

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** JULY 13, 2020

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
BRENDA WISNESKI, DIRECTOR  
DANNY GIOMETTI, ASSOCIATE PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP20-0004 TO DEMOLISH AN EXISTING SINGLE-FAMILY DWELLING, AND CONSTRUCT A NEW SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP20-0006(M) FOR FREESTANDING AND RETAINING WALLS TO EXCEED MAXIMUM HEIGHT LIMITS, AND A DECK EXTENSION OVER A SLOPE.

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**RECOMMENDATION:** That the Planning Commission adopt the draft Resolution approving Coastal Development Permit CDP20-0004 and Minor Site Development Permit SDP20-0006(M) (Action Document 1).

**APPLICANT:** d'Arcy and Associates (Chad Peterson)

**OWNERS:** Tim Whetsell & Kathy Karahalios

**REQUEST:** Approval of Coastal Development Permit CDP20-0004 to demolish an existing single-family dwelling (SFD), and to construct a new SFD, with a Minor Site Development Permit SDP20-0006(M) to allow the construction of freestanding and retaining walls exceeding 42-inches and 30-inches in height, respectively, and a deck to extend beyond the top of a slope.

**LOCATION:** 32451 Caribbean Drive (APN 670-092-09)

**NOTICE:** Notice of the Public Hearing was mailed via first class mail to property owners within a 500-foot radius of the subject site, published within a newspaper of general circulation on July 3, 2020, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on July 2 2020.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the

project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 - Construction or Conversion of Small Structures) since the project consists of the construction of a new SFD with multiple walls and a deck.

**ISSUES:**

1. Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
2. Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP(M)).
3. Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject site is located north of the intersection of Crown Valley Parkway and Pacific Coast Highway (PCH) within the Residential Single Family 4 (RSF 4) Zoning District on the City of Dana Point Zoning Map, and within the City's Coastal Overlay District. The 23,042 square foot through lot is accessed off of Caribbean Drive and contains a significant slope over two-thirds of the lot down to Mediterranean Drive. The subject site borders similar SFDs on all sides. Existing site improvements include a 2,403 square-foot, SFD with an attached two-vehicle garage, site walls, hardscape and landscaping. Due to the large rear downslope, there is little to no private yard space (Supporting Document 2 – Project Vicinity Map and Site Photos).

In April of 2020, the applicant submitted the subject application to demolish the existing SFD and construct a new SFD with freestanding and retaining walls exceeding 42-inches and 30-inches, respectively, and a deck which projects beyond the top of a rear yard downslope.

**DISCUSSION:** Due to the subject site's location in the City's Coastal Overlay District, a CDP is required for the demolition of the existing SFD and the construction of a new SFD. Since the applicant is also proposing the construction of multiple freestanding and retaining walls exceeding the Zoning Code prescribed maximum heights, as well as a deck which projects over a slope, an SDP(M) is also required and will be processed concurrently with the CDP.

**COASTAL DEVELOPMENT PERMIT CDP20-0004**

The applicant proposes to demolish the existing SFD, and construct a new, 3,599 square-foot, single-story, SFD with an attached 717 square-foot garage. Measured to the highest roof ridge, the proposed SFD is 16.38 feet, and 21.33 feet to the top of the highest chimney: well below the 26-foot maximum building height allowed for residential structures with a 3:12 pitch. Flat roof elements are at the entry (10.83 feet) and at the northwest corner of the SFD extending over the master bathroom, laundry and mudroom into the courtyard (12.33 feet),

also well below the 24-foot maximum for roof pitches less than 3:12 are also proposed.

The single-story floor plan suggests a Mid-Century Modern layout, featuring a front gate entry opening into a large, nearly rectangular courtyard. The courtyard is formed by the exterior walls of rooms of the home surrounding it, with the main entry into a great room directly across from the front entry gate. Two bedrooms, and a street facing bedroom/office, all with en suite bathrooms, and a common hall form the remaining sides of the courtyard. Along the slope-facing rear of the dwelling, is the aforementioned great room bookended by the master bedroom/bathroom and common kitchen and adjacent morning room. A laundry, mud room, and a hall are sandwiched between the master bedroom and an oversized, attached garage and one of the bedrooms facing the interior courtyard. Exterior improvements include a covered loggia, a low wood deck along the top of slope, and a series of planter and retaining walls along the sides and front of the property.

Exterior finishes resemble a Santa Barbara style cottage, incorporating a combination of smooth cement and adhered brick veneer on the exterior walls. A faux wood, grey concrete, tile roof with cooper rain gutters wrap around the perimeter of the SFD. Openings include a dark anodized bronze finish, metal clad windows and doors, and a wood roll-up garage door. Dark anodized bronze light fixtures, chimney caps and vents will also be adhered to the exterior walls. Examples of the proposed finishes are illustrated in the sketch of the front elevation below.



The project complies with all applicable RSF 4 development standards, including yard setbacks, lot coverage, and height limit. Table 1 below summarizes the RSF 4 and General Development Standards (Chapter 9.05 DPZC) applicable to the proposed development (Supporting Documents 3 & 4 – Color and Material Board Palette and Architectural and Grading Plans).

**Table 1: Compliance with RSF 4 and General Development Standards**

Development Standard	Requirement	Proposed	Compliant with Standard
Maximum Lot Coverage	45%	20%	Yes
Maximum Height: Roof Pitch < 3:12 Roof Pitch ≥ 3:12 & < 6:12)	24 feet 26 feet	12.33 feet 21.33 feet	Yes
Minimum Front Yard Setback	20 feet	20 feet	Yes
Minimum Interior Side Yard Setbacks:	5 feet	5 feet	Yes
Minimum Rear Yard Setback	25 feet	196'-4"	Yes
Minimum Landscape Coverage	25%	66%	Yes
Parking Required	2 stalls in a garage	2 stalls in a garage	Yes

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and

7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting approval of the project based on the above quoted findings are detailed in the draft Planning Commission Resolution attached as Action Document 1.

#### MINOR SITE DEVELOPMENT PERMIT SDP20-0006(M)

##### *Freestanding and Retaining Walls*

The application proposes the installation three (3) concrete masonry retaining walls exceeding 30-inches in height and one (1) concrete masonry freestanding wall exceeding 42-inches in height within the front yard setbacks. The tallest retaining wall is proposed to run along the length of the northern side yard of the home ranging in from less than a half-foot to approximately six (6) feet in height, with the highest portion only visible when traveling north on Caribbean Drive. This retaining wall is necessary to account for the change in grade between the subject and neighboring property and to ensure shoring is provided for the SFD to the north. Another retaining wall approximately 4.5 feet high facing the southern neighbor and visible from Caribbean Drive is proposed to run the length of the southern side yard, terminating at the back of the proposed SFD. A six (6) foot high pilaster connects this southern, side yard retaining wall to freestanding and planter walls ranging from (2) to four (4) feet in height located within the front yard setback. These walls are used to create both a path to the entry, and private open space off the street facing bedroom and bedroom/office on the site with limited, usable open space at the rear of the SFD due to the top of slope.

Pursuant to Sections 9.05.120(c)&(d)(2) of the DPZC, freestanding walls located within the front yard setback exceeding 42-inches in height and retaining walls greater than thirty (30) inches from the top of the wall to finished grade may be permitted subject to the approval of a SDP(M), respectively. Therefore, the proposed walls necessitate the approval of a SDP(M).

All walls will be finished with Santa Barbara style cement plaster to complement the proposed exterior finishes and colors of the SFD. Additionally, all exterior facing walls are proposed and conditioned to include landscape screening to soften visual impacts to the surrounding neighbors and public street.

##### *Deck Extension Over Slope*

The application also proposes the construction of a low wood deck extending beyond the top of the rear yard downslope which has a grade of approximately 55%. Pursuant to Section 9.05.270(5) of the DPZC, if a slope has a grade of 15 percent or greater, at-grade decks may extend a maximum of four (4) feet beyond the top of a slope subject to the review and approval of a SDP(M). As designed, the proposed wood deck is an extension of the finish floor of the

rear loggia, and extends 30-inches past the top of the existing slope. At its highest point, the deck surface will be approximately three (3) feet above the existing grade of the slope. The proposed wood deck will maintain its natural color, blending into the proposed landscaping. A variety of native and drought tolerant landscaping will be planted at the base to visually screen the underbody of the deck.

Pursuant to Section 9.71.050 "Basis of Approval, Conditional Approval, or Denial of a Site Development Permit" of the DPZC, the Planning Commission shall make the following findings:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and
2. That the site is suitable of the site for the proposed use and development; and
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines; and
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture; and
5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA).

Staff finds that the construction of the proposed freestanding walls, retaining walls and the proposed deck extension beyond the top of the backyard downslope are consistent with the basis of approval for a SDP(M) as outlined in Sections 9.71.050 of the DPZC. Responses supporting the above mentioned findings are detailed in the attached draft Planning Commission Resolution.

**CORRESPONDENCE:**

The Monarch Bay Terrace Homeowner's Association has approved the project. To date, the City has received no correspondence related to the subject application.

**CONCLUSION:**

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. Since justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP20-0004 and SDP20-0006(M) subject to the findings and conditions of approval contained therein.



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Danny Giometti  
Associate Planner



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Brenda Wisneski, Director  
Community Development Department

**ACTION DOCUMENT:**

1. Draft Planning Commission Resolution No. 20-07-13-XX

**SUPPORTING DOCUMENTS**

2. Project Vicinity Map and Site Photos
3. Color and Material Board Palette
4. Architectural and Grading Plans

**ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 20-07-13-XX**

**RESOLUTION NO. 20-07-13-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0004 TO DEMOLISH AN EXISTING SINGLE-FAMILY DWELLING, AND CONSTRUCT A NEW SINGLE-FAMILY DWELLING AND MINOR SITE DEVELOPMENT PERMIT SDP20-0006(M) FOR FREESTANDING AND RETAINING WALLS EXCEEDING MAXIMUM HEIGHT LIMITS, AND A DECK EXTENSION OVER A SLOPE.**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Tim Whetsell & Kathy Karahalios (the "Owner"), owns the existing parcel located at 32451 Caribbean Drive (the "Property"); and

WHEREAS, the Owner authorized d'Arcy and Associates, (the "Applicant") and the Applicant caused to be filed a verified application for Coastal Development Permit CDP20-0004 to demolish an existing single-family dwelling (SFD), and to construct a new SFD, and Minor Site Development Permit SDP20-0006(M) to allow the construction of freestanding and retaining walls exceeding 42-inches and 30-inches in height, respectively and a deck to extend beyond the top of a slope; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 – Construction and Conversion of Small Structures) because the project consists of the construction of a new SFD with multiple walls and a deck; and

WHEREAS, the Planning Commission did, on the 13<sup>th</sup> day of July, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0004 and Minor Site Development Permit SDP20-0006(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP20-0004,

PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX  
CDP20-0004 AND SDP20-0006(M)  
PAGE 2

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subject to conditions:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that the site and architectural design of the proposed improvements comply with the policies of the Dana Point General Plan, specifically furthering General Plan Urban Design Element Goal Number 2, which states that development should “preserve the individual positive character and identity of the City’s communities” by demolishing and rebuilding a single-family dwelling (SFD) that is similar to other SFD’s in the Monarch Bay Terrace community. Additionally, the proposed improvements comply with the requisite Residential Single Family 4 (RSF 4) development standards and provides the necessary parking required for the site and use as prescribed in Chapter 9.75 of the Zoning Code, and consequently, the proposed development meets those elements comprising the Local Coastal Program effective for the subject site.**
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that the proposed development is not located between the sea and the nearest public roadway and therefore the proposed development does not impact existing public access or public recreation areas in the vicinity therefore the development is in conformance with all policies of Chapter Three (3) of the California Coastal Act.**
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 - Construction and Conversion of Small Structures) because the project consists of the construction of a new SFD, site and retaining walls, a deck and other improvements associated with the SFD.**
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject lot is a previously developed community surrounded by similar SFD development and zoned for single-family residential**

PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX  
CDP20-0004 AND SDP20-0006(M)  
PAGE 3

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development. Additionally, the subject site is not located adjacent to parks or recreation areas containing environmentally sensitive habitats and scenic resources, and consequently implementation of the project will not impact such habitats/resources and buffer areas are not necessary.

5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is a previously improved property located within an established residential community, and the proposed development is replaces an existing SFD requiring no alteration of natural landforms and will conform with applicable regulations for geological and erosional forces, flood, and fire thereby minimizing undue risks from these or other hazards.**
  6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed SFD and exterior improvements include modern finish materials and architecture resulting in a design that is complementary to surrounding development in terms of mass, size and scale, in an area containing eclectic architectural styles, and where no visually degraded areas exist.**
  7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the proposed project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works & Engineering Services, and conforms with the City's regulations regarding development of SFDs in the RSF 4 Zoning District of the Dana Point Zoning Code, the Residential 3.5-7 DU/AC designation in the Land Use Element of the City's General Plan, and the requirements of the City's Coastal Overlay District.**
- C) Based on the evidence presented, the Planning Commission adopts the following findings and approves Minor Site Development Permit SDP20-0006(M), subject to conditions:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code (DPZC)

Freestanding and retaining walls

**in that pursuant to Sections 9.05.120(c)&(d)2of the DPZC,**

PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX  
CDP20-0004 AND SDP20-0006(M)  
PAGE 4

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freestanding walls located within the front yard setback exceeding 42-inches in height and retaining walls greater than thirty (30) inches from the top of the wall to finished grade may be permitted subject to the approval of a Minor Site Development Permit (SDP(M)), respectively. Additionally, the proposed retaining walls comply with Section 9.05.120(d)(5) of the DPZC, due to the fact that portions of the northern retaining wall and front yard planter walls which face Caribbean Drive are setback from the street a minimum of two (2) feet and will accommodate landscaping which will mature to visually screen the improvements.

Deck over Slope

in that pursuant to Section 9.05.270(c)(5) of the DPZC, slopes with a grade of 15 percent or greater are permitted subject to approval of a SDP(M), and the proposed deck extends 30 inches beyond the top of a slope less than the four (4) foot maximum distance allowed for the approximately 55% percent slope beyond which the deck extends.

2. That the site is suitable of the site for the proposed use and development

Freestanding and retaining walls

in that the site necessitates the use of the proposed freestanding and retaining walls to (1) account for the change in grade along the northern property line between the subject and adjacent property, and (2) to create additional private open space on level portions of the lot limited by a significant slope comprising approximately 65 percent of the site.

Deck over Slope

in that the portion of useable backyard patio is relatively small because of the large downslope at the rear approximately two-thirds of the lot. The proposed deck will greatly increase the size of the useable open space area on the site and is designed to include drought tolerant landscaping which will mature to visually screen the exposed underside of the deck as seen from the street below.

3. That the project is in compliance with all elements of the General Plan and applicable provisions of the Urban Design Guidelines

Freestanding and retaining walls

PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX  
CDP20-0004 AND SDP20-0006(M)  
PAGE 5

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in that pursuant to Policy 5.5 of the Urban Design Element of the General Plan, landscaping is proposed at the base of all proposed freestanding and retaining walls, therefore “promoting extensive landscaping...while emphasizing the use of drought –tolerant plant materials.” Additionally, pursuant to Section III.A.5 of the Urban Design Guidelines (Landscaping), the proposed freestanding and retaining walls create decorated and paved courtyards and considered as acceptable substitutes for planted space if determined a positive design addition while providing sufficient landscaping on the site and in front of the walls creating landscape buffers between the street and the proposed higher than permitted by right freestanding and retaining walls.

Deck over Slope

in that pursuant to Policy 5.1 of the Urban Design Element of the General Plan, as well as the Section III.A.2.a. (Private Open Space) of the Urban Design Guidelines, the proposed deck encourages site design and residential development that takes advantage of the City’s excellent climate to maximize indoor outdoor spatial relationships, by creating additional private outdoor open space.

4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture

Freestanding and retaining walls

in that freestanding walls located in the front yard are designed to be at a height that is appropriate to create both usable open space and pedestrian access to the dwelling. The proposed retaining walls are designed at a height and location which is structurally necessary to safely maintain the change in grade between the neighboring property to the north. Although not requiring a particular style of architecture, all walls will be finished with a cement plaster, which is compatible to the Santa Barbara cottage styling of the proposed SFD.

Deck over Slope

in that the wood deck is an extension of the loggia finished floor of at the rear of the SFD projecting a maximum of 30-inches beyond the top of the backyard slope, structurally designed as a cantilever with no exposed structural foundation elements and no alteration

PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX  
CDP20-0004 AND SDP20-0006(M)  
PAGE 6

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of the existing slope. Although not requiring a particular style of architecture, the wood deck will maintain its natural color to complement the proposed landscaping for the site.

