

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: FEBRUARY 24, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP19-0020 TO PERMIT THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING (SFD) AND THE CONSTRUCTION OF A NEW SFD, WITH MINOR SITE DEVELOPMENT PERMIT SDP19-0034(M) TO ALLOW THE CONSTRUCTION OF RETAINING WALLS EXCEEDING 30-INCHES IN HEIGHT WITHIN THE FRONT AND REAR YARDS LOCATED AT 325 MONARCH BAY DRIVE.

RECOMMENDATION: That the Planning Commission adopt the draft Resolution approving Coastal Development Permit CDP19-0020 and Minor Site Development Permit SDP19-0034(M (Action Document 1).

APPLICANT(S): C.J. Light and Associates/ Ali Samsami

OWNER: Kathy Ruland

REQUEST: Approval of Coastal Development Permit CDP19-0020 to demolish an existing single-family dwelling (SFD), and to construct a new SFD, with a minor Site Development Permit SDP18-0046 to allow the construction of retaining walls exceeding 30-inches in height and located within the front and rear yards.

LOCATION: 325 Monarch Bay Drive (APN 670-151-34)

NOTICE: Notice of the Public Hearing was mailed via first class mail to property owners within a 500-foot radius of the subject site, published within a newspaper of general circulation on February 14, 2020, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on February 14, 2020.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA

Guidelines (Class 3 - Construction or Conversion of Small Structures) since the project consists of the construction of a new SFD with multiple retaining walls.

ISSUES:

1. Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC), and Local Coastal Program (LCP).
2. Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP(M)).
3. Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is located southwest of the intersection of Crown Valley Parkway and Pacific Coast Highway (PCH) within the Residential Single Family 4 (RSF 4) Zoning District on the City of Dana Point Zoning Map, and within the appeals jurisdiction of the City's Coastal Overlay District. The 7,030 square foot corner lot borders Monarch Bay Drive along both the northern side and front yards. The lot slopes up from the street along both exterior property lines and contains a significant upslope within the rear yard. Existing site improvements include a 2,703 square-foot, single-family dwelling (SFD) with an attached 800 square-foot garage, retaining and site walls, hardscape and landscaping. With the exception of a large deck located along the front of the SFD, there is little to no private yard space due the previously mentioned steep rear yard slope (Supporting Document 2 – Project Vicinity Map and Site Photos).

The original SFD was entitled, permitted and constructed under the County of Orange in the 1970's. Shortly thereafter, in 1980, the County approved a variance request (VA80-82Z) to reduce the front yard setback from a required "19.2 feet" down to "11.5 feet" in order to permit a remodel and addition of floor area to the existing SFD. In 1986, the County of Orange approved another variance (VA86-79Z) to permit an addition to the SFD to be located within the front yard setback. Since past variance approvals run with the land pursuant to Section 9.67.080 (Continuing Validity) of the DPZC, a required front yard setback of 11.5 feet for future development is permitted.

In 2019, the applicant submitted the subject CDP and SDP(M) in order to demolish the existing SFD and construct a new SFD utilizing the aforementioned front yard setback of 11.5 feet and locate new, over height, retaining walls on the subject site.

DISCUSSION: Due to the subject site's location in the appeals jurisdiction of the City's Coastal Overlay District, a CDP is required for the demolition of the existing SFD and the construction of a new SFD. Since the applicant is also proposing the construction of multiple, over height, retaining walls that exceed the Zoning

Code prescribed maximum heights, an SDP(M) is also required and will be processed concurrently with the requisite CDP.

COASTAL DEVELOPMENT PERMIT CDP19-0004

The applicant proposes the demolition of the existing SFD, and the construction of a new, 3,672 square-foot SFD with an attached 964 square-foot garage. The lower level also includes additional storage areas and a mechanical room. Overall building height of the two-story home is established from the proposed garage finished pad (73.18' NAVD88) within the footprint of the new dwelling to a height of 24-feet, and it is designed with a flat roof. The proposed height is consistent with the maximum building height allowed for residential structures with a roof pitch of less than 3:12. The new SFD will be located 11 feet, 6 inches from the front property line, consistent with the previously approved variances, and will meet all other minimum required yard setbacks.

The lower floor of the SFD contains an oversized garage with an attached beach room, a downstairs bedroom with an en-suite bathroom and closet, a laundry room, multiple storage rooms and a mechanical room. Other than the garage entry and a small portion of the right elevation, the lower floor is subterranean. The proposed second story is accessed by an interior elevator and staircase. The second story includes the formal entry to the common dining, family, and kitchen areas, three bedrooms with en suite bathrooms (one designated as master), a large master closet, and a 291 square foot deck facing Monarch Bay Drive to the northwest.

The proposed SFD mimics a modern architectural style, incorporating a combination of striated limestone stone veneer, stainless steel siding, metal trim, and white smooth hand troweled stucco for the exterior walls. Openings include metal clad windows and doors, and a French oak roll-up garage door. With the exception of the previously permitted reduced front yard setback, the project complies with all applicable RSF 4 development standards, including yard setbacks, lot coverage, and height limit. Table 1 below summarizes the RSF 4 and General Development Standards (Chapter 9.05 DPZC) applicable to the proposed development (Supporting Documents 3 & 4 – Architectural Plans & Color and Material Board).

Table 1: Compliance with RSF 4 and General Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Maximum Lot Coverage	45%	40%	Yes
Maximum Height	24 feet ($< 3:12$ roof)	24 feet	Yes
Minimum Front Yard Setback	11'-5" (VA80-82Z)	11'-6"	Yes
Minimum Side Yard Setbacks:			
Interior Side	5'	5	Yes
Exterior Side	10'-0"	15'-0"	Yes
Minimum Rear Yard Setback	25'-0"	25'-0"	Yes
Minimum Landscape Coverage	25%	35%	Yes
Parking Required	2 stalls in a garage	2 + stalls in a garage	Yes

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and

7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting approval of the project based on the above quoted findings are detailed in the draft Planning Commission Resolution attached as Action Document 1.

MINOR SITE DEVELOPMENT PERMIT SDP19-0034(M)

The application proposes the installation six (6) concrete retaining walls —four (4) located within the front yard setback, and two (2) located in the rear yard setback. The proposed retaining walls will tie-in to existing freestanding walls located along the northwestern exterior side yard of the property. The proposed retaining walls located within the front yard range in height from one (1) to eight (8) feet, with the highest portion only visible from the northern side of the driveway. The retaining walls are necessary in order to provide a staircase for pedestrian egress into the SFD as well as provide an aesthetic buffer as seen from Monarch Bay Drive. A small and low-end section of one retaining wall required for the entry stairs is located within the private right-of-way.

Retaining walls proposed in the rear yard range in height from four (4) to eight (8) feet, with no portions visible from public view. The two (2) new retaining walls located in the rear yard are utilized to cut into the sloped rear yard to create a small useable rear patio, and to provide a flat area for the HVAC equipment. Pursuant to Section 9.05.120(d)(2) of the DPZC, retaining walls greater than thirty (30) inches from the top of the wall to finished grade may be permitted subject to the approval of a SDP(M). Therefore, the proposed retaining walls necessitate the approval of a SDP(M).

The two (2) new retaining walls in the rear yard will be finished in a smooth white stucco to match the proposed SFD. The four (4) new retaining walls located in the front yard will be finished with a striated limestone veneer to complement the proposed finished materials of the exterior walls of the home. Additionally, all exterior facing walls are proposed and conditioned to include landscape screening to soften visual impacts to the surrounding neighbors and private street (Supporting Document 3 – Hardscape and Landscape Plans).

Pursuant to Section 9.71.050 “Basis of Approval, Conditional Approval, or Denial of a Site Development Permit” of the DPZC, the Planning Commission shall make the following findings:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and
2. That the site is suitable of the site for the proposed use and development; and
3. That the project is in compliance with all elements of the General Plan and all

applicable provisions of the Urban Design Guidelines; and

4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture; and
5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA).

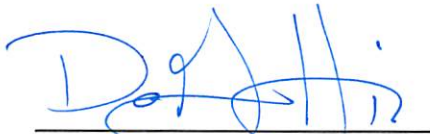
Staff finds that the construction of retaining walls exceeding 30-inches in height is consistent with the basis of approval for a SDP(M) as outlined in Sections 9.71.050 of the DPZC. Responses supporting the above mentioned findings are detailed in the attached draft Planning Commission Resolution.

CORRESPONDENCE:

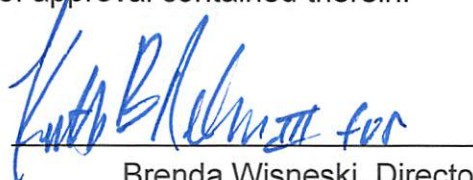
To date, the City has received no correspondence related to the subject application.

CONCLUSION:

Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. Since justifications can be made supporting the requested discretionary actions, staff recommends the Planning Commission adopt the attached draft Resolution, approving CDP19-0020 and SDP19-0034(M) subject to the findings and conditions of approval contained therein.



Danny Giometti
Associate Planner



Brenda Wisneski, Director
Community Development Department

ACTION DOCUMENT:

1. Draft Planning Commission Resolution No. 20-02-24-XX

SUPPORTING DOCUMENTS

2. Project Vicinity Map and Site Photos
3. Architectural, Hardscape/Landscape Plans, and Grading Plans
4. Color and Material Board Palette

Action Document 1: Draft Planning Commission Resolution No. 20-02-24-XX

RESOLUTION NO. 20-02-24-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP19-0020 TO PERMIT THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING, WITH MINOR SITE DEVELOPMENT PERMIT SDP19-0034(M) TO ALLOW THE CONSTRUCTION OF RETAINING WALLS EXCEEDING 30-INCHES IN HEIGHT WITHIN THE FRONT AND REAR YARDS LOCATED AT 325 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Kathy Ruland Trust. (the "Owner"), owns the real property commonly referred to as 325 Monarch Bay Drive (APN 670-151-34) (the "Property"); and

WHEREAS, the Owners authorized C.J. Light and Associates/ Ali Samsami (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit to demolish an existing single-family dwelling (SFD), and to construct a new SFD, with a minor Site Development Permit SDP18-0046 to allow the construction of retaining walls exceeding 30-inches in height and located within the front and rear yards of a lot located at 325 Monarch Bay Drive; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 - Construction or Conversion of Small Structures) because the project consists of the construction of a new SFD and retaining walls; and

WHEREAS, the Planning Commission did, on the 24th day of February, 2020, held a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP19-0020 and Minor Site Development Permit SDP19-0034(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

PLANNING COMMISSION RESOLUTION NO. 20-02-24-XX
CDP19-0020 AND SDP19-0034(M)
PAGE 2

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP19-0020, subject to conditions:
1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that the site and architectural design of the proposed improvements comply with the policies of the Dana Point General Plan, specifically furthering General Plan Urban Design Element Goal Number 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by constructing a SFD that is similar to other single-family homes in the Monarch Bay community. Additionally, the proposed SFD complies with the requisite Residential Single Family 4 (RSF 4) development standards and provides the necessary parking required for the site and use as prescribed in Chapter 9.75 of the Zoning Code, and consequently, the proposed development meets those elements comprising the Local Coastal Program effective for the subject site.**
 2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that the proposed development does not alter existing public access or recreation areas in the vicinity as there are none on or adjacent to the property. Moreover, adequate access to public beaches and areas of recreation exist nearby at County and State beaches and accordingly, the site is in conformance with all policies of Chapter Three (3) of the California Coastal Act.**
 3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the project is qualified as Categorical Exempt from review under CEQA pursuant to Section 15303 (Class 3 - Construction or Conversion of Small Structures) because the project consists of the demolition of an existing SFD and the construction of a new SFD with multiple retaining walls on a residential lot.**

PLANNING COMMISSION RESOLUTION NO. 20-02-24-XX
CDP19-0020 AND SDP19-0034(M)
PAGE 3

4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject lot is a previously developed parcel zoned for single-family residential development. Additionally, the subject site is surrounded by similar SFD development, and is not located adjacent to parks or recreation areas containing environmentally sensitive habitats and scenic resources, and consequently implementation of the project will not impact such habitats/resources and buffer areas are not necessary.**
 5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is a previously improved property located within an established residentially developed area of the Monarch Bay community. The development is proposing to demolish the existing SFD on a previously graded lot in order to establish a new building pad and install retaining walls in both the front, and rear yards. Additionally, the proposed development will be in conformance with applicable regulations for geological and erosional forces, flood, and fire thereby minimizing undue risks from these or other hazards.**
 6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed SFD, attached garage and retaining walls include finish materials and architecture resulting in a design that is complementary to surrounding development in terms of mass, size and scale, in an area containing an eclectic mix of architectural styles, and where no visually degraded areas exist.**
 7. That the proposed development conforms to the General Plan, Zoning Code applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that the proposed project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works & Engineering Services, and conforms with the City's regulations regarding development of SFDs in the RSF 4 Zoning District of the Dana Point Zoning Code, the Residential 3.5-7 DU/AC designation in the Land Use Element of the City's General Plan, and the requirements of the City's Coastal Overlay District.**
- C) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Minor Site

PLANNING COMMISSION RESOLUTION NO. 20-02-24-XX
CDP19-0020 AND SDP19-0034(M)
PAGE 4

Development Permit SDP19-0034(M), subject to conditions:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that alternatives to the height limits for retaining walls higher than 30 inches in height may be permitted pursuant to DPZC Section 9.05.120(d)(2), subject to the approval of a Minor Site Development Permit. The installation of the multiple retaining walls in the front and rear yards create access from the street level into the SFD and create additional private back yard area, respectively, and combined with the inclusion of decorative limestone veneer and drought tolerant landscaping provides a visually attractive design as viewed from the private right of way, while meeting the requirements of the aforementioned DPZC regulations.**
2. That the site is suitable for the proposed use and development **in that the sloping topography of both the front and rear yards have diminished useable, private open space, and constructing of multiple retaining walls within both yard areas will create additional private outdoor living areas, and provide easier pedestrian access to the into the SFD.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that pursuant to Policy 5.2 of the Urban Design Element of the General Plan, the proposed retaining walls encourage site design that takes advantage of the City's excellent climate to maximize indoor-outdoor spatial relationships, by creating additional private outdoor open space that is at the same finished floor elevation as the SFD.**
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture **in that the site layout of the retaining walls are designed to be at a height that is appropriate to create both pedestrian access to the dwelling and useable private outdoor open space functional to the proposed SFD use of the site. Although not requiring a particular style of architecture, the retaining walls will be designed and finished with materials, which are compatible and complementary to the modern styling of the proposed home.**

Conditions:

A. General:

1. Approval of this application permits the demolition of an existing SFD and the construction of a new SFD; as well as the construction of retaining

PLANNING COMMISSION RESOLUTION NO. 20-02-24-XX
CDP19-0020 AND SDP19-0034(M)
PAGE 5

walls exceeding 30 inches in height within the front and rear yards of a lot located at 325 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced with such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend,

PLANNING COMMISSION RESOLUTION NO. 20-02-24-XX
CDP19-0020 AND SDP19-0034(M)
PAGE 6

indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. A grading permit shall be obtained prior to any work including demolition activities.
12. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.

13. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
14. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
15. Separate review, approval, and permits are required for:
 - Fire Sprinklers
 - Site walls over 3'
 - Retaining Walls

B. Prior to the issuance of a grading permit the applicant shall meet the following conditions:

16. The applicant shall provide driveway profiles on the grading plan for review and approval of all slopes and transitions of the proposed driveway. The Public Works Director shall review and approve the driveway in excess of the standards.
17. The applicant shall conduct an additional drainage study to confirm adequate redundancy in the drainage plan and ensure protection of the garage and structure from storm water.
18. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
19. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
20. The applicant shall submit an application for shoring as needed, to the Building Department. In the event shoring is required a separate permit submittal shall be made to the Building Department for review and

approval. All shoring permits shall be issued concurrently with the grading permit.

21. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. All exterior facing walls shall include landscape screening to soften visual impacts to the surrounding neighbors and private street. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Planning Commission, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code and with the *Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC*, as may be applicable.

The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

22. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.

C. Prior to Building Plan Check Submittal:

23. Building(s) shall comply with the 2016 editions of the Building Code with all local amendments.
24. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
25. Building plan check submittal shall include the following construction documents:
 - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)

PLANNING COMMISSION RESOLUTION NO. 20-02-24-XX
CDP19-0020 AND SDP19-0034(M)
PAGE 9

- Energy Calculations (2 sets)
- Structural Calculations (2 sets)
- Soils/Geology Report (3 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

26. **Undergrounding of all onsite utilities is required.** An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
27. Fire Department review may be required. Submit plans directly to the Orange County Fire Authority for their review.
28. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval. The review of the submitted geotechnical report shall be done on a time and materials basis.

D. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

29. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
30. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad complies with the vertical (grade) position approved for the project.
31. An as graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations

regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

32. Approvals are required from:

- Planning Division
- Public Works & Engineering Services
- Obtain Orange County Fire Authority Approval
- Obtain "Will Serve" letter from Water District.
- Provide an SDG&E service work order for proposed service location

33. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.

34. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.

35. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.

36. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP19-0004. The City's standard "Height Certification" form shall be obtained from the Planning Division and prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

E. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

37. A Final Geotechnical Report shall be prepared by the project geotechnical

consultant in accordance with the City of Dana Point Grading Manual.

38. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
39. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
40. Verification of all conditions of approval is required by all City Departments.
41. The applicant shall submit a final certificate of landscape installation, which is consistent with the approved landscape plan identified in Condition 21, above.
42. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division. The final inspection shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.
43. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
44. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
45. A written approval by the Geotechnical Engineer of Record approving the construction as being in conformance with the approved plan from a geotechnical standpoint.

