

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: AUGUST 26, 2019

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR
SEAN NICHOLAS, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP16-0014/CONDITIONAL USE PERMIT CUP16-0005 TO CONSTRUCT A NEW 51-ROOM HOTEL AND ASSOCIATED PARKING FACILITIES. THE APPLICANT IS REQUESTING A LOT MERGER, VALET AND TANDEM PARKING, MODIFIED PARKING GARAGE RAMPS, AND ARCHITECTURAL FEATURES THAT ARE LESS THAN 10 FEET ABOVE THE DISTRICT BUILDING HEIGHT LIMIT AT 34482 GREEN LANTERN

RECOMMENDATION: That the Planning Commission adopt the attached draft Resolution approving Coastal Development Permit CDP16-0014/Conditional Use Permit CUP16-0005 (Action Document 1).

OWNER: Global Resorts, Inc.

APPLICANT: Yenny Ng, AIA, YNG Architects

REQUEST: A request to construct a new 51-room hotel and associated parking facilities, lot merger, valet and tandem parking, modified width for parking garage ramps, and architectural features that are less than 10 feet above the district building height limit.

LOCATION: 34482 Green Lantern (APNs: 672-234-07 & 672-234-08)

NOTICE: Public Hearing Notices were mailed to property owners within 500 feet, and to occupants within 100 feet of the site on August 16, 2019. The same notice was published in the Dana Point Times on August 16, 2019, and notices were posted on August 16, 2019, at Dana Point City Hall, the Dana Point Post Office, the Capistrano Beach Post Office, and the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15332 (Class 32 – In-fill Development Projects) California Code of Regulations. Section 32 of the CEQA Guidelines stipulates that projects that are consistent with the applicable general plan and zoning regulations, and that are less than five acres and substantially surrounded by

urban uses with no habitat value, and would result in no significant effects relating to traffic, noise, air or water quality and can be served by all required utilities and public services are categorically exempt from CEQA.

ISSUES:

1. Is the proposal consistent with the City's adopted Dana Point Specific Plan/Local Coastal Program?
2. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?
3. Does the project satisfy all the findings required for approving a Coastal Development Permit and Conditional Use Permit?

BACKGROUND

The subject site is a vacant 17,737 square foot coastal bluff lot. The site is bordered by the Chart House Restaurant to the east, Cove Road to the west, undeveloped commercial lots to the north, and the Dana Point Harbor to the south.

The site is located within the Coastal Development District of the Dana Point Specific Plan (DPSP)/Local Coastal Program (LCP), which is the applicable Local Coastal Program for properties directly above the Orange County Dana Point Harbor. The site is designated as Coastal Visitor Commercial District (C-VC) on the Coastal Land Use Regulations Map of the DPSP/LCP, lies within the Coastal Commission appeals area of the Coastal Development District of the DPSP/LCP, and is designated as Tourist Recreational/Commercial on the Land Use Element figure of the Land Use Plan/Implementing Actions Program of the LCP portion of the DPSP.

In accordance with Implementing Actions Program (Chapter III (B)(2)(b)) of the DPSP/LCP, the Orange County Zoning Code (OCZC) is auxiliary to the DPSP, and for any item or issue not included in the DPSP land use regulations, the OCZC shall apply. Consequently, standards such as off-street parking, fences, walls, and projections into required building setbacks are derived from the OCZC that was effective upon City incorporation in 1989.

DISCUSSION

Based on the project's design and OCZC standards, a Coastal Development Permit is required for the development of a coastal bluff lot and lot merger, and a Conditional Use Permit is necessary for architectural features that exceed the height limit by less than 10 feet, and for alternatives to off-street parking regulations to allow for the use of valet and tandem parking and reduced ramp widths for the subterranean parking garage.

DPSP/LCP Uses & Development Standards

In accordance with the C-VC District of the DPSP, hotels are identified as a principal

permitted use.

Staff has reviewed the proposed project and found that the development complies with all applicable development standards as specified in Table 1 below:

Table 1: Project Compliance with Development Standards

Development Standard	C-VC	Proposed	Compliant
Minimum Site Size	No limit	17,737 sq. ft.	Yes
Minimum Site Width	No limit	100 ft.	Yes
Building Height	35 ft.	35 ft.	Yes
Number of Stories	No limit	5 and a basement	Yes
Building Site Coverage	No requirement	46%	Yes
Building Setbacks			
Front	20	20	Yes
Sides	10	10	Yes
Rear	10	25 feet (Bluff Setback)	Yes
Landscape Screening Minimum	50% of Front SB	50% of Front SB	Yes
Parking	51 spaces	60 spaces	Yes

As Table 1 identifies and the plans (Supporting Document 3) illustrates, the proposed structure complies with all required development standards. The building is setback from the coastal bluff edge 25 feet as determined by the City and based on the geotechnical reports submitted. Within the bluff edge setback, and as required by Provision No. 29 of the General Provisions of the DPSP/LCP, the applicant will provide an irrevocable offer to dedicate a ten-foot bluff top trail easement. The applicant is proposing a number of visitor serving facilities as discussed below, including development of the bluff top trail.

The proposed rooftop facilities, which includes restaurant components that will serve food and alcoholic and non-alcoholic beverages to guests, have limited hours of use. The pool is proposed to be open 8:00 a.m. to 9:00 p.m. daily. The rooftop bar is proposed by the applicant to be open 12:00 p.m. to 10:00 p.m. Sunday through Thursday, and 12:00 p.m. to 11:00 p.m. Friday and Saturday. A noise study was prepared by Kimley-Horn, and found that the use of the rooftop facilities would not result in noise impacts on the surrounding area. To further mitigate potential impacts staff recommends that the rooftop bar area close at 10:00 p.m. daily, when the City's Noise Ordinance has a reduced noise level threshold. This would make the proposed facilities consistent with other outdoor facilities in the community. The recommended hours of operation of the rooftop facilities are included in the attached Resolution as condition of approval nine.

Building Height

The 35-foot building height limit is measured in accordance with OCZC Section 7-9-129.1(b) for lots with an average grade of less than ten (10) percent in the front 50 feet of a building site. The applicant has prepared a figure on page 40 of the plans (Supporting Document 3), showing that the structure complies with the required height standards.

There is no story limitation identified in either the C-VC District or in the OCZC for the measurement of building height. The building design includes five separate stories of habitable guest rooms, and a basement level that is subterranean and used for parking and back of house facilities. The project is designed in such a way that from the most visible portions, Green Lantern and Cove Road/Dana Point Harbor, the project appears to be 2-stories to 4-stories respectively. This is shown on pages 37-39 of the plans (Supporting Document 3).

Architecture

The architecture of the proposed hotel is a contemporary design. The architect endeavored to mimic the design of the coastal bluff by stepping and moving the rear architecture to complement the coastal bluff edge and increase views from the site. Staff and the City's third party architect worked with the project architect to take inspiration from similar contemporary structures adjacent to the ocean. This resulted in the "lightening" of the massing of the structure through the use of glass and tapering of the solid vertical architectural elements as they move up the structure. The applicant has included lighter colored stucco and stone veneer for exterior finishes. The applicant is proposing wood under the front access wave element to give the entry a "warmer" material. The use of a metal wave like architectural feature on the roof is meant to tie the roof together with the front entry. Overall, high quality materials are proposed throughout, and condition of approval number 13 requires staff to review and approve all paint colors, architectural details, finishes, and all other architectural elements to ensure consistency with the approved concepts and design.

COASTAL DEVELOPMENT PERMIT

Due to the site's location within the boundaries of the DPSP, on a coastal bluff, and in the appeals jurisdiction of the California Coastal Commission, a Coastal Development Permit (CDP) is required for the project.

Lot Merger

The proposed project requires the two lots which make up the project site be merged by an Administrative Lot Line Adjustment. This is an administrative action completed by staff after Planning Commission approval of the project.

Low Cost Visitor Serving Amenities

Section 30213 of the Coastal Act, requires permitted development to protect, encourage and, where feasible, provide lower cost visitor and recreational facilities and serves as the basis for the Coastal Commission requiring affordable overnight accommodations/mitigation as a component of hotel development within the Coastal Zone. Unfortunately, the Coastal

Act provides little to no guidance with regard to satisfying this Section of the Coastal Act. The best source of information relative to this topic is derived from a local jurisdiction's Local Coastal Program (LCP) and two workshops led by Coastal Commission staff in 2014 and 2016. City staff have carefully reviewed the staff reports from both workshops and concluded there is no prescribed method or adopted policy with regard to determining how to satisfy affordable overnight accommodations requirements. In fact, in some cases of the State, particularly in the north, hotel projects have been approved without requiring any affordable overnight accommodations/mitigation as the Commission determined adequate lower cost visitor and recreational facilities already existed in the vicinity. Staff have also reviewed the DPSP which serves as the LCP implementing the Coastal Act in this area of the City and determined that there are no established policies or regulations requiring or encouraging affordable overnight accommodations/mitigation for hotel/lodging project within the DPSP.

The applicant is proposing both lower cost visitor serving amenities and low cost overnight accommodations on-site. The applicant is proposing to develop the coastal bluff trail easement area with a decomposed granite (DG) trail, with benches, telescopes, and free binoculars available at the front desk for use by the public. Access will be appropriately signed and provided through the lobby and by elevator (accessible path) or exterior stairway.

Consistent with the workshops Coastal Commission conducted, the applicant is proposing to provide 25% of the rooms available for lower cost overnight accommodations consistent with the calculation method established in the most recent Coastal Commission Workshop. Based on current market rates it is estimated that the affordable room rate will be in the range of \$150 to \$200 per night depending on occupancy. Condition of approval 14 has been incorporated to address the overnight affordable accommodation requirement.

With the coastal bluff top trail amenities, public access to them, and 25% of the rooms available for low cost overnight accommodations, the proposed project is consistent with all Lower Cost Visitor Serving Facilities policies and requirements of the Coastal Act.

Public Views

Staff considered public view impacts as part of its analysis. The public view with the greatest potential for impact by the development would be at the top of the trail access from Green Lantern. At that point, the trail is at 250 feet above sea level. The highest point of the proposed project is 215 feet above sea level, 35 feet below the base of the coastal trail. The applicant has prepared a photorealistic view from the trail. Based on the information provided, as well as the difference in elevation between the top of the project and trail, no public views are impacted by the proposed project.

Geotechnical

In accordance with Provision No. 18 of the General Provisions of the DPSP/LCP, the applicant has submitted a geotechnical report and responses to comments generated by City staff during review of the proposed development. The geotechnical report

establishes the coastal bluff edge and assess 50 years bluff erosion therefrom. The geotechnical report also assess site stability and provides foundation recommendations for proposed structures.

The bluff edge setback was determined with consideration given to the requirement for the bluff trail offer of easement, as well as site geology. A 25-foot setback was established to account for these considerations as well as 50 years of forecast erosion. Appropriate factors of safety relative to bluff stability has been determined to occur immediately landward of the 25 foot setback and utilizes an array of caissons to further ensure no impact to the coastal bluff and proposed public amenities. The City's staff geologist has reviewed the geotechnical reports and approved them with conditions outlined in the draft Resolution for the project.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are articulated in the attached draft Resolution identified as Action Document 1.

CONDITIONAL USE PERMIT

Pursuant to the requirements of the OCZC Sections 7-9-145.7 (Alternatives to off-street parking regulations) and 7-9-129.3 (Architectural features), a Conditional Use Permit is required for any alternate provisions to the off-street parking regulations (valet, tandem parking, and ramp width for the subterranean garage), and for architectural features to exceed the C-VC District height limit by less than 10 feet.

Valet, Tandem Parking, and Parking Garage Ramps

The number of off-street parking for the proposed hotel is derived from Section 7-9-145.6 of the OCZC. A minimum of one (1) parking for each guest unit is required for motels and hotels. This includes providing for staff parking on-site. Based on the OCZC requirement 51 parking spaces is required, and 60 parking spaces are provided on-site.

All parking for the site will be accessed from Green Lantern as well as delivery services. The applicant has created an on-site delivery area screened by landscaping planted in the first 10 feet of the project site adjacent to Green Lantern and Cove Road. Condition of approval 11 has been included that requires deliveries to occur after 8:00 a.m. and before 10:00 p.m., and no deliveries be made for an hour before and after check-in and check-out times.

OCZC section 7-9-145.7 allows the applicant to utilize alternatives to the parking requirements. Parking for the proposed project is contained within the subterranean parking garage (pages 41 and 42 in the plans, Supporting Document 3) discusses the parking management plan. The applicant is proposing to use valet parking in conjunction with tandem parking. Staff has reviewed the proposed layout including modified ramp widths and valet plan, and determined that it is functional and will provide the required off-street parking. Condition of approval 15 has been added requiring all employees, and guests to park on-site. With the parking management plan and use of 24-hour valet, all of the proposed alternatives can be supported by staff.

Granting of the Conditional Use Permit for alternatives to the off-street parking regulations may be approved provided following findings can be made:

- (1) Applicable off-street parking requirements are excessive or inappropriate due to the nature of the specific use involved or because of special circumstances applicable to the property; and
- (2) The proposed off-street parking facilities comply with the intent of these regulations as specified by section 7-9-145.1.