Conditions:

A. **General:**

1. Approval of this application permits the demolition of an existing single-family dwelling (SFD), and the construction of a new SFD, and to allow the construction of freestanding and retaining walls exceeding 42- and 30-inches in height, respectively and a deck to extend beyond the top of a slope. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced within such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.

**PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX**  
**CDP20-0004 AND SDP20-0006(M)**  
**PAGE 7**

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5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

7. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
10. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
11. The project shall meet all water quality requirements including Low

**PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX**  
**CDP20-0004 AND SDP20-0006(M)**  
**PAGE 8**

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Impact Development (LID) implementation.

12. A grading permit shall be obtained prior to any work including demolition activities.
13. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
14. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
15. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
16. Separate review, approval, and permits are required for:
  - Fire Sprinklers
  - Site walls over 3-feet
  - Retaining walls
  - Decks

**A. Prior to the issuance of a grading permit the applicant shall meet the following conditions:**

17. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
18. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing

PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX  
CDP20-0004 AND SDP20-0006(M)  
PAGE 9

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plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code and with the *Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC*, as may be applicable.

Retaining and freestanding walls approved as part of this entitlement, and exposed to adjacent properties and public rights-of-way shall include landscape screening. The species and manner in which landscape screening is provided shall be identified specifically on the landscape plans.

The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

19. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.

**B. Prior to Building Plan Check Submittal:**

20. Building(s) shall comply with the 2019 editions of the Building Code with all local amendments.
21. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
22. Building plan check submittal shall include the following construction documents:
  - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
  - Energy Calculations (2 sets)
  - Structural Calculations (2 sets)
  - Soils/Geology Report (3 sets)

PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX  
CDP20-0004 AND SDP20-0006(M)  
PAGE 10

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All documents prepared by a registered-design-professional shall be wet-stamped & signed.

23. Fire Department review may be required. Submit plans directly to the Orange County Fire Authority for their review.

**C. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:**

24. Approvals are required from:

- Planning Division
- Public Works & Engineering Services
- Obtain Orange County Fire Authority Approval
- Obtain "Will Serve" letter from Water District.
- Provide an SDG&E service work order for proposed service location

25. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.

26. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including setbacks to property-lines and finish floor elevations as deemed necessary included as part of this entitlement. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.

27. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP20-0004; SDP20-0006(M). The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

**1. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:**

**PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX**  
**CDP20-0004 AND SDP20-0006(M)**  
**PAGE 11**

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1. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
2. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
3. Verification of all conditions of approval is required by all City Departments.
28. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division. The final inspection shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.
29. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Director of Community Development as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.
30. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
31. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.

**PLANNING COMMISSION RESOLUTION NO. 20-07-13-XX**  
**CDP20-0004 AND SDP20-0006(M)**  
**PAGE 12**

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13<sup>th</sup> day of July 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Mary Opel, Chairwoman  
Planning Commission

ATTEST:

\_\_\_\_\_  
Brenda Wisneski, Director  
Community Development Department

**PAGE 20**

## SUPPORTING DOCUMENT 2: Project Vicinity Map and Site Photos



### VICINITY MAP



**Project :** CDP20-0004; SDP20-0006(M)

**Applicant:** d'Arcy and Associates

**Location:** 32451 Caribbean Drive





FRONT VIEW SUBJECT PROPERTY (TOP) &  
VIEW ACROSS STREET (BOTTOM)  
**CARIBBEAN RESIDENCE**

32451 CARIBBEAN DRIVE  
DANA POINT, CALIFORNIA 92629

PHOTO LOG
1
03 . 26 . 20



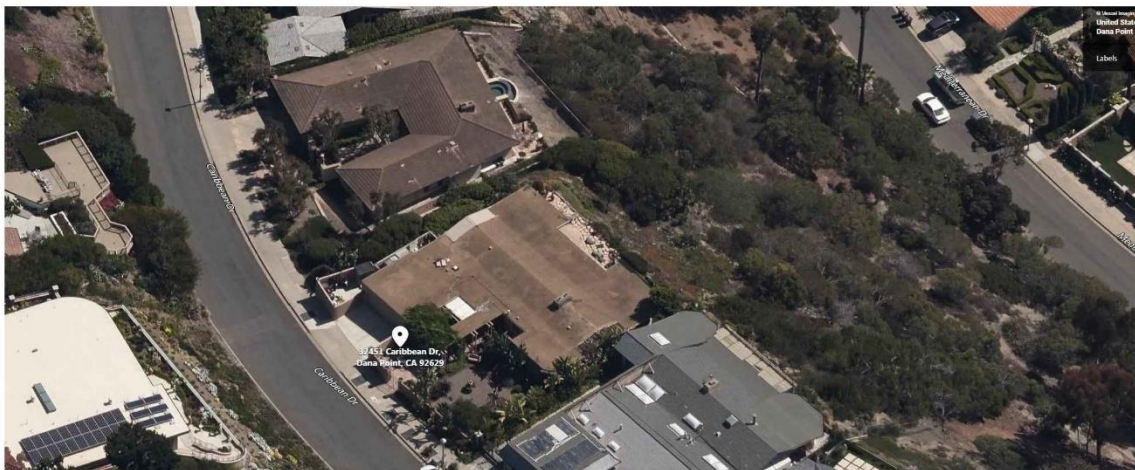
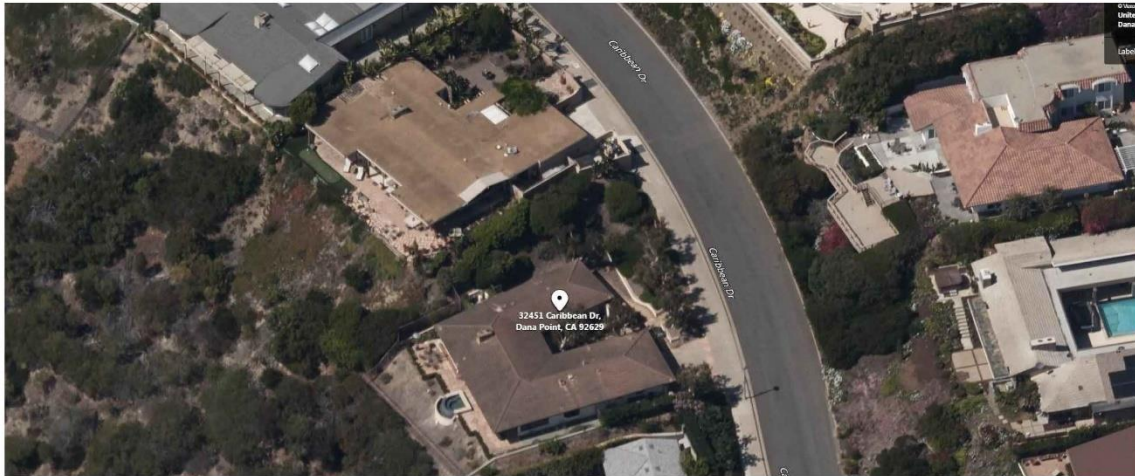
LEFT NEIGHBOR FRONT VIEW(TOP)  
& RIGHT NEIGHBOR FRONT VIEW (BOTTOM)  
**CARIBBEAN RESIDENCE**

32451 CARIBBEAN DRIVE  
DANA POINT, CALIFORNIA 92629

PHOTO LOG

2

03 . 26 . 20



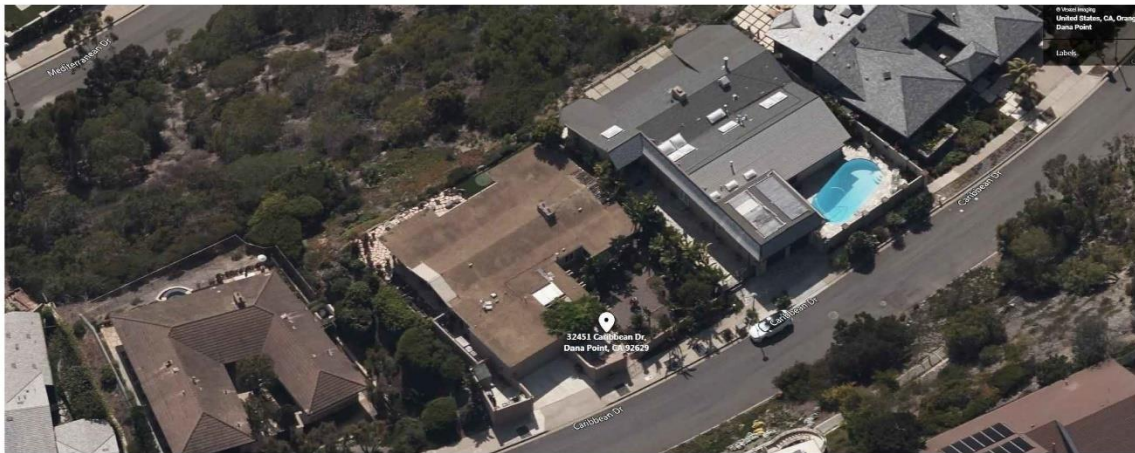
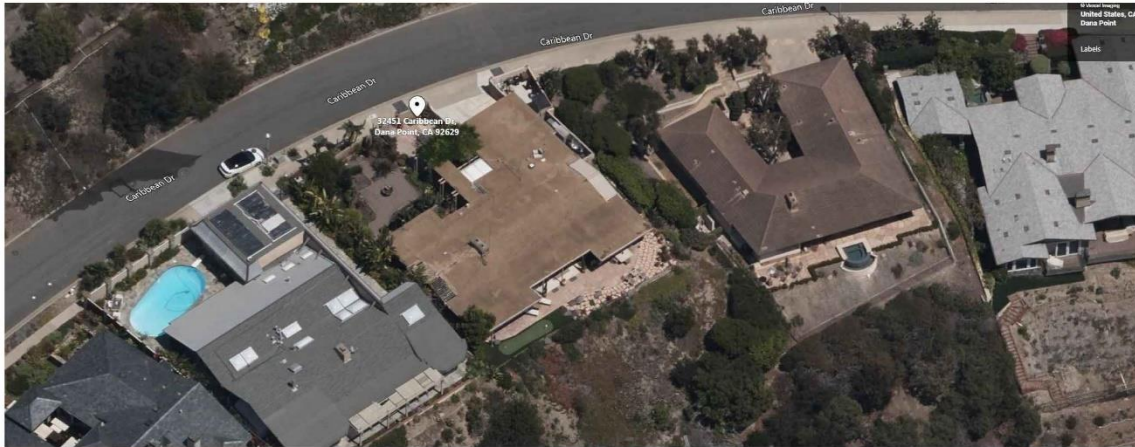
BIRD'S EYE NORTH (TOP)  
& BIRD'S EYE SOUTH (BOTTOM)  
**CARIBBEAN RESIDENCE**

32451 CARIBBEAN DRIVE  
DANA POINT, CALIFORNIA 92629

PHOTO LOG

3

03 . 26 . 20



BIRD'S EYE EAST (TOP)  
& BIRD'S EYE WEST (BOTTOM)  
**CARIBBEAN RESIDENCE**

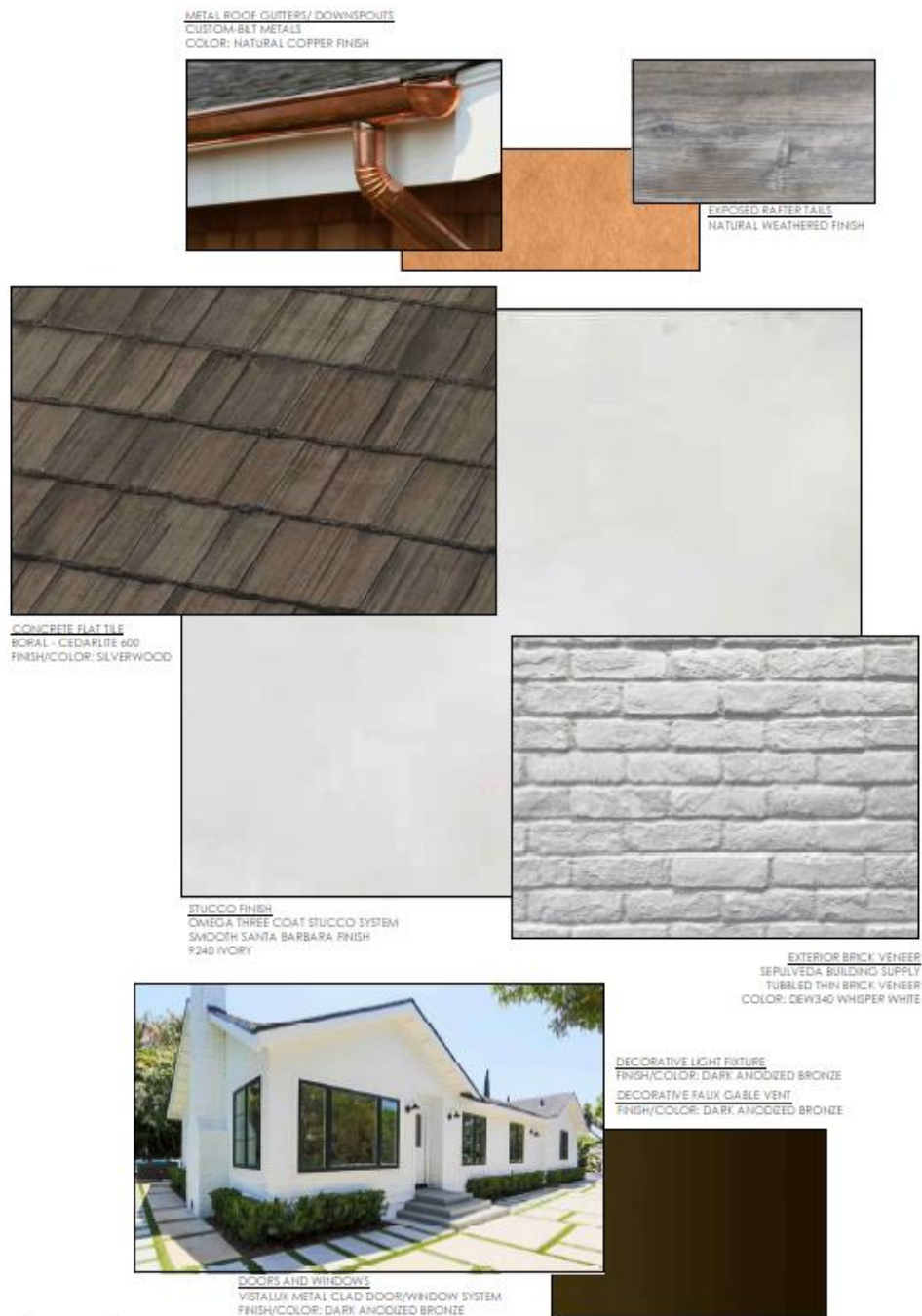
32451 CARIBBEAN DRIVE  
DANA POINT, CALIFORNIA 92629