PLANNING COMMISSION RESOLUTION NO. 20-02-24-XX
CDP19-0020 AND SDP19-0034(M)
PAGE 12

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 24th day of February, 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

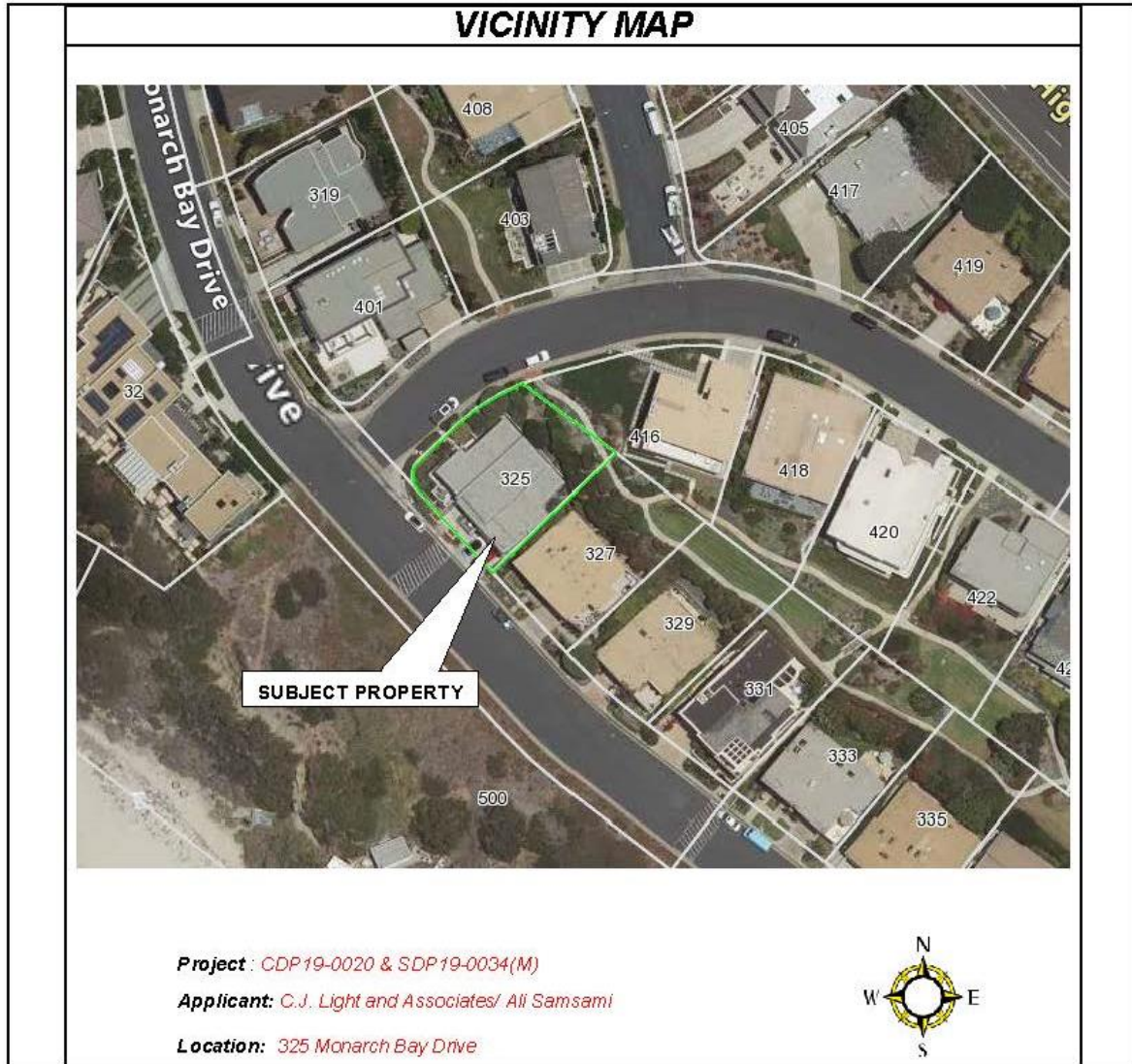
ABSTAIN:

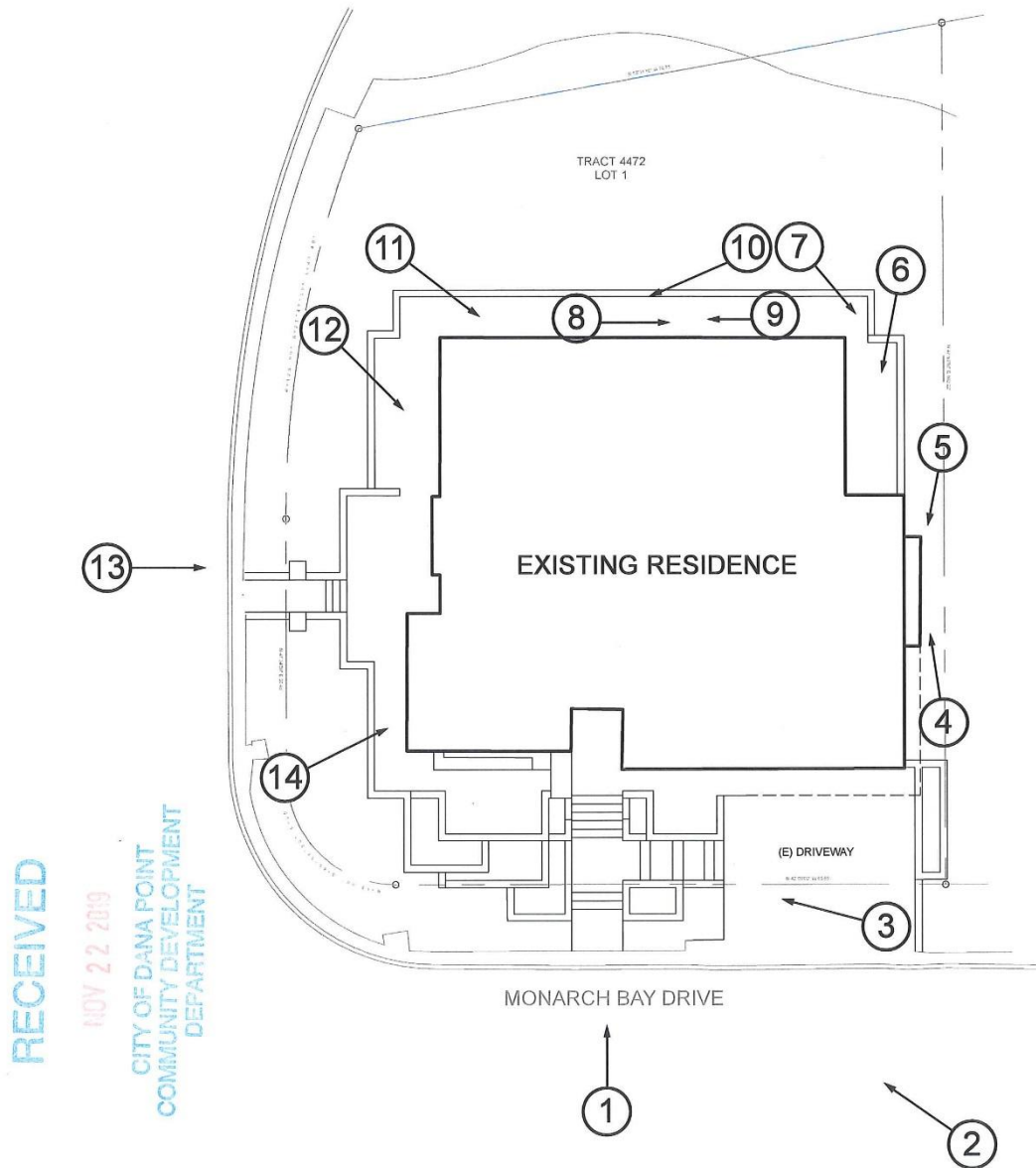
Mary Opel, Chairperson
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

Supporting Document 2: Project Vicinity Map and Site Photos





CUSTOM RESIDENCE

325 MONARCH BAY DRIVE
MONARCH BEACH • CALIFORNIA • 92629

Photo Exhibit Legend



①



②



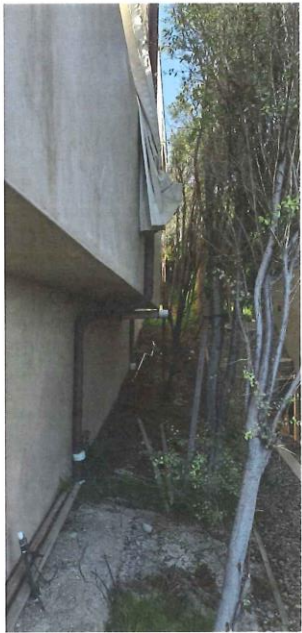
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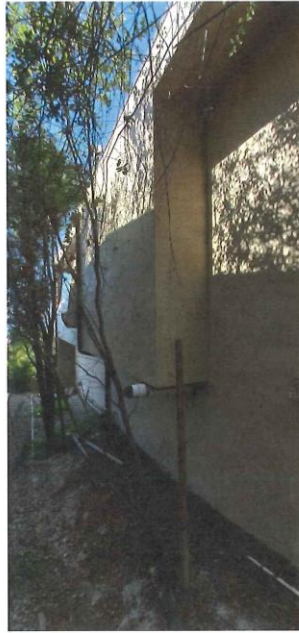
CUSTOM RESIDENCE

325 MONARCH BAY DRIVE
MONARCH BEACH • CALIFORNIA • 92629

Front Photos



④



⑤



⑥

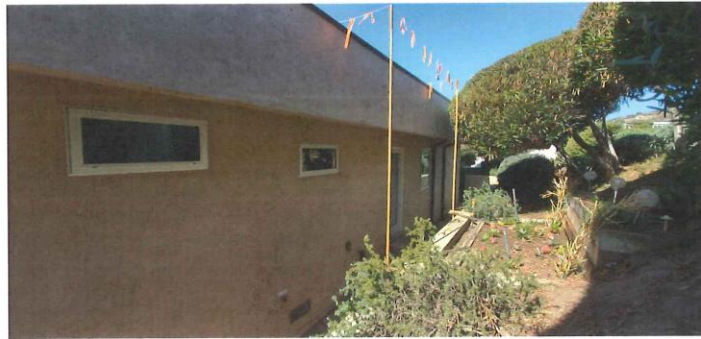


CUSTOM RESIDENCE
325 MONARCH BAY DRIVE
MONARCH BEACH • CALIFORNIA • 92629

Right Side Photos



⑪



⑩



⑦



⑧



⑨



CUSTOM RESIDENCE

325 MONARCH BAY DRIVE
MONARCH BEACH • CALIFORNIA • 92629

Rear Photos



12



13



14



CUSTOM RESIDENCE
325 MONARCH BAY DRIVE
MONARCH BEACH • CALIFORNIA • 92629

Left Side Photos

Supporting Document 3: Architectural, Hardscape/Landscape Plans, and Grading Plans

ATTACHMENT

CUSTOM RESIDENCE

325 MONARCH BAY
DANA POINT • CALIFORNIA • 92629



Christian R. Light • Architect
1401 Quail Street, Suite 120
Newport Beach, CA 92660
(949) 851-8345

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Abbreviations

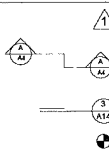
AB	Anchor Bolt	DR	Drawing	MAX	Maximum
AC	Air Conditioning	D.F.	Drinking Fountain	MET	Metal
ACOU	Acoustical	EA	Each	MIN	Minimum
AD	Area Drain	ELEC	Electrical	(N)	New
ADJ	Adjustable	ELEV	Elevation	NIC	Not In Contract
ADJT	Adjacent	EQUIP	Equipment	N.T.S.	Not To Scale
AL	Aluminum	EX	Existing	NAT	Natural
ALT	Alternate	EXP. JT.	Expansion Joint	OC	On Center
APPROX	Approximate	EXT	Exterior	OPG	Opening
ARCH	Architect	EQ	Equal	OD	Outside
ASB	Asbestos	FOF	Face Of Finish	OH	Overhead
ASP	Asphalt	FOC	Face Of Concrete	PLAS	Plaster
ASBO	As Selected By Owner	FS	Face Of Stud	P	Plate
BO	Board	FIN	Finish	PG	Paint Grade
BUILD	Building	FP	Fire Proof	PR	Pair
BL	Block	FS	Finish Surface	RAD	Radius
BLK	Blocking	FT	Foot	REQ	Required
BM	Beam	FTG	Footing	RD	Roof Drain
BOT	Bottom	F.D.	Fire Department	RM	Room
BED	Bedroom	C.	Connection	REV	Revised
BRK	Bracket	G	Galvanized	RWD	Redwood
CAB	Cabinet	G.I.	Galvanized Iron	RO	Rough
CB	Catch Basin	GA	Gauge	R.O.	Rough Opening
CM	Cement	GL	Glass	REG	Register
CER	Ceramic	GYP	Gypsum	SCH	Schedule
C.I.	Cast Iron	GC	General Contractor	SECT	Section
CLG	Ceiling	HDWR	Hardware	SIM	Similar
CA	Calking	HWD	Hardwood	STD	Standard
CL	Center Line	HT	Heavy Timber	STL	Steel
CLOS	Closet	HC	Hollow Core	STR	Structural
CLR	Clear	HM	Hollow Metal	SUSP	Suspended
CMU	Concrete Masonry Unit	HORIZ	Horizontal	TEL	Telephone
CTR	Counter	HB	Hose Bibb	TEMP	Temporary
COL	Column	HVAC	Heating Ventilating AC	T&G	Tongue & Groove
CONC	Concrete	IN	Inch	TC	Top Of Curb/Concrete
COND	Condition	INSUL	Insulation	TS	Top Of Slab
CONN	Connection	INT	Interior	TYP	Typical
CONST	Construction	INV	Invert	TW	Top Of Wall
CONT	Continuous	JT	Joint	T.L.T.W.T.	Top Of Light
CONTR	Contractor	KIT	Kitchen	VTR	Vertical
COR	Corridor	LAV	Lavatory	WC	Water Closet
CT	Center	LIN. FT.	Linear Foot	WH	Water Heater
CTSK	Countersunk	LINOL	Linoleum	WT	Weight
C.T.	Ceramic Tile	LG	Long	WD	Wood
CLR	Clear	LAM	Laminated	WWM	Welded Wire Mesh
DET	Detail	LT	Light	WI	Wrought Iron
DIA	Diameter	MB	Machine Bolt	WS	Weather Strip
DIM	Dimension	MECH	Mechanical		

Codes

This Project Shall Comply with the Following Codes:
2016 CRC; 2016 CBC; 2016 CPC;
2016 CEC; 2016 CMC; 2016 BEES;
2016 CalGreen; 2016 T24;

Symbols

Revision
Section Line
Section Designation
Sheet Number
Detail Key
Detail Designation
Sheet Number
Datum



Notes

1. Destructive removal of work performed without permits may be required for inspection(s). This applies to all work without permits projects.
2. Separate permit(s) is/are required for accessory building, landscape, patio covers, fences, swimming pool, retaining wall, demolition, etc.
3. Deferred submittals, other than fire sprinklers and structural trusses shall have written PRIOR APPROVAL of the Building Official. Submit a written request for a deferred submittal to the Building Official.
4. Deferred submittals are subject to a separate review fee and permit issuance.
5. An automatic fire sprinkler system is required.

Deferred Permits

The following shall be approved under separate permits:

Shoring	Site Walls	Landscape
Freestanding Walls	Retaining Walls	
Elevator	Sprinkler Plans	

Special Inspections

Refer to Structural Engineers sheet S-1 for Special Inspections.

Dana Point City Requirements

- i. Planning Final Required
- ii. Setback Certification Required
- iii. Building Height Certification Required

Vicinity Map



Owner / Client

Kathy Ruland
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Dana Point CA 92629
kathyruland@gmail.com
949-903-5090

Consultants

ARCHITECT:
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Newport Beach, CA 92660
(949) 851-8345
Fax: (949) 851-1116
Architect Christian R. Light, AIA
Contact: Ali Samsami

LANDSCAPE ARCHITECT:
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Dana Point, CA 92629
(949) 285-9692
Contact: Richard King

CIVIL ENGINEER:
Toal Engineering
139 Avenida Navarro
San Clemente, CA 92672
(949) 492-8586
Fax: (949) 498-8625
Contact: Caleb Rios

SOILS:
Coast Geotechnical
1200 W. Commonwealth Ave.
Fullerton, CA 92833
(714) 870-1211
Contact: Todd Houseal

STRUCTURAL:
TMM Structural Engineers, Inc.
31645 S. Coast Hwy
Laguna Beach, CA 92651
(949) 499-6254
Contact: Tarek Mokhtar

Scope of Work

Demolish existing two-story single family residence and construct new two-story single family residence. Including landscape and hardscape improvements and construction of freestanding and retaining walls.

Project Data

Legal Description	
Lot:	1
Tract:	4472
Assessor's Parcel Number:	670-151-34
Zoning:	RSF-4 / PRD3

Site General

Approximate Lot Area:	7,310 SF
Coverage Allowed: 40% (HOA)	2,924 SF
Existing Lot Coverage:	38.44%
Proposed Lot Coverage:	39.95%
Landscape Coverage:	32.33%

Setbacks

Front:	20'-0"
Variance (VA80-822) allows for reduced front setback of:	11'-6"
Side: Interior / Exterior	5'-0" / 10'-0"
Rear:	25'-0"

Area Table

	Existing	Proposed	Total
Second Level	2,515 sq. ft.	-47.5 sq. ft.	2,467.5 sq. ft.
First Level	0 sq. ft.	1,204.4 sq. ft.	1,204.4 sq. ft.
Total Habitable	2,515 sq. ft.	1,156.9 sq. ft.	3,671.9 sq. ft.
Garage	800 sq. ft.	-40.1 sq. ft.	759.9 sq. ft.
Storage	125 sq. ft.	78.9 sq. ft.	203.9 sq. ft.
Mechanical	0 sq. ft.	130.4 sq. ft.	130.4 sq. ft.
Unimproved	0 sq. ft.	0 sq. ft.	0 sq. ft.
Deck	271 sq. ft.	19.8 sq. ft.	290.8 sq. ft.

