CITY OF DANA POINT PLANNING COMMISSION AGENDA REPORT

DATE: MARCH 9, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

BRENDA WISNESKI, DIRECTOR

DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP20-0001 TO ALLOW ADDITIONS

TOTALING 859 SQUARE FEET TO AN EXISTING SINGLE-STORY, SINGLE-FAMILY DWELLING LOCATED AT 169 MONARCH BAY DRIVE.

RECOMMENDATION: That the Planning Commission adopt the draft Resolution

approving Coastal Development Permit CDP20-0001

(Action Document 1).

APPLICANT(S): Eyoh Design/Dustin Morris

OWNER: James and Vanessa Sampson

REQUEST: Approval of coastal development permit to allow additions totaling

859 square feet to an existing single-story, single-family dwelling

(SFD).

LOCATION: 169 Monarch Bay Drive (APN 670-111-42)

NOTICE: Notice of the Public Hearing was mailed via first class mail to

property owners within a 500-foot radius and occupants within a 100 foot radius, of the subject site, published within a newspaper of general circulation on February 28, 2020, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices,

and the Dana Point Library on February 28, 2020.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the

project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1 – Existing Facilities) since the project consists

of additions to an existing SFD.

ISSUES:

- 1. Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
- 2. Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- 3. Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is located west of the intersection of Crown Valley Parkway and Pacific Coast Highway within the Residential Single Family 4 (RSF 4) Zoning District and within the appeals jurisdiction of the City's Coastal Overlay District. The 10,417 square foot lot boarders Monarch Bay Drive along the front yard and similar single-family development along the side and rear property lines. Existing site improvements include a 2,638 square-foot, single-family dwelling (SFD) with an attached 535 square foot garage, a pool and spa, hardscape and landscaping (Supporting Document 2 – Project Vicinity Map and Site Photos).

Since the scope of work exceeds the limitations identified in Section 9.69.040(b)(2) (Exemptions) of the DPZC for properties located in the CCC Appeal Jurisdiction, a major CDP is required to implement the proposed project.

DISCUSSION: The project would result in an increase in square footage of more than ten (10) percent, which necessitates a CDP. Additions totaling 859 square feet are proposed to the entry, kitchen & living areas, and the garage as well as a new bedroom, and two additional bathrooms. The 859 square feet of additions to the existing 2,607 square foot SFD, results in an updated gross floor area of 3,647 square feet. A portion of the existing garage will be converted into conditioned space (laundry and pantry), and the garage addition is necessary to maintain the two (2) required parking stalls for SFDs (20-feet by 20-feet of unobstructed vehicular clearance — Supporting Document 3). All additions to the single-story home are under the City's height limit, and meet the prescribed development standards. Table 1 below demonstrates the proposed projects compliance with the required RSF 4 development standards.

Table 1: Compliance with RSF 4 and General Development Standards

| Development Standard | Requirement | Proposed | Compliant with Standard |
|-----------------------------|--|----------------------|-------------------------|
| Maximum Lot Coverage | 40% | 39.95% | Yes |
| Maximum Building Height | 24 feet - < 3:12 roof 26 feet - 3:12 or greater, but < 6:12 | 14'-2" | Yes |
| Minimum Front Yard Setback | 20 feet | 20 feet | Yes |
| Minimum Side Yard Setbacks: | 5 feet | 5 feet | Yes |
| Minimum Rear Yard Setback | 25'-0" | 26'-0.5" | Yes |
| Minimum Landscape Coverage | 25% | 25.41% | Yes |
| Parking Required | 2 stalls in a garage | 2 stalls in a garage | Yes |

The exterior of the home will be finished with smooth, white plaster, walls and a limestone veneer entry, a slate-gray standing seam metal roof over the pitched portions, and a grey gravel roof over flat portions. Openings include matte black metal trim windows and skylights and a modern black aluminum and glass garage door. All existing and new site walls are proposed to be finished in smooth white plaster to match the exterior of the updated SFD, and include a wood entry gate. New drought tolerant landscaping and natural concrete flatwork will surround the exterior of the home. The aforementioned improvements blend together to update the look of the existing SFD, to a style, as viewed from the street, commensurate with modern architecture (Supporting Documents 4 and 5 – Materials and Rendering). The current design has been reviewed and approved by the Monarch Bay Architectural Review Committee.

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

- 1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
- 2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
- 3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
- 4. That the proposed development be sited and designed to prevent adverse

impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,

- 5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
- 6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and
- 7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting the above-mentioned findings are detailed in the attached draft Planning Commission Resolution (Action Document 1).

CORRESPONDENCE:

To date, the City has received no correspondence related to the subject application.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. Since justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP20-0001 subject to the findings and conditions of approval contained therein.

Danny Giometti Associate Planner Brenda Wisneski, Director Community Development Department

ACTION DOCUMENT:

1. Draft Planning Commission Resolution No. 20-03-09-XX

SUPPORTING DOCUMENTS

- 2. Project Vicinity Map and Site Photos
- 3. Architectural Plans
- 4. Materials Board
- 5. Rendering

Action Document 1: Draft Planning Commission Resolution No. 20-03-09-XX

RESOLUTION NO. 20-03-09-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP20-0001 TO ALLOW ADDITIONS TOTALING 859 SQUARE FEET TO AN EXISTING SINGLE-STORY, SINGLE-FAMILY DWELLING LOCATED AT 169 MONARCH BAY DRIVE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, James and Vanessa Sampson (the "Owner"), owns the real property commonly referred to as 169 Monarch Bay Drive (APN 670-111-42) (the "Property"); and

WHEREAS, the Owner authorized Eyoh Design/Dustin Morris (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit to allow additions totaling 859 square feet to an existing single-story, single-family dwelling located at 169 Monarch Bay Drive.; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15301 of the CEQA Guidelines (Class 1 – Existing Facilities) because the project consists of additions to an existing single-family dwelling; and

WHEREAS, the Planning Commission did, on the 9th day of March, 2020, held a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP20-0001.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP20-0001, subject to conditions:
 - That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code in that

the site and architectural design of the proposed improvements comply with the polices of the Dana Point General Plan, specifically furthering General Plan Urban Design Element Goal Number 2, which states that development should "preserve the individual positive character and identity of the City's communities" by enlarging and updating an existing single-family dwelling (SFD) that is similar to other SFD's in the Monarch Bay community. Additionally, the proposed additions comply with the requisite Residential Single Family 4 (RSF 4) development standards and provide the necessary parking required for the site and use as prescribed in Chapter 9.75 of the Zoning Code, and consequently, the proposed development conforms to those elements comprising the City's Local Coastal Program applicable to the subject site.

- 2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act in that the proposed development does not alter existing public access or recreation areas in the vicinity as there are none on or adjacent to the property. Moreover, adequate access to public beaches and areas of recreation exist nearby at County and State beaches and accordingly, the site is in conformance with all policies of Chapter Three (3) of the California Coastal Act.
- 3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) because the project consists of additions to an existing single-story, SFD on a residential lot.
- 4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources in that the subject lot is a previously developed parcel zoned for single-family residential development. Additionally, the subject site is surrounded by similar SFD development, and is not located adjacent to parks or recreation areas containing environmentally sensitive habitats and scenic resources, and consequently implementation of the project will not impact such habitats/resources and buffer areas are not necessary.

- 5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that the subject site is a previously improved property located within the established residentially developed community of Monarch Bay. The project proposes additions to a previously constructed SFD and will be in conformance with applicable regulations for geological and erosional forces, flood, and fire thereby minimizing undue risks from these or other hazards.
- 6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that the proposed additions and exterior improvements include finish materials and architecture resulting in a design that is complementary to surrounding development in terms of mass, size and scale, in an area containing an eclectic mix of architectural styles, and where no visually degraded areas exist.
- 7. That the proposed development conforms to the General Plan, Zoning Code applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs in that the proposed project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works & Engineering Services, and conforms with the City's regulations regarding development of SFDs in the RSF 4 Zoning District of the Dana Point Zoning Code, the Residential 3.5-7 DU/AC designation in the Land Use Element of the City's General Plan, and the requirements of the City's Coastal Overlay District.

Conditions:

A. General:

- 1. Approval of this application allows additions totaling 859 square feet to an existing single-story, single-family dwelling located at 169 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
- 2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable

grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.

- 3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
- Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
- 5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

- The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
- The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
- 8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
- 9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
- 10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
- A grading permit shall be obtained prior to any work including demolition activities.
- 12. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
- 13. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
- 14. Separate review, approval, and permits are required for:
 - Fire Sprinklers
 - Site walls over 3'
 - Retaining Walls

B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

- 15. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
- 16. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC, as may be applicable.

The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

17. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.

C. Prior to Building Plan Check Submittal:

- 18. Building(s) shall comply with the 2019 editions of the Building Code with all local amendments.
- 19. This resolution shall be copied in its entirety, placed directly onto a

separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

- Building plan check submittal shall include the following construction documents:
 - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

- 21. Fire Department review may be required. Submit plans directly to the Orange County Fire Authority for their review.
- D. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:
 - 22. Approvals are required from:
 - Planning Division
 - Public Works & Engineering Services
 - Obtain Orange County Fire Authority Approval
 - Obtain "Will Serve" letter from Water District.
 - Provide an SDG&E service work order for proposed service location
 - 23. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
 - 24. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.
 - 25. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved

grading plans and reports.

- 26. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
- 27. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

E. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

- 28. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
- 29. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
- 30. Verification of all conditions of approval is required by all City Departments.
- 31. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division. The final inspection shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

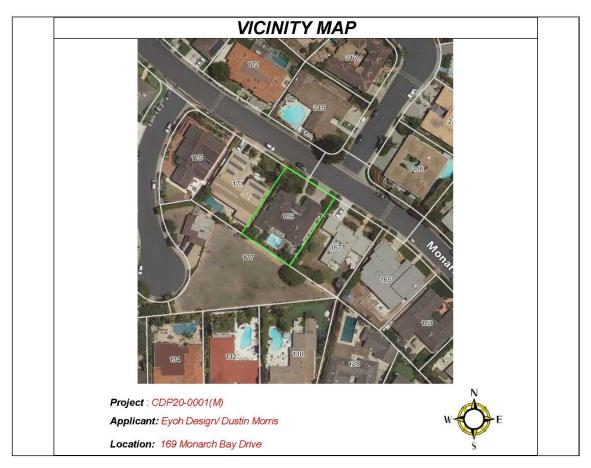
- 32. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
- 33. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.



| PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 9 th day of March 2020, by the following vote, to wit: |
|---|
| AYES: |
| NOES: |
| ABSENT: |
| ABSTAIN: |
| |
| Mary Opel, Chairwoman Planning Commission |
| ATTEST: |
| |
| |
| Brenda Wisneski, Director Community Development Department |
| Community Development Department |

Supporting Document 2: Project Vicinity Map and Site Photos







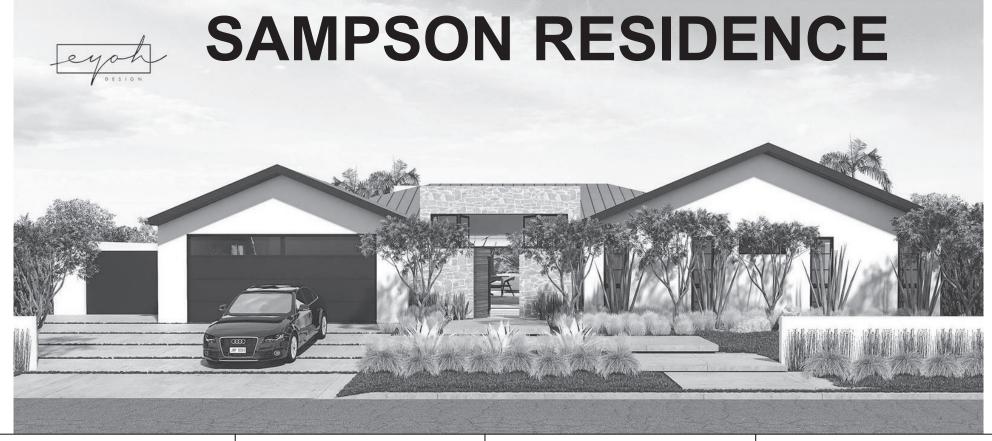




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Supporting Document 3: Architectural Plans

ATTACHMENT



594 S.F. REMODEL AND 859 S.F. ADDITION TO EXISTING SINGLE STORY SINGLE FAMILY RESDIENCE.NEW WINDOWS AND DOORS THROUGHOUT.REPLACE ROOF WITH NEW METTA. ROOF.NEW FRONT ENTRY STEPS AND LANDSCAPING IN FRONT YARD. TITLE SHEET TOPOGRAPHIC SURVEY GENERAL NOTES SITE PLAN

SHEET INDEX

DEMO PLAN

ROOF PLAN

ELEVATIONS FLEVATIONS

ELEVATIONS ELEVATIONS

SECTIONS

FIRST FLOOR PLAN

PRELIMINARY LANDSCAPE PLAN

G1

G2

G3

G4

G5

Α1

A2

Α3

Α4

A5

A7

CODE DATA

SCOPE OF WORK

CALIFORNIA RESIDENTIAL CODE, 2019 EDITION CALIFORNIA BUILDING CODE, 2019 EDITION CALIFORNIA PLUMBING CODE, 2019 EDITION CALIFORNIA BLECTRICAL CODE, 2019 EDITION CALIFORNIA MECHANICAL CODE, 2019 EDITION CALIFORNIA MECHANICAL CODE, 2019 EDITION
CALIFORNIA FINE APERGY CODE, 2019 EDITION
CALIFORNIA FINE CODE, 2019 EDITION
CALIFORNIA FINE CODE, 2019 EDITION
CITY OF SAN CLEMENTES 2019 CALIFORNIA CODE AMENDMENTS
CITY OF SAN CLEMENTES 2019 CALIFORNIA CAL GREEN CODE
TITLE 24, STATE OF CALIFORNIA ADMINISTRATIVE CODE
ALL OTHER APPLICABLE LOCAL, STATE AND / OR NATIONAL CODES
OCCUPANCY; R3/L CONSTRUCTION; VB,

CALGREEN COMPLIANT PLUMBING FIXTURES:

TOLET - MANUFACTURED TO USE LESS THAN 1.28 GALLON

SINGLE SHOWERHEAD - MANUFACTURED TO A HAVE A FLOW CAPACITY OF LESS THAN 2.0 GALLONS OF WATER PER MINUTE AT 80 PSI

INTERIOR FAUCETS - MANUFACTURED TO EMIT LESS THAN 12 GALLONS OF WATER PER MINUTE AT 60 PSI

PROJECT DIRECTORY

OWNER

LOT DESCRIPTION

DESIGNER

DUSTIN MORRIS EYOH DESIGN 1050 CALLE CORDLERA SUITE 102 SAN CLEMENTE, CA 92673 PH: 949.245.8960 EMAL: dustin@eyohdesign.com