PHOTO LOG

4

03 . 26 . 20

SUPPORTING DOCUMENT 3: Color and Material Board Palette



COLOR & MATERIALS BOARD  
CARIBBEAN RESIDENCE

32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

JOB NO. 2004  
03 / 26 / 20

**SUPPORTING DOCUMENT 4:** Architectural and Grading Plans

ATTACHMENT

# CARIBBEAN RESIDENCE

32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629



## CARIBBEAN RESIDENCE

32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

PROJECT DESCRIPTION	DEVELOPMENT STANDARDS TABLE		MUNICIPALITY NOTES	CODE ANALYSIS OVERVIEW	PROJECT TEAM		SHEET INDEX				
NEW ONE-STORY, SINGLE FAMILY, DETACHED CUSTOM RESIDENCE WITH 3 BEDROOMS, 4.5 BATHROOMS, 3 CAR GARAGE, AND OUTDOOR COVERED LOGGIA TO BE CONSTRUCTED. EXISTING RESIDENCE TO BE DEMOLISHED UNDER SEPARATE PERMIT. SCOPE OF WORK TO INCLUDE ALL WALLS (FREESTANDING, PLANTER AND RETAINING,) LANDSCAPING, FREESTANDING AND RETAINING WALLS SHALL BE APPROVED UNDER SEPARATE PERMITS.	ZONE RSF-4	REQUIRED	PROPOSED	1. LINE AND GRADE CERTIFICATION REQUIRED PRIOR TO BUILDING FINAL. 2. BUILDING HEIGHT CERTIFICATION REQUIRED PRIOR TO BUILDING FINAL. 3. PLANNING FINAL REQUIRED PRIOR TO BUILDING FINAL. 4. SETBACK CERTIFICATION REQUIRED PRIOR TO BUILDING FINAL. 5. SEPARATE LANDSCAPE PERMIT SUBMITTAL AND APPROVAL REQUIRED PRIOR TO PLANNING FINAL. 6. APPLICANT WILL BE REQUIRED TO VERIFY STRUCTURE HEIGHT AND SETBACKS THROUGH A BUILDING HEIGHT CERTIFICATION FORM AND A SETBACK VERIFICATION FORM. BOTH FORMS WILL BE PREPARED BY THE PROJECT PLANNER AND PROVIDED TO THE PROJECT APPLICANT UPON PERMIT ISSUANCE. 7. PLANNING FINAL INSPECTION AND LANDSCAPE INSPECTION WILL BE REQUIRED PRIOR TO FINAL CERTIFICATE OF OCCUPANCY. 8. AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED.  SEPARATE PERMIT/APPROVALS REQUIRED : <ul style="list-style-type: none"><li>DEMOLITION OF EXISTING CONSTRUCTION</li><li>SITE WALLS/FENCES</li><li>SHORING/RETAINING WALLS</li><li>LANDSCAPE</li></ul> DEFERRED SUBMITTALS : <ul style="list-style-type: none"><li>FIRE SPRINKLERS PER NFPA13D. FIRE SPRINKLER PERMIT IS TO BE OBTAINED PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.</li></ul>	PROJECT TYPE: SINGLE-FAMILY DETACHED  CONSTRUCTION TYPE: V8  OCCUPANCY: R3 / U  FIRE SPRINKLER: SPRINKLERED - NFPA13D  APPLICABLE CODES:  2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING CODE ALL LOCAL ORDINANCES AND REQUIREMENTS	<u>OWNER</u>  TIM WHITESSELL & KATHY KARAHALIOS 32451 CARIBBEAN DRIVE DANA POINT, CA 92629  <u>ARCHITECTURAL DESIGN TEAM</u>  CHARLES d'ARCY d'ARCY & ASSOC. ARCHITECTURE, INC. 18 TECHNOLOGY DRIVE IRVINE, CA 92618 PH: 949.407.7760 charles@darcystudio.com  <u>CIVIL</u>  ADAM TOAL TOAL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 PH: 949.492.8586 atotal@toalengineering.com  <u>LANDSCAPE ARCHITECT</u>  PETER PHILIPS PHILIPS DESIGN 25622 EASTWIND DR DANA POINT CA 92629 PH: 949.338.8097 pete@philips-design.com  <u>STRUCTURAL</u>  FADY HAKIM FMH ENGINEERING 410 GODDARD, SUITE 200 IRVINE, CA 92618 PH: 949.245.8000 fadyhakim@fmhengineering.com  <u>TITLE-24</u>  RICK MAURER THE TRUAX COMPANY 7544 E. SADDLEHILL TRAIL ORANGE CA 92669 PH: 714.771.1507 t-24@socialr.com	<u>GENERAL CONTRACTOR</u>  TBD  <u>ARCHITECTURAL DESIGN TEAM</u>  BOB WHITE FOREST STUDIO 332 FOREST AVE, STE.4 LAGUNA BEACH, CA 92651 PH: 949.497.0002 bob@foreststudio.com  <u>SURVEY</u>  VIKTOR MEJUM TOAL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 PH: 949.492.8586 vmejum@toalengineering.com  <u>SOILS / GEOTECH</u>  ROBERT MCCARTHY R. MCCARTHY CONSULTING, INC. 23 CORPORATE PLAZA, STE 150 NEWPORT BEACH CA 92660 PH: 949.629.2539 rob@mccarthyconsulting.com  <u>MECH / PLUMBING ENGINEER</u>  ROB ROMINE GREGORY DESIGN 4 SHELTLAND TRABUCO CANYON CA 92679 PH: 949.888.9511 rob@gregory-design.com  <u>ELECTRICAL ENGINEER</u>  GARRY GARRIGUE THE TRUAX COMPANY 970 S. VILLAGE OAKS DRIVE, STE 201 COVINA CA 91724 PH: 626.915.4523 thetruxcompany@gmail.com	SHEET #DESCRIPTION			
	FRONT YARD SETBACK	20'	20'-0" MIN						GENERAL	COVER SHEET ARCHITECTURAL SITE PLAN	
	LEFT SIDE YARD SETBACK	5'	5'-1" MIN						A000		
	RIGHT SIDE YARD SETBACK	5'	5'-0"						A090		
	REAR YARD SETBACK	25'	196'-7" MIN						ARCHITECTURAL		
	MAXIMUM HEIGHT (FROM FINISHED PAD)	28/2 STORY	14.95/1 STORY						A210		FLOOR PLAN (REFERENCE)
	MAXIMUM LOT COVERAGE	45%	19%						A220		FLOOR PLAN (DIMENSIONED)
	MINIMUM LANDSCAPE COVERAGE	25%	66%						A250		ROOF PLAN
					A260	EXTERIOR ELEVATIONS					
					A261	EXTERIOR ELEVATIONS					
					A262	EXTERIOR ELEVATIONS					
					A270	BUILDING SECTIONS					
					A271	BUILDING SECTIONS					
					SURVEY						
					1 OF 2	TOPOGRAPHICAL AND BOUNDARY SURVEY					
					2 OF 2	TOPOGRAPHICAL AND BOUNDARY SURVEY					
					CIVIL						
					C2	GRADING PLAN					
					TOTAL SHEETS IN SET: 13						

LOCATION MAP	DRAWING SYMBOLS
	<div><div><div>△</div><div>REVISION DESIGNATION</div></div><div><div>◇</div><div>WALL TAG</div></div><div><div>← X</div><div>KEYNOTE REFERENCE</div></div><div><div><div>#</div><div>SHT</div></div><div>DETAIL REFERENCE DETAIL NUMBER OVER SHEET NUMBER</div></div><div><div><div>#</div><div>SHT</div></div><div>BUILDING SECTION REFERENCE SECTION NUMBER OVER SHEET NUMBER</div></div><div><div><div>#</div><div>SHT</div></div><div>EXTERIOR ELEVATION REFERENCE ELEVATION NUMBER OVER SHEET NUMBER</div></div><div><div><div>D1</div><div>A</div><div>A1</div><div>D</div><div>D</div><div>SHT</div><div>C1</div><div>C</div><div>B1</div></div><div>INTERIOR ELEVATION REFERENCE INTERIOR ELEVATION NUMBER OVER SHEET NUMBER ELEVATION NUMBER OUTER</div></div><div><div>← X</div><div>ENLARGED AREA REFERENCE PLAN NUMBER OVER SHEET NUMBER</div></div></div>

06 . 10 . 20

COVER  
SHEET

SCALE : AS NOTED

A000



ORANGE COUNTY FIRE AUTHORITY  
NOTES FOR NFPA 13 SPRINKLER SYSTEMS

PLACE THE FOLLOWING NOTES VERBATIM ON THE PLAN:

- Scope of work:
- Sprinkler plans shall be approved prior to the installation of any pipe. A set of approved plans, including hydraulic calculations for new systems, shall be retained at the job site at all times.
- This automatic fire protection system shall be designed, fabricated, and installed in accordance with 2016 NFPA 13 and local amendments enforced by the OCFA.
- The point of connection is (e.g., 6" AFF).
- All valves shall have a permanently affixed sign identifying their function and building served.
- All system risers shall be equipped with a Hydraulic Design Information Sign as described in NFPA 13, Section 25.5.2 (as amended).
- All underground mains and lead in connections shall be flushed in accordance with NFPA 13 and/or 24 prior to connection to the overhead system; the flush shall be witnessed by an OCFA fire inspector.
- Call OCFA Inspection Scheduling at (714) 573-6150 to schedule all inspections at least 48 hours in advance. Inspections canceled after 1 p.m. on the day before the scheduled date will be subject to a reinspection fee.
- The installer shall perform all required acceptance tests in the presence of the fire inspector.
- All new systems and additions or modifications to existing piping affecting more than 20 sprinklers shall be hydrostatically tested for two hours at 200 psi or at 50 psi above the system operating pressure, whichever is greater. Hydro testing above operating pressure is not required for relocated drops.
- All FDCs, wall PIVs, and exterior/exposed sprinkler riser valves shall be painted OSHA safety red. Other fire sprinkler or supply pipe exposed to the sky or susceptible to wet conditions shall be painted (any color) or otherwise coated to inhibit corrosion. Stainless steel assemblies and piping may be left unpainted provided that any hose connections, valves, or other components operated by the fire department are painted red.
- All sprinkler piping shall remain uncovered until inspected by OCFA.
- At rough inspection, pendant and sidewall sprinkler heads shall not be installed in portions of systems using CPVC pipe; only plugs shall be used.
- At final inspection, ceiling tiles shall be installed at each sprinkler. Hand-lid and all other types of ceilings shall have all patches, repairs, and final finishes completed. Concealed sprinkler cover plates shall not be installed regardless of ceiling type, but shall be available on-site for inspection.

FLOW TEST INFORMATION (all blanks must be complete)

Location: Date: Elevation (ft)

Static Pressure (psi): Residual Pressure (psi): Flow (gpm)

FIRE SPRINKLER DESIGN CRITERIA (all blanks must be complete)

Hydraulic Design (gpm/sq. ft.) over (sq. ft.):

Requiring (gpm) at (psi) at the Base of Riser, Safety Margin (psi)

STANDARD OCFA ARCHITECTURAL NOTES

\*INDIVIDUAL NOTES THAT DO NOT APPLY TO THE PROJECT MAY BE IGNORED (E.G., NOTE #3 THE BUILDING DOES NOT REQUIRE STANDPIPES; #20 - 23 AS THE PROJECT DOES NOT INCLUDE AN A OCCUPANCY; ETC.).

INSPECTIONS

1. OCFA FINAL INSPECTION REQUIRED. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A REINSPECTION FEE. REASON OF INSPECTIONS MAY REQUIRE ADDITIONAL FEES. ALSO, CALL OCFA INSPECTION SCHEDULING AT 714-573-6150.

2. BUILDINGS UNDER CONSTRUCTION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. NO SMOKING OR COOKING IS ALLOWED IN STRUCTURES WHERE COMBUSTIBLE MATERIALS ARE EXPOSED OR WITHIN 25' OF COMBUSTIBLE MATERIALS STORAGE AREAS. CUTTING, WELDING, OR OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

3. IN BUILDINGS FOUR OR MORE STORES IN HEIGHT, STANDPIPES SHALL BE PROVIDED DURING CONSTRUCTION WHEN THE HEIGHT REACHES 40 FEET ABOVE THE LOWEST POINT OF FIRE DEPARTMENT ACCESS. A FIRE DEPARTMENT CONNECTION SHALL BE NO MORE THAN 100 FEET FROM AVAILABLE FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS. A HYDRANT SHALL BE LOCATED ALONG THE ACCESS ROADWAY WITHIN 150 FEET OF THE LOCATION(S) THAT THE FDC CAN BE ACCESSSED FROM. CFC 3310, 3313.

4. ADDRESS NUMBERS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS. BE A MINIMUM OF FOUR INCHES HIGH FOR INDIVIDUAL DWELLING UNITS AND SIX INCHES HIGH FOR ALL OTHER INSTALLATIONS AND STRUCTURES. CONTRAST WITH THEIR BACKGROUND, AND BE PLAINLY VISIBLE FROM THE ROADWAY THE BUILDING IS ADDRESSED ON. TEMPORARY ADDRESS NUMBERS SHALL BE PROVIDED ON CONSTRUCTION FINISHING OF THE BUILDING UNTIL PERMANENT NUMBERS CAN BE PROVIDED. CFC 301.2, CFC 305.1.

5. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CFC TITLE 19. AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED DURING CONSTRUCTION ON EACH FLOOR AT EACH STAIRWAY. IN EACH STORAGE AND CONSTRUCTION SHED, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, OR WHERE SIMILAR HAZARDS ARE PRESENT PER CFC 3015.1, BEFORE FINAL OCCUPANCY, AT LEAST ONE 2A:10BC EXTINGUISHER SHALL BE PROVIDED SO THAT NO POINT IS MORE THAN 75' TRAVEL DISTANCE FROM THE EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED ALONG THE PATH OF EGRESS TRAVEL AND IN A READY VISIBLE AND ACCESSIBLE LOCATION, WITH THE BOTTOM OF THE EXTINGUISHER AT LEAST 4" ABOVE THE FLOOR. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED BY OCFA INSPECTORS DEPENDING ON PROJECT OR SITE CONDITIONS AND FINAL PLACEMENT IS SUBJECT TO THEIR APPROVAL.

6. WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CFC TABLE 803.1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE OCFA. SUCH TREATMENT SHALL BE APPROVED AND INSPECTED BY THE OCFA PRIOR TO INSTALLATION.

7. KNOX BOXEMATE CABINETS SHALL BE PROVIDED FOR ALL HIGH-RISE BUILDINGS, POOL ENCLOSURES, GATES IN THE PATH OF FREIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE IMMEDIATE ACCESS IS REQUIRED OR IS UNUSUALLY DIFFICULT. AN OCFA INSPECTOR CAN ASSIST WITH LOCATING GATE KEYS FROM A LOCAL FIRE STATION TO ARRANGE AN APPOINTMENT TO SECURE MASTER BUILDING KEYS IN THE KNOX BOX.

8. APPROVAL OF THESE PLANS SHALL NOT PERMIT THE VIOLATION OF ANY CODE OR LAW. REQUIREMENTS OR FEATURES NOT IDENTIFIED ON THE PLAN MAY APPLY AND OCFA INSPECTORS MAY REQUIRE ADDITIONAL INFORMATION OR ITEMS FROM THOSE SHOWN ON THE PLAN DEPENDING ON ACTUAL OR ANTICIPATED FIELD CONDITIONS. SUCH CHANGES MAY NECESSITATE SUBMITTAL OF REVISED OR AS-BUILT PLANS TO THE OCFA AND THE CITY/COUNTY WHERE THE PROJECT IS LOCATED.

GENERAL REQUIREMENTS

9. THE PROJECT SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA FIRE CODE, AND OTHER CURRENTLY ADOPTED CODES, STANDARDS, REGULATIONS AND REQUIREMENTS AS ENFORCED BY THE ORANGE COUNTY FIRE AUTHORITY.

10. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES, UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IV STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3.

11. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.

12. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN AISLES.

13. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL NOT BE PROVIDED WITH THUMB-TURN LOCKS OR DEADBOLTS THAT DO NOT UNLATCH IN TANDER WITH THE NORMAL OPERATING LEVER. THE OPENING FORCE FOR INTERIOR DOORS WITHOUT CLOSERS SHALL NOT EXCEED 5 POUNDS. THE UNLATCHING AND OPENING FORCE FOR OTHER DOORS, INCLUDING FIRE DOORS, SHALL NOT EXCEED 15 POUNDS. CFC 1010.

14. THE EXIT PATH SHALL BE CLEARLY IDENTIFIED WITH EXIT SIGNS CONFORMING TO CFC 1013. ILLUMINATED EXIT SIGNS MUST HAVE 90-MINUTE EMERGENCY POWER BACK-UP.

15. EGRESS SIGNS SHALL BE PROVIDED IN COMMERCIAL BUILDINGS, PUBLIC BUILDINGS/ACCOMMODATIONS, AND PUBLICLY FUNDED HOUSING SUBJECT TO CFC CHAPTERS 11A AND 8 AND CONFORM TO 11A-801.1, 703.2 - 703.3, AND 703.5. BE MOUNTED WITH THE BOTTOM OF THE LOWEST LINE OF BRILLE CHARACTER AT LEAST 4 FEET ABOVE THE FLOOR BUT THE BOTTOM OF THE HIGHEST LINE OF RAISED TEXT CHARACTER NO MORE THAN 5 FEET ABOVE THE FLOOR AND, WHENEVER POSSIBLE, ON THE STRIKE SIDE OF THE DOOR. LETTERING SHALL BE BETWEEN 5/8" AND 2" HIGH. CFC 1013.4.

16. STAIRS SERVING 4+ STORES SHALL HAVE STARKEWELL SIGNS CONFORMING TO CFC 1023.5 AND OCFA GUIDELINE E-02.

17. THE EXIT PATH SHALL BE ILLUMINATED AT ALL TIMES IN ACCORDANCE WITH CFC 1006. EMERGENCY LIGHTING SHALL BE PROVIDED WITH 90-MINUTE BACK-UP.