Sheet Index

Architectural

CS	Cover Sheet
SP	Site Plan
A2.1	Basement Level Floor Plan
A2.2	Entry Level Floor Plan
A2.3	Roof Plan
A5.1	Elevations Front & Rear
A5.2	Elevations Left & Right
A6.1	Section A & B
A6.2	Sections C & D

Landscape - Reference Only

L-1	Hardscape Plan
L-2	City Planting
L-2.1	Landscape Footages

Civil - Reference Only

C1	Title Sheet
C2	Precise Grading Plan
C3	Sections & Details
C4	Erosion Control Plan
C5	Topographic Survey

Custom Residence
325 Monarch Bay
Dana Point, California 92629

Cover Sheet

Job Number: 1919
Scale:
Submittal Dates:
Submittal November 22, 2019
Submittal January 13, 2020
Submittal February 12, 2020



CS



Christian R. Light • Architect
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Newport Beach, CA 92660
(949) 851-8345

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Custom Residence
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Dana Point, California 92629

Site Plan

Job Number: 1919
Scale: 1/8" = 1'-0"
Submittal Dates:
Submittal November 22, 2019
Submittal January 13, 2020
Submittal February 12, 2020



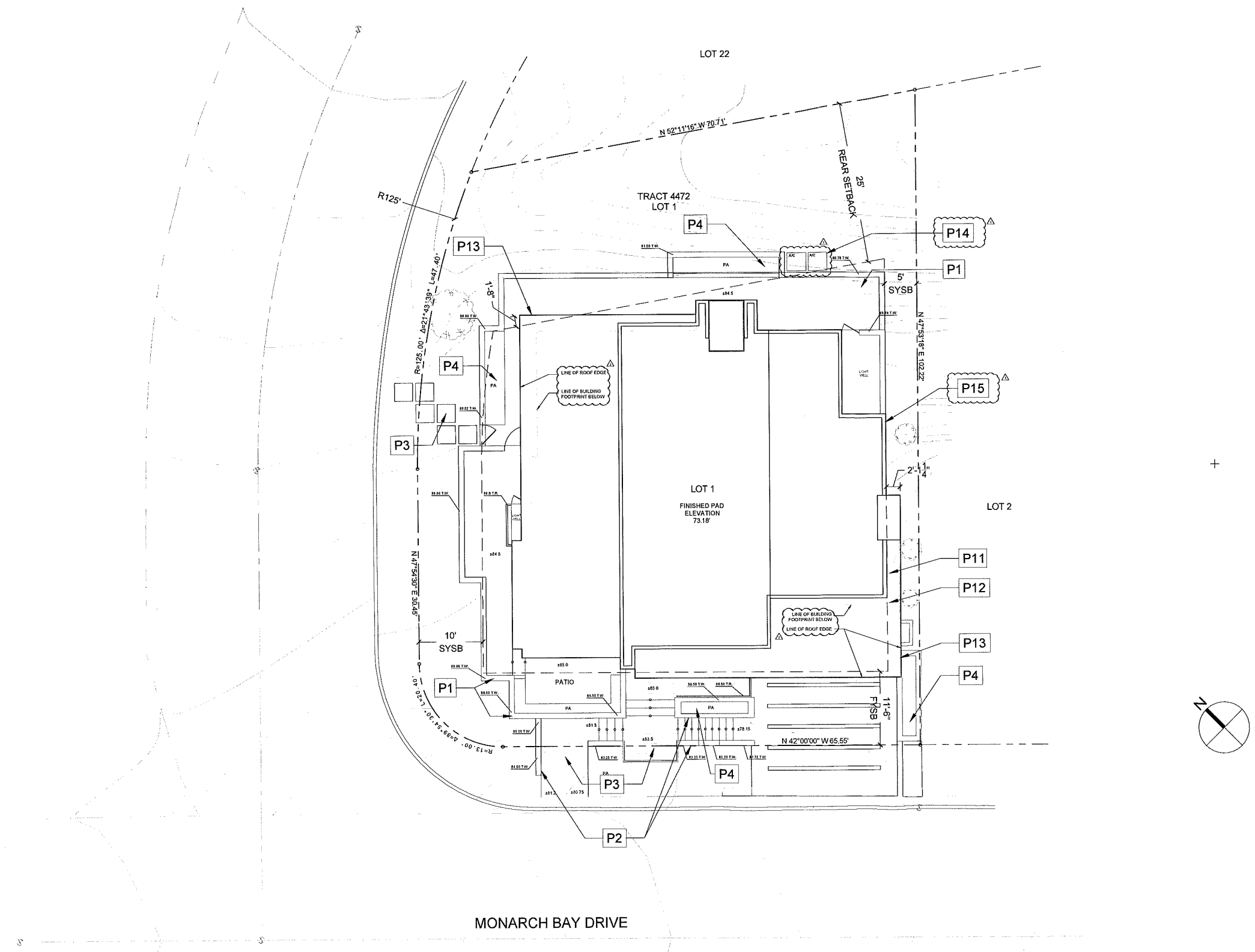
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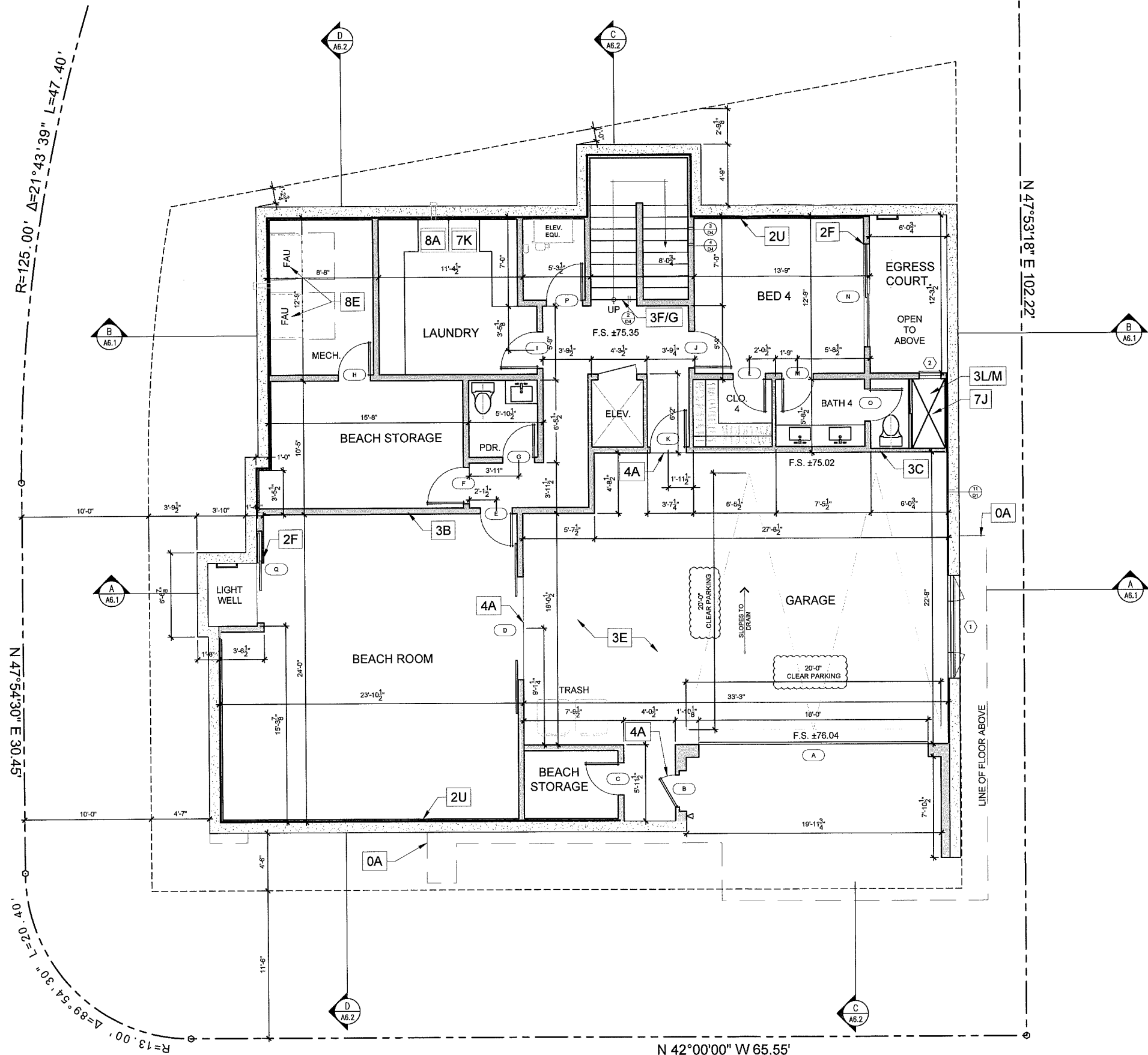
GENERAL NOTES

1. Separate permit(s) is/are required for accessory building, landscape, patio covers, fences, swimming pool, retaining wall, demolition, etc.
2. Provide house street number visible and legible from street. (Minimum 4" High x 1" Wide).
3. Refer to permitted grading plan per Civil Engineer for hardscape and landscape drainage slope minimums.
4. The discharge of pollutants to any storm drainage systems is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.
5. Doors that provide direct access to the swimming pool shall be provided with a barrier per City Ordinance.
6. New Group R Division 3 Occupancies shall be equipped with an approved automatic sprinkler system per C.B.C. 903.2.7 Residential or quick-response standard sprinkler heads shall be used in the dwelling unit and guest room portions of the building. In accordance with 2002 NFPA 13D, minimum.
7. All drainage shall be maintained and in accordance with the 2013 California Building Code and the City of Dana Point Municipal Code.
8. Pool Equipment area shall drain to a landscape area or to the sanitary sewer system.

SITE PLAN NOTES

- XX SYMBOL
- P1 GARDEN WALL STUCCO FINISH
P2 GARDEN WALL STONE FINISH
P3 HARDSCAPE-REFER TO LANDSCAPE PLAN
P4 PLANTER AREA-REFER TO LANDSCAPE PLAN
P5 WATER FOUNTAIN-REFER TO LANDSCAPE PLAN
P6 CLAY PAVER CAP
P7 PRECAST CONCRETE CAP
P8 PAVED DRIVEWAY
P9 WATER LATERAL
P10 SEWER LATERAL
P11 GAS METER
P12 ELECTRICAL SERVICE PANEL
P13 LINE OF ROOF ABOVE
P14 HVAC
P15 LINE OF PROPOSED BUILDING FOOTPRINT
P16 N/A
P17 N/A





GENERAL NOTES

- SEE CABINET DRAWINGS BY KITCHEN DESIGNER.
ALL EQUIPMENT, APPLIANCES, AND FIXTURES AS
SELECTED BY BUILDER AND INSTALLED PER MFR'S
RECOMMENDATIONS.
- ▲ = TEMPERED GLASS (TYP)
 - = EMERGENCY EGRESS WINDOW (TYP)
- PROVIDE THE FOLLOWING:
- 5.7 SQ. FT. OF CLEAR OPERABLE AREA
 - NET OPENABLE HEIGHT SHALL BE 24" MIN.
 - NET OPENABLE WIDTH SHALL BE 20" MIN.
 - FINISH SILL HEIGHT OF 44" MAX. AFF. DASHED LINE INDICATES SOFFIT ABOVE (U.N.O.). SEE SOFFIT PLAN.
 - ALL LIGHTING SHALL BE HIGH EFFICACY PER SECTION 150.0 (K)
 - EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. BEES 150(C). EXC. 5 TO 150(A) & ASHRAE STD. 62.2
 - FACTORY-BUILT FIREPLACES TO BEAR THE STAMP OF AN APPROVED TESTING LAB AND SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND MANUFACTURER'S INSTRUCTIONS (CRC R1004.1) U.L. 127
 - SAFETY GLAZING DESIGNATION SHALL BE PERMANENTLY MARKED PER CRC R308.1
 - SHOWER SHALL BE PROVIDED WITH MIXING VALVE IN ACCORDANCE WITH ASSE A112.18.1 / CSA B125.1 (CPG 408.3)

FLOOR PLAN NOTES

- | XX | SYMBOL |
|----|--|
| 0 | SPATIAL |
| 0A | LINE OF FLOOR AND/OR WALL ABOVE |
| 0B | LINE OF FLOOR AND/OR WALL BELOW |
| 2 | EXTERIORS |
| 2A | NOT USED |
| 2D | GUARDRAIL (42" MIN.). SEE ELEV. FOR HEIGHT |
| 2F | 2x6 STUD FRAMING |
| 2G | (2) 2x4 STUD FRAMING |
| 2L | NOT USED |
| 2T | VERSA SHIELD BY GAF (ICC ESR 2053) |
| 2U | FLAT STUD FRAMING |
| 2V | STONE VENEER PER OWNER |
| 2W | METAL GLAD PER OWNER |
| 2X | NOT USED |
-
- | 3 | INTERIORS |
|----|---|
| 3A | LINE OF FLOOR MATERIAL CHANGE |
| 3B | 2x6 STUD FRAMING |
| 3C | 2x4 STUD FRAMING |
| 3D | GUARDRAIL (42" MIN.). SEE DETAIL. |
| 3E | PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING OF GARAGE AND AT ALL USABLE SPACE UNDER STAIRS W/ STUDS @ 16" O.C. MAX. THE FRAMING FOR THE GARAGE CEILING SHALL BE SPACED @ 16" O.C. MAX. OR INCREASE NUMBER OF LAYERS OF TYPE 'X' GYP. BD. PER 'I' JOIST MANUFACTURER'S SPECS. AIR DUCTS IN THE GARAGE THAT PASS THROUGH LIVING/GARAGE COMMON WALL SHALL BE NO. 26 GAUGE STEEL OR THICKER. CRC R302.6 |
| 3F | MAX RISER HEIGHT SHALL BE 7 1/2" |
| 3G | TREADS / WINDER MIN. DEPTH SHALL BE 10" |
| 3I | NOT USED |
| 3J | SHelf AND POLE. |
| 3K | NOT USED |
| 3L | SHOWER WALL COVERINGS SHALL BE NONABSORBENT SUCH AS CEMENT PLASTER, TILE OR APPROVED EQUAL TO 72" ABV FF AT SHOWER OR TUB PER R307.2 |
| 3M | CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS BASE FOR WALL TILE IN TUB & SHOWER AREA & WALL & CEILING PANELS IN SHOWER AREAS |
| 3O | NOT USED |
| 3P | GAS FIREPLACE - TOWN & COUNTRY MODEL TC42 OR TC36. PROVIDE GLASS COVERING OVER ENTIRE OPENING. COMBUSTION AIR INTAKE FROM OUTSIDE BUILDING DIRECTLY INTO FIREBOX (MIN 6 SQ. IN.). FLUE DAMPER W/ READILY ACCESSIBLE, CONTROL AND PERMANENTLY INSTALLED GAS LOGS. DIRECT VENT SEALED COMBUSTION CHAMBER TYPE PER CGBSC 4.503. |
| 3Q | NOT USED |
| 3X | HANDRAIL (42" MIN.) SEE DETAIL. |
| 3Y | LINE OF RECESSED SHADE POCKET |
| 4 | OPENINGS |
| 4A | MIN 1-3/4" THICK, SELF-CLOSING, SELF-LATCHING TIGHT FITTING, SOLID CORE DOOR, or 20-MIN FIRE RATED DOOR. |
| 5 | APPLIANCES |
| 5A | VERIFY ALL CLEAR DIMENSION |
| 5B | REFRIGERATOR SPACE WITH RECESSED COLD WATER BIBB FOR ICE MAKER. |
| 5C | BUILT-IN DISHWASHER. |
| 5D | COOKTOP WITH VENT HOOD |
| 6 | CABINETS AND COUNTERS |
| 6A | SEE INTERIOR ELEVATIONS |
| 6B | RECESSED MEDICINE CABINET AT 52" A.F.F. |
| 6C | BUILT-IN CABINET(S). |
| 6D | LINEN CABINET. |
| 6E | DESK - 32" AFF. |
| 6F | VANITY - 32" AFF. |
| 6G | LINE OF CABINET(S) UPPER/LOWER |
| 6H | BUILT-IN SHELVES. |
| 6I | BUILT-IN BOOK SHELVES. |
| 6J | COUNTER TO CONTINUE ABV WASHER & DRYER |
| 7 | PLUMBING |
| 7A | VERIFY WITH BUILDER SPECS |
| 7B | SINK WITH GARBAGE DISPOSAL. |
| 7C | VEGGIE SINK. |
| 7D | BAR SINK. |
| 7E | LAUNDRY SINK. |
| 7F | HOT MOPPED SHOWER PAN WITH MUDSET CERAMIC TILE FLOOR AND FULL HEIGHT WAJNSCOT. PROVIDE SHATTER RESISTENT GLASS ENCLOSURE. SHOWER HEAD AT 84" A.F.F. |
| 7G | WASHER SPACE. PROVIDE RECESSED HOT AND COLD WATER BIBBS, FLOOR PAN AND DRAIN (SECOND FLOOR ONLY) |
| 8 | MECHANICAL |
| 8A | DRYER SPACE. PROVIDE DRYER VENT TO OUTSIDE AIR PER 2018 UMC. |
| 8B | G.I. SCREENED COMBUSTION AIR VENTS, HIGH AND LOW, PER 2018 UMC. |
| 8C | VENT DRYER UP & THROUGH FLOOR FRAMING. |
| 8D | DUCT CHASE. |
| 8E | FORCED AIR UNIT. EXACT LOCATION TO BE DETERMINED BY HVAC CONTRACTOR. SEE DETAIL. |
| 8F | NOT USED |



C.J. LIGHT ASSOCIATES

Christian R. Light • Architect

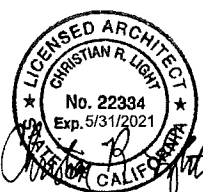
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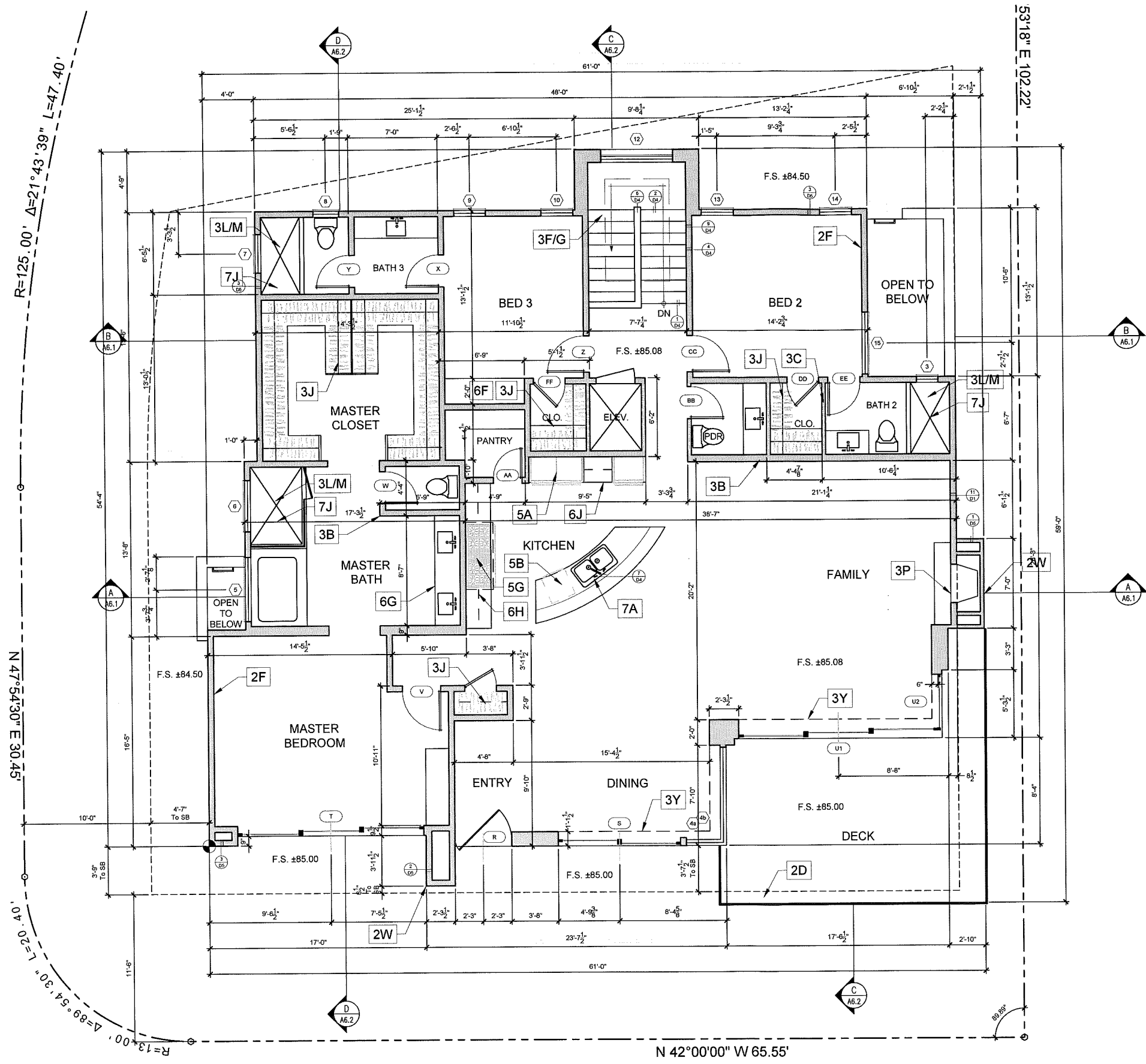
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Custom Residence
325 Monarch Bay
Dana Point, California 92629

