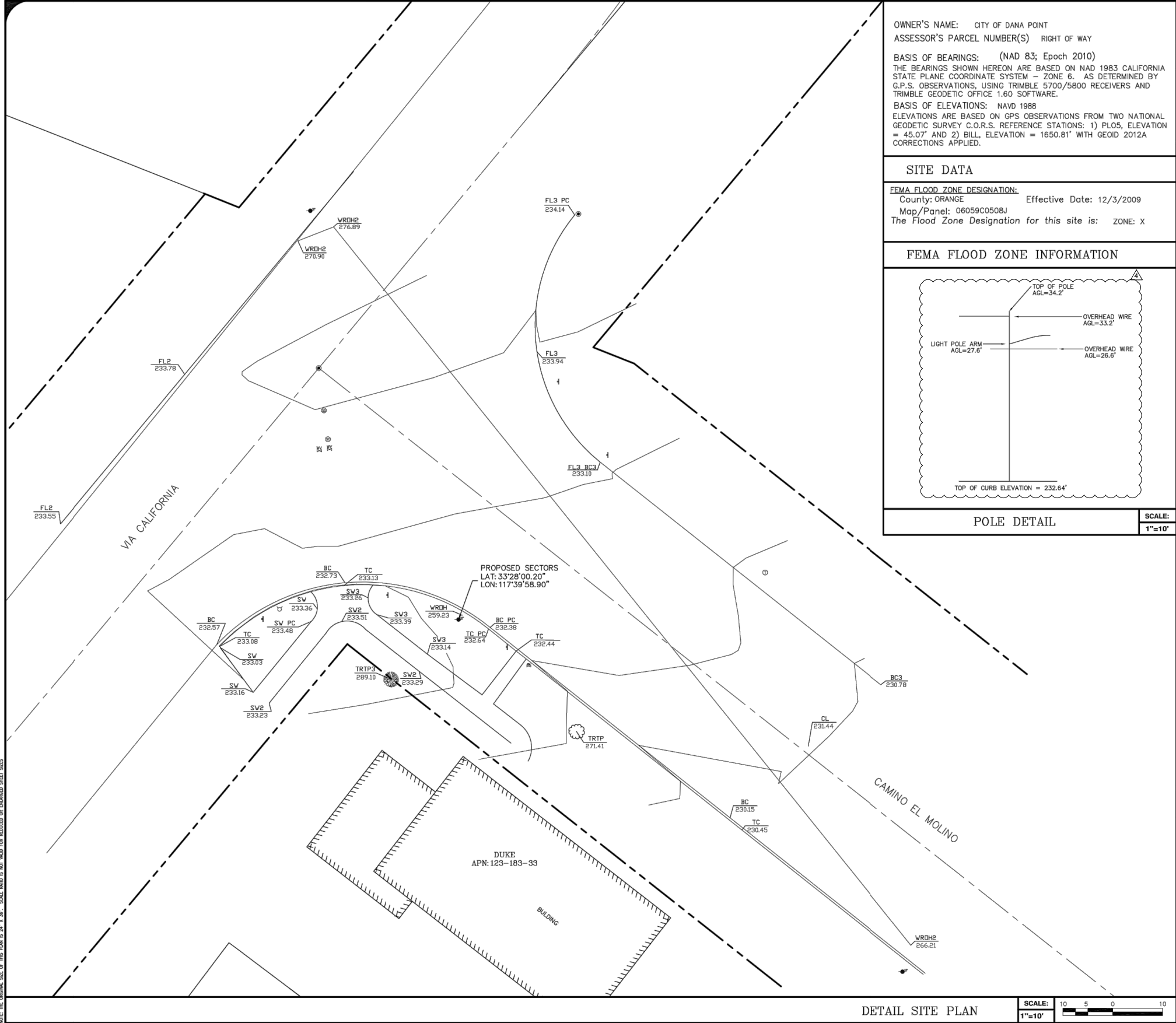
15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT

SCL SAN
CLEMENTE PCH 17
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:
1A CERTIFICATION
LETTER

T-2



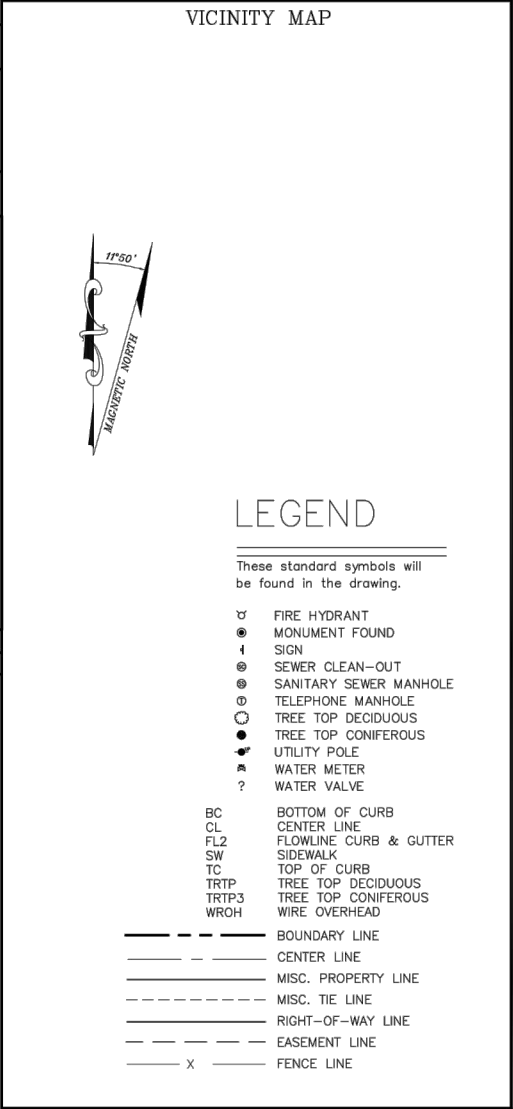
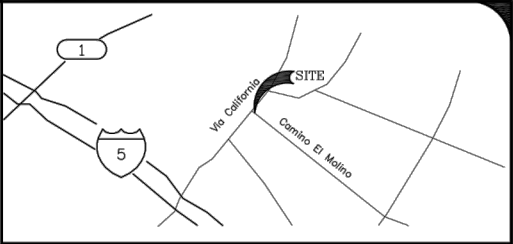
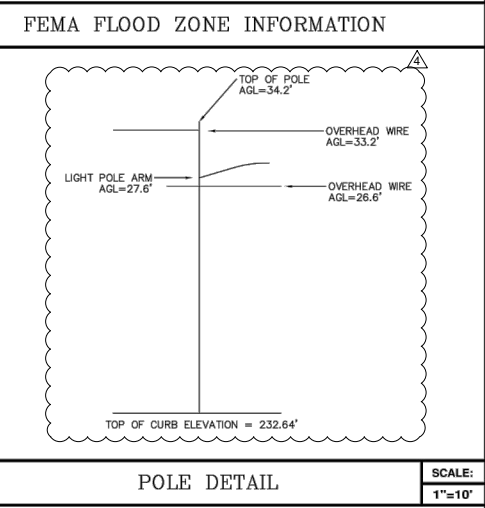
OWNER'S NAME: QTY OF DANA POINT
ASSESSOR'S PARCEL NUMBER(S) RIGHT OF WAY

BASIS OF BEARINGS: (NAD 83; Epoch 2010)
THE BEARINGS SHOWN HEREON ARE BASED ON NAD 1983 CALIFORNIA STATE PLANE COORDINATE SYSTEM - ZONE 6. AS DETERMINED BY G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.

BASIS OF ELEVATIONS: NAVD 1988
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM TWO NATIONAL GEODETIC SURVEY C.O.R.S. REFERENCE STATIONS: 1) PLO5, ELEVATION = 45.07' AND 2) BILL, ELEVATION = 1650.81' WITH GEOID 2012A CORRECTIONS APPLIED.

SITE DATA

FEMA FLOOD ZONE DESIGNATION:
County: ORANGE Effective Date: 12/3/2009
Map/Panel: 06059C0508J
The Flood Zone Designation for this site is: ZONE: X



LEGEND

1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.

2) Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.

3) These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.

4) Field survey completed on FEBRUARY 3, 2017.

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	2/15/2017	SITE SURVEY	DF

FLOYD SURVEYING
34008 GALLERON STREET
TEMECULA, CA 92592
OFFICE: (949) 200-0626
EMAIL: fsi@floydsurveying.com

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS
ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED

verizon
15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618

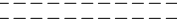
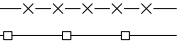
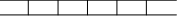
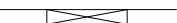



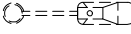















SCL SAN CLEMENTE PCH 17 B
34113 CAMINO EL MOLINO
DANA POINT, CA 92624

SHEET TITLE:
SITE SURVEY
GENERAL INFORMATION

LS1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

SYMBOL	DESCRIPTION
EOD	EDGE OF DIRT
W/L	WHITE LINE
ROW	RIGHT OF WAY
EOP	EDGE OF PAVEMENT
C/L	CENTER LINE
C/F	CURBFACE
P/L	PROPERTY LINE
	EXISTING CUT
	FENCE
	WALL
	DRIVEWAY
	BUSHES
	TREE
	STREET LIGHT SITE POLE
	STREET LIGHT EXISTING
	JPA SITE POLE
	UTILITY POLE EXISTING
	PARKING METER/STREET SIGN
	DOWN GUY
	FIRE HYDRANT
	UTILITY VALVE
	UTILITY MANHOLE
	SEWER MANHOLE
	SQUARE VENT
	ROUND VENT
	DIG-ALERTS
	(POC) POINT OF CURBFACE
	ADA CURB RAMP

ABBREVIATIONS AND SYMBOLOGY

INTENT

1. THESE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE DONE & THE MATERIALS TO BE FURNISHED FOR CONSTRUCTION.

2. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.

3. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.

4. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.

CONFLICTS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED IN THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.

2. THE BIDDER, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING CONCERNING WHICH SUCH BIDDER MIGHT HAVE FULLY INFORMED THEMSELVES PRIOR TO THE BIDDING.

3. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.

WARRANTIES & BONDS

1. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACTOR LICENSES AND BONDS.

2. SEE MASTER CONTRACTION SERVICES AGREEMENT FOR ADDITIONAL DETAILS.

STORAGE

1. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK.

2. BTS CABINETS MUST BE STORED INSIDE UNTIL THERE IS POWER ON SITE.

3. STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.

RELATED DOCUMENTS AND COORDINATION

1. GENERAL CONSTRUCTION, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, THE CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CHANGE ORDER PROCEDURE

1. CHANGE ORDERS MAY BE INITIATED BY THE OWNER AND/OR THE CONTRACTOR INVOLVED. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE OWNER SHALL PREPARE A WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT TO THE OWNER WITHIN 72 HRS FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES IN THE SCOPE OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED & APPROVED BY THE OWNER SHALL PLACE FULL RESPONSIBILITY OF THESE ACTIONS ON THE CONTRACTOR.

SHOP DRAWINGS

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE DRAWINGS TO THE OWNER FOR APPROVAL.

2. ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER.

GENERAL NOTES AND CONDITIONS

PRODUCTS & SUBSTITUTIONS

1. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.

2. SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS & MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER SUBMIT ACTUAL SAMPLES TO THE OWNER FOR APPROVAL IN LIEU OF CUT SHEETS.

CODE COMPLIANCE

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE BUT NOT BE LIMITED TO THE LATEST VERSION OF THE FOLLOWING:

• 2019 CALIFORNIA ENERGY CODE

• 2019 CALIFORNIA BUILDING CODE

• 2019 CALIFORNIA ELECTRICAL CODE

• 2019 CALIFORNIA FIRE CODE

• 2019 CALIFORNIA GREEN BUILDING CODE

• 2019 CALIFORNIA MECHANICAL CODE

• 2019 CALIFORNIA PLUMBING CODE

• G095/G0128

INSURANCE AND BONDS

1. CONTRACTOR SHALL AT THEIR OWN EXPENSE CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AS REQUIRED AND LISTED.

2. CONTRACTOR SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGE'S TO THE OWNER.

3. THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICIES.

4. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS.

ADMINISTRATION

1. BEFORE THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR WILL ASSIGN A PROJECT MANAGER WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERSONNEL INVOLVED IN THIS PROJECT. THIS PROJECT MANAGER WILL BE DEVELOPING A MASTER SCHEDULE FOR THE PROJECT WHICH WILL SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

2. SUBMIT A BAR TYPE PROGRESS CHART NOT MORE THAN THREE (3) DAYS AFTER THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK ON THE SCHEDULE, INDICATING A TIME BAR FOR EACH MAJOR CATEGORY OF WORK TO BE PERFORMED AT THE SITE, PROPERLY SEQUENCED AND COORDINATED WITH OTHER ELEMENTS OF WORK & SHOWING COMPLETION OF THE WORK SUFFICIENTLY IN ADVANCE OF THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION OF THE SITE.

3. PRIOR TO COMMENCING CONSTRUCTION, THE OWNER SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE OWNER, PROJECT MANAGER, CONTRACTOR, LAND OWNER REPRESENTATIVE, LOCAL TELEPHONE COMPANY, TOWER ERECTION FOREMAN (IF SUBCONTRACTED).

4. CONTRACTOR SHALL BE EQUIPPED WITH SOME MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A MOBILE PHONE OR A BEEPER. THIS EQUIPMENT WILL NOT BE SUPPLIED BY THE BY THE OWNER, NOR WILL WIRELESS SERVICE BE ARRANGED.

5. DURING CONSTRUCTION, CONTRACTOR MUST ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES. CONTRACTOR WILL COMPLY WITH ALL VERIZON WIRELESS SAFETY REQUIREMENTS IN THEIR AGREEMENT.

6. PROVIDE WRITTEN DAILY UPDATES AND PHOTOGRAPHS OF ON SITE PROGRESS TO THE PROJECT MANAGER VIA E-MAIL.

7. A COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.

8. NOTIFY THE OWNER / PROJECT MANAGER IN WRITING NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, TOWER ERECTIONS, AND EQUIPMENT CABINET PLACEMENTS.

