

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JUNE 22, 2020

TO: DANA POINT PLANNING COMMISSION

**FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR OF COMMUNITY DEVELOPMENT
BELINDA DEINES, PRINCIPAL PLANNER**

**SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0008 FOR
ENVIRONMENTAL REMEDIATION TO REMOVE POTENTIALLY
HAZARDOUS MATERIAL AND DEMOLITION OF STRUCTURES
WITHIN THE COMMUNITY FACILITIES (CF) ZONING DISTRICT AND
COASTAL OVERLAY DISTRICT LOCATED AT 26126 VICTORIA
BOULEVARD**

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP20-0008.

APPLICANT: Capistrano Unified School District

REPRESENTATIVE: Chris Larson, Project Dimensions

REQUEST: Approval of a Coastal Development Permit for environmental remediation to remove potentially hazardous material on a 0.72-acre portion of the Capistrano Unified School District Bus Yard site. The project includes demolition of a 3,658 square-foot mechanic shop, 714 square-foot tire storage building, 1,075 square-foot wood shed, and gas islands, and removal of 38,000 square feet of asphalt pavement, two underground storage tanks (10,000 and 20,000 gallons), four hydraulic lifts, one bus was clarifier, fuel piping, and approximately 1,800 cubic yards of potentially contaminated soil located within the Coastal Overlay District. The property is not located within the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 26126 Victoria Boulevard (APN 668-361-01)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on June 12, 2020, published within a newspaper of general circulation on June 12, 2020, and posted on June 18, 2020 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL:

Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15330 (Class 30 – Minor Actions) in that the project consists of minor cleanup actions taken to prevent, minimize, stabilize, mitigate, or eliminate the release or threat of release of hazardous waste or substance which are small or medium removal actions costing \$1 million or less. Proposed minor cleanup actions include removal of sealed, non-leaking drums or barrels of hazardous waste or substances that have been stabilized, containerized and are designated for a lawfully permitted destination, and excavation with offsite disposal of contaminated soils in regulated units, pursuant to Sections 15330(b)(1) and 15330(b)(2). Phase I and Limited Phase II Environmental Site Assessment reports have been reviewed by City staff.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP);
- Project compatibility with and enhancement of the site and surrounding neighborhood; and
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP).

BACKGROUND:

The project site is a 5.5 acre parcel located on the south corner of Victoria Boulevard and Sepulveda Avenue as depicted on Supporting Document 2. The property is owned by Capistrano Unified School District (CUSD) and currently operates as a maintenance facility and school bus yard. Currently, the site is improved with the Serra (Elementary) School structure and ancillary buildings that serve as storage for the CUSD maintenance yard. Refer to Supporting Document 3 for existing site photos. The site is bordered to the northeast by commercial and multi-family residential properties, to the north by Beachwood Village Mobile Home Park, to the northwest by San Felipe de Jesus Catholic Church and Capo Beach Church, and to the south by Pacific Coast Highway

The scope of work is proposed within a 0.72 acre eastern corner portion of the site, which is located within the “Community Facilities” (CF) Zoning District and the Coastal Overlay District (the California Coastal Zone). The property is not located within the Appeals Jurisdiction of the California Coastal Commission. While the parcel is partially located within the Floodplain Overlay District (FP-2), the area of remediation is not within the

floodplain.

DISCUSSION:

The proposed scope of work within the environmental remediation area includes demolition of a 3,658 square-foot mechanic shop, a 714 square-foot tire storage building, 1,075 square-foot wood shed, and gas islands with two gas pumps as shown on the Remediation Plan attached as Supporting Document 4. The project also includes removal of two underground storage tanks (10,000 gallon gas and 20,000 gallon diesel) with associated piping, four hydraulic lifts, one bus wash clarifier, and grading of approximately 1,800 cubic yards of potentially contaminated soil identified in the Phase I/Limited Phase II Environmental Site Assessment reports. Additional site work includes removal of 38,000 square feet of asphalt and concrete pavement, bollards and curbs, two power poles, a light post, and an equipment vault.

Installation of a temporary 6' high chainlink fence is proposed to secure the remediation area. The removal of the underground storage tanks will require temporary excavation in compliance with County of Orange Health Care Agency Environmental Health Division and Orange County Fire Authority requirements. No temporary excavation or shoring is proposed within the Caltrans right-of-way. Prior to grading permit issuance, a Soil Management Plan (SMP) is required for the procedures associated with soil handling and appropriate offsite disposal of impacted soil waste. The SMP must include reported test results and mitigation/handling recommendations for the soil.

Upon completion of the remediation work, the applicant proposes to stabilize the area with hydroseeding which also assists as a dust control measure. The remaining portion of the parcel will remain as-is, including the Serra School building and parking lot.

Development standards for this property are set forth in the City's Zoning Code Chapter 9.19 (Community Facilities District) specifically for the CF zone. The project involves demolition and removal with no new improvements proposed, which complies with all applicable development standards and no deviations are requested.

Coastal Development Permit CDP20-0008

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, demolition of existing structures on land located in the City's Coastal Overlay District requires approval of a Coastal Development Permit (CDP).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter*

9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).

The project is in conformance with the certified LCP and DPZC in that the proposed demolition of existing structures and potentially hazardous materials complies with policies and development standards for environmental remediation. The project will further General Plan Public Safety Element Goal No. 3, which states that development should “reduce the risk to the community’s inhabitants from exposure to hazardous materials and wastes” through removal and remediation of hazards is compatible and complimentary to surrounding development.

- 2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*

The project is not located between the nearest public roadway and the sea or shoreline of any body of water, and is located on an already developed lot that will have no conflict with public access and public recreation policies of the Coastal Act.

- 3. Conform to Public Resources Code Section 21000 (the California Environmental Quality Act – CEQA) and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*

The project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15330 (Class 30 – Minor Actions) in that the project consists of minor cleanup actions taken to prevent, minimize, stabilize, mitigate, or eliminate the release or threat of release of hazardous waste or substance which are small or medium removal actions costing \$1 million or less. Proposed minor cleanup actions would lessen any significant adverse impact on the environment.

- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*

The property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed remediation would not result in adverse impacts.

- 5. Minimize the alterations of natural landforms and not result in undue risks from*

geologic and erosional forces and/or flood and fire hazards.

The proposed grading, temporary excavation, and stockpile of the site will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.

6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*

The proposed demolition and removal of existing improvements, including stabilization through hydroseeding, which will result in planted ground cover and be visually compatible with the character of the surrounding areas and improve visual quality overall.

7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The proposed project has been reviewed by City staff and found to conform with applicable requirements of the Dana Point Zoning Code, which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property. There are no adopted specific plans that apply to the subject property.

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 20-06-22-XX, attached to this report as Action Document 1.

CORRESPONDENCE: To date, no correspondence has been received regarding this project.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. The project has been found to comply with all standards of development, and staff recommends that the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 20-0008, subject to the findings and conditions of approval contained therein.



Belinda Deines, Principal Planner



Brenda Wisneski, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 20-06-22-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Remediation Plan

ACTION DOCUMENT 1: Draft Planning Commission Resolution No. 20-06-22-xx

RESOLUTION NO. 20-06-22-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0008 FOR ENVIRONMENTAL REMEDIATION TO REMOVE POTENTIALLY HAZARDOUS MATERIAL AND DEMOLITION OF STRUCTURES WITHIN THE COMMUNITY FACILITIES ZONING DISTRICT AND COASTAL OVERLAY DISTRICT LOCATED AT 26126 VICTORIA BOULEVARD

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Chris Larson of Project Dimensions, (the "Representative") has filed an application on behalf of Capistrano Unified School District, ("Applicant"), the owners of real property commonly referred to as 26126 Victoria Boulevard (APN 668-361-01) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit to allow environmental remediation to remove potentially hazardous material and demolition of structures; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15330 (Class 30 – Minor Actions) in that the project consists of minor cleanup actions taken to prevent, minimize, stabilize, mitigate, or eliminate the release or threat of release of hazardous waste or substance which are small or medium removal actions costing \$1 million or less; and

WHEREAS, the Planning Commission did, on the 22nd day of June, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0008.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP20-0008 subject to the following conditions of approval:

PLANNING COMMISSION RESOLUTION NO. 20-06-22-XX
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Findings:

Coastal Development Permit CDP20-0008

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the proposed remediation is found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property). The project will further General Plan Public Safety Element Goal No. 3, which states that development should “reduce the risk to the community’s inhabitants from exposure to hazardous materials and wastes” through removal and remediation of hazards is compatible and complimentary to surrounding development.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not located between the nearest public roadway and the sea or shoreline of any body of water, and is located on an already developed lot that will have no conflict with public access and public recreation policies of the Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorical Exempt from review under CEQA pursuant to Section 15330 (Class 30 – Minor Actions) in that the project consists of minor cleanup actions taken to prevent, minimize, stabilize, mitigate, or eliminate the release or threat of release of hazardous waste or substance which are small or medium removal actions costing \$1 million or less. Proposed minor cleanup actions would lessen any significant adverse impact on the environment.**
2. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed remediation would not result in adverse impacts.**

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3. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the proposed grading, temporary excavation, and stockpile of the site serves to minimize risks from any potential geologic and/or erosional or flood forces.**
4. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed demolition and removal of existing improvements, including stabilization through hydroseeding, which will result in planted ground cover. The proposed remediation has been found to conform to all standards of development prescribed by its respective zoning district. The environmental remediation at the project site constitutes fulfillment of General Plan Land Use and Zoning Code intent for the site, and accordingly enhancement of the property.**
5. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

General:

1. Approval of this application permits environmental remediation of potentially hazardous material and demolition of structures at 26126 Victoria Boulevard in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application is valid for a period of 24 months (two years)

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from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

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7. The project shall meet all water quality requirements.
8. A grading permit shall be obtained prior to any work, including demolition activities.
9. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services.
10. The Applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
11. The Applicant, Applicant's agent(s), or successor-in-interest, shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
12. In accordance with the Environmental Site Assessment reports, a survey of all storage and stored materials shall be conducted prior to demolition of any structure. The survey shall identify any material required to be mitigated properly.
13. A separate Building Permit shall be issued for the demolition of all structures. Building Permits shall be applied for after the approval of the discretionary permit. All applicable California Building Code requirements shall be met.

Prior to Issuance of a Grading Permit:

14. The Applicant, or Applicant's Agent(s), shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
15. The application shall include the case closed records from the July 26, 2000 LUST removal. Per the Phase I Environmental Site Assessment, the previous cleanup status is closed as of July 26, 2000 and the record indicates that the oversight agency for the case is the Orange County LOP

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(Case #90UT028) from the County of Orange Health Care Agency.

16. Per the Limited Phase II Environmental Site Assessment report, a monitoring well deconstruction permit from the County of Orange Health Care Agency will be required for approved proper seal and abandonment of MW1.
17. The application shall include a Soil Management Plan (SMP). The SMP shall include procedures for the soil handling and appropriate offsite disposal of impacted soil waste. The SMP shall provide conclusions regarding the reported test results (level of contamination, etc.) and provide mitigation/handling recommendations for the soil (acceptable disposal site, etc.). This report shall be reviewed and approved by the City prior to any grading operations, including stockpiling or export of onsite soil.
18. The SMP shall include all soil handling for the areas identified in the Limited Phase II Environmental Site Assessment report at a minimum:
 - The soil sample collected at sample location LB11 at 1 foot bgs contained a DRO concentration above the RWQCB ESL;
 - The naphthalene concentration of 1,010 µg/m³, reported for the 5-foot soil gas sample collected at LB11, exceeds the DTSC-SL of 83 µg/m³; and
 - PCE concentrations in soil gas at 5 feet bgs exceeded the DTSC-SL of 460 µg/m³ at three locations, LB4 (948 µg/m³), LB5 (821 µg/m³), and LB6 (871 µg/m³).
19. The application shall include, as recommended in the Phase 2 Environmental Report, an additional soil gas survey be conducted in the vicinity of the Grounds Maintenance Building and Mechanic Shop following former building demolition and Site grading operations to confirm that soil gas below the Site does not indicate a significant risk to future occupants by way of vapor intrusion.
20. The applicant shall submit a geotechnical report, as needed, for any backfill material, compaction and/or all grading activities subsequent to the soil mitigation and Soil Management Plan. The geotechnical report shall be in compliance with all the City of Dana Point standards for review and approval.
21. A performance bond may be required for all grading activities up to 100% of the proposed improvements.

Prior to Issuance of a Certificate of Use and Occupancy:

22. A Project Completion Report or SMP Implementation Report shall be prepared that provides discussion and results of the completed soil

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removal and all supporting documents as applicable (field and laboratory tests, manifests for the removed soil, maps, conclusion statements addressing the work performed and suitability of the subject site for the proposed development, etc.). The Completion or Implementation Report shall be reviewed and approved by the Public Works Department.

23. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
24. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
25. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
26. An As-Built Grading Plan/Survey may be prepared by the Civil Engineer of Record.
27. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
28. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping and compliance with any outstanding project conditions of approval. All landscaping shall be installed (per plan) prior to final inspection by the Planning Division.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 22nd day of June, 2020 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Mary Opel, Chairperson
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

SUPPORTING DOCUMENT 2: Vicinity Map

VICINITY MAP: 26126 VICTORIA BOULEVARD



SUPPORTING DOCUMENT 3: Site Photos



Tire Storage
Left Elevation



Tire Storage
Rear Elevation







SUPPORTING DOCUMENT 4: Remediation Plan



June 2, 2020

City of Dana Point
Planning Commission
33282 Golden Lantern
Dana Point, CA 92629

Re: Written Summary Statement for CDP PA20-0019 (CDP 20-0008) Phase I/II Remediation at the Capistrano Unified School District Bus Yard

Dear Honorable Commissioners:

Thank you for considering our CDP application for the environmental remediation at the former CUSD Dana Point Bus Yard. It is a valuable and important first step in the process of removing potentially hazardous material, including underground fuel storage tanks, of the bus yard.

This application is necessary to begin the process of removing 2 underground storage tanks (10,000 and 20,000 gal), 4 hydraulic lifts, 1 bus wash clarifier and approximately 1,800 cubic yards of potentially contaminated soil identified in the Phase I/Limited Phase II completed on the site. In this process, up to 3 buildings would need to be demolished in order to remediate this portion of the site. This work area encompasses approximately 38,000 sqft over a 5.6 acre site. We have been working with the Planning staff and have received all applicable permit and conditions required to successfully carry out this clean-up work.