Proposed
Floor Plan

Job Number: 1919
Scale: 1/4" = 1'-0"
Submittal Dates:
Submittal November 22, 2019
Submittal January 13, 2020
Submittal February 12, 2020





GENERAL NOTES

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ALL EQUIPMENT, APPLIANCES, AND FIXTURES AS
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▲ = TEMPERED GLASS (TYP)
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INDICATES SOFFIT ABOVE (U.N.O.). SEE SOFFIT
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1500). E.C. 5 TO 1502(A) & ASHRAE STD. 62.2
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INSTRUCTIONS (CRC R1004.1) UL 127
8. SAFETY GLAZING DESIGNATION SHALL BE
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9. SHOWER SHALL BE PROVIDED WITH MIXING VALVE IN
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FLOOR PLAN NOTES

- XX SYMBOL
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- 0A. LINE OF FLOOR AND/OR WALL ABOVE
- 0B. LINE OF FLOOR AND/OR WALL BELOW
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- 2B. GUARDRAIL (42" MIN.). SEE ELEV. FOR HEIGHT
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- 2D. (2) 2x4 STUD FRAMING
- 2L. NOT USED
- 2T. VERSA SHIELD BY GAF (ICC ESR 2053)
- 2U. FLAT STUD FRAMING
- 2V. STONE VENEER PER. OWNER
- 2W. METAL GLAD PER OWNER
- 2X. NOT USED
- 3 INTERIORS
- 3A. LINE OF FLOOR MATERIAL CHANGE
- 3B. 2x6 STUD FRAMING
- 3C. 2x4 STUD FRAMING
- 3D. GUARDRAIL (42" MIN.). SEE DETAIL
- 3E. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING OF
GARAGE AND AT ALL USABLE SPACE UNDER
STAIRS W/ STUDS @ 16" O.C. MAX. THE FRAMING
FOR THE GARAGE CEILING SHALL BE SPACED
@ 16" O.C. MAX. OR INCREASE NUMBER OF
LAYERS OF TYPE 'X' GYP. BD. PER 1 JOIST
MANUFACTURER'S SPECS. AIR DUCTS IN THE
GARAGE THAT PASS THROUGH LIVING/GARAGE
COMMON WALL SHALL BE NO. 26 GAUGE STEEL
OR THICKER. CRC R302.6
- 3F. MAX RISER HEIGHT SHALL BE 7 1/2"
- 3G. TREADS / WINDER MIN. DEPTH SHALL BE 10"
- 3I. NOT USED
- 3J. SHELF AND POLE
- 3K. NOT USED
- 3L. SHOWER WALL COVERINGS SHALL BE
NONABSORBENT SUCH AS CEMENT PLASTER,
TILE OR APPROVED EQUAL TO 72" ABV FF AT
SHOWER OR TUB PER R307.2
- 3M. CEMENT, FIBER-CEMENT, FIBER-MAT
REINFORCED CEMENT, GLASS MAT GYPSUM OR
FIBER-REINFORCED GYPSUM BACKERS SHALL
BE USED AS BASE FOR WALL TILE IN TUB &
SHOWER AREA & WALL & CEILING PANELS IN
SHOWER AREAS
- 3O. NOT USED
- 3P. GAS FIREPLACE - TOWN & COUNTRY MODEL
TC42 OR TC38, PROVIDE GLASS COVERING OVER
ENTIRE OPENING, COMBUSTION AIR INTAKE
FROM OUTSIDE BUILDING DIRECTLY INTO
FIREBOX (MIN 6 SQ. IN.), FLUE DAMPER W/
READILY ACCESSIBLE CONTROL AND
PERMANENTLY INSTALLED GAS LOGS, DIRECT
VENT SEALED COMBUSTION CHAMBER TYPE PER
CGBC 4.503.
- 3Q. NOT USED
- 3K. HANDRAIL (42" MIN.) SEE DETAIL
- 3Y. LINE OF RECESSED SHADE POCKET
- 4 OPENINGS
- 4A. MIN 1-3/4" THICK, SELF-CLOSING,
SELF-LATCHING TIGHT FITTING, SOLID CORE DOOR,
or 20-MIN FIRE RATED DOOR.
- 5 APPLIANCES
- 5A. VERIFY ALL CLEAR DIMENSION
- 5A. REFRIGERATOR SPACE WITH RECESSED
COLD WATER BIBB FOR ICE MAKER.
- 5B. BUILT-IN DISHWASHER.
- 5G. COOKTOP WITH VENT HOOD
- 6 CABINETS AND COUNTERS
- 6A. SEE INTERIOR ELEVATIONS
- 6A. RECESSED MEDICINE CABINET AT 52" A.F.F.
- 6B. BUILT-IN CABINET(S).
- 6C. LINEN CABINET.
- 6F. DESK - 32" AFF.
- 6G. VANITY - 32" AFF.
- 6H/J. LINE OF CABINET(S) UPPER/LOWER
- 6K. BUILT-IN SHELVES.
- 6L. BUILT-IN BOOK SHELVES.
- 6M. COUNTER TO CONTINUE ABV WASHER & DRYER
- 7 PLUMBING
- 7A. VERIFY WITH BUILDER SPECS
- 7A. SINK WITH GARBAGE DISPOSAL.
- 7B. VEGGIE SINK.
- 7C. BAR SINK.
- 7D. LAUNDRY SINK.
- 7J. HOT MOPPED SHOWER PAN WITH MUDSET
CERAMIC TILE FLOOR AND FULL HEIGHT WAINSCOT.
PROVIDE SHATTER RESISTENT GLASS ENCLOSURE.
SHOWER HEAD AT 84" A.F.F.
- 7K. WASHER SPACE. PROVIDE RECESSED HOT
AND COLD WATER BIBBS, FLOOR PAN AND
DRAIN (SECOND FLOOR ONLY)
- 8 MECHANICAL
- 8A. DRYER SPACE. PROVIDE DRYER VENT TO
OUTSIDE AIR PER 2018 UMC.
- 8B. G.I. SCREENED COMBUSTION AIR VENTS,
HIGH AND LOW, PER 2018 UMC.
- 8C. VENT DRYER UP & THROUGH FLOOR FRAMING.
- 8D. DUCT CHASE.
- 8E. FORCED AIR UNIT. EXACT LOCATION TO BE
DETERMINED BY HVAC CONTRACTOR. SEE DETAIL.
- 8F. NOT USED



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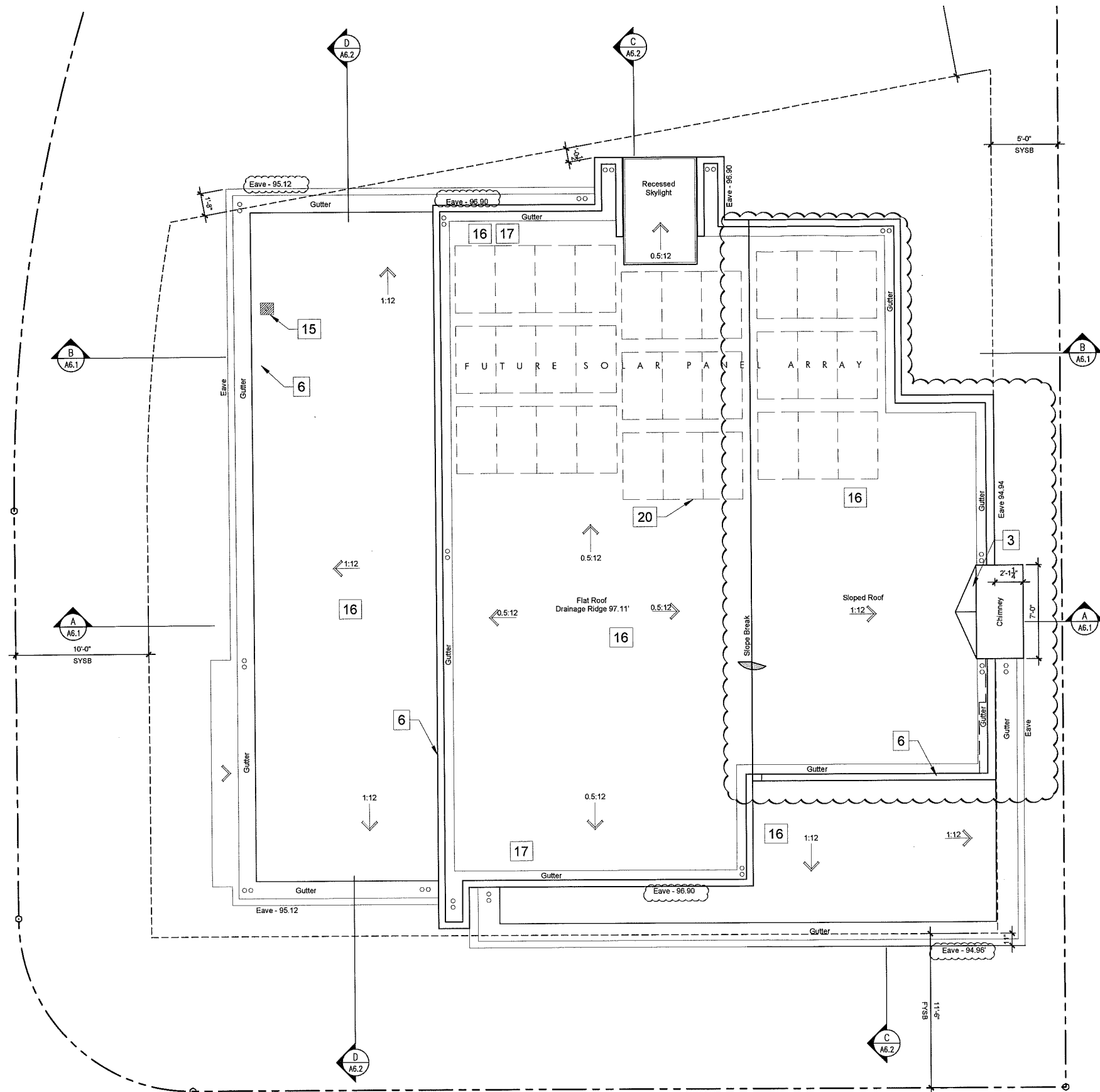
Custom Residence
325 Monarch Bay
Dana Point, California 92629

Proposed
Floor Plan

Job Number: 1919
Scale: 1/4" = 1'-0"
Submittal Dates:
Submittal November 22, 2019
Submittal January 13, 2020
Submittal February 12, 2020



A2.2



GENERAL NOTES

- NAILING NOTES:**
1. 11 GA CORROSION RESISTANT 3/4" INTO SHEATHING PER TABLE 15-D-1.
 2. THE HEADS OF ALL TILES SHALL BE NAILED.
 3. THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS.
 4. ALL RAKE TILES SHALL BE NAILED WITH 2 NAILS.
 5. THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC.
 6. ALL ROOF FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND BE ABLE TO RESIST WIND LOAD OF NOT LESS THAN 80 M.P.H. - O.C. BUILDING ORD.

- ATTIC VENT NOTES:**
1. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF NO GREATER THAN 1/8 INCH.
 2. ATTIC VENTS SHALL NOT BE PLACED ON THE EXPOSED SIDES OF THE STRUCTURE. VERIFY PROHIBITED LOCATIONS W/O.C.F.A.
 3. VERIFY (E) ATTIC VENTS COMPLY AS FOLLOWS AREA X 1/500

ROOF PLAN NOTES

- XX** SYMBOL
- 10'-0" ± T.O.B.M.** PLATE HEIGHT
ADDITIONAL PLATE NOTES
- X** NUMBER OF EXPOSED RAFTER TAILS, EQUALLY SPACED @ LENGTH OF WALL. SEE ELEVATIONS

- 0. ROOF**
1. TYPICAL SLOPED ROOF ASSEMBLY:
A. ROOFING MATERIAL: SLATE TILE (ICC # ESR-1647) MINIMUM CLASS 'A' ASSEMBLY
B. UNDERLAYMENT PER TILE MANUFACTURER.
C. ROOF SHEATHING PER STRUCTURAL DRAWINGS.
D. ROOF FRAMING PER STRUCTURAL DRAWINGS.
E. STARTER BOARD TO BE 2X CUSTOM MILLED.
 2. G.I. METAL VENT WITH MIN. 95 SQ. IN. FREE AREA - VERIFY LOCATION.
 3. G.I. METAL FLASHING AND SADDLE AT ROOF TO CHIMNEY.
 4. G.I. METAL RAIN GUTTER AT EAVES.
 5. TYP. DOWNSPOUT - VERIFY LOCATION. CONNECT TO SUB-GRADE DRAINAGE SYSTEM - SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
 6. STUCCO SOFFIT BELOW WITH STRIP ATTIC VENTING AS REQUIRED.
 7. LINE OF STRUCTURE BELOW.
 8. G.I. METAL VALLEY FLASHING TYP. SEE DETAIL.
 9. G.I. METAL FLASHING AND BUILT-UP CRICKET.
 10. PRECAST FINIAL
 11. METAL RAIN GUTTER AT EAVES OPTIONAL NOT PART OF STANDARD PLAN
 12. BIRD STOPS- SEE ROOF PLAN FOR LOCATIONS
 13. GABLE END VENT PER DETAIL. SEE ELEV. FOR SIZE AND LOCATION. TRUSS MANUFACTURER TO PROVIDE OPENING AT TRUSS WEB FOR GABLE VENT APPLICATION.
 14. EAVE VENT BLOCK.
 15. PROVIDE (2) LAYERS OF FELT AT ROOF PITCHES LESS THAN 4:12 PER MANUFACTURE INSTALLATION REQUIREMENTS.
 16. LOCATION OF F.A.U. VENT THROUGH ROOF
 17. TYPICAL FLAT ROOF ASSEMBLY:
A. VERSA SHIELD BY GAF (ICC ESR 2053) MINIMUM CLASS 'A' ASSEMBLY
B. UNDERLAYMENT PER MANUFACTURER.
C. ROOF SHEATHING PER STRUCTURAL DRAWINGS.
D. ROOF FRAMING PER STRUCTURAL DRAWINGS.
E. INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
 18. ROOF DRAIN. OVERFLOW TO BE PIPED SEPARATELY
 19. STANDING SEAM ZINC ROOF PANELS
A. STANDING SEAM ROOF PANELS (ICC # ESR-1902)
B. UNDERLAYMENT PER MANUFACTURER.
C. ROOF SHEATHING PER STRUCTURAL DRAWINGS.
D. ROOF FRAMING PER STRUCTURAL DRAWINGS
 20. SOLAR ARRAY



C.J. LIGHT ASSOCIATES

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Custom Residence
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Dana Point, California 92629

Roof Plan

Job Number: 1919
Scale: 1/4" = 1'-0"

Submital Dates:
 Submital November 22, 2019
 Submital January 13, 2020
 Submital February 12, 2020



A2.3

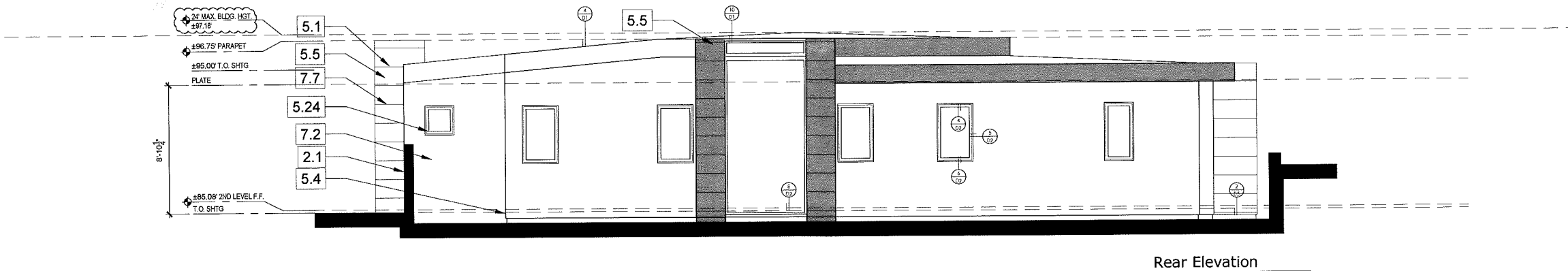
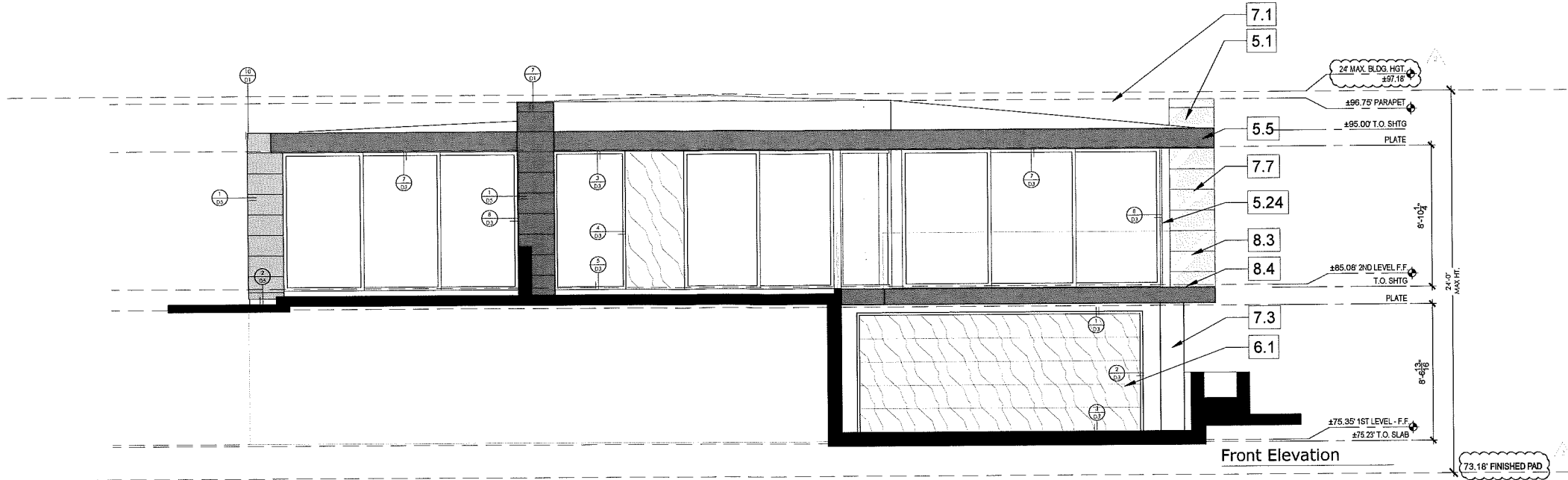


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Custom Residence
325 Monarch Bay
Dana Point, California 92629



ELEVATION NOTES

XX SYMBOL

0. SPATIAL
0.1 LINE OF WALL BEYOND.
0.2 OPENING IN WALL.

2. MASONRY
2.1 CAST IN PLACE CONCRETE
2.2 C.M.U. WALL WITH STUCCO FINISH.
2.3 NOT USED
2.4 NOT USED
2.5 CLAY PAVERS.
2.6 PRECAST CONCRETE TRIM
2.7 NOT USED

5. METALS
5.1 CORROSION RESISTANT METAL CHIMNEY CAP.
NOTE: CHIMNEY CAPS SHALL BE APPROVED BY THE FIREPLACE MANUFACTURER. SUBMIT LETTER OF APPROVAL TO BUILDING DEPT. PRIOR TO FABRICATION.
5.2 CORROSION RESISTANT METAL SADDLE AND FLASHING.
5.3 CORROSION RESISTANT FLASHING AT INTERSECTION.
5.4 CORROSION RESISTANT STUCCO WEEP SCREED, TYP.
5.5 CORROSION RESISTANT METAL TRIM
5.6 NOT USED
5.7 NOT USED
5.8 NOT USED.