9. CLOSEOUT PACKAGE IS DUE COMPLETE WITH DETAILED TOP PHOTOS UPON SITE PUNCHWALK WITH PROJECT MANAGER (SEE PROJECT MANAGER FOR SAMPLE CLOSEOUT PACKAGE).

CLEAN UP

1. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK. AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THEIR WORK CLEAN AND READY FOR USE.

2. VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES & OTHER FOREIGN MATTER.

3. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.

4. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

GENERAL NOTES:

1. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL:

ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THAT THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD VERIZON WIRELESS, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.

2. PRIOR TO THE BEGINNING OF ANY CONSTRUCTION AND THROUGHOUT THE COURSE OF CONSTRUCTION WORK, THE CONTRACTOR SHALL FULLY COMPLY WITH "CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH" ACT OF 1973 INCLUDING ALL REVISIONS AND AMENDMENTS THERETO.

3. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF GO 95, 128, AND THE STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AS ADOPTED BY THE CITY, COUNTY OR STATE AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.

4. THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER AGENCIES FACILITIES AS SHOWN HEREON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. THE CONTRACTOR SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION AND SHALL USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY OR AGENCY FACILITIES WITHIN THE LIMITS OR WORK, WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.

5. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800) 227-2600, AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.

6. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT AT LEAST TWO DAYS BEFORE THE START OF ANY WORK REQUIRING THEIR INVOLVEMENT.

7. ALL WORK AREA AND STREET TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WORK AREA TRAFFIC CONTROL BOOK AND SPECIFICATIONS FROM THE CITY, COUNTY OR STATE.

8. THE CITY, COUNTY OR STATE SHALL SPECIFY THE EXPIRATION PERIOD OF THE PERMIT FOR THIS CONSTRUCTION PROJECT.

9. THE MINIMUM COVER FOR ALL CONDUITS PLACED UNDERGROUND SHALL BE 36 INCHES TO THE FINISHED GRADE AT ALL TIMES.

10. THE CONTRACTOR SHALL HDD OR OPEN TRENCH ALL CURB AND GUTTERS, CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE INSPECTOR.

11. ALL AC. AND/OR CONCRETE PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEERS.

12. ALL SHRUBS, PLANTS OR TREES THAT HAVE BEEN DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.

13. IF DAMAGE OCCURS TO THE CITY OR COUNTY FACILITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY, TRAFFIC CONTROL LIGHTING AND STREET LIGHTING

14. AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK, NOTIFY THE POLICE TRAFFIC BUREAU AND THE FIRE DEPARTMENT:

15. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROCESSING OF ALL APPLICATION PERMIT FORMS ALONG WITH THE REQUIRED LIABILITY INSURANCE FORMS. CLEARLY DEMONSTRATING THAT THE CLIENT, THE CITY, COUNTY OR STATE AS ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE IN THE AMOUNT OF \$ 1,000,000.00, FOR THIS CONSTRUCTION PROJECT.

16. VAULTS, PEDESTALS, CONDUITS AND OTHER TYPES OF SUBSTRUCTURE ARE EITHER SPECIFIED ON THIS PLAN OR WILL BE SPECIFIED BY THE CONSTRUCTION ENGINEER. ANY AND ALL DEVIATIONS FROM THE SPECIFIED TYPES OF MATERIAL MUST BE APPROVED BY THE SYSTEM ENGINEER, IN WRITING BEFORE INSTALLATION THEREOF.

17. ALL U.G. CONDUIT MUST BE SCHEDULE 40 OR BETTER.

18. CONDUIT REQUIREMENTS:

UG-SCHEDULE 40 EXCEPT ALL RADIUS CONDUITS TO BE SCH. 80 RISERS-SCHEDULE 80.

19. GROUND REQUIREMENTS:

5/8" ROD-10' LENGTH
#2 GROUND WIRE
WOOD MOLDING, STAPLED EVERY 3' AND AT EACH END GROUNDS 2' FROM POLE.

20. POWER REQUIREMENT FOR 3 WIRE SERVICE 120/240V.

21. CONTRACTOR SHALL NOTIFY POWER & TELCO COMPANIES THREE DAYS PRIOR TO START OF CONSTRUCTION FOR CONDUIT INSPECTION.

22. ANY AND ALL PROPOSED SITE MODIFICATIONS, EXPANSION, OR REARRANGEMENT OF THIS CELLULAR SITE MUST BE COMPLIANT WITH ALL GO 95, AND GO 128 REGULATIONS AS PRESCRIBED BY STATE LAW. FUTURE EXPANSION OF THIS CELLULAR SITE MUST BE APPROVED BY THE DESIGNING ENGINEERING FIRM OR AN EQUALLY QUALIFIED ENGINEERING COMPANY.

GENERAL NOTES

1

2

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
	06/23/30	CITY COMMENTS	FE



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IRVINE, CA 92618
TEL: (949) 553-8566
www.eukongroup.com



15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

SCL SAN
CLEMENTE PCH 17

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:
ABBREVIATIONS,
SYMBOLGY AND
GENERAL NOTES

GN-1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOTES:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPERTY OWNER & NECESSARY UTILITY COMPANIES FOR THE LOCATION OF ALL EXISTING BELOW GRADE UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE COSTS ASSOCIATED WITH EXISTING BELOW GRADE UTILITIES.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.
- CONTRACTOR TO VERIFY LOCAL UTILITY REQUIREMENTS FOR DEPTH, SIZE & SEPARATION OF CONDUITS PRIOR TO INSTALLATION. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR TO CALL DIG ALERT (800)-227-2600 A MINIMUM OF 48 HRS PRIOR TO EXCAVATING FOR UNDERGROUND UTILITY LOCATIONS. CONTRACTOR IS RESPONSIBLE TO HAVE ALL NONPUBLIC UTILITIES LOCATED AT THEIR OWN EXPENSE.
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NOTE TO CONTRACTOR:
CONCRETE SIDEWALKS SHALL BE SAWCUT TO THE NEAREST SCORE MARK AND BE REPLACED EQUAL IN DIMENSION TO THAT REMOVED.

NOTE:
CONTRACTOR TO ALLOW INGRESS AND EGRESS TO DRIVEWAYS AT ALL TIMES DURING CONSTRUCTION.

JURISDICTON NOTES:

- THE PROPOSED TRENCHING IN THE STREET SHALL BE PER CITY OF DANA POINT STANDARDS IN ADDITION TO SDG&E DESIGN AND CONSTRUCTION STANDARDS.

UNDERGROUND UTILITIES NOTE:

THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

UTILITY LINETYPE LEGEND:

POWER	_____	E	_____
PHONE	_____	T	_____
WATER	_____	W	_____
SEWER	_____	S	_____
STORM DRAIN	_____	SD	_____
GAS	_____	G	_____
GASOLINE	_____	GS	_____
OIL	_____		_____



Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (SOUTH), CALL DIG ALERT
TOLL FREE: 1-800-227-2600 OR
www.digalert.org
CALIFORNIA STATUTE
REQUIRES MIN OF 2
WORKING DAYS NOTICE
BEFORE YOU EXCAVATE

CITY PERMIT INFORMATION

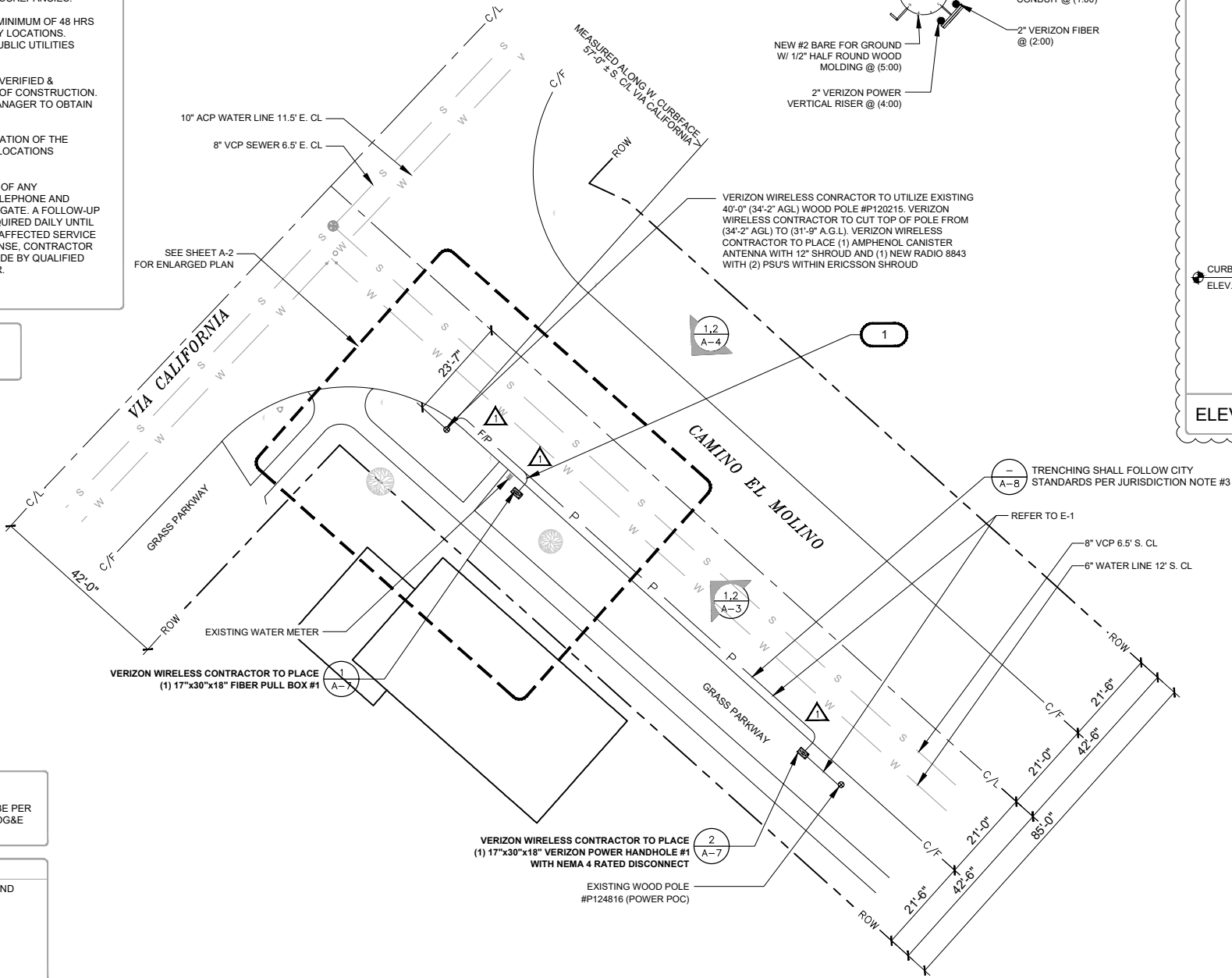
HDD / OPEN TRENCH A/C STREET FOOTAGE:	243'-3"
HDD / OPEN TRENCH CONC. PARKWAY FOOTAGE:	0
HDD / OPEN TRENCH GRASS/DIRT PARKWAY FOOTAGE:	14'-11"
HDD / OPEN TRENCH TOTAL PROJECT FOOTAGE:	258'-2"

CONDUIT CURVE DATA

	ANGLE	RADIUS	LENGTH
△	90°	3'-0"	4'-9"

PROPOSED PULL BOX LOCATION		
PULL BOX #	HANDHOLE SIZE	LOCATION
PULL BOX 1	17"x30"x18" (FIBER) PULL BOX	78'-0"± SE. C/L VIA CALIFORNIA & 23'-0"± SW. C/L CAMINO EL MOLINO.

PROPOSED ITEM #	DESCRIPTION
1	26'-4" SITE POLE TO VZW (FIBER) PULL BOX #1 (1)-2" SCH. 40 PVC CONDUIT (VZW FIBER)



NEW POLE STEPS @ 6:00 AND 9:00 TO BE INSTALLED BY VERIZON CONTRACTOR

NEW #2 BARE FOR GROUND W/ 1/2\"/>

2\"/>

NEW 1\"/>

2\"/>

VERIZON WIRELESS CONTRACTOR TO UTILIZE EXISTING 40'-0\"/>

TRENCHING SHALL FOLLOW CITY STANDARDS PER JURISDICTION NOTE #3

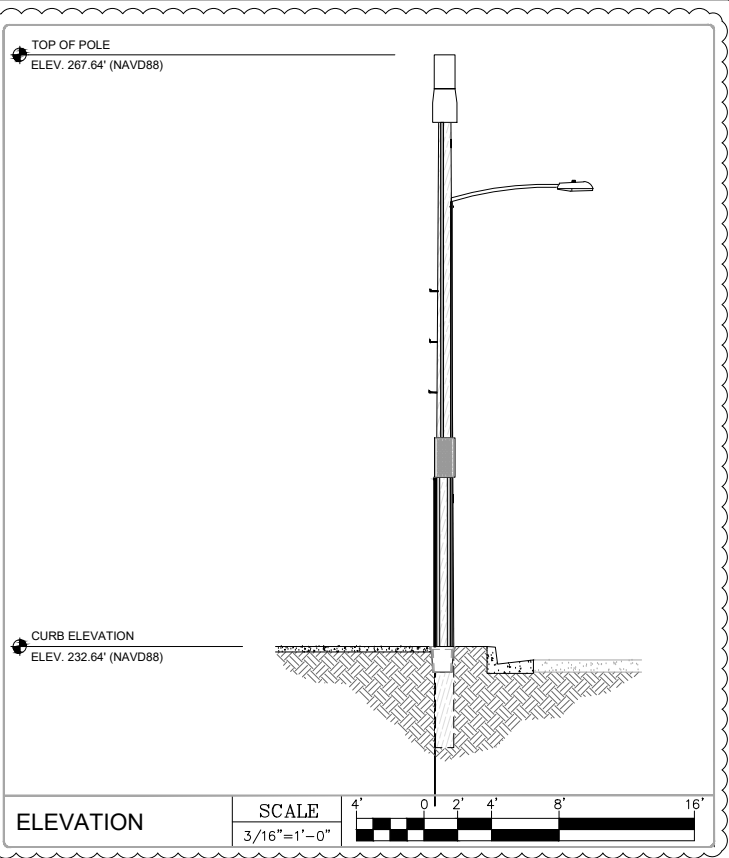
REFER TO E-1

8\"/>

6\"/>

VERIZON WIRELESS CONTRACTOR TO PLACE (1) 17"x30"x18" VERIZON POWER HANDHOLE #1 WITH NEMA 4 RATED DISCONNECT

EXISTING WOOD POLE #P124816 (POWER POC)



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
△	06/23/30	CITY COMMENTS	FE



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15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

SCL SAN
CLEMENTE PCH 17

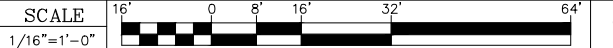
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:

SITEPLAN

A-1

SITE PLAN



NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOTES:

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NOTE:
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WATER	_____	W	_____
SEWER	_____	S	_____
STORM DRAIN	_____	SD	_____
GAS	_____	G	_____
GASOLINE	_____	GS	_____
OIL	_____		_____



Know what's below.
Call before you dig.