Architectural Features Higher Than 35 Feet

The proposed project includes two architectural elements that exceed the 35 foot height limit, the elevator overrun and decorative “wave” structures. In accordance with OCZC Section 7-9-129.3(b) the proposed elevator overrun is permitted by right because it is less than eight (8) feet in height. The proposed “wave” structures are permissible in accordance with OCZC Section 7-9-129.3(a) which allows architectural features to

exceed the 35 foot height limit by less than ten feet.

Granting of the Conditional Use Permit for architectural features to exceed the height limit of the C-VC zoning district by less than ten (10) feet may be approved provided the following findings can be made:

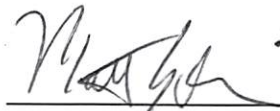
- 1) That the proposed conditional use is consistent with the General Plan.
- 2) That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures.
- 3) That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in this Code and required in order to integrate the use with existing and planned uses in the vicinity.

CONCLUSION:

Based on the above analysis, Staff determines that the required findings can be made and recommends that the Planning Commission adopt the draft resolution approving Coastal Development Permit CDP16-0014 and Conditional Use Permit CUP16-0005 allowing for the construction of a new 51-room hotel with subterranean parking.



Sean Nicholas
Senior Planner



Matt Schneider
Director of Community Development

ACTION DOCUMENT:

1. Draft Planning Commission Resolution 19-08-26-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. Project Plans

Action Document 1: Draft Planning Commission Resolution No. 19-08-26-XX

RESOLUTION NO. 19-08-26-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP16-0014 TO CONSTRUCT A NEW 51-ROOM HOTEL AND A LOT MERGER AND CONDITIONAL USE PERMIT CUP16-0005 FOR THE USE OF VALET AND TANDEM PARKING, REDUCED PARKING GARAGE RAMP WIDTHS, AND FOR ARCHITECTURAL FEATURES THAT ARE LESS THAN 10 FEET ABOVE THE DISTRICT BUILDING HEIGHT LIMIT AT 34482 GREEN LANTERN

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Global Resorts, Inc. (the "Owner"), owns the real property commonly referred to as 34482 Green Lantern (APNs: 672-234-07 & 672-234-08) (the "Property"); and

WHEREAS, the Owners authorized Yenny Ng, AIA (the "Applicant") and the Applicant caused to be filed a verified application for a Coastal Development Permit, to construct a new 51-room hotel and associated parking facilities, and lot merger, and a Conditional Use Permit for valet and tandem parking, reduced width parking garage ramps, and architectural features that are less than 10 feet above the district building height limit; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 26th day of August, 2019, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15332 (Class 32-In-fill Development Projects); and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP16-0014 and Conditional Use Permit CUP16-0005.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A) The above recitations are true and correct and are incorporated herein by this reference.

Findings:

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 2

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP16-0014, subject to conditions:
- 1) That the proposed development is in conformity with the certified Local Coastal Program (LCP) as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 California Code of Regulations/13096) **in that, the proposed project is designed in conformance with the requirements of the (C-VC) District of the DPSP/LCP and will implement requirements contained therein related to bluff top trail offer of dedication, visitor serving facilities, low cost overnight accommodations, and access to the amenities afforded by the site. Hotel use is identified as the primary use pursuant to the LCP.**
 - 2) That the proposed development is located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that the project site is located on a coastal bluff lot inland of the Dana Point Harbor. In addition, Harbor Drive and Cove Road, both public roads, are between the project site and the shoreline, thus it is not located between the nearest roadway and the sea or shoreline of any body of water. The proposed development requires and is conditioned to make an irrevocable offer to dedicate an easement for creation of and connection to the bluff-top trail in accordance with the DPSP/LCP. The applicant is proposing to develop said trail with visitor serving amenities such as, benches, lookout telescopes, and associated signage and access paths to the public amenity. Thus the project is consistent with public access and public recreation policies of Chapter Three of the Coastal Act.**
 - 3) That the proposed development conforms with Public Resources Code Section 21000 (the California Environmental Quality Act) **in that the requirements of the California Environmental Quality Act have been satisfied in that the project is Categorically Exempt pursuant to Section 15332 of the California Code of Regulations (Class 32-In-fill Development Projects). CEQA guidelines-Section 15332**

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 3

“In-fill Development Projects” provides that projects that are in-fill development projects on lots that are 5 acres or less, are surrounded by urban uses, are consistent with all applicable General Plan designations and policies and all Zoning designations and regulations, do not have a significant effects relating to Land Uses, Biological Resources, Traffic, Noise, Air Quality or Water Quality and can be adequately served by all required utilities and public resources are Categorical Exempt from the provisions of CEQA.

The proposed development occurs within City limits on a project site that is 17,737 square feet and is surrounded by existing restaurant, residential, and other commercially zoned properties. The project is consistent with all applicable General Plan designations and policies and all Dana Point Specific Plan and Orange County Zoning Code requirements. Specifically, the project supports Land Use Policy 5.5 which states that development should promote a mixture of land uses that may include visitor-serving commercial; Land Use Policy 5.10 which requires development uses to be scaled appropriately for the property as well as provide lower-cost accommodations; and Land Use Policy 5.27 states that development shall be sited in a manner not to impact any identified public views. The proposed project consists of a 51-bed hotel, subterranean garage, and ancillary hotel uses. There are no amenities, other than the public bluff top trail and associated improvements that will be accessible to the public. The proposed development is two-stories as viewed from the Street of the Green Lantern, and is at or below the maximum height limit and the project steps and moves with the topography of the coastal bluff to reduce the overall massing and scale of development. The proposed project has been designed to not impact any identified public views and provides 25% of the rooms for lower-cost overnight accommodations.

The project does not result in any impacts related to land use in that the project does not: a) divide an established community, b) conflict with an applicable land use plan, policy or regulation adopted for the purposes of avoiding or mitigating an environmental effect, and c) conflict with

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 4

any applicable habitat conservation plan or natural community conservation plan.

There will be no impacts to Biological Resources as the subject site was previously graded and does not contain natural vegetation. The proposed project site does not include any sensitive habitat area, nor will it impact the HDCP preserved open space areas.

A preliminary Water Quality Management Plan has been prepared for the project. Compliance with the pWQMP will ensure there are no impacts to water quality. A noise study prepared by Kimley Horn dated February 2019, analyzed the proposed project including the rooftop amenities, and found at the nearest sensitive receptor over 100 feet away (single family residence on Green Lantern) the noise level will be approximately 32 decibels, 23-18 decibels below the maximum of 55 dba and 50 dba depending on the time of day. Additionally, the proposed new uses will be required to comply with the City's Noise Ordinance, therefore, the project will not result in any significant or potentially significant Noise impacts.

A traffic memo was completed for the project by Kimley Horn and dated March 13, 2019. The study found that at morning peak time, the project will generate 25 trips, and during afternoon peak time, 32 trips will be generated. Since this study was completed, two rooms were removed from the project, which would further reduce peak trips. Due to the limited increase of daily trips at peak period, there is not traffic impact. Additionally, staff had Linscott, Law, and Greenspan (LLG), the City's third-party traffic consultant, reviewed the memo and agreed with its conclusions, and reaffirmed their cumulative traffic memo dated February 14, 2017, that with all of the potential development on Green Lantern taken in totality, there will be no cumulative traffic impact. Therefore, the proposed project will have no significant impacts related to traffic.

The project itself does not directly cause air quality impacts other than those associated with vehicle emissions related to traffic and any construction related impacts. The project shall meet all standard construction practices to reduce potential Air Quality Impacts.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 5

The site can be adequately served by all required utilities and public services, including emergency services, in that that the site is located on Green Lantern which has reliable access from Cove Road, Pacific Coast Highway, Santa Clara, and Blue Lantern, and all necessary public utilities are readily available and able to serve the site and necessary access to accommodate emergency vehicles has been incorporated into the site plan.

- 4) That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources in that the site is a coastal bluff lot, but has been sufficiently setback from the coastal resource, coastal bluff, to avoid impacts. The project is also sited below the bluff top trail avoiding potential impacts to public views. Lastly, no portion of the development is adjacent to the Headland Reserve areas, thus no potential impact to any environmentally sensitive habitat or scenic resources will occur.
- 5) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that the site has been fully analyzed and previously graded. Based on the geotechnical analysis for the project site, and the various foundational and shoring devices proposed, there will be no undue geologic or erosional forces. The project has been setback at least 25 feet from the coastal bluff edge, and the only improvements within 10 feet of the bluff edge is the required Coastal Bluff Trail and related passive improvements. The project will be reviewed by Orange County Fire Authority prior to permit issuance which will require all necessary fire hazards are addressed.
- 6) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that, the proposed project has been designed to avoid potential impacts to public views, and the architect has emulated the movement of the coastal bluff edge to provide depth and character the architecture.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 6

- 7) That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that, the subject project has been reviewed by the Planning Division, Building/Safety Division, and Public Works & Engineering Department, and conforms with the applicable policies and requirements of the DPSP/LCP and the auxiliary Orange County Zoning Code (OCZC), does not require any variances, and provides a hotel/lodging use consistent with the primary visitor serving uses identified by the Tourist Recreational/Commercial land use category, and as a principal permitted use in the C-VC District.**
- C) Based on the evidence presented at the public hearing, the City Council adopts the following findings and approves Conditional Use Permit CUP16-0005 to allow alternatives to off-street parking regulations and architectural features to exceed the district building height limit, subject to conditions:
 - 1) Applicable off-street parking requirements are excessive or inappropriate due to the nature of the specific use involved or because of special circumstances applicable to the property, **in that the project site is both a coastal bluff and corner lot which constrains the ability to provide and access adequate surface parking facilities. The proposed subterranean garage with 24 hour professional valet service in conjunction with tandem parking and modified parking ramps will provide an efficient and functional parking facility that exceeds the projects minimum off street parking requirements.**
 - 2) The proposed off-street parking facilities comply with the intent of these regulations as specified by section 7-9-145.1, **in that nine additional parking spaces above the required parking is provided on-site. The professional valet team in conjunction with the use of tandem parking will ensure that the parking facilities are efficiently used. A condition of approval has been added to ensure staff parks on-site for free and all guests arriving by private vehicle also parks on-site. The reduced width of the ramps will maximize the use of areas for parking spaces on-site.**
 - 3) That the proposed conditional use is consistent with the

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 7

General Plan, in that the architectural features above the 35 foot height limit add to the overall architecture and ties into the entry element. The rooftop “wave” features are mostly visually transparent, and will not impact views from the public trail. The utilization of the subterranean parking garage with a valet parking system with tandem parking and reduced ramp width will allow for maximizing parking on-site.

- 4) That the nature, condition, and development of adjacent uses, buildings, and structures have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures, **in that the architectural features will not be impactful to adjacent uses, and the features will not impact public views from the public trail. The use of on-site valet, tandem parking, and reduced ramp width will allow for maximizing parking on-site. A condition of approval has been added to ensure staff parks on-site for free, and ensures guest arriving by personal vehicle are parked on-site to not impact adjacent uses.**
- 5) That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in this Code and required by the in order to integrate the use with existing and planned uses in the vicinity, **in that the proposed project, including requested parking alternatives and architectural features, will ensure that the project is consistent with all DPSP and OCZC requirements.**

Conditions:

A. General:

1. Approval of this application is to allow construction of a new 51-room hotel and associated parking facilities, and lot merger, with requests for valet and tandem parking, reduced width for parking garage ramps, and for architectural features that are less than 10 feet above the district building height limit at 34482 Green Lantern. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, the Dana

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 8

Point Specific Plan (DPSP)/Local Coastal Program (LCP) and Orange County Zoning Code.

2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved and such work is not commenced within such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable, grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions and in accordance with the appropriate sections of the Orange County Zoning Code and the Dana Point Subdivision Code.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, the Director may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect,

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 9

defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees, paying any outstanding balance on the development deposit account, and along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The project shall comply with all General Provisions of the DPSP/LCP.
9. Hours for the roof top bar facility shall be limited to 12:00 p.m. to 10:00 p.m. seven days a week. The roof top bar/restaurant facility shall be limited to hotel guests only.
10. Hours for the roof top pool shall be limited to 8:00 a.m. to 9:00 p.m. seven days a week. The roof top pool shall be limited to hotel guests only.
11. All deliveries shall be received on-site in the identified delivery area. Delivery hours are limited to between 8:00 a.m. through 10:00 p.m. There shall be no deliveries for an hour before and after check-in and check-out times.
12. If necessary, the applicant or their designee may be required to reduce glare of the windows facing towards the Harbor.
13. The Director of Community Development, or their designee, shall review and approve all paint colors, architectural details, finishes, and

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 10

all other architectural elements either at the building plan check phase, or in the field prior to installation, to ensure consistency with the approved concepts and design.