STRUCTURAL ENGINEER:

COASTLINE ENGINEERING, INC. HANNAH ROGERS 5927 BALFOUR COURT, STE. 108 CARLSBAD, CA, 92008 (760) 436-1344

TITLE 24:

BEAR TECHNLOGIES CONSULTING, INC. WAYNE AND SEENA SEAWARD 3431 DON ARTURO DR. CARLSBAD, CA, 92010 760.635.2327 wayne@beartechconsulting.com

VICINITY MAP



SITE ANALYSIS

(N) BUILDING FOOTPRINT INCLUDING 4.127 SQFT GÁRAGE (E) LOT COVERAGE 3,153 SQFT (30.27%) PROPOSED LOT COVERAGE 4,127 (39.62%) PROPOSED LANDSCAPE COVERAGE 2,647 (25.41%)

2,607 SQFT

BUILDING AREA: LIVING SPACE

EXISTING RESIDENCE:

DEMO OF (E) RESIDENCE: -7 SQFT ADDITION TO RESIDENCE: + 859 SQFT AREA OF REMODEL OF RESIDENCE: 594 SOFT

AREA OF EXISTING GARAGE TO BE CONVERTED TO LIVING SPACE: +188 SQFT

TOTAL RESIDENCE AREA

EXISTING GARAGE: 546 SQFT ADDTION TO GARAGE: +122 SQFT AREA OF EXISTING GARAGE TO BE CONVERTED TO LIVING SPACE: -188 SQFT

TOTAL GARAGE AREA: 480 SQFT NEW COURTYARD: 176 SQFT BUILDING SET BACKS:

20' - 0" (20'-0" PERMITTED) LEET SIDE YARD 12' - 8-1/2"

RIGHT SIDE YARD 26'- 0-1/2" (25'-0" PERMITTED)

BUILDING HEIGHT 14.21 MAX BLDG, HT, PERMITTED 28 00' PLANS PREPARED BY:

REVISIONS:

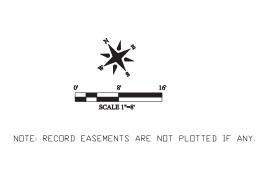
REMODI MONARCHBAY DRIVE DANA POINT, CA SON SAMPS

BAY CA.9

ROJECT NAME: 1/4" = 1'-0"

03.03.2020

G'



| | DESCRIPTION |
|---------------|-------------------|
| (123.45) | MEAS. ELEVATIONS |
| (_) | REC. BRG. & DIST. |
| # | DECK BRICK |
| # | WALL |
| | BUIL DING |
| | PROPERTY LINE |
| — × — × — | FENCE |
| • | BENCH MARK |
| N.G. | NATURAL GRADE |
| P.P. | POWER POLE |
| WM. | WATER METER |
| F.F. | FINISH FLOOR |
| G.F. | GARAGE FLOOR |
| CONC. F.S. | CONCRETE |
| M.H. | FINISH SURFACE |
| М.П. Р | PI ANTER |
| A.C. | ASPHALT |
| T.G. | TOP-GRATE |

LEGEND

ADDRESS OF PROJECT:

169 MONARCH BAY DANA POINT, CA

BENCH MARK: BENCH MARK #3P-35-04 NAVD88 DATUM ELEVATION = 157.96

NAIL ELEVATION = 151.70

LEGAL DESCRIPTION: LOT 120 OF TRACT MAP NO. 3748

JAMES AND VANESSA SAMPSON

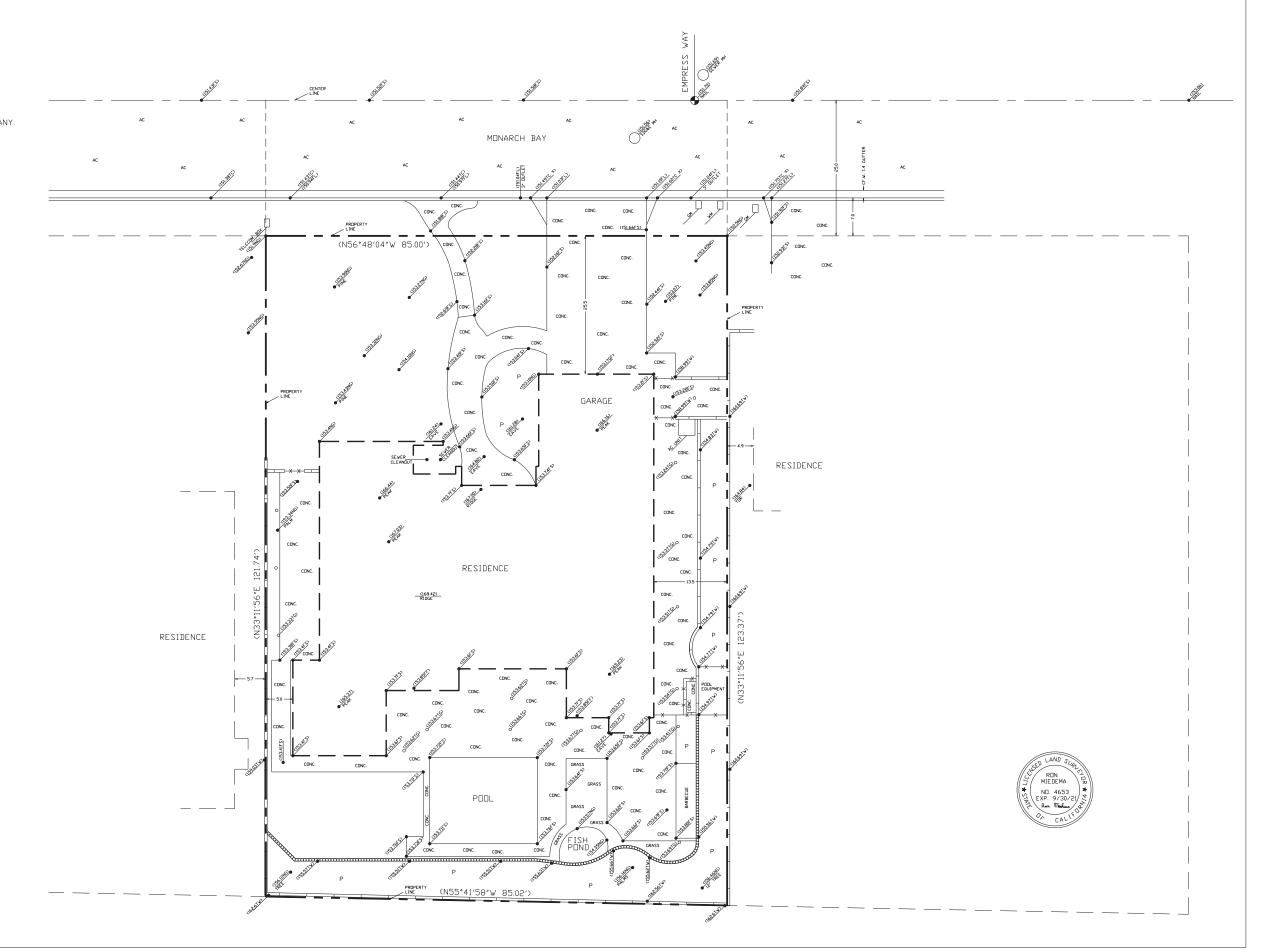
TOPOGRAPHIC SURVEY

J□B: 74-34

DATE: 9/12/19

RdM SURVEYING INC.

RON MIEDEMA L.S. 4653 23016 LAKE FOREST DR. #409 LAGUNA HILLS, CA 92653 (949) 858-2924 DFFICE (949) 858-3438 FAX RDMSURVEYING@CDX.NET



for such discopancies errors or omissions in these drawings and specifications. The energy and specifications in the energy and ener

contractor shall bear all expense of re or replacement in conjunction with the execution of this work. 1200. ADDITION AND REMODELING

The operal and subcontractions shall verify all existing conditions and idmensions as shown or drawins and notify the designer immediately of any discrepancies. Shore and/or the stating framing as required prior to removing existing construction. Plemove after exciting or structure in the stating framing as new supports has been completed,

IVISION 2: SITEWORK

2055. DEMOLITION

Includes removal of existing building, or portions thereof, including foundations and domestic utilities from site as indicated on drawings. Demolition contractor shall be held liable

Demolition contractor shall be held liable for any damage to adjacent public or private properties or structures during demolition and debris removal operations. Remove existing structures or portions thero' as indicated ondrawings. Existing construction to remain shall be adequately protected during all demolition and debris regressed constraints.

protested during all demolition and debris removal operators. All demolition debris shall be removed from site and trasported to a legal durp site per applicable municipal and/or country requirements. Site shall be left in reat and orderly condition after completion of demolition and debris removal operations.

02200 FARTHWORK

Includes all rough grading, excavation, recompaction and trenching to prepare site for construction of structure(s). Grading work shall be complete in ever detail including all incidental items and detail including all incidental items and procedures for a proper job. See Foundation Plan for soil despin pressure data character of sail. All earthwork and grazing shall be chaducal per soil of the presonal noted in the project directory on the front sheet of this set of dawning. See soils report for list of special inspections. Utility trench and relating wall backfilling.

Utility trench and retaining wall backfilling shall be executed as specified in soils report report.
Soils Engineer shall verify that

Soils Engineer shall verify hat coordance with construction at side is in accordance with the recomendations and conclusions contained in the soils report. Before any concrete is placed, excavations shall be checked and approved by a qualified soils engineer to insure compliance with the requiremnts of the soils report.

20. PORTLAND CEMENT CONCRETE PAVING:

paced over a minimum or 3 mones or cleans and bedding. Slabs shall be formed and finished to slope as indicated on Drainage/Grading Plan to within 1.4 inch of specified alexations. elevations. All slabs shall receive light broom finish

unless otherwise noted on drawings. Expansion, construction, and control joints shall be placed as indicated on drawings or at intervals to divide slab into maximum 400 sq. ft. / 8 lin. ft. sections.

Lardscape drains, area drains and catch basins shall be provided with gratings or screens to prevent the entrance of foreign materials or debris into drainage system(s). Plumbing contractor shall furnish and install: a. Copper water service from building to

install: a. Copperwater service from building to gate valve at meter (ferrous water piping not permitted below grade). b. Sewer line from building to property

line.
c. Natural gas service piping.
Electrical feeder conduits shall be
concrete encased per utility company
requirements. Supply and placement of
conduit(s) in trenches and connection to
service by Electrical Contractor.

s ervice by Electrical Contractor. Natural gas service piping materials and installation shall be in accordance with utility company requirements. Site utility piping shall be installed per applicable utility company requirements. Trench backfilling materials and methods shall be in accordance with sols report specifications when applicable.

02830. FREE STANDING WALLS AND FENCES:

Wood fenses shall be constauded of selveod, cedar or other wood of natural resistance to desire wood of natural resistance to desire. He had not He had been to desire or the desire or the noted therewise or drawings. Wood fenses shall be constauded in such a manner as to creating study and plumb under normal study and plumb under normal wear and lear.

DIVISION 3: CONCRETE

-SEE STRUCTURAL DRAWINGS FOR STRUCTURAL CONCRETE SPECIFICATIONS...

03505. NON-STRUCTURAL LIGHTWEIGHT CONCRETE:

c-15-07-2
Agreeades shall conform to ASTM C-3-03
for lightweight concrete.
Floor-sheafing shall be swept dean and
fee of debrie, standing water or foeign
matter immediately prior to undersyment
installation.
The shall be shall b

03510 GYPSUM CONCRETE UNDERLAYMENT Material shall be "Gyp-Crete" as manufadured by Gyp-Crete Corporat equal. Install per manufadurer's recommendations to final thickness

indicated on plans.
Floor sheathing shall be swept dean and free of debris, standing water or foreign matter immediately prior to underlayment.

Underlayment shall attain a final compressive strength of 1000 psi minimum

DIVISION4: MASONRY

-SEE STRUCTURAL DRAWINGS FOR STRUCTURAL CONCRETE SPECIFICATIONS-

O4270. GLASS MASONRY UNITS; Glass block shall be as manufactured by

Pittsburgh Coming Corporation, or equal-verify siyle with Designer. Expansion joints shall be provided at edges of glass blook panels at he sides and top with aminimum thickness of 1/2 inch.

Glass block panels shall have mortar joints minimum 3 inches wide and mortared minimum 3 inches wide and mortared edges of units shall be treated for proper mortar bonding. Courses shall be level and true, and face of panels shall be flush and neatly finished with no depressed or projecting units

DIVISION 5: METALS

—SEE STRUCTURAL DRAWINGS FOR STRUCTURAL CONCRETE

05500. METAL FABRICATIONS;

Fabricated steel handrails and guardrails shall be other architectural metal fabrications such as constituted and installed as indicated on drawings. Handrails and guardrails shall be constituted of minimum Grade 40 seel. constructed of minimum Grade 40 steel. Fabricator shall submit shop drawings to Designer of balconies, decorative grilles window grilles, etc unless specifically detailed on drawings. Metalwork surfaces to be welded shall be

Metalvork surfaces to be wered sharing free of any paint, grease, loose scale and foreign matter. All welding shall conform to AWA standards. Fabricator shall deliver finished components painted with a minimum of two

—SEE STRUCTURAL DRAWINGS FOR STRUCTURAL CONCRETE SPECIFICATIONS—

06200, FINISH CARPENTRY

Install all bath and washroom accessories. Fabrications and installations by this section shall be clean and neat, and free of tooling marks, scratches or other defacements of finished, visible surfaces.

02520. PORTLAND CEMENT CONCRETE PAVING:

All fasteners in architectural woodwork shall be countersunk and plugged or filled to match surrounding firish surfaces unless noted otherwise on drawings Pre-manufactured casework shall be o manuraciumo casework. stalled permanufacturer's commendations

recommendations.
This section shall install all plastic laminat countertops or shall provide and install playwood counter top base to receive tile or stone work where indicated on plans.
Finish carpentry shall be adequately

DIVISION 7: THERMAL AND MOISTURE PROTECTION

07180. WATER REPELLANT MATERIALS:

SHEET METAL FLASHING AND TRIM;

Roof attic vents shall be of size and quantity indicated on drawings, 14 Inch qualvarized wire mesh screened. Copperfashings shall be minimum 16 cc. uncasted workmalike mamer in compliance with standard industry during roofing operations. All sheet metal flashings shall be installed.