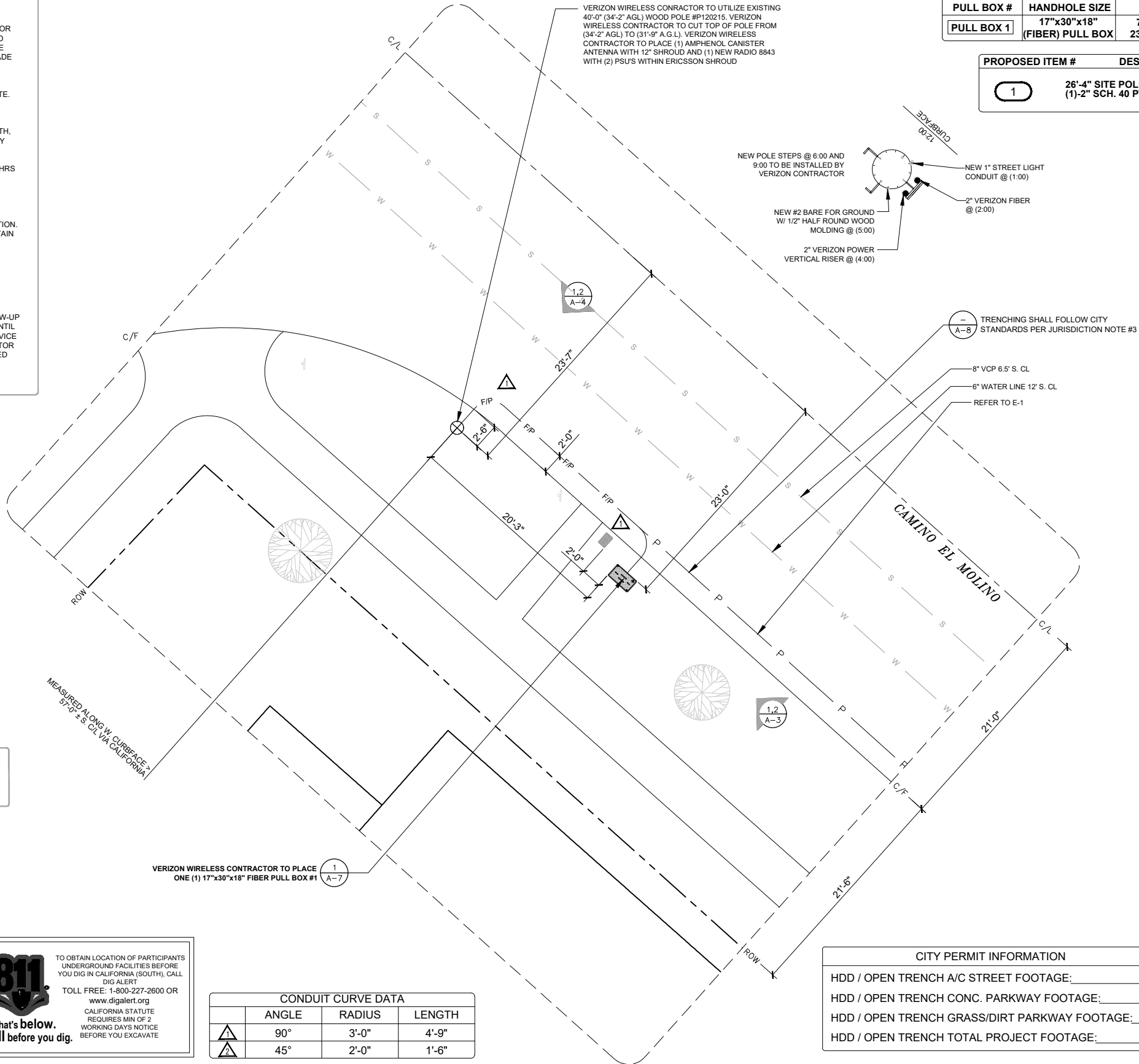
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CONDUIT CURVE DATA

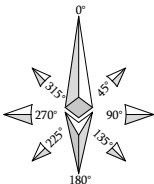
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CITY PERMIT INFORMATION	
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HDD / OPEN TRENCH GRASS/DIRT PARKWAY FOOTAGE:	14'-11"
HDD / OPEN TRENCH TOTAL PROJECT FOOTAGE:	258'-2"



ENLARGED SITE PLAN

SCALE
3/16"=1'-0"



1

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SMALL CELL PROJECT



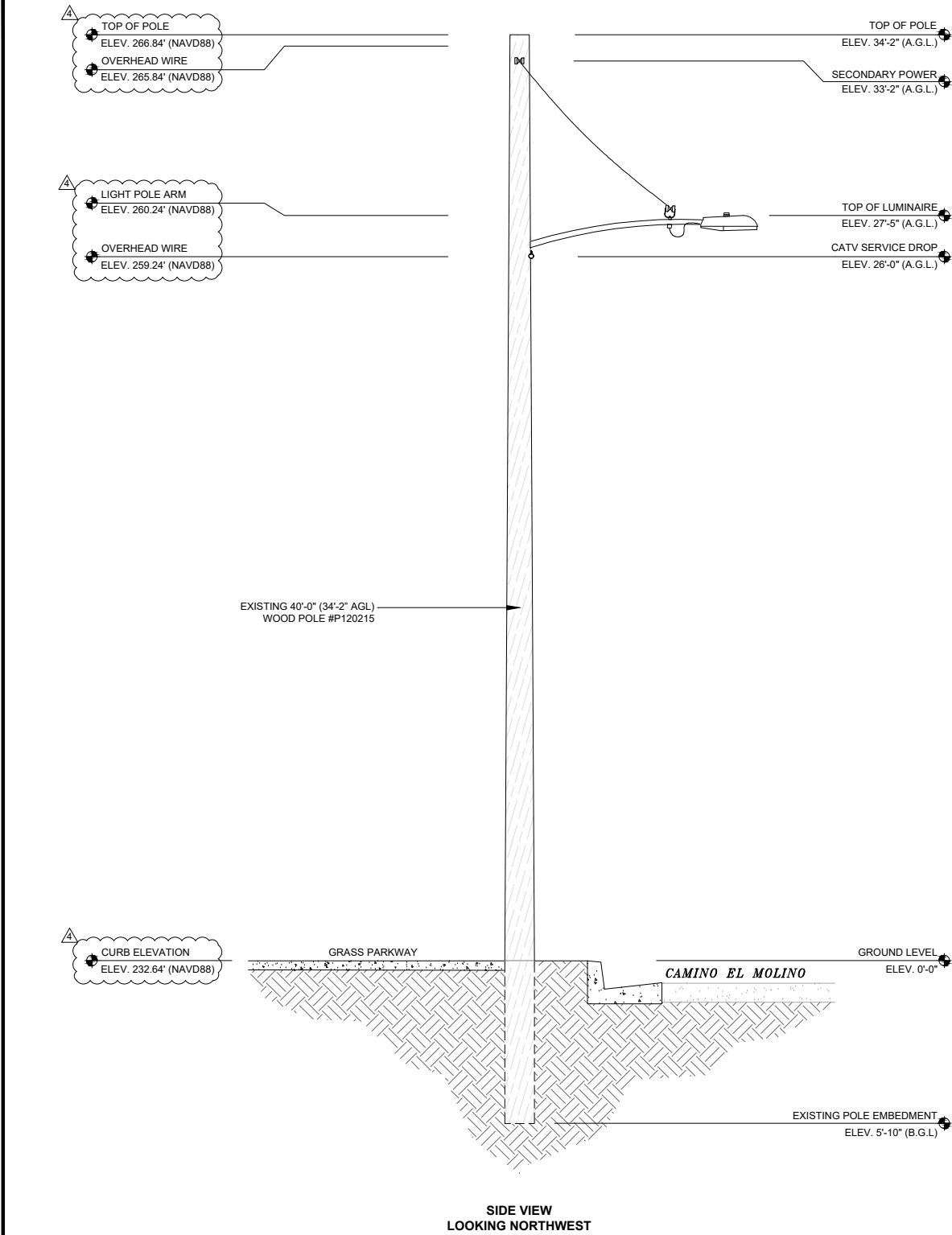
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SCL SAN
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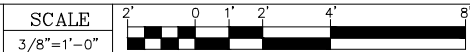
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POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:
ENLARGED SITE
PLAN

A-2



EXISTING NORTHWEST ELEVATION

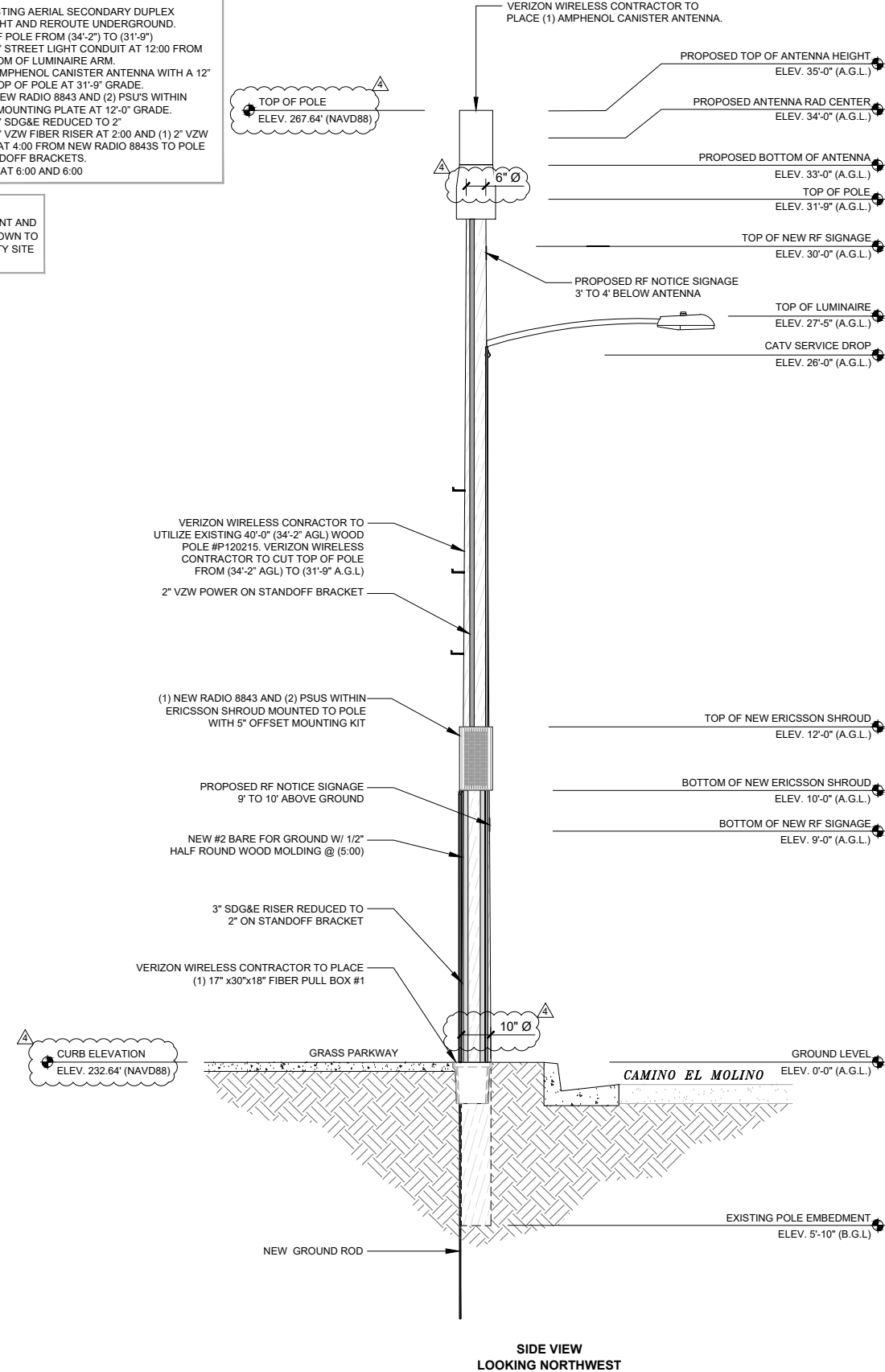


1

- MAKE READY NOTES:
SITE POLE #P120215 SOUTH SIDE CAMINO EL MOLINO 50' EAST OF VIA CALIFORNIA.
- A) SDG&E TO REMOVE EXISTING AERIAL SECONDARY DUPLEX SERVICE TO STREET LIGHT AND REROUTE UNDERGROUND.
 - B) VERIZON TO CUT TOP OF POLE FROM (34'-2") TO (31'-9")
 - C) VERIZON TO PLACE (1) 1" STREET LIGHT CONDUIT AT 12.00 FROM BASE OF POLE TO BOTTOM OF LUMINAIRE ARM.
 - D) VERIZON TO PLACE (1) AMPHENOL CANISTER ANTENNA WITH A 12" TAPERED SHROUD TO TOP OF POLE AT 31'-9" GRADE.
 - E) VERIZON TO PLACE (1) NEW RADIO 8843 AND (2) PSU'S WITHIN ERICSSON SHROUD ON MOUNTING PLATE AT 12'-0" GRADE.
 - F) VERIZON TO PLACE (1) 3" SDG&E REDUCED TO 2"
 - G) VERIZON TO PLACE (1) 2" VZW FIBER RISER AT 2:00 AND (1) 2" VZW COMM VERTICAL RISER AT 4:00 FROM NEW RADIO 8843S TO POLE TOP CANISTER ON STANDOFF BRACKETS.
 - H) VERIZON TO STEP POLE AT 6:00 AND 6:00