Here is the best exhibit of the work to be completed:



4 Park Plaza ■ Suite 700 ■ Irvine ■ California ■ 92614 ■ 949.476.2246



Accompanying this exhibit is the following legend:

DEMOLITION NOTES

- | | |
|---|--|
| 1 | MECHANIC SHOP BUILDING TO BE REMOVED IN ITS ENTIRETY |
| 2 | GAS ISLANDS TO BE REMOVED, INCLUDING ALL ASSOCIATED UNDERGROUND FUEL/VAPOR PIPING. |
| 3 | 20,000 GALLON DIESEL UST TO BE REMOVED, INCLUDING ALL ASSOCIATED UNDERGROUND FUEL/VAPOR PIPING.. REFERENCE CONTRACT DOCUMENTS FOR CLEANING, INERTING, DISPOSAL AND SAMPLING PROCEDURES |
| 4 | 10,000 GALLON GASOLINE UST TO BE REMOVED, INCLUDING ALL ASSOCIATED UNDERGROUND FUEL/VAPOR PIPING.. REFERENCE CONTRACT DOCUMENTS FOR CLEANING, INERTING, DISPOSAL AND SAMPLING PROCEDURES |
| 5 | BUS WASH CLARIFIER TO BE REMOVED IN ITS ENTIRETY. INCLUDING REMOVAL OF ALL ASSOCIATED UNDERGROUND FUEL/VAPOR PIPING. |
| 6 | TYPICAL FOR ■ FOUR HYDRAULIC LIFTS AND HYDRAULIC FLUID RESERVOIR/PIPING SYSTEMS TO BE REMOVED IN THEIR ENTIRETY. ALL ASSOCIATED MECHANICAL/PLUMBING SYSTEMS TO BE REMOVED. |

The potentially contaminated soil is located underneath the pavement shown here:



For that reason, at least the Mechanic's Building needs to be demolished and depending on to what extent the soils could be contaminated, the Tire Storage 1 and Work Shed 2 as well. That will be determined at a later date with the appropriate experts and guidance of City of Dana Point. Due to the proximity of the site power lines being located almost directly over the underground storage tanks (USTs) the site will have to have these removed under requirements of the utility provider. Temporary power is available and will



be completed by the future contractor doing this work to support the offices as needed. All work as shown can be done safely and in accordance to Federal, State and local laws.

Project Dimensions has reviewed the Conditions of Approval for this CDP and we are very confident these can be completed in full compliance under the current conditions.

Thank you in advance for your consideration. Should you have any questions regarding the information provided, please do not hesitate to contact me at (949) 476-2246, or via email at CLarsen@ProjectDimensions.com.

Sincerely,

Chris Larsen
Sr. Project Manager
Project Dimensions Inc.
4 Park Plaza, Suite 700
Irvine, CA 92614

ATTACHMENT

REMEDATION PLAN
CAPISTRANO UNIFIED SCHOOL DISTRICT BUS YARD
26126 VICTORIA BLVD
DANA POINT, CA 92624

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF DANA POINT, IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

ALL OF BLOCKS FOUR AND FIVE OF TRACT NO. 735, AS SHOWN ON A MAP RECORDED IN BOOK 22, PAGES 21 TO 28, INCLUSIVE, MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA; TOGETHER WITH THE VACATED ALLEYS IN SAID BLOCKS FOUR AND FIVE, AS ABANDONED BY RESOLUTIONS OF THE BOARD OF SUPERVISORS OF ORANGE COUNTY, CALIFORNIA, CERTIFIED COPIES OF WHICH RESOLUTIONS WERE RECORDED SEPTEMBER 11, 1939 IN BOOK 1009, PAGE 367 OF OFFICIAL RECORDS, AND MAY 19, 1953 IN BOOK 2505, PAGE 505 OF OFFICIAL RECORDS; AND ALSO THAT PORTION OF AMERICAN AVENUE EXTENDING FROM THE SOUTHWESTERLY LINE OF VICTORIA BOULEVARD SOUTHWESTERLY TO THE NORTHERLY LINE OF LA PLAYA AVENUE, AS SHOWN ON THE MAP OF SAID TRACT NO. 735, AS ABANDONED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF ORANGE COUNTY, CALIFORNIA, A CERTIFIED COPY OF WHICH RESOLUTION WAS RECORDED SEPTEMBER 11, 1939 IN BOOK 1009, PAGE 367 OF OFFICIAL RECORDS AND ALSO TOGETHER WITH THAT PORTION OF LA PLAYA AVENUE, 80.00 FEET IN WIDTH, AS SHOWN ON SAID MAP OF TRACT NO. 735, AS ABANDONED BY RESOLUTION NO. 71-454 OF THE BOARD OF SUPERVISORS OF ORANGE COUNTY, CALIFORNIA, A CERTIFIED COPY OF WHICH WAS RECORDED MAY 3, 1971 IN BOOK 9627, PAGE 691 OF SAID OFFICIAL RECORDS, SAID PORTION BEING BOUNDED NORTHEASTERLY BY THE SOUTHEASTERLY PROLONGATION OF THE SOUTHWESTERLY LINE OF VICTORIA BOULEVARD, 80.00 FEET IN WIDTH, AS SHOWN ON SAID MAP AND BOUNDED WESTERLY BY A LINE WHICH IS AT RIGHT ANGLES TO THE SOUTHERLY LINE OF BLOCK 4 OF TRACT NO. 735 AND WHICH PASSES THROUGH THE WESTERLY CORNER OF SAID BLOCK.

EXCEPTING FROM LOTS FOUR, SEVEN, EIGHT AND NINE IN SAID BLOCK FOUR ANY AND ALL COAL, OIL AND OTHER MINERALS WITHIN OR UNDERLYING SAID LAND AND THE RIGHTS RELATING TO SAID SUBSTANCES, AS EXCEPTED IN THE DEED FROM CONSOLIDATED PACIFIC INVESTMENT CO., RECORDED DECEMBER 6, 1945 IN BOOK 1364, PAGE 445 OF OFFICIAL RECORDS, THE RIGHTS SO EXCEPTED PERTAINING TO THE REMOVAL OF SUCH SUBSTANCES HAVING BEEN MODIFIED BY AN INSTRUMENT RECORDED MARCH 17, 1947 IN BOOK 1482, PAGE 421 OF OFFICIAL RECORDS, WHICH PROVIDES, AMONG OTHER THINGS, THAT CONSOLIDATED PACIFIC INVESTMENT CO. SHALL NOT HAVE THE RIGHT TO USE THE SURFACE OF SAID LAND.

A.P.N. 668-361-01

BENCH MARK

VERTICAL CONTROL DATE

DESIGNATION: E-785

OCS INDEX MAP: Q20-07

PAGE/GRID: 972/A-6

CITY/LOCATION: DANA POINT

LINE #/SSN: 402/0020

ESTABLISHED BY: USC & GS 1946

MONUMENT TYPE: BRONZE / BRASS DISK

NAVD88 (ft) - 22.333 - 1989

DESCRIPTION:
DESCRIBED BY OCS 2003 - FOUND 3 3/4" USCGS BRONZED DISK STAMPED "E 785 1946", SET IN THE TOP OF A 6 IN. CONCRETE POST. MONUMENT IS LOCATED ALONG THE EASTERLY SIDE OF THE ATCHINSON/TOPEKA/SANTA FE RAILWAY, 0.3 MILES NORTHERLY ALONG THE RAILWAY FROM THE OVERCROSSING OF PACIFIC COAST HIGHWAY, 24.6 FT. NORTHERLY OF THE CENTERLINE OF A CONCRETE BOX CULVERT UNDERCROSSING, 5.2 FT. WESTERLY OF A CONCRETE CURB FOR A BOAT/RV PARKING FACILITY AND 15 FT. EASTERLY OF THE EASTERLY RAIL ALONG THE RAILWAY. MONUMENT IS SET 1 FT. LOWER THE THE TRACKS.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTHEAST RIGHT-OF-WAY OF VICTORIA BOULEVARD SHOWN AS "N 56 14" W" ON TRACT NO. 735, FILED IN BOOK 22 PAGES 21 THROUGH 28, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE ORANGE COUNTY RECORDERS OFFICE, ORANGE COUNTY, STATE OF CALIFORNIA.

FLOOD HAZARD NOTE

THE PROPERTY SHOWN HEREON IS LOCATED ON FIRM (FLOOD INSURANCE RATE MAP) NUMBER 06059C0508K. MAP REVISED ON MARCH 21, 2019. DESIGNATED AS ZONE X.

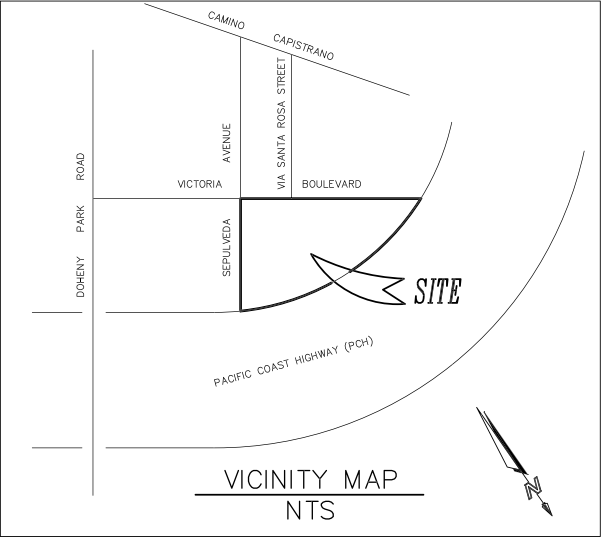
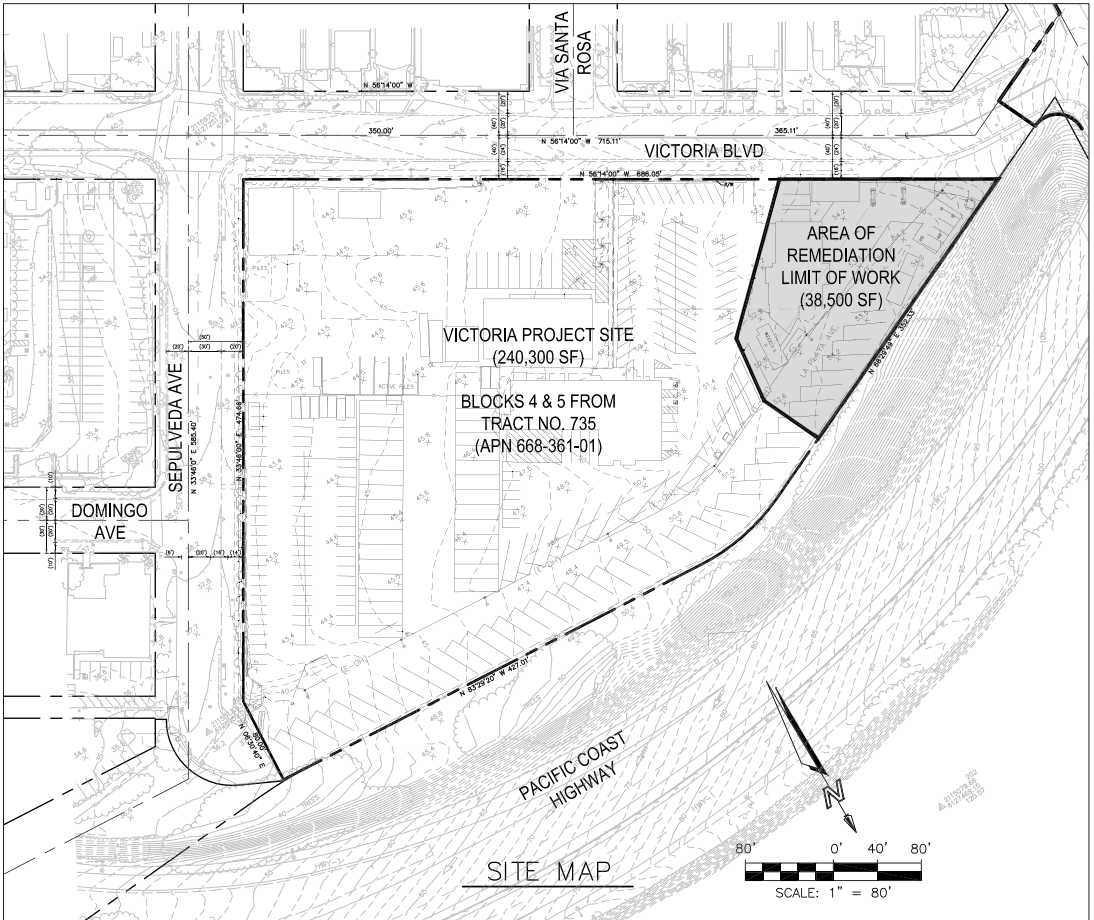
LAND AREA

TOTAL SITE: 5.52 AC
BUS YARD PORTION OF SITE: 0.72 AC

TOPOGRAPHY NOTE

THE TOPOGRAPHY IS PREPARED BY:

DARYL CHRISTIAN, P.L.S.
CHRISTIAN LAND SERVICES, INC.
2832 WALNUT AVE.
TUSTIN, CA 92780
TEL: (714) 225-5933



SHEET INDEX

TITLE SHEET 1
SITE AND DEMOLITION PLAN 2
EROSION CONTROL PLAN 3

PROJECT CONSULTANTS

CIVIL ENGINEER

FUSCOE ENGINEERING
16795 VON KARMAN AVE, SUITE 100
IRVINE, CA 92606
TEL: (949) 474-1960

APPLICANT

PROJECT DIMENSIONS, INC.
4 PARK PLAZA, SUITE 700
IRVINE, CA 92614
TEL: (949) 476-2246

SCOPE OF WORK

INCLUDES REMOVAL OF EXISTING UNDERGROUND STORAGE TANKS (GAS & DIESEL), REMOVAL OF EXISTING BUILDINGS AND ASSOCIATED ABOVE-GROUND STRUCTURAL ELEMENTS, CONCRETE AND ASPHALT REPLACEMENT, ALONG WITH OTHER ITEMS AS NOTED IN PLANS. TEMPORARY EXCAVATION REQUIRED OF UNDERGROUND STORAGE TANK UNITS.