14. Subject to the approval of the Director of Community Development, or their designee, for the 25% of rooms to be made available for low cost overnight accommodations the applicant shall prepare an analysis based on the California Coastal Commission recommendations of October 26, 2016 public workshop staff report, or updated process as applicable, to determine the lower-cost overnight accommodation rate for each applicable room. Subsequent to Certificate of Occupancy and subject to the approval of the Director of Community Development, or their designee, the hotel operator or property owner shall update the lower-cost overnight accommodation rate per applicable room per night, consistent with the most updated California Coastal Commission method of determining lower-cost overnight accommodation rate, every three (3) years to ensure compliance with this approval.
15. All hotel employees shall park on-site through the use of the valet staff at no charge. All guests arriving by private vehicle shall park on-site through the use of the valet staff.
16. The parking management and valet plan specified in the approved Planning Commission plans shall be implement fully at certificate of occupancy. The applicant shall also, at minimum, incorporate a traffic light system associated with the parking garage ramps, walkie talkies, and an automatic gate or arm at the entrance into the subterranean parking garage to ensure the public cannot access the parking area.
17. No outdoor storage is allowed on-site. Any accessory storage shed, canopy or any other proposed structure must be reviewed and approved by the Community Development Department and in accordance with the provisions of the adopted Local Coastal Program.
18. Applicant shall obtain written approval for any work that might occur on adjoining property, if applicable.
19. Trees planned as part of this Project shall not impact any public views.
20. The applicant shall submit for review and approval a separate landscape plan prior to issuance of building permits.
21. No signs are approved for this project. A separate Master Sign

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 11

- Program shall be approved prior to approval and installation of any permanent signs on-site.
22. Necessary coastal access signs for the proposed coastal bluff trail shall be incorporated into the Master Sign Program that will be submitted for the project.
 23. The applicant shall be responsible for coordination with SDG&E, AT&T California and Cox Communication Services for the provision of electric, telephone and cable television services. All utility services shall be shown on the construction plans. All utility work in the right of way will require separate permits from the Public Works Department.
 24. The use of the public right of way for construction purposes shall not be allowed, except as permitted by the Director of Public Works/City Engineer. An encroachment permit is required for all use of the public right-of-way.
 25. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion control measures. The applicant shall maintain the erosion control devices until the final approval and sign off of all permits.
 26. The applicant shall use all acceptable means and methods necessary to prevent dust and off-site siltation impacting the neighboring businesses and residents.
 27. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
 28. During the construction phase, all construction materials, waste, grading or demolition debris, and stockpiles of soil, aggregates, soil amendments, etc. shall be properly covered, stored, managed, secured and disposed to prevent transport into the streets, gutters, storm drains, creeks and/or coastal waters by wind, rain, tracking, tidal erosion or dispersion.
 29. Survey staking shall be placed along the approved Bluff Edge for construction purposes prior to all work, including demolition.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 12

30. The Director of Public Works/City Engineer, in his sole authority, reserves the right to add additional Conditions of Approval to address on-site or off-site improvements or issues as needed prior to any permit issuance, or during the progress of any permitted work.
31. Any City owned street or property damaged by the applicant's work shall be repaired per City Standards and as directed by the Director of Public Works/City Engineer.
32. The project shall provide all necessary pedestrian protection along the project perimeter, including Green Lantern and Cove Road, for the duration of the project. The pedestrian protection shall be in compliance with the current Building Code requirements, as well as all applicable Traffic Safety guidelines, including, but not limited to, the Work Area Traffic Control Handout.
33. Any improvements or construction activities that impact the public right of way, (including shoring tie-backs, construction staging, traffic detours, etc.) shall require separate approval from the City Engineer and may require separate agreements with the City of Dana Point and the developer.
34. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
35. Any new structure foundations or improvements requiring a building permit within the bluff edge setback shall be reviewed per the Dana Point Specific Plan. Upon review, proposed foundations or improvements may not be allowed within the bluff edge setback.
36. All plans submitted shall reflect the determined Bluff Edge and all associated setbacks, as shown on the approved entitlement geotechnical reports and addenda, prepared by LGC Geotechnical, Inc., dated February 1, 2016, July 29, 2016, and August 16, 2017.
37. Wayfinding Signage determined necessary adjacent to the planned Hotel shall be designed and installed by the applicant, subject to review and approval by the Community Development Director and the Director of Public Works/City Engineer.
38. The preliminary haul route for all construction activities shall be the Beach Cities exit from Interstate 5, north on Pacific Coast Highway, left turn at Blue Lantern, Right turn at Santa Clara, left turn at Green

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 13

- Lantern to the project site, or other designated route as approved by the Director of Public Works/City Engineer. No construction vehicles shall use Scenic Drive or Cove Road. Construction vehicles not following the approved haul route are subject to administrative citation.
39. The Building Official shall consult the Director of Public Works/City Engineer for any variation from the work hours as described in the noise ordinance of the Dana Point Municipal Code. Any requested exception to the work hours shall be made in writing and approved by the Director of Community Development and Director of Public Works/City Engineer in advance.
 40. Temporary six (6) foot or higher screen fencing with green/black screening shall be provided around work areas for each construction phase, unless otherwise approved by the City Engineer.
 41. Prior to the issuance of any permits the applicant shall submit construction staging and phasing plan from the rough grading phase until full build out of the for review and approval by the Community Development and Public Works & Engineering Service Directors, prior to issuance of any permits. It shall also include (at minimum) all stockpile locations, entrances, erosion and sediment controls as well as construction staging areas. The staging plan shall take into account all noise regulations and the separation of construction activities to neighboring businesses and residences. Any revisions to the timeline or staging areas shall be reviewed and approved by the City prior to implementation.
 42. Construction Hours. Prior to issuance of any clearing and grubbing or grading permits, the project Applicant shall provide proof to the City of Dana Point's (City) Director of Public Works, City Engineer, or designee, that the final construction plans require that the project construction contractor limit construction activities to the hours between 7:00 a.m. and 5:00 p.m. on weekdays, although the City may further restrict said hours based on the planned work. No construction activities shall occur on Saturdays, Sundays, or City holidays.
 43. The City may further restrict construction hours. The construction site shall be posted with signage indicating the site's construction hours.
 44. Construction Hauling. Prior to issuance of any demolition, grading, or other construction permits, the project Applicant shall provide the City's Director of Public Works/City Engineer, plans stating: The project construction contractor shall take all measures required,

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 14

including, but not limited to, use of a construction street sweeper to ensure that all haul routes are clean and free of debris at all times. In the event that hauling operations cause damage to existing pavement, streets, curbs, or gutters, the Applicant shall be responsible for the repairs and shall complete such repairs to the satisfaction of the City Engineer within 7 days of the damages.

45. The applicant shall obtain all applicable permits for the proposed improvements, including any that may be required from outside agencies.
46. All new sewer house connections and facilities, water mains, services, meters, backflow devices, laterals, fire hydrants, and appurtenances shall be designed and installed in accordance with SCWD Standard Specifications. Please see SCWD's Website at: <http://SCWD.org>. (SCWD)
47. Backflow prevention assemblies shall be installed on all water services. The assemblies must be installed aboveground on private property. Said assemblies shall belong to the property owner, who shall be responsible for all annual testing, ongoing maintenance and repairs. (SCWD)
48. The construction manager shall ensure all construction equipment is muffled and maintained in good working order to reduce the equipment-related noise generation.
49. All construction and drilling equipment shall use available noise suppression devices and properly maintained mufflers. All internal combustion engines used in the project area shall be equipped with the type of muffler recommended by the vehicle manufacturer. In addition, all equipment shall be maintained in good mechanical condition so as to minimize noise created by faulty or poorly maintained engine, drive-train and other components.
50. A separate site wall plan shall be required for all site walls and pilasters which shall include a site plan, and shall identify the finish materials and colors of all proposed walls. Final review of the finish materials and colors shall be reviewed and approved by the Director of Community Development.
51. Separate review, approval, and permits are required for:
 - Separate Structures
 - Retaining Walls

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 15

- Fire Sprinklers
- Demolition of Structures
- Site walls over 3'
- Swimming Pool/Spa
- Signs

B. Prior to issuance of any grading permit the applicant shall meet the following conditions:

52. The applicant shall prepare and process a Lot Line Adjustment to merge all historical tract lots into one parcel. The applicant shall submit a Lot Line Adjustment package, in compliance with City standards, for review and approval by the Director of Public Works/City Engineer. Upon City and County review and approval, the Lot Line Adjustment will be recorded with the County Recorder.
53. A lateral access easement shall be irrevocably offered for dedication to ensure implementation of the bluff top trail system shown in the Dana Point Specific Plan/Local Coastal Program. Said easement shall be ten (10) feet wide and setback a sufficient distance from the bluff edge to assure safety from the threat of erosion for 50 years. Said dedication shall be in the form of a recorded, irrevocable offer to dedicate until the City acquires the same rights from continuous bluff top property owners. This offer to dedicate shall be valid for 21 years or until the City accepts the easement, or until an amendment of the Local Coastal Program deleting the requirement of dedication of a lateral access easement for trail purposes, whichever occurs first. The irrevocable offer to dedicate shall be in the standard City format or, if prepared by the property owner(s), submitted for review and approval by the Director of Community Development and the City Attorney prior to being executed and ultimately recorded.
54. The applicant shall execute the City's standard deed restriction or, if prepared by the owner(s), shall be submitted for review and approval by the City Attorney. The deed restriction shall provide that; (1) the applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards; (2) the owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such hazards; and (3) the owner(s) assume all liability for damages incurred as a result of any required off-site grading. The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 16

55. The applicant shall prepare all needed reports and implement all required actions to meet current water quality regulations including, but not limited to, a Final Water Quality Management Plan, a Storm Water Pollution Prevention Plan, and all other required reports/actions.
56. The Final Water Quality Management Plan (WQMP) must be prepared in accordance with and using the Model WQMP and Technical Guidance Document (TGD) dated September 28, 2017, or any subsequent iteration thereof, including the final design worksheets and BMP details. The Final WQMP must be prepared on the templates provided on the City's website here: www.danapoint.org/wqrequirements.
57. The structural BMPs proposed in the WQMP shall be capable of managing the Design Capture Volume (DCV), as required per San Diego Regional Water Quality Control Board Order R9-2013-0001, as amended by R9-2015-0001 & R9-2015-0100. Final design of BMPs shall be in accordance with the Model WQMP & Technical Guidance Document (TGD) for South Orange County, dated September 2017, or any subsequent iteration thereof in response to adoption of Order R9-2013-0001, as amended by R9-2015-0001 & R9-2015-0100.
58. The applicant shall provide and install a full-capture trash BMP, as defined per San Diego Regional Water Quality Control Board Order R9-2017-007, as technically feasible, or provide for an equivalent measure, as approved per City Water Quality Engineer, at any downstream inlet that may receive drainage from site.
59. The preliminary location of grease interceptor shall be reviewed and revised as needed during construction stages of permitting.
60. The applicant shall submit grading plans (for any and all phases), in compliance with City standards, for review and approval by the Director of Public Works/City Engineer. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code, City of Dana Point Grading Manual, and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements. A statement shall be provided on the grading plans that on-site inspection shall be provided to allow the Engineer of Record to certify all work completed.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 17

61. The applicant shall submit a plan for managing construction parking for the duration of the construction activity. The parking management plan shall outline the parking needs for construction activities and limit the impact of construction employee parking and construction equipment parking on surrounding businesses and residents. The plan shall clearly state that no construction parking is allowed along Santa Clara Ave, east of Blue Lantern at the emergency access gateway.
62. The applicant shall coordinate all traffic, site ingress and egress and construction parking along Santa Clara, the Street of the Green Lantern, and Scenic Drive with the City of Dana. The coordination shall address and minimize any potential impacts to neighboring residents, businesses, and surrounding streets.
63. The applicant shall apply to the Building Department for all temporary shoring and/or retaining wall permits required for the site. The applications shall also be reviewed and approved by the Director of Public Works/City Engineer.
64. A separate surety to guarantee the completion of the project shoring, protection of existing improvements, protection of the Green Lantern retaining wall, and protection of neighboring property and neighboring improvements, up to 100% of the cost shall be posted to the satisfaction of the Director of Public Works/City Engineer and the City Attorney. The surety shall be returned upon completion and City approval of the permanent structural support system.
65. Surety to guarantee the completion of the project grading and drainage improvements, including erosion control and WQMP elements, up to 100% of the approved Engineer's cost estimate shall be posted to the satisfaction of the Director of Public Works/City Engineer and the City Attorney.
66. The applicant shall submit a geotechnical report in accordance with City standards. The applicant shall prepare a detailed geotechnical report for review and approval by the Director of Public Works/City Engineer. A statement shall also be provided in the geotechnical report that on-site inspection shall be provided to allow the Geotechnical Engineer of Record to certify all work completed.
67. Prior to grading permit issuance, provide geotechnical recommendations for constructing the retaining walls and/or provide the layback requirements if deemed feasible by the Geotechnical Engineer.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 18

68. The applicant's general contractor and design professionals shall prepare and submit a monitoring program for the bluff edge and existing slope stabilization structure. The monitoring program shall be reviewed and approved by the Director of Public Works/City Engineer.
69. The project geotechnical report must address water quality volume infiltration feasibility specifically to support final WQMP determination.
70. Grading permit, temporary and permanent shoring permits (as necessary), retaining wall permits, and any necessary Building permits for structural components of the grading shall be obtained concurrently.
71. The grading plans, or a separate improvement plan and permit shall depict the size and location of existing and proposed gas, sewer and water and electrical conduit from the point of connection in the Public Right-of-Way to the building. Location of all meters and backflow devices shall be shown.
72. The applicant shall submit a separate Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works/City Engineer and Director of Community Development Director. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code, the City of Dana Point Grading Manual, the City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan, note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. Landscaping and the corresponding Landscape Documentation Package shall comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code and the associated Submittal Requirements and Guidelines referenced therein. Any structural elements included as part of the landscaping plan shall also include appropriate structural plans and calculations prepared by the appropriate State licensed professional and be reviewed concurrently by the Building Department.