GENERAL NOTES

08305. ACCESS DOORS:

Batt thermal insulsion: 'CertainTeed Foil Faced' or equal in R values included on drawings. Batt insulation products shall be installed to completely fill all voids in framing and shall be securely affaired so as to ending finish place until wall, not or celling finish Batt insul den shall be installed at all interior partitions.

See section 07/20 for met all flashings, veries and other sheet met al accessories for installation by this section. Roofing fels: Georgia Particle 9-30 Roofing fels: Georgia Particle 9-30 meet or exceed ASTIM D-4869-05601. Installershall verify and insure hat roof deck is clean, solid and free of vides or protections and otherwise ready to recieve Roofing tiles shall be restalled per all

DIVISION 8: DOORS AND WINDOWS

"150. WATER REPELLANT MATERALS:

Exposed, unstained routh sawn wood:

"Thortson's Water Seal Waterpoorting
Formal's or equal in two applications, first
a railed of 100 square feet per calloring
capation."

Spots of 150 square feet per capation.

Smooth, unstained wood: "Thortson's
Water Seal Waterproofing Formula" or
equal in two applications, first at a raile of
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon, second at a raile
200 square feet per gallon,
200 square feet

Underslab vapor barrier: Glass fiber renforced polyethylene sheet. Shall meet or exceed ASTM E-69 (F-58M-65 per referenced code requirements. Fire sprinkler spatial shall be installed permatrial actures recommendations for specific applications.

07320, ROOFING TILE:

ng tiles shall be installed per all acturer's recommendations usin

07510 BUILT-UP BITUMINOUS ROOFING:

For BULT-UP BITUMINUS ROOFING:
Further and resist Class A styll up
bluminous roofing and tallast at areas
indicated on dewings Roffing system(s)
shall be complete in every detail, including
all incideral latems for a proper, waterfairk,
functioning installation, installation by this
all incideral latems for a proper, waterfairk,
functioning installation installation by
functioning installation by this section
flat mins for installation by his section
flat mins for installation by his section
flat ment of the type il aspiral.
Ballast shall be orushed the or colored
consider for Color as indicated on
maked roof. Color as indicated on
this section shall furnish and install 3 not
file sections with vertical surfaces.
Sort deet, shall be swent clean of debrits.
Kord deet, shall be swent clean of debrits.
The section shall for the roofing installation.
Care shall be taken not to dramaper or
deface otherwork during roofing operations
of deface otherwork during roofing operations.

All sheet metal flashings shall be insalled in practices to insure a dean rure to line, wateright jido. Sealants and caulking shall be insalled in comunation with sheet metal flashings where applicable.
Roof accessories or flashings insalled on roof planes shall be painled to match roof material.

Door and fame assemblies shall be delivered free of efects in material or workmarship. Fire fated doys as indicated on drawings. Fire fated doys as indicated on drawings. Fire fated doors shall be provided with smake gaskets at head and airbs, and approved type seal at threshold. Exterior doors shall be truly weathershipped to prevent air infiltration. Metal heads of the fire fated and exterior doors shall be truly weathershipped to go the fate of the fate o

being accessed.

Doors shall be placed solidly in opening and door leaf and hardware shall have free

08505. METAL WINDOWS AND SLIDING DOORS

Furnish atumhum frame whdows and sliding glass doors of size, type and quantity indicated on drawings. Whdow and door assemblies and hardwarep zakages shall be complete in every detail including all incidental items for a proper and functioning histallation.

Hardwareshall be as manufactured by Schlage Lock Company "E Series" or --- Seedrawings or consult General

components painted with a minimum of two coats of rust inhibitive primer. Fabrications shall have all required fastening points ready to re deve fasteners upon delivery to site.

DIVISION 6: WOOD AND PLASTIC____

Access doors shall be weathertight at exterior applications and shall have provision for locking when accessible to s doors placed in fire rated walls or

partitions, where permitted shall be of appropriate fire resistance for application and shall bear U.L. label. Access doors shall be placed to allow for proper working space to service items being accessed.

Hardwareshall be las maria accuracy as Schlagle Look Company 'E Sense' or agual. See drawings or consult General Contrador for solyle and finish. Hardware slybes and place the solyle and solyle and

Spedicators beren shall apply to all door and window plazzon. All windows and shall be all windows and shall be all windows and shall be all windows and plant riles all shall be properly calcidators. All gizzon shall be properly sealed in sash to prevent husbon of wind, water or particulate matter. Dust plazzon and shall not be mit condensation formation of matter than the properly shall be all the proper

ntenor sides of panes.
Safety Glazzing, subject to the
following specifications shall be certified
and labeled by
Safety plazzing, where required, shall be
tempered or laminated plass.
C. Safety glazzing shall be required as
follows:

i, Glazing in ingress and egress doors I. Glazing in Ingress and egress doors except jalcusies, except jalcusies, iii. Glazing in fixed panels and sliding or swinging panels of sliding or swinging-type doors other than wardrobe doors.

III. Glazing in storm doors.

V. Glazing in all unframed swinging doors.

V. Glazing in shower and bathtub doors and

azing mislower and campb do osures. lazing, operable or inoperable, oentto a vi. sizerna, cerable or inoperable, adjacent to a visual supposed of the dealing is with the part of the dealing is with the part of the dealing is of the dealing is a closed position and where the bottom bottom exposed edge of other dealing is less than 60 inches above the valking surface. In which that fixed or operable parts, it deals that the covered by less of 9 square feet, the exposed bottom edge is less than 18 inches above the 10cr, the exposed that the covered by the surface of 9 square feet, the exposed bottom edge is less than 18 inches above the 10cr, the exposed the floor, and one or more walking surfaces are within 36 inches horizontally of the plane of the glazing.

DIVISION 9:FINISHES

 Furnish and install all fiber glass reinforced
 wherein plaster, lath, joints. ii. Furtish and in statil air their gess teirn robor portiand carrier testerior pissier, lath, joints, beading and wire accessories, required flashings, peper backing, etc. Plaster finish system shall be complete in every detail including all indidental tierns for a tue, proper and functioning installation. All work shall conform to applicable codes listed on title sheet of the plans.

SECTION 15400, PLUMBING

drawings.
h. Fuel gas piping shall be black pipe (steel) and shall meet all code requirements for underground piping.

penings and passageways clear. No hi openings will be allowed in, nor shall

or openings will be allowed in the local — equipment, ducts or pipes be supported from any structural member without write consent of the Structural Engineer. Coordinate the locations of all d'fusers resisters and grilles with other work.

egisters and grines with other work ndicated on the drawings. This section shall hook-up all electrically

serviced: hstall thermostats as indicated on drawings at 60 inches above finish floor. Upon completion and testing, provide Owner with operation and maintenance instructions for all equipment.

15740. AIR CONDITIONING EQUIPMENT

Foundation of the complete in very detail including all incidental tems necessary for proper installation. Temperature control system shall consider the control system shall consider the control system shall consider the control system of the control system shall be control device shall be provided for each separate HVAC system and/or zone.

15600 FURNACES:

SECTION 15440. PLUMBING FIXTURES

Fumish and install residential fire sprinkler system per referenced code requirements. Fire sprinkler system shall be complete in every detail notuding all nocidental items for a proper and functioning installation.

2. Installer shall take care not to over any electrical, mech anical, purphing or verifilation boxes, outlets or subbouts. Failure to do so shall render the Plaster Contrador responsible for required alterations and repairs consumed alterations and repairs.

3. Water used in plasterwork, shall be clean and refer form intrations amounts of oil, acidakali, organic matter or other harmful substances. 4. Ligh a well-off surfaces shall be CHL ashall. "Shock" of Plast Plaster to State CHL ashall No. 16 pagae x 75 flow their spaties at 6 in whes oncentes unless noted otherwise on Sheer Panal's chedule (see Stuductural drawings).

5. Ligh at horizontal surfaces shall be 38 Inch high ribbed. .. Basic materials: a.Cleanouts shall be ASME approved with a. Cleanous shall be ASME approved with plastic rims. Shall be ASME approved with be taken to 1.00 or the shall be taken to 1.00 or the shall be taken to 1.00 or the shall be type. Copper this legislon device. Copper this pistule be type L hard drawn for above slib installations. d. Copper this nin belowed she installations shall be type K with plastic shealthing a corriad with concrete e. Fittings for copper tubring shall be e. Fittings for copper tubring shall be wought or case copper, standard weight. ngn nobed kraft paper backed, galv arized expanded metal Lath shall be attached to all structural frame members with No. 16 gauge x 7/8 inch leg staples at 3 inches oncenters. 6. Corner bead shall be installed firmly and true 6. Corner beadshall be installed firmly and true to line to provide stright, consistent corners.
7. Expansion and crack control joints shall be pleaded to limit hits, continuous pleater panels to maximum 400 square feet in area. Review drawings to veryify special placement or arrangement of joints indicated. If any, Prior to pleasement of pleasement and pleasement of pleasement and pleasement of pleasement of pleasement pleasement of pleasement pleasement of pleasement pleasement of pleasement pleasement pleasement pleasement pleasement of pleasement pleasemen f. Brass piping shall conform to ASTM B-43-98 (2004) B-43-98 (2004) seamless red brass pipe, standard sizes g. Sanitary soil, waste and vent piping and fittings shall be ABS plastic u.n.o. on plaster into them 8. Inside comers of plaster surfaces shall be

09260 GYPSUM BOARD SYSTEMS

Fumish and install all gypsum wallboard and accessories as indicated on drawings. Gypsum board installation shall be complete in every detail including all items for a proper and functioning installation ready to re requirements
installer shall take care not to cover any
electrical, mechanical, plumbing or
ventilation boxes, outlets or stub-outs.
Failure to do so shall render the Drywall
Contractor proporties for contractor.

oramings, and strail be responsible for achierence to and remedy of departures from, these specifications Gypsum board materials and accessories shall conform to applicable code requirements. Accessories and Finishing Materials:

a. Nails shall be 8d cooler nails placed at 8 inches on centers unless noted otherwise ondrawings.

b. Screws shall conform to code
requirements and be long enough to
penetrate into wood framing a minimum
of 5% inch.
c, Casing bead shall be utilized at all edges

fastened with screws. Ceiling material shall be installed using screws. All material shall be placed with long dimension of sheets perpendicular to

umerision o sneess perpenaionar or framing or supports. All face joints of uppsum wallboard shall be taped and nais coated. All taping and nais shall be coated twice, in separate operations, or more if required, and shall be sanded to asmooth, uniform finish if necessary. All joints shall be tight-fitting, and material had see the constead or deformed during or shall not be crushed or deformed during after installation. All materials shall be delivered to site in good condition and free of defects. All

guod conduton and free of defects. All materials shall be new. Materials shall be stored in such a manner that they will not be damaged by the elements or other trades prior to installation. 09900 PAINTING:

DIVISION 10: SPECIALTIES

I. I. I. Interiorwalls and cellings shall recieve minimum two coats as required to obtain proper over age over one out PVA sealer as indicated on drawings. 2. Painting contractor shall proted existing constauction from painting operations and shall be liable for damage to any otherwork.

10305, MANUFACTURED FIREPLACES Furnish and install manufactured fireplace

and flue system(s) as indicated firep and flue system(s) as indicated on drawings per manufacturer specification Final installations shall be complete in every detail. 10800, TOILET AND BATH ACCESSORIES

11450. RESIDENTIAL EQUIPMEN

DIVISION 11: FOURMENT

DIVISION 12: FURNISHINGS

Furnish appliances as indicated on drawings. Gas fired appliances shall have intermitten traition devices.
 Plumbing and Electrical contractors shall provide hook- up to utility service as applicable.

12100. Consult Designer for any special requirements

DIVISION 14: CONVEYING SYSTEMS

Furnish towel bars, tollet paper dispensers, etc. in all bathrooms and tollet rooms. Verify items and placement with owner and designer.

S800. AIR DISTRIBUTION.

Furnish all rind and flexible duriver's elective, firmings dust insulation, diffusers are the second of as an articular.

Duct supports

a. Rectangular ducts with a maximum sinot exceeding 30 inches shall be suppor
by 1 inch wide, 18 gauge galvanized stestrans.

15880 AIR DISTRIBUTION:

straps. b. Rectangular ducts with a maximum side of more than 30 inches shall be supported by 1 inch wide, 16 gauge galvanized steel straps. c. Round, rigid ducts shall be supported by 1 inch wide galv anized steel straps equal to gauge of ductwall, minimum. d. Vertical rigid ducts shall be supported by Ductwork access panels shall be airtight,

nc coated sash locks utilizing locking ature to keep door airtight. "Duro-Dyne received to the property of th

round ducts constructed of 22 gauge galvanized steel and "Duro-Dyne" KS-145L hardware, or equal, for dampers not larger than 10 inches; 20 gauge with "Duro-Dyne" than 10 inches 2 gable with Duto-University and 18 gauge with "Duro-Dyne" KS-385. hardware for dampers over the MS-385. hardware for dampers exceeding 20 inches in diameter.

Duct sealant shall be "Tuff-Bond" No.12 Dus seatht shall be "Turt-Bond" No.12 (buns Ningber based) as manufactured by Goodloe E. More ho. or equal. Diffusers and Registers a. Ceiling orwall mounted return and exhaust air registers shall have baked ename! finish and opposed blade damper. b. Wall and ceiling registers shall be adjustable louver type and painted to maich wall finish.

15950 CONTROLS:

Furnish thermostats low voltage transformers, remote controls, outdoor bulb relays, labels, nameptates, low limit electrical switches, controls, etc. to provide electrical switches, controls, etc. to provide for a complete installation. Control devices and systems shall be complete in every detail including all Items necessary for a proper and functioning installation. 1 rawings. 2. Plumbing fixtures shall be Kohler or equal. √erlfv selections with owner and designer.

5500, HEATING, VENTILATING AND AIR

Funish and install HVAC systems and equipment including but not limited to: Air conditioning units exhaust fass all ripid and flexible dudwork and fittings, diffusers engisters, entitled admapers, fucers duct insulation, control systems, flashings freescoping, lebeling and teaching, partina part factory prefabricated packages, all in-tion and low voltace withing and conduit that forms a part of the HVAC systems and condensate piping. TESTING, ADJUSTING AND BALANCING: Perform all tests to the satisfaction of the Owner and the General Contractor. HVAC Systems: a Miter completion of the work, lest and requitate all hearing, vertilating and air systems to provide proper and comfortable air volume or an olded or drawings. Adjust appraisus and duct dampers to secure of the state of the state of the state property of the state of the state required by the Owner or General Contractor learner or smaller pulses shall be forms a part of the HVAC systems and condensate polyshall be complete in every HVAC systems shall be complete in every HVAC systems and the term for a proper and fund inclination in stallation. Whether shown and travalings ornat, all dust and conduct penetrations through lifer and conduct penetrations through lifer and conduct penetrations through lifer and conduct fire story, the dampers and/or and conduct fire story, the dampers and/or fire rating before the penetration. See Section 07270, for permitted sealant materials/systems.

installation.
Thermostats shall be Honewell, or equal, and shall permit ready and positive acting and entirely free from any objectionable noises, 15990.

