

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JANUARY 13, 2020

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
BRENDA WISNESKI, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: SITE DEVELOPMENT PERMIT SDP18-0046 TO PERMIT THE
CONSTRUCTION OF A THREE-STORY SINGLE-FAMILY DWELLING ON A
HILLSIDE CONDITION LOT AT 25166 MANZANITA DRIVE.

RECOMMENDATION: That the Planning Commission adopt the attached draft Resolution approving Site Development Permit SDP18-0046 (Action Document 1).

APPLICANT: Rod Jeheber

OWNERS: 25166 Manzanita Drive, LLC

REQUEST: Approval of a Site Development Permit (SDP) to permit the construction of a three-story single-family dwelling (SFD) on a hillside condition lot with an existing foundation with partial framing and retaining walls.

LOCATION: 25166 Manzanita Drive (APN 682-137-07)

NOTICE: Notice of the Public Hearing was mailed via first class mail to property owners within a 500-foot radius of the subject site, published within a newspaper of general circulation on January 3, 2019, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on January 3, 2019.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 - Construction or Conversion of Small Structures) since the project consists of the construction of a new SFD.

ISSUES:

1. Is the proposal consistent with the Dana Point General Plan, the Dana Point Zoning Code (DPZC)?
2. Does the proposal satisfy all findings required pursuant to the DPZC for approval of a SDP?
3. Is the proposed project compatible with and an enhancement to the site and surrounding neighborhood?

BACKGROUND:

The subject site is located northwest of the intersection of Crystal Lantern and Pacific Coast Highway within the Residential Single Family 22 (RSF 22) Zoning District on the City's Zoning Map, and is designated Residential 22 D.U./AC in the City's Land Use Policy Diagram included in the Land Use Element of the General Plan. The subject site is surrounded by a mixture of single-family, duplex and multiple-family development with structures ranging from one (1) to four (4) stories (Supporting Document 2 - Vicinity Map and Site Photos).

The 2,770 square foot lot contains a significant slope with existing site improvements including a legally constructed concrete building foundation with partial framing and retaining walls. In 2005, the owner received approval of Minor Site Development Permit SDP05-19(M) for the construction of a series of retaining walls in association with a new SFD. Shortly thereafter, the owner was issued building and engineering permits to grade and construct the home. Construction activities commenced, including grading, the building foundation, retaining walls and partial framing. Although the retaining walls and building pad were constructed, due to financial hardships, the applicant was unable to complete the SFD, and the building and grading permits expired. In 2018, the same owner submitted an updated design for the SFD that includes incorporation of the existing lot improvements.

A three-story residential structure proposed in a hillside condition is subject to the approval of a Site Development Permit (SDP) in accordance with the provisions of DPZC Section 9.05.110(a)(4).

DISCUSSION:

Site improvements include the construction of a new SFD utilizing an existing, concrete building foundation on a lot containing a hillside condition, in accordance with DPZC Section 9.050.110(a)(4). After a recent investigation of the original permits, City staff determined that existing site improvements could be re-inspected, retrofitted and/ or maintained under new permits to verify the improvements meet current building and engineering codes. Therefore, the three-story SFD proposes to utilize the existing foundation, and the structural design will utilize the existing moment frame which was constructed as part of the aforementioned

building and grading permits.

The lower floor contains the two-car garage required for SFDs, a foyer, half bathroom and a large crawlspace area to be used for storage. The second story contains the main living and kitchen areas, as well as two bedrooms, each with en suite full bathrooms. The third story contains the master bedroom with an en suite full bathroom and walk in closet. Both the third and second story frontages are setback from each story below, creating private outdoor living areas in the form of a deck and balcony facing Manzanita Drive. The eastern side of the third story deck will be sheltered by a patio cover and include an outdoor fireplace to enhance the private outdoor living area. Since the subject lot is both shallow in depth (less than 100 feet) and narrow in width (less than 50 feet), the lot can be developed with a reduced driveway length. The site plan illustrates a design with a reduced driveway length of nine (9) feet as permitted by DPZC Section 9.35.050(b)(5)(A)1.b (Supporting Document 3 – Architectural Plans).

The proposed SFD incorporates a modern architectural style, incorporating white smooth stucco exterior walls, a black standing seam roof and metal patio cover, black metal overhangs and a white brick veneer finish around the garage. Black framed tempered glass guard rails are proposed for the balcony and deck. Openings include black framed vinyl windows and doors, and a black roll-up garage door (Supporting Document 4 - Renderings). The project complies with all applicable development standards, including yard setbacks, lot coverage, and height limit. Table 1 below summarizes the RSF 22 and General Development Standards (Chapter 9.05 DPZC) applicable to the proposed development.

Table 1: Compliance with RSF 22 and General Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Maximum Lot Coverage	60%	47.62%	Yes
Maximum Height (Hillside Condition)	33 feet (6:12 roof)	33 feet	Yes
Minimum Front Yard Setback	7'-6"	7'-6"	Yes
Minimum Side Yard Setback	4'-0"	4'-6"	Yes
Minimum Rear Yard Setback	7'-6"	11'-10"	Yes
Minimum Landscape Coverage	20%	20%	Yes
Floor Area Ratio	.75 Maximum	.075	
Driveway Length/Garage Setback	5–9 feet ⁽¹⁾	9 feet (from back of sidewalk)	Yes
Parking Required	2 stalls in a garage	2 stalls in a garage	Yes

Footnotes for Table 1:

Section 9.35.050(b)(5)(A)1.b.: Single Family Detached on Lots Which Are Both Shallow and Narrow (Less than Fifty (50) Feet Wide and One Hundred (100) Feet Deep): A driveway with a minimum length of five (5) feet and a maximum length of nine (9) feet, measured from the back of sidewalk to the parking stall. An automatic garage door opener and roll-up garage door, kept in operating condition, shall be used on garages located on such lots.

Site Development Permit

Hillside Condition / Three-Story Residential Design Requirements

Pursuant to Section 9.05.110(a)(4) of the DPZC, residential structures proposed in a hillside condition may be three stories in accordance with the provisions contained therein. A hillside condition is a lot with a topographic slope condition of 20 percent or greater as determined by calculating the vertical differential between the highest elevation at the front or rear property line and the lowest elevation along the opposing property line. Accordingly, the lot contains a nearly 35 percent slope from the low point on the front lot line to the highest point along the rear property line.

The design utilizes three stories and the increased height allowed for lots in a hillside condition, as specified by DPZC Section 9.05.110(a)(7). The proposed SFD incorporates both 6:12 and less than 3:12 pitched roof elements, and is designed at the maximum allowed 33-foot and 29-foot height limits, respectively.

The proposed dwelling is also designed in accordance with the remaining provisions contained in Section 9.05.110(a)(4) as follows:

- A. *A hillside condition shall mean a lot with a topographic slope percentage, as defined in Section 9.75.190 of this Title, either front to rear or side to side, of twenty (20) percent or greater.*

The slope of the lot is 35 percent to qualify as a hillside condition lot.

- B. *New dwellings proposing three-stories must provide additional setbacks at the second (five feet) and third level (10 feet) from the street level of the structure.*

The second story of the SFD has an average, additional yard setback area of five (5) feet times the total width of the structure at the street elevation (32'-6") as described/depicted on the site plan (Sheet SP.1), and more clearly illustrated on Sheet A2.0 of Supporting Document 3. Although the calculation only requires 162.5 square feet of additional average setback area, a total of nearly 212 square feet of additional yard setback is provided at the second story.

The third story of the SFD has an average, additional yard setback area of five (10) feet times the total width of the structure at the street elevation (32'-6") as described/depicted on the site plan (Sheet SP.1), and more clearly illustrated on Sheet A3.0 of Supporting Document 3. Although the calculation requires 325 square feet of additional average setback area, a total of nearly 347.5 square feet of additional yard setback is provided at the third story.

- C. Residential structures having three (3) stories shall be limited to a maximum Floor Area Ratio (FAR) of .75, excluding garage area.*

A maximum FAR of .75 is permitted. For the subject lot the maximum FAR would equate to just over 2,159 square feet of habitable area and non-required parking stall area in a garage. Proposed FAR for the dwelling is .75.

- D. The height of the third story shall not exceed a height of fourteen (14) feet above the upper property line or upper street curb elevation, as measured perpendicular to any point along said line or curb.*

The height of the structure extends above the upper property line elevation nearly 5'-6".

- E. The applicant shall demonstrate a reduction in grading as compared to standard two story design:*

The proposed SFD does not require grading because the SFD is being proposed on an existing foundation with existing retaining walls.

- F. Three story developments on hillside properties shall include story pole staking:*

A preliminary staking plan was submitted and approved by the Planning Division prior to the property being staked. The applicant provided a staking plan stamped by California registered professional engineer that the lot had been staked in accordance with the staking plan approved by the Planning Division.

Consequently, the proposed design meets the requisite provisions of DPZC Section 9.05.110(a)(4) related to residential structures proposed in a hillside condition. Pursuant to Section 9.71.050 "Basis for Action on Site Development Permit Applications" of the DPZC, every Site Development Permit requires the following findings:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and,
2. That the site is suitable for the proposed use and development; and,
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines; and,
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture; and,

5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 3 (Section 15303) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA); and

Staff finds the SDP requested for the single-family dwelling is consistent with the basis of approval as outlined in Section 9.71.050 of the DPZC. Responses supporting the abovementioned findings are detailed in the attached draft Planning Commission Resolution included as Action Document 1.

CORRESPONDENCE:

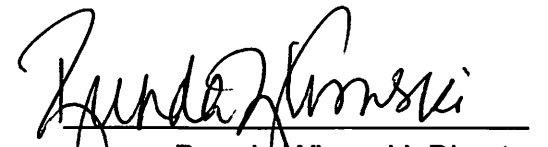
To date, the City has received no correspondence related to the subject application.

CONCLUSION:

Based on the above analysis, Staff has determined that the project is consistent with the policies and provisions of the City of Dana Point General Plan and the DPZC, and that the Planning Commission findings articulated in the draft resolution, supporting approval of the subject requests can be made. Therefore, staff recommends approval of SDP18-0046, subject to the conditions contained in the attached draft resolution.