LEGEND

- PROPOSED TEMP FENCE (LIMIT OF WORK)
- STREET CENTERLINE
- STREET RIGHT OF WAY
- EASEMENT
- EXISTING SEWER LINE
- EXISTING DOMESTIC WATER LINE
- EXISTING STORM DRAIN LINE
- EXISTING TELEPHONE/DATA LINE
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING CATV LINE
- EXISTING GAS LINE
- SAWCUT
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED

- DIRECTION OF FLOW
- INLET PROTECTION
- SILT FENCE
- GRAVEL BAGS
- HYDRAULIC MULCH (OR EQUIVALENT)
- ROAD PLATE AND RUMBLE STABILIZATION
- EXISTING UNDERGROUND STORAGE TANK EXCAVATION LIMITS
- EXISTING CONCRETE

ABBREVIATIONS

- CATV
- DW
- DU
- E
- EX
- FH
- FL
- FW
- G
- INV
- IW
- MWS
- OH
- SD
- SDCB
- SS
- T
- TEMP
- TYP
- UST
- CABLE TELEVISION
- DOMESTIC WATER
- DWELLING UNITS
- ELECTRIC
- EXISTING
- FIRE HYDRANT
- FLOWLINE
- FIRE WATER
- GAS
- INVERT
- IRRIGATION WATER
- MODULAR WETLANDS SYSTEM
- OVERHEAD
- STORM DRAIN
- STORM DRAIN CATCH BASIN
- SANITARY SEWER
- TELEPHONE
- TEMPORARY
- TYPICAL
- UNDERGROUND STORAGE TANK

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	PROJECT NO.:	SHELBY SHIRLOCK	06/30/20	DATE	C75912	R.C.E. NO.	NO. C75912 EXP. 06/30/20 CIVIL ENGINEER	PLANS PREPARED BY: FUSCOE ENGINEERING 14707 Van Korman, Suite 100 Irvine, California 92606 949 474-1960 • Fax 949 474-0315 www.fuscoe.com	BENCHMARK	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT	DATE	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/19 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	CITY OF DANA POINT GRADING PLAN FOR CAPISTRANO UNIFIED SCHOOL DISTRICT BUS YARD 26126 VICTORIA BLVD DANA POINT, CA 92624 TITLE SHEET	PLAN CHECK NO. C-1
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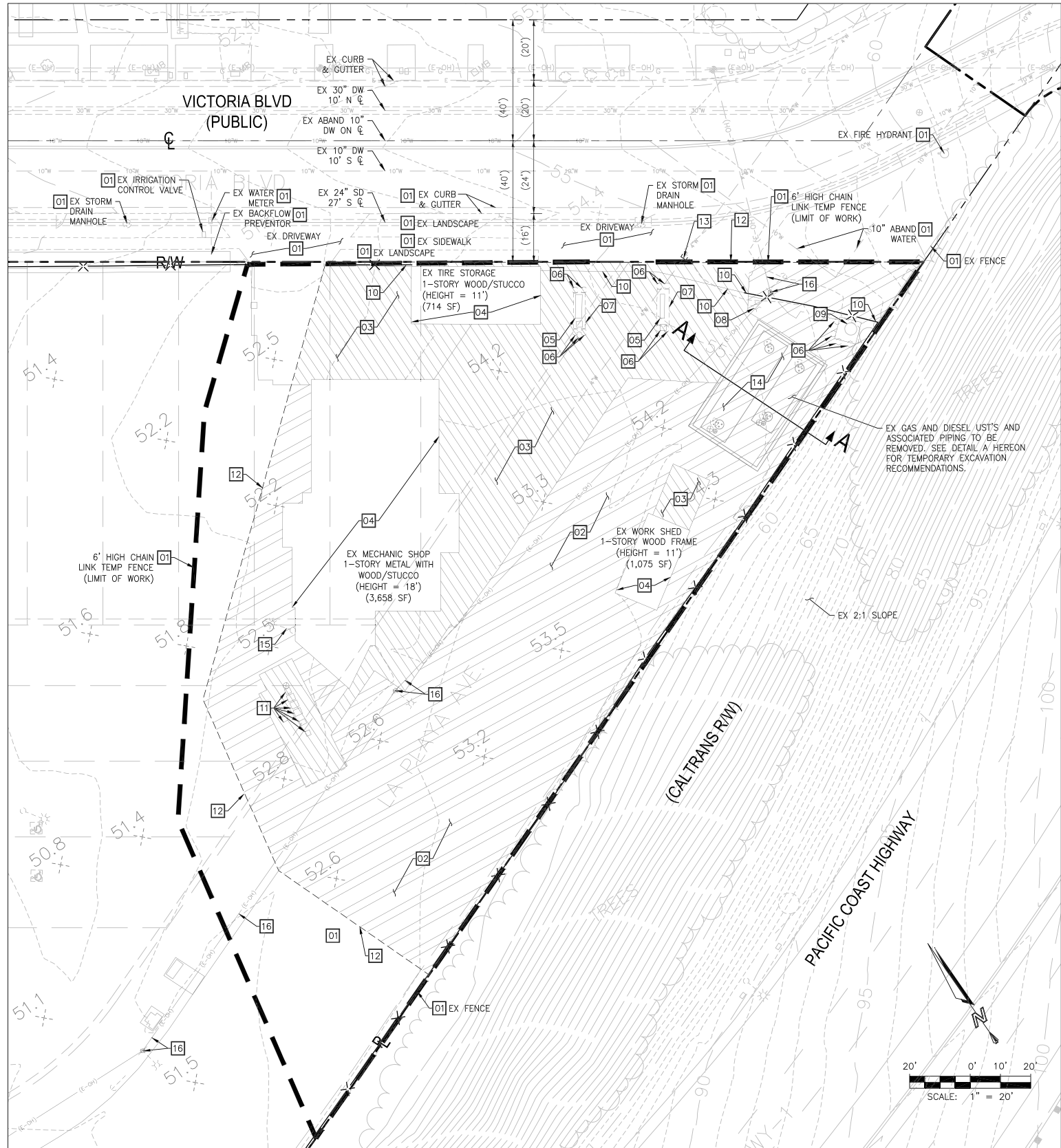
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ORIGINAL SCALE: 1" = 80' 1" 2" 3" 4"

PLAN SET: A

06/02/20 CAPISTRANO UNIFIED SCHOOL DISTRICT BUS YARD
BUS YARD REMEDIATION PLAN

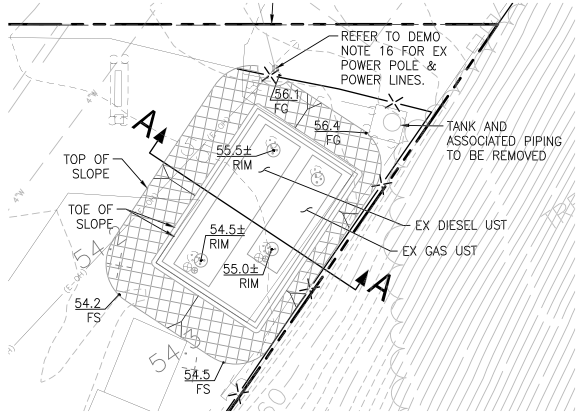
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DEMOLITION NOTES	
01	PROTECT IN PLACE ITEM AS NOTED
02	REMOVE EXISTING ASPHALT PAVEMENT
03	REMOVE EXISTING CONCRETE PAVEMENT
04	REMOVE EXISTING BUILDING
05	REMOVE EXISTING GAS PUMP
06	REMOVE EXISTING BOLLARD
07	REMOVE EXISTING CURB
08	REMOVE EXISTING POWER POLE
09	REMOVE EXISTING TANK AND ASSOCIATED UNDERGROUND PIPING
10	REMOVE EXISTING FENCE
11	REMOVE EXISTING VAULT
12	SAWCUT EXISTING ASPHALT PAVEMENT
13	TERMINATE AND CAP EX WATER AT R/W LINE
14	REMOVE EXISTING CONCRETE PAVEMENT & MANHOLES (AS PART OF UNDERGROUND STORAGE TANK)
15	REMOVE EXISTING LIGHT POST
16	REMOVE EXISTING POWER POLE. SAFELY POWER DOWN AND REMOVE POWER LINES IN ACCORDANCE WITH ELECTRICITY PROVIDER UNDER SEPARATE PERMIT

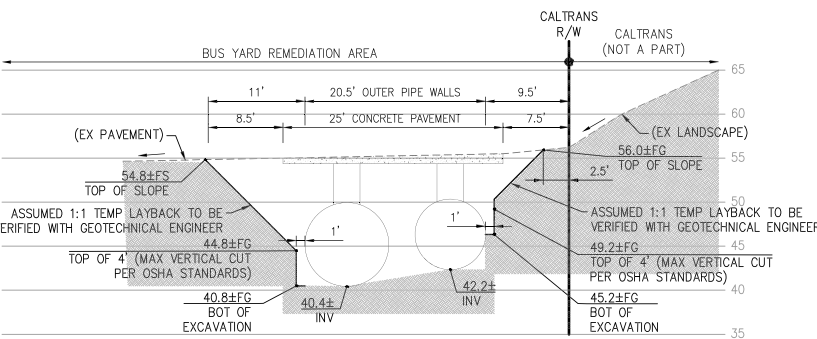
ABBREVIATIONS	
CATV	CABLE TELEVISION
DW	DOMESTIC WATER
DU	DWELLING UNITS
E	ELECTRIC
EX	EXISTING
FH	FIRE HYDRANT
FL	FLOWLINE
FW	FIRE WATER
G	GAS
INV	INVERT
IW	IRRIGATION WATER
MWS	MODULAR WETLANDS SYSTEM
OH	OVERHEAD
P	PROPERTY LINE
R/W	RIGHT OF WAY
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SS	SANITARY SEWER
ST	STREET
T	TELEPHONE
TYP	TYPICAL
UST	UNDERGROUND STORAGE TANK

LEGEND	
	PROJECT BOUNDARY
	PROPOSED TEMPORARY FENCE
	STREET CENTERLINE
	STREET RIGHT OF WAY
	EASEMENT
	EXISTING SEWER LINE
	EXISTING DOMESTIC WATER LINE
	EXISTING STORM DRAIN LINE
	EXISTING TELEPHONE/DATA LINE
	EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING CATV LINE
	EXISTING GAS LINE
	SAWCUT
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING UNDERGROUND STORAGE TANK EXCAVATION SLOPE LIMITS
	EXISTING CONCRETE



UNDERGROUND STORAGE TANKS (TO BE REMOVED)
SCALE: 1"=20'

- TEMPORARY EXCAVATION NOTES:
- METHOD OF EXCAVATION IS DETERMINED BY CONTRACTOR PERFORMING WORK UNDER WITH GRADING APPROVAL OF CITY OF DANA POINT.
 - TEMPORARY EXCAVATION SPECIFICATIONS SHOWN ARE ASSUMPTIONS TO BE VERIFIED BY THE GEOTECHNICAL ENGINEER WHEN TEMPORARY EXCAVATION OCCURS.
 - TEMPORARY EXCAVATION REQUIRED TO MOVE TANKS IS ANTICIPATED TO NOT ENCROACH WITHIN CALTRANS ROW.



SECTION A-A
SCALE: 1"=10'

REVISION	DESCRIPTION	APPROVED	DATE

SCALE:	PROJECT NO.:
DESIGN/DRAWN:	NO. C75912
CHECKED:	DATE: 06/30/20
	R.C.E. NO.

SHELBY SHIRLOCK
NO. C75912
DATE: 06/30/20
R.C.E. NO.

PLANS PREPARED BY:

FUSCO ENGINEERING
14070 Van Kesteren, Suite 100
Irvine, California 92618
949.474.1100 • Fax 949.474.0315
www.fusco.com

BENCHMARK

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:

CITY PLANNING DEPARTMENT DATE

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/19

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT

GRADING PLAN FOR
CAPISTRANO UNIFIED SCHOOL DISTRICT BUS YARD
26126 VICTORIA BLVD
DANA POINT, CA 92624

SITE AND DEMOLITION PLAN

PLAN CHECK NO.

C-2

ORIGINAL SCALE: 1"=10' INCHES 1 2 3 4

06/02/20 PLAN SET: A
CAPISTRANO UNIFIED SCHOOL DISTRICT BUS YARD
BUS YARD REMEDIATION PLAN

ALTA/ACSM LAND TITLE SURVEY



ALTA AND TOPOGRAPHY
SCALE: 1"=30'

No.	Date	Description	By

CHRISTIAN LAND SERVICES
Land Surveying Entitlements Land Planning
2538 E. LARKSTONE DRIVE
ORANGE, CA 92669
714.223.5935

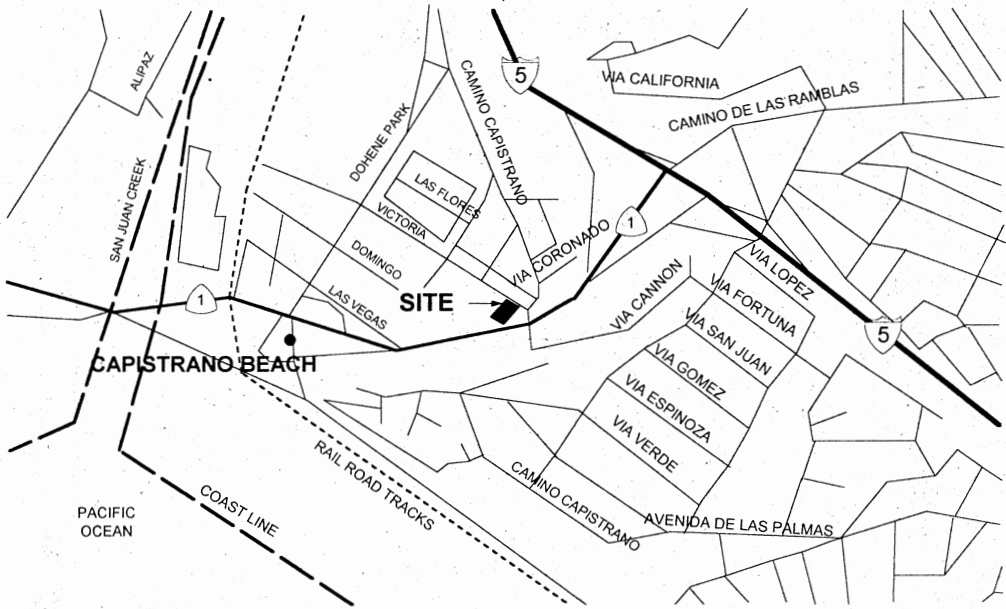
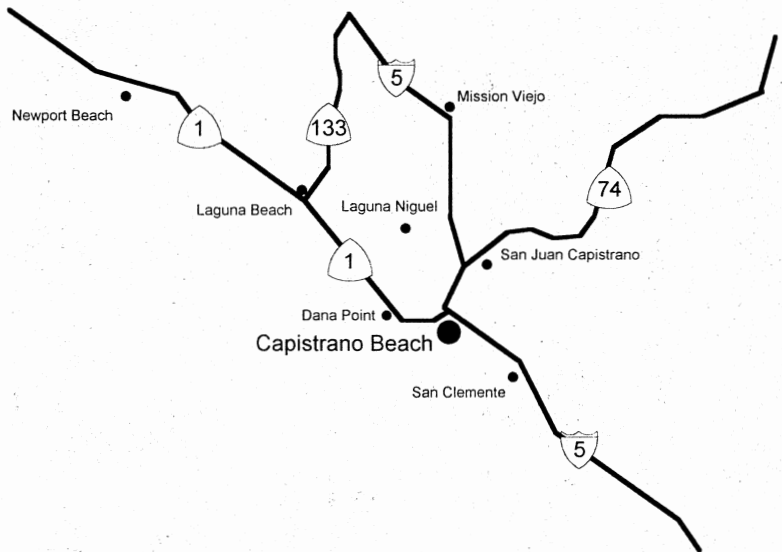
ALTA/ACSM LAND TITLE SURVEY
PROJECT ADDRESS:
26126 VICTORIA
DANA POINT, CA