The Landscape Plan shall specify screening and/or decorative finishes for all above grade walls, utilities and other structures to the satisfaction

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 19

of the Director of Public Works/City Engineer and the Community Development Director.

All landscaping (including planting, irrigation, decorative features, etc.) within the City right-of-way surrounding the development shall also be a part of the landscape plan and shall be maintained by the applicant.

73. The submitted Landscape plan shall illustrate and identify the bluff edge setback area and be in accordance with the approved grading plan and the Dana Point Specific Plan. Irrigation within the bluff edge setback shall be prohibited.
74. The applicant shall propose improvements along Cove Road to improve pedestrian activity in accordance with City of Dana Point and County of Orange standards and recommendations. All final approval and permits shall be applied and issued by the County of Orange.
75. The applicant shall obtain coverage under the state NPDES General Permit for Constriction Activities. The project applicant shall apply for coverage under the electronic system. Permit Registration Documents must be electronically filed for all new projects using the Stormwater Multiple Applications and Reporting Tracking System (SMARTS) and must include: Notice of Intent, Risk Assessment, Site Map, and Stormwater Pollution Prevention Plan (SWPPP).
76. The Director of Public Works/City Engineer reserves the right to approve and issue a phased grading permit, partial grading permit or rough grading permit in accordance with the above Conditions of Approval.
77. Applicant shall prepare a Fire Master Plan (service code PR145) (Plan) and submit said Plan to the Orange County Fire Authority (OCFA) and the Director of Public Works/City Engineer for review and approval. Hydrant locations shall be designated as part of the Plan.
78. The improvement plan shall include a final utility plan as approved by South Coast Water District, San Diego Gas and Electric, and all other utilities identifying all improvements, including off-site improvements, required to provide adequate services to the proposed development, for each phase.

C. Prior to Building Plan Check Submittal:

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 20

79. The cover sheet of the building construction documents shall contain the City's conditions of approval and it shall be attached to each set of plans submitted for City approval or shall be printed on the title sheet verbatim.
80. Plans shall comply with the 2016 editions of the codes with the local amendments, or updated requirements if construction documents are submitted after January 1, 2020.
81. Building plan check submittal shall include the following construction documents:
- Building Plans (4 sets)
 - Plans shall comply with the 2016 editions of the codes with the local amendments, or updated requirements if construction documents are submitted after January 1, 2020.
 - Energy calculations (2 sets)
 - Acoustical Report (2 sets)
 - Structural Calculations (2 sets)
 - Soils/geology report (3 sets)
 - CASp Report (incorporated into the plans)
 - Fire/Life/Safety Code Analysis Report (exiting, occupancy separation, fire-rating, etc.).
- All documents prepared by a professional shall be wet-stamped and signed.
82. Orange County Health Department and Orange County Fire Authority review is required. Submit plans directly to them for their review and approval.
83. Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
84. Exiting Plan & Analysis: Plans should include an occupant load analysis on the plans and provide an "Exit Plan" to show a clear and dimensioned Means of Egress system that provides a continuous, unobstructed exit from any occupied point in the building to a public way.
85. Fire-rated Construction: Plans should clearly identify the locations of the Fire Areas, Fire Walls, Fire Barriers, Fire Partitions, and all Occupancy separations. Provide complete legends and details on

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 21

the plans.

86. Third party inspection by an independent certified deputy inspector for fire-stopping, fire-resistant penetrations and joints are required. (CBC Sections 1704, 1705, 1705.16)
87. Plans should clearly show compliance with CBC Chapters 11B Accessibility to Public Buildings, Public Accommodations, Commercial Buildings and Public Housing. A Certified Access Specialist (CASP) report is required and shall be incorporated onto the plans.
88. Please provide analysis & a summary matrix of the accessible and/or adaptable units on the Title Sheet.
89. Transient Lodging: Plans should clearly show compliance with CBC Chapter 11B (Accessibility to Public Buildings, Public Accommodations, Commercial Buildings and Public Housing). A Certified Access Specialist (CASP) report is required and shall be incorporated onto the plans.
90. Hotels, motels, inns, and similar transient lodging facilities shall provide guest rooms in accordance with CBC Sections 11B-224.1 through 11B-224.6. Please provide analysis & a summary matrix of the guest rooms with mobility and guest rooms with communication features on the Title Sheet.
91. Valet Parking (CBC 11B-209.4): Parking facilities that provide valet parking services shall provide at least one passenger loading zone complying with CBC Section 11B-503. The parking requirements of Section 11B-208.1 apply to facilities with valet parking.
92. Swimming pools, spas, and deck areas shall be fully accessible per CBC Section 11B-242.
93. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
94. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, F'c of 4500 psi.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 22

95. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
96. In Group R occupancies (2 units or more) wall and floor-ceiling assemblies separating dwelling units or guest rooms from each other and from public space such as interior corridors and service areas shall provide airborne sound insulation for walls, and both airborne and impact sound insulation for floor-ceiling assemblies.
97. Provide construction details for penetrations or openings in construction assemblies for piping, electrical devices, recessed cabinets, bathtubs, soffits, or heating, ventilating or exhaust ducts to be sealed, lined, insulated or otherwise treated to maintain the required smoke, fire and sound/noise ratings.
98. Provide blow-up details of all fire-rated construction and sound & noise (acoustical) attenuation assemblies. Call out all construction, finish materials and their approval numbers from approved testing agencies.

D. Prior to issuance of a building permit or release on certain related inspections, the applicant shall meet the following conditions:

99. The Lot Line Adjustment shall be approved by the City of Dana Point and recorded with the County of Orange. The applicant's Title Company shall process the recorded Lot Line Adjustment accordingly.
100. The applicant may submit an improvement plan, in compliance with City standards, for review and approval by the Director of Public Works/City Engineer. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
101. The right of way improvements along Green Lantern shall be in compliance with the City's standards and the City generated Green Lantern Master Plan documents.
102. The applicant shall provide design documents for all traffic control for the construction of all proposed street improvements, unless otherwise approved by the Director of Public Works/City Engineer. The traffic

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 23

control plans, if required, shall be prepared by a licensed California Traffic Engineer and submitted for review and approval by the Director of Public Works/City Engineer. The applicant is encouraged to use Standard Traffic Control Plan documents for situations for efficiency.

103. The applicant shall relocate all impacted public and private utilities to allow for the construction of the proposed improvements along Street of the Green Lantern. Further, the applicant shall provide easements if needed on the applicant's property to allow for the necessary relocations.
104. The applicant shall construct all public sidewalks at a minimum width dimension of 8 feet on the Street of the Green Lantern and all associated accessibility improvements for pedestrian circulation, unless otherwise approved by the Director of Public Works/City Engineer.
105. All landscaping (including planting, irrigation, decorative features, etc.) within the City right of way surrounding the development shall be a part of the landscape plan and shall be maintained by the applicant.
106. The applicant shall provide a permit from South Coast Water District for water and sewer services, and construct all necessary public and private infrastructure improvements to support said services.
107. The applicant shall prepare plans and apply for a Building Permit in accordance with the latest submittal requirements.
108. The applicant shall obtain a grading permit and complete rough grading (establishment of pad grades) in accordance with the approved grading plans and reports. Certifications from the design professionals per City standards and Conditions of Approval shall be submitted for review and approval for completed grading.
109. The applicant shall obtain all permits and construct all temporary and permanent shoring, retaining wall permits, and any necessary permitted structural components of the grading. All permitted structural components and construction activities shall be completed and certified in accordance with the approved and reports.
110. The parking structure circulation and maneuvering (including turning and final ramp design) shall be reviewed and approved by the City Engineer and Traffic Engineer for functional use and in accordance

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 24

with the Dana Point Specific plan and County of Orange code sections.

111. The review and approval of the loading zones, parking structure, and parking stalls shall be in accordance with the Dana Point Specific plan and County of Orange code sections.
112. The applicant shall obtain a street improvement permit for completion all required street improvements in accordance with the approved grading plans and reports.
113. Prior to any foundation work, the applicant shall submit a rough grade certification for review and approval by the Director of Public Works/City Engineer by separate submittal. The rough grade certification by the civil engineer (City's standard Civil Engineer's Certification Template for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the Director of Public Works/City Engineer and the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
114. Prior to any foundation work, an as graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all observations of construction activities from a geotechnical standpoint. The reported observations include drilling depths, tie-back lengths, shoring activities, backfill, all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
115. Prior to any foundation work, the applicant shall submit a rough grade certification from the geotechnical professional for review and

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 25

approval by the Director of Public Works/City Engineer by separate submittal. The rough grade certification by the geotechnical professional (City's standard Geotechnical Engineer's Certification Template for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plans and report.

116. Prior to any foundation work, the applicant shall submit a separate certification for all shoring construction and activities, as needed, from the geotechnical professional for review and approval by the Director of Public Works/City Engineer by separate submittal. The rough grade certification by the geotechnical professional (City's standard Geotechnical Engineer's Certification Template for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plans and report.
117. The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review and approval:
 - architectural (service codes PR200-PR285)
 - hazardous materials compliance and chemical classification (service codes PR315-PR328) (pool chemicals)
 - hazardous equipment, processes, or operations (service codes PR345-PR360)
 - underground piping for private hydrants and fire sprinkler systems (service code PR470-PR475)
 - fire sprinkler system (service codes PR400-PR465)
118. The applicant or responsible party shall submit the plan(s) listed below to the Orange County Fire Authority for review *prior to concealing interior construction*:
 - sprinkler monitoring system (service code PR500)
 - fire alarm system (service code PR500-PR520)
 - hood and duct extinguishing system (service code PR335)
119. Approvals are required from:
 - Planning Department
 - Public Works
 - Obtain Orange County Fire Authority Approval
 - Obtain Health Department approval
 - Obtain "Will Serve" letter from Water District. This letter needs to specify any requirements for grease trap(s) or interceptor(s).

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 26

- Provide an SDG&E service work order for proposed service location.
 - Cal/OSHA (for chair lifts & elevators)
120. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
121. Verification of all conditions of approval is required by all City Departments.
- E. Prior to the issuance of a certificate of use and occupancy or during operation of the project the applicant shall meet the following:**
122. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP16-0014. Each subsequent floor of the structure shall also certify that floor heights are consistent with the vertical elevation data for each floor on the approved grading and construction plans. The City's standard "Setback & Grade Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
123. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structures and any encroachments above the height limit are in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP16-0014. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
124. An Exterior Lighting Plan for the proposed project shall be submitted to the Director of Community Development for review and approval. The lighting plan shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The Lighting Plan shall include a photometric study that demonstrates that all exterior lighting has been designed and located so that all direct rays are confined to the property. All lighting shall be designed to accommodate the possibility of any required adjustments to the

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 27

lighting to mitigate unforeseen impacts to properties and public rights-of-ways surrounding the subject property.

125. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall certify that all plant and irrigation materials have been installed in accordance with the specifications of the final plan and shall submit said certification in writing to the Director of Community Development. The Community Development Department shall inspect the site to ensure that the landscaping has been installed in accordance with the approved plans.
126. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
127. A written approval by the Geotechnical Engineer of Record (City's standard Geotechnical Engineer's Certification Template for Final Grading) approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
128. The final condition of the bluff edge setback shall be in accordance with Dana Point Specific Plan, with any new foundations or improvements requiring a building permit within the bluff edge setback reviewed and approved prior to construction.
129. A written approval by the Civil Engineer of Record (City's standard Civil Engineer's Certification Template for Final Grading) approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.
130. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions, the approved improvement plans, and in compliance with all other requirements to the satisfaction of the Director of Public Works/City Engineer.
131. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
132. The applicant shall obtain all utility agencies' final approval of the project improvement plans.
133. A written certification per City standards and approval by the Civil

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 28

Engineer approving any street improvements as being substantially in conformance with the approved street improvement plans including all improvements thereon may be required.

134. Any and all outstanding fees associated with any part of the entire project shall be paid.
135. The applicant shall submit a final certification for all improvements associated with water quality and the project WQMP for review and approval by the Director of Public Works/City Engineer by separate submittal. The final improvement certification by the civil engineer (City's standard Civil Engineer's Certification Template for Final Grading) shall approve the improvements as being substantially completed in conformance with the approved WQMP.
136. A separately-bound, stand-alone, user-friendly WQMP Operation & Maintenance Document, including a detailed site plan, as constructed, as-builts, detailed maintenance instructions, etc. shall be submitted for approval prior to issuance of Closing of Grading Permit/Certificate of Occupancy. An O&M Plan Template is available at www.danapoint.org/wqrequirements to ensure that you include all applicable information.
137. A deed restriction must be placed on the property obligating the property owner to operate and maintain the BMPs and the WQMP and O&M Plan into perpetuity. The document must be executed and recorded with the County Assessor's Office prior to issuance of Certificate of Occupancy. Note the deed restriction will include the complete O&M Plan as Exhibit "B" and therefore the grading plans revisions will be required prior to recordation of the document.
138. The applicant shall demonstrate that all structural best management practices (BMPs) described in the Project's WQMP have been constructed and installed in conformance with approved plans and specifications via the City's WQMP Construction Certification letter template.
139. The applicant shall demonstrate that contracts or qualified personnel to implement all non-structural BMPs described in the Project WQMP Operations and Maintenance Manual are in place.
140. The applicant shall provide a distribution list for the approved Project WQMP and Operations and Maintenance Manual.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 29

141. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan.
142. All permanent BMP's shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
143. Any ground mounted utility and mechanical equipment shall be screened and sound buffered to the satisfaction of the Director of Community Development and the Director of Public Works & Engineering.
144. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through this discretionary action, and compliance with any outstanding project conditions of approval.