Danny Giometti
Associate Planner



Brenda Wisneski, Director
Community Development Department

ACTION DOCUMENT:

1. Draft Planning Commission Resolution No. 20-01-13-XX

SUPPORTING DOCUMENTS

2. Project Vicinity Map and Site Photos
3. Architectural, Grading Plans & Topographic Survey
4. Architectural Rendering

Action Document 1: Draft Planning Commission Resolution No. 20-01-13-XX

RESOLUTION NO. 20-01-13-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT SDP18-0046 TO PERMIT THE CONSTRUCTION OF A THREE-STORY SINGLE-FAMILY DWELLING (SFD) ON A HILLSIDE CONDITION LOT AT 25166 MANZANITA DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, 25166 Manzanita Drive, LLC, (the "Owner") is the owner of real property commonly referred to as 25166 Manzanita Drive (APN 682-137-07) (the "Property"); and

WHEREAS, the Owner authorized Rod Jeheber (the "Applicant") and the Applicant caused to be filed a verified application for a Site Development Permit to permit the construction of a three-story single-family dwelling (SFD) on a hillside condition lot; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 - Construction or Conversion of Small Structures) since the project consists of the construction of a new SFD; and

WHEREAS, the Planning Commission did, on the 13th day of January, 2020, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said Planning Commission Review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Site Development Permit SDP18-0046.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Site Development Permit SDP18-0046, subject to conditions:
 - 1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that, the design of the proposed**

SFD meets all development standards related to DPZC Section 9.05.110(a)(4) relative to three-story residential structures located in a hillside condition.

2. That the site is suitable for the proposed use and development **in that the subject site contains a nearly 35 percent topographic slope commensurate with the calculation stipulated by DPZC Section 9.05.110(a)(4), and the SFD meets all related development standards contained therein, while also incorporating the previously constructed building foundation and structural framing element, as well as the existing site retaining walls. Therefore, the site is suitable for the proposed SFD.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that, the dwelling is designed in accordance with the requirements for residential structures in a hillside condition, and although incorporating the additional story and height permitted, is designed in a manner meeting Urban Design Element Policy 5.3 to "Encourage buildings and exterior spaces that are carefully-scaled to human size and pedestrian activity."**
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture **in that the lot contains a significant slope and the structural design of the SFD utilizes the provisions in the City's height ordinance relative to a "hillside condition", and the site design through the placement of the SFD and the construction of the existing retaining walls creates a level building pad that is appropriate for the site and function of the proposed SFD use while not requiring a particular architectural style.**
5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 3 (Section 15303) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) **in that the project is categorically exempt per Section 15303 of the CEQA Guidelines (Class 3 Construction or Conversion of Small Structures) since the project consists of the construction of a new SFD.**

Conditions:

A. General:

1. Approval of this application is to allow the construction of a three-story SFD on a hillside condition lot located at 25166 Manzanita Drive. Subsequent

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submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
13. Separate review, approval, and permits are required for:
 - Separate Structures

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- Retaining Walls
 - Site Walls over 3 ft.
 - Fire Sprinklers
 - Demolition of Structures
14. A new building permit application, plans, and supporting structural calculations must be submitted for review for the following existing conditions (Note: All existing structural elements i.e. moment frame, foundation, footings, etc. must be evaluated and certified by a registered design professional prior to permitting):
- Retaining walls
 - Freestanding walls.
 - Foundations.
 - Drainage.
 - Structural Framing.
15. The applicant shall apply for an encroachment permit to install all improvements in the right of way, including a sidewalk behind the curb and gutter, which satisfies the most recent requirements outlined in the City's Public Works and Engineering Encroachment Conditions and Standard Drawings.

B. Prior to Building Plan Check Submittal:

16. The applicant shall submit construction plans for the subject project within six (6) months of the approval date of SDP18-0046.
17. Building(s) shall comply with most current editions of the Building Code with all local amendments.
18. Project "Conditions of Approval" shall appear on the submitted drawings.
19. Building plan check submittal shall include the following construction documents:
- Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)
 - Drainage Plans (4 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

20. Fire Department review maybe required. Submit plans directly to the Orange County Fire Authority for their review.
21. Minimum roofing classification is Class "A".
22. Fire-rated Construction: Plans should clearly identify and detail the fire-rated construction for any construction due to close proximity to the property line.
23. Separate review, approval, and permits are required for separate structures.
24. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6. The soils report shall include a discussion of the existing improvements from a geotechnical standpoint. The report and Registered Design Professional shall review and approve the previous improvements and previous geotechnical reports, include the existing permanent shoring wall. All previous reports, field memos, certifications, etc. shall be included in the new report as needed.
25. The applicant shall hire a licensed third party structural engineer to inspect the existing site improvements and provide a "Certification of 2019 Building Code Compliance" for submittal to the City's building official for review.
26. The applicant shall submit a new building permit application for the following existing onsite improvements:
 - Existing retaining and freestanding walls.
 - Existing foundations.
 - Existing drainage.
 - Existing framing.
27. The existing foundation, retaining walls and framing shall be certified/ found to be in accordance with the 2019 Edition of the California Building Code.
28. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CAL Green requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
29. Through the application of an encroachment permit, the owner shall be required to install a sidewalk behind the curb and gutter, which satisfies the

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most recent requirements outlined in the City's Public Works and Engineering manual.

C. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

30. Approvals are required from:
 - Planning Division
 - Public Works & Engineering Services
 - Obtain Orange County Fire Authority Approval
 - Obtain "Will Serve" letter from Water District.
 - Provide an SDG&E service work order for proposed service location
31. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
32. The applicant shall submit a geotechnical report, as conditioned above, in compliance with all the City of Dana Point standards for review and approval. The review of the submitted geotechnical report shall be done on a time and materials basis.
33. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
34. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.
35. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.
36. Prior to release of the roof sheathing inspection, the applicant shall certify

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by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of SDP18-0046. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

37. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Director of Community Development, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.

D. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

38. Verification of all conditions of approval is required by all City Departments.
39. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division.
40. All structural best management practices (BMPs), including landscaping, shall be constructed and installed in conformance with approved plans and specifications.
41. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
42. A written approval, in accordance with the City's standard certification template, by the Geotechnical Engineer of Record approving the construction as being in conformance with the approved plan from a geotechnical standpoint.
43. A Final As-Built Drainage Plan shall be submitted for review and approval prior

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to Public Works approval.

DRAFT

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13th day of January 2020, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Roy Dohner, Chairman
Planning Commission

ATTEST:

Brenda Wisneski, Director
Community Development Department

Supporting Document 2: Project Vicinity Map and Photos



City of Dana Point
SDP18-0046
Danny Giometti, Associate Planner
Community Development Department
33282 Golden Lantern (Danny Giometti, Associate Planner)
Dana Point, CA 92629-1805

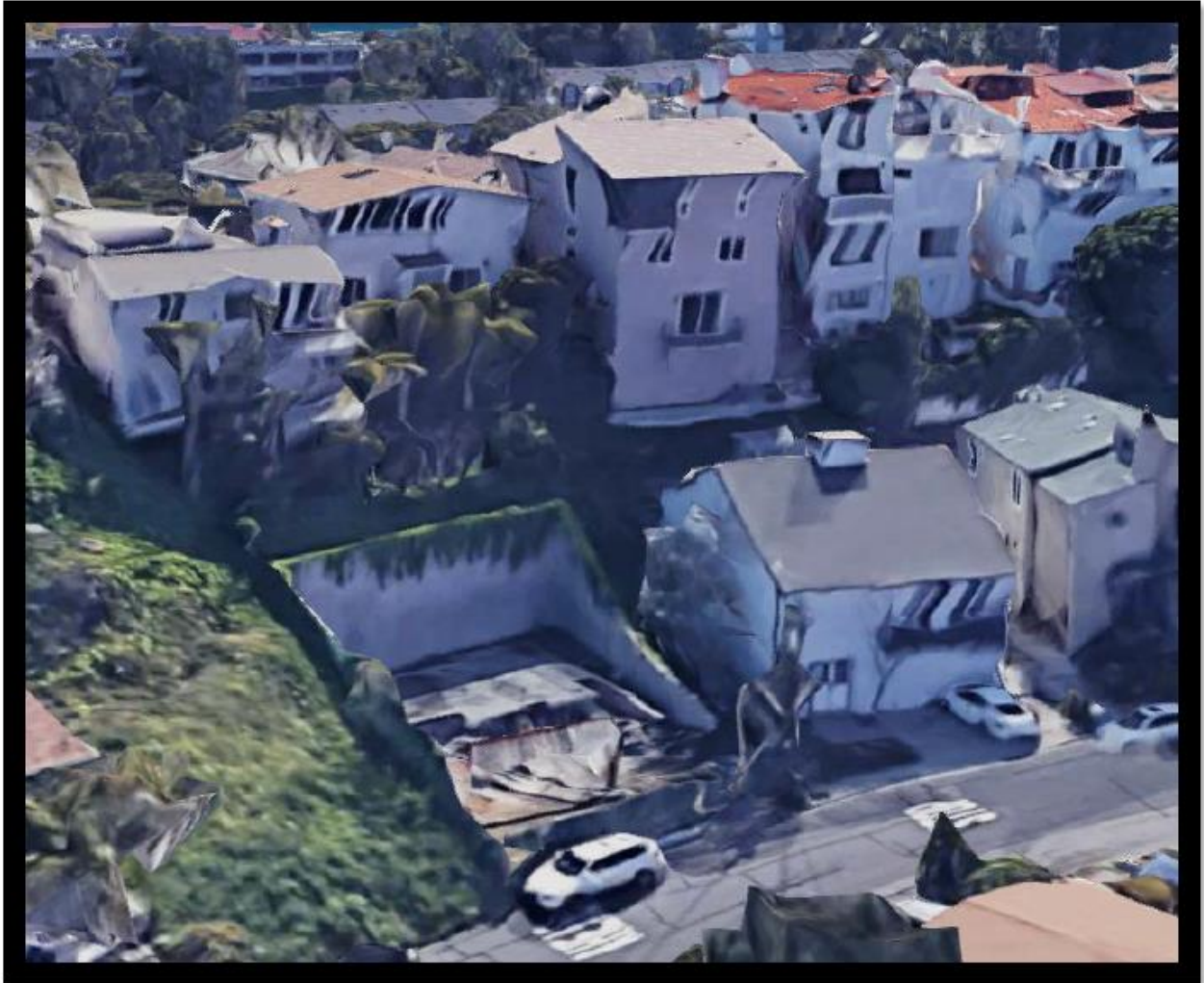
VICINITY MAP



Project : **SDP18-0046**
Applicant: **Rod Jeheber**
Location: **25166 Manzanita Drive**