18. RATED ASSEMBLY SHALL CONFORM TO APPROVED METHODS AND MATERIALS OF CONSTRUCTION, PENETRATIONS THROUGH RATED WALLS, CEILING, OR FLOORS SHALL BE PROTECTED IN AN APPROVED MANNER COMPLYING WITH CFC/CFC CHAPTER 7.

19. RATED DOORS SHALL BE SELF-CLOSING AND LATCHING; SUCH DOORS SHALL NOT BE EQUIPPED WITH DOOR STOPS OR OTHERWISE PROPOSED OPEN, RATED DOORS SHALL BE EQUIPPED WITH RATED HARDWARE. CFC 703.

PROJECT-SPECIFIC REQUIREMENTS  
ASSEMBLY OCCUPANCIES

20. OCCUPANT LOAD SIGN, WITH MINIMUM ONE-INCH LETTERS AND NUMBERS CONTRASTING WITH THEIR BACKGROUND, SHALL BE POSTED IN A CONSPICUOUS LOCATION NEAR THE MAIN EXIT FIRE CFC 1004.3 AND TITLE 19 3.3.5. WHERE MULTIPLE SEATING CONFIGURATIONS OR USES ARE ANTICIPATED, SEATING DIAGRAMS AND THEIR RESPECTIVE OCCUPANT LOADS MAY ALSO BE REQUIRED TO BE POSTED.

21. PANIC HARDWARE SHALL BE PROVIDED FOR ALL EXIT AND EXIT ACCESS DOORS IN ASSEMBLY OCCUPANCIES. SUCH DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL. DOORS EQUIPPED WITH PANIC HARDWARE SHALL HAVE NO OTHER LOCK OR LATCH EXCEPT PANIC HARDWARE. IF PANIC HARDWARE IS OMITTED ON THE MAIN DOOR WHEN PERMITTED BY CFC 1010.3.3.4, A SIGN STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IN MINIMUM INCH LETTERS CONTRASTING WITH THEIR BACKGROUND SHALL BE POSTED IN A CONSPICUOUS LOCATION ON OR ADJACENT TO THE DOOR AND THE DOOR SHALL BE EQUIPPED ONLY WITH A KEY-OPERATED LOCK THAT VISUALLY INDICATES WHETHER IT IS OPEN OR LOCKED.

22. TABLES SHALL BE SPACED AT LEAST 30 INCHES APART WHERE SEATING IS BACK TO BACK AND AISLE ACCESSWAYS SERVE MORE THAN 4 OCCUPANTS OR ARE LONGER THAN SIX FEET. AISLE WIDTHS SHALL BE A MINIMUM OF 34 INCHES WHERE SEATING IS ONLY ON ONE SIDE OF THE AISLE OR 42 INCHES FOR SEATING ON BOTH SIDES. WHERE SEATS BACK UP INTO AISLES, SEAT BACKS SHALL BE LOCATED AT 19 INCHES FROM THE TABLE EDGE AND THE CLEAR AISLE WIDTH SHALL BE MEASURED FROM THE BACK OF THE SEAT. CFC 1029.12.

23. OPEN FLAME IN ASSEMBLY AREAS IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY OCFA IN COMPLIANCE WITH CFC CHAPTER 3.

EXTINGUISHING SYSTEMS

24. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BUILDING IN COMPLIANCE WITH CFC 903 AND THE APPLICABLE 2016 NFPA SPRINKLER STANDARD. REVIEW AND APPROVAL OF A SPRINKLER PLAN IS REQUIRED PRIOR TO INSTALLATION OR MODIFICATION.

25. AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED TO PROTECT COMMERCIAL TYPE FOOD PREPARING EQUIPMENT THAT PRODUCES GREASE-FOOD VAPORS AND SHALL COMPLY WITH 2016 CFC AND CMC AND 2009 NFPA 17A. REVIEW AND APPROVAL OF A KITCHEN AND DUCT EXTINGUISHING SYSTEM PLAN IS REQUIRED PRIOR TO INSTALLATION OR USE OF COOKING EQUIPMENT.

ALARM AND MONITORING SYSTEMS

26. A FIRE ALARM SYSTEM SHALL BE PROVIDED IN COMPLIANCE WITH CFC/CFC 907 AND 2016 NFPA 72. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION OR MODIFICATION.

27. AUTOMATIC FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, WITH THE EXCEPTION OF THOSE LISTED IN CFC 903.4, SHALL BE MONITORED BY A UL LISTED CENTRAL ALARM STATION.

HAZARDOUS MATERIALS, EQUIPMENT, AND PROCESSES

28. STORAGE, DISPENSING, OR USE OF ANY HAZARDOUS MATERIALS SHALL COMPLY WITH CFC 414 AND 415 AND CFC REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE REVIEWED AND APPROVED BY THE OCFA PRIOR TO SUCH MATERIALS BEING BROUGHT ON SITE. APPROPRIATE HAZARDOUS MATERIALS WARNING SIGNS SHALL BE PROMINENTLY PLACED IN THE VICINITY/ENTRANCES TO AREAS WHERE HAZARDOUS MATERIALS ARE STORED IN QUANTITIES SUFFICIENT TO REQUIRE A CFC PERMIT.

29. HAZARDOUS PROCESSES AND EQUIPMENT (E.G., STORAGE TANKS, REFRIGERATION, VAPOR RECOVERY, SPRAY BOOTHING AND DRYING ROOMS, DIP TANKS, INDUSTRIAL OVENS, DUST COLLECTION SYSTEMS, MEDICAL/INDUSTRIAL GAS SYSTEMS, ETC.) SHALL BE REVIEWED AND APPROVED BY THE OCFA PRIOR TO INSTALLATION. SUCH EQUIPMENT AND PROCESSES MAY REQUIRE SPECIFIC BUILDING FEATURES AND PROTECTION BEYOND WHAT IS IDENTIFIED ON THIS PLAN.

30. BATTERY SYSTEMS WITH MORE THAN 50 GALLONS OF ELECTROLYTE (AGGREGATE QUANTITY) REQUIRE REVIEW AND APPROVAL BY OCFA PRIOR TO INSTALLATION.

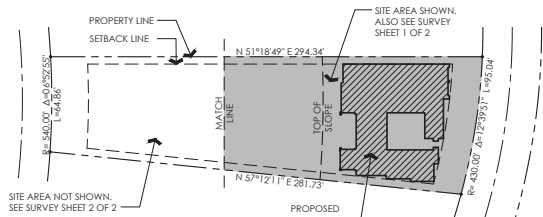
31. HIGH-PRESSURE COMBUSTIBLE STORAGE SHALL BE IN ACCORDANCE WITH CFC CHAPTER 32. HIGH-HAZARD MATERIALS CANNOT BE STORED HIGHER THAN SIX FEET AND OTHER MATERIALS CANNOT BE STORED HIGHER THAN TWELVE FEET WITHOUT FIRST SUBMITTING PLANS TO AND OBTAINING APPROVAL FROM THE OCFA.

OTHER REQUIREMENTS

32. AT LEAST ONE EMERGENCY ESCAPE AND RESCUE WINDOW SHALL BE PROVIDED FOR EVERY SLEEPING ROOM BELOW THE FOURTH STORY IN R OCCUPANCIES, EXCEPT IN R-1/R-2 OF TYPE I, II, III, OR IV CONSTRUCTION. CFC 1030.

33. THE SMOKE CONTROL SYSTEM SHALL COMPLY WITH CFC/CFC 909 AND CFC REGULATIONS. REVIEW AND APPROVAL OF A RATIONAL ANALYSIS REPORT IS REQUIRED PRIOR TO COMMENCING CONSTRUCTION. ACCEPTANCE TESTING SHALL BE PERFORMED BY A QUALIFIED THIRD PARTY AND VERIFIED BY AN OCFA INSPECTOR PRIOR TO OCCUPANCY.

34. PROJECTS LOCATED WITHIN A D.O.G.R. FIELD BOUNDARY, NEAR AN OIL/GAS WELL OR SEEP, OR OTHER LOCATIONS WITH A POTENTIAL FOR COMBUSTIBLE SOIL GAS SHALL UNDERGO EVALUATION AND POSSIBLE MITIGATION AS DESCRIBED IN OCFA GUIDELINE C-03.



SITE KEY PLAN

SITE PLAN NOTES

- ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOFTOP.
- LOT SHALL BE GRADED TO DRAIN WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE/ADDITION SHALL BE SLOPED A MIN. 2% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE.

SITE PLAN KEYNOTES

- xx SYMBOL
- HARDSCAPE, SEE LANDSCAPE DRAWINGS, UNDER SEPARATE PERMIT
  - NAIL-SPACED CANTILEVERED WOOD DECK, POSTS FOR WOOD DECK MUST BE LOCATED AT THE TOP OF SLOPE. DECK MAY PROJECT A MAXIMUM OF 2'-6" BEYOND TOP OF SLOPE AS A CANTILEVERED BALCONY. SEE LANDSCAPE DRAWINGS, UNDER SEPARATE PERMIT. 42" HIGH GLASS GUARDRAIL AT CANTILEVERED DECK EDGE.
  - PLANTING AREA, SEE LANDSCAPE DRAWINGS
  - MASONRY RETAINING/YARD WALL, EXTERIOR PLASTER FINISH. SEE CIVIL AND LANDSCAPE DRAWINGS, UNDER SEPARATE PERMIT.
  - WOOD GATE, SEE LANDSCAPE DRAWINGS, UNDER SEPARATE PERMIT
  - DRIVEWAY WITH APRON PER CIVIL
  - TRANSFORMER, EXISTING TO REMAIN
  - PIPE BOLLARD
  - A/C CONDENSER UNITS
  - PROPOSED WATER METER LOCATION
  - PROPOSED GAS METER LOCATION
  - PROPOSED ELECTRIC METER LOCATION
  - PROPOSED ELECTRIC PANEL LOCATION
  - SIDEWALK
  - LOCATION OF TRASH / RECYCLE BINS
  - LINE OF TOP OF BLUFF
  - LINE OF ROOF OVERHANG
  - LINE OF 185' LANDSCAPE EASEMENT

AREA TABULATIONS

INTERIOR AREA (R3):	3,638 SF
GARAGE (U):	729 SF
TOTAL BUILDING AREA (R3 + U):	4,367 SF
OUTDOOR COVERED LOGGIA:	274 SF
ENTRY VESTIBULE:	27 SF
TOTAL UNDER ROOF (PROPOSED LOT COVERAGE):	4,668 SF

SITE WALL LEGEND

- PROPOSED PERMANENT YARD WALL, HEIGHT AS NOTED. SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION.
- PROPOSED PERMANENT RETAINING YARD WALL, HEIGHT AS NOTED. SEE CIVIL AND LANDSCAPE DRAWINGS FOR MORE INFORMATION.

CARIBBEAN RESIDENCE

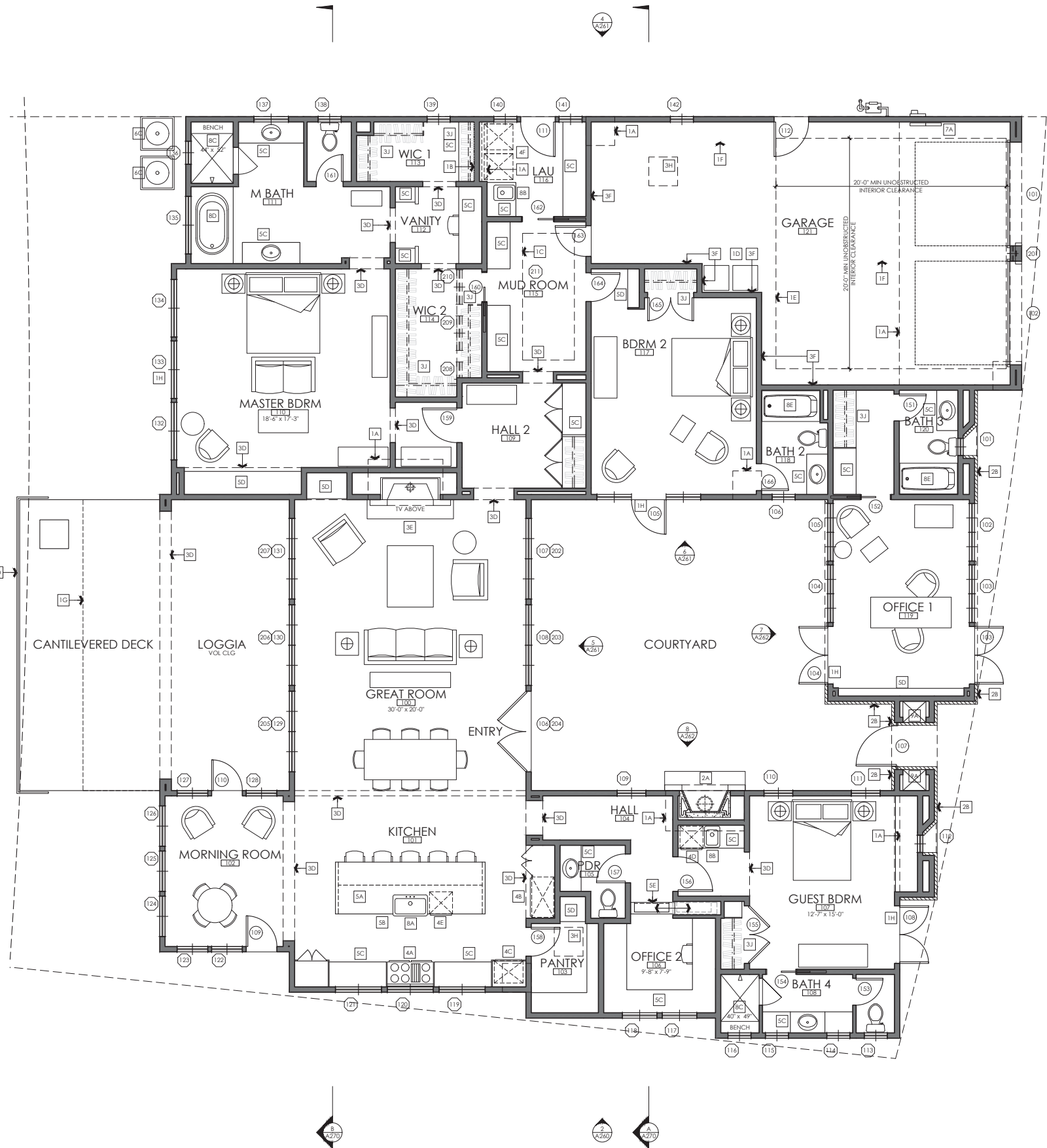
32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

06.10.20

SITE  
PLAN

SCALE: 1/8" = 1'-0"

A090



FLOOR PLAN NOTES

- A. ALL DIMENSIONS ARE TO THE FACE OF STUD, U.N.O.
- B. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.
- C. VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- D. ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- E. INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILINGS U.N.O.
- F. UNLESS NOTED OTHERWISE, DOORS ARE TO BE DOUBLE STUDDED WITH CASING (4" TOTAL) OR DOORS ARE TO BE CENTERED IN SPACE.
- G. WALL FRAMING TO BE 2x6 STUDS UNLESS NOTED OTHERWISE

WALL LEGEND

NEW STUD WALL, 2x6 STUDS, UNO, REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION

AREA TABULATIONS

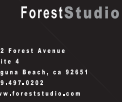
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OUTDOOR COVERED LOGGIA:	274 SF
ENTRY VESTIBULE:	27 SF
TOTAL UNDER ROOF (PROPOSED LOT COVERAGE):	4,668 SF