16010. GENERAL; materials/systems.
Systems halled by this section shall be tested and corrected for proper functioning assouthed in Section 1990.
The locations of appraiatus and equipment indicated on drawings are approximate. Install piping, duds replikers diffusers and equipment in such a manner as to avoid all dostructions, preserve headroom and keep openions and passengeway clear. No holes premises and passengeway clear No holes described in the control of the control o Install all electrical work on site for power and lighting, including service to mechanical systems and equipment requiring electrical service, as indicated on

DIVISION 16; ELECTRICAL

requiring electrical service, as indicated or drawings. Electrical systems shall be complete in every detail, including all incidental items for a proper and fundicing in shallation. A required permits and inspections shall be obtained and paid for by Electrical Contration. Contractor.

Provide temporary power and lighting during construction. Remove temporar wiring upon completion of the project. Temporary services shall be as required by code and OSHA.

Ground continuity shall be maintained throughout the electrical system. Consult code for applicable requirements. The Electrical contractor shall furnish and install all necessary electrical powerwire. for the heating and air conditioning systems, including disconnect switches and internal power wiring of the units. Electrical Contractor shall arrange with utility company for the installation of part of contractors.

t s). rical Contractor shall arrange with none company to provide service to the premises Provide 3/4 inch x 20 foot long ufer ground

the premises that y 20 foot bing ufer ground from the 3th in the 25 foot bing ufer ground from the 3th in th over tross shown on the electrical drawfars. All Alluments: Upon completion of all electrical work, the Electrical Contractor shall arijus and electrical southers, switches lights and electrical equipment. Bens fixtures and parts in need of correction and discovered during such testing shall be immediately repaired or replaced with all new equipment and that part of the system shall then be relessed. All such replacement or repair shall be chose also additional cost to the owner.

16050 FLECTRICAL DEVICES

Fumish all electrical switches outlets, boxes etc. to complete job. Devices shall be complete in every detail including all incidental tiens necessary for a proper and incidents pissallation.

All outlets shall be mounted at 12 inches above finish from except at kitchen and bath outniertops, which shall be mounted at 42 inches above finish from and at 42 inches above finish from and at

and all garage [and warehouse] outlets shall be equipped with a ground fault

All switches shall be mounted at 48 inche

Conduis stall le or qu'avaitage siere in indig dalvanized steel where subject to mechanical d'arrages, such as in mechanical spaces. localed in sidrs or located below 8 feet of finish grade or waking surface and exposed, finish size of conduit in or under floor sidr(s) shall be 34 inght. Thin wal sized flostible conduits or used for connection to recessed lightning.

maintenance. Flexible aluminum conduts are not permitted. All conduts shall be concealed from view wherever practical. Electrical Contractor shall notify Designer if concealment can not be obtained. Conduts and wiring in cellings shall be self surportion and in moves whall be

16120 CONDUCTORS:

Furnish all conductor m assemblies for completion of job.

Conductors shall be complete in every

Conflucions shall be soft-drawn copper and very shall be soft-drawn copper and be insulated with 600 vot, 75 degrees certificate do de grade insulation. All conductors #80 AWG and larger shall be made up of shared single conductor in sulation as applicable. Conductors in underground conducts and service and shall have TH-MVN or TH-MVN insulation as applicable. Conductors in underground conducts and service enfance conductors and these AVM-MVN or TH-MVN insulation.

16400, ELECTRICAL PANELS;

Furnish all electrical power and or lighting panels to complete job. Panel systems shall be complete in every detail including all items necessary for a proper and functioning installation.

Furnish all interior and exterior luminaries as indicated on drawings. Luminaries shall be complete in even deal including all incidental items necessary. All lighting fixtures shall have lamps installed. All recessed incandescent fixtures installed in gyrsumboard cellings shall be equipped

For all custom or special lighting fixtures, or where Fixtures installed in fire resistive walls and ceilings
5. All lighting fixtures shall be U.L. listed.

16700, COMMUNICATIONS SYSTEMS;

@ AT SPACING ON CENTERS

A.B. ANCHORBOLT

AC. AIR CONDITIONER

AC AIR CONDITIONER

ANOD, ANODIZED

ASSY: ASSEMBLY

B.BOTTOM

BEL. BELOW

BELW BELOW

BD BOARD

BLDG.BUILDING

BLKG. BLOCKING

BLK-BLOCK

BM-BEAM

вотвоттом

B.S. BOTH SIDES

BSMT-BASEMENT

CL-CENTER LINE

CAB CABINET

CAP CAPACITY

CER-CERAMIC

C.F. CUBIC FEET

C.I. CUBIC INCHES

C.J. CONTROL JOINT

CMU CONCRETE MASONRY UN

CLO-CLOSET

CNTR. COUNTER

C-O-CLEAN OUT

CONC. CONCRETE

CORR-CORRIDOR

CTR CENTER

CU CUBIC

DET-DETAIL

D.F. DOUGLAS FIR

DIA, DIAMETER

DIAG DIAGONAL DIEE DIEE ISER OR DIEEERING

DIM DIMENSION

D.S. DOWNSPOUT

DWG: DRAWING

E.F.S. EXISTING FINISH SURFACE

ELEC.ELECTRIC OR ELECTRICAL

E.G. EXISTING GRADE

E.J. EXPANSION JOINT

#

#

ID

PAGE

PAGE

DR. DOOR

DTL-DETAIL

E EAST

EA-EACH

COMM-COMMUNICATION

CONST. CONSTRUCTION

CONT. CONTINUOUS OR CONTINUE

CONN. CONNECTOR OR CONNECTION

CONT. CONTRACT OR CONTRACTOR

COL COLUMN

C.I.P. CAST-IN-PLACE

CAT CATALOG OR CATEGOR

CEM-CEMENT OR CEMENTITIOUS

ARCH. ARCHITECTURAL

ADI ADIISTABLE

POUNDS OR NUMERIC VALUE

(##) NUMBERS IN PARANTHESES INDICATE EXISTING FLEVATIONS

A.F.C.I. ARC FAULT CIRCUIT INTERRUPTER

16110. CONDUITS;

Furnish all flexible and rigid conduits to complete job. Conduit systems shall be complete in every detail including all litems necessary for a proper and functioning installation. Conduits shall be of galvanized steel or cited networked steels to find networked steels.

used for connection to recessed lichting fixtures, motor connections and in areas where installation of rigid conduits are not practical or where movement of the item is required due to with all or for maintenance. Flexible aluminum conduits

16500. LIGHTING FIXTURES:

Furnish all communication devices as Furnish all communication devices as indicated on drawings, including but not limited to: Door chime system, cable television outels and wining, infercom systems, etc. Communications systems shall be complete in every detail including all incidental items necessary for a proper and functioning installation. **ABBREVIATIONS**

ENGL: ENGLOSED OR ENGLOSURE

FO. FOLIAL

EQPM-EQUIPMENT

EXH-EXHAUST

EXST. EXISTING

EXSTG. EXISTING

EXT. EXTERIOR

F.A. FREE AREA

E D. ELOOR DRAIN

FERR. FERROUS

EG ENISH GRADE

F.H. FIRE HYDRANT

FIX FIXTURE

FL. FLOOR

FLR-FLOOR

F.O. FACE OF

FIXT: FIXTURE

F.H.C. FIRE HOSE CABINET

FLSHG: FLASH OR FLASH NO

FLUOR: FLUORESCENT

F.O.S. FACE OF STUD

F.O.W. FACE OF WALL

FRZR. FREEZER

FT: FOOT OR FEET

GALV GALVANIZED

GEN GENERAL

H: HORIZONTAL

HD-HEAD

HDR-HEADER

HGT: HEIGHT

HDWR: HARDWARE

HOR, HORIZONTAL

H.P. HIGH POINT

HR. HOUR

HT-HEIGHT

HTR HEATER

IN: INCH

INSUL-INSULATION

K DEGREES KELVIN

LAV-LAVATORY

IB POUND

LBS: POUND

S LEV-LEVER

LG. LONG

WINDOW MARKER

DETAIL MARKER

BUILDING WALL SECTION MARKER

INV. INVERTOR INVERTED

JAN: JANITOR OR JANITORIAL

LAM: LAMINATE OR LAMINATE

LAT. LATERAL OR LATITUDINAL

HVAC HEATING, VENTILATING AND AIR

I.D. INSIDE DIAMETER OR DIMENSION

IDEN: IDENTIFY OR INDENTIFIER

G.B. GYPSUMBOARD

G.I. GALVANIZE DIRON

GL.GLASSOR GLAZING

GR. GRADE OR GROUND

G.S.M. GALVANIZED SHEET META

FTG. FOOTING

G. GRADE

GA. GAUGE

F.R. FIRE RETARDANT OR FIRE RESISTAN

F.S. FINISH SLAB OR FINISH SURFACE

G.E.I. GROUND FAULT INTERRUPTER

F.A.U. FORCED AIR UNIT

F.E. FIRE EXTINGUISHER

F.E.C. FIRE EXTINGUISHER CABIN

E.T.W. EXISTING TOP OF WA

ENGR-ENGINEER OR ENGINEERING

LIN: LINEAL OR LINEAR LP: LOW POINT L.P.G. LIQUEEED PETROLEUM GA LSCP: LANDSCAPE LTG: LIGHTING LVR-LOUVRE MACH - MACHINE

MAX, MAXIMUM

MIN: MINIMUM

MTG: MEETING

MTL METAL

MTR-METER

NO: NUMBER

NOM: NOMINAL

NUM: NUMBER

OCC-OCCUPANCY

O.H. OVERHANG OR OVERHEAD

OFF- OFFICE

OPP-OPPOSITE

OVHD: OVERHEAD

PART PARTITION

P.C. PIPE COLUMN

PERF, PERFORATED

PLMBG: PLUMBING

PLST. PLASTER

PLSTR.PLASTER

PLY PLYWOOD

PNL-PANEL

PR-PAIR

PLYWD, PLYWOOD

R. RADILIS OR RISER

RAG. RETURN AIR GRILL

RAD: RADIUS OR RADIAL

RECC: RECCOMENDATION

REINF-REINFORCEMENT

R.A. RETURNAIR

R.D. ROOF DRAIN

вм воом

RNG. RANGE

RT-RIGHT

SSOUTH

R.O. BOLIGH OPENING

SCHED: SCHEDULE SCRN-SCREEN

S.F. SQUARE FEET

SERV.SERVICES

SHTG, SHEATHING

KEYNOTE MARKER CORRELATES TO NOTES LISTED IN COLUMN ON THAT PAGE ONLY

ROOM IDENTIFIER

INDICATES ROOM NAME

ROOM WALL INDICATOR

ROOM NUMBER AND CELLING HEIGHT

SM-SIMILAR

ROOM NAME

100

CLG: 8'-0"

DRAFTING SYMBOLS

HT-SHEET

ROMTS: REQUIREMENTS

PL. PLATE

PLA PLASTIC

P.C.C. PRE-CAST CONCRET

N NORTH

STRUC STRUCTURAL SUSP-SUSPENDED SYMM-SYMMETRICA T.O.S. TOP OF SLAB OR SHEATHING MECH: MECHANICA T. TREAD OR TOP MEMB MEMBRANE T&R TOP AND BOTTON MEMBR. MEMBER T.F. TOP OF FENCE MEZZ: MEZZANINE F&G TONGUE AND GROOM TEL: TELEPHONE TH. THICK OR THICKNESS MISC. MISCELLANEOUS MIO MASONEY OPENING THE THICK OR THICKNESS MTD: MOUNTED

SQ:SQUARE

SQR-SQUARE

STD: STANDARD

STOR: STORAGE

STLISTEEL

S.S.STANLESS STEEL

THRU THROUGH T.O. TOP OF T.O.W. TOP OF WALL T.W. TOP OF WALL TYP-TYPICAL N.F.A. NET FREE AREA V.VERTICAL N.I.C. NOT IN CONTRAC /ER:VERSION OR VERIFY VERT-VERTICA LIVEST-VESTIBULE N.T.S. NOT TO SCALE V.TR. VENT THROUGH ROOF V.T.W. VENT THROUGH WAL W/O WITHOUT

O.D. OUTSIDE DIAMETER OR DIMENSION W. WIDTH W.C.WATER CLOSET WD-WOOD W.P. WEATHER OR WATER PRO WDW - WINDOW WGT-WEIGHT WID WIDTH WT: WEIGHT

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03.03.2020

PLANS PREPARED BY

DATE

REVISIONS:

D.MORRIS

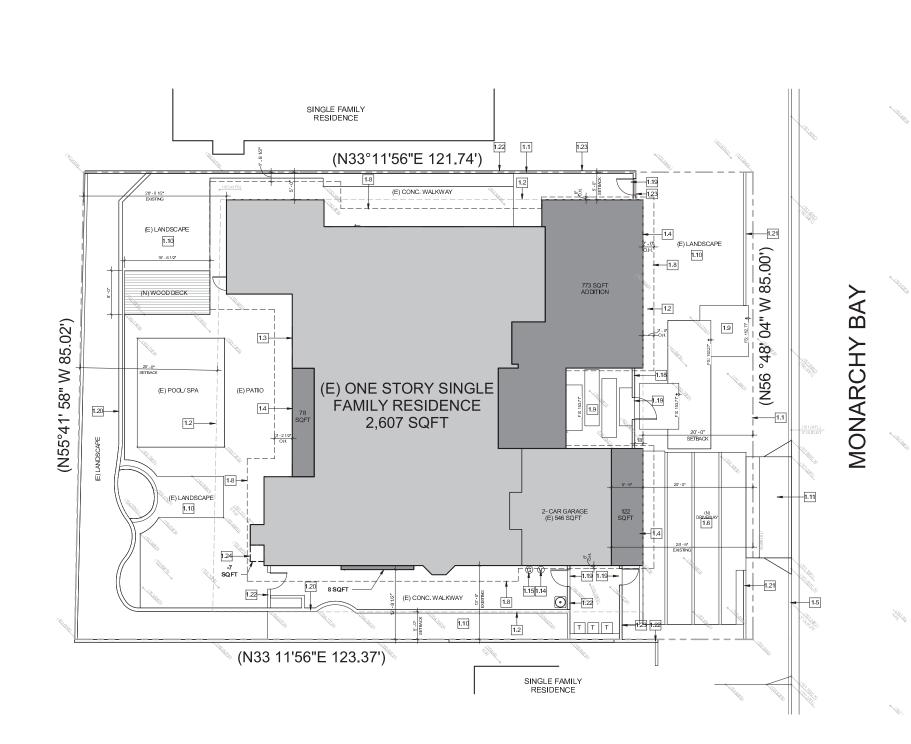
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169