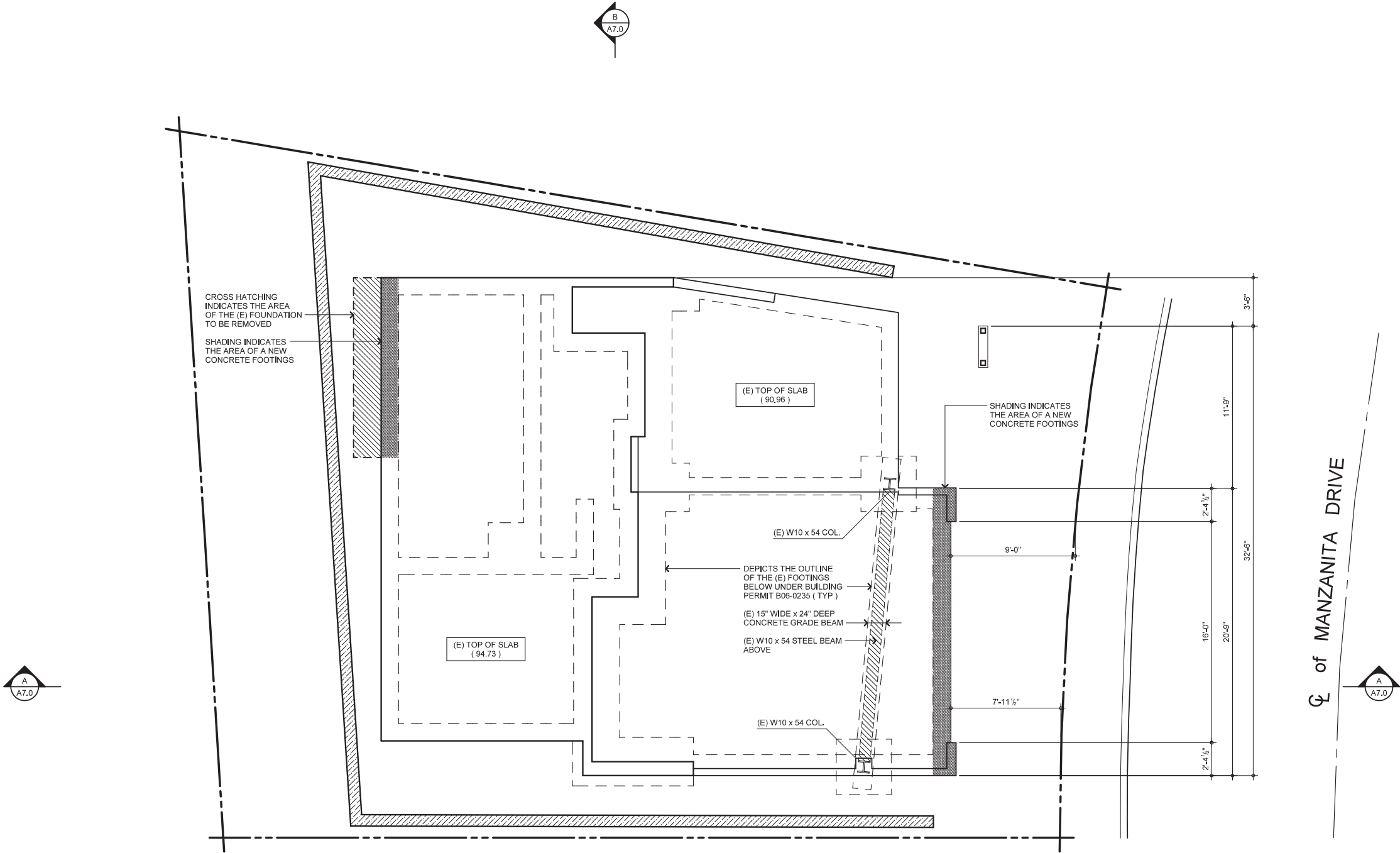
SITE PHOTOS - 25166 MANZANITA DRIVE - SDP18-0046





Supporting Document 3: Architectural, Grading Plans & Topographic Survey

ATTACHMENT



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SHEET TITLE

AS-BUILT SLAB PLAN

CUSTOM HOME PLANS FOR:

25166 MANZANITA DRIVE, LLC

PROJECT ADDRESS:

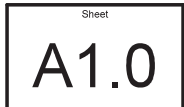
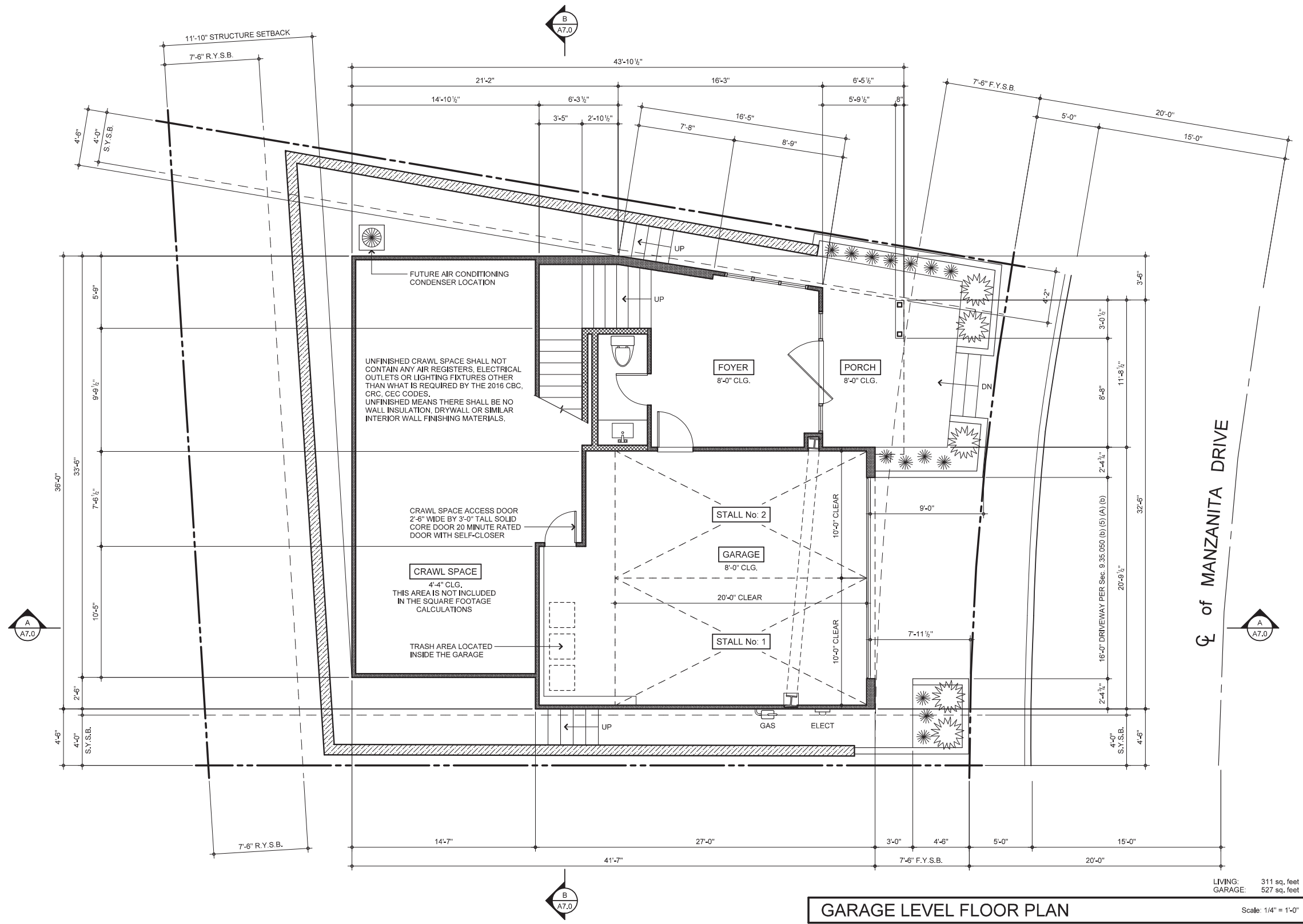
25166 MANZANITA DRIVE
DANA POINT, CALIFORNIA

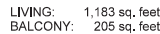
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RAJ Project #	
2018-07	
REVISIONS	

Sheet

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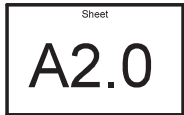
R. A. JEHEBER
RESIDENTIAL DESIGN, INC.
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949.723.4393 (rajeheber@gmail.com)





MAIN LEVEL FLOOR PLAN

Scale: 1/4" = 1'-0"