CAPISTRANO UNIFIED SCHOOL DISTRICT
UNDERGROUND STORAGE TANK UPGRADE PROJECT

As-Builts

SITE LOCATION MAP

VICINITY MAP



SITE ADDRESS

CAPISTRANO UNIFIED SCHOOL DISTRICT
TRANSPORTATION YARD
26126 VICTORIA BOULEVARD
CAPISTRANO BEACH, CA 92624

GENERAL NOTES:

1. ALL NEW UNDERGROUND FUEL OIL SUPPLY AND RETURN PIPE AND FITTINGS CONNECTED TO THE NEW STORAGE TANKS SHALL BE FLEXIBLE DOUBLE-WALL, TOTAL CONTAINMENT ENVIROFLEX, OMNIFLEX AND MONOFLEX.
2. HIGHEST ANTICIPATED GROUNDWATER LEVEL IS 10 FT. ACCORDING TO THE ORANGE COUNTY FLOOD CONTROL DISTRICT.
3. TANKS CONSTRUCTION AND TESTING TO BE IN ACCORDANCE WITH NATIONALLY RECOGNIZED STANDARDS.
4. TANKS TO BE INSTALLED PER TANK MANUFACTURER'S SPECIFICATIONS.
5. ALL NEW PIPING AND FITTINGS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL MATERIALS TO BE USED (PIPING, COUPLING, SEALANT, ETC.) SHALL BE COMPATIBLE AND USED AS PER NATIONALLY RECOGNIZED CODES.
6. THE UNDERGROUND STORAGE TANK SYSTEM INDICATED HEREIN IS COMPATIBLE WITH THE FUEL OILS TO BE STORED.
7. IT IS UNDERSTOOD THAT THE FOLLOWING REQUIREMENTS ARE TO BE MET:
 - a. 5 DAYS NOTIFICATION TO THE ORANGE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT PRIOR TO TANK INSTALLATION.
 - b. TANK SYSTEM TO BE INSPECTED BY ENVIRONMENTAL HEALTH AT THREE (3) SEPARATE CONSTRUCTION PHASES:
 - i. TANKS & PRIMARY PIPING HYDROSTATICALLY OR PNEUMATICALLY TESTED FOR 30 MINUTES.
 - ii. INSPECTION OF ALL SECONDARY CONTAINMENT, INCLUDING TESTING, IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
 - iii. FINAL INSPECTION, INCLUDING ALL PORTIONS OF THE LEAK DETECTION SYSTEM.
 - c. TANK SYSTEM INTEGRITY TEST FORWARDED & APPROVED BY ENVIRONMENTAL HEALTH PRIOR TO TANK SYSTEM BEING PLACED IN OPERATION.
 - d. STATE WATER RESOURCES FORMS A, B AND C MUST BE COMPLETED AND SUBMITTED TO THE ORANGE COUNTY ENVIRONMENTAL HEALTH PRIOR TO TANK OPERATION. SUBMIT COPIES TO THE CAPISTRANO UNIFIED SCHOOL DISTRICT.
 - e. AN AUTHORIZED RELEASE RESPONSE PLAN MUST BE SUBMITTED AND APPROVED BY THE HAZARDOUS MATERIALS MANAGEMENT DIVISION.
 - f. CERTIFICATE OF FINANCIAL RESPONSIBILITY SUBMITTED TO THE HAZARDOUS MATERIALS MANAGEMENT DIVISION.

CONTINUOUS MONITORING DEVICE SYSTEM NOTES:

VEEDER-ROOT TLS-350 UST MONITORING SYSTEM

1. All wiring and connections shall be constructed in accordance with all codes and manufacturer's requirements.
2. The Veeder-Root TLS-350 continuous monitoring system shall be installed as per manufacturer's specifications.
3. The TLS-350 will be programmed to perform:
 - a. Monitoring of the interstitial space.
 - b. Monitoring of product piping sump. Positive shut down of turbine will occur upon detection of liquid/release.
 - c. Monitoring of fill sump.
 - d. Automatic tank gauge (ATG) - fuel level indicator.
 - e. Mechanical overfill protection (Set at 98%).
 - f. Dispenser Sumps.
4. All the continuous monitoring devices are approved for use with the Veeder-Root TLS-350.
5. The electrical supply wiring shall be hardwired to the junction/breaker box.

SHEET INDEX

P-1	PROJECT LOCATION AND SHEET INDEX
P-1	GENERAL LAYOUT PLOT PLAN
P-2	INSTALLATION GENERAL LAYOUT
M-1	10,000 GALLON GASOLINE TANK GENERAL LAYOUT
M-2	20,000 GALLON DIESEL TANK GENERAL LAYOUT
M-3	FUEL ISLANDS GENERAL LAYOUT
M-4	TANKS INSTALLATION DETAIL

**CAPISTRANO
UNIFIED SCHOOL DISTRICT**

**PROJECT LOCATION
AND SHEET INDEX**

Approved by:

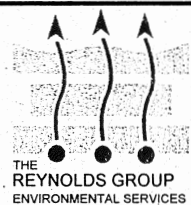
Scale: None

Date: April, 1998

Date

Project: 5075

P-1

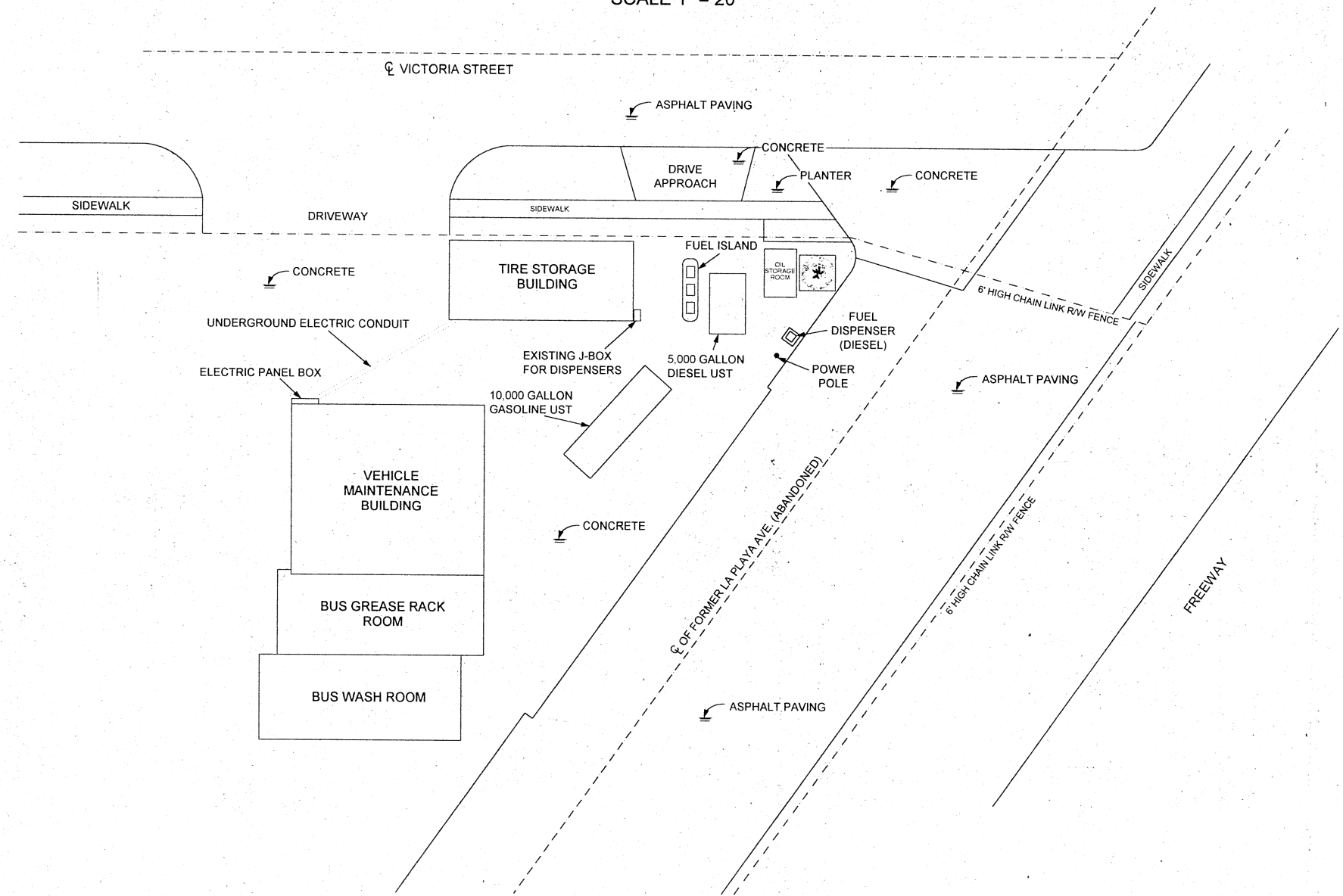


250 EL CAMINO REAL SUITE 204
TUSTIN, CALIFORNIA 92780

CALIFORNIA REGISTERED
CIVIL ENGINEER

GENERAL LAYOUT

SCALE 1" = 20'

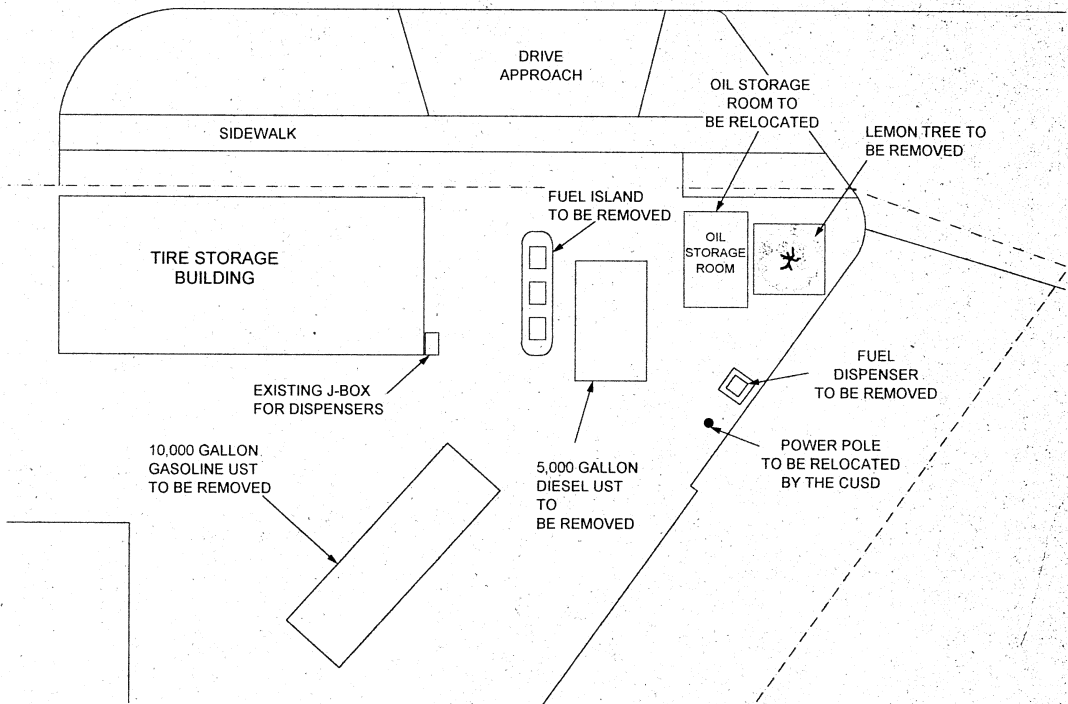


TANK REMOVAL NOTES:

1. A TANK CLOSURE INSPECTION MUST BE SCHEDULED WITH THE HAZARDOUS MATERIALS BRANCH OFFICE FIVE (5) WORKING DAYS IN ADVANCE OF THE PROPOSED CLOSURE DATE. DATE AND TIME OF CLOSURE MUST BE CONFIRMED BY TELEPHONE TWENTY-FOUR (24) HOUR PRIOR TO PROPOSED CLOSURE.
2. ALL LIQUIDS, SOLIDS OR SLUDGES MUST BE REMOVED AND HANDLED ACCORDING TO PROVISIONS OF CHAPTER 6.5 DIVISION 20 OF THE HEALTH AND SAFETY CODE.
3. FLAMMABLE VAPORS MUST BE PURGED FROM THE TANK (10 LBS. DRY ICE PER 1,000 GALLONS OF TANK CAPACITY), TO PRECLUDE AN EXPLOSION OR FIRE. LOCAL FIRE REGULATIONS SUPERSEDE THIS REQUIREMENT IF MORE RESTRICTIVE.
4. ALL ASSOCIATED PIPING MUST BE REMOVED AND PROPERLY DISPOSED OF. PRODUCT OR RESIDUE SPILLAGE MUST BE PREVENTED.
5. PROPER TANK DISPOSAL DOCUMENTATION, IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 6.5 DIVISION 20 OF THE CALIFORNIA HEALTH AND SAFETY CODE, SHALL BE PROVIDED TO THE HAZARDOUS MATERIALS BRANCH. PRIOR APPROVAL REGARDING THE FINAL DESTINATION AND INTENDED USE OF THE TANK, INCLUDING THE NAME AND ADDRESS OF THE RECIPIENT MUST BE OBTAINED.
6. CONTRACTOR MUST BE DEMONSTRATE TO THE SATISFACTION OF THE HAZARDOUS MATERIALS BRANCH THAT NO UNAUTHORIZED RELEASE HAS OCCURRED. DEMONSTRATION WILL BE BASED UPON RESULTS OF SOIL SAMPLES OBTAINED DURING THE TANK CLOSURE ACTIVITIES.
7. THE SOIL ANALYSIS MUST BE PERFORMED BY A STATE CERTIFIED LABORATOR, WITH THE RESULTS FORWARDED TO THE HAZARDOUS MATERIALS PERSONNEL.
8. SOIL SAMPLES SHALL BE TAKEN BELOW TANK / PIPING SYSTEM AT THE TIME OF TANK REMOVAL. AT MINIMUM, SAMPLES ARE REQUIRED AT 2 AND 6 FEET BELOW THE FILL END OF THE TANK, WITH A SEPARATE 2 FOOT SAMPLE TAKEN AT THE OPPOSITE END OF THE TANK. A SEPARATE SAMPLE FOR EACH 20 LINEAL FEET OF UNDERGROUND PIPING SHALL BE TAKEN. ADDITIONAL SAMPLING MAY BE REQUIRED BY HAZARDOUS MATERIALS PERSONNEL.
9. THE SOIL SAMPLES SHALL BE ANALYZED FOR ALL CONSTITUENTS OF THE PREVIOUSLY STORED HAZARDOUS SUBSTANCES AND THEIR BREAKDOWN CONSTITUENTS OR TRANSFORMATION PRODUCTS. TEST REQUIRED WILL INCLUDED THE FOLLOWING.
 - a. TOTAL PETROLEUM HYDROCARBONS PER E.P.A. METHOD 8015 (MODIFIED FOR GASOLINE OR/AND DIESEL),
 - b. BENZENE, TOLUENE ETHYLBENZENE AND TOTAL XYLENES (BTX).
10. THE DETECTION LIMIT OF ANY UNAUTHORIZED RELEASE SHALL BE REPORTED TO THE HAZARDOUS MATERIALS BRANCH IN ACCORDANCE WITH ARTICLES 5 OF THE CALIFORNIA UNDERGROUND STORAGE TANK REGULATIONS.