ROJECT NAME:

G3



SITE PLAN NOTES

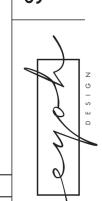
- 1.1 PROPERTY LINE
 1.2 SETBACK LINE
 1.3 LINE OF EXISTING BUILDING FOOTPRINT
- 1.4 AREA OF NEW BUILDING ADDITION
- EXISTING CURB AND GUTTER TO REMAIN
- 1.6 NEW CONCRETE DRIVEWAY1.8 LINE OF ROOF OVERHANG
- 1.9 NEW CONCRETE PAVERS
- 1.10 EXISTING LANDSCAPE AREA
- 1.11 EXISTING DRIVEWAY APRON
- 1.14 EXISTING ELECTRICAL PANEL 1.15 EXISTING GAS METER LOCATION
- 1.18 NEW 5'- 6" WALL W/ LIMESTONE FINISH
- 1.19 NEW WOOD GATE
- EXISTING RAISED PLANTER TO REMAIN
 NEW LANDSCAPE WALL W/ STUCCO FINISH 3'-6" MAX ABOVE F.S.
- 1.22 EXISTING SITE WALL
- 1.23 NEW 6'-0" WALL W/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- 1.24 EXISTING AREA TO BE DEMOLISHED

1050 CALLE CORDILLEF SAN CLEMENTE CALIFORNIA 92673 (949) 218-4110

PLANS PREPARED BY:

REVISIONS:

SAMPSON REMODE 169 MONARCHBAY DRIVE DANA POINT, CA



SAMPSON RESIDENCE 169 MONARCH BAY DRIVE DANA POINT, CA. 92629

SITE LEGEND



EXISTING BUILDING FOOTPRINT



AREA OF NEW ADDITION



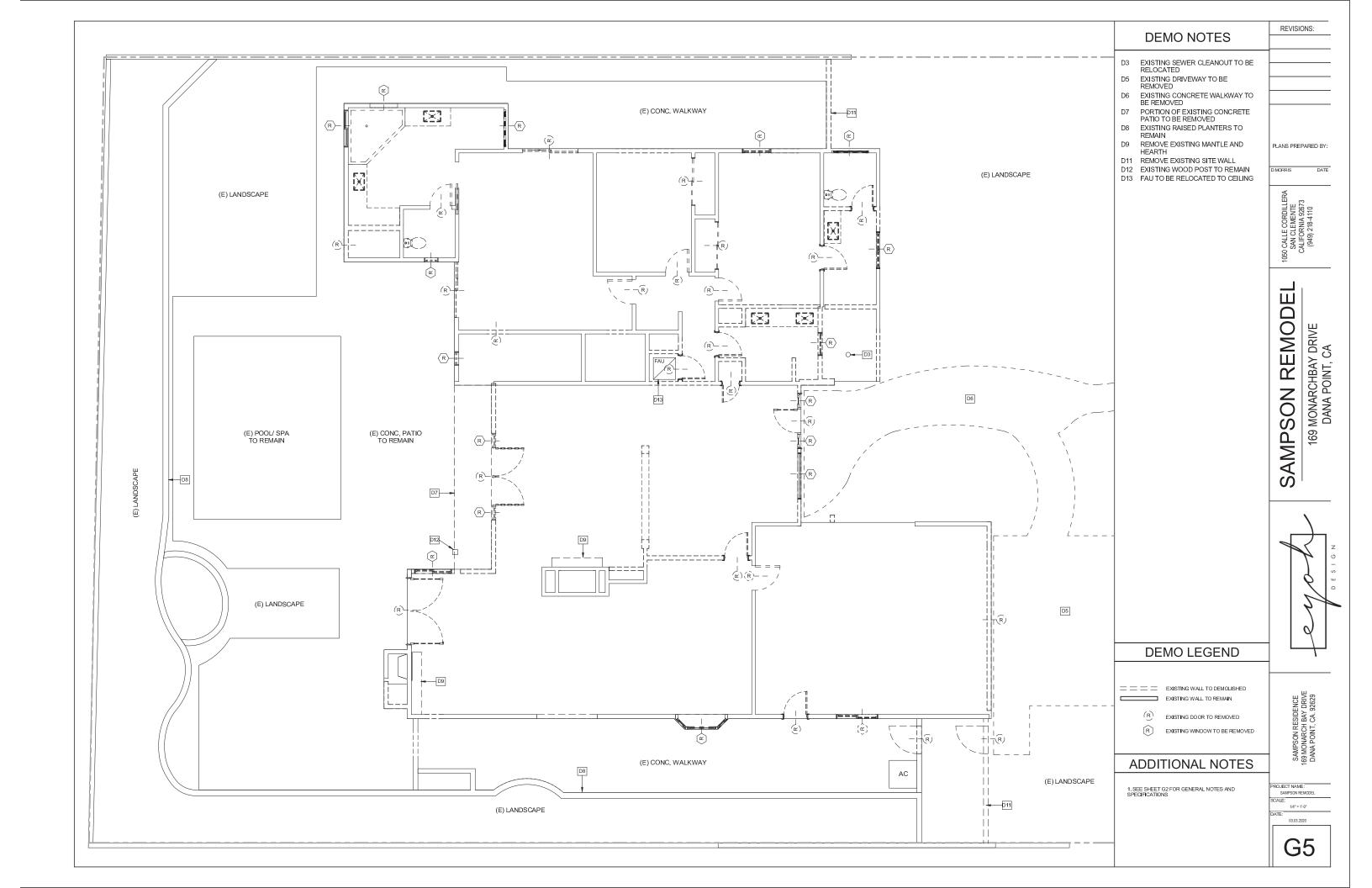
AREA TO BE DEMOLISHED

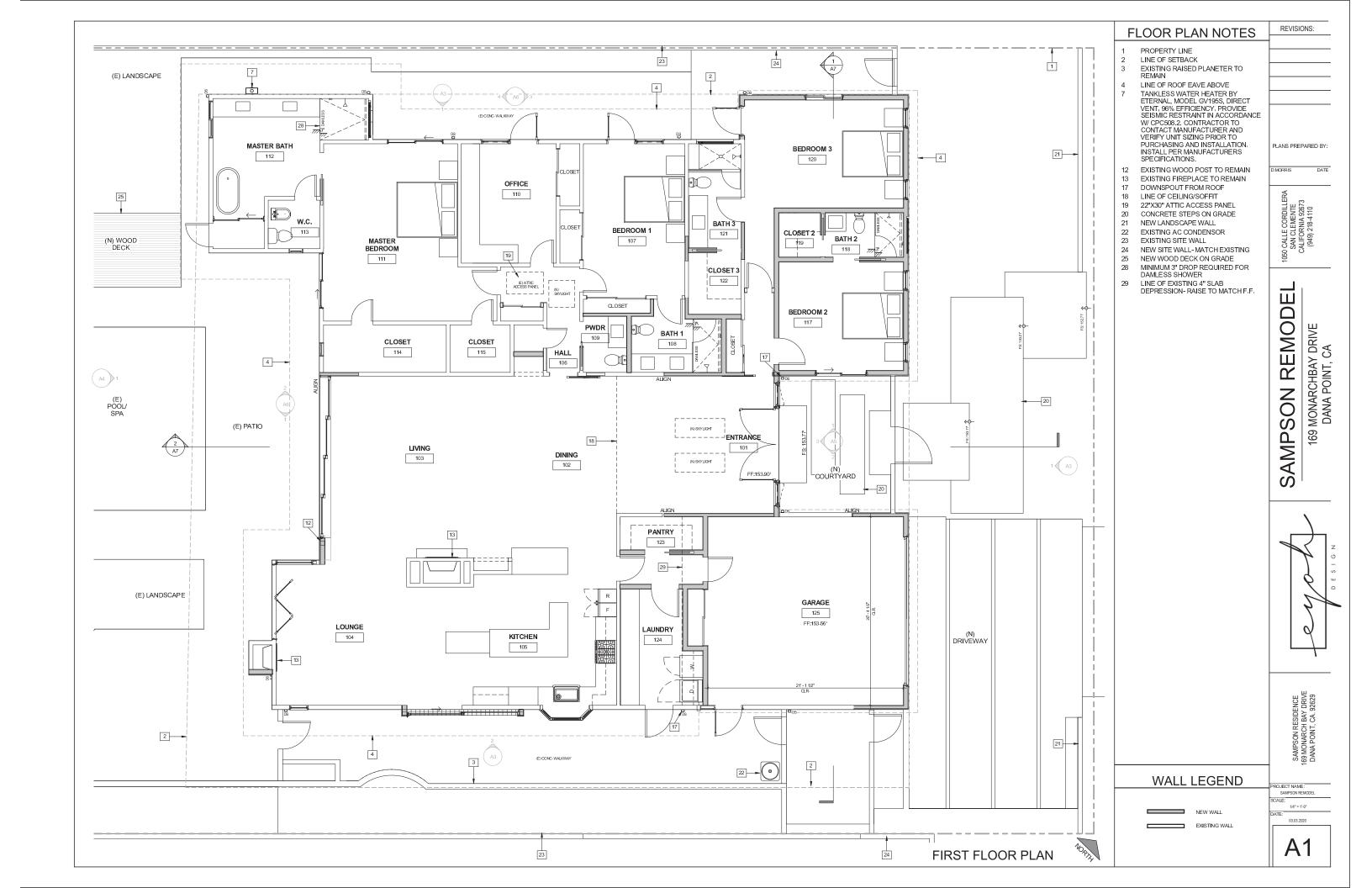
PROJECT NAME: SAMPSON REMODEL

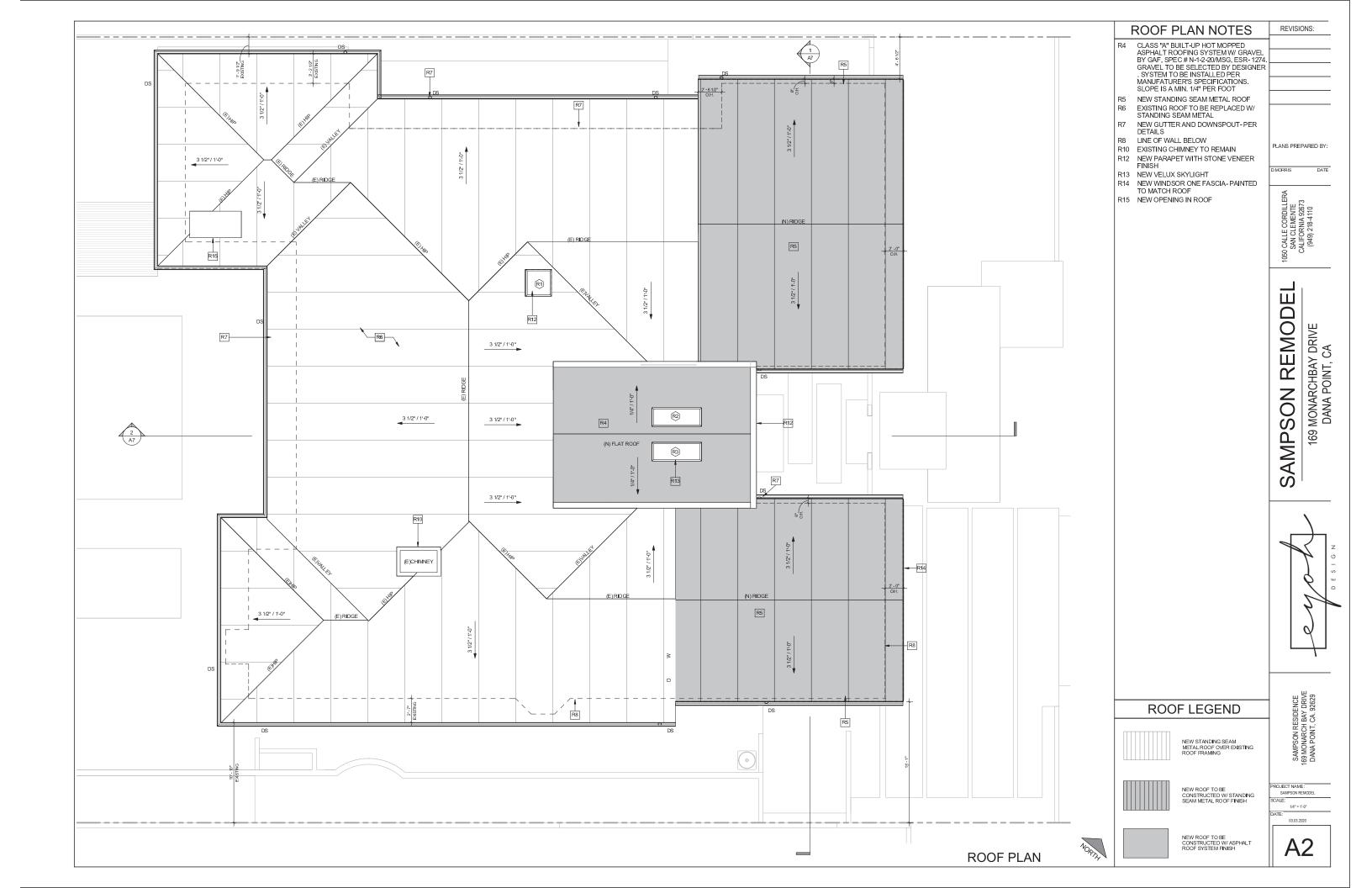
As indicated THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOLI PARTICULATE, CONSTRUCTION WASTE IM TERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, COMMEYED OR BISCHARGED INTO THE STREET, GUTTER OR STORM DRAINAGE SYSTEM. 03.03.2020