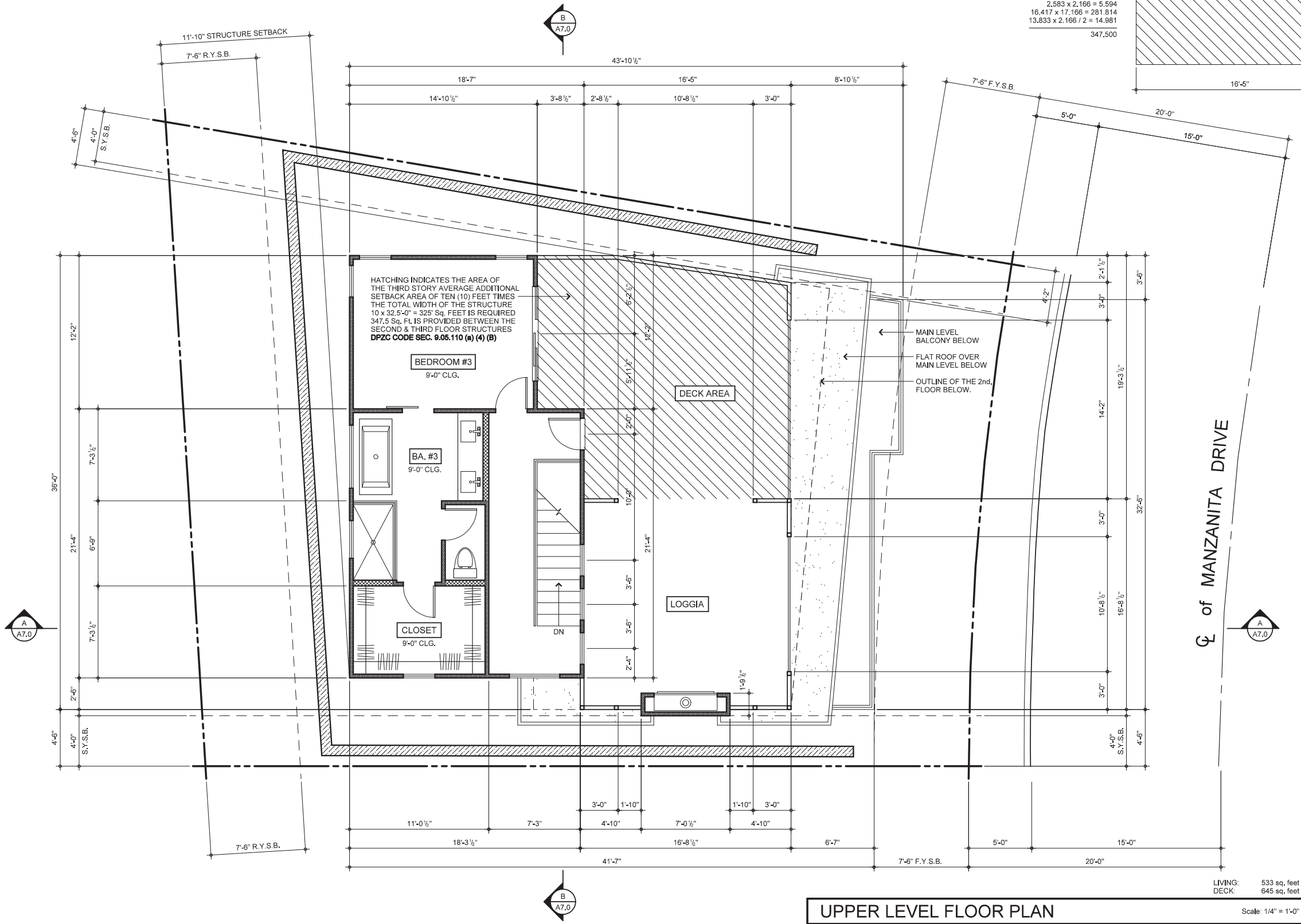


SHEET TITLE	MAIN LEVEL FLOOR PLAN
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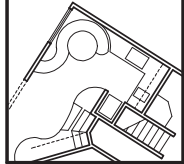
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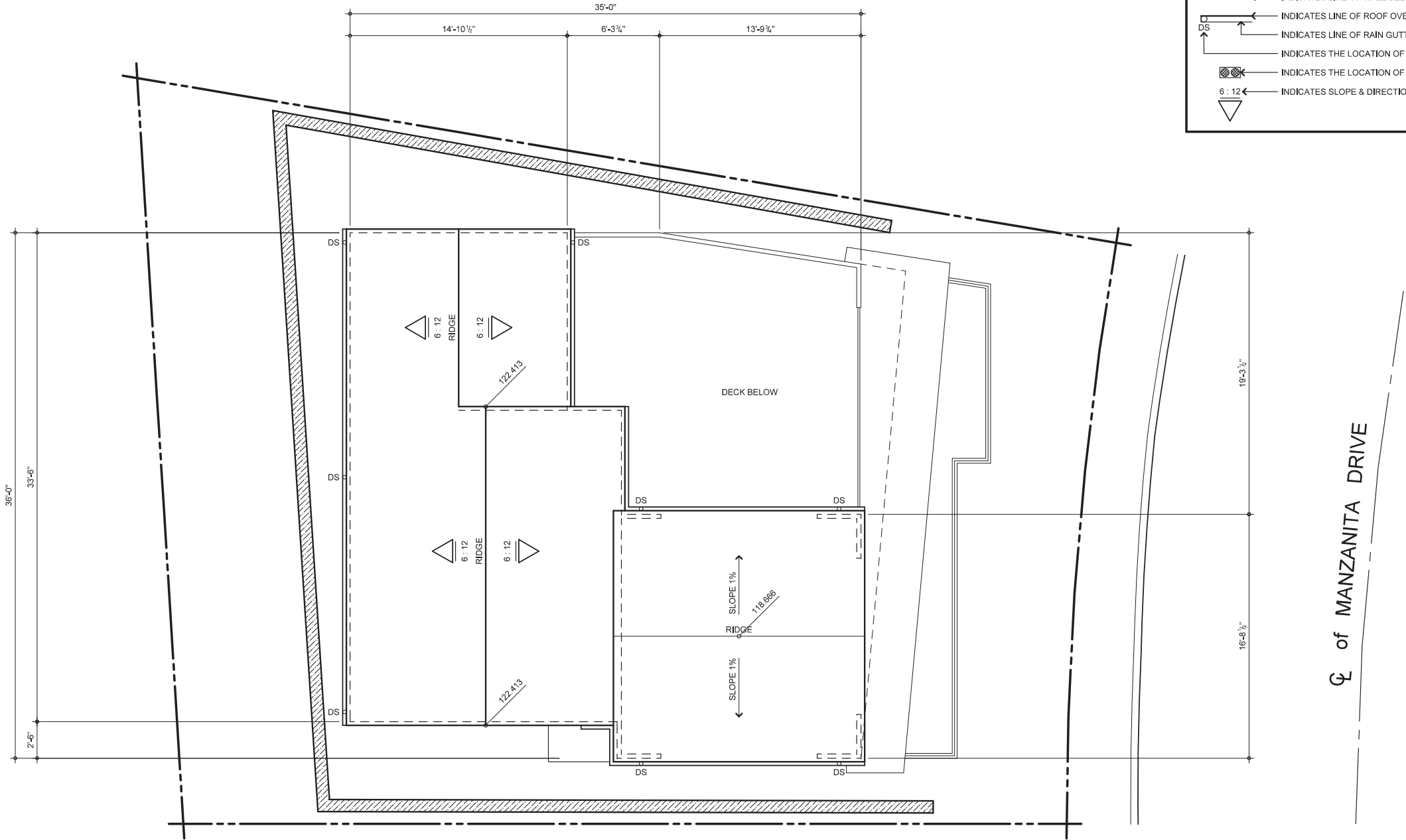
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SHEET TITLE
UPPER LEVEL
FLOOR PLAN

CUSTOM HOME PLANS FOR:
25166 MANZANITA DRIVE, LLC
PROJECT ADDRESS:
25166 MANZANITA DRIVE
DANA POINT, CALIFORNIA

Plot Date & Time 12/12/2019 12:00 PM	
RAJ Project # 2018-07	
REVISIONS	

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A3.0



ROOF PLAN NOTES

1. CLASS "A" ROOFING MATERIAL:
TITAN STANDING SEAM METAL ROOFING PANELS BY: "CUSTOM-BILT METALS"
COLOR: "BLACK" OR EQUAL
INSTALL OVER (1) LAYER OF #30 FELT OVER (1) LAYER OF "DENSDECK" OVER
A "RADIANT BARRIER" AS PER THE TITLE 24 ENERGY CALCULATIONS.
INSTALL PER MANUFACTURER'S SPECIFICATIONS. A COPY OF THE UL REPORT
FOR ROOF COVERING WILL BE REQUIRED AND WILL BE PRESENTED AT TIME
OF INSPECTION. ICC-ESR-2048, 0.6411 LBS. PER SQ. "THE INSTALLATION OF
ROOFING SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPEC'S".
2. 5" HALF ROUND 26 GA. GALV. METAL GUTTERS AND DOWNSPOUTS - GUTTERS
AND DOWNSPOUTS AT LOCATIONS SHOWN.
3. PROVIDE MINIMUM 26 GA. GALV. METAL FLASHING AT ALL VALLEYS AND ROOF
TO WALL CONDITIONS
4. THE ROOF SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAME OR
EMBERS UNDER THE ROOF COVERING
5. ALL ATTIC VENTS TO HAVE MAX. 1/4" GALV. IRON METAL MESH SCREENS
6. ROOF DECK DRAINS
7. ROOF DECK COVERING: PROVIDE CLASS "A" ROOF MINIMUM.
ELASTO-DECK 5000 FR FIRE RESISTANT POLYURETHANE WATERPROOF
DECK COVERING, ICC ESR-2697
8. BUILT-UP ROOF COVERING: PROVIDE CLASS "A" TWO OR MORE LAYERS OF
FELT CEMENTED TOGETHER AND SURFACED WITH A CAP SHEET, MINERAL
AGGREGATE, SMOOTH COATING OR SIMILAR SURFACING MATERIAL.
BUILT-UP ROOFS SHALL HAVE A DESIGN SLOPE OF A MIN. OF ONE-FOURTH
UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 % SLOPE) FOR DRAINAGE
EXCEPT FOR COAL-TAR BUILT-UP ROOFS THAT SHALL HAVE A DESIGN
SLOPE OF A MINIMUM ONE-EIGHT UNIT VERTICAL IN 12 UNITS HORIZONTAL
(1% SLOPE). BUILT-UP ROOF COVERING MATERIALS SHALL COMPLY WITH
CHAPTER 9 OF THE 2016 CRC.