FLOOR PLAN KEYNOTES

- 1 SPATIAL
- 1A LINE OF ROOF/WALL ABOVE
- 1B LINE OF WALL BELOW
- 1C SKYLIGHT ABOVE
- 1D TRASH / RECYCLEABLES BIN LOCATION
- 1E 20' x 20' CLEAR UNOBSTRUCTED INTERIOR GARAGE CLEARANCE
- 1F OUTLINE OF PARKING STALL
- 1G LINE OF SLAB/STRUCTURE BELOW
- 1H EGRESS DOOR/WINDOW SHALL COMPLY WITH CRC R310.2
- 2 EXTERIORS
- 2A 48" ISOKERN FIREPLACE WITH SIMPSON DURA-VENT METAL FLUE. INSTALLATION AND USE SHALL BE IN ACCORDANCE W/ MANUFACTURER'S REQUIREMENTS. NON-COMBUSTIBLE FIREPLACE HEARTH SHALL EXTEND AT LEAST 20" IN FRONT AND 12" BEYOND EACH SIDE OF THE F.P. OPENING. COMBUSTIBLE MATERIALS SHALL NOT BE LESS THAN 6" FROM F.P. OPENING. COMBUSTIBLE MATERIALS SHALL NOT BE LESS THAN 6" FROM F.P. OPENING. INSTALLED PER ICC-ESR 2316.
- 2B FINISH, ADHERED MASONRY VENEER PER EXTERIOR ELEVATIONS
- 2C DOWNSPOUT FROM ROOF GUTTER
- 2D GUARDRAIL, 42" ABOVE FINISHED SURFACE, 3/4" THICK TEMPERED AND LAMINATED GLASS, GUARDRAIL STANDOFF HARDWARE BY C.R. LAURENCE CO., C.R. LAURENCE "SR5" GUARDRAIL SYSTEM OR APPROVED EQUAL. PROVIDE TOP CAP AS REQUIRED BY MANUFACTURER. INSTALLATION PER MFR'S REQUIREMENTS. GUARDRAIL STANDOFF ATTACHMENT PER STRUCTURAL. FINISH OF STANDOFF HARDWARE AND TOP CAP AS SELECTED. SEE DETAIL 14/A940 FOR ADDITIONAL INFORMATION.
- 3 INTERIORS
- 3A 2x4 WALL
- 3B LOW WALL
- 3C SHELF & POLE
- 3D CEILING (SOFFIT / BEAM / WRAPPED BEAM)
- 3E FIREPLACE
- 3F OCCUPANCY SEPARATION; MINIMUM 1/2" GYPSUM BOARD AT ALL GARAGE WALLS & CEILINGS. MINIMUM 5/8" TYPE "X" GYPSUM BOARD AT GARAGE CEILINGS BELOW HABITABLE SPACE PER CRC R302.6.DUCTS PENETRATING WALL OR CEILING SEPARATIONS SHALL BE CONSTRUCTED OF MINIMUM 26 GAUGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE, PER CRC 302.5.2.
- 3G 20 MIN. FIRE RATED GARAGE MAN DOOR, SELF-CLOSING AND SELF-LATCHING
- 3H 30"x22" MIN ATTIC ACCESS PANEL (30"x30" WHERE EQUIPMENT MUST PASS THROUGH)
- 3J SHELF & POLE
- 4 APPLIANCES
- 4A 48" GAS RANGE/ DBL OVEN, WITH DOWNDRAFT EXHAUST, VENT PER MANUFACTURER'S REQ'S.
- 4B 42" BUILT-IN REFRIGERATOR. PROVIDE PLUMBING CONNECTION, RECESSED BOX IN WALL
- 4C 30" BUILT-IN DBL OVEN, VENT PER MANUFACTURER'S REQ'S.
- 4D 24" REFRIGERATOR UNDER COUNTERTOP
- 4E 24" DISHWASHER UNDER COUNTERTOP
- 4F WASHER / DRYER LOCATION, VENT DRYER PER CMC
- 5 MILLWORK
- 5A KITCHEN ISLAND W/ CABINETS BELOW, COUNTERTOP, AS SELECTED
- 5B 18" TRASH RECEPTACLE UNDER COUNTERTOP
- 5C CABINERY PER INTERIOR ELEVATIONS
- 5D SHELVES PER INTERIOR ELEVATIONS
- 5E SLIDING BOOKCASE
- 6 EQUIPMENT
- 6A MECHANICAL UNIT IN ATTIC, PER MECHANICAL PLANS
- 6B TANKLESS WATER HEATER, PER PLUMBING PLANS
- 6C A/C CONDENSER UNIT, PER MECHANICAL PLANS
- 7 MEP
- 7A ELECTRICAL PANEL
- 8 FIXTURES
- 8A 36" SINGLE BASIN SINK WITH GARBAGE DISPOSAL
- 8B 16" SINGLE BASIN BAR/UTILITY SINK
- 8C HOT MOPPED SHOWER PAN WITH TILE FINISH TO CEILING, AS SELECTED. TILED SHOWER BENCH, AS OCCURS. FRAMELESS TEMPERED GLASS ENCLOSURE (SAFETY GLAZING PER CRC R308). SHOWER COMPARTMENT SHALL BE FINISHED WITH A SMOOTH, NONABSORBANT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE FINISHED FLOOR
- 8D 36"x66" DROP-IN SOAKING TUB, AS SELECTED
- 8E 32"x60" SLIDE-IN TUB/SHOWER COMBO, AS SELECTED. WALLS ABOVE TUB SHALL BE FINISHED WITH A SMOOTH, NONABSORBANT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE FINISHED FLOOR
- 9 SPECIALTY
- 9A MAILBOX PER CLIENT SELECTION. MAIL SLOT SHALL BE 41" TO 45" ABOVE FINISHED WALKING SURFACE

CARIBBEAN RESIDENCE

32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

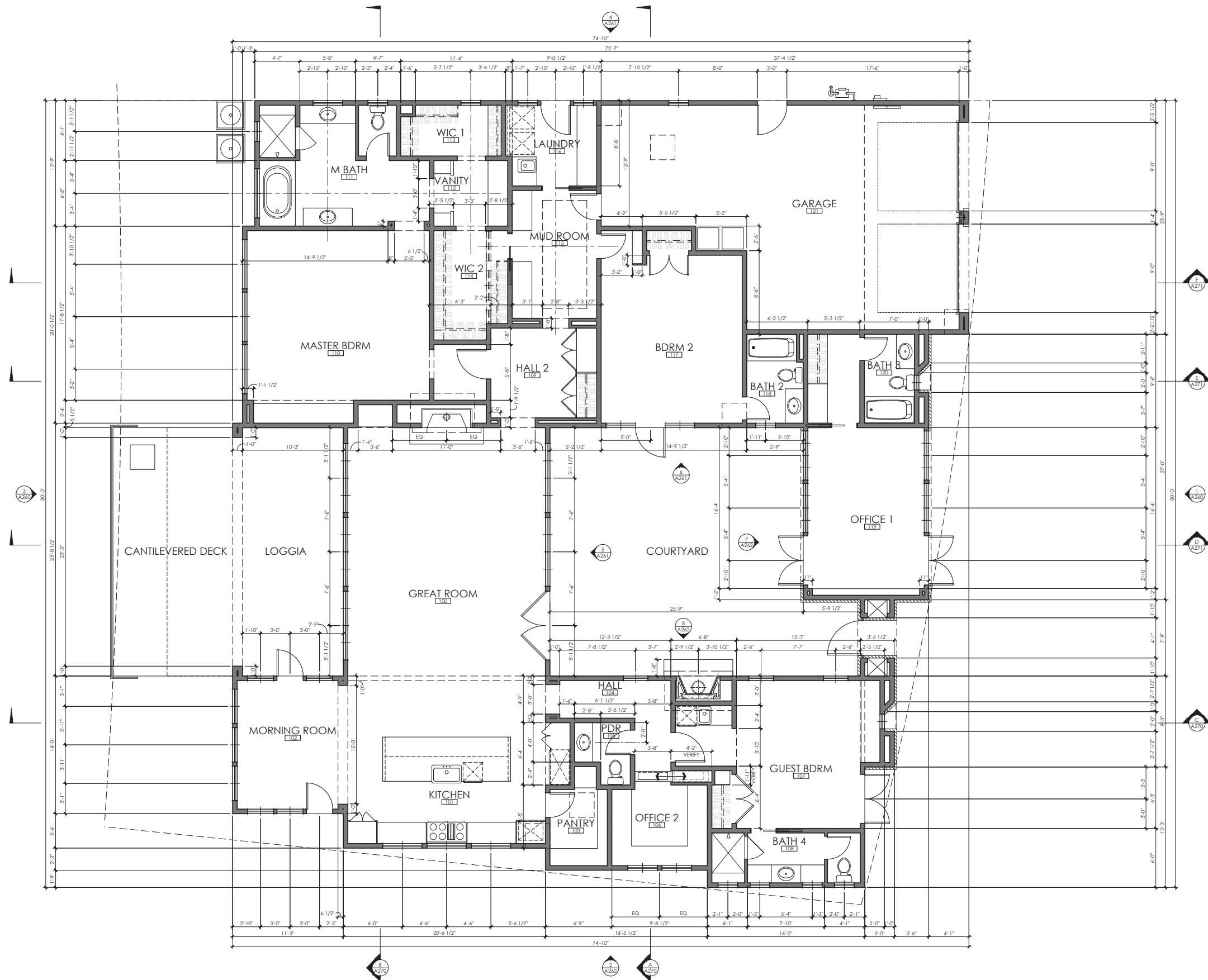


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REFERENCE  
FLOOR PLAN

SCALE : 1/4" = 1'-0"

A210



FLOOR PLAN NOTES

- A. ALL DIMENSIONS ARE TO THE FACE OF STUD, U.N.O.
- B. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.
- C. VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- D. ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- E. INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILINGS U.N.O.
- F. UNLESS NOTED OTHERWISE, DOORS ARE TO BE DOUBLE STUDDED WITH CASING (4" TOTAL) OR DOORS ARE TO BE CENTERED IN SPACE.
- G. WALL FRAMING TO BE 2x6 STUDS UNLESS NOTED OTHERWISE

WALL LEGEND

NEW STUD WALL-2x6 STUDS, UNO, REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION

AREA TABULATIONS

INTERIOR AREA (R3):	3,638 SF
GARAGE (U):	729 SF
TOTAL BUILDING AREA (R3 + U):	4,367 SF
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CARIBBEAN RESIDENCE

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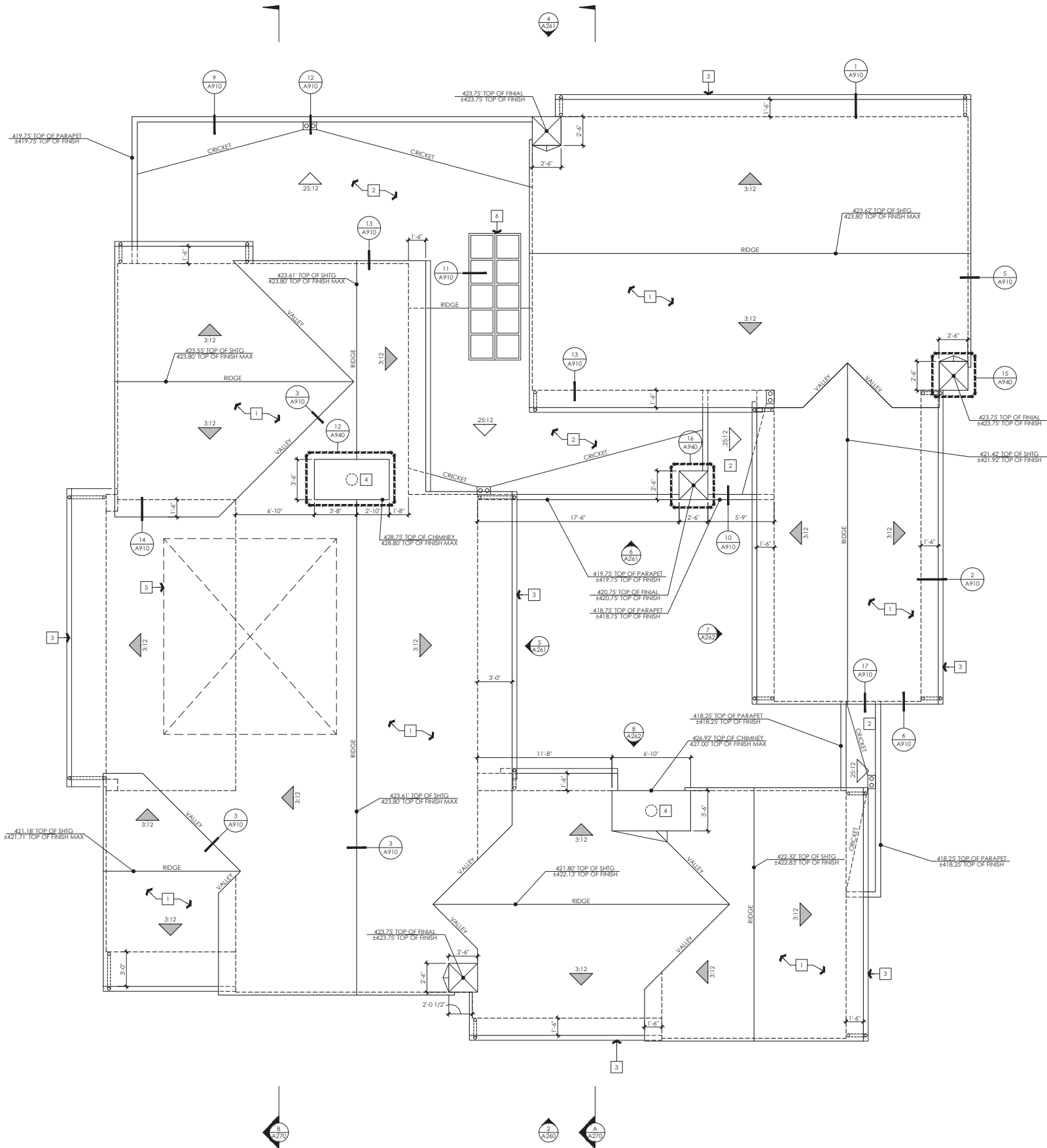


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DIMENSIONED FLOOR PLAN

SCALE: 1/4" = 1'-0"

A211



## ROOF NOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR ROOF SHEATHING SPECIFICATIONS.
- B. ROOF TO BE UNVENTED ATTIC ASSEMBLY AND SHALL COMPLY WITH R806.5
- THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE
  - NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY
  - AIR PERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING
  - RIGID BOARD OR SHEET INSULATION WITH AN R-VALUE OF 6-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHEATHING FOR CONDENSATION CONTROL.
- C. PROVIDE 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND WHERE ROOF PITCH CHANGES.
- D. THE CENTER LINE OF ALL FLASHING FOR VENT PIPES SHALL BE NOT LESS THAN 18" FROM ANY VALLEY.
- E. ALL ROOF PENETRATIONS SHALL BE INSTALLED AS TO MAKE THEM WATERPROOF.
- F. GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED.
- G. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.
- H. ROOF TRUSS HEELS TO BE 6" UNLESS NOTED OTHERWISE. SEE STRUCTURAL SHEETS.
- I. NO PLUMBING VENTS OR SIMILAR ROOF PENETRATIONS ARE TO BE LOCATED FACING THE COURTYARDS.
- J. RADIANT BARRIER IN CLIMATE ZONES 3, 5, 6 AND 7 A RADIANT BARRIER MEETING THE REQUIREMENTS OF SECTION 110.8 SHALL BE PROVIDED IN THE ROOF ASSEMBLY, INCLUDING IN GABLE ENDS. PROJECT IS LOCATED IN CLIMATE ZONE 6 AND THEREFORE A RADIANT BARRIER IS REQUIRED.

## DESIGNATED SOLAR ZONE

SPACE REQUIREMENTS [CEC 110.10(B)]:

- DESIGNATED SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING.
- TOTAL AREA THE DESIGNATED SOLAR ZONE SHALL BE NOT LESS THAN 250 SQUARE FEET AND SHALL BE COMPRISED OF AREAS NOT LESS THAN 80 SQUARE FEET, EACH.
- THE DESIGNATED SOLAR ZONE SHALL HAVE A MINIMUM DIMENSION OF 5 FEET ON ALL SIDES.
- THE DESIGNATED SOLAR ZONE SHALL BE UNSHADED, UNPENETRATED, AND FREE OF ANY OBSTRUCTIONS.

INTERCONNECTION [CEC 110.10(C)]:

- A PATHWAY SHALL BE PROVIDED FOR ROUTING CONDUIT FROM THE SOLAR ZONE TO THE MAIN SERVICE PANEL.
- A PATHWAY SHALL BE PROVIDED FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.

DOCUMENTATION [CEC 110.10(D)]:

- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE DESIGNATED SOLAR ZONE AND INTERCONNECTION PATHWAY INFORMATION SHALL BE PROVIDED TO THE OCCUPANT.