NOTE:
ALL POLE MOUNTED EQUIPMENT AND CONDUITS TO BE PAINTED BROWN TO MATCH EXISTING WOOD UTILITY SITE POLE

PROPOSED NORTHWEST ELEVATION



2

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
Δ	06/23/30	CITY COMMENTS	FE

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www.eukongroup.com

15505 SAND CANYON AVENUE
IRVINE, CA 92618

SMALL CELL PROJECT

EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

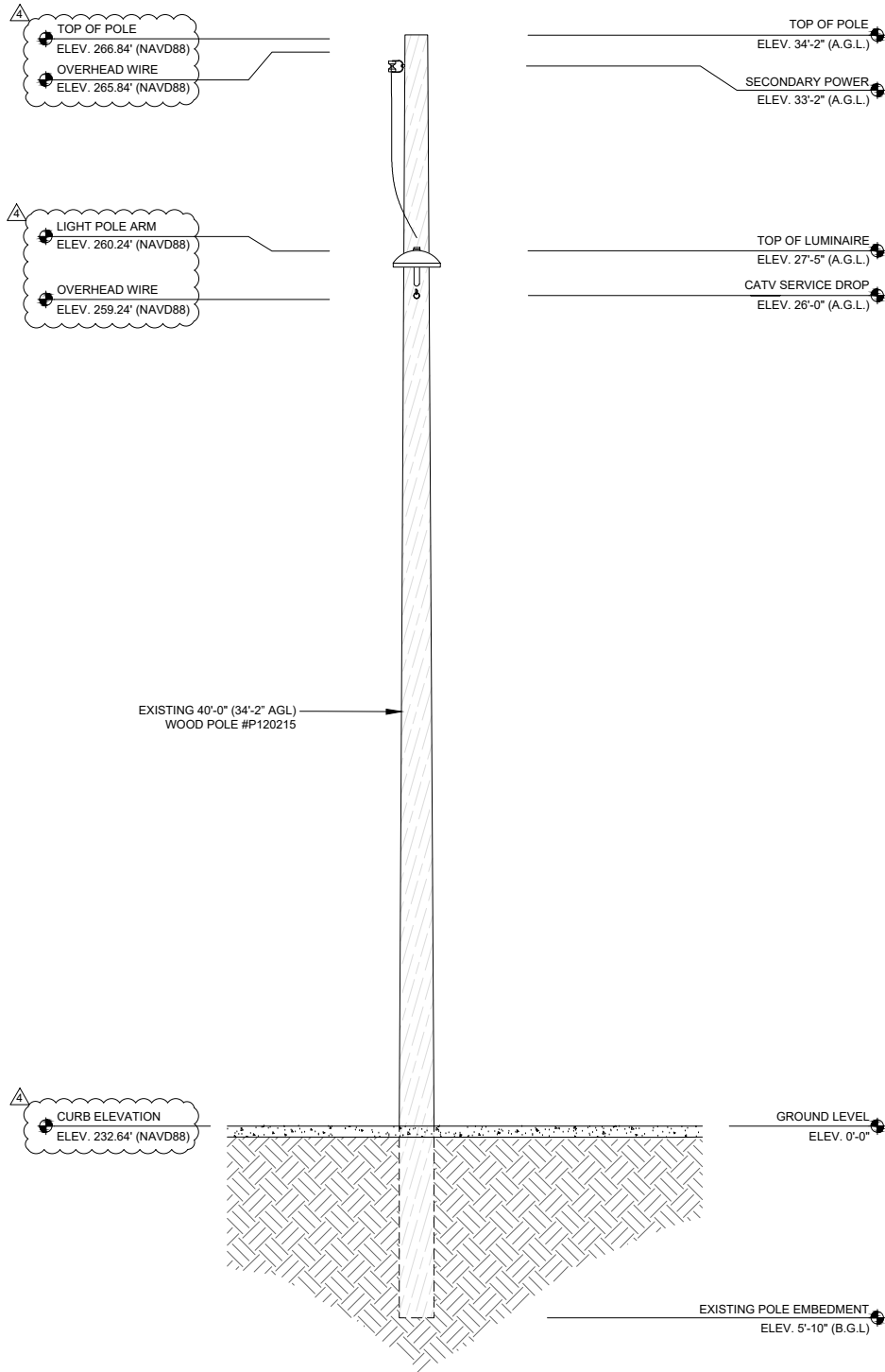
SCL SAN CLEMENTE PCH 17

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:
EXISTING AND
PROPOSED ELEVATION

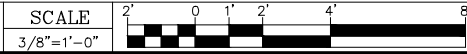
A-3

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



FRONT VIEW
LOOKING SOUTHWEST

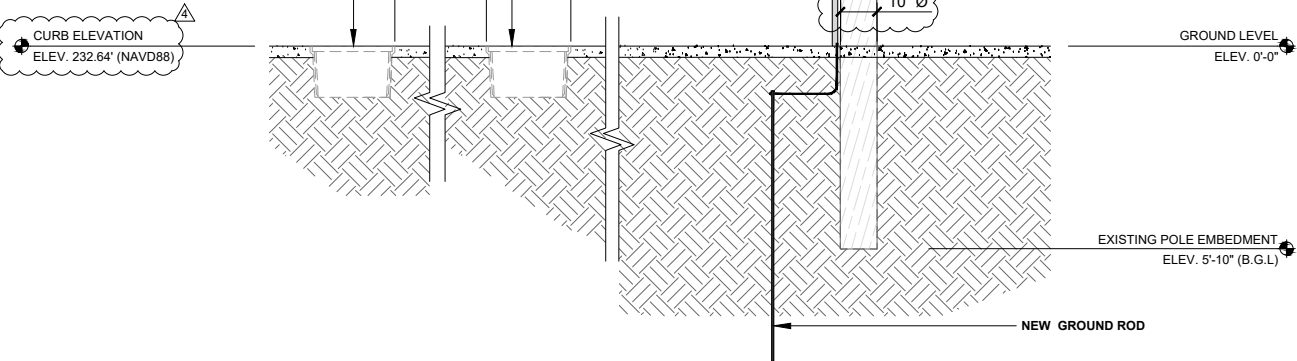
EXISTING SOUTHWEST ELEVATION



1

- MAKE READY NOTES:
SITE POLE #P120215 SOUTH SIDE CAMINO EL MOLINO 50' EAST OF VIA CALIFORNIA.
- A) SDG&E TO REMOVE EXISTING AERIAL SECONDARY DUPLEX SERVICE TO STREET LIGHT AND REROUTE UNDERGROUND.
 - B) VERIZON TO CUT TOP OF POLE FROM (34'-2") TO (31'-9")
 - C) VERIZON TO PLACE (1) 1" STREET LIGHT CONDUIT AT 12.00 FROM BASE OF POLE TO BOTTOM OF LUMINAIRE ARM.
 - D) VERIZON TO PLACE (1) AMPHENOL CANISTER ANTENNA WITH A 12" TAPERED SHROUD TO TOP OF POLE AT 31'-9" GRADE.
 - E) VERIZON TO PLACE (1) NEW RADIO 8843 AND (2) PSU'S WITHIN ERICSSON SHROUD ON MOUNTING PLATE AT 12'-0" GRADE.
 - F) VERIZON TO PLACE (1) 3" SDG&E REDUCED TO 2"
 - G) VERIZON TO PLACE (1) 2" VZW FIBER RISER AT 2:00 AND (1) 2" VZW COMM VERTICAL RISER AT 4:00 FROM NEW RADIO 8843S TO POLE TOP CANISTER ON STANDOFF BRACKETS.
 - H) VERIZON TO STEP POLE AT 6:00 AND 6:00

NOTE:
ALL POLE MOUNTED EQUIPMENT AND CONDUITS TO BE PAINTED BROWN TO MATCH EXISTING WOOD UTILITY SITE POLE



FRONT VIEW LOOKING
SOUTHWEST

PROPOSED SOUTHWEST ELEVATION



2

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
Δ	06/23/30	CITY COMMENTS	FE



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SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

SCL SAN CLEMENTE PCH 17
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:
**EXISTING AND
PROPOSED ELEVATION**

A-4

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 34" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

SITE LOCATION PHOTOS



EXISTING SITE POLE
LOOKING WEST



PROPOSED SITE POLE
LOOKING WEST

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
Δ	06/23/30	CITY COMMENTS	FE




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IRVINE, CA 92618

SMALL CELL PROJECT



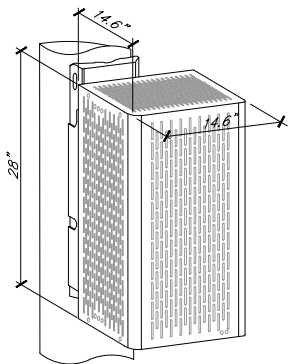
EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

**SCL SAN
CLEMENTE PCH 17**

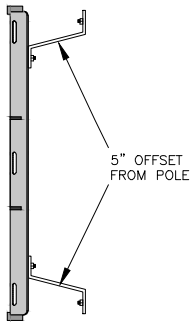
SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:
SITE LOCATION
PHOTOS

A-5

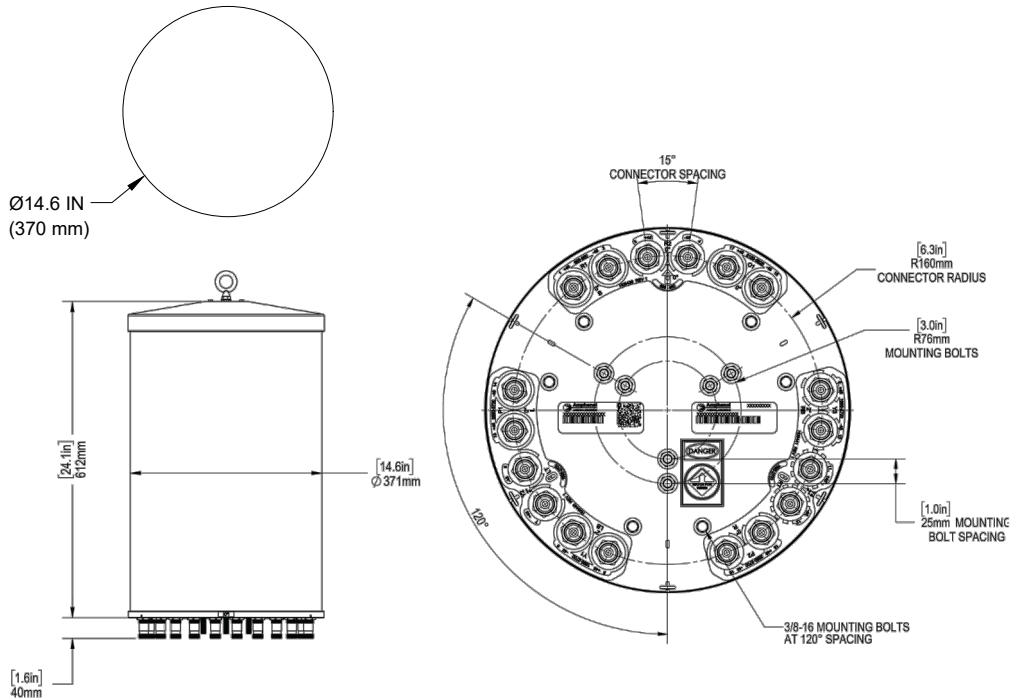


(2) DUAL BAND SHROUD, BROWN,
ERICSSON RADIO MATERIAL KIT
(1) MATERIAL KIT, 1x RADIO 8843



MODEL SXX 125 4600/B
ERICSSON POLE MOUNTING KITS

AMPHENOL
2C4U3MT360X



TYP. RADIO CONCEALMENT ENCLOSURE

SCALE
NONE

1

NOT USED

SCALE
NONE

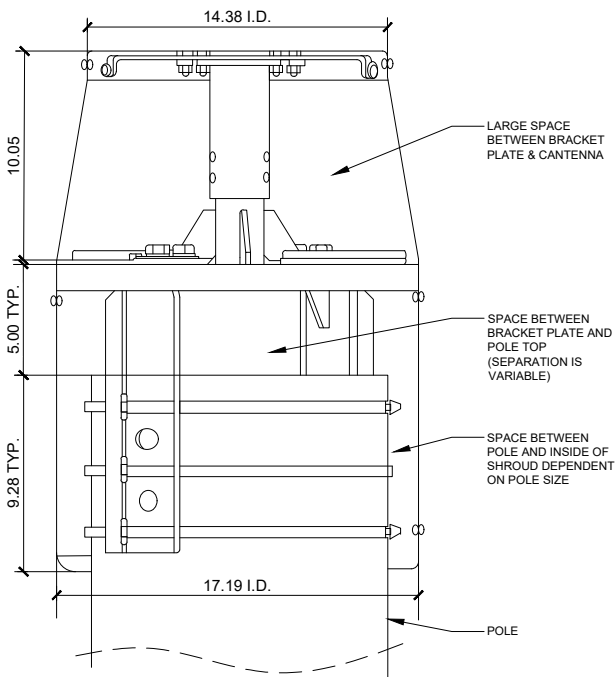
2

CANISTER ANTENNA / SHROUD DETAIL

SCALE
NONE

3

AMPHENOL - CWT-MKS-BASE-BE



WIDE DIAMETER POLE TOP MOUNT

SCALE
NONE

4

RADIO 8843 SPECIFICATIONS

SCALE
NONE

5

NOT USED

SCALE
NONE

7

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
⚠	06/23/30	CITY COMMENTS	FE