ROOF PLAN SYMBOLS

- 5 ROOF PLAN NOTES "SYMBOL" - SEE SHEET A5.1
- INDICATES ATTIC VENT - SEE DETAIL #2 / A5.1
- INDICATES LINE OF WALL BELOW
- INDICATES LINE OF ROOF OVER HANG
- INDICATES LINE OF RAIN GUTTER
- INDICATES THE LOCATION OF DOWNSPOUTS
- INDICATES THE LOCATION OF DECK DRAINS
- 6 : 12 INDICATES SLOPE & DIRECTION OF ROOF

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SHEET TITLE

ROOF PLAN

CUSTOM HOME PLANS FOR:
25166 MANZANITA DRIVE, LLC
PROJECT ADDRESS:
25166 MANZANITA DRIVE
DANA POINT, CALIFORNIA

Plot Date & Time 12/12/2019 12:00 PM	
RAJ Project # 2018-07	
REVISIONS	

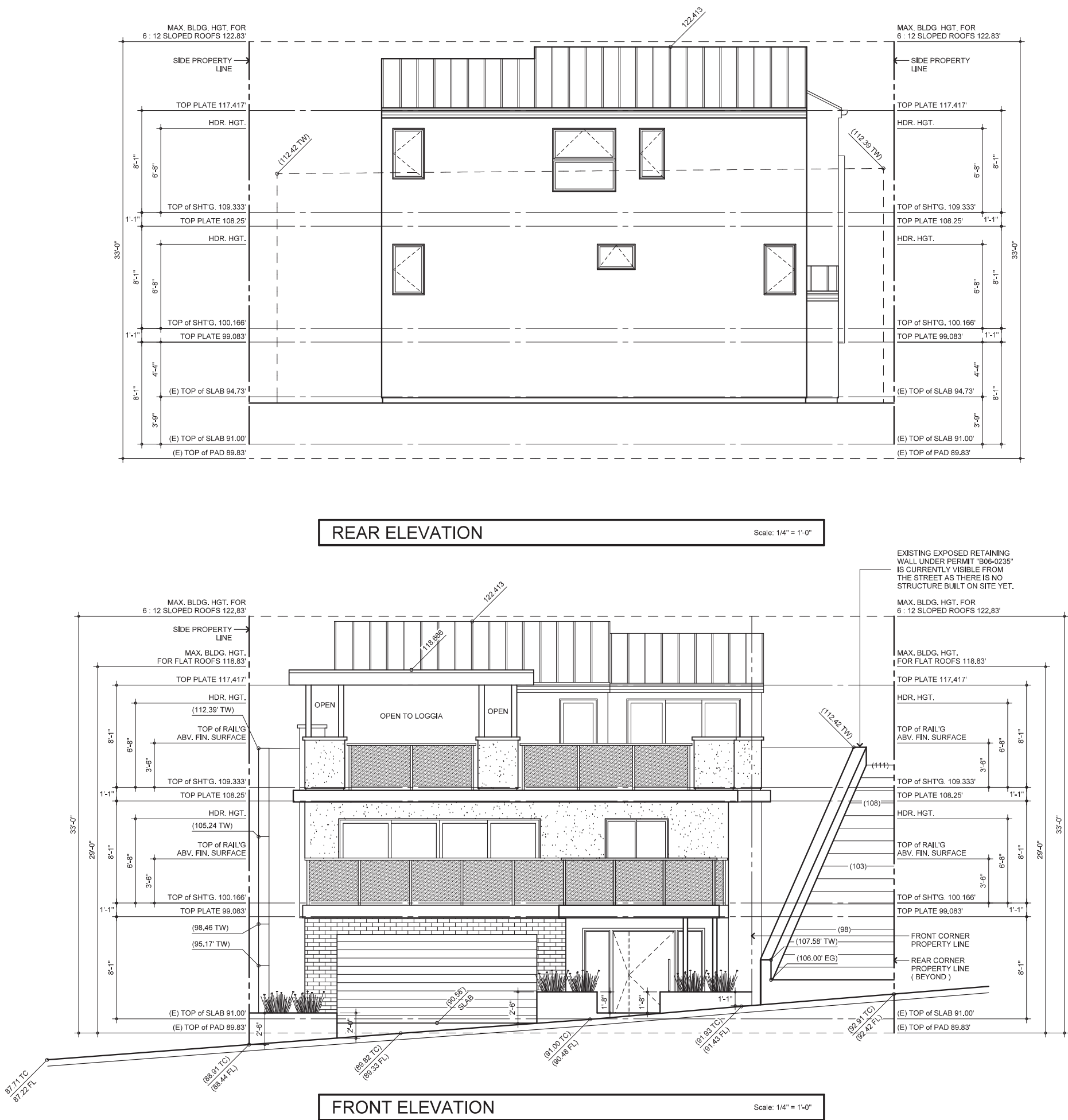
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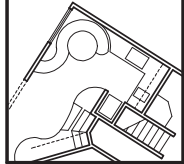
ROOF PLAN

Scale: 1/4" = 1'-0"





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SHEET TITLE

EXTERIOR ELEVATIONS

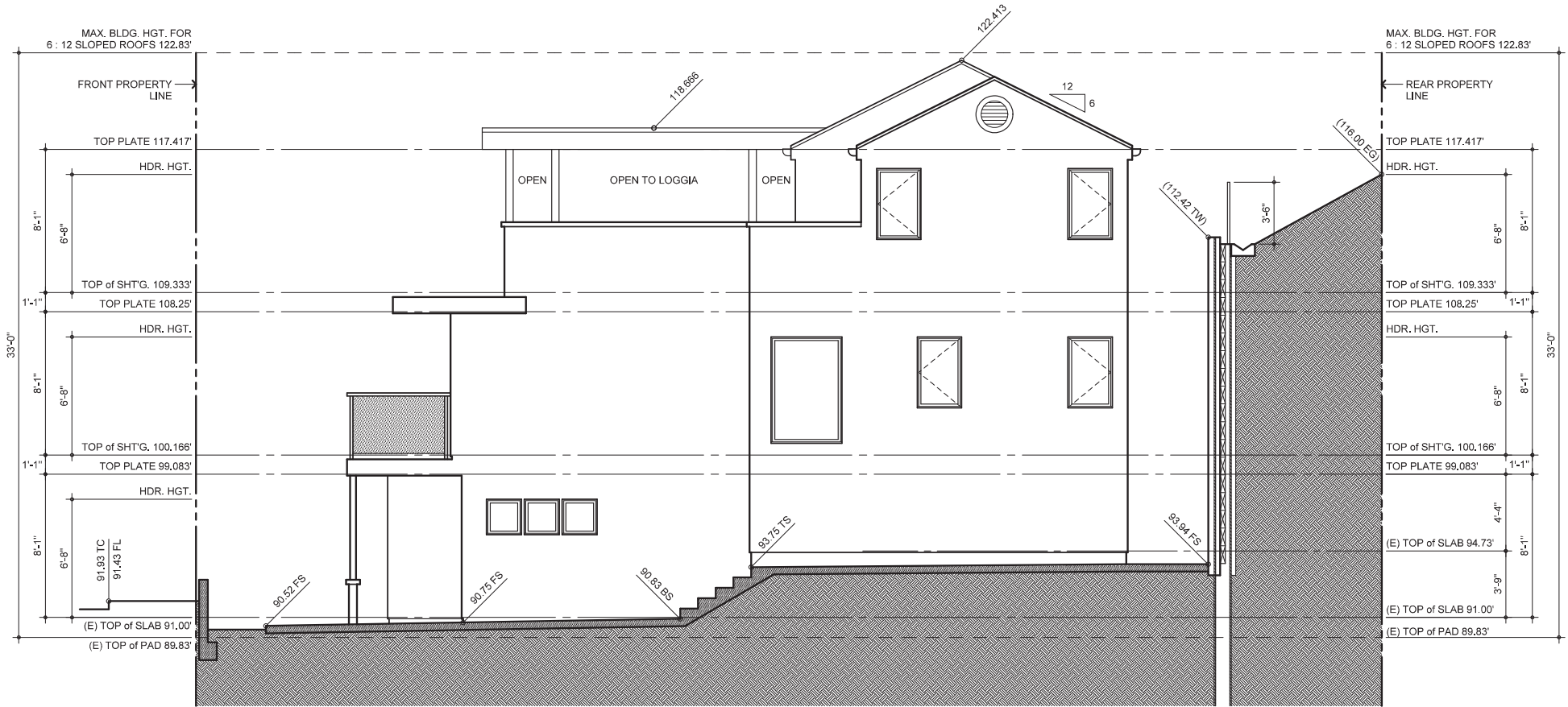
CUSTOM HOME PLANS FOR:
25166 MANZANITA DRIVE, LLC
PROJECT ADDRESS:
25166 MANZANITA DRIVE
DANA POINT, CALIFORNIA

Plot Date & Time 12/12/2019 12:00 PM	
RAJ Project # 2018-07	
REVISIONS	

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C:\DataCAD 21\Drawings\2018-08 25166 MANZANITA DRIVE - TRENT SMITH\25166 MANZANITA DRIVE 04.aec



RIGHT ELEVATION

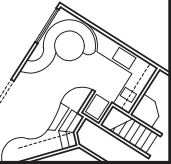
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LEFT ELEVATION

Scale: 1/4" = 1'-0"