RESOLUTION NO. 19-08-26-XX
CDP16-0014/CUP16-0005
PAGE 30

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 26th day of August, 2019, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Roy Dohner, Chairman
Planning Commission

ATTEST:

Matt Schneider, Director
Community Development Department

Supporting Document 2: Vicinity Map



Project: Coastal Development Permit CDP16-0014/Conditional Use Permit CUP16-0005

Applicant: Yenny Ng, YNG Architects

Location: 34482 Green Lantern

Supporting Document 3: Project Plans

ATTACHMENT



Global Resorts, Inc.

LANTERN POINT HOTEL DANA POINT CALIFORNIA



01... CONTEXT	ELEVATIONS ...37
02... SITE CONTEXT / VICINITY MAP	NORTH & EAST ...38
03... HISTORY & ACTIVITY	SOUTH & WEST ...39
04... DESIGN NARRATIVE	BUILDING ENVELOP STUDY ...40
04... PLACE & PARTI DIAGRAM ANALYSIS	PARKING STUDY ...41-42
05... DESIGN CONCEPT	PUBLIC TRAIL STUDY ...43
A GREEN ROOF GARDEN - NATIVE PLANT SPECIES & OUTDOOR LIVING	TRAIL IMAGES (BEFORE & AFTER)...44-45
06... SUSTAINABILTY	TRAIL IMAGES ...46
07... VISUALIZATION	TRAIL ALONG BLUFF ...47
08-12... RENDERINGS	INSPIRATION - CASE STUDIES & DETAILS ...48
13... PLANS	BUILDING FORM
14... ZONING	SUN SHADING ...48
15... EXPLODED ISOMETRIC STUDY	MATERIALS
16-22... LEVEL O - 4A, ROOF PLAN	GREEN IDEAS ...49
23-27... LANDSCAPE PLANS	OWNER'S BIO ...50-51
28-32... CIVIL PLANS	COMPANY BIO ...52-54
33... SECTIONS	
34... LONGITUDINAL AND CROSS SECTIONS	
35-36... ENLARGED SECTION STUDY	



AERIAL PERSPECTIVE



CONTEXT - 34482 GREEN LANTERN, DANA POINT, CA 92629



Global Resorts, Inc.

LANTERN POINT HOTEL - CONTEXT



VIEW FROM TRAIL



VICINITY MAP



BIRD'S EYE VIEW



Global Resorts, Inc.





Lantern Point: The Dana Point Story

The streets of Dana Point have been named after the various colors of lanterns that were once used to distinguish traders during the California Hide Trade that connected people from various nations to exchange goods for hides.

At Lantern Point, located in the wonderful coastal city of Dana Point overlooking the Dana Point Harbor and the Pacific Ocean, we want to welcome you to join travelers from various nations to feel the comfort of home as well as the excitement of exploration, experiencing all that Dana Point has to offer.

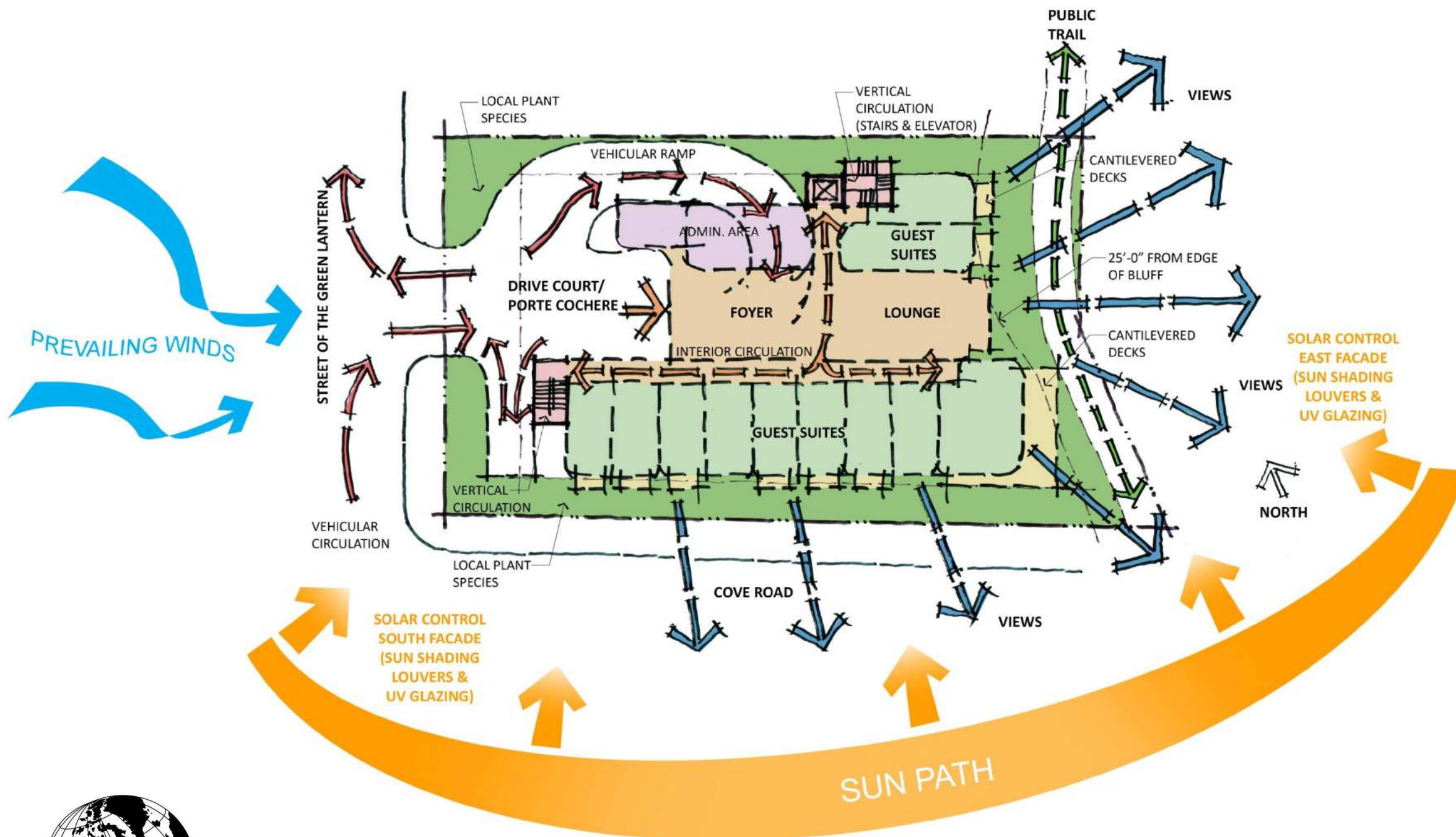
The city was named after Richard Henry Dana, Jr., who described the area as "the only romantic spot on the coast". We invite you to this romantic spot on the coast to a level of service, connection, and experience like no other.



Global Resorts, Inc.

LANTERN POINT HOTEL – HISTORY & ACTIVITY





DESIGN CONCEPT

-Vision -

With a site that sits at the edge of rugged, weather worn bluffs and with magnificent views of the Pacific Ocean and the Dana Point Harbor, the design vision was to provide a building that not only takes full advantage of the views but, at the same time, blends in with the ruggedness of the bluffs and its flora.



Global Resorts, Inc.

LANTERN POINT HOTEL – PLACE & PARTI DIAGRAM ANALYSIS



VISION

DESIGN CONCEPT

-Strength & Solidity -

A Contemporary Architectural Style was envisaged utilizing strong solid forms clad in stone to project a sense of strength and solidity, anchoring the building to the edge of the bluff. The choice of stone responds to and blends in with the existing natural materials of the site.

-Undulating Sails & Transparency -

This solidity of the anchoring forms is contrasted with the transparency of glazing, offering unimpeded vistas. Cantilevered balconies clad with glass, metal sun shading louvers and undulating curvilinear roofs evocative of sails billowing in the wind, provide a contrasting delicateness to the solidity of the anchoring stone forms.

-A Living Garden -

The beauty of the natural flora covering the bluffs is continued onto the roofs of the building, providing a Living Garden where the daily activities of the hotel can carry on. One can enjoy the morning breakfast while lounging on sofas in front of fire pits surrounded by a Living Garden of local flora and taking in the magnificent views from this roof garden.



SOLIDITY



TRANSPARENCY



LIVING GARDEN



Global Resorts, Inc.

LANTERN POINT HOTEL – DESIGN CONCEPT



OUTDOOR LIVING



Landscape Design

The landscape design at both ground level and roof deck is envisioned to integrate seamlessly with the architecture- using plant materials and finishes which are a continuation of the site and complement those used on the building. A Green Roof is planned for approximately 40% of the roof. Native and drought tolerant plants are selected to create a plant palette which will complement the existing plants at the adjoining Harbor Point Park & surrounding natural areas.



GREEN ROOF GARDEN

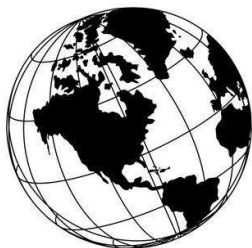
NATIVE PLANT SPECIES

SUSTAINABILITY





VISUALIZATION



Global Resorts, Inc.

LANTERN POINT HOTEL





SOUTH EAST VIEW



Global Resorts, Inc.

LANTERN POINT HOTEL – VISUALIZATION





NORTH EAST VIEW



Global Resorts, Inc.

LANTERN POINT HOTEL – VISUALIZATION





EAST VIEW FROM ROOF DECK



LANTERN POINT HOTEL – VISUALIZATION





POOL DECK BIRDS EYE VIEW TO THE EAST



Global Resorts, Inc.

LANTERN POINT HOTEL – VISUALIZATION





BIRDS EYE VIEW TO THE EAST



Global Resorts, Inc.

LANTERN POINT HOTEL – VISUALIZATION



-Project Overview-

Lantern Point Hotel is a 51 room luxury boutique hotel with 60 on-site subterranean parking spaces. Hotel guests will be offered a mix of King and Double Queen suites along with amenities exclusively for hotel guests.

As guests enter the costal property, they are welcomed by the Reception Lounge overlooking the wonderful views of the Dana Point Marina. Guestrooms are located at the Lobby Level and the floors above and below with guest amenities such as the Fitness Center, Pool, Outdoor Bar and Breakfast Lounge located at the rooftop level overlooking the Dana Point Harbor and the Pacific Ocean.

-Lower Cost Visitor and Recreational Facilities-

The Lantern Point Hotel will offer lower cost hotel accommodation options. The hotel will provide the following amenities along the trail easement for enjoyment by the public : carefully designed native landscaping, two benches, and a telescope for viewing the Marina.

Binoculars will be available free of charge at the Front Desk for the public to borrow to enjoy the coastal views. Bicycles will be available for the public to borrow. Lantern Point has also offered 25% of the rooms at discounted room rates to meet the needs for lower cost visitor.



Hours of Operation

Fitness Center: 5am-10pm daily

Breakfast: 6am-10am daily

Pool Hours: 8am-9pm daily

Rooftop Bar: 12-10pm, Fri-Sat. 12-11pm



Global Resorts, Inc.

LANTERN POINT HOTEL – PLANS



PLANNING REQUIREMENTS:

MINIMUM REQUIREMENTS

SETBACKS:

FRONT: 20 FEET
SIDE: 10 FEET
FROM EDGE OF
BLUFF: 25 FEET

MAX. ALLOWABLE
BLDG. HEIGHT: 35 FEET

MAX. LOT
COVERAGE: NO LIMITATIONS

LANDSCAPE AREA IN FRONT YARD:

AREA OF FRONT
YARD SETBACK: 2,000 SF
REQUIRED
LANDSCAPE: 1,000 SF
COVERAGE: 50.0%

PARKING REQUIRED

PARKING REQ'D
(1 SPACE/ ROOM): 51 SPACES
TOTAL PARKING
REQUIRED: 51 SPACES

AREA TABULATION:

FLOOR AREA RATIO: 1.57
BUILDING COVERAGE: 45.7%
BUILDING HEIGHT: 35 FT
LANDSCAPING: 19.7%
PAVING 32.4%
SITE AREA: 17,737 SF
FIRST FLOOR FOOTPRINT: 7,663 SF

PROVIDED REQUIREMENTS

20 FEET
10 FEET
25 FEET

PROPOSED HEIGHT
BLDG. HEIGHT: 35 FEET

PROPOSED BUILDING
COVERAGE: 45.7%

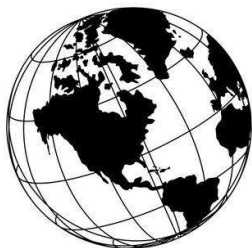
PROVIDED: 1,000 SF
COVERAGE: 50.0%

PARKING PROVIDED

EMPLOYEE
PARKING: 7 SPACES
TOTAL PARKING
PROVIDED: 61 SPACES

EV CHARGING/ ADA SPACES

LEVEL 0: 4 EV. / 2 ACCESS.
LEVEL 1: 1 EV VAN ACCESS.
LEVEL 2: 1 VAN ACCESS.