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SMALL CELL PROJECT



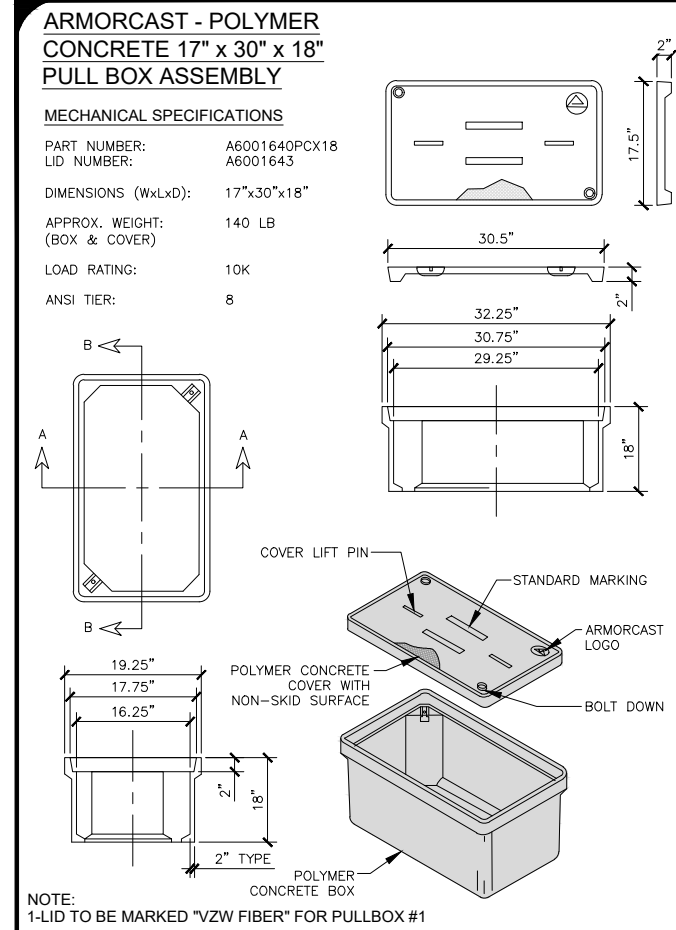
EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

SCL SAN
CLEMENTE PCH 17

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

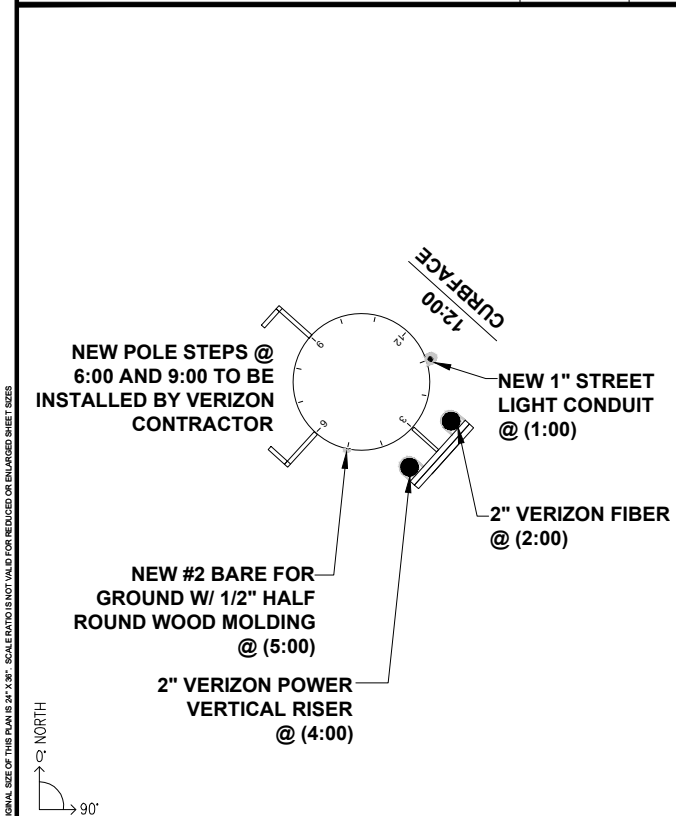
SHEET TITLE:
EQUIPMENT DETAILS

A-6



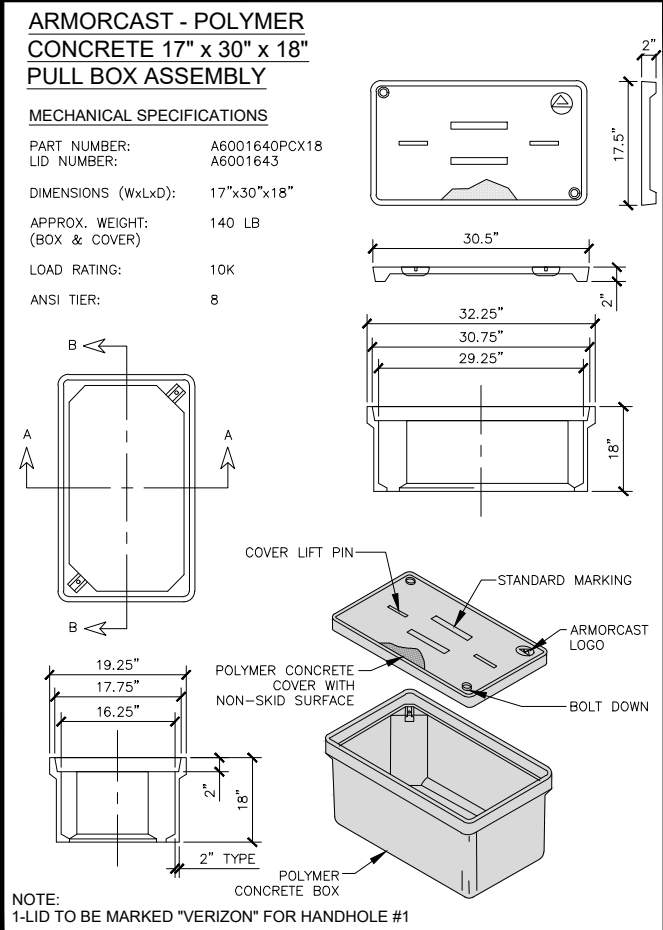
TYPICAL PULLBOX DETAIL - 17"x30"x18"

SCALE NONE 1



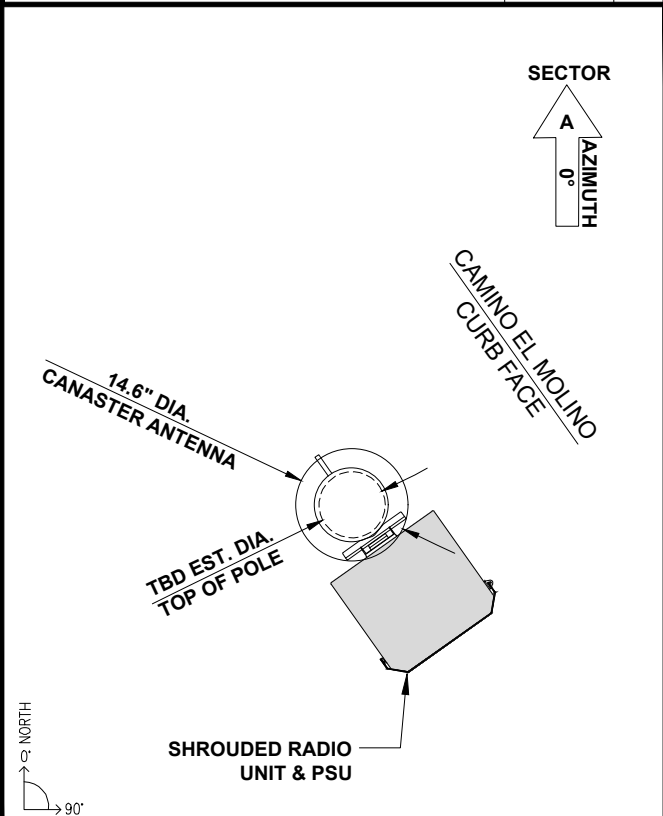
RISER DETAIL - TOP VIEW

SCALE NONE 4



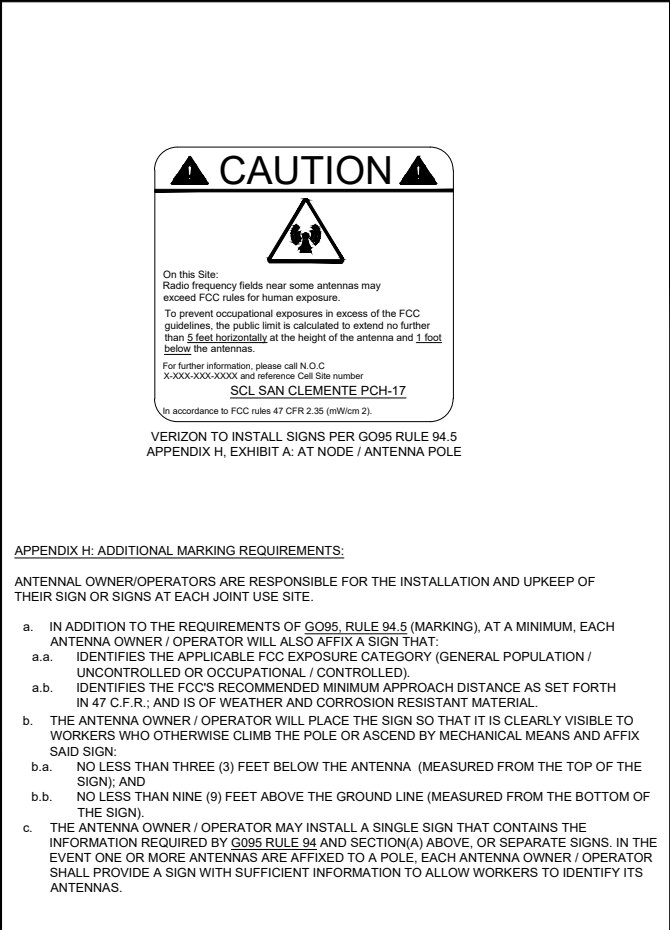
TYPICAL HANDHOLE DETAIL - 17"x30"x18"

SCALE NONE 2



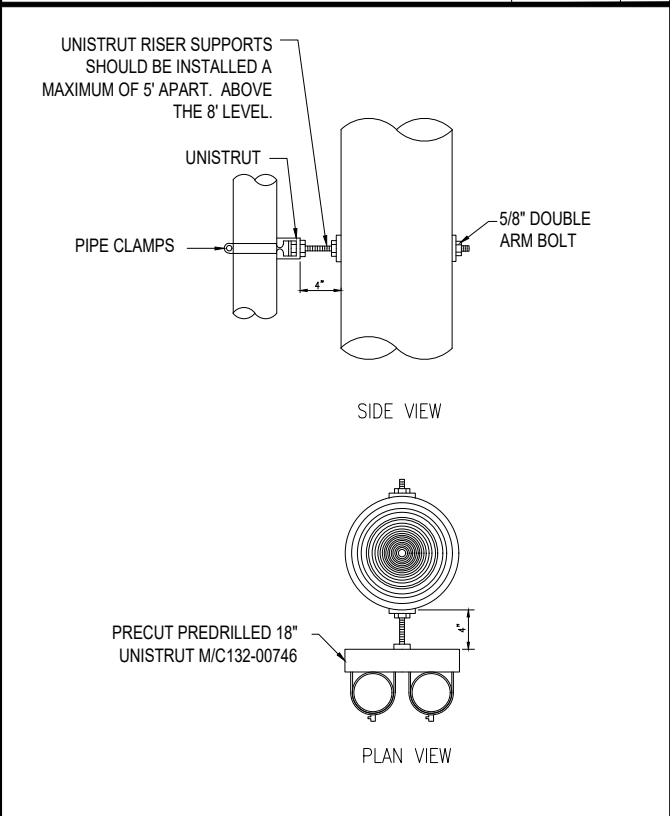
VECTOR DETAIL / TOP VIEW

SCALE NONE 5



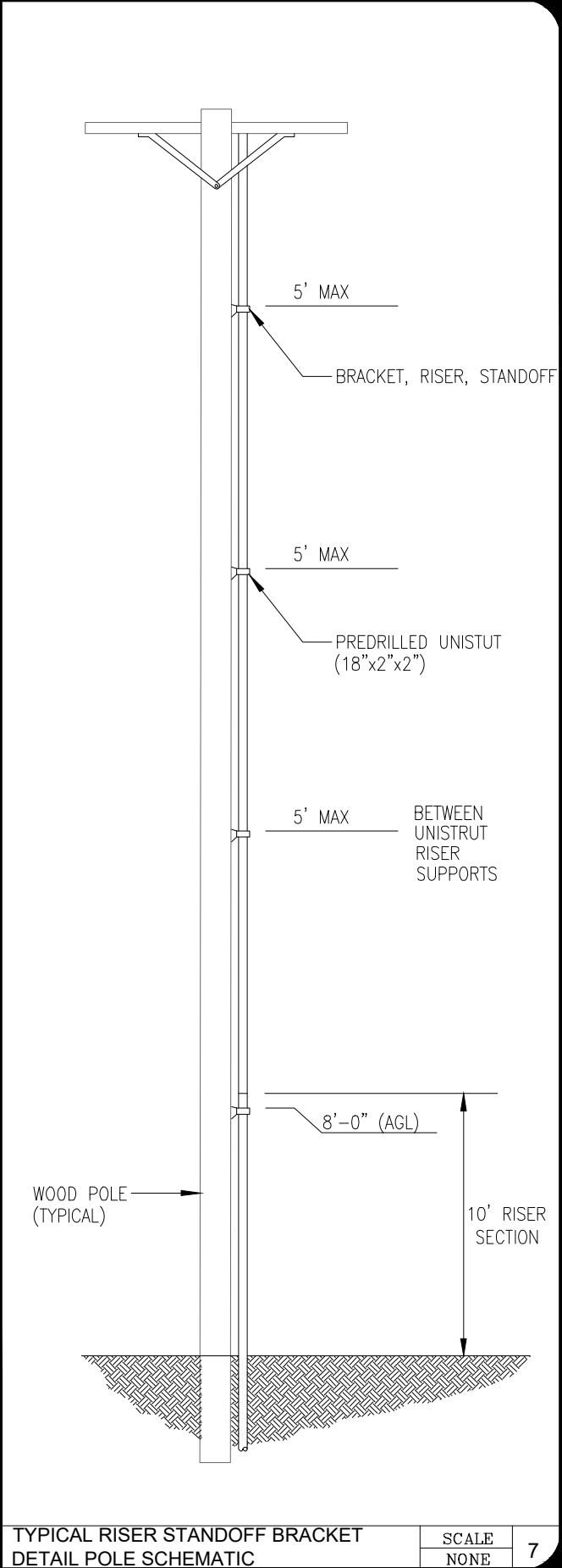
RF NOTICE SIGNAGE

SCALE NONE 3



RISER INSTALLATION USING UNISTRUT DETAIL

SCALE NONE 6



TYPICAL RISER STANDOFF BRACKET DETAIL POLE SCHEMATIC

SCALE NONE 7

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
Δ	06/23/30	CITY COMMENTS	FE