REMOVE GENERAL LAYOUT

SCALE 1" = 10'



IMPORTANT NOTICE

Section 4216/4217 of the Government Code requires a Dig Alert identification Number be issued before a Permit to Excavate will be valid For your Dig Alert ID Number Call

Underground Service Alert of Southern California
CALL: TOLL FREE
1-800-422-4133
Two Working Days Before You Dig

UNDERGROUND UTILITIES NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS.

CAPISTRANO
UNIFIED SCHOOL DISTRICT

GENERAL LAYOUT PLOT PLAN

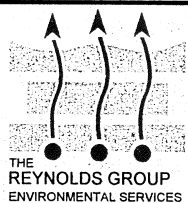
Approved by:

Scale: Indicated

Date: April, 1998

Project: 5075

P-2

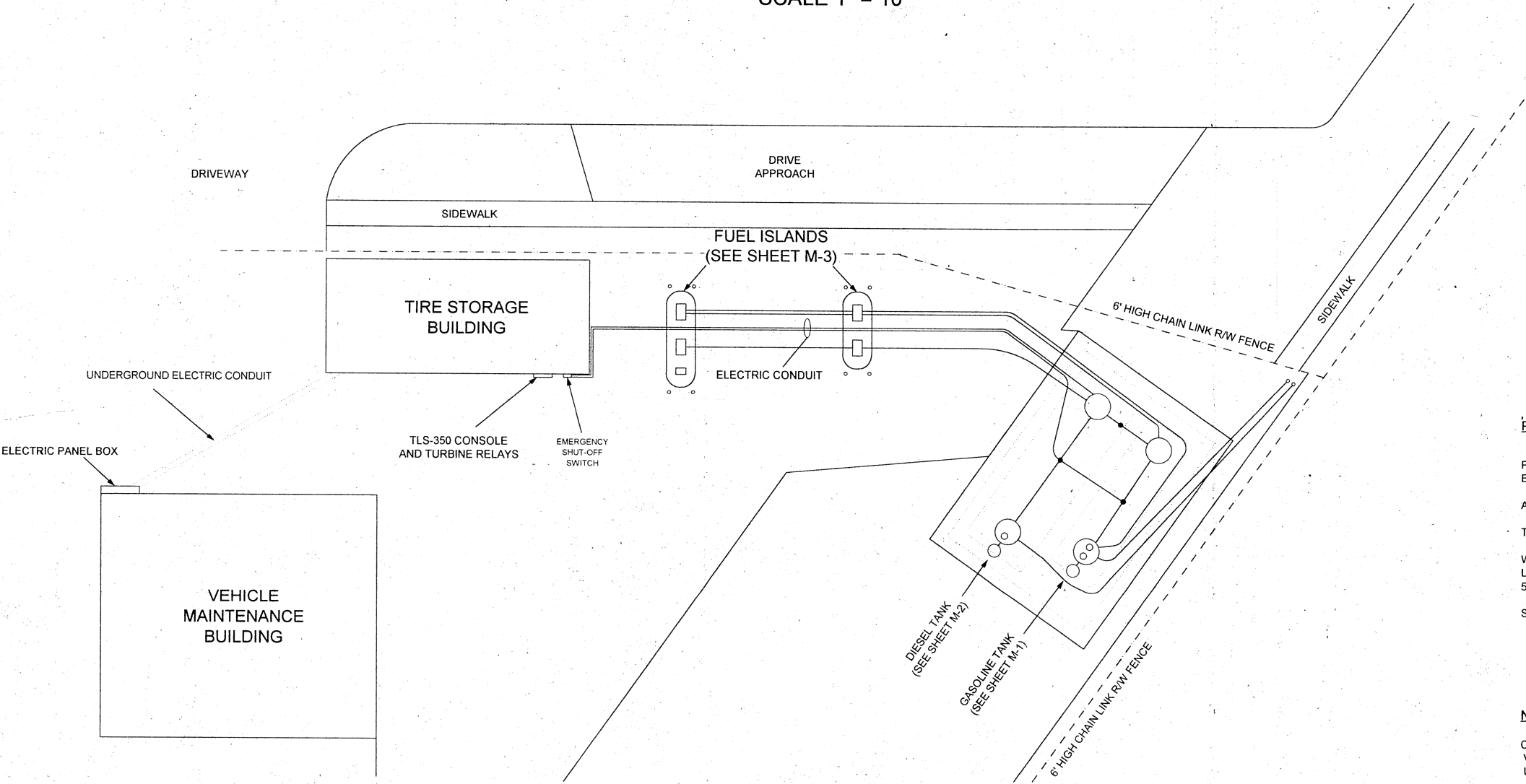


250 EL CAMINO REAL SUITE 204
TUSTIN, CALIFORNIA 92780

CALIFORNIA REGISTERED
CIVIL ENGINEER

INSTALLATION GENERAL LAYOUT

SCALE 1" = 10'



HAZARDOUS NOTES

IN AN OUTSIDE LOCATION ANY AREA WITHIN 5' 0" HORIZONTALLY FROM ANY TANK FILL PIPE SHALL BE CLASSIFIED AS A CLASS 1 DIVISION 2 HAZARDOUS AREA.

THE SPHERICAL VOLUME WITHIN A 3' 0" RADIUS OF ANY TANK VENT PIPE SHALL BE CLASSIFIED AS CLASS 1 DIVISION 1 HAZARDOUS AREA.

ALL ELECTRIC CONDUITS, FITTINGS, ETC. IN THESE AREAS SHALL CONFORM TO THE LATEST EDITION OF N.E.C. ARTICLE 514. ELECTRICAL WIRING AND EQUIPMENT BELOW A HAZARDOUS AREA SHALL BE RATED FOR CLASS 1 DIVISION 1. PROVIDE SEAL-OFF FITTINGS ON ALL CONDUITS ENTERING OR LEAVING A HAZARDOUS AREA.

PIPING NOTES

PRIMARY AND SECONDARY CONTAINMENT PIPES (UNDERGROUND) TO BE ENVIROFLEX FLEXIBLE PIPE.

ALL PIPING TO SLOPE DOWN TO TANK 1/4" PER FOOT MIN.

TANK HOLE & PIPING TRENCHES TO BE LINED WITH FILTER FABRIC LINER.

WRAP ALL METALLIC PIPING (UNDERGROUND OR IN CONTAINMENT SUMPS) WITH TWO LAYERS OF 20 MIL. PIPE WRAP TAPE, SPIRAL WOUND IN OPPOSITE DIRECTIONS WITH 50% OVERLAP.

SEE ALSO GENERAL NOTES AT SHEET P-1.

NOTES

CONTRACTOR TO VERIFY THE EXACT LOCATION AND ARRANGEMENT FOR THE VEEDER-ROOT TLS- 350 CONSOLE AND TURBINE RELAYS WITH THE CAPISTRANO UNIFIED SCHOOL DISTRICT MAINTENANCE COORDINATOR.

IMPORTANT NOTICE

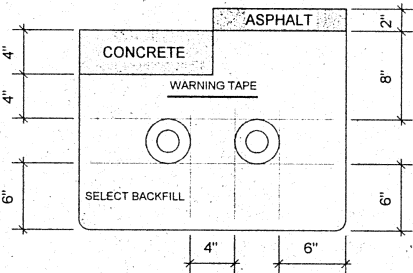
Section 4216/4217 of the Government Code requires a Dig Alert identification Number be issued before a Permit to Excavate will be valid. For your Dig Alert ID Number Call Underground Service Alert of Southern California. CALL: TOLL FREE 1-800-422-4133 Two Working Days Before You Dig

UNDERGROUN UTILITIES NOTE:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPE, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS.

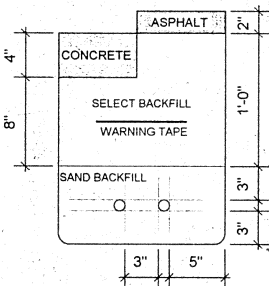
PIPING TRENCH

SCALE 1:8



CONDUIT TRENCH

SCALE 1:8



CAPISTRANO
UNIFIED SCHOOL DISTRICT

INSTALLATION GENERAL LAYOUT

Approved by:

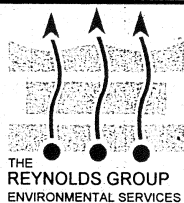
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Date: April, 1998

Date

Project: 5075

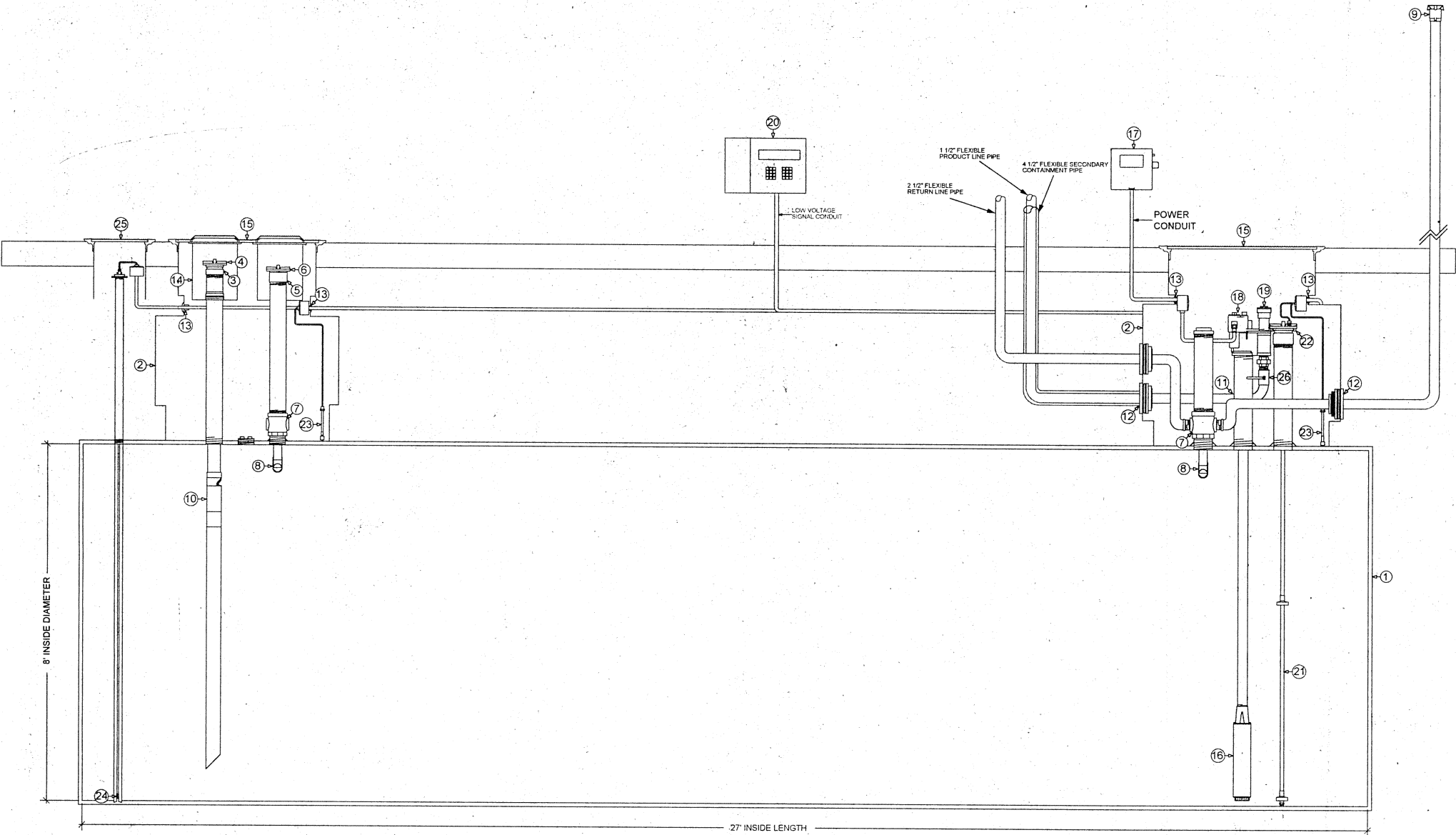
P-3



250 EL CAMINO REAL SUITE 204
TUSTIN, CALIFORNIA 92780

CALIFORNIA REGISTERED
CIVIL ENGINEER

MODERN WELDING 10,000 GALLON GLASTEEL II



PRESSURE SYSTEM MATERIAL LIST (GASOLINE)

1.	MW10000GSII	MODERN WELDING 10,000 GALLON GLASTEEL II
2.	AC-42	U.L. LISTED JACKETED UNDERGROUND STORAGE TANK, WITH STANDARD FITTINGS & TWO COLLARS.
3.	305L-0200-AA	AMERICAN CONTAINMENT 42"x48" FRP RAISER WITH 32" OPENING & LID.
4.	777-201-01	MORRISON 4" FILL ADAPTOR-TOP WITH LUGS.
5.	300-201-01	EBW 4" TOP SEAL FILL CAP.
6.	304-200-01	EBW VAPOR RECOVERY ADAPTOR.
7.	340-300-01	EBW VAPOR RECOVERY CAP.
8.	308-207-01	EBW 4"x4"x2"x2" EXTRACTOR VENT VLV ASSY.
9.	523LP-2203	EBW 2"x12" BALL FLOAT VENT (98%).
10.	708-451-01	OPW PRESSURE VACUUM TANK VENT.
11.	CP1502	EBW 4" OVERFILL PREVENTION VALVE (95%).
12.	FB3950	OMNIFLEX 1 1/2" FLEXIBLE PIPE.
13.	UB 1075	TOTAL CONTAINMENT ENTRY BOOT.
14.	6511C-1600	TOTAL CONTAINMENT CONDUIT ENTRY BOOT.
15.	6110-37TX	POMECO SPILL CONTAINMENT MANHOLE.
16.	STP-33	POMECO 37" WT MANHOLE.
17.	'STP-CB	F.E. PETRO 1/3 HP SUBMERSIBLE PUMP.
18.	400580901	F.E. PETRO CONTROL BOX.
19.	LD2000	F.E. PETRO PRECISION RELIEF VALVE.
20.	848291-102	VAPORLESS MECHANICAL LEAK DETECTOR VALVE.
21.	847390-1XX	VEEDER ROOT TLS-350R CONSOLE FOR TLS-350PC.
22.	312020-952	0.1 GPI MAGNETOSTRICTIVE PROBE.
23.	794380-206	MAGNETOSTRICTIVE PROBE CAP & RING.
24.	794390-420	PIPING SUMP SENSOR.
25.	6110-16WT	INTERSTITIAL FOR STEEL SENSOR.
26.	107-708	POMECO 16" WT MANHOLE.
		JOMAR 2" FULL PORT BALL VALVE.