Global Resorts, Inc.

LANTERN POINT HOTEL – ZONING



LEVEL 2
-GUEST SUITES
-PARKING (VALET)

LEVEL 1
-GUEST SUITES
-PARKING (VALET)
-PUBLIC TRAIL

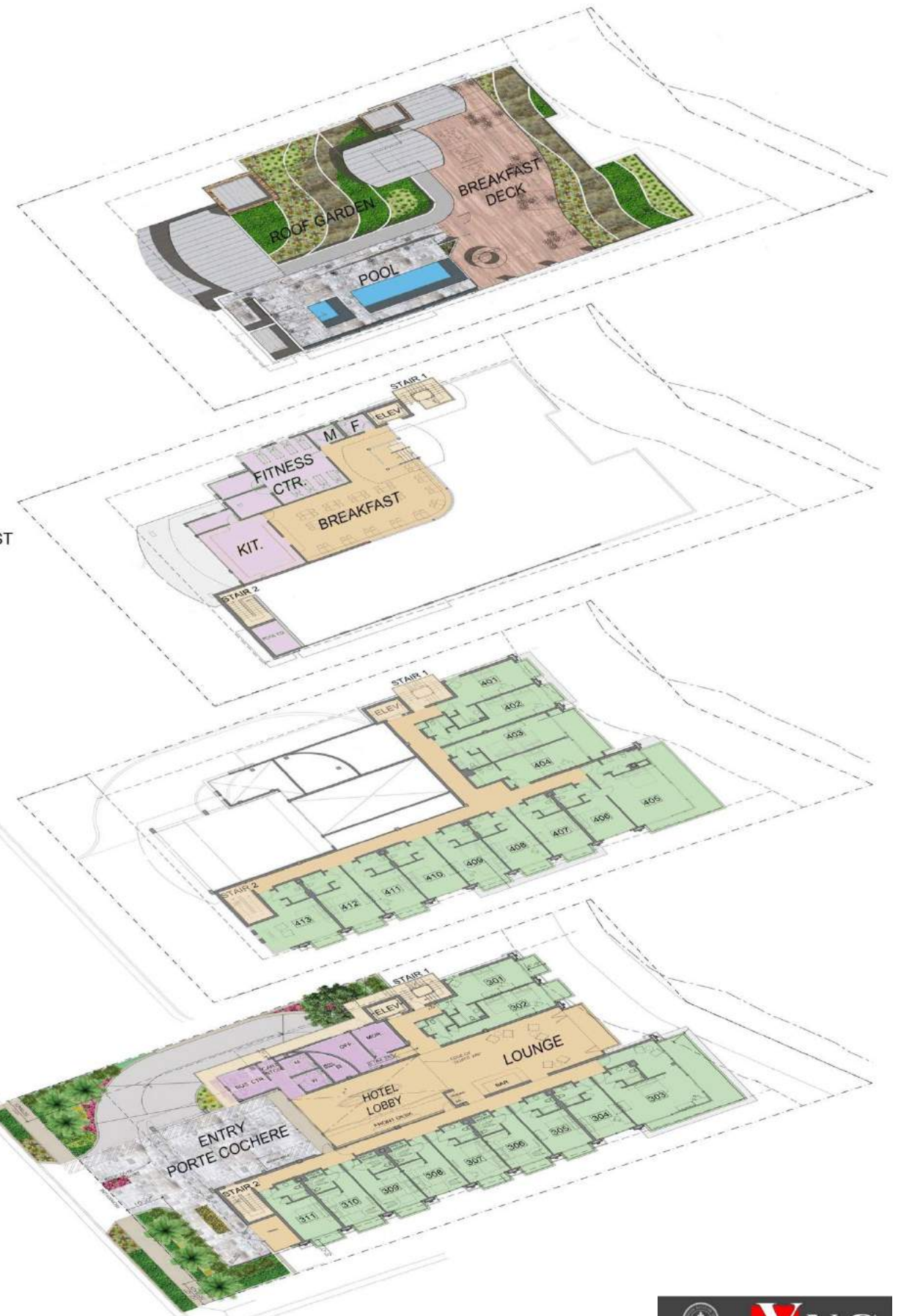
LEVEL 0
-PARKING (VALET)

ROOF LEVEL
-ROOF GARDEN
-BREAKFAST DECK
-POOL

LEVEL 4A
-INDOOR BREAKFAST
-FITNESS CENTER
-RESTROOMS

LEVEL 4
-GUEST SUITES

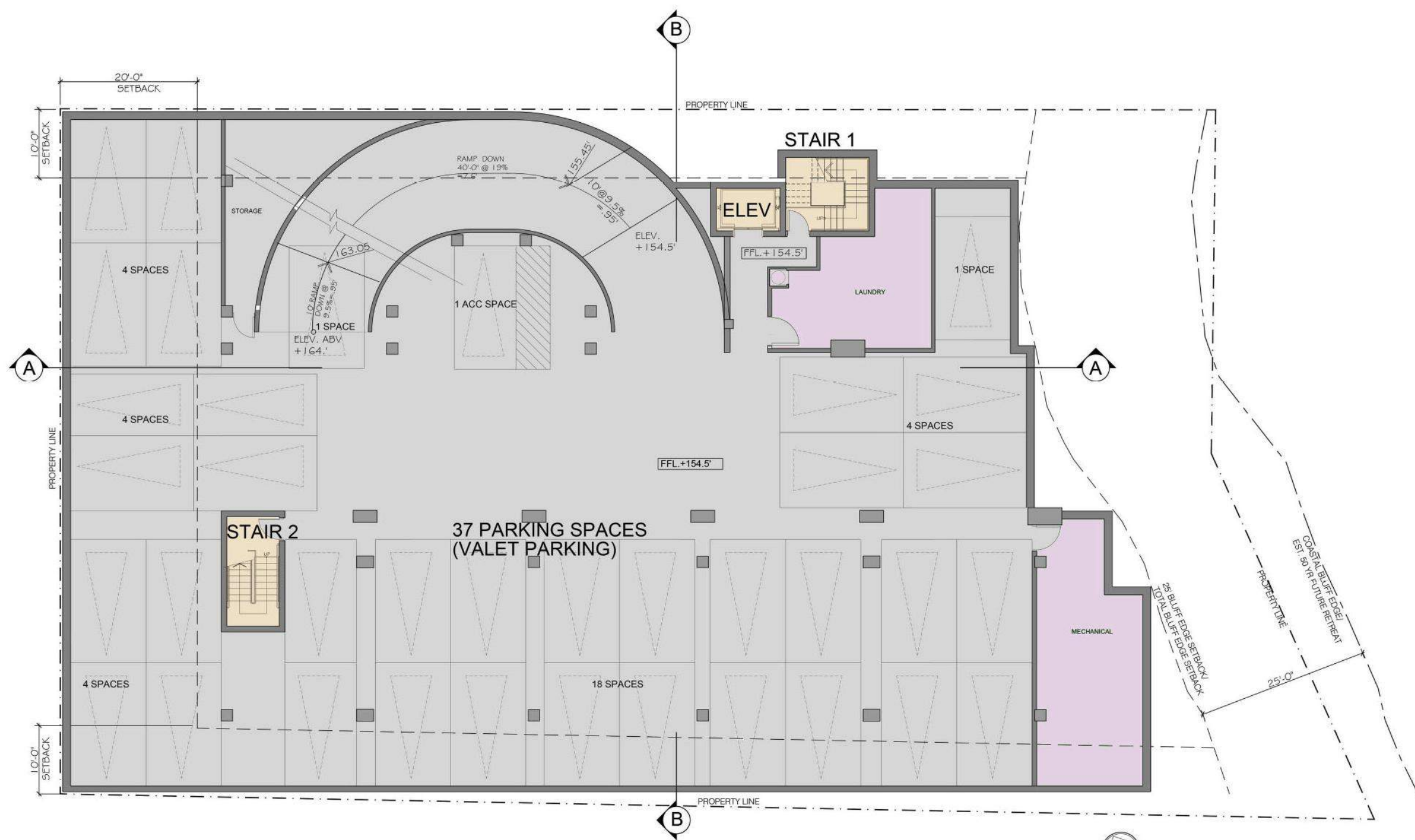
LEVEL 3
(MAIN LOBBY)
-ENTRY PORTE
COCHERE
-HOTEL LOBBY
-LOUNGE
-GUEST SUITES



Global Resorts, Inc.

LANTERN POINT HOTEL – EXPLODED ISOMETRIC STUDY





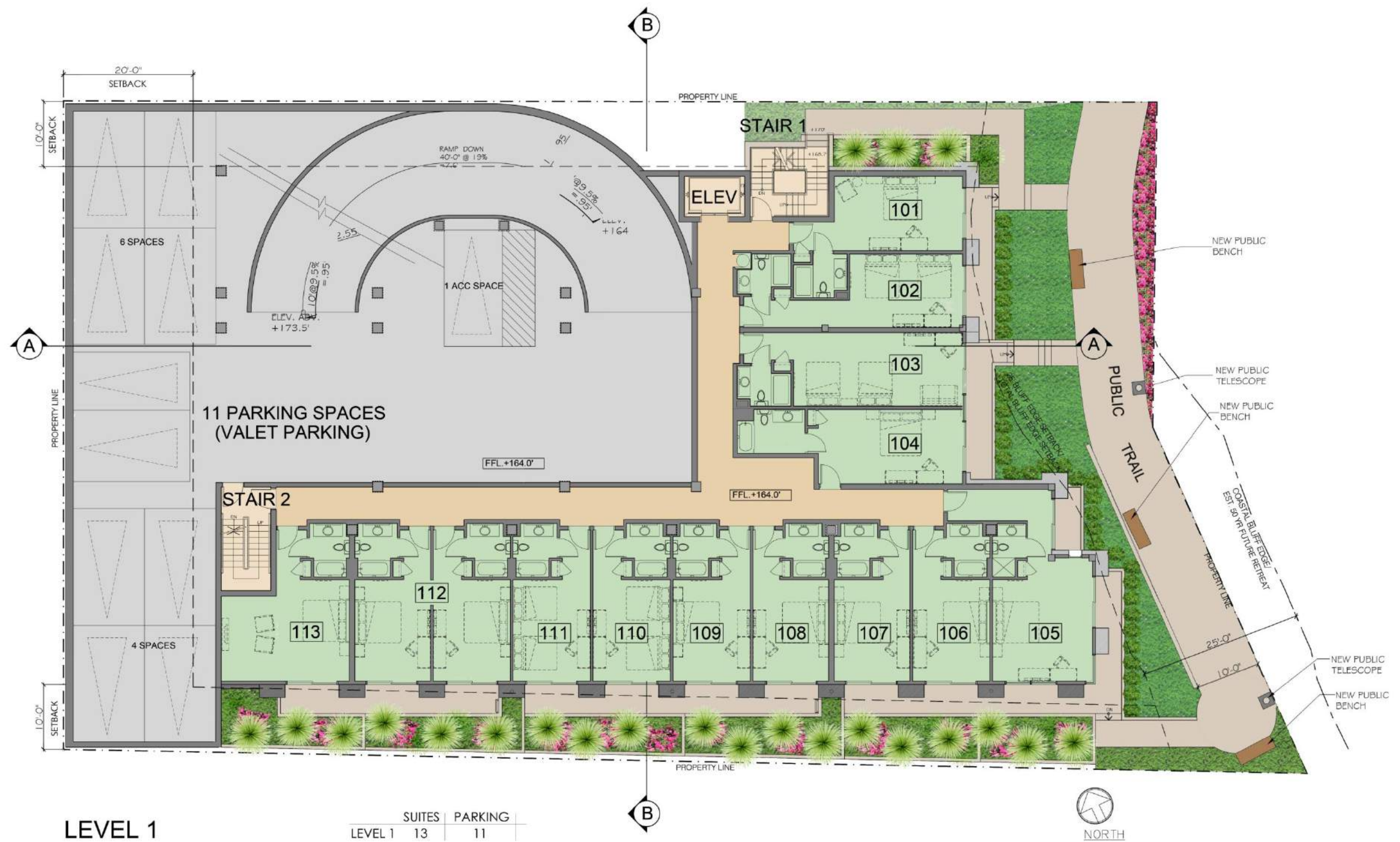
LEVEL 0

SUITES	PARKING
LEVEL 0 -	37



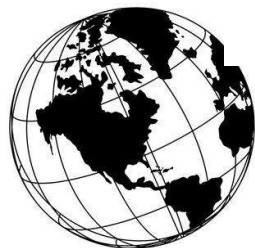
LANTERN POINT HOTEL – PLANS





Global Resorts, Inc.





Global Resorts, Inc.

LANTERN POINT HOTEL – PLANS





Global Resorts, Inc.