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verizon

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IRVINE, CA 92618

SMALL CELL PROJECT

REGISTERED PROFESSIONAL ENGINEER
CHRIS S. LEE
70549
CIVIL
STATE OF CALIFORNIA

EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

SCL SAN CLEMENTE PCH 17

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:
EQUIPMENT DETAILS

A-7

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

NOT USED

SCALE
NONE

3

NOT USED

SCALE
NONE

4

DANA POINT STANDARD DP-141

SCALE
NONE

1

NOT USED

SCALE
NONE

2

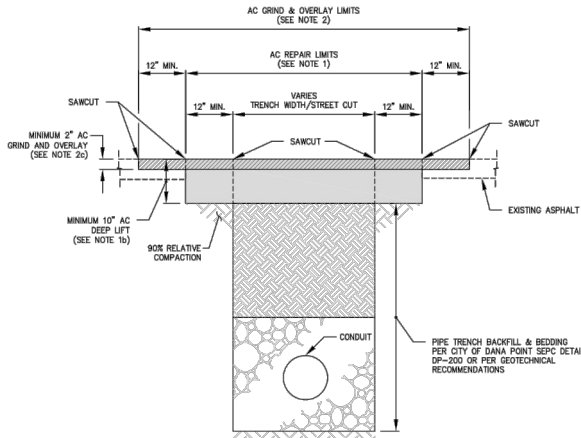
REVISIONS
4/20/18
CITY OF DANA POINT SEPC DETAIL
SPECIFICATIONS FOR RESURFACING
CASE A: PERPENDICULAR STREET CUT IN PARKING LANE

REVISED 2018
DP-140
SHEET 1 OF 2

D:\00 Name 1\000-Genlty\00000\Plan\Standard Detail\DP-140 Case A-Perpendicular St Parking Lane.dwg Plotted for daniel on: Apr 20, 2018 - 7:28:41

CASE A - PERPENDICULAR STREET CUT IN PARKING LANE (NON-TRAVEL LANE):

- AC REPAIR REQUIREMENTS:
 - IF THE STREET CUT IS PERPENDICULAR TO THE STREET AND IS NOT IN A TRAVEL LANE, THE REPAIR LIMITS SHALL BE ONE (1) FOOT WIDER ON EACH SIDE THAN THE STREET CUT, SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
 - SAWCUT AND REMOVE AC/AB DOWN 10" BELOW PROPOSED FINISH GRADE. CONSTRUCT 10" THICK AC (TYPE II-B3 PG 70-10) ON COMPACTED SUBGRADE.
- AC GRIND AND OVERLAY REQUIREMENTS:
 - GRIND AND OVERLAY LIMITS SHALL BE EXTENDED TO THE CURB AND CUTTER EDGE.
 - IF THE DISTANCE BETWEEN PERPENDICULAR TRENCHES IS TEN (10) FEET OR LESS FROM THE INSIDE EDGE OF THE TRENCHES, THE GRIND AND OVERLAY LIMITS SHALL BE EXTENDED TO ENCOMPASS THE AREA BETWEEN TRENCHES.
 - ASPHALT OVERLAY MATERIAL SHALL BE 2" THICK AC (TYPE II-C3 PG 70-10) ON LOCAL AND COLLECTOR STREETS; 2" THICK ABIM-50-C WITH PG 64-16 ASPHALT RUBBER BINDER ON ARTERIAL STREETS. TACK COAT MATERIAL FOR OVERLAY SHALL BE THERMOPLASTIC POLYMER MODIFIED NO TRACK TACK.
- IF ASPHALT IN THE ADJACENT AREA OF THE REPAIR SHOWS STRESS OR FAILS DUE TO APPLICANT'S WORK, THE APPLICANT SHALL REPAIR THOSE AREAS IN CONJUNCTION WITH THE WORK.
- ALL STREET CUTS THROUGH CONCRETE FACILITIES SHALL BE REPAIRED TO THE NEAREST JOINT.



SECTION A-A: TRENCH DETAIL

NOT TO SCALE

REVISIONS
4/20/18
CITY OF DANA POINT SEPC DETAIL
SPECIFICATIONS FOR RESURFACING
CASE A: PERPENDICULAR STREET CUT IN PARKING LANE

REVISED 2018
DP-140
SHEET 2 OF 2

D:\00 Name 1\000-Genlty\00000\Plan\Standard Detail\DP-140 Case A-Perpendicular St Parking Lane.dwg Plotted for daniel on: Apr 20, 2018 - 7:28:19

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	01/10/19	90% ZONING	JD
1	04/22/30	FINAL POWER	FE
2	05/20/30	CITY COMMENTS	FE
3	06/05/30	POLE DESIGN UPDATE	FE
Δ	06/23/30	CITY COMMENTS	FE



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SMALL CELL PROJECT



EXPIRATION DATE: 12-31-20
DATE SIGNED: 06-22-20

SCL SAN
CLEMENTE PCH 17

SDG&E WOOD UTILITY POLE
VERIZON ADDRESS: 34113
CAMINO EL MOLINO DANA
POINT, CA 92624
CITY ADDRESS: 34113CS
CAMINO EL MOLINO

SHEET TITLE:

CITY STANDARDS

A-8



SCL San Clemente PCH - 17

34113CS Camino El Molino, Dana Point, CA 92624



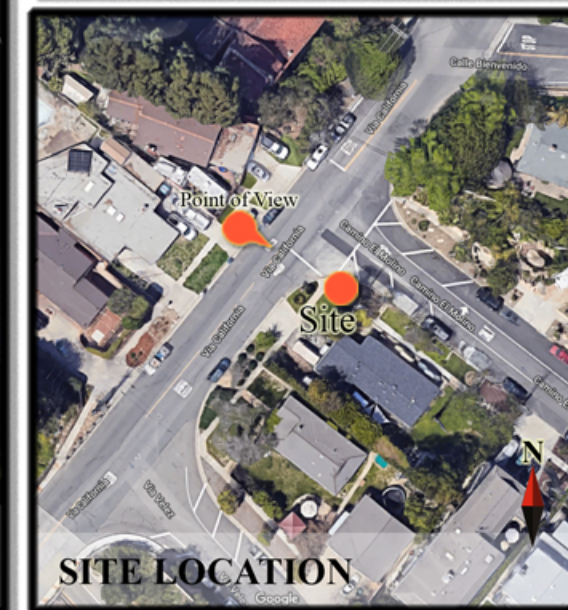
Eukon Group
65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566



PROPOSED VIEW NORTH-WEST



EXISTING VIEW NORTH-WEST



SITE LOCATION

SITE COORDINATES

Latitude: 33.46672222°

Longitude: -117.66638887°

SHEET NUMBER

1
3



SCL San Clemente PCH - 17

34113CS Camino El Molino, Dana Point, CA 92624



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65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566



PROPOSED VIEW NORTH-EAST



EXISTING VIEW NORTH-EAST



SITE LOCATION

SITE COORDINATES

Latitude: 33.46672222°

Longitude: -117.66638887°

SHEET NUMBER

2
3



SCL San Clemente PCH - 17

34113CS Camino El Molino, Dana Point, CA 92624



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65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566

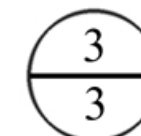


SITE COORDINATES

Latitude: 33.46672222°

Longitude: -117.66638887°

SHEET NUMBER





SCL SAN CLEMENTE PCH 17

34113 Camino El Molino, Dana Point, CA 92624



Eukon Group
65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566



PROPOSED VIEW WEST



EXISTING VIEW WEST

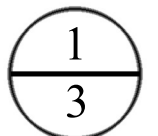


SITE LOCATION

SITE COORDINATES

Latitude: 33.46672222°
Longitude: -117.66638887°

SHEET NUMBER





SCL SAN CLEMENTE PCH 17

34113 Camino El Molino, Dana Point, CA 92624



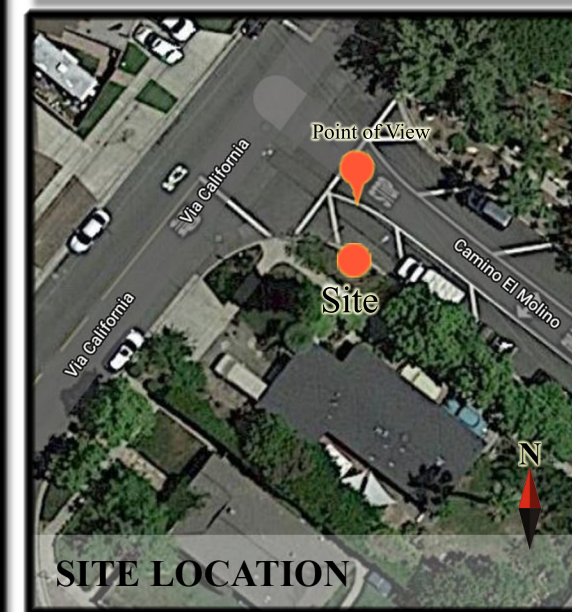
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65 Post, Suite 1000 - Irvine,
CA, 92618 - (949) 553-8566



PROPOSED VIEW NORTH



EXISTING VIEW NORTH



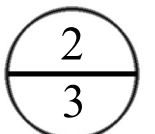
SITE LOCATION

SITE COORDINATES

Latitude: 33.46672222°

Longitude: -117.66638887°

SHEET NUMBER





SCL SAN CLEMENTE PCH 17

34113 Camino El Molino, Dana Point, CA 92624



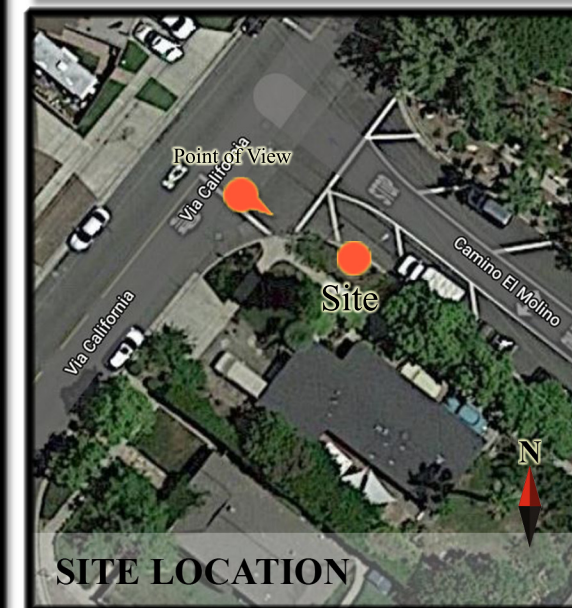
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CA, 92618 - (949) 553-8566



PROPOSED VIEW NORTH-WEST



EXISTING VIEW NORTH-WEST



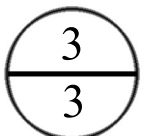
SITE LOCATION

SITE COORDINATES

Latitude: 33.46672222°

Longitude: -117.66638887°

SHEET NUMBER



SUPPORTING DOCUMENT 5: Calle Real and Camino El Molino RF Reports



January 24, 2020

RE: Verizon Wireless SCL Sites noted below:

SCL San Clemente PCH 22 – 27092 Calle Real, Dana Point CA 92624

SCL San Clemente PCH 17 – 34113 Camino el Molino, Dana Point CA 92624

To Whom It May Concern,

We write to inform you that Verizon Wireless has performed a radio frequency (RF) compliance pre-construction evaluation for the above-noted proposed sites and based on the result of the evaluation, the sites will be compliant with FCC Guidelines.

The FCC has established safety rules relating to potential RF exposure from cell sites. The rules are codified at 47 C.F.R § 1.1310. The FCC provides guidance on how to ensure compliance with its rules in the FCC Office of Engineering and Technology Bulletin 65 (available at https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf). The FCC developed the RF standards, known as Maximum Permissible Exposure (MPE) limits, in consultation with numerous other federal agencies, including the Environmental Protection Agency, the Food and Drug Administration, and the Occupational Safety and Health Administration. The FCC provides information about the safety of radio frequency (RF) emissions from cell towers on its website at: <https://www.fcc.gov/engineering-technology/electromagnetic-compatibility-division/radio-frequency-safety/faq/rf-safety>.