NOTES:

- ALL UNUSED TANK OPENINGS SHALL BE TIGHTLY SECURED WITH PIPE PLUGS AND SHALL BE COVERED WITH A FIBERGLASS CAP (HAT) INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS UTILIZING WET RESIN.
- ALL VERTICAL RISER THREADS (IN CONTAINMENT SUMPS) SHALL BE WRAPPED IN FIBERGLASS 3" MIN. ABOVE EXPOSED THREADS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- TANK SHALL BE TESTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AS WELL AS LOCAL ORDINANCES.
- ALL CONTAINMENT BOX ASSEMBLIES SHALL BE FIBERGLASS TO TANK RING AND CAPABLE TO WITHSTANDING HYDROSTATIC TESTING.
- DIELECTRIC UNIONS TO BE USED ON ALL UNDERGROUND CONDUITS
- TANK TO SLOPE DOWN TOWARD FILL END 1" TOTAL
- ALL CONDUITS TO HAVE SEAL-OFFS PER LATEST EDITION OF THE NATIONAL ELECTRIC CODE. ALL J-BOXES TO BE EXPLOSION PROOF, KILLARK #GRSS-2 OR CROUSE-HINDS GUA SERIES.
- ALL CONDUIT PENETRATIONS OF THE SUMP BOXES TO BE SEALED BY THE APPROPRIATE SIZE TOTAL CONTAINMENT CONDUIT ENTRY BOOT.
- USE CABLE CONNECTOR FITTINGS (CROUSE-HINDS CGB OR APPROVED EQUAL) AT MONITOR & LEVEL GAUGE CABLE CONNECTIONS TO J-BOXES AND PIPE FITTINGS IN SUMP BOXES.
- CONDUITS TO BE 3/4" PVC COATED RIGID STEEL UNLESS SPECIFIED OTHERWISE.
- ALL PRIMARY PIPING & FITTINGS INSIDE SUMP BOXES TO BE BLACK IRON SCH. 40 PIPE W / 150 DEGREES MALLEABLE IRON FITTINGS.
- PRIMARY AND SECONDARY CONTAINMENT PIPES & FITTINGS (UNDERGROUND) TO BE TOTAL CONTAINMENT ENVIROFLEX, OMNIFLEX & MONOFLEX FLEXIBLE PIPE.
- ALL CONCRETE TO BE 3,000 PSI AT 28 DAYS.
- ALL PIPING TO SLOPE DOWN TO TANK 1/4" PER FOOT MIN.
- TANK HOLE & PIPING TRENCHES TO BE LINED WITH FILTER FABRIC LINER.
- WRAP ALL METALLIC PIPING (UNDERGROUND OR IN CONTAINMENT SUMPS) WITH TWO LAYERS OF 20 MIL. PIPE WRAP TAPE, SPIRAL WOUND IN OPPOSITE DIRECTIONS WITH 50% OVERLAP. (SEE SPEC. SECTION 15051).
- ALL MANHOLES MUST BE LIQUID TIGHT, SECURABLE & RATED FOR H-20 TRAFFIC LOADS. COVERS TO BE PAINTED PER SPEC. SECTION 09900.
- INSTALL METAL PRODUCT IDENTIFICATION AND QUANTITY TAG ON FILL BOX LIDS AND IN FILL BOXES, ATTACHED TO RAISER.
- HIGHEST LEVEL OF OVERFILL PROTECTION SET AT 95% OF TOTAL VOLUME OF THE TANK.

CAPISTRANO
UNIFIED SCHOOL DISTRICT

10,000 GALLON GASOLINE TANK
GENERAL LAYOUT

Approved by:

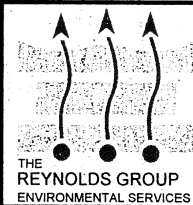
Scale: Indicated

Date: April, 1998

Date

Project: 5075

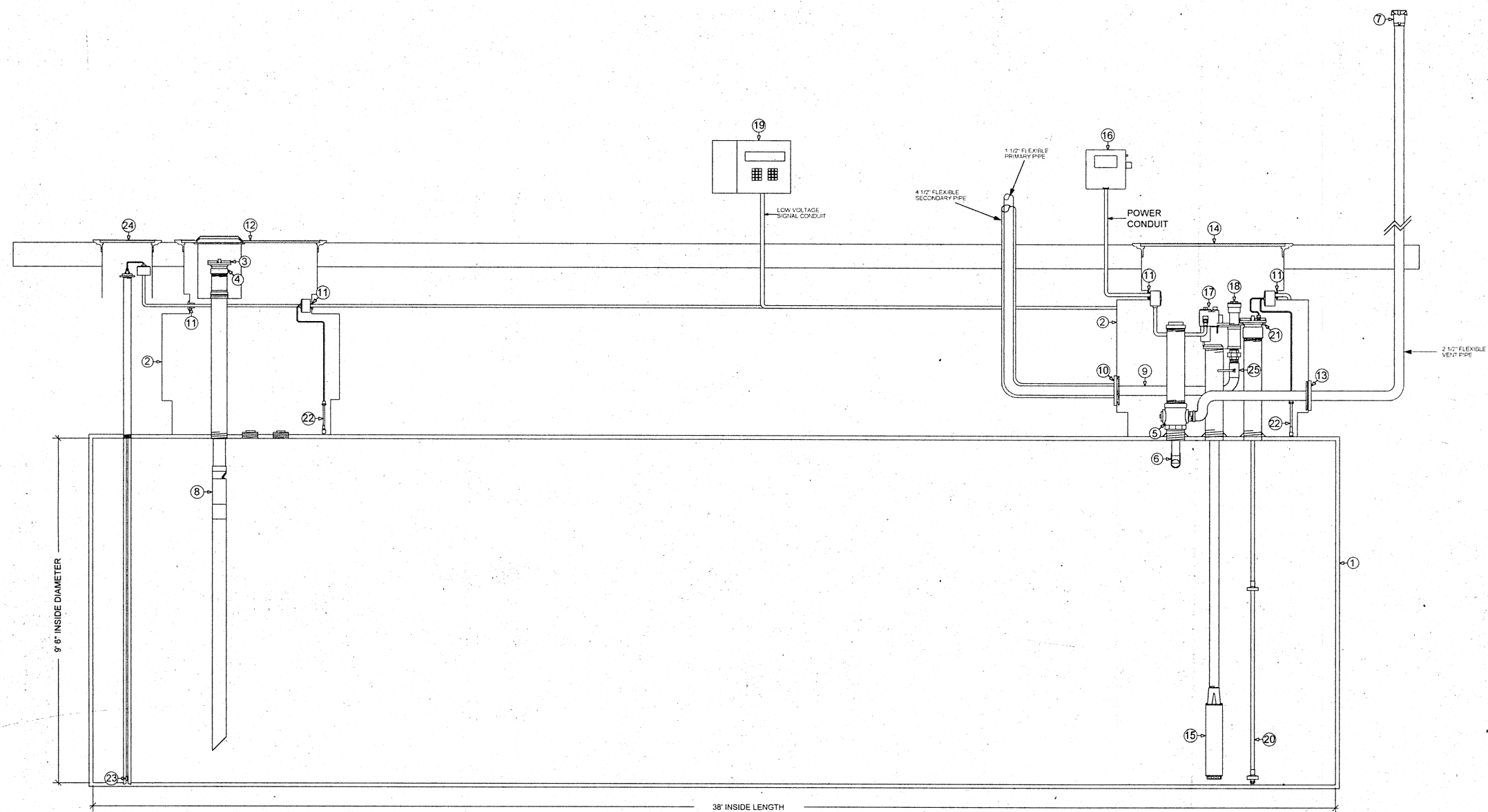
M-1



250 EL CAMINO REAL SUITE 204
TUSTIN, CALIFORNIA 92780

CALIFORNIA REGISTERED
CIVIL ENGINEER

MODERN WELDING 20,000 GALLON GLASTEEL II



PRESSURE SYSTEM MATERIAL LIST (DIESEL)

1.	MW5000GSII	MODERN WELDING 5,000 GALLON GLASTEEL II U.L. LISTED JACKETED UNDERGROUND STORAGE TANK, WITH STANDARD FITTINGS & TWO COLLARS.
2.	AC-42	AMERICAN CONTAINMENT 42"x48" FRP RAISER WITH 32" OPENING & LID.
3.	777-201-01	EBW 4" TOP SEAL FILL CAP.
4.	778-301-01	EBW 4" TOP FILL BRONZE ADAPTOR.
5.	340-300-01	EBW 4"x4"x2"x2" EXTRACTOR VENT VLV ASSY.
6.	308-207-01	EBW 2"x12" BALL FLOAT VENT (98%).
7.	800-207-02	EBW TANK VENT.
8.	708-451-01	EBW 4" OVERFILL PREVENTION VALVE (95%).
9.	CP1502	OMNIFLEX 1 1/2" FLEXIBLE PIPE.
10.	FB3950	TOTAL CONTAINMENT ENTRY BOOT.
11.	UB 1075	TOTAL CONTAINMENT CONDUIT ENTRY BOOT.
12.	6511D-0000	POMECO SPILL CONTAINMENT MANHOLE.
13.	FB3925	TOTAL CONTAINMENT ENTRY BOOT.
14.	6110-37TX	POMECO 37" WT MANHOLE.
15.	STP-33	F.E. PETRO 1/3 HP SUBMERSIBLE PUMP.
16.	STP-CB	F.E. PETRO CONTROL BOX.
17.	400580901	F.E. PETRO PRECISION RELIEF VALVE.
18.	LD2000	VAPORLESS MECHANICAL LEAK DETECTOR VALVE.
19.	848291-102	VEEDER ROOT TLS-350R CONSOLE FOR TLS-350PC.
20.	847390-1XX	0.1 GPI MAGNETOSTRICTIVE PROBE.
21.	312020-952	MAGNETOSTRICTIVE PROBE CAP & RING.
22.	794380-206	PIPING SUMP SENSOR.
23.	794390-420	INTERSTITIAL FOR STEEL SENSOR.
24.	6110-16WT	POMECO 16" WT MANHOLE.
25.	107-708	JOMAR 2" FULL PORT BALL VALVE.

NOTES:

ALL UNUSED TANK OPENINGS SHALL BE TIGHTLY SECURED WITH PIPE PLUGS AND SHALL BE COVERED WITH A FIBERGLASS CAP (HAT) INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS UTILIZING WET RESIN.

ALL VERTICAL RISER THREADS (IN CONTAINMENT SUMPS) SHALL BE WRAPPED IN FIBERGLASS 3" MIN. ABOVE EXPOSED THREADS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

TANK SHALL BE TESTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AS WELL AS LOCAL ORDINANCES.

ALL CONTAINMENT BOX ASSEMBLIES SHALL BE FIBERGLASS TO TANK RING AND CAPABLE TO WITHSTANDING HYDROSTATIC TESTING.

DIELECTRIC UNIONS TO BE USED ON ALL UNDERGROUND CONDUITS

TANK TO SLOPE DOWN TOWARD FILL END 1" TOTAL

ALL CONDUITS TO HAVE SEAL-OFFS PER LATEST EDITION OF THE NATIONAL ELECTRIC CODE. ALL J-BOXES TO BE EXPLOSION PROOF, KILLARK #GRSS-2 OR CROUSE-HINDS GUA SERIES.

ALL CONDUIT PENETRATIONS OF THE SUMP BOXES TO BE SEALED BY THE APPROPRIATE SIZE TOTAL CONTAINMENT CONDUIT ENTRY BOOT.

USE CABLE CONNECTOR FITTINGS (CROUSE-HINDS CGB OR APPROVED EQUAL) AT MONITOR & LEVEL GAUGE CABLE CONNECTIONS TO J-BOXES AND PIPE FITTINGS IN SUMP BOXES.

CONDUITS TO BE 3/4" PVC COATED RIGID STEEL UNLESS SPECIFIED OTHERWISE.

ALL PRIMARY PIPING & FITTINGS INSIDE SUMP BOXES TO BE BLACK IRON SCH. 40 PIPE W / 150 DEGREES MALLEABLE IRON FITTINGS.

PRIMARY AND SECONDARY CONTAINMENT PIPES & FITTINGS (UNDERGROUND) TO BE FIBERGLASS AMERON DUALLOY 3000/L

ALL CONCRETE TO BE 3,000 PSI AT 28 DAYS.

ALL PIPING TO SLOPE DOWN TO TANK 1/4" PER FOOT MIN.

TANK HOLE & PIPING TRENCHES TO BE LINED WITH FILTER FABRIC LINER PER SPEC. SECTION 2200.

WRAP ALL METALLIC PIPING (UNDERGROUND OR IN CONTAINMENT SUMPS) WITH TWO LAYERS OF 20 MIL. PIPE WRAP TAPE, SPIRAL WOUND IN OPPOSITE DIRECTIONS WITH 50% OVERLAP. (SEE SPEC. SECTION 15051).

ALL MANHOLES MUST BE LIQUID TIGHT, SECURABLE & RATED FOR H-20 TRAFFIC LOADS. COVERS TO BE PAINTED PER SPEC. SECTION 09900.

INSTALL METAL PRODUCT IDENTIFICATION AND QUANTITY TAG ON FILL BOX LIDS AND IN FILL BOXES, ATTACHED TO RAISER.

HIGHEST LEVEL OF OVERFILL PROTECTION SET AT 95% OF TOTAL VOLUME OF THE TANK.