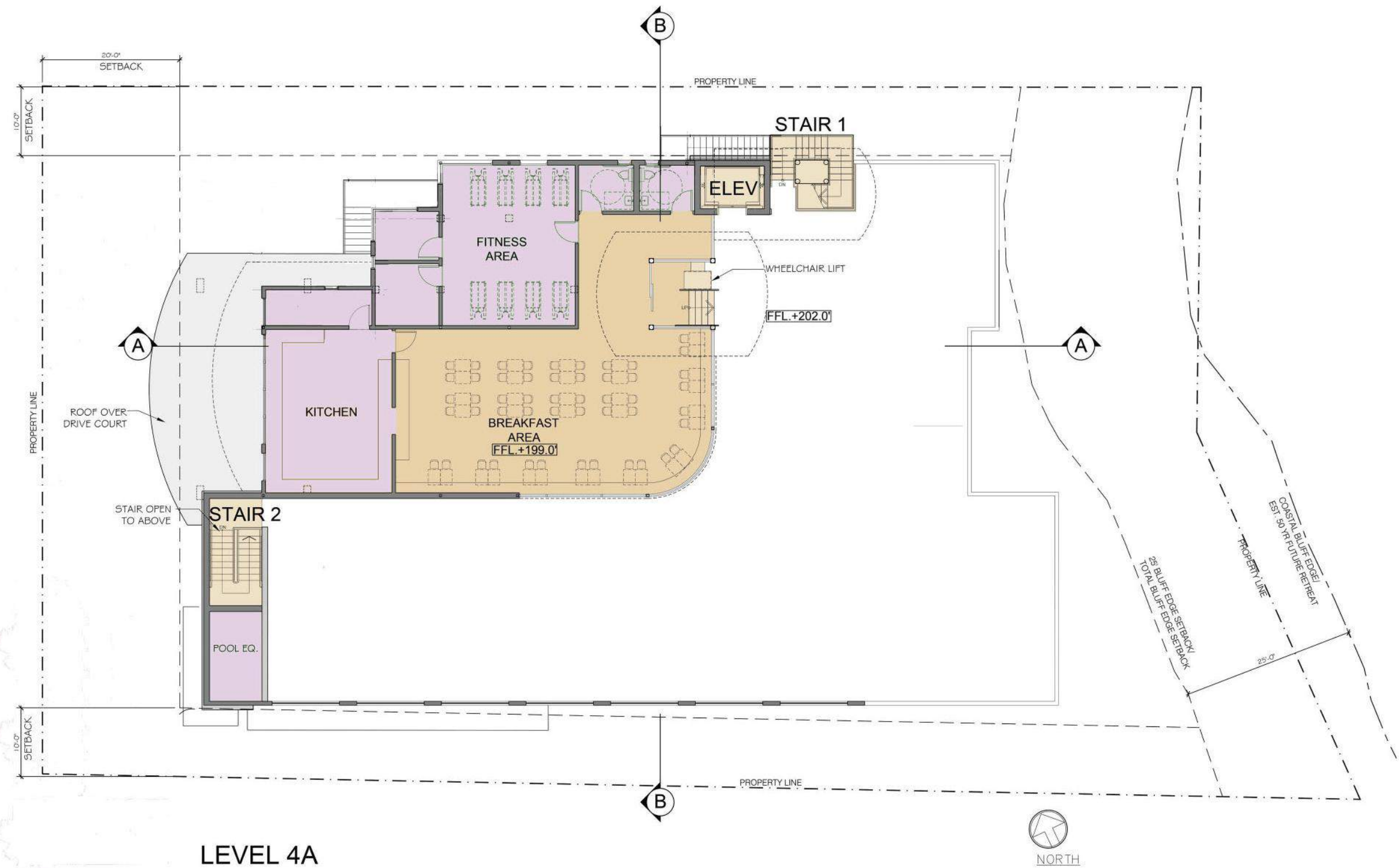




Global Resorts, Inc.

LANTERN POINT HOTEL – PLANS

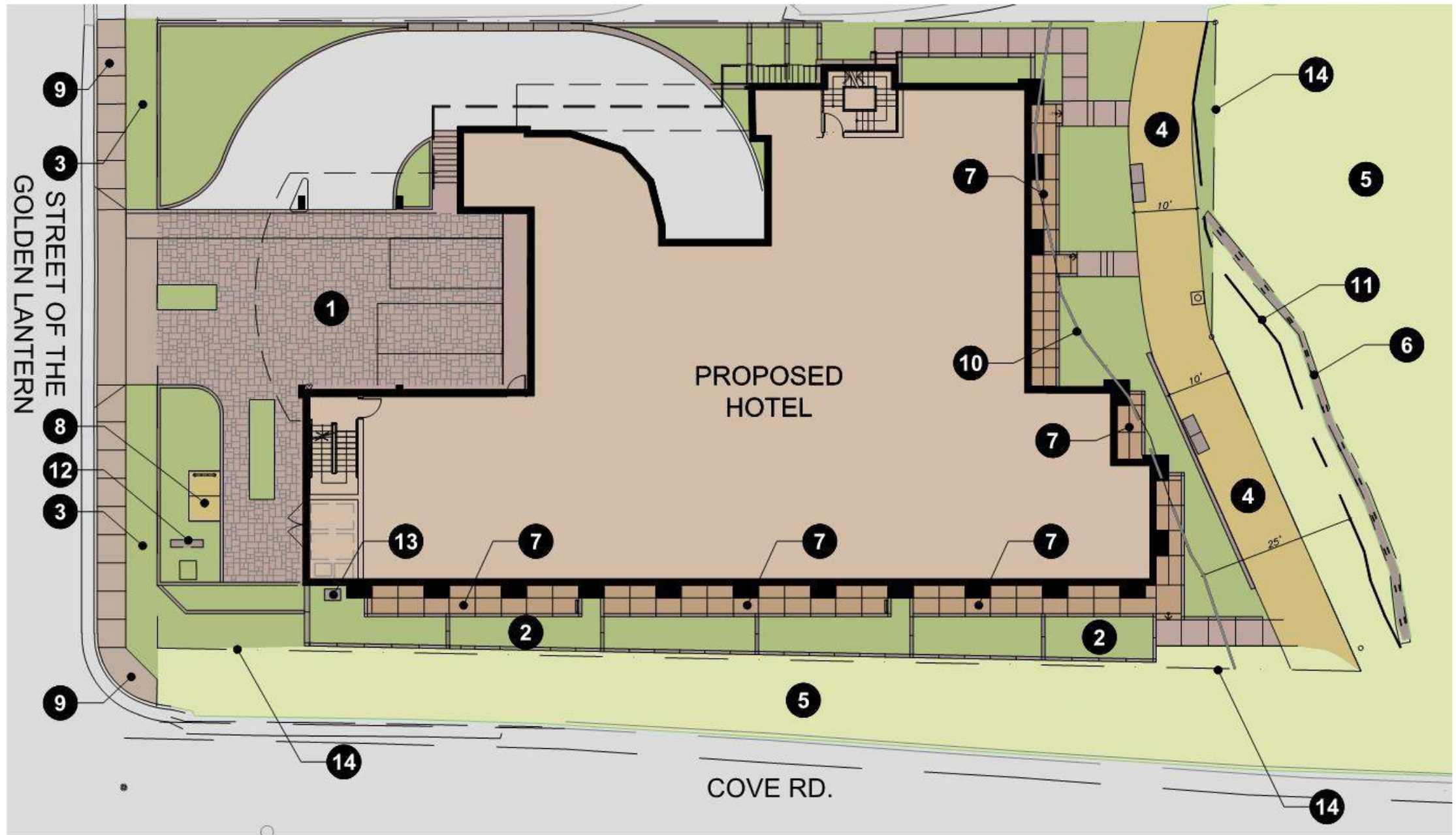




Global Resorts, Inc.

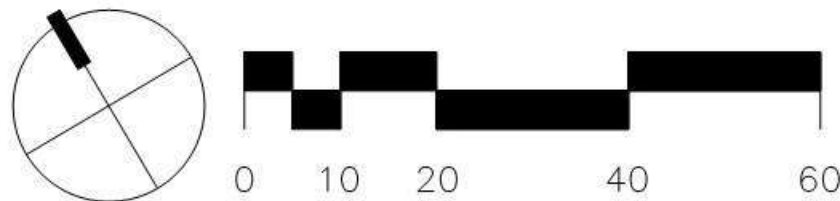
LANTERN POINT HOTEL – PLANS





LEGEND

1. 12" X 12" PALAZZO PRECAST CONCRETE PAVERS ASHLAR PATTERN BY ACKERSTONE AT PORTE COCHERE.
2. LANDSCAPE BIO-RETENTION AREA.
3. NON-INVASIVE DROUGHT TOLERANT PLANTING AREA.
4. 10' WIDE PUBLIC PEDESTRIAN TRAIL – STABILIZED DECOMPOSED GRANITE.
5. EXISTING HILLSIDE – NO IMPROVEMENTS.
6. EXISTING RETAINING WALL – NO IMPROVEMENTS.
7. PATIOS WITH LOW WALLS.
8. 5' X 8' BIKE PARKING AREA.
9. PROPOSED SIDEWALK.
10. 25' BLUFF EDGE SETBACK LINE / TOTAL BLUFF EDGE SETBACK.
11. COASTAL BLUFF EDGE LINE / ESTIMATED 50 YEAR FUTURE RETREAT.
12. BACKFLOW PREVENTER.
13. GREASE TRAP.
14. PROPERTY LINE.

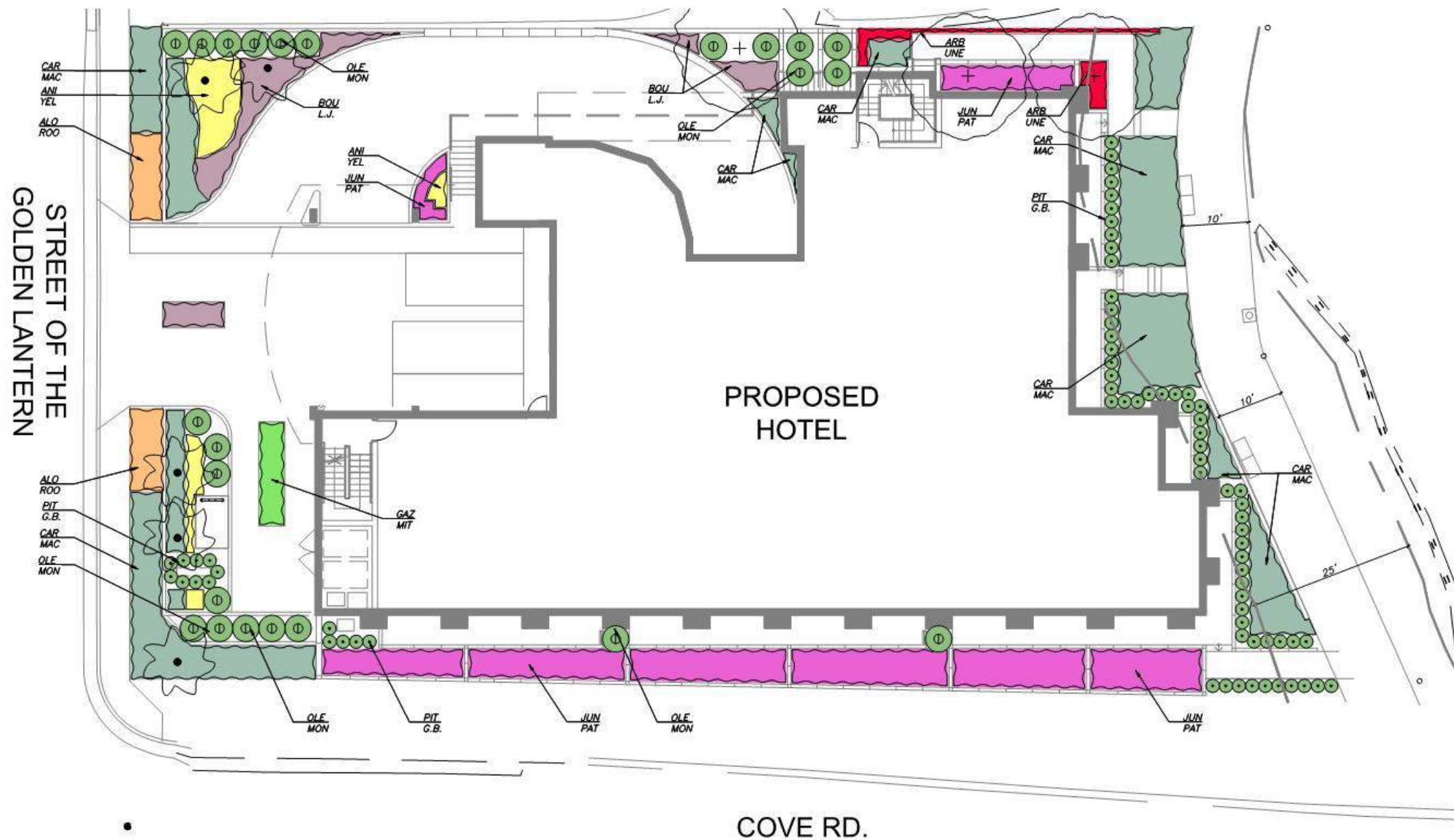


Global Resorts, Inc.