Please refer to the FCC Office of Engineering and Technology Bulletin 65 and the attached Verizon Wireless RF Brochure for information on RF exposure guidelines, RF safety, and landlord responsibilities. Questions related to compliance with federal regulations should be directed to VZWRFCompliance@VerizonWireless.com.

Please contact your local Verizon Wireless resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
Steve Lamb	WestSoCalNetworkCompliance@verizonwireless.com	760-636-3918

Sincerely,

Jeddy Lin
Manager-RF System Design
Verizon Wireless

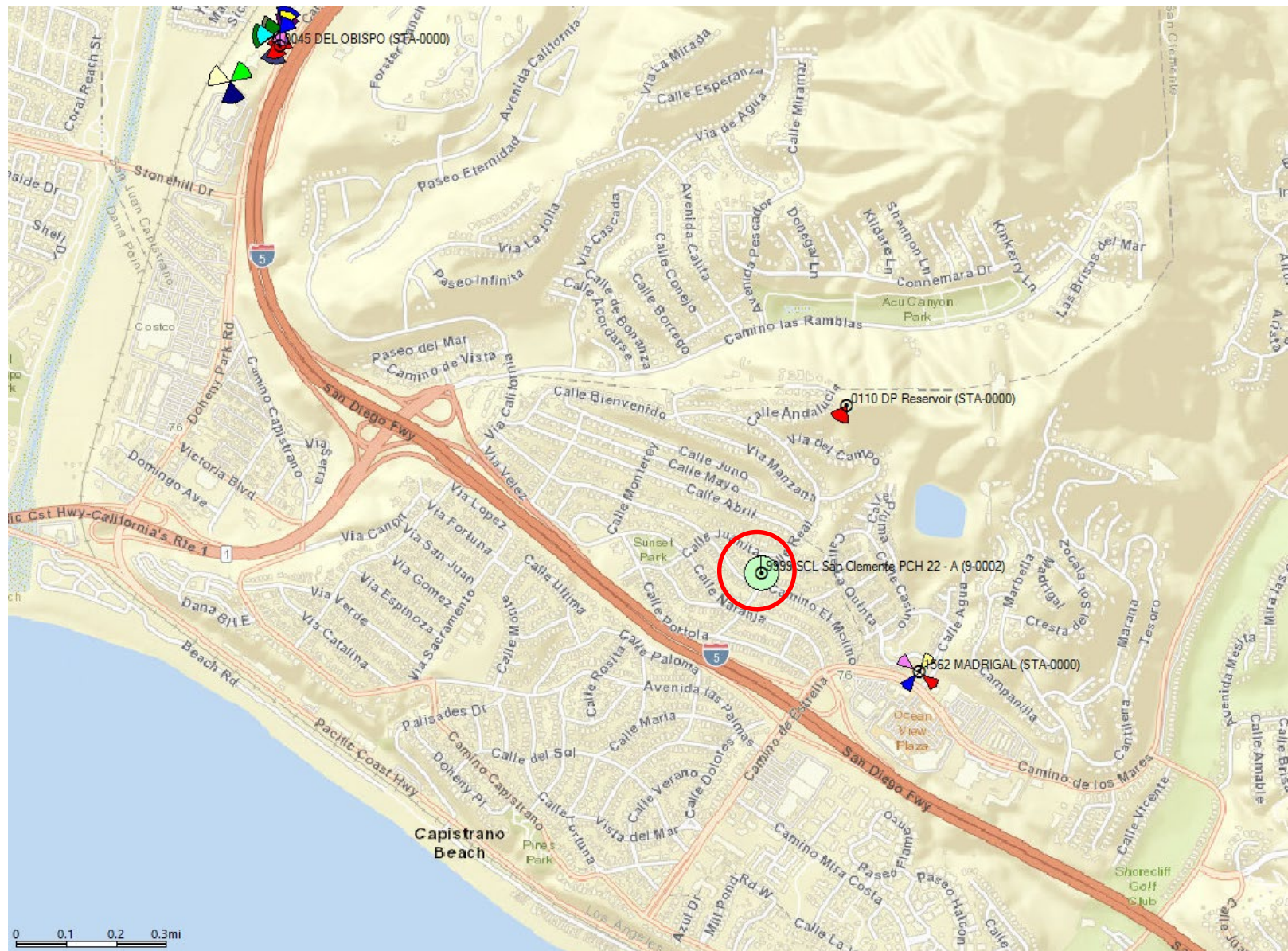
SUPPORTING DOCUMENT 6: Calle Real and Camino El Molino Coverage Maps

ATTACHMENT

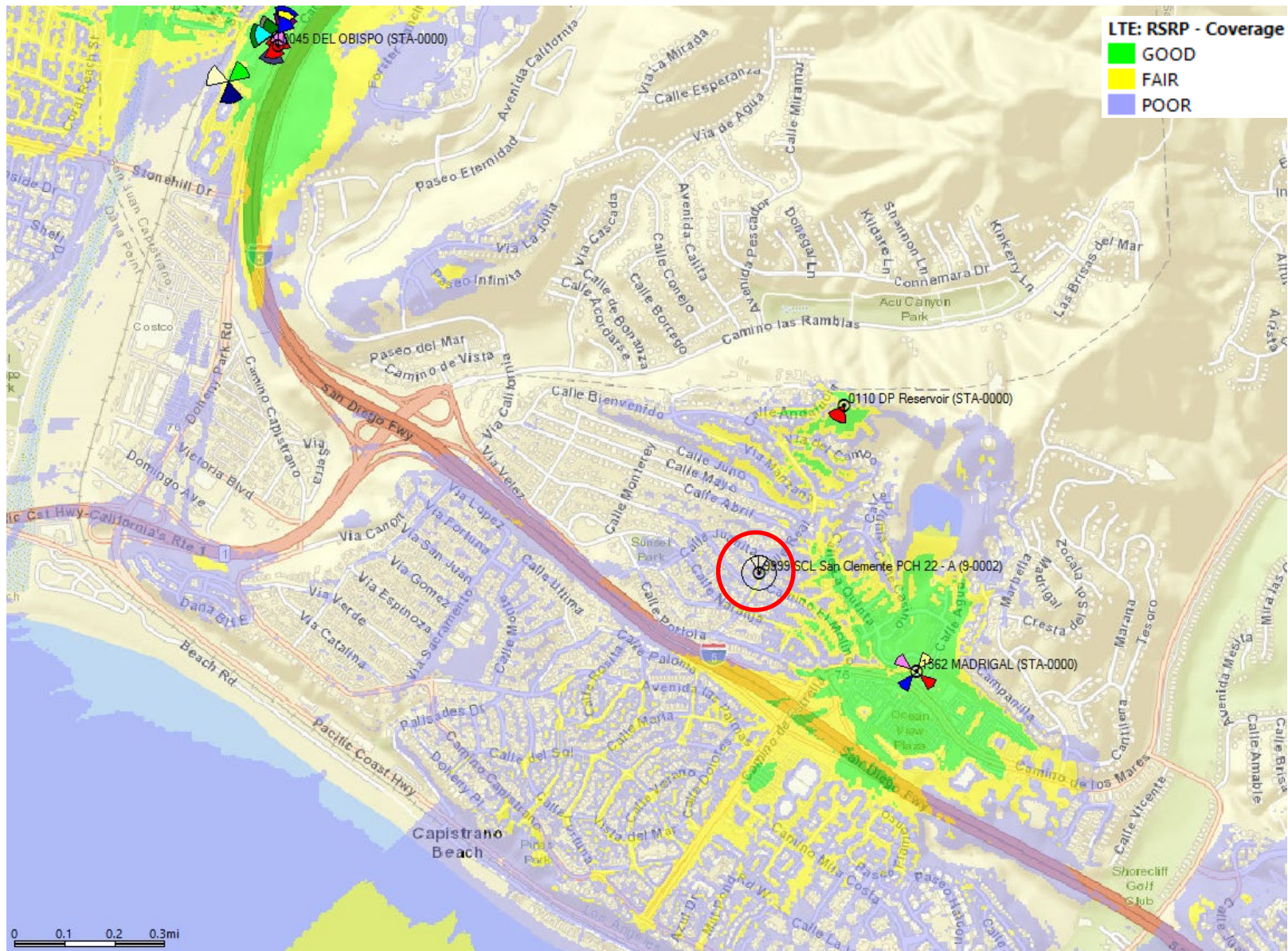
SCL San Clemente PCH 22 Propagation Maps

January 26, 2020

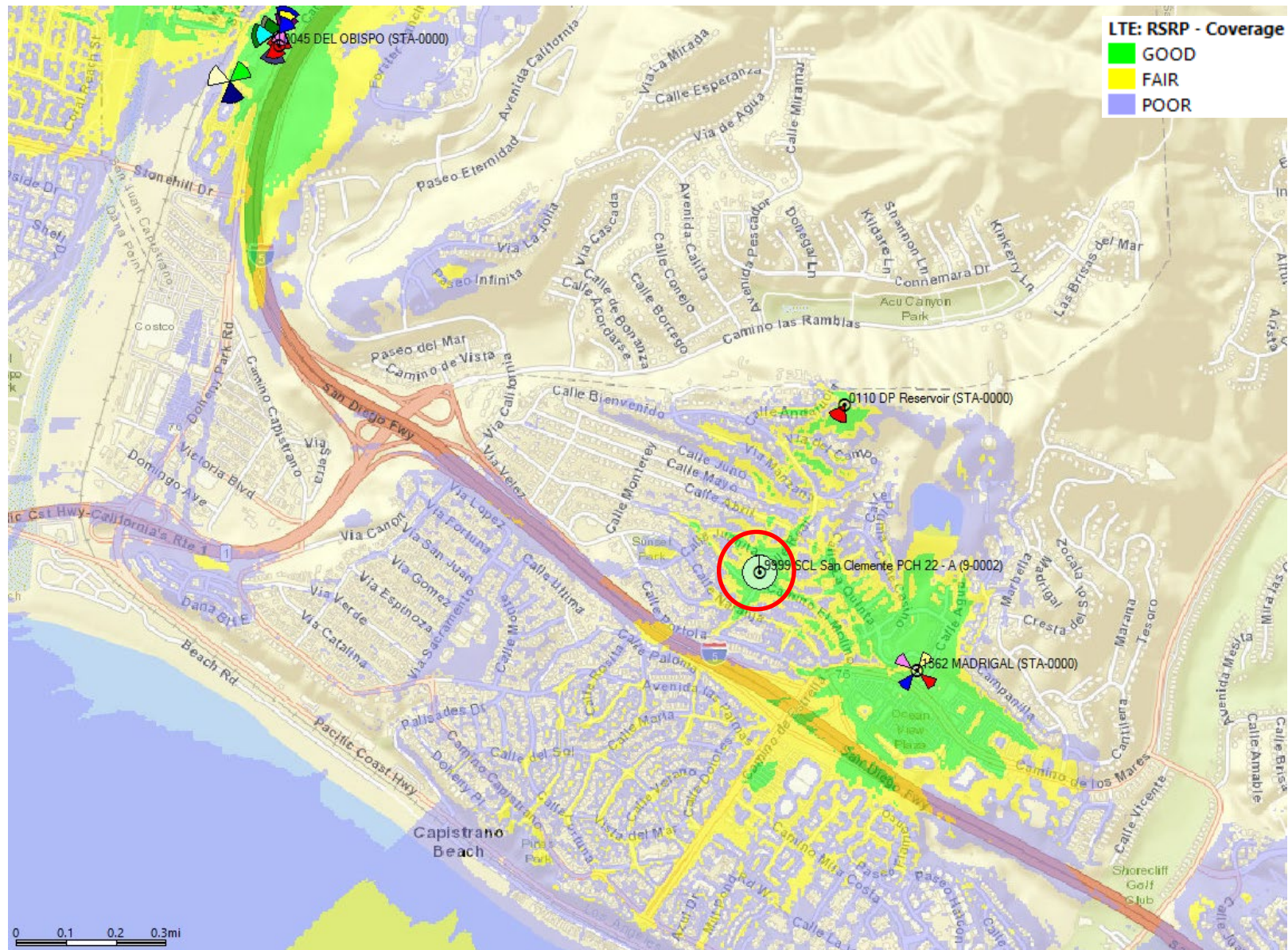
SCL San Clemente PCH 22 – General Map



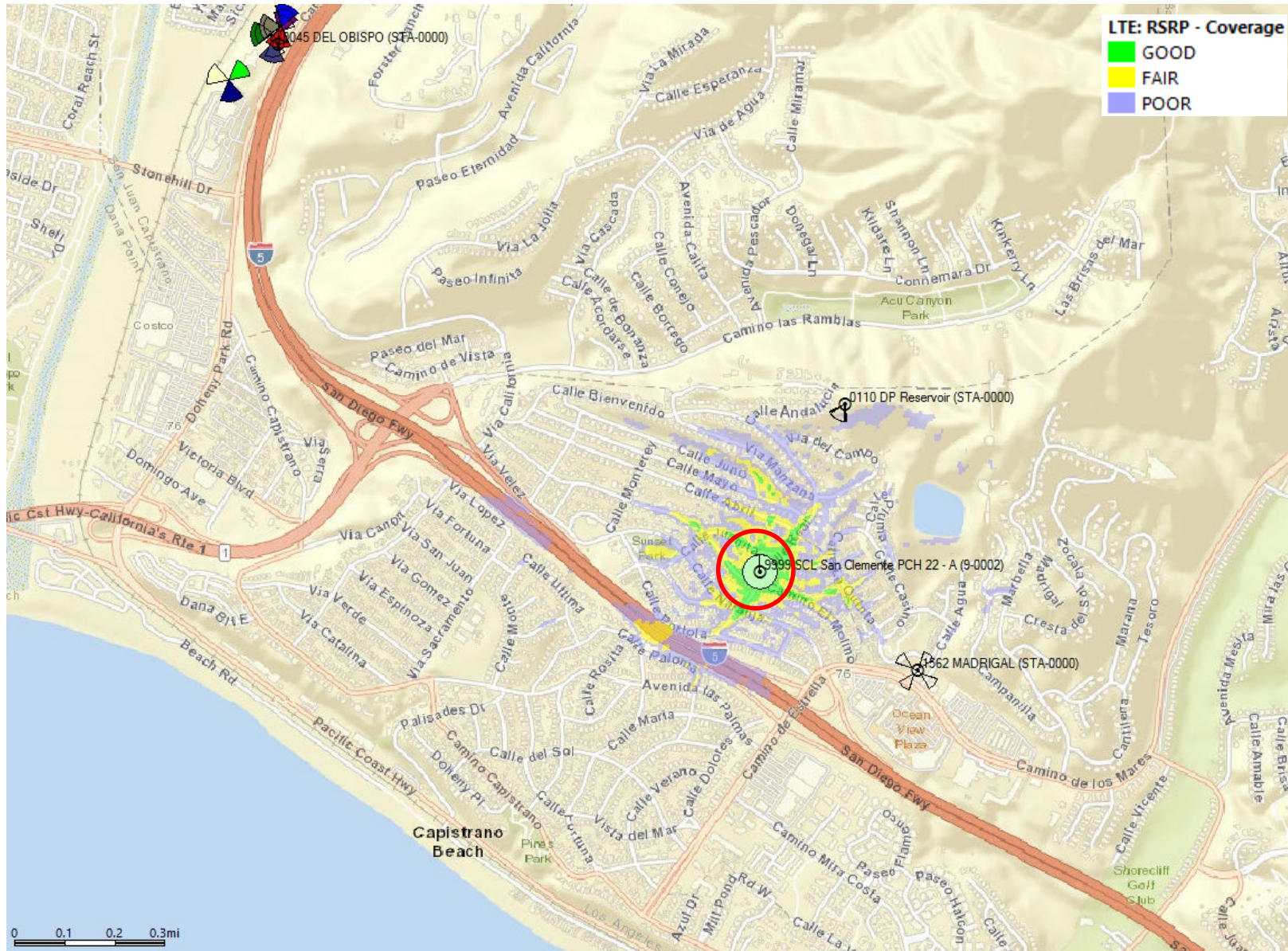
Existing Coverage without SCL San Clemente PCH 22