5.9 CORROSION RESISTANT DECORATIVE METAL GUARDRAIL, 42" HIGH MIN.
5.10 CORROSION RESISTANT ORNAMENTAL METAL GATE.
5.11 NOT USED
5.12 NOT USED
5.13 NOT USED
5.14 NOT USED
5.15 CORROSION RESISTANT COPPER GUTTER, TYP.
5.16 NOT USED
5.17 NOT USED
5.18 NOT USED
5.19 CORROSION RESISTANT METAL LOUVERED VENT WITH 1/4" SCREEN AT INTERIOR.

5.20 NOT USED
5.21 NOT USED
5.22 NOT USED
5.23 NOT USED
5.24 CORROSION RESISTANT METAL FRAME WINDOW AND DOOR SYSTEM (TBD)

6. WOOD
6.1 WOOD - FRENCH OAK - NATURAL STAIN
6.2 NOT USED
6.3 NOT USED
6.4 NOT USED
6.5 NOT USED
6.6 NOT USED
6.7 NOT USED

6.8 NOT USED
6.9 NOT USED
6.10 NOT USED
6.11 NOT USED
6.12 NOT USED
6.13 NOT USED
6.14 NOT USED
6.15 NOT USED
6.16 NOT USED
6.17 WOOD DOOR CASING.
6.18 NOT USED
6.19 NOT USED
6.20 WOOD SOLID CORE DOOR.
6.21 NOT USED
7. EXTERIOR FINISHES
7.1 ROOFING MATERIAL, BLK CLOSED CELL MEMBRANE.
7.2 3-COAT STUCCO SMOOTH HAND TROWLED FINISH. WITH 2-LAYERS OF GRADE D PAPER (FELT) OVER PLYWOOD SHEATHING (R703.7.3) - DUNN EDWARDS WHITE

7.3 STONE VENEER - STRIATED LIMESTONE
7.4 STUCCO SILL, SLOPE 1/2" PER FT. MIN.
7.5 NOT USED
7.6 NOT USED
7.7 CORROSION RESISTANT METAL SIDING - STAINLESS STEEL
7.8 NOT USED
7.9 NOT USED
7.10 NOT USED
7.11 NOT USED
7.12 NOT USED
7.13 NOT USED
7.14 NOT USED
7.15 NOT USED

8. SPECIALTIES
8.1 NOT USED

8.2 NOT USED
8.3 GLASS GUARD RAIL 42" HIGH MIN.
8.4 WATER RESISTANT DECK SURFACE, PER MFR'S REQ.'S.
8.5 NOT USED

9. UTILITIES
9.1 LIGHT FIXTURE, 'V' BOX TO BE CENTERED AT +78" AFF (UNO) - SEE BUILDER.
9.2 ADDRESS SIGN, LOCATED AT +4" BELOW LIGHT FIXTURE, ILLUMINATED ON PHOTOCELL. - SEE BUILDER. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE A MIN. 4" IN HEIGHT AND 1/2" STROKE WIDTH (CRC R319.1)



A5.1



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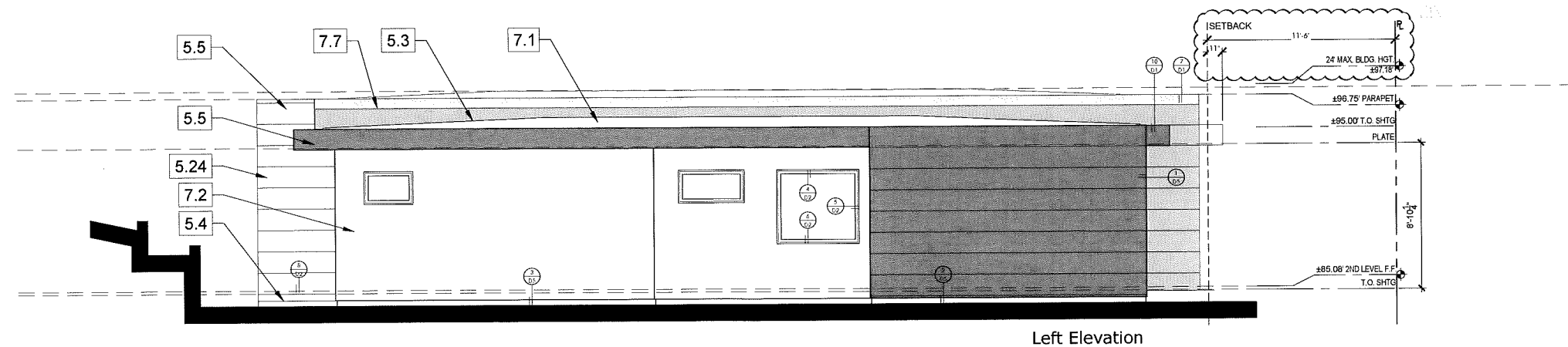
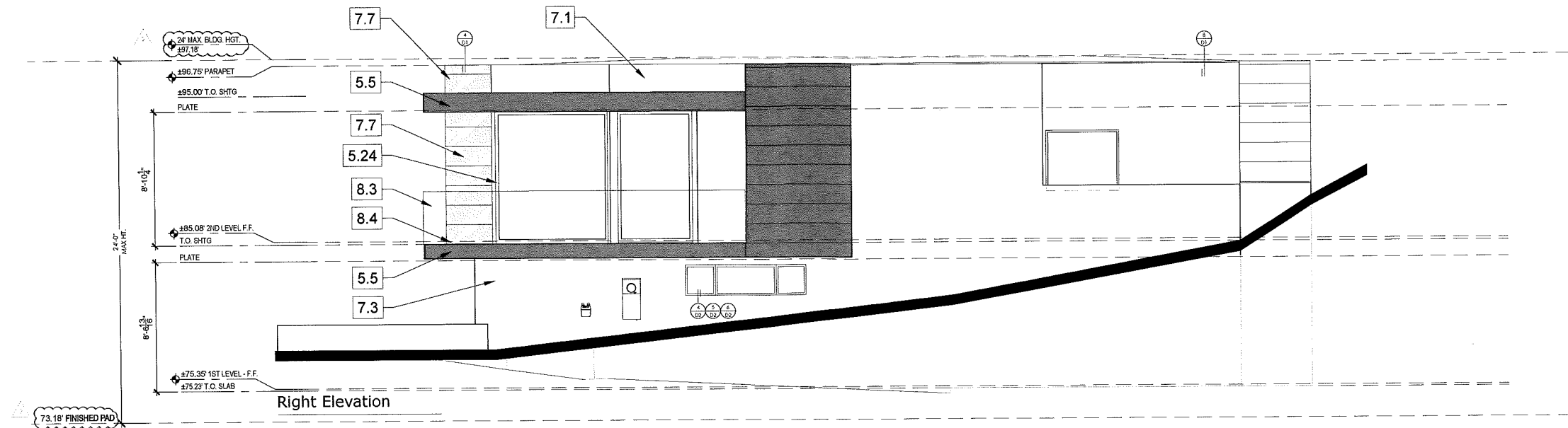
**Custom Residence
325 Monarch Bay
Dana Point, California 92629**

Elevations

Job Number: 1919
Scale: 1/4" = 1'-0"
Submittal Dates:
Submittal November 22, 2019
Submittal January 13, 2020
Submittal February 12, 2020



A5.2



ELEVATION NOTES

XX	SYMBOL
----	--------

0. SPATIAL
0.1 LINE OF WALL BEYOND.
0.2 OPENING IN WALL.

2. MASONRY
2.1 CAST IN PLACE CONCRETE
2.2 C.M.U. WALL WITH STUCCO FINISH.
2.3 NOT USED
2.4 NOT USED
2.5 CLAY PAVERS.
2.6 PRECAST CONCRETE TRIM
2.7 NOT USED

5. METALS

- 5.1 CORROSION RESISTANT METAL CHIMNEY CAP.
NOTE: CHIMNEY CAPS SHALL BE APPROVED BY
THE FIREPLACE MANUFACTURER. SUBMIT
LETTER OF APPROVAL TO BUILDING DEPT.
PRIOR TO FABRICATION.
- 5.2 CORROSION RESISTANT METAL SADDLE AND
FLASHING.
- 5.3 CORROSION RESISTANT FLASHING AT
INTERSECTION.
- 5.4 CORROSION RESISTANT STUCCO WEEP SCREEN
TYPE.
- 5.5 CORROSION RESISTANT METAL TRIM
- 5.6 NOT USED
- 5.7 NOT USED
- 5.8 NOT USED.

5.9 CORROSION RESISTANT DECORATIVE METAL

GUARDRAIL, 42" HIGH MIN.
5.10 CORROSION RESISTANT ORNAMENTAL METAL GATE.
5.11 NOT USED
5.12 NOT USED
5.13 NOT USED
5.14 NOT USED
5.15 CORROSION RESISTANT COPPER GUTTER, TY
5.16 NOT USED
5.17 NOT USED
5.18 NOT USED
5.19 CORROSION RESISTANT METAL LOUVERED V WITH 1/4" SCREEN AT INTERIOR.

5.20 NOT USED
5.21 NOT USED
5.22 NOT USED
5.23 NOT USED
5.24 CORROSION RESISTANT METAL FRAME WINDOW
AND DOOR SYSTEM (TBD)

6. WOOD
6.1 WOOD - FRENCH OAK - NATURAL STAIN
6.2 NOT USED
6.3 NOT USED
6.4 NOT USED
6.5 NOT USED
6.6 NOT USED
6.7 NOT USED

6.8 NOT USED
6.9 NOT USED
6.10 NOT USED
6.11 NOT USED
6.12 NOT USED
6.13 NOT USED
6.14 NOT USED
6.15 NOT USED
6.16 NOT USED
6.17 WOOD DOOR CASING.
6.18 NOT USED
6.19 NOT USED
6.20 WOOD SOLID CORE DOOR.
6.21 NOT USED

7. EXTERIOR FINISHES

7.1 ROOFING MATERIAL, BLK CLOSED CELL MEMBRANE
8.20 LUCO SMOOTH HAND TROWEL FINISH.
WITH 2-LAYERS OF GRADE D PAPER (FELT) OVER
PLYWOOD SHEATHING (R703.7.3) - DUNN EDWARDS
WHITE

7.3 STONE VENEER - STRIATED LIMESTONE
7.4 STUCCO SILL, SLOPE 1/2" PER FT. MIN.
7.5 NOT USED
7.6 NOT USED
7.7 CORROSION RESISTANT METAL SIDING - STAINLESS
STEEL
7.8 NOT USED
7.9 NOT USED
7.10 NOT USED
7.11 NOT USED
7.12 NOT USED
7.13 NOT USED
7.14 NOT USED
7.15 NOT USED

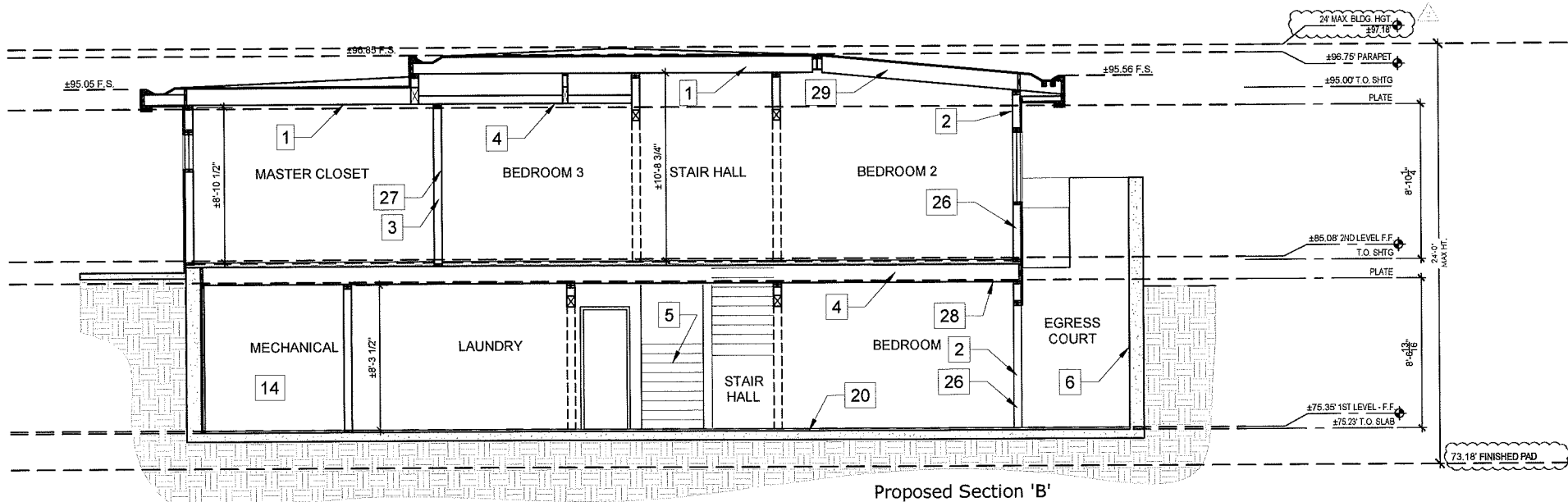
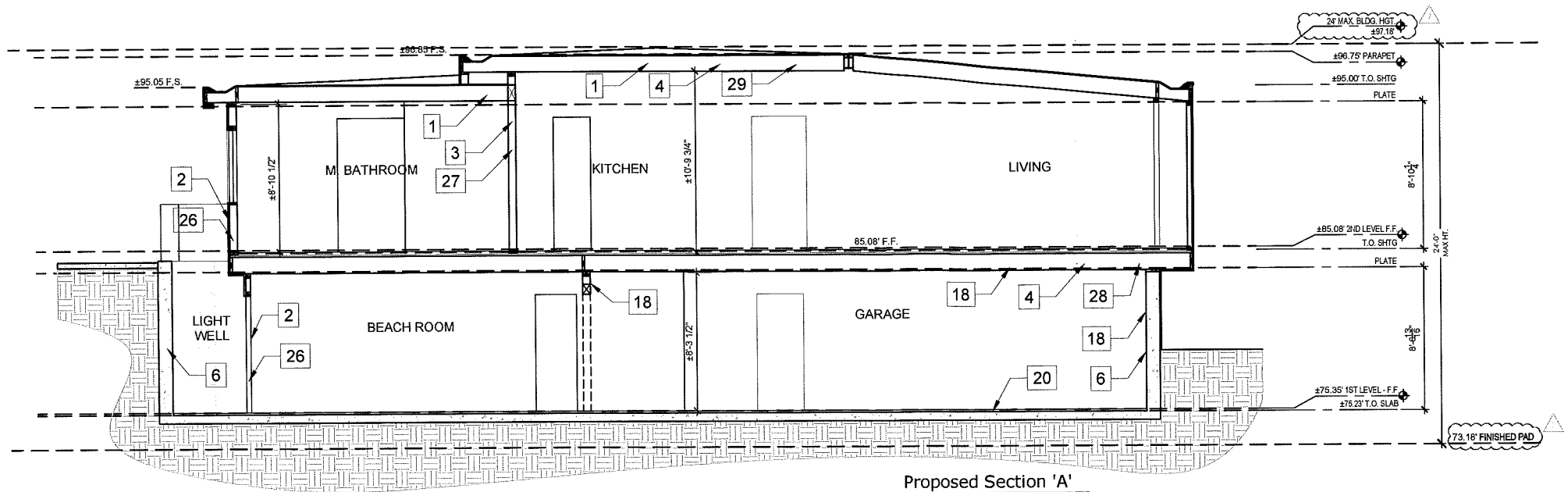
8. SPECIALTIES
8.1 NOT USED

8.2 NOT USED
8.3 GLASS GUARD RAIL 42" HIGH MIN.
8.4 WATER RESISTANT DECK SURFACE, PER
MFR'S REQ.'S.
8.5 NOT USED

9. UTILITIES

9.1 LIGHT FIXTURE, 'J' BOX TO BE CENTERED AT +78" AFF (UNO) - SEE BUILDER.

9.2 ADDRESS SIGN, LOCATED AT +4" BELOW LIGHT FIXTURE, ILLUMINATED ON PHOTOCELL. - SEE BUILDER. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE A MIN. 4" IN HEIGHT AND 1/2" STROKE WIDTH (CRC R319.1)



GENERAL NOTES

- A. TYPICAL CONSTRUCTION ASSEMBLIES:
CROSS SECTIONS OF TYPICAL CONSTRUCTION ASSEMBLIES ARE DESCRIBED BY A CONSECUTIVE LISTING OF MATERIAL. EXTERIOR ASSEMBLIES
SUCH AS ROOFS AND EXTERIOR WALLS LIST MATERIALS IN ORDER FROM EXTERIOR SURFACES TO INTERIOR SURFACES.
HORIZONTAL ASSEMBLIES SUCH AS FLOORS AND SLABS LIST MATERIAL FROM TOP TO BOTTOM. INTERIOR ASSEMBLIES LIST MATERIALS FROM ONE SIDE TO OTHER. REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND ADDITIONAL INFORMATION.
- B. STRUCTURAL FRAMING:
REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, PLYWOOD SHEAR WALLS AND ADDITIONAL INFORMATION.
- C. SOLE PLATES:
SOLE PLATES OR MUD SILLS IN CONTACT WITH CONCRETE SLABS SHALL BE PRESSURE TREATED. SOLE PLATES ON THE SECOND FLOOR ARE 2x4 PLATES UNLESS OTHERWISE REQUIRED.
- D. SECOND FLOOR:
SECOND FLOOR DIMENSIONS ARE TAKEN FROM TOP OF SUB FLOOR SHEATHING MATERIAL.
- E. FOUNDATION:
FOUNDATION IS TO BE A CONCRETE SLAB-ON GRADE SYSTEM, UNLESS OTHERWISE REQ'D (DESIGNED BY OTHERS).
- F. EXTERIOR ELEMENTS:
SECTIONS ARE DRAWN TO MATCH BASIC FLOOR PLANS & ELEVATIONS.
- G. INTERIOR FINISHES:
REFER TO FINISH SCHEDULE FOR FINISH INFORMATION AND NOTES.