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SHEET TITLE

EXTERIOR ELEVATIONS

CUSTOM HOME PLANS FOR:
25166 MANZANITA DRIVE, LLC
PROJECT ADDRESS:
25166 MANZANITA DRIVE
DANA POINT, CALIFORNIA

Plot Date & Time 12/12/2019 12:00 PM	
RAJ Project # 2018-07	
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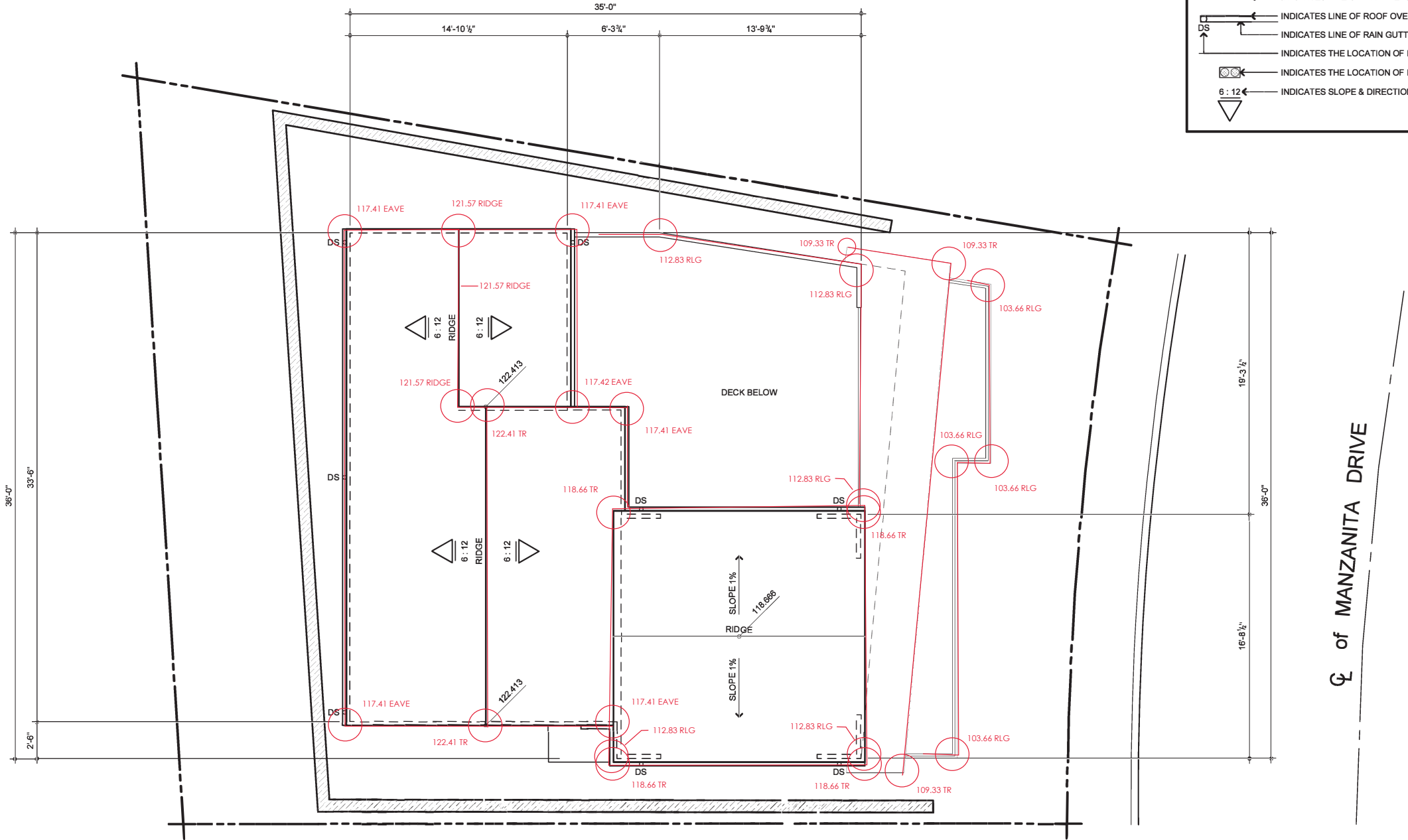
CERTIFIED ON DEC. 2, 2019

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- 6 : 12 — INDICATES SLOPE & DIRECTION OF ROOF



ROOF PLAN

Scale: 1/4" = 1'-0"



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SHEET TITLE

ROOF PLAN

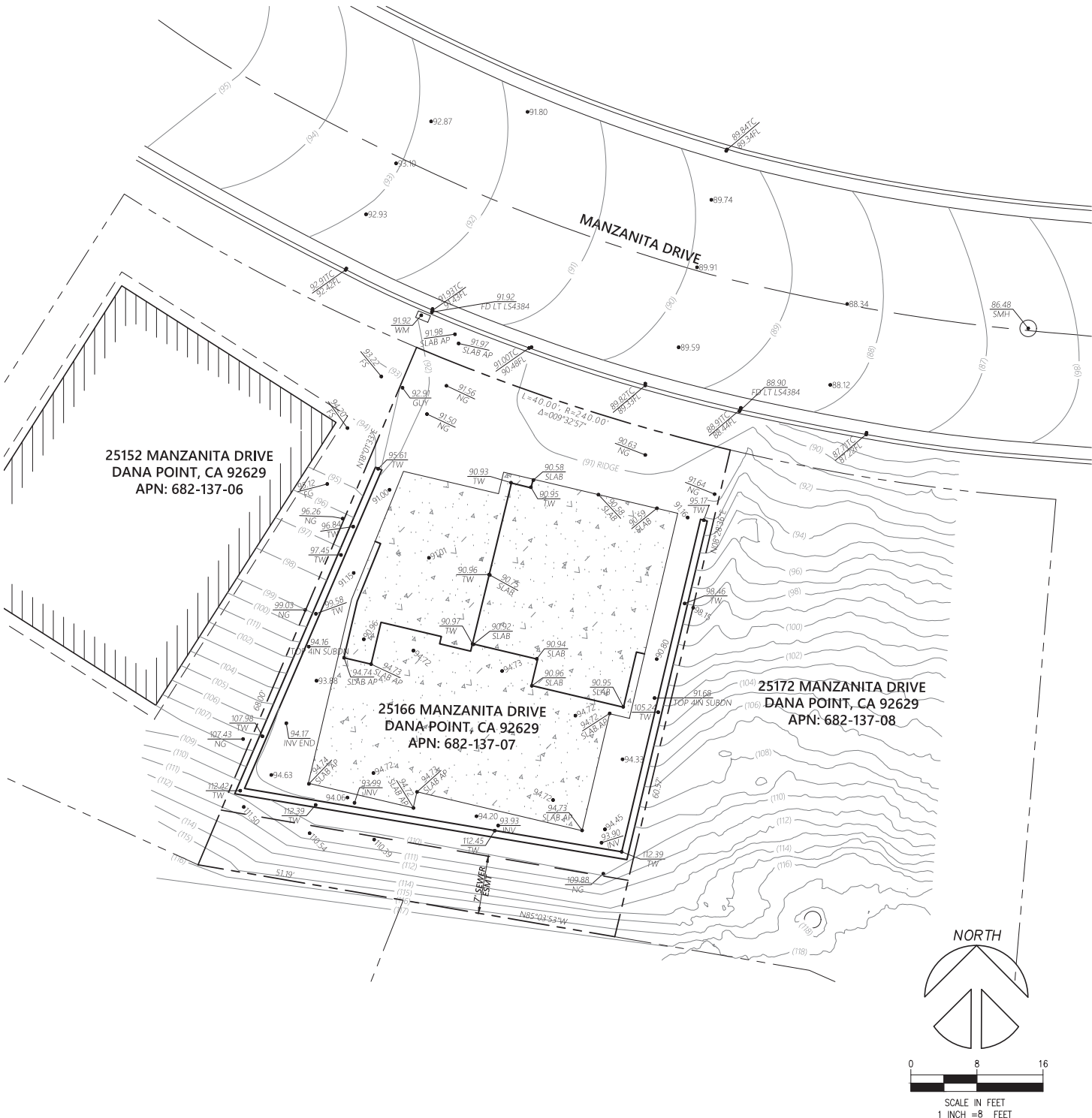
CUSTOM HOME PLANS FOR:
25166 MANZANITA DRIVE, LLC
PROJECT ADDRESS:
25166 MANZANITA DRIVE
DANA POINT, CALIFORNIA

Plot Date & Time	
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RAJ Project #	
2018-07	
REVISIONS	

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CITY OF DANA POINT, CALIFORNIA
COUNTY OF ORANGE
TOPOGRAPHIC BOUNDARY MAP

25166 MANZANITA DRIVE
LOT 129 OF TRACT 968, M.M. 31/1-4
APN: 682-137-07



VICINITY MAP
NO SCALE

LEGAL DESCRIPTION

LOT 129 OF TRACT 968, M.M. 31/1-4

BENCHMARK

DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3LL-9-04" SET IN THE SOUTHWESTERLY CORNER OF A 4 FT. BY 11FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE EASTERLY SIDE OF DEL OBISPO STREET, 0.4 MILES NORTHERLY OF THE CENTERLINE OF PACIFIC COAST HIGHWAY, 230 FT. NORTHERLY OF THE CENTERLINE OF QUAIL RUN AND 36 FT. EASTERLY OF THE CENTERLINE OF DEL OBISPO. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEV = 28.155 FT. (NAVD88)/25.858 FT. (NGVD29), YEAR LEVELED: 2004

RECORD OWNER:

25166 MANZANITA DR LLC
404 EVENING STAR
NEWPORT BEACH, CA 92660

TITLE REPORT

NOT PROVIDED AT THIS TIME

SITE DATA:

SITE ADDRESS: 25166 MANZANITA DRIVE, DANA POINT
APN: 682-137-07
LAND USE: RESIDENTIAL 14-22 DU/AC
ZONING DISTRICT: RSF 22
COASTAL ZONE: NO
WATER DISTRICT: SOUTH COAST WATER DISTRICT

LEGEND

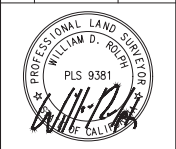
- AP ANGLE POINT
- FG FINISHED GRADE
- FS FINISHED SURFACE
- INV INVERT
- NG NATURAL GRADE
- SUBDN SUBDRAIN
- TC TOP OF CURB
- TW TOP OF WALL

- CONCRETE SLAB
- BUILDING WALL
- CONTOUR LINE
- EXISTING WALL

TOPOGRAPHIC/BOUNDARY MAP
FOR
EXISTING SLAB AND SHORING

25166 MANZANITA DRIVE
DANA POINT, CA 92629

REVISIONS		
NO.	REVISION	DATE



JOB NO.	18016
DATE	3/15/2019
SHEET NO.	