Existing Coverage with SCL San Clemente PCH 22



SCL San Clemente PCH 22 Coverage Only

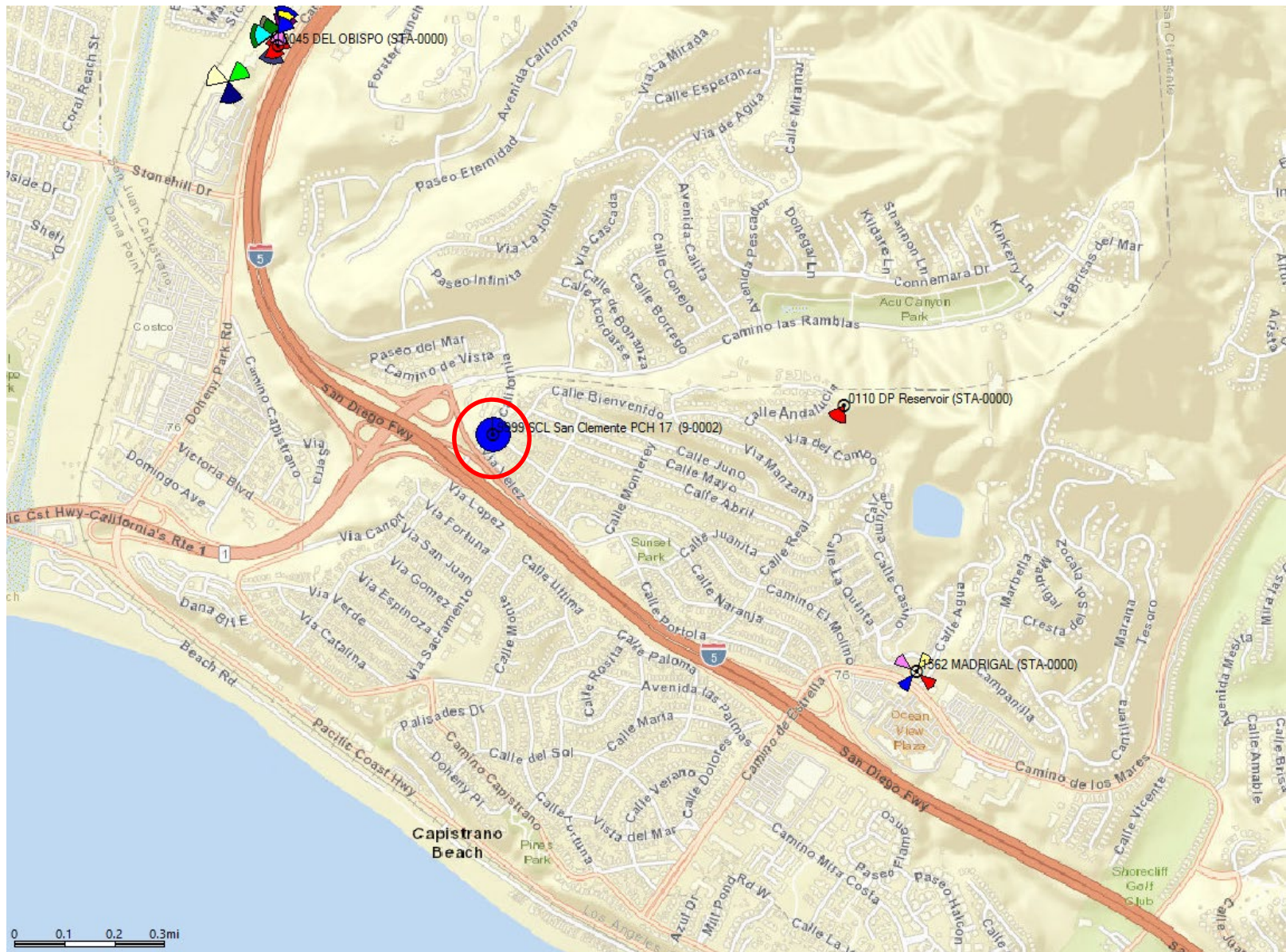


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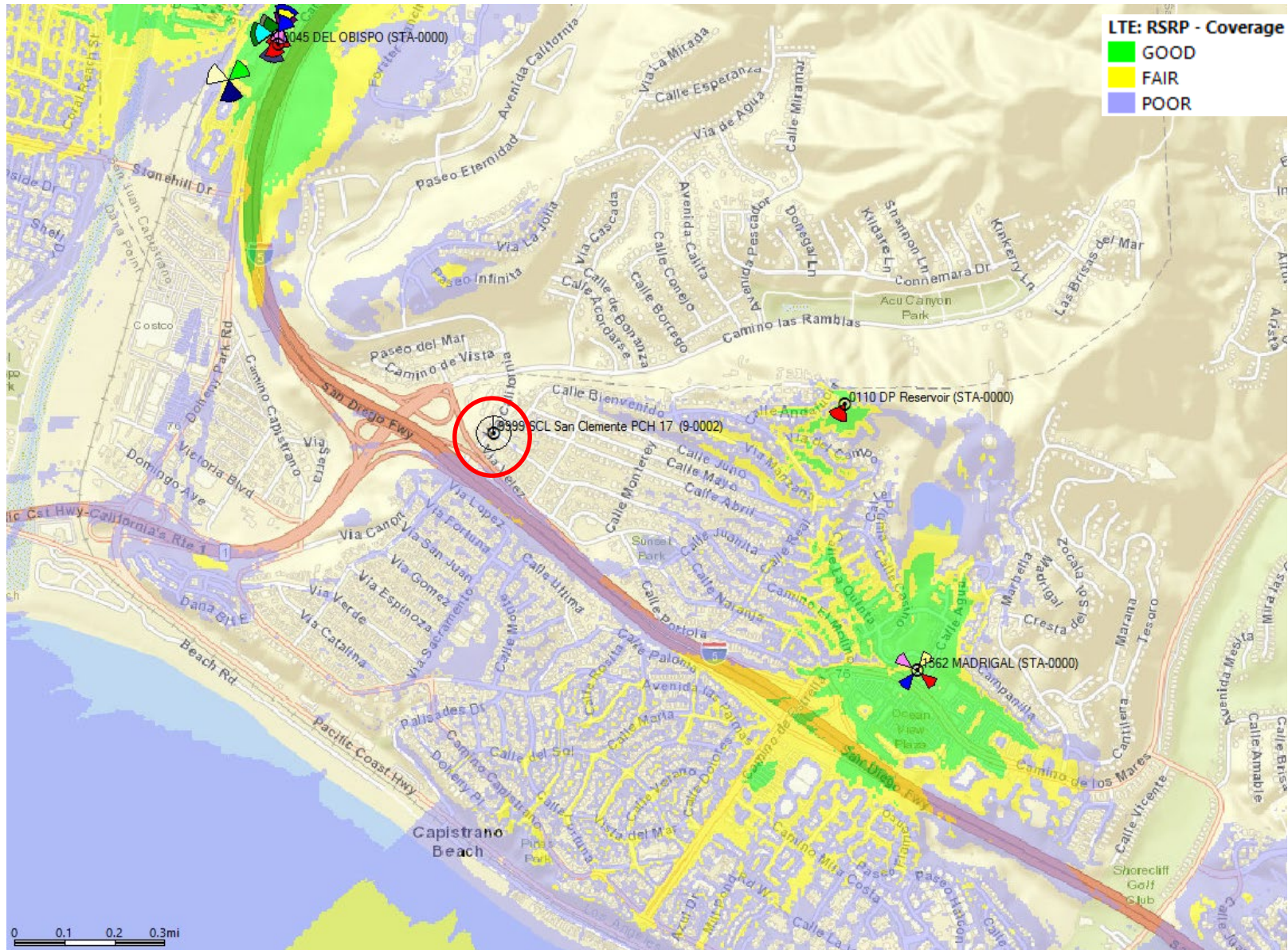
SCL San Clemente PCH 17 Propagation Maps

January 26, 2020

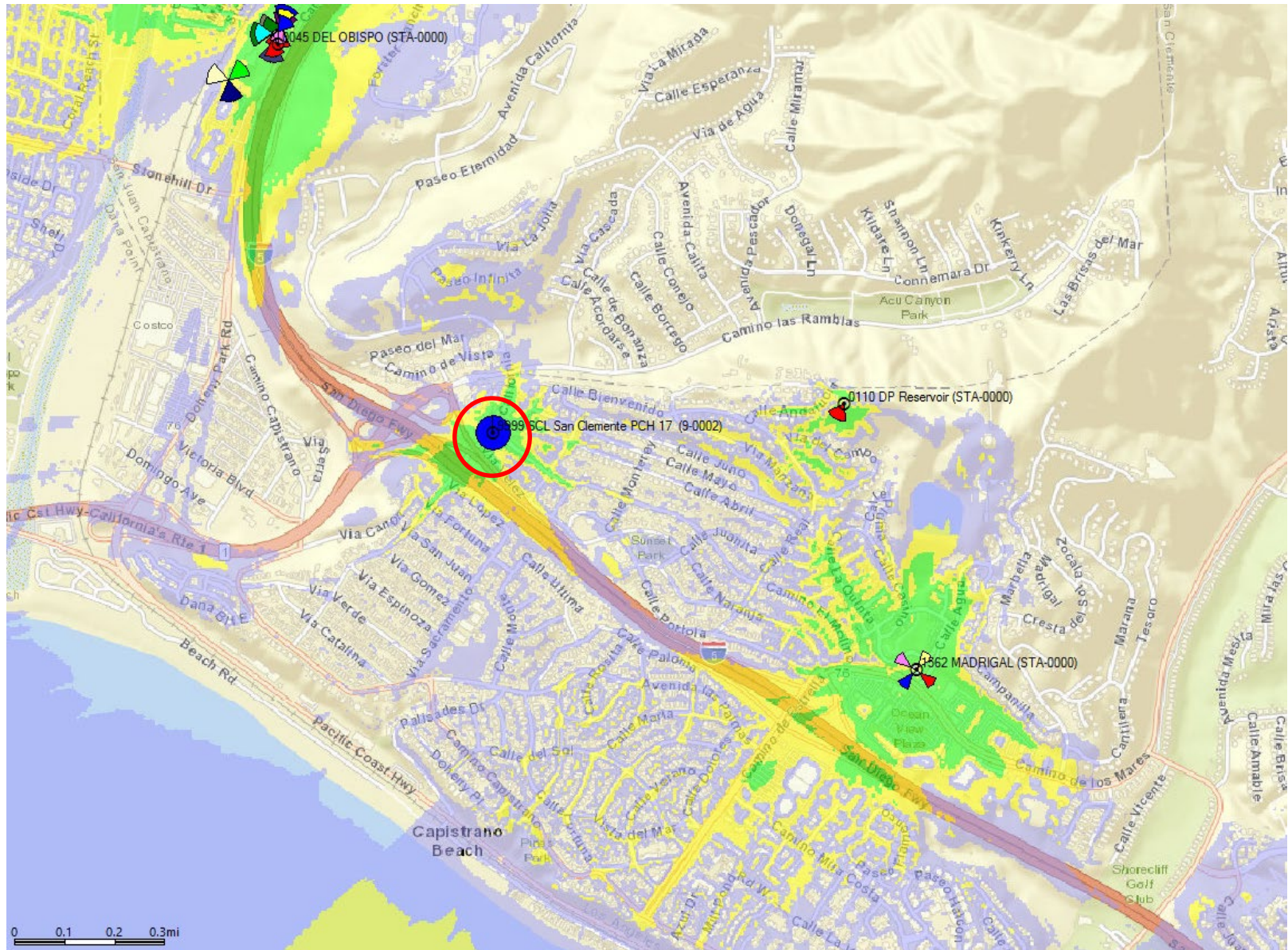
SCL San Clemente PCH 17 – General Map



Existing Coverage without SCL San Clemente PCH 17



Existing Coverage with SCL San Clemente PCH 17



SCL San Clemente PCH 17 Coverage Only