MAIN ELECTRICAL SERVICE PANEL [CEC 110.10(E)]:

- MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS
- MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

## PHOTOVOLTAIC REQ'S

ALL LOW-RISE RESIDENTIAL BUILDINGS SHALL HAVE A PHOTOVOLTAIC (PV) SYSTEM MEETING THE MINIMUM QUALIFICATION REQUIREMENTS AS SPECIFIED IN JOINT APPENDIX JA11, WITH ANNUAL ELECTRICAL OUTPUT EQUAL TO OR GREATER THAN THE DWELLING'S ANNUAL ELECTRICAL USAGE AS DETERMINED BY EQUATION 1.50.1-C. [CEC 150.1-C]

## ROOF KEYNOTES

XI

- | SYMBOL |  |
|--------|--|
| 1      | CONCRETE FLAT TILE ROOF, CEDARLITE 600 BY BORAL, SILVERWOOD COLOR, CLASS 'A' FIRE RATED, INSTALLED WEIGHT OF 590 POUNDS PER SQUARE. ICC-ESR 1447                               |
| 2      | BUILT-UP ROOFING SYSTEM WITH PEA GRAVEL INSTALLED PER MANUFACTURERS SPECS. CLASS 'A' FIRE RATED, BY GAF MATERIALS CORPORATION RUBEROID/GAFGLASS BUILT-UP ROOFING. ICC-ESR 1274 |
| 3      | 5" COPPER HALF-ROUND ROOF GUTTER WITH 3" DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED. ROOF GUTTERS SHALL BE PROVIDED WITH COVER TO PREVENT ACCUMULATION OF DEBRIS                 |
| 4      | FIREPLACE CHIMNEY CAP  |
| 5      | DESIGNATED SOLAR ZONE  |
| 6      | SKYLIGHT, 4'-6" x 11'-0" CURB-MOUNTED GREENHOUSE TYPE  |

## ROOF SLOPE LEGEND

- 3:12, TYPICAL ROOF PITCH WITH CLASS 'A' CLAY TILE ROOF FINISH, CEDARLITE 600 BY BORAL, SILVERWOOD COLOR (ICC-ESR-1017), FIRE RATING PER LISTING BY AN APPROVED TESTING AGENCY PER ASTM E-108.
- 1/4:12 MIN. LOW SLOPE ROOF ASSEMBLY SHALL HAVE A CLASS 'A' FIRE RATING AND BE LISTED BY AN APPROVED TESTING AGENCY.
- BUILT-UP COMPOSITION ROOF ASSEMBLY, FOUR LAYER, 15 POUND FELL UNDERLAYMENT, 25 POUNDS HOT MOPPING BETWEEN LAYERS AND 40 POUNDS FLOOD COAT WITH 400 POUNDS PEA GRAVEL SURFACE, SLOPE SOLID EDGE BLOCKED ROOF 1/4" PER FOOT MINIMUM FOR WATER DRAINAGE.



# CARIBBEAN RESIDENCE

32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

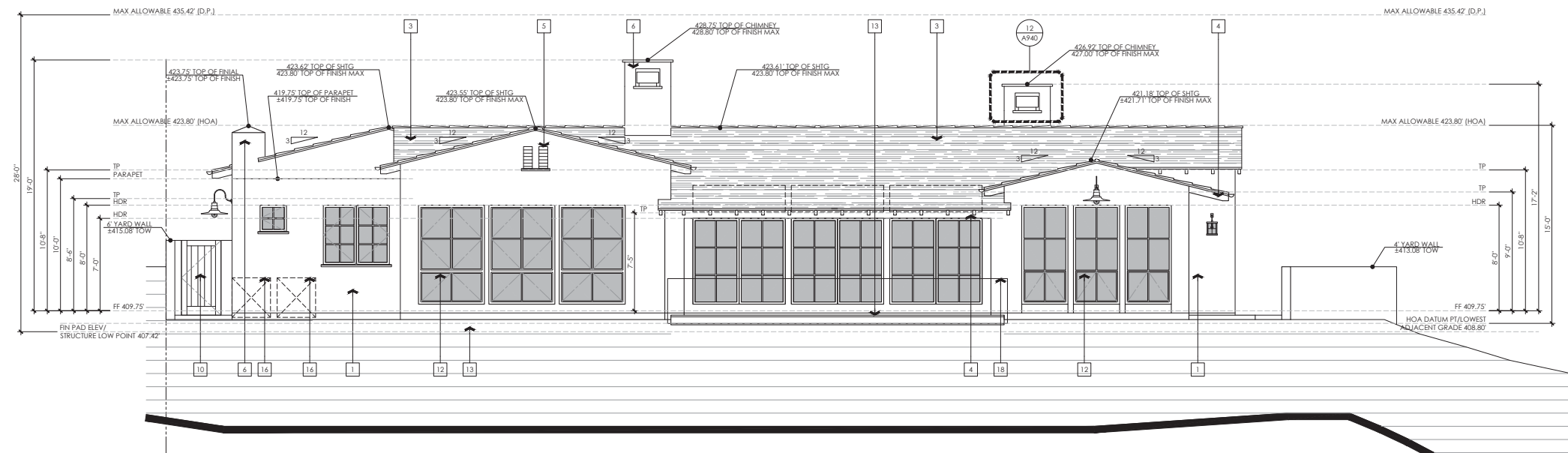
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ROOF  
PLAN

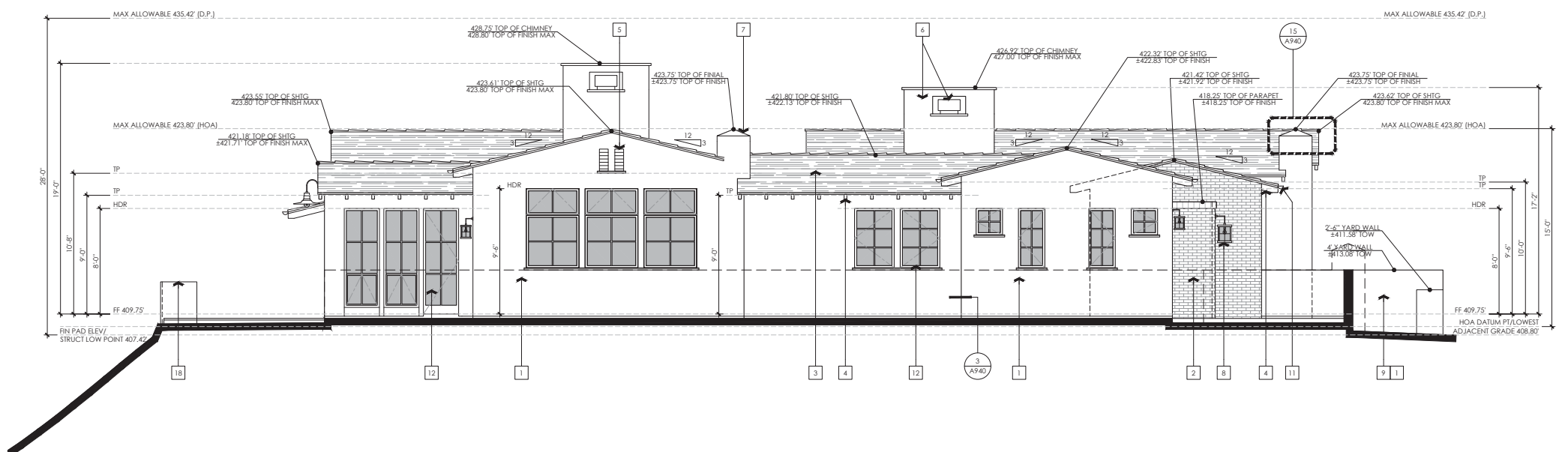
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A250

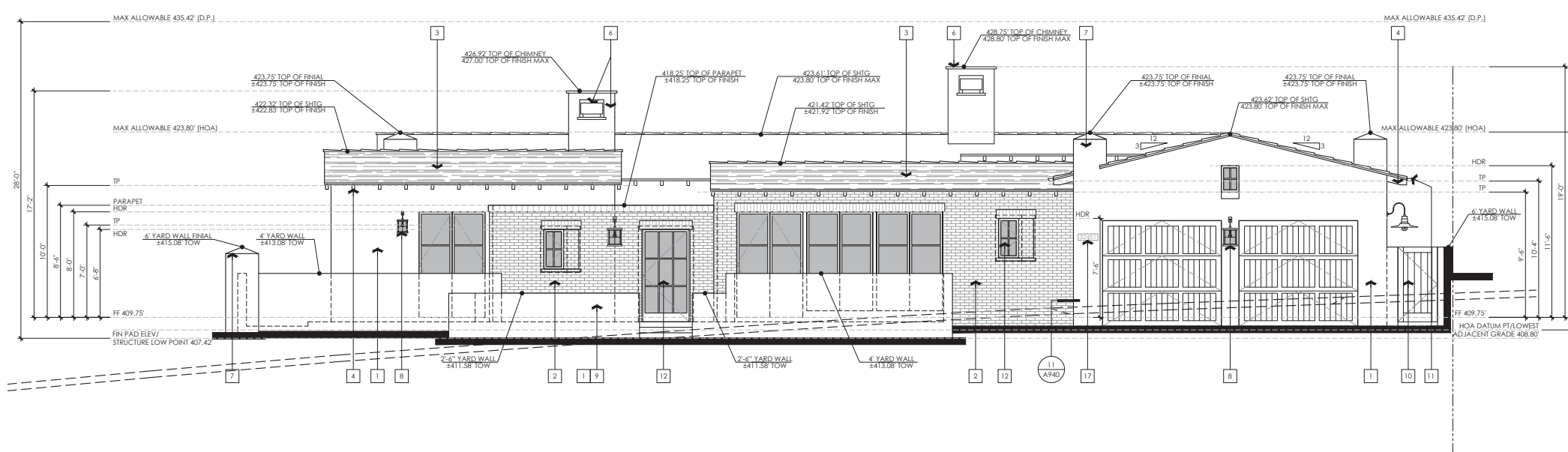




REAR ELEVATION 3



LEFT SIDE ELEVATION 2



FRONT ELEVATION 1

## EXTERIOR ELEVATION NOTES

- REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- REFER TO CIVIL AND LANDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- WINDOW HEADERS ARE AT 7'-0" U.N.O.

## EXT. ELEVATION KEYNOTES

- | XX | SYMBOL  |
|----|---|
| 1  | 7/8" MIN. EXT. CEMENT PLASTER, SMOOTH SANTA BARBARA FINISH  |
| 2  | ADHERED BRICK VENEER OVER CEMENT PLASTER, OVERGROUTED WITH WHITE FINISH PER COLOR BOARD   |
| 3  | CONCRETE FLAT TILE ROOF, CEDARITE 400 BY BORAL  |
| 4  | SILVERWOOD PER COLOR BOARD, CLASS 'A' FIRE RATED  |
| 5  | 3x6 SHAPED WOOD RAFTER TAILS AT 24" O.C.  |
| 6  | DECORATIVE LOUVERED GABLE END FALSE VENT. SEE DTL 13/A940   |
| 7  | EXTERIOR PLASTER FINISHED FIREPLACE CHIMNEY CAP WITH SPARK ARRESTOR. SEE DETAIL 12/A940   |
| 8  | EXTERIOR PLASTER FINISHED FINIAL. SEE DETAILS 15 AND 16/A940  |
| 9  | DECORATIVE LIGHT FIXTURE, BRONZE FINISH   |
| 10 | MASONRY RETAINING/YARD WALL WITH EXT. CEMENT PLASTER FINISH   |
| 11 | WOOD GATE   |
| 12 | 5" COPPER HALF-ROUND ROOF GUTTER WITH 3" DOWNSPOUT  |
| 13 | METAL CLAD WOOD VISTALUXE DOOR/WINDOW SYSTEM  |
| 14 | WOOD DECK PER LANDSCAPE. MINIMUM 4" CANTILEVER PAST TOP OF SLOPE  |
| 15 | ISOKERN EXTERIOR FIREPLACE PER FLOOR PLAN   |
| 16 | SKYLIGHT, 4'-6" x 11'-0" CURB-MOUNTED GREENHOUSE TYPE   |
| 17 | A/C CONDENSER UNIT, PER MECHANICAL PLANS  |
| 18 | STREET ADDRESS NUMBER PLATE AS SELECTED. NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET. MINIMUM 4" HIGH BY 1" WIDE GUARDRAIL, 42" ABOVE FINISHED SURFACE, 3/4" THICK TEMPERED AND LAMINATED GLASS, GUARDRAIL STANDOFF HARDWARE BY C.R. LAURENCE CO. C.R. LAURENCE 'SR'S' GUARDRAIL SYSTEM OR APPROVED EQUAL. PROVIDE TOP CAP AS REQUIRED BY MANUFACTURER. INSTALLATION PER MFRS REQUIREMENTS. GUARDRAIL STANDOFF ATTACHMENT PER STRUCTURAL. FINISH OF STANDOFF HARDWARE AND TOP CAP AS SELECTED. SEE DETAIL 14/A940 FOR ADDITIONAL INFORMATION |
| 19 | MAILBOX PER CLIENT SELECTION. MAIL SLOT SHALL BE 41" TO 45" ABOVE FINISHED WALKING SURFACE  |

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# CARIBBEAN RESIDENCE

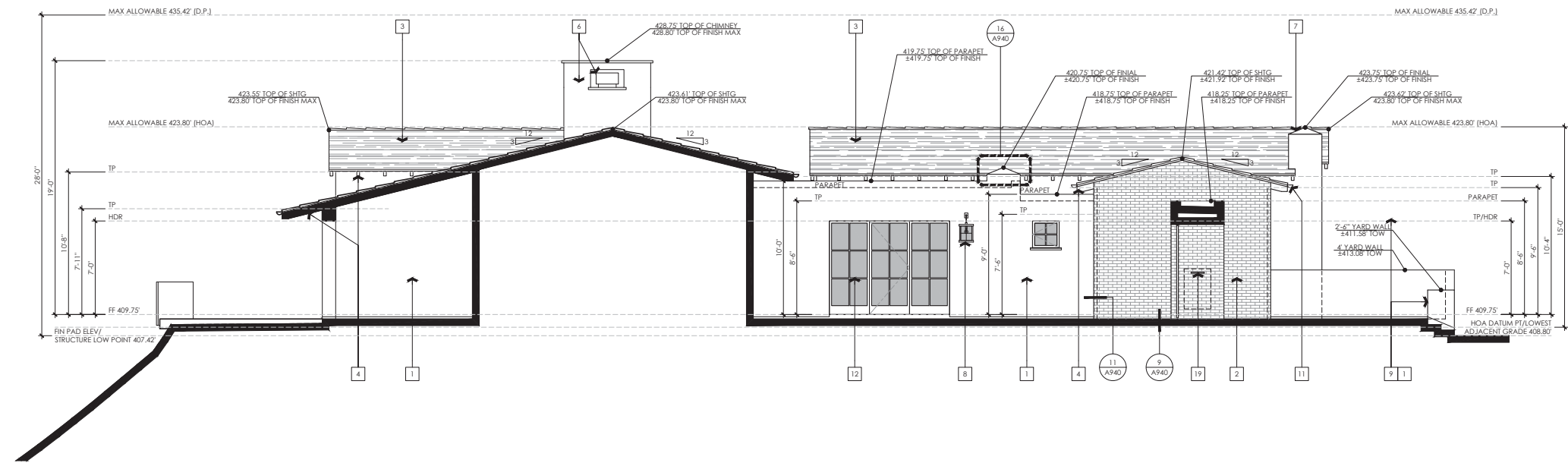
32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

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EXTERIOR ELEVATIONS

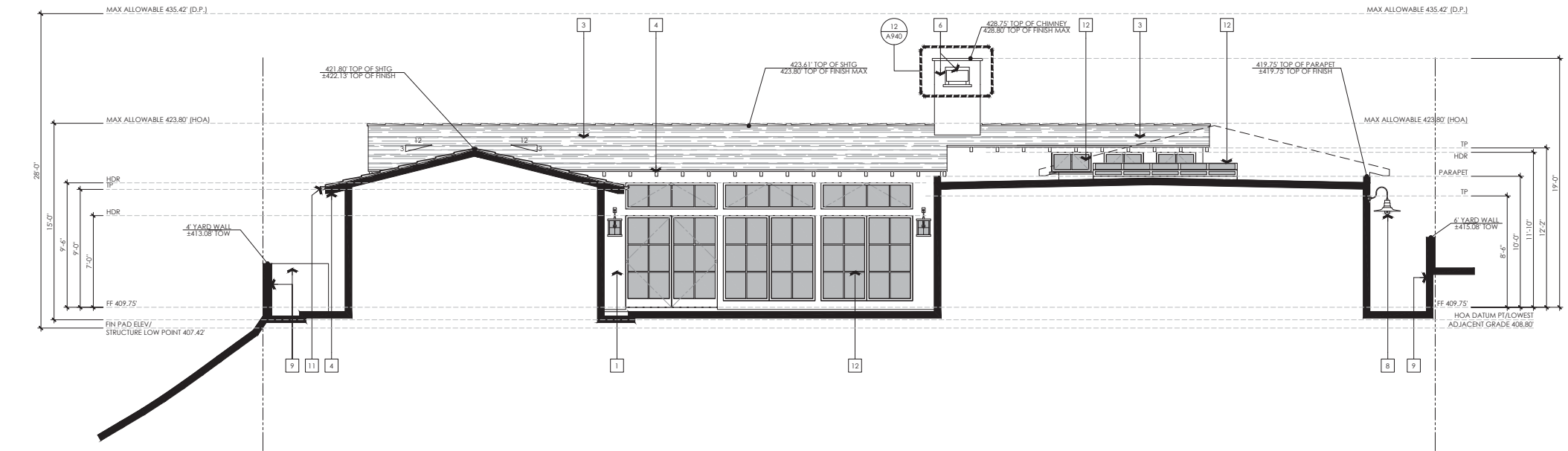
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A260