SECTION NOTES

XX SYMBOL

0. SECTIONS
1. TYPICAL SLOPED ROOF ASSEMBLY:
A. ROOFING MATERIAL - PER ROOF PLAN.
B. UNDERLAYMENT - PER MANUFACTURER'S RECOMMENDATIONS.
C. PLYWOOD SHEATHING - PER STRUCTURAL ENGINEER.
D. CALIFORNIA FRAMING (WHERE OCCURS).
E. WOOD RAFTERS PER STRUCT DWGS.
F. INSULATION PER T-24 CALCS.
G. 2x CEILING JOISTS (WHERE OCCURS).
H. GYPSUM WALLBOARD OR TAG WOOD AT CEILING.
2. TYPICAL EXTERIOR WALL ASSEMBLY:
A. 7/8" 3 COAT EXTERIOR STUCCO.
B. WIRE LATH OVER MIN. TWO LAYERS WEATHER RESISTIV PAPER.
C. PLYWOOD SHEAR PANELS PER STRUCT DWGS.
D. 2x WALL FRAMING WITH INSULATION PER T-24.
E. GYPSUM WALLBOARD.
3. TYPICAL INTERIOR WALL ASSEMBLY:
A. GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED).
B. 2x WALL FRAMING.
C. PLYWOOD SHEAR PANELS (WHERE INDICATED).
D. GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED).
4. TYPICAL FLOOR/CEILING ASSEMBLY
A. FLOOR FINISH - SEE FINISH SCHEDULE.
B. SUBFLOOR SHEATHING MATERIAL GLUED AND Nailed. THICKNESS PER STRUCT. ENGINEER.
C. FLOOR JOISTS - PER STRUCT. ENGINEER.
D. 2x WOOD FURRING (WHERE OCCURS).
E. GYPSUM WALLBOARD (TYPE "X" WHERE OCCURS) OR TAG CEILING.
5. TYPICAL STAIR ASSEMBLY:
A. CONT. HANDRAIL SECURELY FASTENED TO WALL @ 36" MAX., 34" MIN. ABOVE TREAD @ NOSING.
B. FINISH MATERIAL PER BUILDER.
C. 1-1/8" THICK TREADS.
D. 1-1/8" THICK RISERS.
E. MIN. (3) 2 x 14 STRINGERS AT STRAIGHT RUN.
F. (1) 2 x 8 AT FRONT & BACK OF TREADS AT RADIAL RUN.
G. 2 x 8 JOISTS @ 16" O.C. MIN. AT LANDING. REFER TO STRUCTURAL DRAWINGS.
H. POSITIVE CONNECTION TO FLOOR PER STRUCTURAL DRAWINGS.
J. 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILINGS OF ALL USABLE SPACE UNDER STAIRS.
6. RETAINING WALL PER STRUCT DWGS
7. EXPOSED RAFTER TAILS AT EAVES. SEE ELEV.
8. EXPOSED WOOD BEAM.
9. STARTER BOARD AT EAVES.
10. STUCCO OVER HIGH RIBBED LATH AT SOFFIT.
11. SLOPING STUCCO SILL.
12. DECK ASSEMBLY:
A. WATERPROOF DECK COATING PER MANUFACTURER'S REQUIREMENTS.
B. EXTERIOR GRADE PLYWOOD SUBFLOOR. REFER TO STRUCTURAL DWGS.
C. FLOOR JOISTS PER STRUCTURAL ENGINEER.
D. 2x FURRING WHERE OCCURS.
E. GYP. BD. (TYPE "X" WHERE OCCURS) OR STUCCO OVER HIGH RIBBED LATH AT SOFFITS.
13. DRYWALL SHELF OVER 3/8" PLYWOOD AND 2x SHELF FRAMING.
14. F.A.U.(S) PER MECHANICAL ENGINEER AND HVAC CONTRACTOR. TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCE.
15. 22" x 30" MIN. ATTIC ACCESS VERIFY SIZE AND LOCATION. TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCE.
16. DRYWALL SOFFIT.
17. FURRED CEILING.
18. MIN. 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILINGS COMMON TO HOUSE AND GARAGE, AND AT USABLE SPACE UNDER STAIRS, TYP. VERIFY W/T JOIST MANUFACTURER SPECS.
19. CABINETS (BY OTHERS).
20. FOUNDATION (BY OTHERS).
21. NOT USED
22. METAL EGRESS LADDER
23. EXPOSED RESAWN WOOD BEAM / TRIM.
24. 2x T & G BOARD SOFFIT.
25. RAISED WOOD FLOOR - SEE STRUCTURAL.
26. EXTERIOR WALL INSULATION R-21
27. INTERIOR WALL INSULATION R-19
28. FLOOR INSULATION R-0
29. ROOF INSULATION R-38



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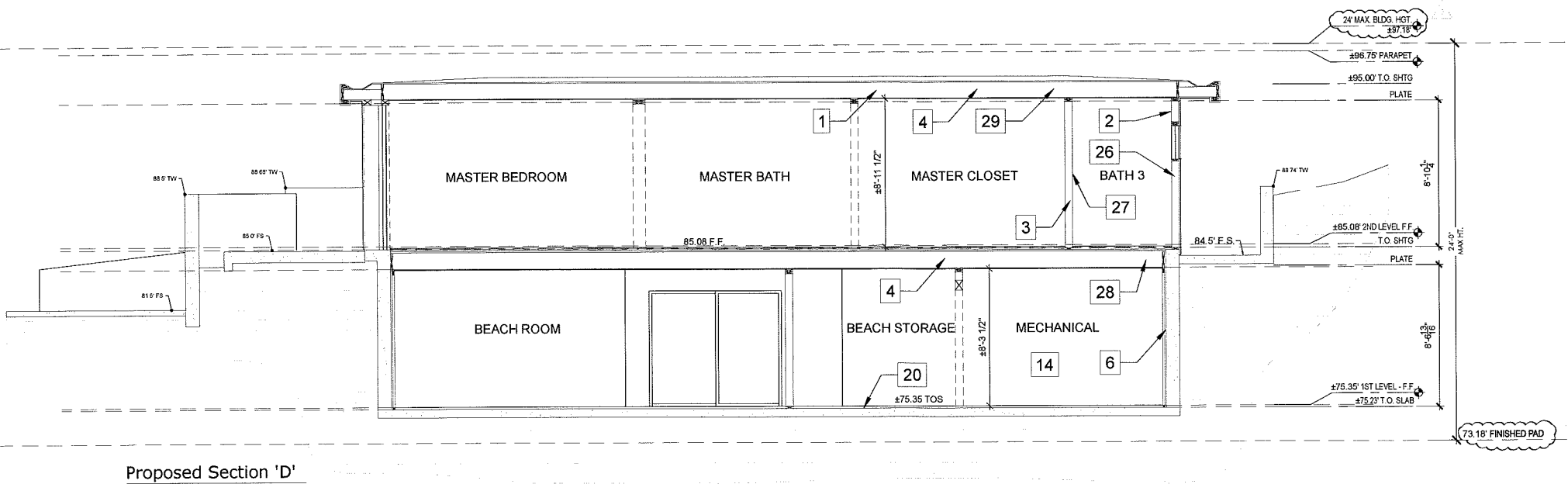
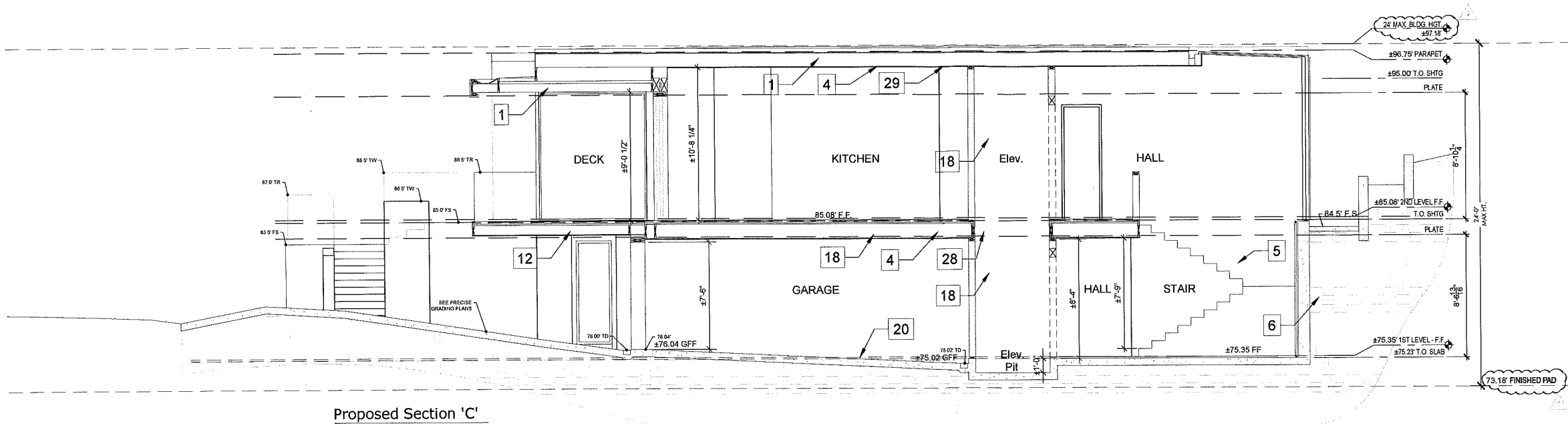
Custom Residence
325 Monarch Bay
Dana Point, California 92629

Sections

Job Number: 1919
Scale: 1/4" = 1'-0"
Submital Dates:
Submital November 22, 2019
Submital January 13, 2020
Submital February 12, 2020



A6.1



GENERAL NOTES

- A. TYPICAL CONSTRUCTION ASSEMBLIES:
CROSS SECTIONS OF TYPICAL CONSTRUCTION ASSEMBLIES ARE DESCRIBED BY A CONSECUTIVE LISTING OF MATERIAL. EXTERIOR ASSEMBLIES
SUCH AS ROOFS AND EXTERIOR WALLS LIST MATERIALS IN ORDER FROM EXTERIOR SURFACES TO INTERIOR SURFACES.
HORIZONTAL ASSEMBLIES SUCH AS FLOORS AND SLABS LIST MATERIAL FROM TOP TO BOTTOM. INTERIOR ASSEMBLIES LIST MATERIALS FROM ONE SIDE TO OTHER. REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND ADDITIONAL INFORMATION.
B. STRUCTURAL FRAMING:
REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING, CONNECTIONS, ROOF AND FLOOR SHEATHING, PLYWOOD SHEAR WALLS AND ADDITIONAL INFORMATION.
C. SOLE PLATES:
SOLE PLATES OR MUD SILLS IN CONTACT WITH CONCRETE SLABS SHALL BE PRESSURE TREATED. SOLE PLATES ON THE SECOND FLOOR ARE 2x4 PLATES UNLESS OTHERWISE REQUIRED.
D. SECOND FLOOR:
SECOND FLOOR DIMENSIONS ARE TAKEN FROM TOP OF SUB FLOOR SHEATHING MATERIAL.
E. FOUNDATION:
FOUNDATION IS TO BE A CONCRETE SLAB-ON GRADE SYSTEM, UNLESS OTHERWISE REQ'D (DESIGNED BY OTHERS).
F. EXTERIOR ELEMENTS:
SECTIONS ARE DRAWN TO MATCH BASIC FLOOR PLANS & ELEVATIONS.
G. INTERIOR FINISHES:
REFER TO FINISH SCHEDULE FOR FINISH INFORMATION AND NOTES.

SECTION NOTES

- XX SYMBOL
- D. SECTIONS
1. TYPICAL SLOPED ROOF ASSEMBLY:
A. ROOFING MATERIAL - PER ROOF PLAN.
B. UNDERLAYMENT - PER MANUFACTURER'S RECOMMENDATIONS.
C. PLYWOOD SHEATHING - PER STRUCTURAL ENGINEER.
D. CALIFORNIA FRAMING (WHERE OCCURS).
E. WOOD RAFTERS PER STRUCT DWGS.
F. INSULATION PER T-24 CALCS.
G. 2x CEILING JOISTS (WHERE OCCURS).
H. GYPSUM WALLBOARD OR T&G WOOD AT CEILING.
2. TYPICAL EXTERIOR WALL ASSEMBLY:
A. 7/8" 3 COAT EXTERIOR STUCCO.
B. WIRE LATH OVER MIN. TWO LAYERS WEATHER RESISTIV PAPER.
C. PLYWOOD SHEAR PANELS PER STRUCT DWGS.
D. 2x WALL FRAMING WITH INSULATION PER T-24.
E. GYPSUM WALLBOARD.
3. TYPICAL INTERIOR WALL ASSEMBLY:
A. GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED).
B. 2x WALL FRAMING.
C. PLYWOOD SHEAR PANELS (WHERE INDICATED).
D. GYPSUM WALLBOARD (TYPE "X" WHERE REQUIRED).
4. TYPICAL FLOOR/CEILING ASSEMBLY
A. FLOOR FINISH - SEE FINISH SCHEDULE.
B. SUBFLOOR SHEATHING MATERIAL GLUED AND NAILLED, THICKNESS PER STRUCT. ENGINEER.
C. FLOOR JOISTS - PER STRUCT. ENGINEER.
D. 2x WOOD FURRING (WHERE OCCURS).
E. GYPSUM WALLBOARD (TYPE "X" WHERE OCCURS) OR T&G CEILING.
5. TYPICAL STAIR ASSEMBLY:
A. CONT. HANDRAIL SECURELY FASTENED TO WALL @ 36" MAX., 34" MIN. ABOVE TREAD @ NOSING.
B. FINISH MATERIAL PER BUILDER.
C. 1-1/8" THICK TREADS.
D. 1-1/8" THICK RISERS.
E. MIN. (3) 2 x 14 STRINGERS AT STRAIGHT RUN.
F. (1) 2 x 8 AT FRONT & BACK OF TREADS AT RADIAL RUN.
G. 2 x 8 JOISTS @ 16" O.C. MIN. AT LANDING. REFER TO STRUCTURAL DRAWINGS.
H. POSITIVE CONNECTION TO FLOOR PER STRUCTURAL DRAWINGS.
J. 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILINGS OF ALL USABLE SPACE UNDER STAIRS.
6. RETAINING WALL PER STRUCT DWGS
7. EXPOSED RAFTER TAILS AT EAVES. SEE ELEV.
8. EXPOSED WOOD BEAM.
9. STARTER BOARD AT EAVES.
10. STUCCO OVER HIGH RIBBED LATH AT SOFFIT.
11. SLOPING STUCCO SILL.
12. DECK ASSEMBLY:
A. WATERPROOF DECK COATING PER MANUFACTURER'S REQUIREMENTS.
B. EXTERIOR GRADE PLYWOOD SUBFLOOR, REFER TO STRUCTURAL DWGS.
C. FLOOR JOISTS PER STRUCTURAL ENGINEER.
D. 2x FURRING WHERE OCCURS.
E. GYP. BD. (TYPE "X" WHERE OCCURS) OR STUCCO OVER HIGH RIBBED LATH AT SOFFITS.
13. DRYWALL SHELF OVER 3/8" PLYWOOD AND 2x SHELF FRAMING.
14. F.A.U.(S) PER MECHANICAL ENGINEER AND HVAC CONTRACTOR. TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCE.
15. 22" x 30" MIN. ATTIC ACCESS VERIFY SIZE AND LOCATION. TRUSS MANUFACTURER TO PROVIDE REQUIRED CLEARANCE.
16. DRYWALL SOFFIT.
17. FURRED CEILING.
18. MIN. 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILINGS COMMON TO HOUSE AND GARAGE, AND AT USABLE SPACE UNDER STAIRS, TYP. VERIFY W/T JOIST MANUFACTURER SPECS.
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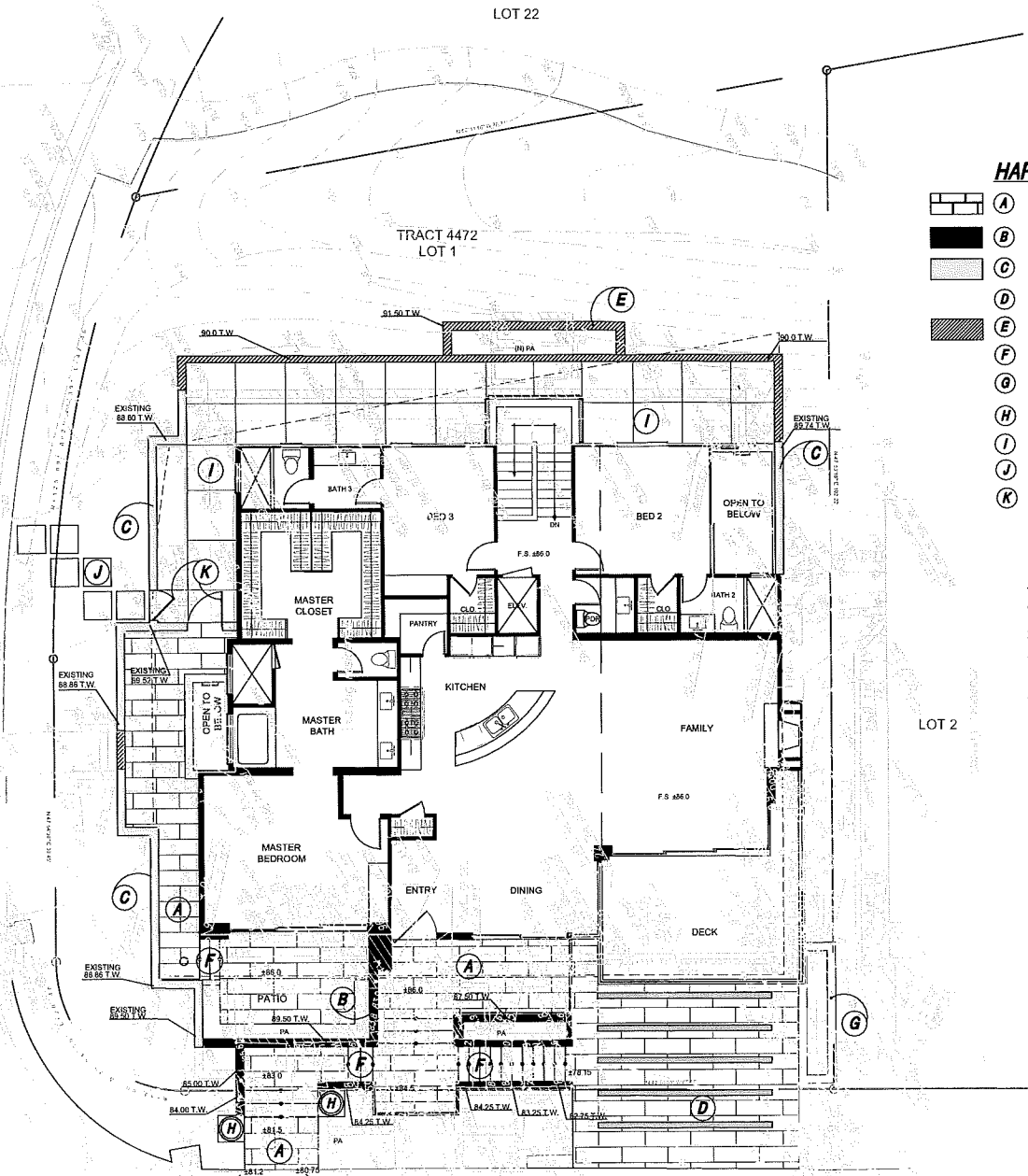
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Submission: November 22, 2019
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A6.2