TOPO



CITY OF DANA POINT, CALIFORNIA GRADING AND DRAINAGE PLAN

25166 MANZANITA DRIVE, LLC CUSTOM HOME
25166 MANZANITA DRIVE

GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY RMD STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR, A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY RMD STANDARD PLAN NO. 1322.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSIDIARY WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR UNEGRADE AND SHOWN ON AS-GRADED PLANS.
- AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL STABILITY PROBLEMS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
- ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
- STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
- EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (CAD) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID CAD APPLICATION MUST APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 9.01.280 OF THE GRADING CODE).
- THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT OR BE PROVIDED WITH AN APPROVED IRRIGATION ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE ADJOINING PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
- ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL. HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.

GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.

- ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
- STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.

GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

36. ASPHALT SECTIONS MUST BE PER CODE: PARKING LOTS = 3 A/C OVER 10" (COMM.) 12" (INDUSTRIAL) OR PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR. THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL: PAVEMENT SECTION RECOMMENDATIONS BASED ON R VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC LOADS.

37. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RMD STANDARD PLAN NO. 1805.

38. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RMD STANDARD NO. 1804.

39. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.

40. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE. SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.

41. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

42. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.

43. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.

44. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.

45. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE INFLUENCE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.

46. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

47. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HAVEN ENVIRONMENTAL HEALTH AND CITY GRADING.

48. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8871 OF THE BUSINESS AND PROFESSIONS CODE.

EROSION CONTROL

INCLUDED ON THESE SHEETS FOR EROSION CONTROL ARE GENERAL NOTES, STANDARDS AND GUIDELINES FOR THE IMPLEMENTATION OF EROSION, SILTATION AND SEDIMENT CONTROL, AND OTHER BEST MANAGEMENT PRACTICES (BMPs) PROPOSED FOR THIS PROJECT. HOWEVER, THE OVERALL GOAL IS THAT ANY WATER THAT LEAVES THE SITE BE FREE AND CLEAR OF POLLUTANTS AT A RATE THAT DOESN'T CAUSE DOWN STREAM EROSION. THE CITY MAY REQUIRE ADDITIONAL BMPs AT ANY TIME TO ACHIEVE THAT GOAL.

EROSION CONTROL NOTES:

- IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT WILL ROLPH AT PHONE NUMBER 949.464.8115.
- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
- SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND THE DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
- BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 1/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
- SHOULD GERMINATION OF HYDROSEEDING SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90% OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
- PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

SILTATION AND SEDIMENT CONTROL MEASURES:

- THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEARED TO DESIGN CONTOURS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL-ESTABLISHED ON ALL ERODIBLE SLOPES. SEDIMENT BASINS MUST BE DESIGNED IN ACCORDANCE WITH SECTION A OF THE STATE OF CALIFORNIA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES (GENERAL PERMIT), WHEN APPLICABLE. FOR PROJECTS NOT SUBJECT TO THE GENERAL PERMIT, SIZING SHALL BE IN ACCORDANCE WITH THE CITY'S GRADING AND EXCAVATION CONTROL ORDINANCE.
- SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
- SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHOULD BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE.
- ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS WITH A TOP ELEVATION TWO SANDBAGS BELOW THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE BUT NOT TO EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL AS REQUIRED
LESS THAN 2%	100 FEET
2% TO 4%	50 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

- AFTER SEWER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON FEE CENTERLINE OF A CROWNED STREET.
- ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 8%	50 FEET
OVER 8%	25 FEET

- PROVIDE VELOCITY CHECK DAMS IN ALL PAVED STREET AREAS ACCORDING TO RECOMMENDED CRITERIA INDICATED ON THE ENCLOSED GRAPH ENTITLED "SANDBAG BARRIER SPACING FOR EROSION CONTROL IN GRADED STREETS" VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE CITY ENGINEER. AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE VELOCITY CHECK DAMS, MAY ALSO SERVE AS SEDIMENT TRAPS.
- PROVIDE EFFECTIVE INLET PROTECTION BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.
- SAND/GRAVEL BAGS AND FILL MATERIAL, AND OTHER BMP MATERIALS SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.
- ALL EROSION AND SEDIMENTATION CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RUNOFF PRODUCING STORM. IF POSSIBLE, MAINTENANCE CREWS SHOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.
- PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOW THAT MAY BE ANTICIPATED FROM DENUEDED SLOPES, OR FROM IMPERVIOUS SURFACES.
- ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE CITY AGENCIES.
- ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AS NECESSARY TO ENSURE THAT ON-SITE SEDIMENT IS NOT TRANSPORTED OFF SITE.

STORMWATER PROTECTION NOTES:

- DURING THE RAINY SEASON, THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
- NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE CITY OF DANA POINT'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED. THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION, SILTATION AND SEDIMENT CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
- THE PROPERTY OWNER IS OBLIGATED TO ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS ON THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORMWATER QUALITY. THE INSTALLATION AND MAINTENANCE OF THE BMPs IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE CITY OF DANA POINT OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
- ON PROJECTS OF GREATER THAN 1 ACRE, ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE WASTE DISCHARGE IDENTIFICATION (WDID) NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS [WDID##] (ALTERNATIVE: NOT YET ASSIGNED, BUT WILL BE PROVIDED BEFORE A PERMIT IS ISSUED). THE PERMITTEE SHALL KEEP A COPY OF AN UP-TO-DATE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY CITY.

BONDED FIBER MATRIX (BFM)

THE USE OF BFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

- APPLICATION RATES SHALL BE 3,500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4,000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
 - BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
 - THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
 - BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLICATION FROM MULTIPLE ANGLES).
 - FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDER EROSION CONTROL VEGETATION.
 - A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE CITY INSPECTOR FOR APPROVAL.
 - STABILIZED FIBER MATRIX (SFM)
- SFM MAY BE USED FOR TEMPORARY EROSION CONTROL FOR DISTURBED AREAS WITH A SLOPE RATIO OF 1 VERTICAL TO 2 HORIZONTAL OR SHALLOWER, INCLUDING PAD AND SEPTIC FIELD AREAS.
 - THE SFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL AND SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E. APPLIED FORM MULTIPLE DIRECTIONS AND ANGLES).
 - THE APPLICATION AREA MUST BE PROTECTED BY BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE PROTECTED SLOPE.
 - FOR PERMANENT EROSION CONTROL PURPOSES, SFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDER EROSION CONTROL VEGETATION OR HAND PLANTING. AS WITH ALL OTHER APPLICATIONS, SFM WILL NOT BE CONSIDERED PERMANENT UNTIL 70% VEGETATION ESTABLISHMENT.
 - COVERAGE AND CONCENTRATION: FOR EACH ACRE COVERED, THE MINIMUM APPLICATION VOLUME SHALL BE 10 GALLONS NON-TOXIC WATER-PERMEABLE SOIL-STABILIZING LIQUID EMULSION WITH 3,000 LBS. OF HYDRAULIC MULCH. THE EMULSION MUST BE DESIGNED TO PROTECT SOIL, PREVENT EROSION, AND FLOCULATE (CLUMP) SEDIMENT.
 - A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THE SFM WAS INSTALLED IN ACCORDANCE WITH APPROVED APPLICATION RATES, COVERAGE, AND MANUFACTURER'S DILUTION RATIO SHALL BE SUBMITTED TO THE CITY OF DANA POINT INSPECTOR FOR APPROVAL.

- IF DISTURBED AREA IS GREATER THAN 1 ACRE, ADD THE FOLLOWING NOTE: FLAT AREAS OF LESS THAN 5% (LIKE BUILDING PADS, PARKING AREAS, LEACH FIELDS) SHALL HAVE 100% PROTECTION USING POTEXILES (MATS (SS-1 OR SSC2)) OR OTHER MATERIAL APPROVED BY THE CITY OF DANA POINT FOR STABILIZING SLOPES, OR USING TRACKING AND SOIL STABILIZERS/BINDERS (SS-5), TEMPORARY SEEDING (SS-4), MULCHWOOD CHIPS (SS-3, SS-4, SS-4), OR JUTE MATTING (SS-7). THE CITY OF DANA POINT MAY REDUCE THIS REQUIREMENT FOR FLAT AREAS PROVIDED FULL SEDIMENT CONTROL IS PROVIDED THROUGH CONSTRUCTED AND MAINTAINED DESILTATION BASINS (SC-2) AT ALL PROJECT DISCHARGE POINTS.

- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND, VEHICLE TRACKING OR RUNOFF.

- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED ON CONSTRUCTION SITES UNLESS TREATED TO REMOVE SEDIMENT AND OTHER POLLUTANTS.

- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL, MATERIAL SUPPLIERS, LESSOR AND THE PROPERTY OWNER ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.

- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTE FROM PAINTS, STAINANTS, GLUES, LIME, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC FLUIDS, CONCRETE, DETERGENT OR FLOATABLE WASTES, WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING, AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT POLLUTANTS ARE NOT CARRIED OFF THE SITE.

- DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA, ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

- CATCH BASINS SHALL BE MARKED WITH A STENCIL CONCRETE STAMP, OR CERAMIC TILE TO INDICATE THAT NO DUMPING IS ALLOWED IN THE STORM DRAINAGE FACILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE CITY STREET MANAGER, RICK RUDOMETKIN, AT (949) 248-3589 ON THE METHOD, TYPE OF MARKING, AND PLACEMENT OF THE STORM DRAIN MARKINGS. STENCILING OR LABELING MAY ALSO BE REQUIRED IN SPANISH.