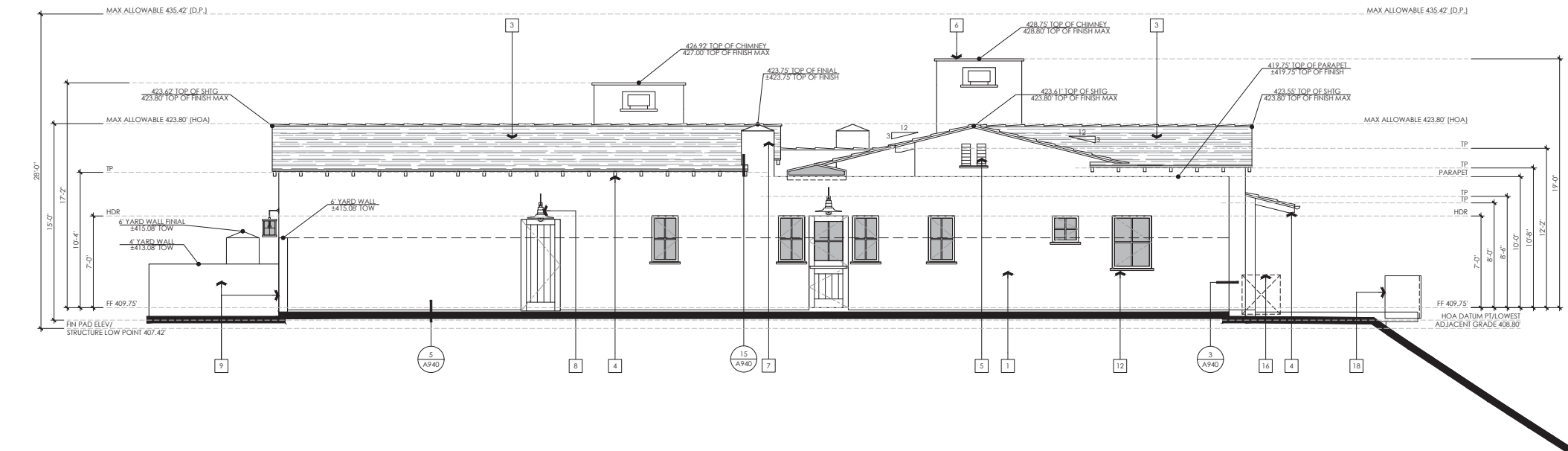
LEFT SIDE FACING COURTYARD ELEVATION

6



FRONT FACING COURTYARD ELEVATION

5



RIGHT SIDE ELEVATION

4

EXTERIOR ELEVATION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND LANDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- D. WINDOW HEADERS ARE AT 7'-0" U.N.O.

EXT. ELEVATION KEYNOTES

- XX SYMBOL
- 1 7/8" MIN. EXT. CEMENT PLASTER, SMOOTH SANTA BARBARA FINISH
  - 2 ADHERED BRICK VENEER OVER CEMENT PLASTER, OVERGROUTED WITH WHITE FINISH PER COLOR BOARD
  - 3 CONCRETE FLAT TILE ROOF, CEDARITE 400 BY BORAL, SILVERWOOD PER COLOR BOARD, CLASS 'A' FIRE RATED
  - 4 3x6 SHAPED WOOD RAFTER TAILS AT 24" O.C.
  - 5 DECORATIVE LOUVERED GABLE END FALSE VENT, SEE DETL 13/A940
  - 6 EXTERIOR PLASTER FINISHED FIREPLACE CHIMNEY CAP WITH SPARK ARRESTOR, SEE DETAIL 12/A940
  - 7 EXTERIOR PLASTER FINISHED FINIAL, SEE DETAILS 15 AND 16/A940
  - 8 DECORATIVE LIGHT FIXTURE, BRONZE FINISH
  - 9 MASONRY RETAINING/YARD WALL WITH EXT. CEMENT PLASTER FINISH
  - 10 WOOD GATE
  - 11 5" COPPER HALF-ROUND ROOF GUTTER WITH 3" DOWNSPOUT
  - 12 METAL CLAD WOOD VISTALUXE DOOR/WINDOW SYSTEM
  - 13 WOOD DECK PER LANDSCAPE, MINIMUM 4" CANTILEVER PAST TOP OF SLOPE
  - 14 ISOKERN EXTERIOR FIREPLACE PER FLOOR PLAN
  - 15 SKYLIGHT, 4'-6" x 11'-0" CURB-MOUNTED GREENHOUSE TYPE
  - 16 A/C CONDENSER UNIT, PER MECHANICAL PLANS
  - 17 STREET ADDRESS NUMBER PLATE AS SELECTED, NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET, MINIMUM 4" HIGH BY 1" WIDE
  - 18 GUARDRAIL, 42" ABOVE FINISHED SURFACE, 3/4" THICK TEMPERED AND LAMINATED GLASS, GUARDRAIL STANDOFF HARDWARE BY C.R. LAURENCE CO., C.R. LAURENCE 'SR'S' GUARDRAIL SYSTEM OR APPROVED EQUAL, PROVIDE TOP CAP AS REQUIRED BY MANUFACTURER, INSTALLATION PER MFRS REQUIREMENTS, GUARDRAIL STANDOFF ATTACHMENT PER STRUCTURAL, FINISH OF STANDOFF HARDWARE AND TOP CAP AS SELECTED, SEE DETAIL 14/A940 FOR ADDITIONAL INFORMATION
  - 19 MAILBOX PER CLIENT SELECTION, MAIL SLOT SHALL BE 41" TO 45" ABOVE FINISHED WALKING SURFACE



CARIBBEAN RESIDENCE

32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

06.10.20

EXTERIOR  
ELEVATIONS

SCALE: 1/4" = 1'-0"

A261

EXTERIOR ELEVATION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- D. WINDOW HEADERS ARE AT 7'-0" U.N.O.

EXT. ELEVATION KEYNOTES

- XX SYMBOL
- 1 7/8" MIN. EXT. CEMENT PLASTER, SMOOTH SANTA BARBARA FINISH
- 2 ADHERED BRICK VENEER OVER CEMENT PLASTER, OVERGROUTED WITH WHITE FINISH PER COLOR BOARD
- 3 CONCRETE FLAT TILE ROOF, CEDARLITE 400 BY BORAL, SILVERWOOD PER COLOR BOARD, CLASS 'A' FIRE RATED
- 4 3x6 SHAPED WOOD RAFTER TAILS AT 24" O.C.
- 5 DECORATIVE LOUVERED GABLE END FALSE VENT. SEE DTL 13/A940
- 6 EXTERIOR PLASTER FINISHED FIREPLACE CHIMNEY CAP WITH SPARK ARRESTOR. SEE DETAIL 12/A940
- 7 EXTERIOR PLASTER FINISHED FINIAL. SEE DETAILS 15 AND 16/A940
- 8 DECORATIVE LIGHT FIXTURE, BRONZE FINISH
- 9 MASONRY RETAINING/YARD WALL WITH EXT. CEMENT PLASTER FINISH
- 10 WOOD GATE
- 11 5" COPPER HALF-ROUND ROOF GUTTER WITH 3" DOWNSPOUT
- 12 METAL CLAD WOOD VISTALUXE DOOR/WINDOW SYSTEM
- 13 WOOD DECK PER LANDSCAPE. MINIMUM 4" CANTILEVER PAST TOP OF SLOPE
- 14 ISOKERN EXTERIOR FIREPLACE PER FLOOR PLAN
- 15 SKYLIGHT, 4'-6" x 11'-0" CURB-MOUNTED GREENHOUSE TYPE
- 16 A/C CONDENSER UNIT, PER MECHANICAL PLANS
- 17 STREET ADDRESS NUMBER PLATE AS SELECTED. NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET. MINIMUM 4" HIGH BY 1" WIDE
- 18 GUARDRAIL, 42" ABOVE FINISHED SURFACE, 3/4" THICK TEAK-FERED AND LAMINATED GLASS, GUARDRAIL STANDOFF HARDWARE BY C.R. LAURENCE CO. C.R. LAURENCE 'SR'S' GUARDRAIL SYSTEM OR APPROVED EQUAL. PROVIDE TOP CAP AS REQUIRED BY MANUFACTURER. INSTALLATION PER MFRS REQUIREMENTS. GUARDRAIL STANDOFF ATTACHMENT PER STRUCTURAL. FINISH OF STANDOFF HARDWARE AND TOP CAP AS SELECTED. SEE DETAIL 14/A940 FOR ADDITIONAL INFORMATION
- 19 MAILBOX PER CLIENT SELECTION. MAIL SLOT SHALL BE 41" TO 45" ABOVE FINISHED WALKING SURFACE



CARIBBEAN RESIDENCE

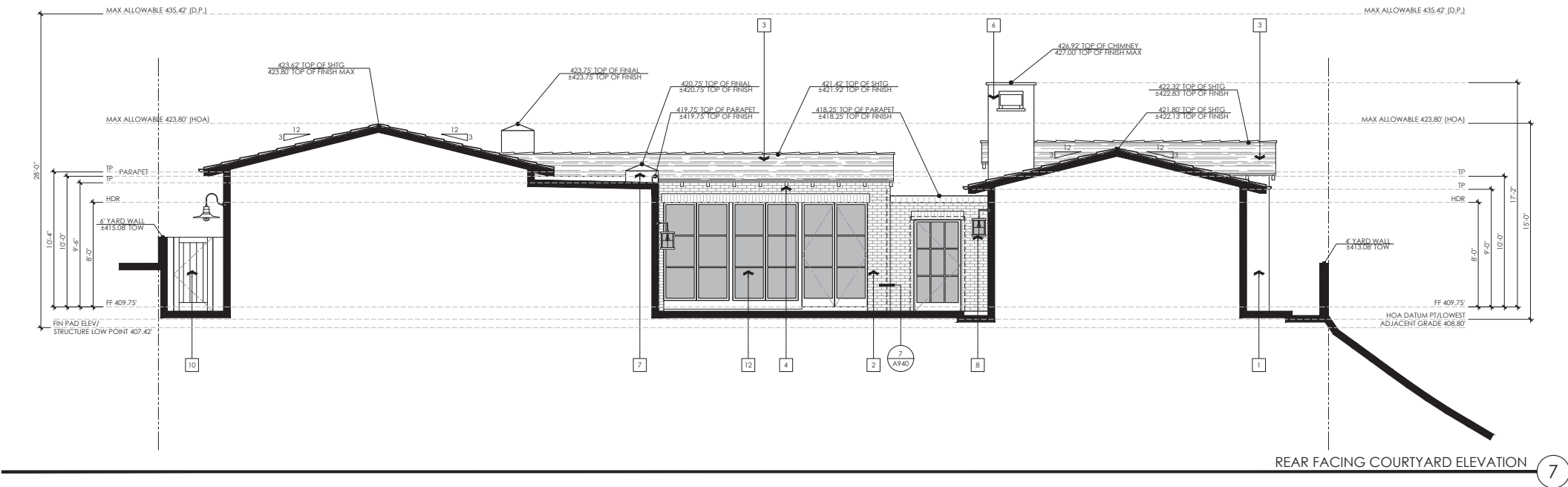
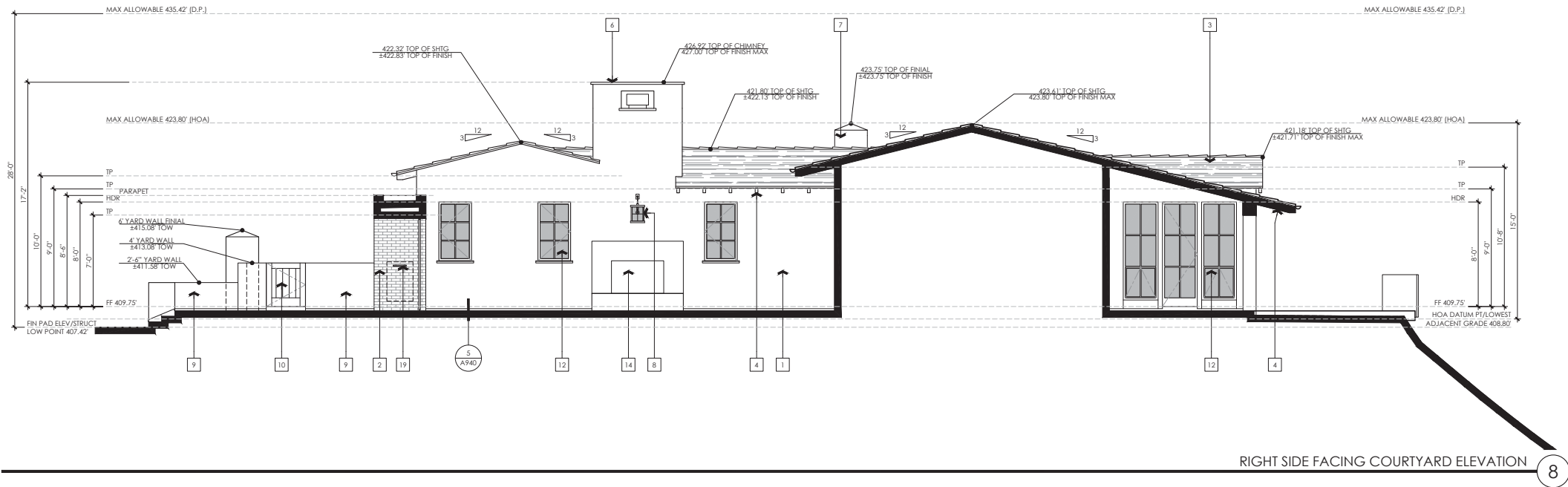
32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

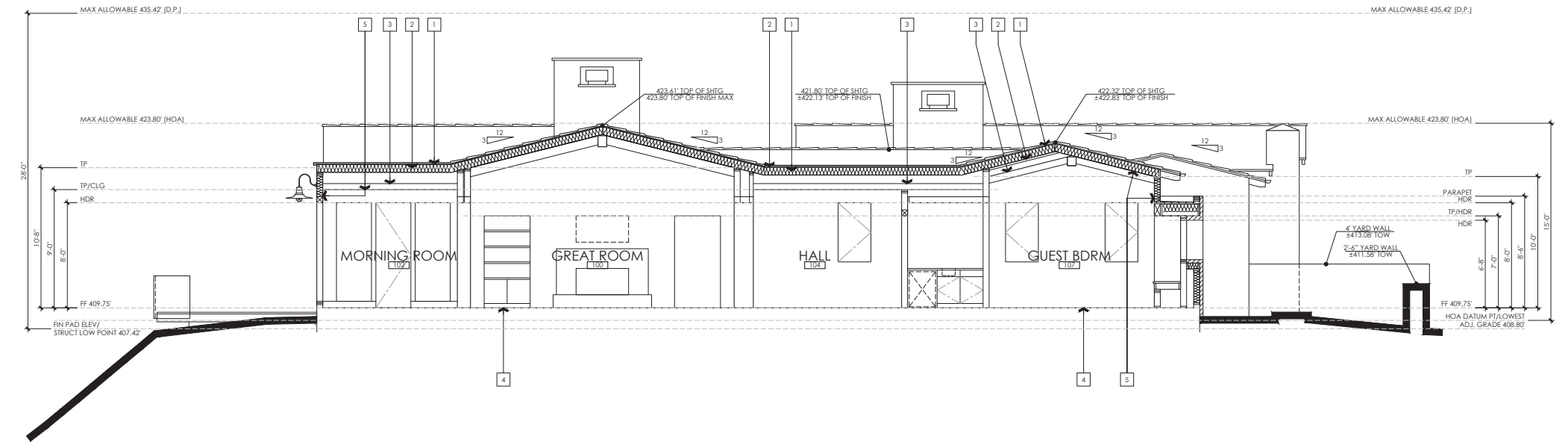
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EXTERIOR  
ELEVATIONS