CAPISTRANO
UNIFIED SCHOOL DISTRICT

20,000 GALLON DIESEL TANK
GENERAL LAYOUT

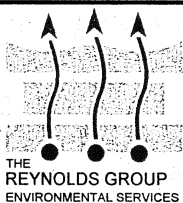
Approved by:

Scale: Indicated

Date: April, 1998

Project: 5075

M-2

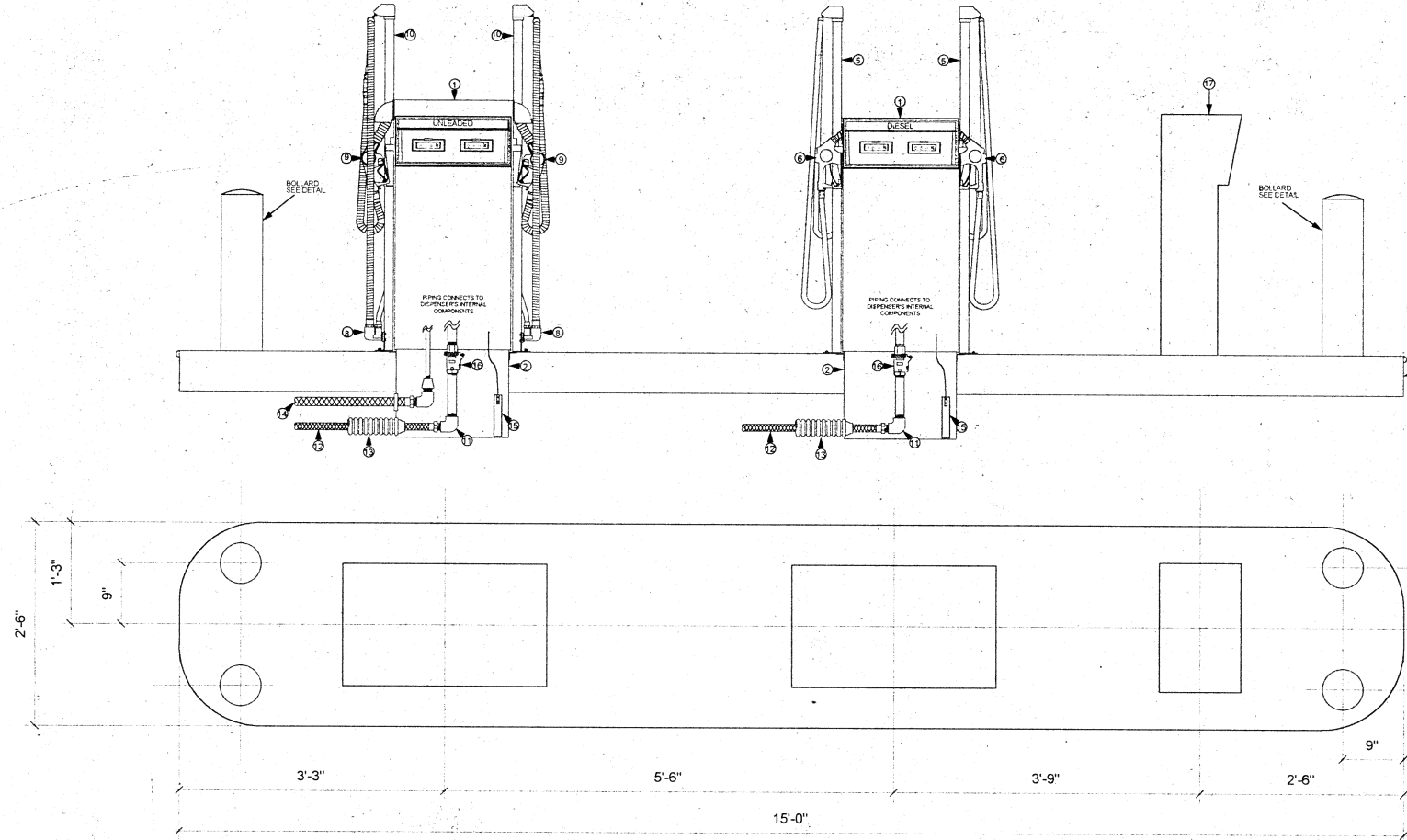


250 EL CAMINO REAL SUITE 204
TUSTIN, CALIFORNIA 92780

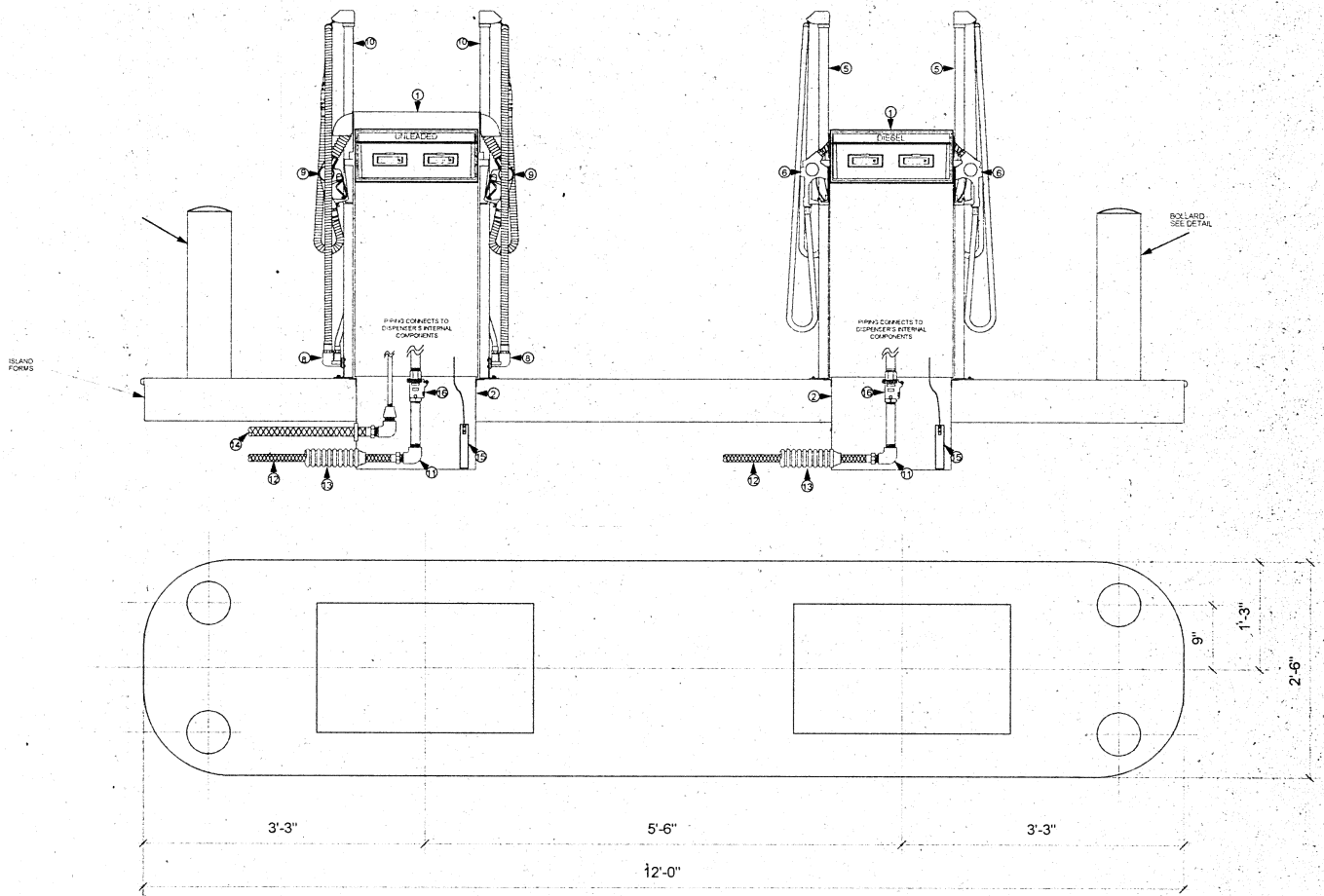
CALIFORNIA REGISTERED
CIVIL ENGINEER

FUEL ISLAND DETAIL

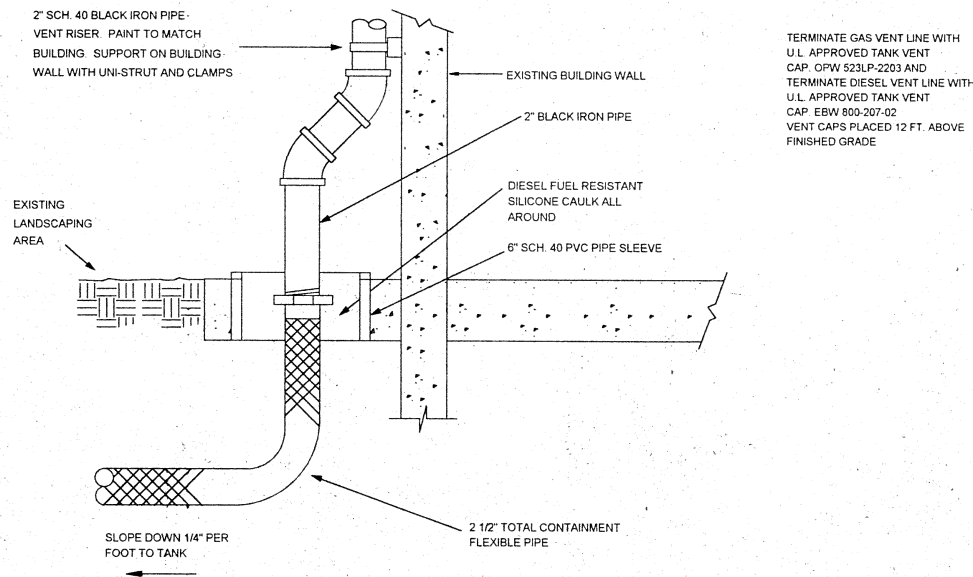
WEST ISLAND



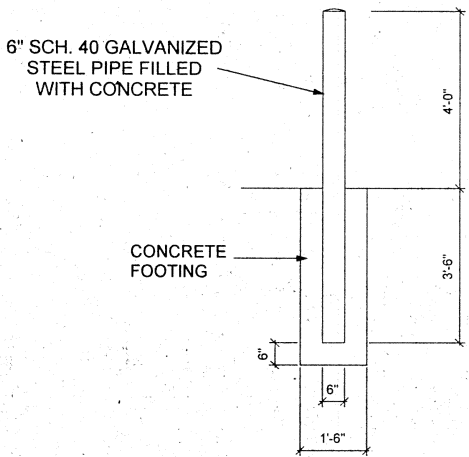
EAST ISLAND



TANK VENT RISER DETAIL



BOLLARD DETAIL "TYPICAL"



DISPENSERS ISLAND MATERIAL LIST:

- | | |
|-------------------|---|
| 1. 9152 AX | GASBOY STANDARD SEED DISPENSER |
| 2. DU2416 | TOTAL CONTAINMENT DISPENSER SUMP |
| 3. 110165-24-0240 | TITEFLEX 1-1/2" x 24" FLEX CONNECT |
| 4. 350030 | CTC FLEXBOOT |
| 5. 06100-6000 | POMECO HOSE RETRACTOR |
| 6. NCP | CATLOW DIESEL NOZZLE |
| 7. FVF | WELDED 1-1/2" VAPOR & 3" SECONDARY HOSE FITTING |
| 8. 303-301 | EBW VAPOR RECOVERY SPLITTER |
| 9. A4015-02 | EMCO WHEATON SHORT SPOUT NOZZLE |
| 10. 6100-AGLC | POMECO HOSE RETRACTOR |
| 11. EL1500 | 1 1/2" PRIMARY ELBOW |
| 12. CP1502 | 1 1/2" OMNIFLEX PRODUCT PIPE |
| 13. SP4500 | 4 1/2" TOTAL CONTAINMENT CORRUGATED PIPE |
| 14. SP2501 | 2 1/2" MONOFLEX RETURN PIPE |
| 15. AC-SS14 | AMERICAN CONTAINMENT ELECTRONIC SUMP SENSOR |
| 16. 10RT-5720 | OPW EMERGENCY SHUT-OFF VALVE |
| 17. GB-1000 | GASBOY CARD READER |

CAPISTRANO
UNIFIED SCHOOL DISTRICT

FUEL ISLAND
GENERAL LAYOUT

Approved by:

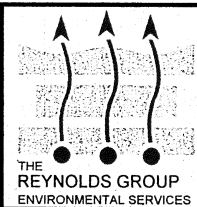
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Date: April, 1998

Date:

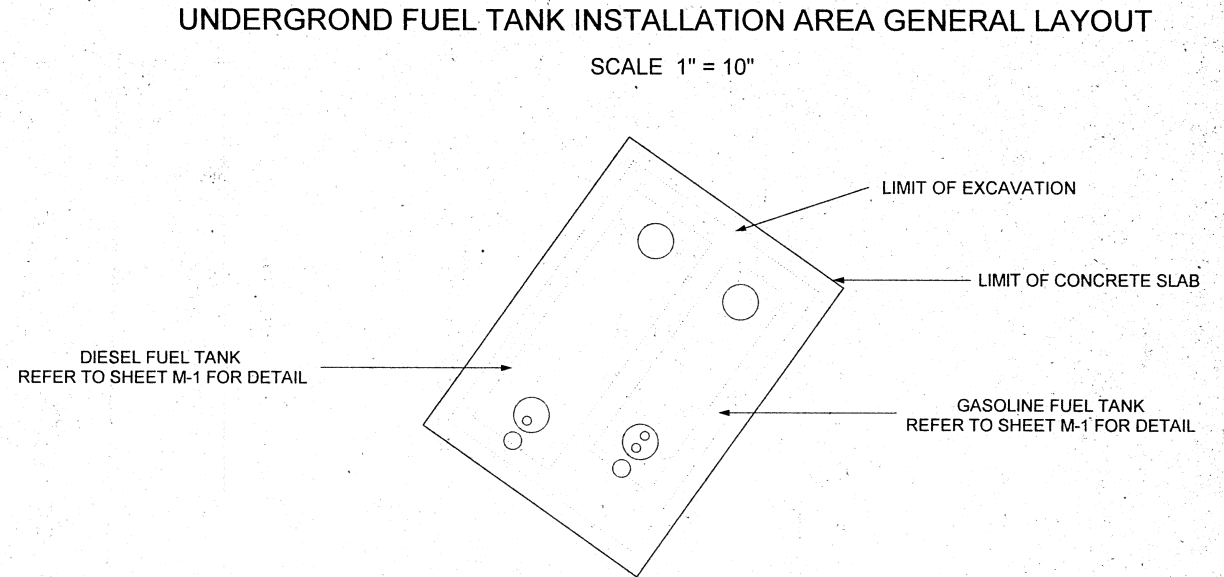
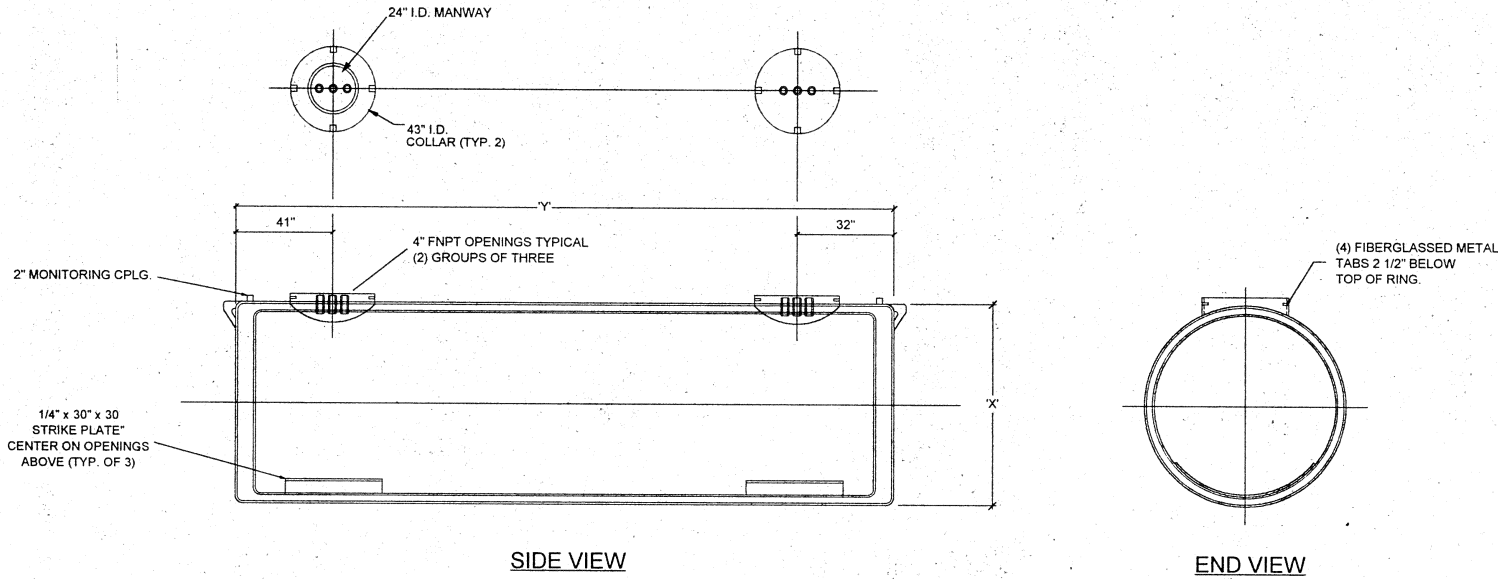
Project: 5075