WQMP NOTES (ONLY FOR PROJECTS THAT REQUIRE A WQMP)

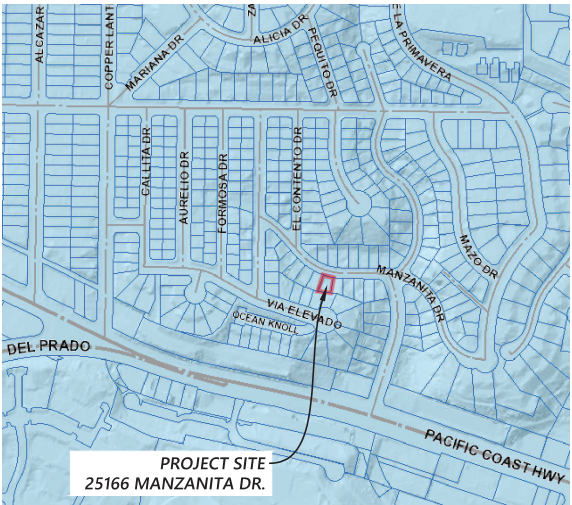
- ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE APPROVED WATER QUALITY MANAGEMENT PLAN (WQMP).

DRAINAGE NOTE

ALL SITE DRAINAGE SHALL BE IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE AND THE DANA POINT MUNICIPAL CODE. DRAINAGE FROM POOL EQUIPMENT AREA SHALL DRAIN TO A LANDSCAPE AREA OR SANITARY SEWER AND NOT DISCHARGE TO THE AREA DRAIN SYSTEM.

SOURCE OF SURVEY

CIVILSCAPES ENGINEERING
28052 CAMINO CAPISTRANO, STE 213
LAGUNA NIGUEL, CA 92677
Tel: 949.464.8115



VICINITY MAP

NO SCALE

SHEET INDEX

SHT 1	TITLE SHEET
SHT 2	GRADING AND DRAINAGE PLAN
SHT 3	STORM DRAIN PLAN
SHT 4	EROSION CONTROL PLAN

DECLARATION OF RESPONSIBLE CHARGE FOR THE ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT DOES NOT RELIEVE ME, AS THE ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

WILLIAM D. ROLPH
CIVILSCAPES ENGINEERING, INC.
28052 CAMINO CAPISTRANO, STE 213
LAGUNA NIGUEL, CA 92677

BY:	WILLIAM ROLPH	R.C.E.#	EXP.	DATE
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DECLARATION OF RESPONSIBLE CHARGE FOR THE SOILS ENGINEER:

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST FOR THIS PROJECT, THAT I HAVE REVIEWED THE IMPROVEMENT PLANS AND FIND THEM IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT ENTITLED:

I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

BY:	G.E.#	EXP.	DATE
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BY:	C.E.G.#	EXP.	DATE
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NOTICE TO CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

OWNER'S STATEMENT:
I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

BY:	SIGNATURE
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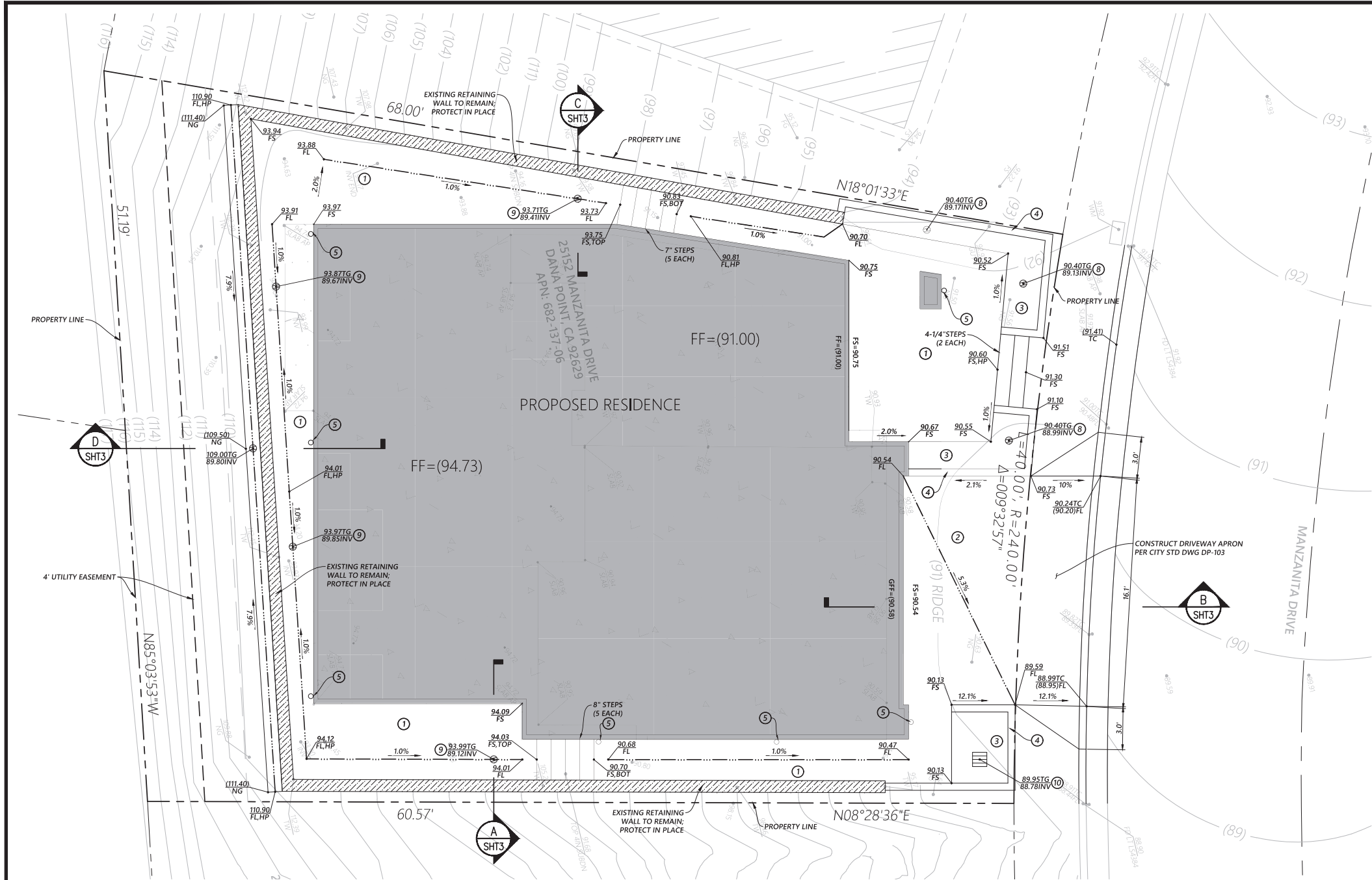
CITY OF DANA POINT

TITLE SHEET
25166 MANZANITA DRIVE, LLC CUSTOM HOME
25166 MANZANITA DRIVE

PLAN CHECK NO.

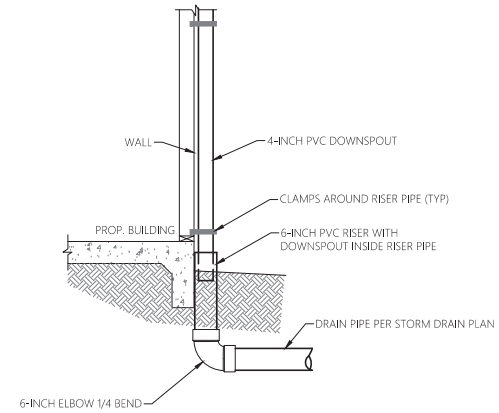
1 OF 4 SHEETS

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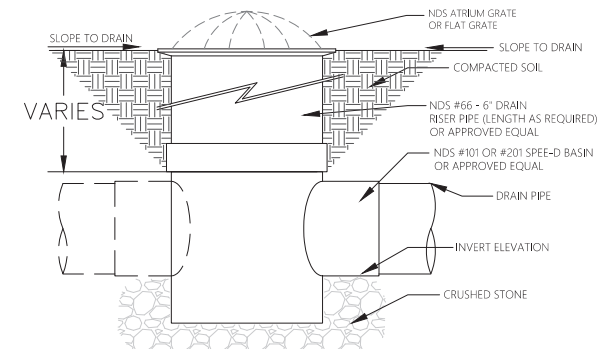


CONSTRUCTION NOTES

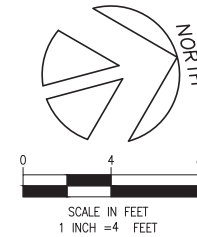
- 1 HARDSCAPE PER ARCHITECT'S PLAN.
- 2 DRIVEWAY PER ARCHITECT'S PLAN.
- 3 PLANTER AREA PER ARCHITECT'S PLAN.
- 4 WALL OR FENCE PER ARCHITECT'S PLAN.
- 5 CONNECT DOWNSPOUT TO STORM DRAIN SYSTEM PER DETAIL HEREON.
- 8 FURNISH & INSTALL 6" NDS SPEED-BASIN W/6" GREEN ATRIUM GRATE PER DETAIL HEREON.
- 9 FURNISH & INSTALL 6" NDS SPEED-BASIN W/6" BRASS SQUARE GRATE PER DETAIL HEREON.
- 10 12"x12" DRAINAGE BASIN WITH LOW FLOW INFILTRATION PIT PER CITY STD DP-202.



5 DOWNSPOUT CONNECTION DETAIL
NO SCALE



8 9 NDS SPEED-BASIN DETAIL
NO SCALE



REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY:	PLANS REVIEWED BY:	CITY OF DANA POINT	GRADING & DRAINAGE PLAN	PLAN CHECK NO.
				1"=4'	WR	AN/KH/WR	WR	CIVILSCAPES ENGINEERING		PLANNING DEPARTMENT	CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES	33282 GOLDEN LANTERN DANA POINT, CA 92629	25166 MANZANITA DRIVE, LLC CUSTOM HOME	---
				ACAD FILE NO.				28052 CAMINO CAPISTRANO, STE 213 LAGUNA NIGUEL, CA 92677		THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	THIS PLAN IS REVIEWED FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.		25166 MANZANITA DRIVE	
				PROJECT NO.	ENGINEER OF WORK			949.464.8115		CITY PLANNING DEPARTMENT	DATE			2 OF 4 SHEETS

Supporting Document 4:

Architectural Rendering