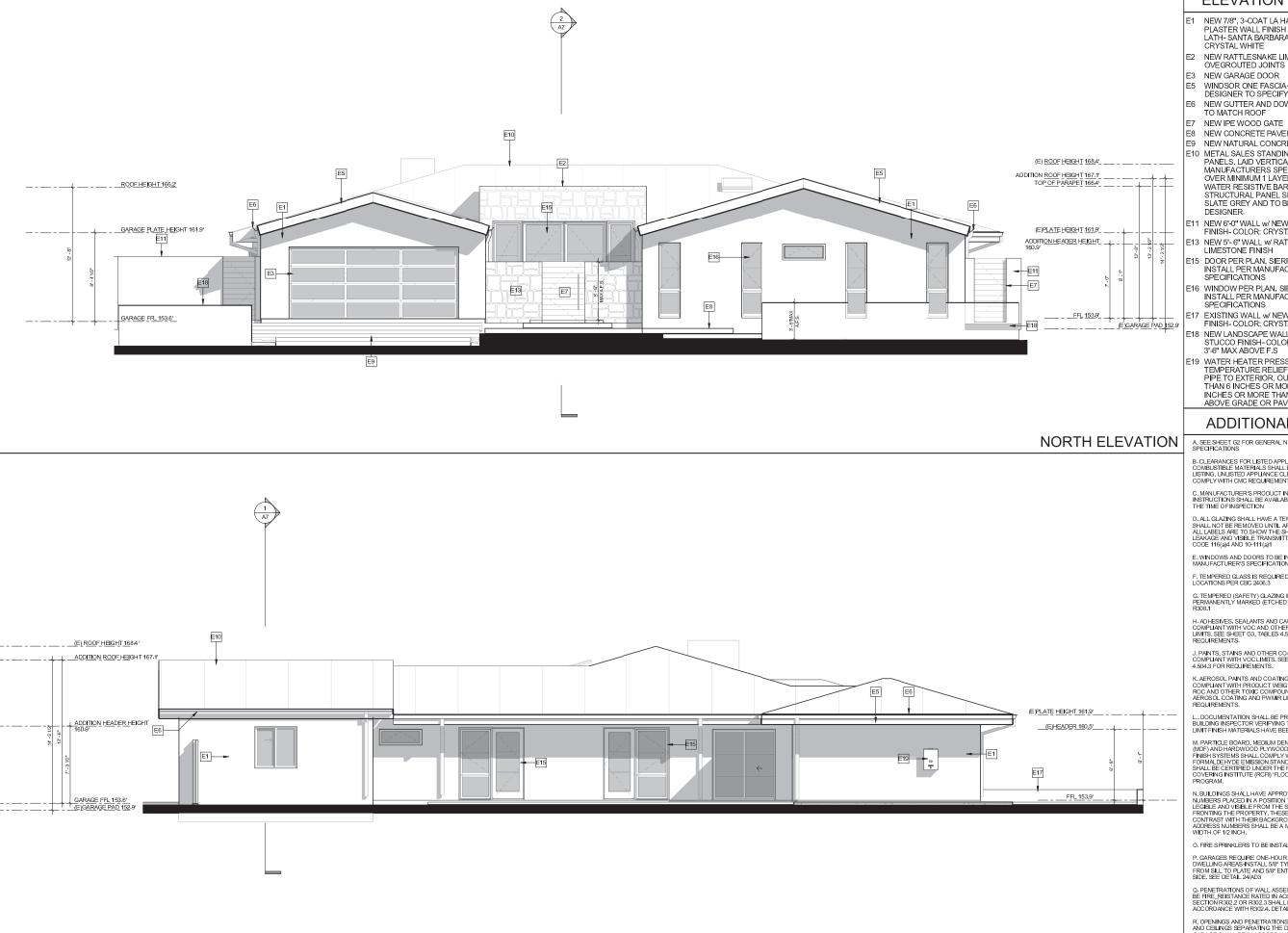
G4

SITE PLAN









ELEVATION NOTES

- NEW 7/8", 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH- SANTA BARBARA FINISH- COLOR:
- CRYSTAL WHITE E2 NEW RATTLESNAKE LIMESTONE W/
- E3 NEW GARAGE DOOR
- E5 WINDSOR ONE FASCIA-PAINTED-DESIGNER TO SPECIFY COLOR
- E6 NEW GUTTER AND DOWNSPOUTS- PAINT TO MATCH ROOF
- E7 NEW IPE WOOD GATE
- E8 NEW CONCRETE PAVERS ON GRADE
- E9 NEW NATURAL CONCRETE DRIVEWAY
- E10 METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD SLATE GREY AND TO BE APPROVED BY
- E11 NEW 6'-0" WALL w/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- E13 NEW 5'-6" WALL W RATTLESNAKE LIMESTONE FINISH
- E15 DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS
 SPECIFICATIONS
- E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS
- E17 EXISTING WALL W/NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE
- E18 NEW LANDSCAPE WALL W/ NEW LAHABRA STUCCO FINISH-COLOR: CRYSTAL WHITE. 3'-6" MAX ABOVE F.S
- E19 WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE OUTLET, PIPE TO EXTERIOR. OUTLET NO LESS THAN 6 INCHES OR MORE THAN 24 INCHES OR MORE THAN 24 INCHES ABOVE GRADE OR PAVING

ADDITIONAL NOTES

A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS

B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING, UNLISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.

C. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION

D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNIX APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHEC, U-FACTOR, AIR LEAKAGE AND WISBLE TRANSMITTANCE. CALL ENERGY CODE 116(A) AND 10-1110.

E. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

F. TEMPERED GLASS IS REQUIRED AT HAZARDOUS LOCATIONS PER CBC 2406.3

G. TEMPERED (SAFETY) GLAZING IS REQUIRED TO BE PERMANENTLY MARKED (ETCHED) AS REQUIRED BY CRC R308.1

H. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPUIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. SEE SHEET G3, TABLES 4.504.1 AND 4.504.2 FOR REQUIREMENTS.

J. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. SEE SHEET G3, TABLE 4.504.3 FOR REQUIREMENTS.

K. AEROSOL PAINTS AND COATINGS SHALL BE COMPULANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS, SEE SHEET G3, AEROSOL COATING AND PWMR LIMITS TABLE FOR REQUIREMENTS.

L., DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

M. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MOF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. MATERIALS SHALL BE CERTIFIED UNDER THE RESILENT FLOOR COVERING INSTITUTE (RCFI) FLOOR SCORE

N. BULDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 1/2 INCH.

O. FIRE SPRINKLERS TO BE INSTALLED

P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 5/8" TYPE "X" GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/AD3

Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE REISTANCE RATED IN ACCORDANCE WITH SECTION R902 2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH R3024. DETAIL

R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/AD3 **WEST ELEVATION**

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REVISIONS:

PLANS PREPARED BY

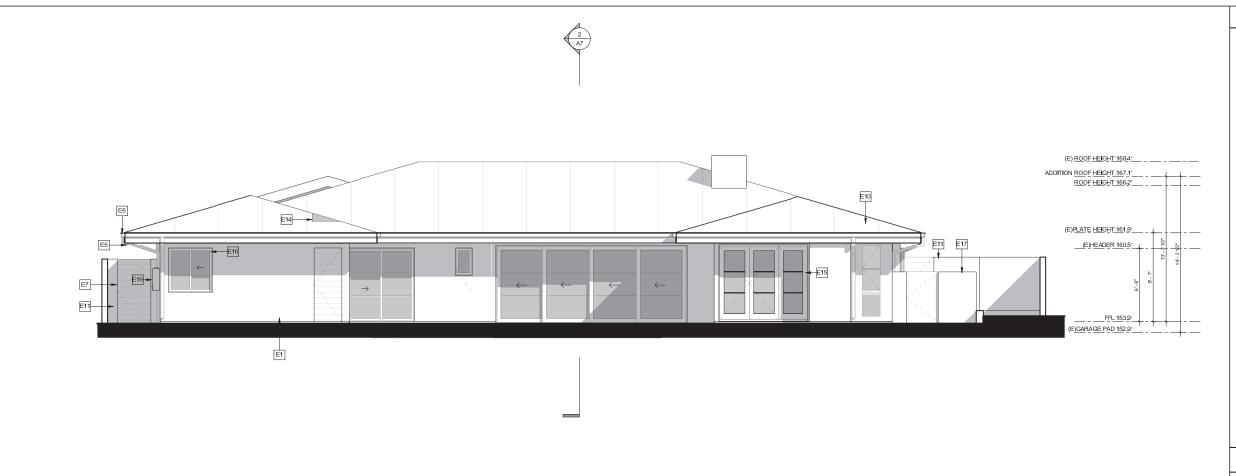
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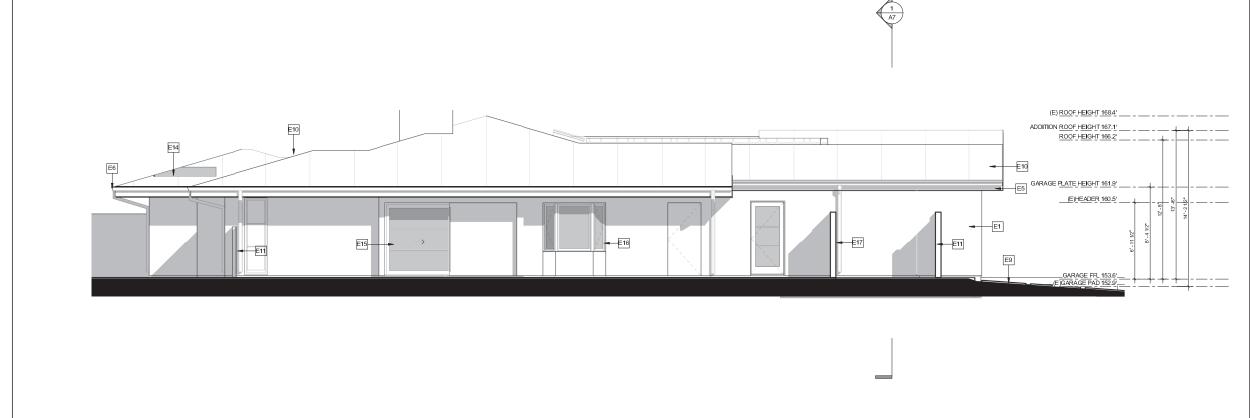
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OJECT NAME:

1/4" = 1'-0" 03.03.2020



SOUTH ELEVATION



ELEVATION NOTES

REVISIONS:

PLANS PREPARED BY:

50 CALLE CORDILLE SAN CLEMENTE CALIFORNIA 92673 (949) 218-4110

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MONARCHBAY DRIVE DANA POINT, CA

E1 NEW 7/8", 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH-SANTA BARBARA FINISH-COLOR: CRYSTAL WHITE

E5 WINDSOR ONE FASCIA- PAINTED-

DESIGNER TO SPECIFY COLOR

E6 NEW GUTTER AND DOWNSPOUTSPAINT TO MATCH ROOF

7 NEW IPE WOOD GATE

E9 NEW NATURAL CONCRETE DRIVEWAY
E10 METAL SALES STANDING SEAM METAL
PANELS. LAID VERTICALLY PER
MANUFACTURERS SPECIFICATIONS.
OVER MINIMUM 1 LAYER DUPONT
TYVEK WATER RESISTIVE BARRIER
OVER WOOD STRUCTURAL PANEL
SHEATHING. COLOR: SLATE GREY AND
TO BE APPROVED BY DESIGNER.

E11 NEW 6'-0" WALL W/ NEW LAHABRA STUCCO FINISH- COLOR: CRYSTAL WHITE

E14 NEW OPENING IN ROOF
E15 DOOR PER PLAN, SIERRA PACIFIC,
INSTALL PER MANUFACTUERS
SPECIFICATIONS

E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS

E17 EXISTING WALL W NEW LAHABRA STUCCO FINISH-COLOR: CRYSTAL WHITE

E19 WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE OUTLET, PIPE TO EXTERIOR. OUTLET NO LESS THAN 6 INCHES OR MORE THAN 24 INCHES OR MORE THAN 24 INCHES ABOVE GRADE OR PAVING

ADDITIONAL NOTES

A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS

B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING, UNISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.

C. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION

D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTL APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR LEAKAGE AND VISBLE TRANSMITTANCE, CALL ENERGY CODE 116(a)4 AND 10-111(a)1

E. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

F. TEMPERED GLASS IS REQUIRED AT HAZARDOUS LOCATIONS PER CBC 2406.3

G. TEMPERED (SAFETY) GLAZING IS REQUIRED TO BE PERMANENTLY MARKED (ETCHED) AS REQUIRED BY CRC

H. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPULANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS, SEE SHEET G3, TABLES 4,504.1 AND 4,504.2 FOR REQUIREMENTS.

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K. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. SEE SHEET G3, AEROSOL COATING AND PWMR LIMITS TABLE FOR REQUIREMENTS.

L.. DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

M. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALE FUDE EMISSION STANDARDS. MATERIALS SHALL BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) 'FLOOR SCORE' PROGRAM.

N. BULDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 1/2 INCH.

O. FIRE SPRINKLERS TO BE INSTALLED

P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 58" TYPE "X" GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/AD3

Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE REISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH R302.4. DETAIL

R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/AD3 N O I S I O

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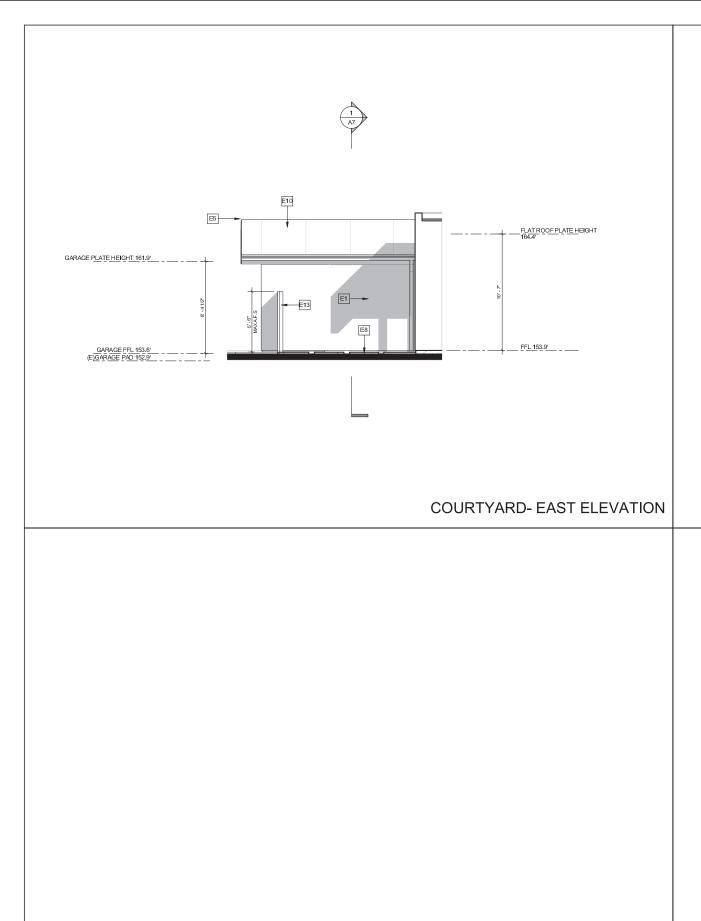
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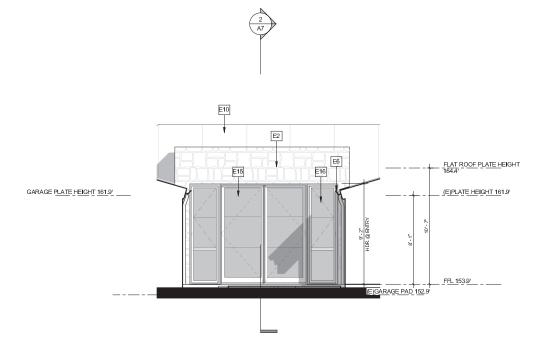
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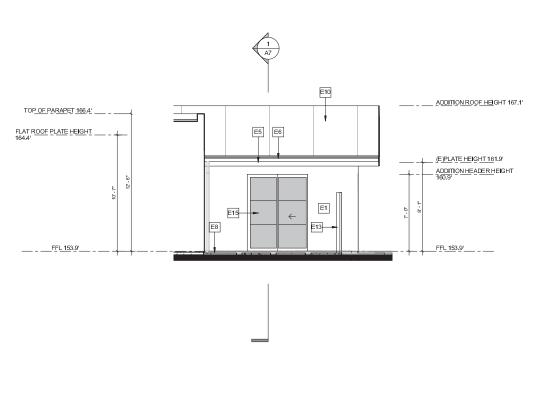
EAST ELEVATION





COURTYARD- NORTH ELEVATION

COURTYARD-WEST ELEVATION



ELEVATION NOTES

- NEW 7/8", 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH- SANTA BARBARA FINISH- COLOR: CRYSTAL WHITE
- E2 NEW RATTLESNAKE LIMESTONE W/ OVEGROUTED JOINTS
- WINDSOR ONE FASCIA-PAINTED-DESIGNER TO SPECIFY COLOR
- NEW GUTTER AND DOWNSPOUTS-PAINT TO MATCH ROOF
- E8 NEW CONCRETE PAVERS ON GRADE
- E10 METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS. OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD STRUCTURAL PANEL SHEATHING. COLOR: SLATE GREY AND TO BE APPROVED BY DESIGNER.
- E13 NEW 5'-6" WALL w/ RATTLESNAKE LIMESTONE FINISH
- DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS
- E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS

PLANS PREPARED BY

REVISIONS:

50 CALLE CORDILLE SAN CLEMENTE CALIFORNIA 92673 (949) 218-4110

REMODE MONARCHBAY DRIVE DANA POINT, CA

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ADDITIONAL NOTES

A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS

B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING, UNLISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.

C. MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION

D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNIX APPROVED INSPECTION. ALL LABELS ARE TO SHOW THE SHEC, U-FACTOR, AIR LEAKAGE AND VISBLE TRANSMITTANCE. CALLENERGY CODE 116(A) AND 10-111(a)1

E. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

F. TEMPERED GLASS IS REQUIRED AT HAZARDOUS LOCATIONS PER CBC 2406.3

G. TEMPERED (SAFETY) GLAZING IS REQUIRED TO BE PERMANENTLY MARKED (ETCHED) AS REQUIRED BY CRC R308.1

H. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPULANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS, SEE SHEET G3, TABLES 4.504.1 AND 4.504.2 FOR REQUIREMENTS.

J. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. SEE SHEET G3, TABLE 4.504.3 FOR REQUIREMENTS.

K. AEROSCL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. SEE SHEET G3, AEROSCL COATING AND PWMIR LIMITS TABLE FOR DECNILIBERIES. REQUIREMENTS.

L.. DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

M. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MOF) AND HARDWOOD PLYYDOO USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. MATERIALS SHALL BE CERTIFIED UNDER THE RESILENT ELOOR COVERING INSTITUTE (RCFI) 'FLOOR SCORE'

N. BULDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VIS BLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 1/2 INCH.

O. FIRE SPRINKLERS TO BE INSTALLED

P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 5/8" TYPE "X" GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/AD3

Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE. REISTANCE RATED IN ACCORDANCE WITH SECTION 7802 2 OR R30.2 SHALL BE PROTECTED IN ACCORDANCE WITH R302.4. DETAIL.

R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/AD3



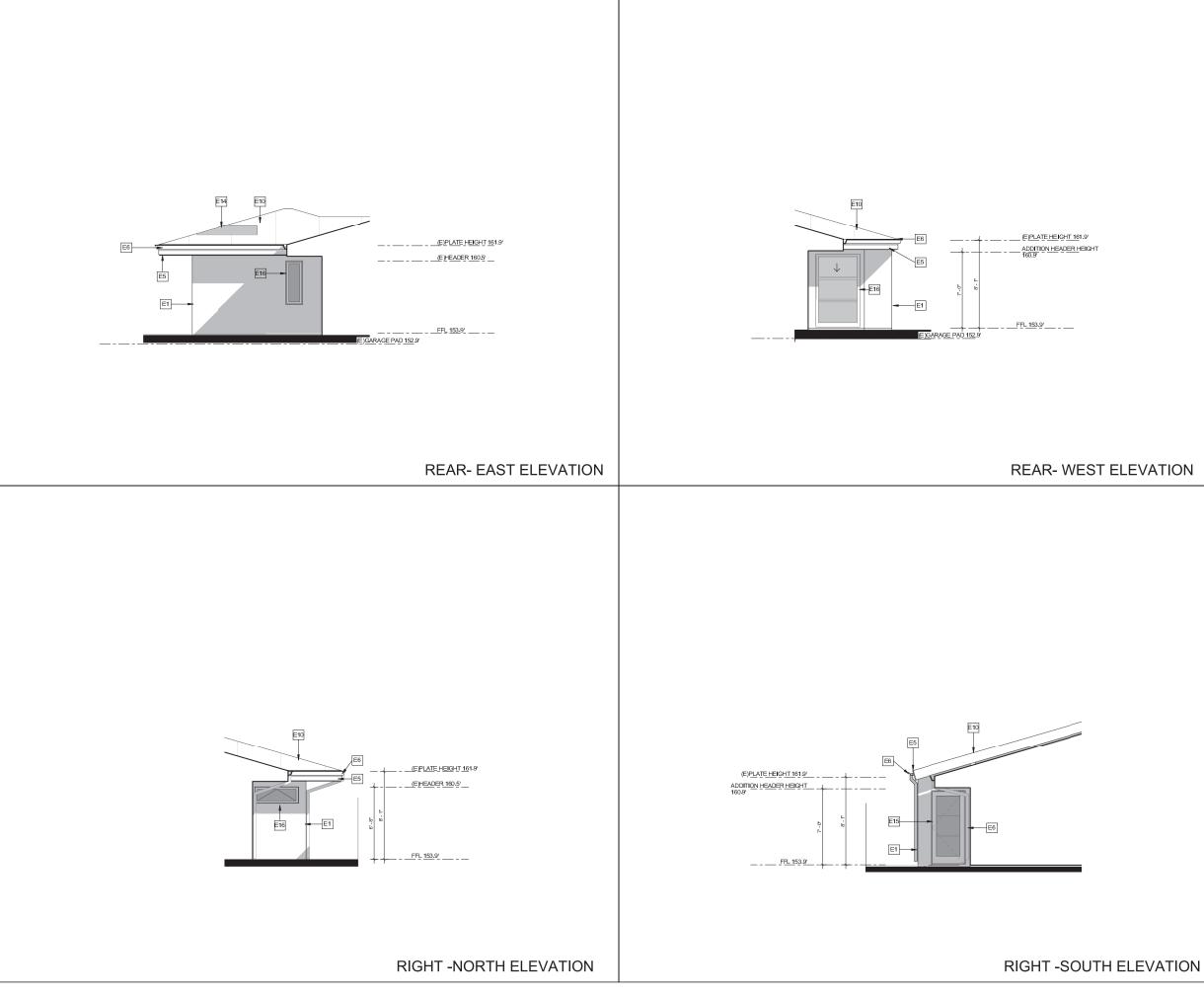
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SAMPSON RES 169 MONARCH E DANA POINT, C

OJECT NAME:

1/4" = 1'-0" 03.03.2020



ELEVATION NOTES

- NEW 7/8", 3-COAT LA HABRA EXTERIOR PLASTER WALL FINISH OVER METAL LATH-SANTA BARBARA FINISH-COLOR: CRYSTAL WHITE
- WINDSOR ONE FASCIA- PAINTED-DESIGNER TO SPECIFY COLOR NEW GUTTER AND DOWNSPOUTS-PAINT TO MATCH ROOF
- E10 METAL SALES STANDING SEAM METAL PANELS. LAID VERTICALLY PER MANUFACTURERS SPECIFICATIONS.
 OVER MINIMUM 1 LAYER DUPONT TYVEK WATER RESISTIVE BARRIER OVER WOOD STRUCTURAL PANEL SHEATHING. COLOR: SLATE GREY AND TO BE APPROVED BY DESIGNER.
- E14 NEW OPENING IN ROOF E15 DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS
- E16 WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS

PLANS PREPARED BY:

REVISIONS:

50 CALLE CORDILLE SAN CLEMENTE CALIFORNIA 92673 (949) 218-4110

SON REMODI MONARCHBAY DRIVE DANA POINT, CA

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ADDITIONAL NOTES

A. SEE SHEET G2 FOR GENERAL NOTES AND SPECIFICATIONS

B. CLEARANCES FOR LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE SPECIFIED IN THE LISTING, UNLISTED APPLIANCE CLEARANCES SHALL COMPLY WITH CMC REQUIREMENTS.

D. ALL GLAZING SHALL HAVE A TEMPORARY LABEL THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION.
ALL LABELS ARE TO SHOW THE SHGC, U-FACTOR, AIR
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CODE 116(a)4 AND 10-111(a)1

E. WINDOWS AND DOORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

F. TEMPERED GLASS IS REQUIRED AT HAZARDOUS LOCATIONS PER CBC 2406.3

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L., DOCUMENTATION SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

M. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH 5 YSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. MATERIALS SHALL BE CERTIFIED UNDER THE RESILIENT FLOOR COVERNIG INSTITUTE (RCFI) FLOOR SCORE PROGRAM.

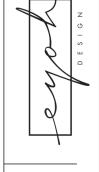
N. BULDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VIS BLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 1/2 INCH.

O. FIRE SPRINKLERS TO BE INSTALLED

P. GARAGES REQUIRE ONE-HOUR SEPARATION FROM DWELLING AREAS-INSTALL 5/8" TYPE "X" GYPSUM BOARD FROM SILL TO PLATE AND 5/8" ENTIRE CLG ON GARAGE SIDE. SEE DETAIL 24/AD3

Q. PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE REISTANCE RATED IN ACCORDANCE WITH SECTION R902 2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH R302.4. DETAIL

R. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3. SEE DETAIL 24/AD3



ENCE DRIVE 92629

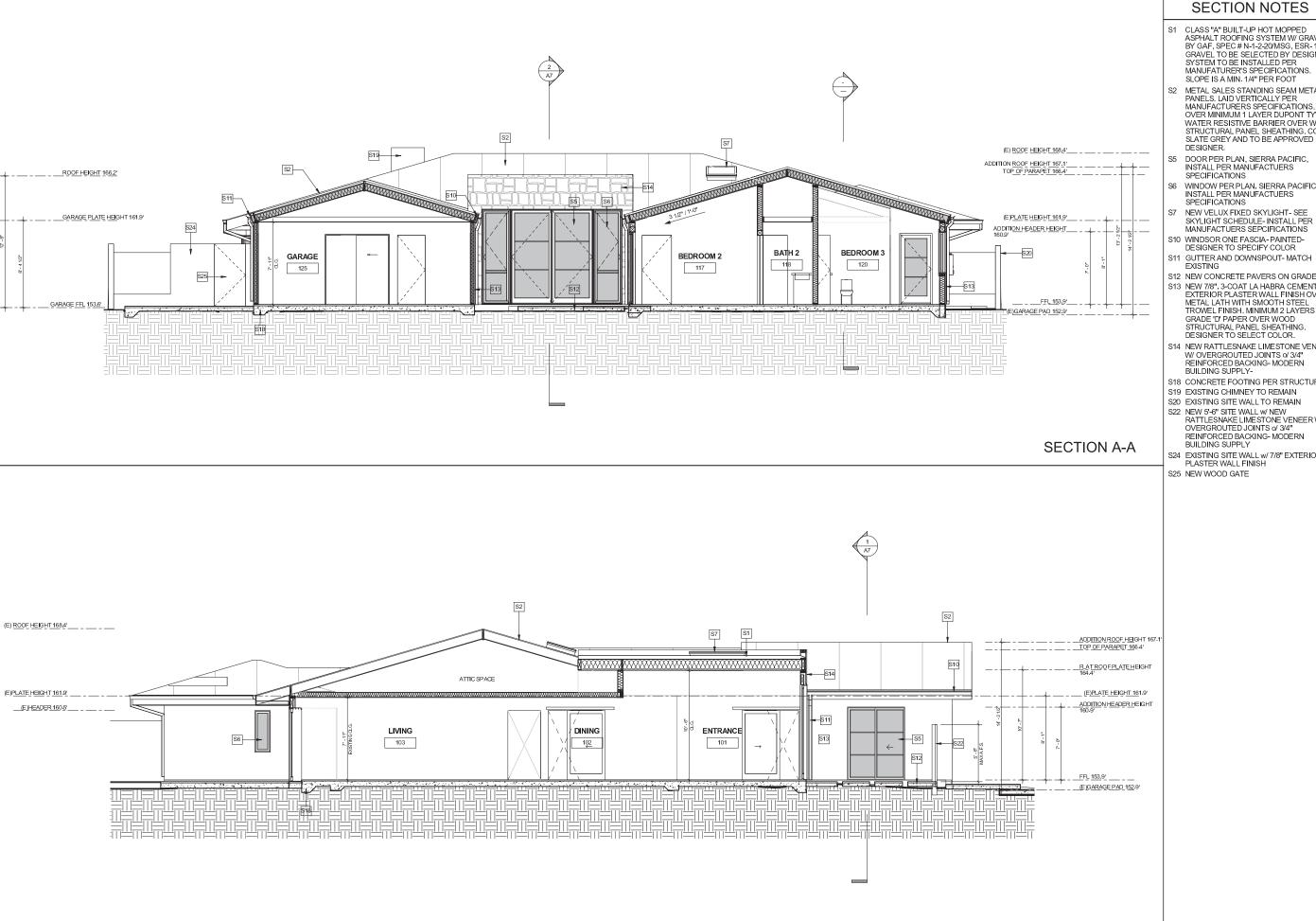
ESIDE BAY CA. 9

SAMPSON RES 169 MONARCH E DANA POINT, C

OJECT NAME:

1/4" = 1'-0" 03.03.2020

A6



SECTION NOTES

S1 CLASS "A" BUILT-UP HOT MOPPED ASPHALT ROOFING SYSTEM W/ GRAVEL BY GAF, SPEC # N-1-2-20/MSG, ESR-1274. GRAVEL TO BE SELECTED BY DESIGNER SYSTEM TO BE INSTALLED PER
MANUFATURER'S SPECIFICATIONS. SLOPE IS A MIN. 1/4" PER FOOT

S2 METAL SALES STANDING SEAM METAL METAL SALES STANDING SEAM METAL
PANELS, LAID VERTICALLY PER
MANUFACTURERS SPECIFICATIONS,
OVER MINIMUM 1 LAYER DUPONT TYVEK
WATER RESISTIVE BARRIER OVER WOOD
STRUCTURAL PANEL SHEATHING, COLOR: SLATE GREY AND TO BE APPROVED BY

S5 DOOR PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS

WINDOW PER PLAN, SIERRA PACIFIC, INSTALL PER MANUFACTUERS SPECIFICATIONS

NEW VELUX FIXED SKYLIGHT- SEE SKYLIGHT SCHEDULE- INSTALL PER MANUFACTUERS SEPCIFICATIONS

S10 WINDSOR ONE FASCIA-PAINTED-DESIGNER TO SPECIFY COLOR

S11 GUTTER AND DOWNSPOUT- MATCH

912 NEW CONCRETE FAVERS ON GRADE \$13 NEW 7/8", 3-COAT LA HABRA CEMENT EXTERIOR PLASTER WALL FINISH OVER METAL LATH WITH SMOOTH STEEL TROWEL FINISH. MINIMUM 2 LAYERS GRADE 'D' PAPER OVER WOOD STRUCTURAL PANEL SHEATHING. DESIGNER TO SELECT COLOR.

S14 NEW RATTLESNAKE LIMESTONE VENEER W/ OVERGROUTED JOINTS o/ 3/4" REINFORCED BACKING- MODERN BUILDING SUPPLY-

S18 CONCRETE FOOTING PER STRUCTURAL

S20 EXISTING SITE WALL TO REMAIN

S22 NEW 5-6" SITE WALL W/NEW RATTLESNAKE LIMESTONE VENEER W/ OVERGROUTED JOINTS of 34" REINFORCED BACKING- MODERN

S24 EXISTING SITE WALL w/ 7/8" EXTERIOR PLASTER WALL FINISH

SECTION B-B

PLANS PREPARED BY:

REVISIONS:

50 CALLE CORDILLEF SAN CLEMENTE CALIFORNIA 92673 (949) 218-4110

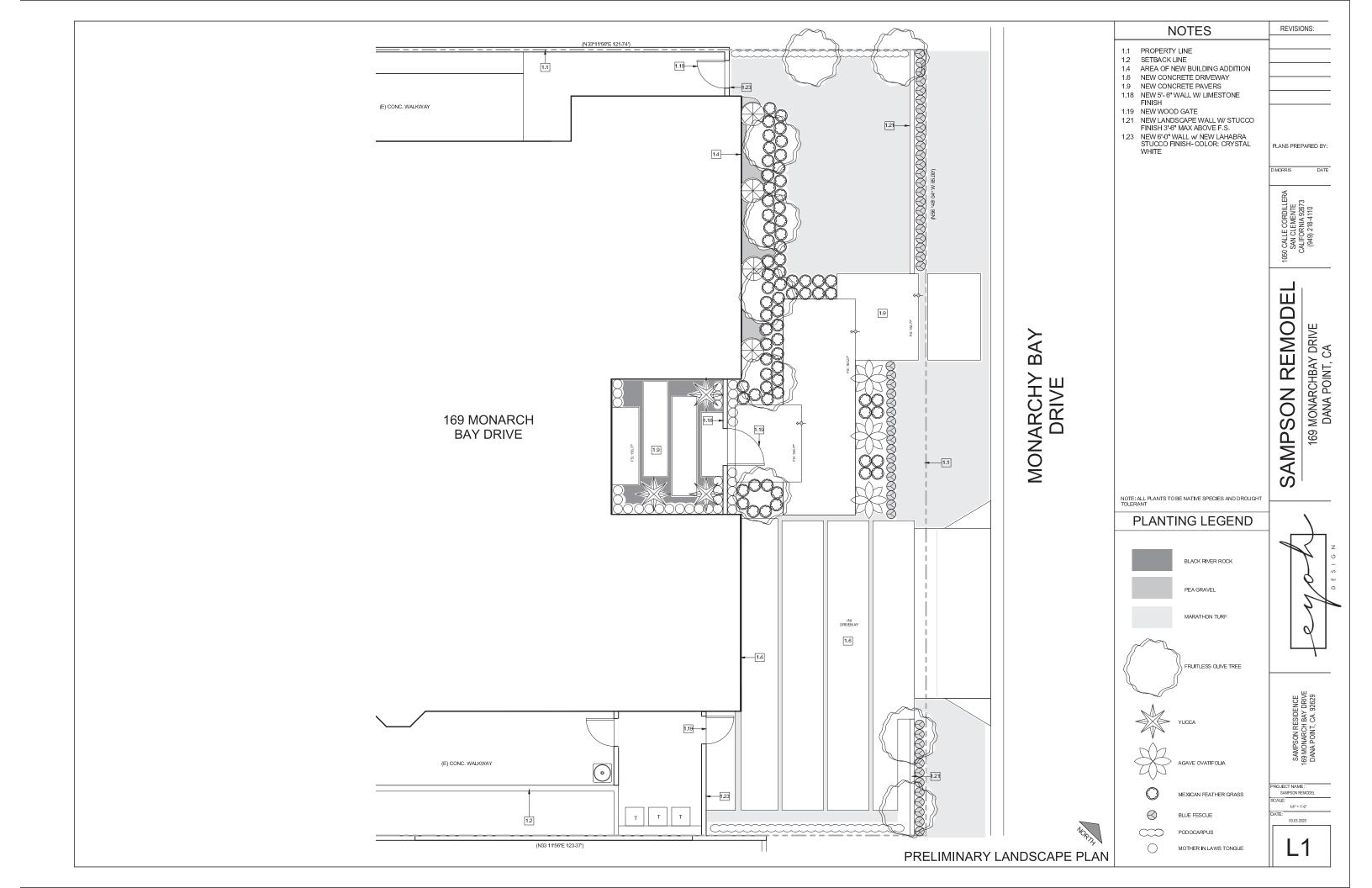
Ш SAMPSON REMODI

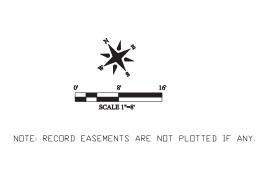
169 MONARCHBAY DRIVE DANA POINT, CA

SAMPSON RESIDENCE 169 MONARCH BAY DRIVE DANA POINT, CA. 92629

PROJECT NAME:

1/4" = 1'-0" 03.03.2020





| | DESCRIPTION |
|---------------|-------------------|
| (123.45) | MEAS. ELEVATIONS |
| (_) | REC. BRG. & DIST. |
| # | DECK BRICK |
| # | WALL |
| | BUIL DING |
| | PROPERTY LINE |
| — × — × — | FENCE |
| • | BENCH MARK |
| N.G. | NATURAL GRADE |
| P.P. | POWER POLE |
| WM. | WATER METER |
| F.F. | FINISH FLOOR |
| G.F. | GARAGE FLOOR |
| CONC. F.S. | CONCRETE |
| M.H. | FINISH SURFACE |
| М.П. Р | PI ANTER |
| A.C. | ASPHALT |
| T.G. | TOP-GRATE |

LEGEND

ADDRESS OF PROJECT:

169 MONARCH BAY DANA POINT, CA

BENCH MARK: BENCH MARK #3P-35-04 NAVD88 DATUM ELEVATION = 157.96

NAIL ELEVATION = 151.70

LEGAL DESCRIPTION: LOT 120 OF TRACT MAP NO. 3748

JAMES AND VANESSA SAMPSON

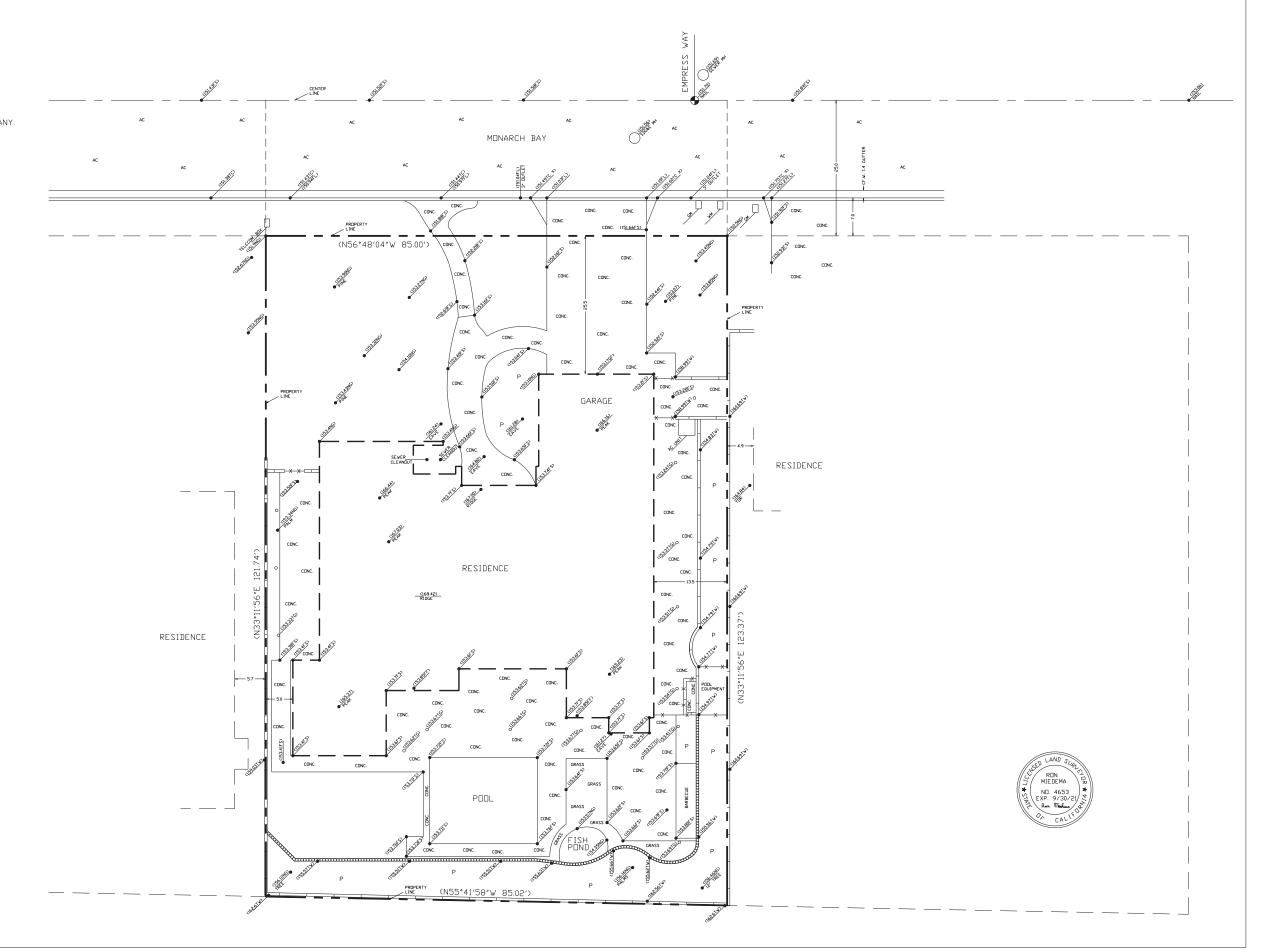
TOPOGRAPHIC SURVEY

J□B: 74-34

DATE: 9/12/19

RdM SURVEYING INC.

RON MIEDEMA L.S. 4653 23016 LAKE FOREST DR. #409 LAGUNA HILLS, CA 92653 (949) 858-2924 DFFICE (949) 858-3438 FAX RDMSURVEYING@CDX.NET



PLANNING COMMISSION AGENDA REPORT COASTAL DEVELOPMENT PERMIT CDP20-0001 MARCH 9, 2020 PAGE 19

Supporting Document 4: Materials Board

ATTACHMENT

WALL FINISHES



LAHABRA, 'CRYSTAL WHITE, #50(79), SANTA BARBARA FINISH

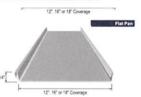


MODERN BUILDING SUPPLY, '
RATTLESNAKE LIMESTONE', OVERGROUT JOINTS

ROOFING

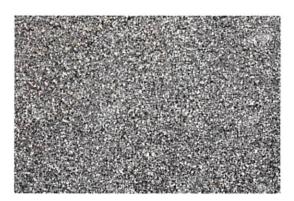






METAL SALES, 'STANDING SEAM PANELS', SLATE GREY FASCIA, GUTTERS & DOWN SPOUTS TO MATCH COLOR

FLAT ROOF



GREY GRAVEL

ENTRY GATE & FENCE



CLEAR SEALED IPE

HARDSCAPE



NATURAL CONCRETE



MAR 0 4 2020

CITY OF DANA POINT COMMUNITY DEVELOPMENT DEPARTMENT

SAMPSON RESIDENCE 169 MONDARCH BAY DRIVE



SKYLIGHTS



VELUX FIXED SKYLIGHTS, DARK GREY

WINDOW & DOORS



SIERRA PACIFIC ALUMINUM CLAD, MATTE BLACK

GARAGE DOOR



BLACK ALUMINUM & GLASS GARAGE DOOR

DESIGN

SAMPSON RESIDENCE 169 MONDARCH BAY DRIVE PLANNING COMMISSION AGENDA REPORT COASTAL DEVELOPMENT PERMIT CDP20-0001 MARCH 9, 2020 PAGE 20

Supporting Document 5: Rendering

ATTACHMENT