M-3



250 EL CAMINO REAL SUITE 204
TUSTIN, CALIFORNIA 92780

CALIFORNIA REGISTERED
CIVIL ENGINEER



FIBERGLASS-COATED DOUBLE WALL STEEL UNDERGROUND STORAGE TANK SYSTEM INSTALLATION

MODERN WELDING FIBERGLASS COATED DOUBLE WALL STEEL TANKS PER SPECIFICATIONS.

UNDERGROUND FUEL STORAGE TANK

AFTER TANKS ARE DELIVERED TO THE SITE, TANK MANUFACTURER OR SUPPLIER IS RESPONSIBLE FOR PERFORMING THE 35,000 VOLT HOLIDAY TEST. MORE THAN ONE DEFECT IS CAUSE FOR REJECTION. ANY DEFECTS DISCOVERED IN THE FIBERGLASS COATING MUST BE REPAIRED PER MANUFACTURER'S SPECIFICATIONS. TANK MANUFACTURER IS TO PROVIDE PROPOSED REPAIR PROCEDURES WITH TANK SUBMITTAL FOR APPROVAL BY RIVERSIDE COUNTY REPRESENTATIVE. PERSONNEL PERFORMING REPAIRS TO COATING MUST SHOW EVIDENCE OF FACTORY CERTIFICATION AND AUTHORIZATION TO DO SO. THIS TEST, AND ANY REPAIRS MUST BE WITNESSED BY THE COUNTY AND THE APPROPRIATE LOCAL REGULATORY AGENCIES.

PEAGRAVEL BACKFILL

UNLESS OTHERWISE SPECIFIED, TANKS SHALL BE INSTALLED THREE (3) FEET BELOW FINISHED YARD GRADE. TANKS SHALL BE SET ON A FIRM BASE OF 12" THICK CLEAN PEAGRAVEL AND SURROUNDED ON ALL SIDES BY A MINIMUM THICKNESS OF 12" OF CLEAN PEAGRAVEL AFTER PIPING HAS BEEN INSTALLED, INSPECTED AND TESTED, COMPLETE THE BACKFILLING WITH CLEAN PEAGRAVEL TO SUBGRADE ELEVATION. PEAGRAVEL PER SPECIFICATIONS IS SELF-COMPACTING AND DOES NOT REQUIRE ANY ADDITIONAL MECHANICAL COMPACTION.

UNDERGROUND FUEL STORAGE TANK PRESSURE TESTING

CONTRACTOR SHALL PRESSURE TEST TANKS ON THE JOB SITE AFTER SETTING THE TANKS IN THE HOLE, BUT BEFORE BACKFILLING. TESTING TO BE PERFORMED BEFORE SETTING THE TANKS IN THE HOLE ONLY IF THE LOCAL AGENCY MANDATES. BEFORE TESTING, TIGHTEN ALL FITTINGS. PRESSURE TESTING SHALL BE DONE WITH EITHER A 10 P.S.I. GAUGE ACCURATELY CALIBRATED FOR PRESSURE RANGING FROM 0-10 P.S.I. OR ELSE A MERCURY MANOMETER GAUGE. A PRESSURE RELIEF SYSTEM SET AT 5 P.S.I. IS TO BE INSTALLED IN THE VENT OPENING OF ALL TANKS. PRIOR TO PRESSURIZING THE TANKS, PRESSURE TESTING SHALL BE DONE IN THE FOLLOWING SEQUENCE: (1) PRESSURE TEST INNER TANK TO 3 P.S.I. (MIN), 5 P.S.I. (MAX) FOR 30 MINUTES (MIN) AND VERIFY THAT NO PRESSURE DROP IS EXPERIENCED. (2) IF INNER TANK HAS TESTED SATISFACTORILY, BLEED PRESSURE IN THE INNER TANK INTO THE ANNULAR SPACE USING A TEE FITTING ARRANGEMENT & VALVES. DO NOT PRESSURIZE ANNULAR SPACE UNLESS INNER TANK IS UNDER PRESSURE. (3) REMOVE TEST. TANKS UNDER PRESSURE SHOULD NOT BE LEFT UNATTENDED. IF TANK(S) WILL NOT HOLD PRESSURE, TANK MANUFACTURER MUST BE NOTIFIED TO PROVIDE REPLACEMENT TANK. TESTING PROCEDURE MAY VARY WITH LOCAL ORDINANCES.

NO PRESSURE TEST IS REQUIRED BY THE CONTRACTOR IF THE TANK IS DELIVERED TO THE JOB SITE WITH VACUUM TEST, APPLIED BY THE TANK MANUFACTURER, IN PROGRESS.

UNDERGROUND FUEL SYSTEM PIPING PRESSURE TESTING

CONTRACTOR SHALL AIR PRESSURE TEST ALL PRIMARY & SECONDARY PIPING PRIOR TO BACKFILLING OR CONNECTING TO TANKS OR OTHER EQUIPMENT. ISOLATE AND CAP ALL PRIMARY PIPING RUNS & PRESSURIZE TO 7.5 P.S.I. (MIN.) FOR 30 MINUTES (MIN.) OR LONGER AS REQUIRED BY LOCAL AGENCY. SOAP TEST ALL JOINTS AND INSPECT FOR LEAKS. REPAIR ANY LEAKS DISCOVERED AS REQUIRED. SECONDARY PIPING TO BE AIR TESTED AFTER CONNECTION TO TANKS OR OTHER EQUIPMENT AT 3 P.S.I. (MIN.) TO 5 P.S.I. (MAX.) FOR 30 MINUTES (MIN.), OR LONGER AS REQUIRED BY LOCAL AGENCY. SOAP TEST ALL CONNECTIONS AND JOINTS AND INSPECT FOR LEAKS. REPAIR ANY LEAKS DISCOVERED AS REQUIRED. MAINTAIN THE AIR TEST ON THE SECONDARY CONTAINMENT PIPING DURING THE BACKFILLING PROCESS AND VERIFY THAT NO PRESSURE DROP OCCURRED IN THE SECONDARY PIPING DURING THE BACKFILL PROCESS. WATER FLOOD THE SUMPS TO A LEVEL ABOVE THE HIGHEST PENETRATION AND / OR JOINT TO THE SATISFACTION OF THE LOCAL AGENCY AND RIVERSIDE COUNTY REPRESENTATIVES. INSPECT FOR LEAKS. REPAIR ANY LEAKS DISCOVERED. AFTER BACKFILLING PIPING RUNS, BOTH PRIMARY AND SECONDARY PIPING SYSTEMS TO BE RETESTED PER AFOREMENTIONED PROCEDURES. THE TESTING OF THE PRIMARY AND SECONDARY PIPING MUST BE WITNESSED BY RIVERSIDE COUNTY REPRESENTATIVE AND LOCAL REGULATORY AGENCIES.

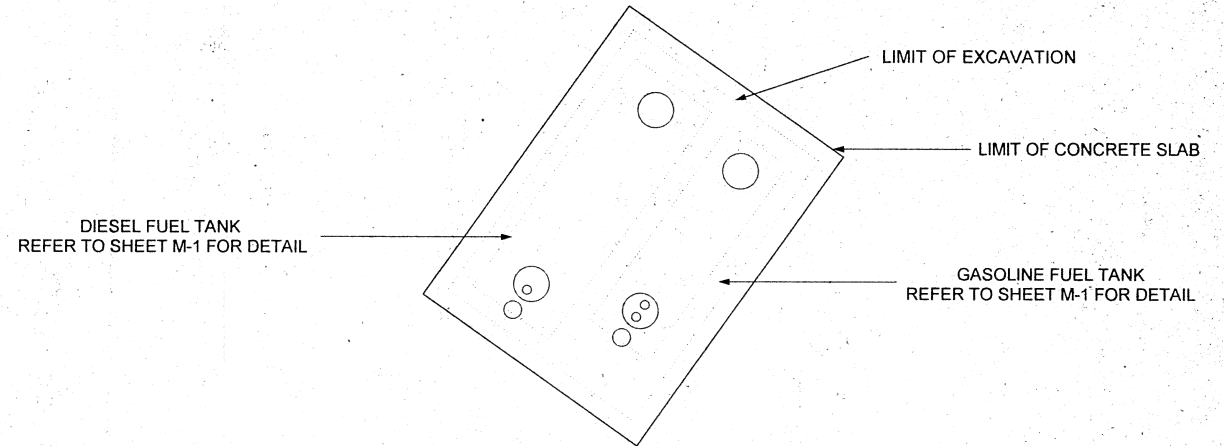
FINAL SYSTEM PRECISION TEST

THE TANK AND PIPING SYSTEM MUST PASS A FULL SYSTEM PRECISION TEST PERFORM AT THE HIGHEST LEVEL OF OVERFILL PROTECTION (95%) PURSUANT TO SUBSECTION (b), SECTION 2643 OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 23, PRIOR TO FINAL APPROVAL. PROVIDE ALL TEST RESULTS TO RIVERSIDE COUNTY REPRESENTATIVE AND LOCAL AGENCY INSPECTORS AS REQUIRED.

MODERN WELDING "GLASSTEEL II"			
CAPACITY (GALS.)	"X"	"Y"	WEIGHT (LBS.)
10,000	8'-0"	27'-6"	14,500
20,000	9'-7"	35'-1"	23,500

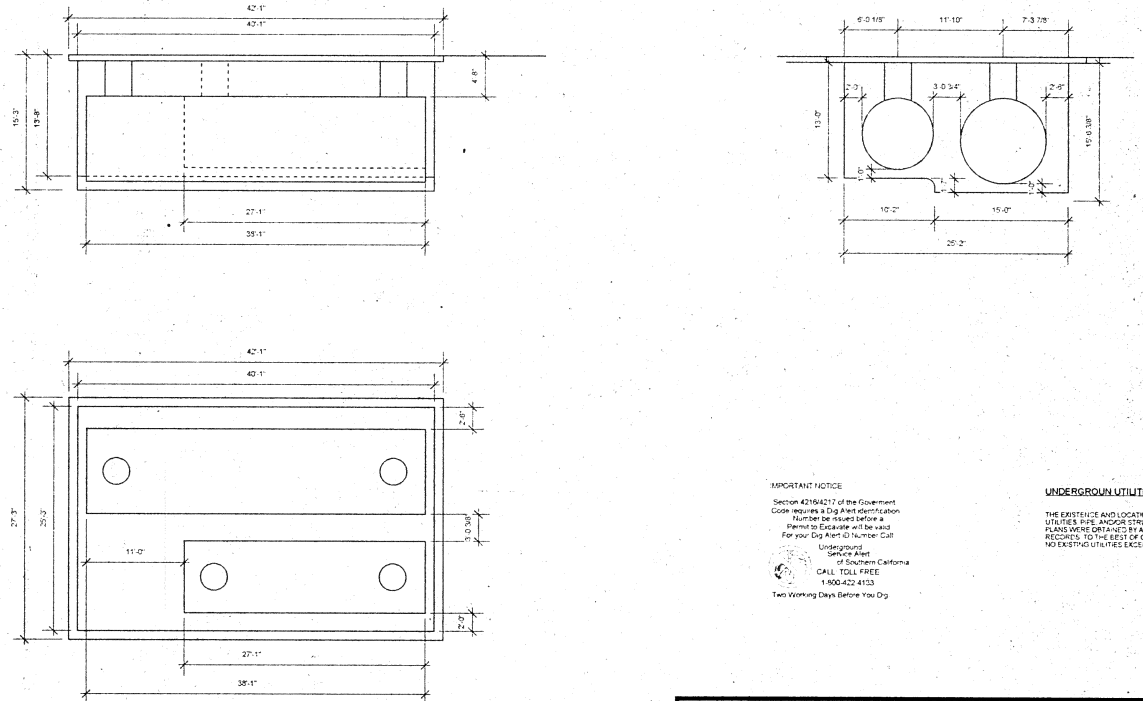
UNDERGROND FUEL TANK INSTALLATION AREA GENERAL LAYOUT

SCALE 1" = 10"



UNDERGROND FUEL TANK INSTALLATION EXCAVATION DEATAIL

SCALE 1" = 10"



IMPORTANT NOTICE
Section 43164.211 of the Government Code requires a Dig Alert identification Number be placed before a Permit to Excavate will be used. For your Dig Alert Number Call
Underground Service Alert of Southern California
CALL TOLL FREE 1-800-422-8113
Two Working Days Before You Dig

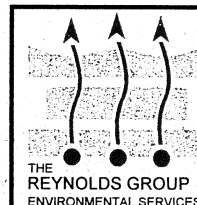
UNDERGROUND UTILITIES NOTE
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES IN THE PROPOSED STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS.

CITY OF HEMET UNDERGROUND TANK REMOVAL & INSTALLATION

TANK INSTALLATION DETAIL

Approved by: _____
Date: _____
Scale: Indicated
Date: April, 1998
Project: 5075

M-4



250 EL CAMINO REAL SUITE 204
TUSTIN, CALIFORNIA 92780

CALIFORNIA REGISTERED
CIVIL ENGINEER