HARDSCAPE LEGEND

- A** STONE TO BE 18" X 36" FRENCH LIMESTONE WITH A HONED FINISH. LAY STONE ON ON 4" CONCRETE BASE, TYPICAL LIMESTONE SELECTION PER ARCHITECT.
- B** NEW CONCRETE BLOCK WALLS WITH STRATED LIMESTONE VENEER PER ARCHITECT. WALLS TO HAVE VENEER WRAP AT TOP WITH NO CAP - USE MITERED EDGE DETAIL.
- C** EXISTING WALLS TO HAVE SMOOTH STUCCO VENEER TO MATCH HOUSE - LA HABRA DOVE GREY X-40.
- D** DRIVEWAY TO HAVE FRENCH LIMESTONE WITH A BUSH HAMMERED FINISH WITH 6" TURF BORDERS PEER PLAN STONE TO BE LAID ON 6" CONCRETE BASE
- E** NEW CONCRETE BLOCK WALLS WITH A SMOOTH STUCCO FINISH TO MATCH HOUSE - LA HABRA DOVE GREY X40.
- F** STONE STEPS - 1 1/2" THICK STONE TREADS WITH SQUARE EDGE. RISERS & TREADS TO MATCH PAVING.
- G** EXISTING CONCRETE BLOCK WALL WITH STRATED LIMESTONE VENEER TO MATCH HOUSE.
- H** LOW CONCRETE BLOCK PEDESTALS WITH STRATED LIMESTONE VENEER TO MATCH HOUSE. PEDESTALS TO HAVE 10" X 36" LOW PLANTER BOWLS BY STONEYARD INC.
- I** NATURAL GRAY CONCRETE PAVING WITH A TOPCAST RELEASE FINISH - SAW CUT JOINTS PER PLAN.
- J** 36" SQUARE CONCRETE STEPPERS - COLOR AND FINISH TO MATCH PAVING.
- K** WOOD SIDE YARD GATES - FINISH TO BE NATURAL FRENCH OAK TO MATCH HOUSE.

HARDSCAPE NOTES

1. Verify all elevations at site prior to construction
2. Seal all raised planters and retaining walls with polyguard membrane sealant or equal.
3. All concrete footings to be 6" minimum below finished surface (FS) or finished grade (FG).
4. All electrical wiring shall be within rigid conduit, SCH. 80 PCV or equal, all exterior electrical outlets shall have GFCI protection.
5. All gas lines and electrical conduit to be underground (installation and depth per all applicable codes) and or concealed, any exposed PVC pipe or conduit to be protected impact, hazzard, and direct sunlight.
6. Slope all hardscape surfaces towards drains at 1% min. slope, typical.
7. Slope all soil surfaces towards drains at 2% min. slope, typical
8. All drain lines shall have 1% min. fall toward street, storm drain connection or point of point of daylight, typical.
9. Tie all roof drains into drainage systems, typical.
10. Install 4" diameter perforated drain lines encased by filter fabric and 3/4" dia. gravel at the base of all raised planters and retaining walls and tie to drainage system.
11. All paving edges, walls, curbs, and headers to be chalked out in the field and approved by landscape architect prior to installation.
12. All finish and sub-base concrete to be 4" thick with #3 bars at 18" both ways centered in slab on 2" sand base over 90% min. compacted sub grade 6" overall, thickened edge adjacent to all planting areas.
13. All finish and sub-base driveway concrete to be 6" thick with #3 bars at 18" both ways centered in slab on 2" sand base over 90% min. compacted sub-grade. Provide 8" overall, thickened edge adjacent tp all edges.

GRADING LEGEND

FF = Finish Floor
FS = Finish Surface
FG = Finish Grade
TW = Top of Wall
TP = Top of Plaster
TC = Top of Coping
TF = Top of Fence
P/A = Planting area

Project Name
**RULAND
RESIDENCE**
325 Monarch Bay Dr.
Dana Point, CA
92629

Sheet Title
**HARDSCAPE
PLAN**



Scale: 1/8" = 1'-0"

Date: December 9, 2019

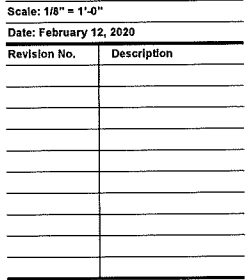
Revision No.	Description
1-14-2020	Revised Retaining Wall

Sheet No.

L-1



Area A	27 SQ. FT.
Area B	20 SQ. FT.
Area C	38 SQ. FT.
Area D	121 SQ. FT.
Area E	50 SQ. FT.
Area F	257 SQ. FT.
Area G	251 SQ. FT.
Area H	45 SQ. FT.
Area I	75 SQ. FT.
Area J	1,092 SQ. FT.
Area K	387 SQ. FT.
Total Landscape Area	2,363 SQ. FT.



PRECISE GRADING PLAN
FOR
LOT 1, TRACT 4472
325 MONARCH BAY DRIVE, DANA POINT, CA

NOTICE TO CONTRACTOR

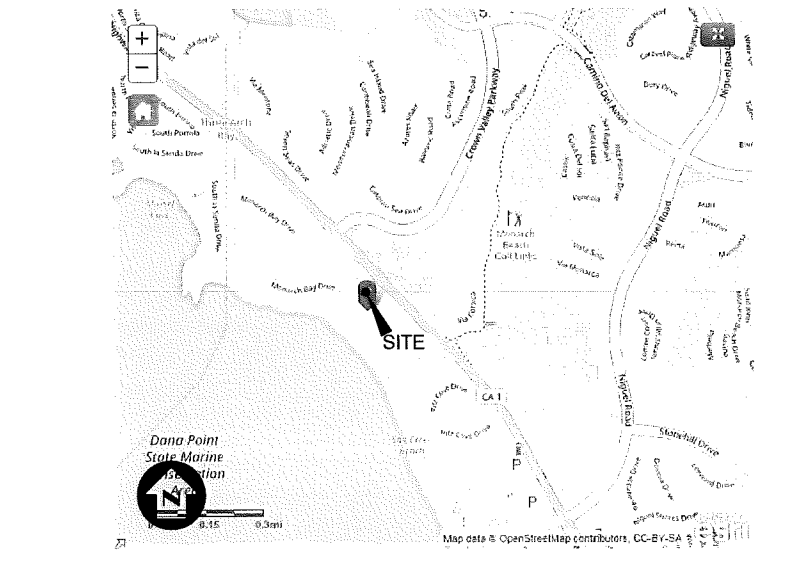
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF O.C.P.W. STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY O.C.P.W. STANDARD PLAN NO. 1322.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW, IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
- AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY ASTM TEST METHOD D1557 OR APPROVED EQUIVALENT AND FIELD DENSITY BY ASTM TEST METHOD D6938 OR APPROVED EQUIVALENT.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
- ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
- STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
- EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE)
- THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.

GRADING NOTES (cont.)

- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
- ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
- GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. DAILY, NOR ON SATURDAYS, SUNDAYS, AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.
 - ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
 - ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
 - STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
- GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
- ASPHALT SECTIONS MUST BE PER CODE: PARKING LOTS = 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON "R" VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY OCPW STANDARD PLAN NO. 1805.
- AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY OCPW STANDARD NO. 1804.
- ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.
- THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.
- SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8B71 OF THE BUSINESS AND PROFESSIONAL CODE.



VICINITY MAP
NOT TO SCALE

SOILS AND GEOLOGIST'S CERTIFICATION

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN GENERAL CONFORMANCE WITH THE GEOTECHNICAL ENGINEERING REPORT ENTITLED: "PRELIMINARY GEOTECHNICAL INVESTIGATION FOR RESIDENCE REMODEL AND ADDITIONS, 325 MONARCH BAY, DANA POINT, CALIFORNIA", PROJ NO: 72475-00, PERFORMED BY GEOPRIM, INC. DATED 11/21/2019

I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS, AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

BY: ZI WANG RCE 80198 DATE _____ BY: ERIC R. HILDE CEG 2303 DATE _____

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

TOAL ENGINEERING, INC.
139 AVENIDA NAVARRO
SAN CLEMENTE, CALIFORNIA 92672
(949) 492-8588



BY: CALEB RIOS R.C.E. 57587 DATE _____

EROSION CONTROL NOTES

INCLUDED ON THESE SHEETS FOR EROSION CONTROL ARE GENERAL NOTES, STANDARDS AND GUIDELINES FOR THE IMPLEMENTATION OF EROSION, SILTATION AND SEDIMENT CONTROL AND OTHER BEST MANAGEMENT PRACTICES (BMPs) PROPOSED FOR THIS PROJECT. HOWEVER, THE OVERALL GOAL IS THAT ANY WATER THAT LEAVES THE SITE BE FREE AND CLEAR OF POLLUTANTS AT A RATE THAT DOESN'T CAUSE DOWNSTREAM EROSION. THE CITY MAY REQUIRE ADDITIONAL BMPs AT ANY TIME TO ACHIEVE THAT GOAL.

- IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT: KATHY RULAND AT: (949) 903-5090
- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
- SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
- THE DEVELOPER SHALL MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND THE DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
- BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 3/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
- SHOULD GERMINATION OF HYDROSEEDS SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
- PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

SHEET INDEX

TITLE SHEET	C-1
GRADING & DRAINAGE PLAN	C-2
SECTIONS & DETAILS	C-3
EROSION CONTROL PLAN	C-4
TOPOGRAPHIC SURVEY	C-5
LIFT STATION DETAIL	LSD-1

CONSTRUCTION NOTES & QUANTITY ESTIMATE

EARTHWORK	CUT	FILL
EXCAVATION	850 CY	
EMBANKMENT		0 CY
OVEREXCAVATION/RECOMPACTION	370 CY	370 CY
EXPORT		850 CY
TOTAL	1,220 CY	1,220 CY

- CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3. 576 S.F.
- CONSTRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3. 1,240 S.F.
- CONSTRUCT CONCRETE DRIVE APPROACH PER CITY OF DANA POINT STD. DP-103. 210 S.F.
- INSTALL CHANNEL DRAIN, 8" WIDE NDS TYPE 864 W/ TRAFFIC RATED CHANNEL GRATE. 50 L.F.
- INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM. 160 L.F.
- INSTALL 6" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM. 280 L.F.
- INSTALL 6" ATRIUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3. 9 EA.
- INSTALL 6" DECK DRAIN NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3. 3 EA.
- INSTALL 12" ATRIUM DRAIN NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3. 4 EA.
- CONSTRUCT CURB DRAIN PIPE OUTLET PER CITY OF DANA POINT STD. DP-123 USING 4" OUTLET TO THE EXISTING CURB. 1 EA.
- INSTALL 12X18 DRAINBOX (BROOKS 1218CB OR EQ.) W/ LIGHT TRAFFIC RATED SOLID STEEL COVER. 1 EA.
- INSTALL SUBDRAIN PER SOILS REPORT RECOMMENDATIONS. 430 L.F.
- CONNECT DOWNSPOUT TO STORM DRAIN SYSTEM PER DETAIL ON SHEET C-3. 6 EA.
- SAWCUT AND REPLACE 18" WIDE SECTION OF AC PAVEMENT. REPLACE W/ FULL DEPTH AC(10" MIN.) PER DP-122 15 S.F.
- INSTALL 9" DECK DRAIN NDS TYPE 930 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3. 8 EA.
- INSTALL LIFT STATION PUMP, DUPLEX SYSTEM W/ BACKUP POWER SOURCE TO BE DESIGNED FOR 100 GPM EACH PUMP. SEE LIFT STATION DETAIL ON SHEET LSD-1. 1 EA.
- INSTALL FORCE MAIN, SIZE PER PUMP MANUFACTURERS RECOMMENDATIONS. 20 L.F.
- INSTALL SLAB SUBDRAIN PER SOILS REPORT RECOMMENDATIONS AND DETAIL ON SHEET C-3. 280 L.F.
- CONSTRUCT 18" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET C-3. 84 L.F.
- INSTALL 18" ATRIUM DRAIN NDS TYPE 1880 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3. 4 EA.

NOTE: QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMIT PURPOSES ONLY. CONTRACTOR SHALL PERFORM OWN QUANTITY TAKEOFF FOR BIDDING AND OTHER PURPOSES.

DEVELOPMENT STATISTICS

SITE AREA	0.168 AC	7,308 S.F.
DISTURBED AREA	0.127 AC	5,515 S.F.
IMPERVIOUS AREA		
PRE-PROJECT	0.098 AC	4,270 S.F.
NEW OR REPLACEMENT	0.105 AC	4,585 S.F.
POST-PROJECT	0.105 AC	4,585 S.F.

OWNER'S STATEMENT

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH THE EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

OWNER'S SIGNATURE _____ DATE _____

PRINTED OWNER'S NAME _____

OWNER
KATHY RULAND
34145 PACIFIC COAST HWY.
#734, DANA POINT,
CA 92629
(949) 903-5090

ARCHITECT
C. J. LIGHT ASSOCIATE
1401 QUAIL STREET, SUITE 120
NEPORT BEACH, CA 92660
(949) 851-8345

JOB ADDRESS
325 MONARCH BAY DRIVE
DANA POINT, CA 92629
A.P.N. 670-151-34

SOILS ENGINEER
GEOPRIM
801 GLENNEIRE ST., SUITE F
LAGUNA BEACH, CA 92651
(949) 494-2122

STRUCTURAL ENGINEER
TMM STRUCTURAL ENGINEERS, INC.
31845 S. COAST HWY.
LAGUNA BEACH, CA 92651
(949) 499-6254

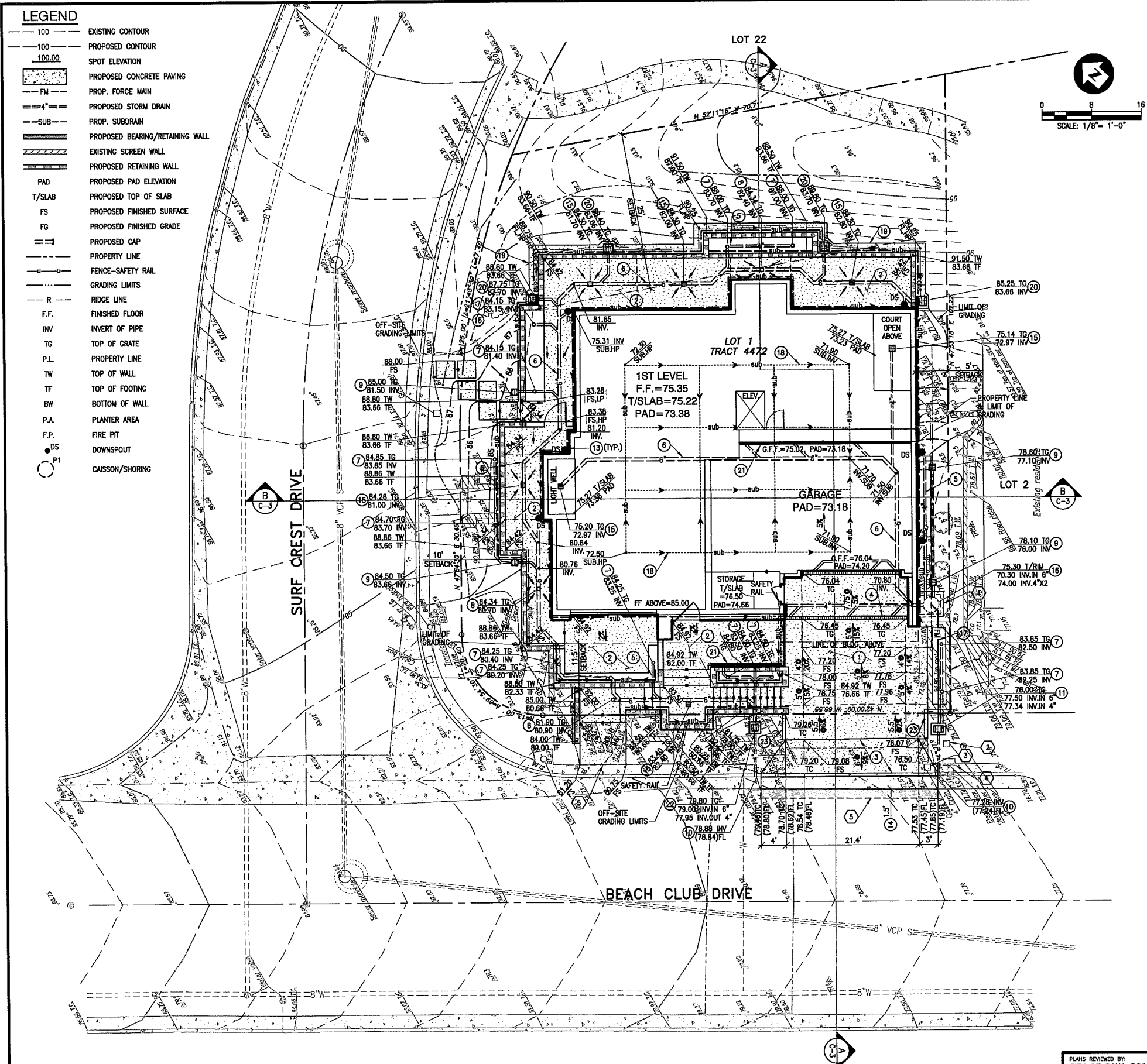
SOURCE OF TOPOGRAPHY
TOAL ENGINEERING, INC.
139 AVENIDA NAVARRO
SAN CLEMENTE, CA 92672
(949) 492-8586

BASIS OF BEARINGS
BEING NORTHERLY SIDE PROPERTY LINE
BEING N 52°11'16" W AS SHOWN ON SHEET C-5.