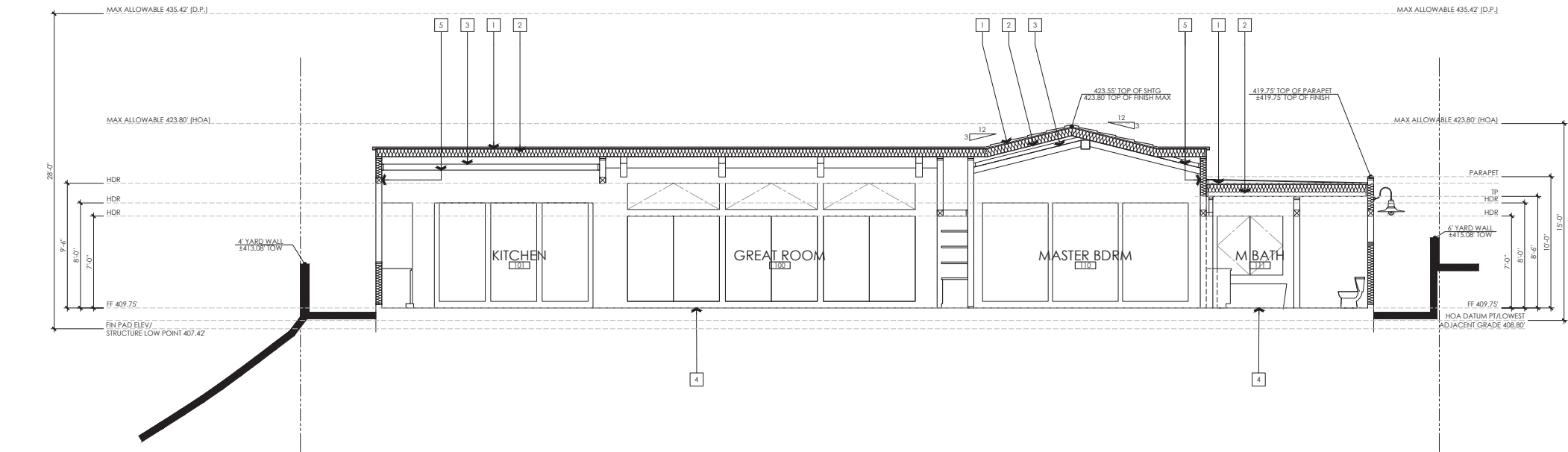
SCALE : 1/4" = 1'-0"

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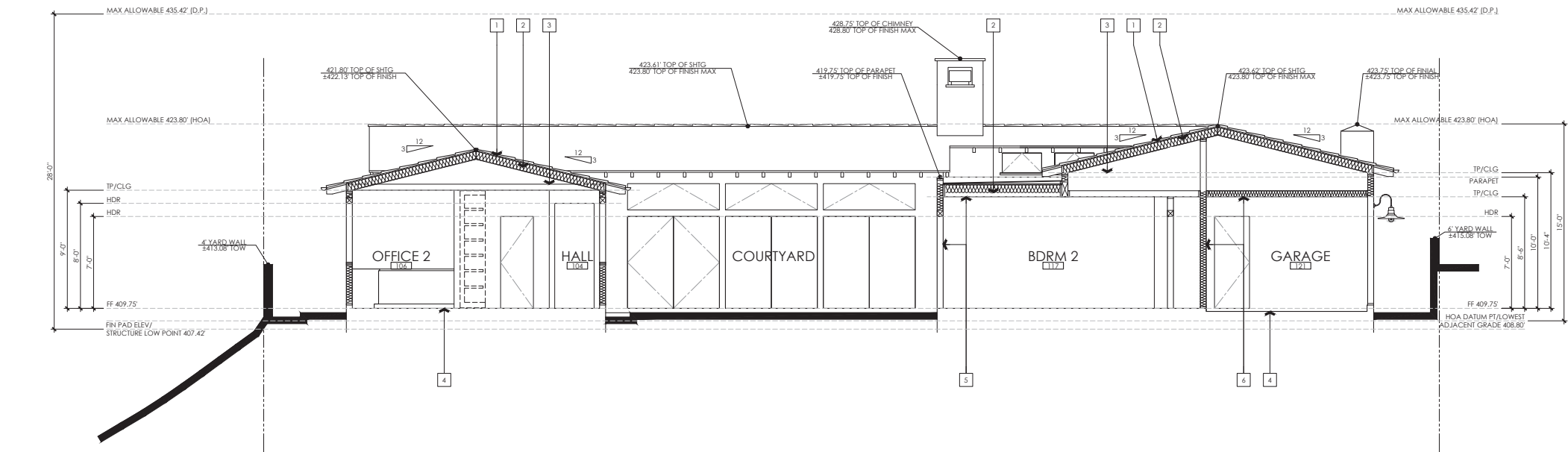




SECTION C



SECTION B



SECTION A

BUILDING SECTION NOTES

- REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- THE FOUNDATION AND FRAMING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE STRUCTURAL PLANS, DETAILS AND CALCULATIONS FOR ALL STRUCTURAL INFORMATION.
- PROVIDE FIREBLOCKING AND DRAFT STOPS AT FURRED SPACES PER CODE.
- INSULATION REQUIREMENTS PER T-24 ENERGY REPORT:
  - R-13 INSULATION IN EXTERIOR WALLS TYP.
  - R-19 INSULATION IN RAISED WOOD FLOOR SPACE TYP.
  - R-30 INSULATION IN CEILING SPACE TYP.
  - [R-30 HIGH DENSITY 7.25" THICK "ROXUL COMFORTBATT" INSULATION AS NEEDED.]
- WINDOW HEADERS ARE AT 7'-0" TYP. U.N.O. ON ELEVATIONS OR PLANS.

BLDG SECTION KEYNOTES

- XXI SYMBOL
- ROOF SHEATHING - REFER TO FRAMING PLANS
  - ROOF RAFTERS - REFER TO FRAMING PLANS
  - CEILING JOISTS - REFER TO FRAMING PLANS
  - SLAB ON GRADE - REFER TO FOUNDATION PLAN
  - INTERIOR FINISH:
    - INTERIOR WALLS SHALL BE COVERED WITH ONE LAYER 1/2" THICK MIN. GYPSUM WALLBOARD, SCREWED DIRECTLY TO STUDS AND JOISTS, WITH ALL SEAMS TAPED AND FILLED FLUSH WITH APPROVED JOINT COMPOUND, PER MANUF. SPECS, UNLESS NOTED OTHERWISE. PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT ALL BATH AND KITCHEN AREAS.
    - INTERIOR FLOORS SHALL BE FINISHED WITH WOOD, OR THINSET TILE IN WET AREAS, PER INTERIOR DESIGNER SPECIFICATIONS. GARAGE AND MECHANICAL ROOM(S) FLOORS TO BE FINISHED CONCRETE.
    - OCCUPANCY SEPARATION: MINIMUM 1/2" GYPSUM BOARD AT ALL GARAGE WALLS & CEILINGS, MINIMUM 5/8" TYPE 'X' GYPSUM BOARD AT GARAGE CEILINGS BELOW HABITABLE SPACE PER CRC R302.6.
    - DUCTS PENETRATING WALL OR CEILING SEPARATIONS SHALL BE CONSTRUCTED OF MINIMUM 26 GAUGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE, PER CRC 302.5.2.
  - MECHANICAL UNIT IN ATTIC, SEE MECHANICAL PLANS



CARIBBEAN RESIDENCE

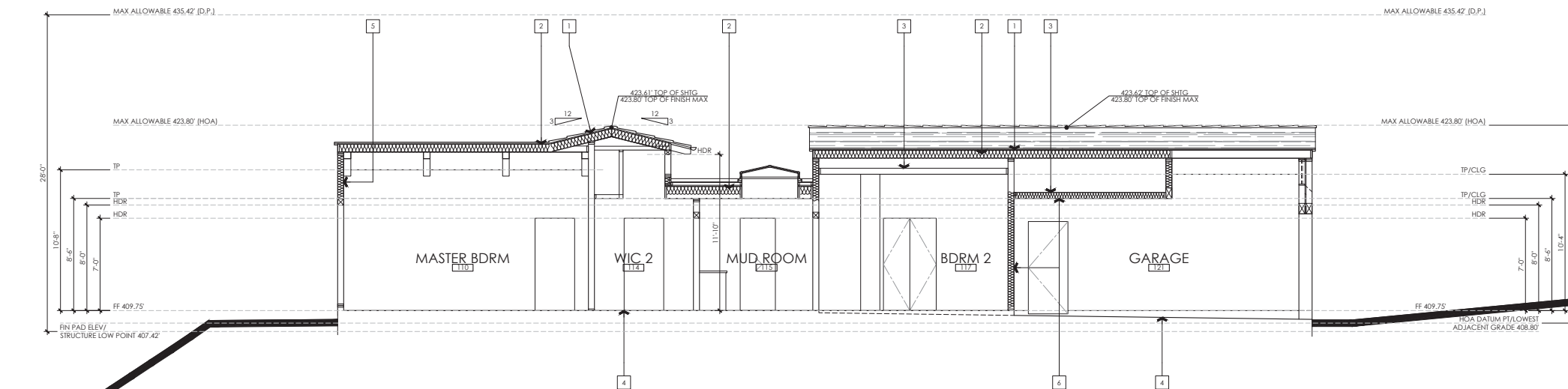
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DANA POINT, CA 92629

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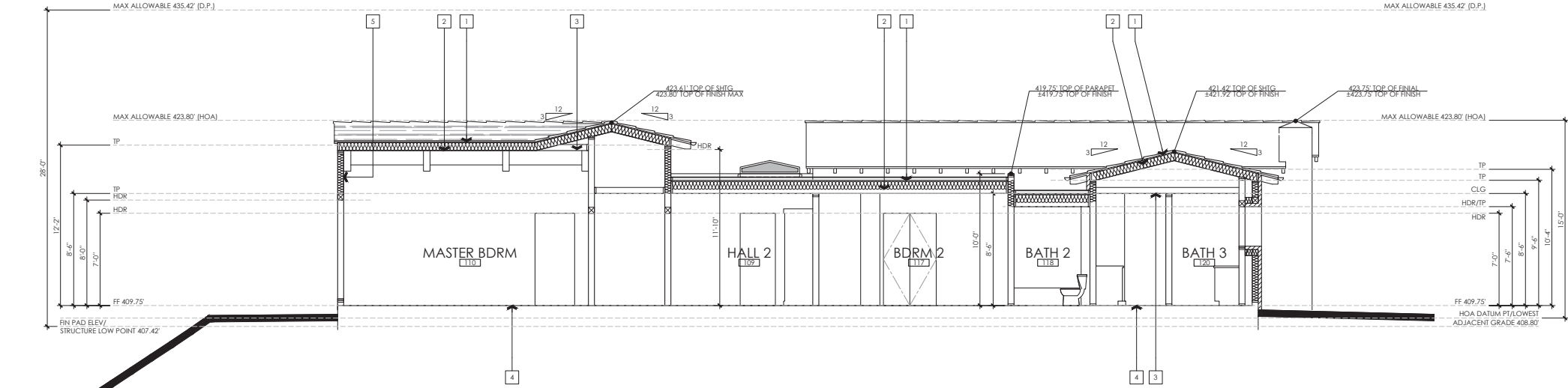
BUILDING  
SECTIONS

SCALE : 1/4" = 1'-0"

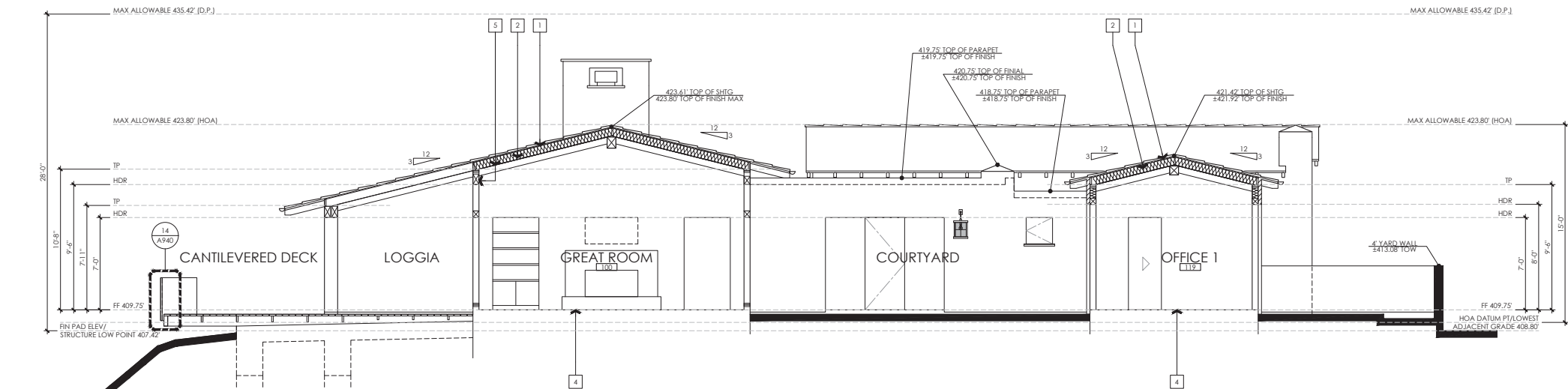
A270



SECTION F



SECTION E



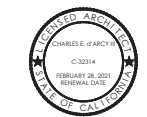
SECTION D

BUILDING SECTION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- D. THE FOUNDATION AND FRAMING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE STRUCTURAL PLANS, DETAILS AND CALCULATIONS FOR ALL STRUCTURAL INFORMATION.
- E. PROVIDE FIREBLOCKING AND DRAFT STOPS AT FURRED SPACES PER CODE.
- F. INSULATION REQUIREMENTS PER T-24 ENERGY REPORT:  
R-13 INSULATION IN EXTERIOR WALLS TYP.  
R-19 INSULATION IN RAISED WOOD FLOOR SPACE TYP.  
R-30 INSULATION IN CEILING SPACE TYP.  
[R-30 HIGH DENSITY 7.25" THICK 'ROXUL COMFORTBATT' INSULATION AS NEEDED.]
- G. WINDOW HEADERS ARE AT 7'-0" TYP. U.N.O. ON ELEVATIONS OR PLANS.

BLDG SECTION KEYNOTES

- XXI SYMBOL
- 1 ROOF SHEATHING - REFER TO FRAMING PLANS
  - 2 ROOF RAFTERS - REFER TO FRAMING PLANS
  - 3 CEILING JOISTS - REFER TO FRAMING PLANS
  - 4 SLAB ON GRADE - REFER TO FOUNDATION PLAN
  - 5 INTERIOR FINISH:  
INTERIOR WALLS SHALL BE COVERED WITH ONE LAYER 1/2" THICK MIN. GYPSUM WALLBOARD, SCREWED DIRECTLY TO STUDS AND JOISTS, WITH ALL SEAMS TAPED AND FILLED FLUSH WITH APPROVED JOINT COMPOUND, PER MANUF. SPECS, UNLESS NOTED OTHERWISE. PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT ALL BATH AND KITCHEN AREAS.  
INTERIOR FLOORS SHALL BE FINISHED WITH WOOD, OR THINSET TILE IN WET AREAS, PER INTERIOR DESIGNER SPECIFICATIONS. GARAGE AND MECHANICAL ROOM(S) FLOORS TO BE FINISHED CONCRETE.  
OCCUPANCY SEPARATION: MINIMUM 1/2" GYPSUM BOARD AT ALL GARAGE WALLS & CEILINGS. MINIMUM 5/8" TYPE 'X' GYPSUM BOARD AT GARAGE CEILINGS BELOW HABITABLE SPACE PER CRC R302.6.  
DUCTS PENETRATING WALL OR CEILING SEPARATIONS SHALL BE CONSTRUCTED OF MINIMUM 26 GAUGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE, PER CRC 302.5.2.
  - 7 MECHANICAL UNIT IN ATTIC. SEE MECHANICAL PLANS



CARIBBEAN RESIDENCE

32451 CARIBBEAN DRIVE  
DANA POINT, CA 92629

06 . 10 . 20

BUILDING SECTIONS

SCALE : 1/4" = 1'-0"

A271