LEGAL DESCRIPTION
LOT 1, TRACT 4472
DANA POINT, CALIFORNIA
(A.P.N. 670-151-34)

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1"=8'	DESIGNED: A.A.	DRAWN: A.A.	CHECKED: C.R.	PLANS PREPARED BY: TOAL ENGINEERING, INC. CIVIL ENGINEERING LAND SURVEYING STORMWATER QUALITY 180 Avenida Navarro San Clemente, CA 92672 (949) 492-8588 www.toalengineering.com	BENCHMARK O.C.S.B.M.: 39-31-86 DATUM: NAVD 88 ELEVATION: 193.905 FT. ADJUSTED: 1994	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: MAY 19 2019 CITY PLANNING DEPARTMENT	DATE MAY 19 2019 CITY ENGINEER	DATE MAY 19 2019 CITY ENGINEER	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/19 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	CITY OF DANA POINT TITLE SHEET 325 MONARCH BAY DRIVE LOT 1, TRACT 4472 APN: 670-151-34	C-1 PLAN CHECK NO. ENG 19- 1 OF 6 SHEETS
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- LEGEND**
- 100 EXISTING CONTOUR
 - 100 PROPOSED CONTOUR
 - 100.00 SPOT ELEVATION
 - PROPOSED CONCRETE PAVING
 - FM PROP. FORCE MAIN
 - 4" PROP. STORM DRAIN
 - SUB PROP. SUBDRAIN
 - PROPOSED BEARING/RETAINING WALL
 - EXISTING SCREEN WALL
 - PROPOSED RETAINING WALL
 - PAD PROPOSED PAD ELEVATION
 - T/SLAB PROPOSED TOP OF SLAB
 - FS PROPOSED FINISHED SURFACE
 - FG PROPOSED FINISHED GRADE
 - PROPOSED CAP
 - PROPERTY LINE
 - FENCE-SAFETY RAIL
 - GRADING LIMITS
 - R RIDGE LINE
 - F.F. FINISHED FLOOR
 - INV INVERT OF PIPE
 - TG TOP OF GRATE
 - P.L. PROPERTY LINE
 - TW TOP OF WALL
 - TF TOP OF FOOTING
 - BW BOTTOM OF WALL
 - P.A. PLANTER AREA
 - F.P. FIRE PIT
 - DS DOWNSPOUT
 - CAISSON/SHORING

- CONSTRUCTION NOTES**
1. CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-3.
 2. CONSTRUCT CONCRETE HARDSCAPE. SEE DETAIL ON SHEET C-3.
 3. CONSTRUCT CONCRETE DRIVE APPROACH PER CITY OF DANA POINT STD. DP-103.
 4. INSTALL CHANNEL DRAIN, 8" WIDE NDS TYPE 864 W/ TRAFFIC RATED CHANNEL GRATE.
 5. INSTALL 4" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
 6. INSTALL 6" DIA. SCHEDULE 40 PVC PIPE DRAIN SYSTEM.
 7. INSTALL 6" ATRIUM DRAIN NDS TYPE 90 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3.
 8. INSTALL 6" DECK DRAIN NDS TYPE 40 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3.
 9. INSTALL 12" ATRIUM DRAIN NDS TYPE 1280 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3.
 10. CONSTRUCT CURB DRAIN PIPE OUTLET PER CITY OF DANA POINT STD. DP-123 USING 4" OUTLET TO THE EXISTING CURB.
 11. INSTALL 12X18 DRAINBOX (BROOKS 1218CB OR EQ.) W/ LIGHT TRAFFIC RATED SOLID STEEL COVER.
 12. INSTALL SUBDRAIN PER SOILS REPORT RECOMMENDATIONS.
 13. CONNECT DOWNSPOUT TO STORM DRAIN SYSTEM PER DETAIL ON SHEET C-3.
 14. SAWCUT AND REPLACE 18" WIDE SECTION OF AC PAVEMENT. REPLACE W/ FULL DEPTH AC (10" MIN.) PER DP-122.
 15. INSTALL 9" DECK DRAIN NDS TYPE 930 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3.
 16. INSTALL LIFT STATION PUMP, DUPLEX SYSTEM W/ BACKUP POWER SOURCE TO BE DESIGNED FOR 100 GPM EACH PUMP. SEE LIFT STATION DETAIL ON SHEET LSO-1.
 17. INSTALL FORCE MAIN, SIZE PER PUMP MANUFACTURERS RECOMMENDATIONS.
 18. INSTALL SLAB SUBDRAIN PER SOILS REPORT RECOMMENDATIONS AND DETAIL ON SHEET C-3.
 19. CONSTRUCT 18" WIDE CONCRETE V-DITCH PER DETAIL ON SHEET C-3.
 20. INSTALL 18" ATRIUM DRAIN NDS TYPE 1880 W/ RISER & ADAPTOR OR EQUAL. SEE DETAIL ON SHEET C-3.
 21. INSTALL CHANNEL DRAIN, 3" WIDE PRO SERIES NDS TYPE 734 W/ TRAFFIC RATED CHANNEL GRATE.
 22. INSTALL 12X12 DRAINBOX (BROOKS 1212CB OR EQ.) W/ LIGHT TRAFFIC RATED SOLID STEEL COVER.
 23. CONSTRUCT CONCRETE CURB, MAX. 6" H. PER DETAIL ON SHEET C-3.

- DISPOSITION NOTES**
1. EXIST. WALL TO REMAIN, PROTECT IN PLACE.
 2. EXIST. WATER METER TO REMAIN, PROTECT IN PLACE.
 3. EXIST. UTILITY VAULT TO BE RELOCATED BY OTHERS.
 4. EXIST. UTILITY VAULT TO REMAIN, PROTECT IN PLACE.
 5. SAWCUT, JOIN EXISTING.

- EASEMENT NOTES**
- NUMBERING SEQUENCE PER CHICAGO TITLE COMPANY PRELIMINARY REPORT NO58601900938-JFA, DATED AUGUST 7, 2019
1. THE TERMS AND PROVISIONS OF INSTRUMENT ENTITLED "NOTICE OF EASEMENT AND RESTRICTIVE USE" RECORDED MARCH 5, 1971 IN BOOK 9563, PAGE 299 OF OFFICIAL RECORDS (AFFECTS PARKING ON BEACH CLUB DRIVE) (BLANKET IN NATURE)
 2. COVENANTS, CONDITIONS, AND RESTRICTIONS IN THE DOCUMENT RECORDED DECEMBER 19, 2012 AS INSTRUMENT NO. 2012000788869 OF OFFICIAL RECORDS AND AS MODIFIED AND RECORDED DECEMBER 27, 2012 AS INSTRUMENT NO. 201200817477 OF OFFICIAL RECORDS AND AS MODIFIED AND RECORDED OCTOBER 14, 2016 AS INSTRUMENT NO. 2016000502317 OF OFFICIAL RECORDS. (BLANKET IN NATURE WITH NO EASEMENTS THAT AFFECT FEE PARCEL)

- SOUTH COAST WATER DISTRICT NOTES**
1. ALL NEW WATER MAINS, SERVICES, METERS, BACKFLOW DEVICES, LATERALS, FIRE HYDRANTS, AND APPURTENANCES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE SOUTH COAST WATER DISTRICT DESIGN GUIDELINES AND STANDARD SPECIFICATIONS, BOTH OF WHICH ARE AVAILABLE ON THE DISTRICT'S WEBSITE: [HTTP://SCWD.ORG/DEPTS/ENGINEERING/DEFAULT.HTM](http://SCWD.ORG/DEPTS/ENGINEERING/DEFAULT.HTM)
 2. WATER THROUGHOUT SOUTHERN CALIFORNIA, INCLUDING SOUTH COAST WATER DISTRICT, IS NATURALLY VERY HIGH IN TOTAL HARDNESS AND IN OVERALL MINERAL CONTENT. THESE CONSTITUENT LEVELS DO NOT CAUSE ANY ADVERSE HEALTH EFFECTS, HOWEVER YOU MAY NEED TO CONSIDER THIS IN YOUR SELECTION OF A PRE TREATMENT SYSTEM (I.E., WATER SOFTENER TO REDUCE HARDNESS), PLUMBING FIXTURES, LANDSCAPE PLANTINGS, ETC. PLEASE FEEL FREE TO REFER TO SOUTH COAST WATER DISTRICT'S LATEST WATER QUALITY REPORT FOR A DETAILED REPORT OF CONSTITUENT LEVELS, AT [HTTP://SCWD.ORG/SERVICES/DRINKING/WATERREPORT/DEFAULT.HTM](http://SCWD.ORG/SERVICES/DRINKING/WATERREPORT/DEFAULT.HTM)

- ADDITIONAL NOTES**
1. ALL ROOFS SHALL BE GUTTERED AND DOWNSPOUTS CONNECTED TO THE STORM DRAIN SYSTEM.
 2. PAD ELEVATIONS ARE BASED ON 18" CONC. MAT SLAB OVER 15 MM OF STEGO WRAP OVER 4" OF CRUSHED ROCK PER FOUNDATION PLAN PREPARED BY TMM STRUCTURAL ENGINEERS, INC. DATED 11/19/2019. CONTRACTOR TO VERIFY PAD ELEVATION W/ STRUCTURAL ENGINEER AND SOILS ENGINEER PRIOR TO GRADING.
 3. WHERE EXTERIOR/INTERIOR UTILITY TRENCHES ARE PROPOSED IN A DIRECTION THAT PARALLELS ANY BUILDING FOOTING, THE BOTTOM OF THESE TRENCHES SHALL NOT EXTEND BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF FOOTING. WHERE THIS OCCURS, ADJACENT FOOTING SHALL BE DEEPENED OR UTILITY CONSTRUCTED & BACKFILLED PRIOR TO CONSTRUCTION.
 4. FOR FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
 5. RETAINING WALLS UNDER SEPARATE PLAN & PERMIT.
 6. ALL RECOMMENDATIONS IN THE PROJECT SOILS REPORT PREPARED BY GEOPRM INC. DATED NOVEMBER 21, 2019, AND ALL ADDENDA, ARE CONSIDERED A PART OF THESE PLANS.
 7. ALL DRAIN LINES SHALL HAVE A MIN. POSITIVE SLOPE OF 2% TOWARD OUTLET.
 8. PER SOILS REPORTS RECOMMENDATIONS SUBDRAIN SHALL BE INSTALLED BEHIND RETAINING WALLS AND AT A MINIMUM THEY SHALL CONSIST OF 4" DIA. SCH40 PERFORATED PIPE SURROUNDED WITH ONE CUBIC FOOT, PER LINEAR PIPE FOOT, OF 3" GRAVEL. THE GRAVEL SHALL BE WRAPPED IN FILTER FABRIC. OUTLET PIPES SHALL BE SOLID PIPE OF SIMILAR MATERIAL. SEE PROVIDED DETAIL ON SHEET C-3.

DEMOLITION NOTE

UNLESS NOTED OTHERWISE, ALL EXISTING ON-SITE IMPROVEMENTS SHALL BE REMOVED AND PROPERLY DISPOSED OF.

UTILITY NOTE:

SEWER, WATER AND STORM DRAIN INFORMATION SHOWN HEREON PER ROUGH GRADING PLAN AND IMPROVEMENT PLANS FOR TRACT NO. 16331

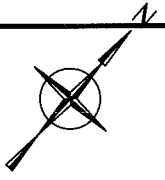
NOTE TO CONTRACTOR:

REQUIRED CERTIFICATIONS / APPROVALS

In addition to any certifications required by the agencies having jurisdiction over this project, the following approvals from the Civil Engineer of record are required:

1. Foundation forms for improvements on or abutting property lines is required prior to concrete pour.
2. Location, size, and depth of all drain lines prior to backfill.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT:	CITY OF DANA POINT	C-2
				1"=8'	AA	AA	C.R.	TOAL ENGINEERING, INC.	O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.905 FT. ADJUSTED: 1994	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #99239 EXP. 06/30/19 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	PRECISE GRADING PLAN 325 MONARCH BAY DRIVE LOT 1, TRACT 4472 APN: 670-151-34	PLAN CHECK NO. ENG 19- 2 OF 6 SHEETS
				DATE: 2/10/20								
				PROJECT NO.: 19139	ENGINEER OF WORK							



SCALE: 1/8"=1'

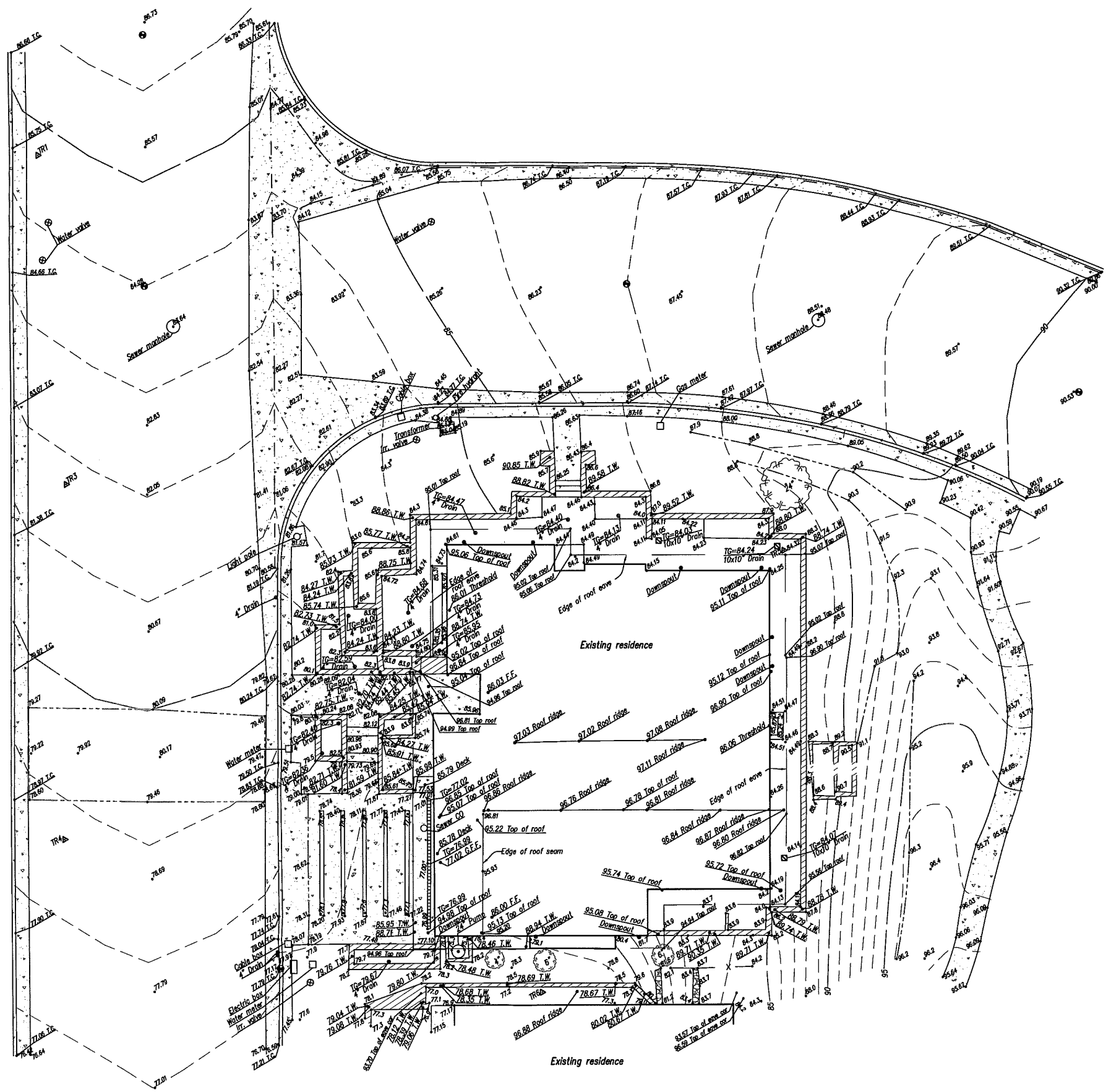
LEGEND

- GRADE BREAK LINE
- 5 --- INDEX CONTOUR LINE
- - - INTERMEDIATE CONTOUR LINE
- - - PROPERTY LINE
- X-X- FENCE
- [Pattern] MSE WALL
- [Pattern] CONCRETE SURFACE
- [Pattern] MASONRY WALL
- [Pattern] WOOD WALL
- [Pattern] ROCK WALL
- F.F. FINISHED FLOOR
- F.S. FINISHED SURFACE
- T.G. TOP OF GRATE
- INV INVERT OF PIPE
- T.C. TOP OF CURB
- E.P. EDGE OF PAVEMENT
- T.W. TOP OF WALL
- FOUND MONUMENT
- ▲ SURVEY CONTROL POINT

BENCHMARK NOTE:
OCSBM 3P-31-86
ELEV=193.905
NAVD88 DATUM, 1995 ADJ.

EASEMENT NOTE:
ALL EASEMENTS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PER A PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, ORDER NO. 58601900938-JFA DATED AUGUST 7, 2019 UNLESS NOTED OTHERWISE.

- 5 A NOTICE OF EASEMENT AND RESTRICTIVE USE DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON, RECORDED IN BOOK 9563, PAGE 299 O.R.
- 6 EASEMENTS FOR VEHICULAR AND PEDESTRIAN TRAFFIC, PUBLIC AGENCIES, UTILITIES, COMMON AREA ACCESS, COMMON AREA MAINTENANCE, SIDEWALKS AND DRAINAGE HAVE NO SPECIFIC LOCATION OR DO NOT AFFECT THE SUBJECT PROPERTY AND ARE NOT PLOTTED HEREON, RECORDED AS INSTRUMENT NO. 2012-817477 O.R., RE-RECORDED AS INSTRUMENT NO. 2016-502317 O.R.



REVISION	DESCRIPTION	APPROVED	DATE

SCALE: 1"=8'	DESIGNED: M.F.	DRAWN: M.F.	CHECKED: V.M.
DATE: 2/10/20			
PROJECT NO.: 19139	ENGINEER OF WORK		DATE: 59275 R.C.E. NO.

PLANS PREPARED BY:
TOAL
ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

BENCHMARK O.C.S.B.M.: 3P-31-86 DATUM: NAVD 88 ELEVATION: 193.905 FT. ADJUSTED: 1994

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
CITY PLANNING DEPARTMENT

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/19

DATE

THIS PLAN IS SUBMITTED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

CITY OF DANA POINT
TOPOGRAPHIC SURVEY
325 MONARCH BAY DRIVE
LOT 1, TRACT 4472
APN: 670-151-34

C-5
PLAN CHECK NO. ENG 19-
5 OF 6 SHEETS

Supporting Document 4:

Color and Material Board Palette



[1] SMOOTH STUCCO - LA HABRA
DOVE GREY X-40



[2] WOOD CLAD - FRENCH
OAK NATURAL COLOR



[3] STONE CLAD - STRATED LIMESTONE



EXTERIOR METAL CLAD / WINDOWS AND DOORS
- ANODIZED LIGHT BRONZE FINISH

[4]



CUSTOM RESIDENCE

COLOR AND MATERIAL BOARD

325 MONARCH BAY DRIVE • MONARCH BEACH • CALIFORNIA • 92629



[5] HARDSCAPE -
HONED
LIMESTONE