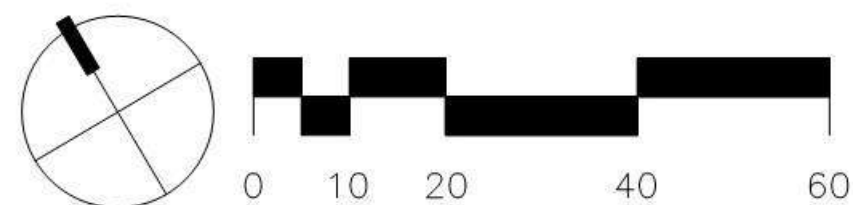
LANTERN POINT HOTEL – GROUND FLOOR LANDSCAPE PLAN



8841 RESEARCH DR
SUITE 200
IRVINE • CA 92618
949.387.1323
RIDGELA.COM



PROPOSED PLANT PALETTE			
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME
TREES			
	--	LOPHOSTEMON CONFERTUS	BRISBANE BOX
	--	WASHINGTONIA FILIBUSTA	HYBRID FAN PALM
SHRUBS, SUCCULENTS, ORNAMENTAL GRASSES, VINES AND GROUNDCOVERS			
	ALO ROO	ALOE 'ROOKAPPIE'	LITTLE RED RIDING HOOD ALOE
	ANI YEL	ANIGOZANTHOS 'YELLOW GEM'	RED-YELLOW KANGAROO PAW
	ARB UNE	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE
	BOU L.J.	BOUGAINVILLEA 'LA JOLLA'	LA JOLLA BOUGAINVILLEA
	CAR MAC	CARISSA MACROCARPA 'TUTTLE'	DWARF NATAL PLUM
	JUN PAT	JUNCUS PATENS	CALIFORNIA GRAY RUSH
	OLE MON	OLEA EUROPAEA 'MONTRA'	LITTLE OLLIE DWARF OLLIE
	PIT G.B.	PITTOSPORUM TENUIFOLIUM 'GOLF BALL'	GOLF BALL KOHUHU
	GAZ MIT	GAZANIA MITSUWA 'TRAILING YELLOW'	TAILING YELLOW GAZANIA

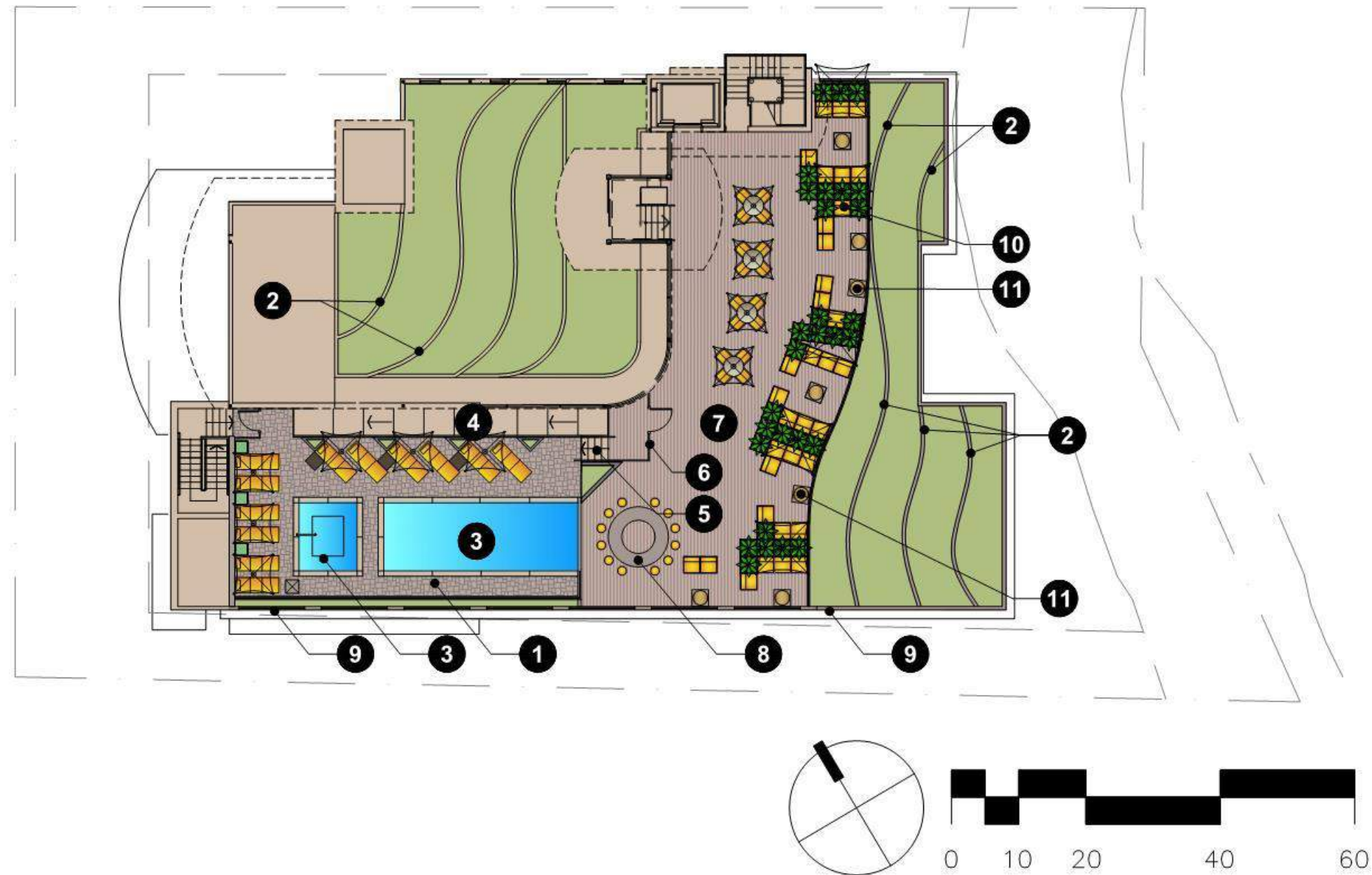


Global Resorts, Inc.

LANTERN POINT HOTEL – GROUND FLOOR PLANTING PLAN

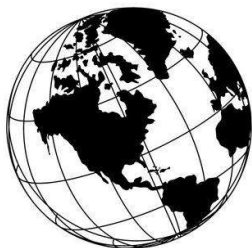


8841 RESEARCH DR
SUITE 200
IRVINE • CA 92618
949.387.1323
RIDGELA.COM



LEGEND

1. 12" X 12" PALAZZO PRECAST CONCRETE PAVERS ASHLAR PATTERN BY ACKERSTONE AT PORTE COCHERE.
2. RAISED POURED IN PLACE CONCRETE PLANTER WALL.
3. POOL AND SPA WITH SPA LIFT.
4. ACCESSIBLE CONCRETE WALK TO POOL AREA.
5. CONCRETE STEPS WITH HANDRAILS.
6. TUBE STEEL POOL FENCING.
7. WOOD DECK.
8. CIRCULAR BAR AREA – SEE ARCHITECTURE PLANS.
9. GUARD RAIL PER ARCHITECT'S PLANS.
10. SOFT SEATING AND MODULAR PLANTERS.
11. FIRE TABLE FEATURE – SEE ARCHITECT'S PLANS.

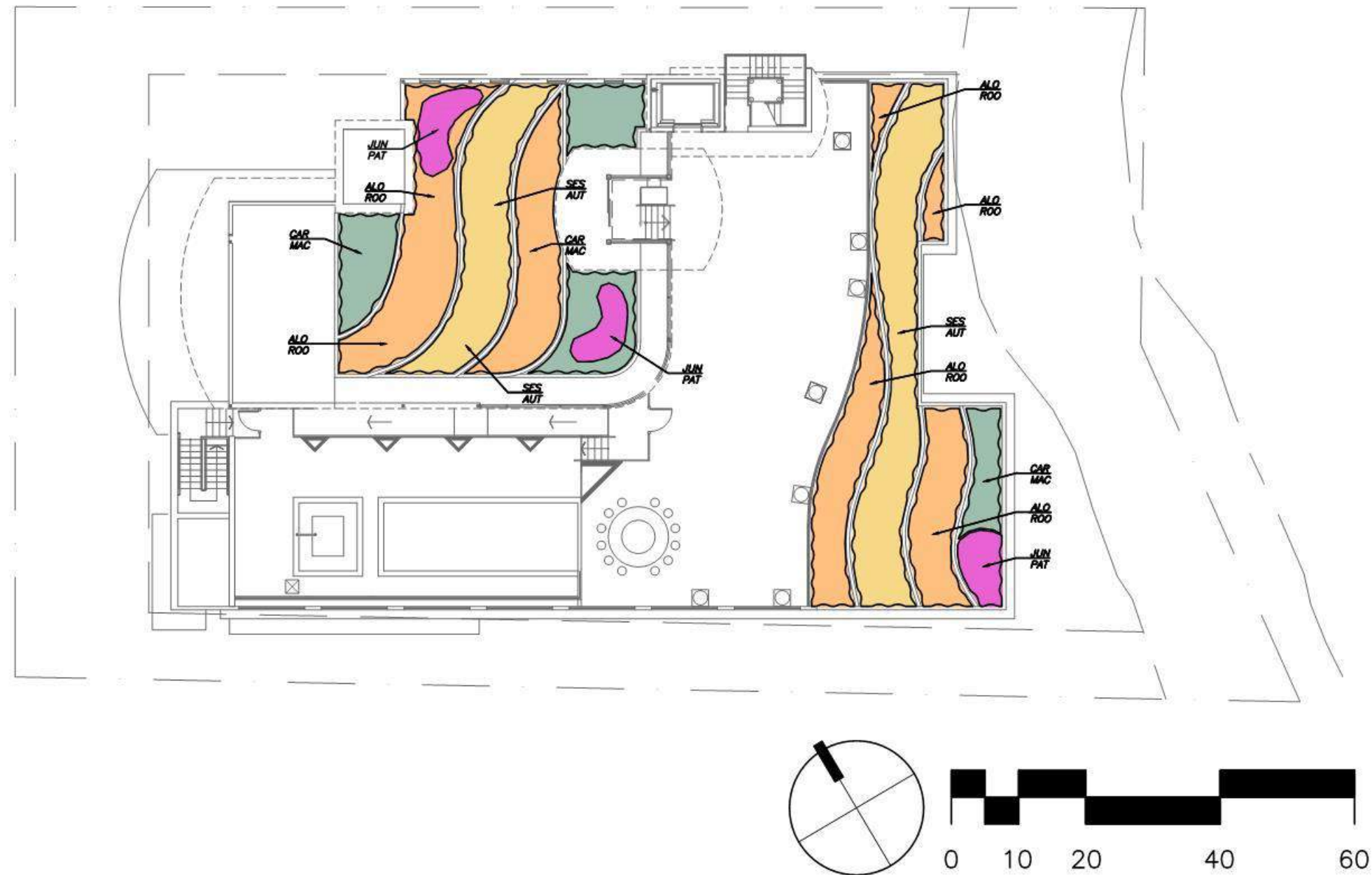








Global Resorts, Inc.

LANTERN POINT HOTEL – ROOF DECK LANDSCAPE PLAN



8841 RESEARCH DR
SUITE 200
IRVINE • CA 92618
949.387.1323
RIDGELA.COM



PROPOSED PLANT PALETTE			
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME
SHRUBS, SUCCULENTS, ORNAMENTAL GRASSES, VINES AND GROUNDCOVERS			
	ALO ROO	ALOE 'ROOIKAPPIE'	LITTLE RED RIDING HOOD ALOE
	ANI YEL	ANIGOZANTHOS 'YELLOW GEM'	RED-YELLOW KANGAROO PAW
	PIT G.B.	PITTOSPORUM TENUIFOLIUM 'GOLF BALL'	GOLF BALL KOHUHU
	SES AUT	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS
	CAR MAC	CARISSA MACROCARPA 'TUTTLE'	DWARF NATAL PLUM
	JUN PAT	JUNCUS PATENS	CALIFORNIA GRAY RUSH



Global Resorts, Inc.

LANTERN POINT HOTEL – ROOF DECK PLANTING PLAN



8841 RESEARCH DR
SUITE 200
IRVINE • CA 92618
949.387.1323
RIDGELA.COM

TREES



LOPHOSTEMON CONFERTUS /
BRISBANE BOX



WASHINGTONIA FILIFERA /
HYBRID FAN PALM

SHRUBS & GROUNDCOVERS



ALOE 'ROOIKAPPIE' /
LITTLE RED RIDING HOOD ALOE



ANIGOZANTHOS 'YELLOW GEM' /
RED-YELLOW KANGAROO PAW



ARBUTUS UNEDO 'COMPACTA' /
DWARF STRAWBERRY TREE



BOUGAINVILLEA 'LA JOLLA' /
LA JOLLA BOUGAINVILLEA



CARISSA MACROCARPA 'TURTLE' /
DWARF NATAL PLUM



JUNCUS PATENS /
CALIFORNIA GRAY RUSH



PITTOSPORUM T. 'GOLF BALL' /
GOLF BALL KOHUHU



GAZANIA MITSUWA 'TAILING
YELLOW' / YELLOW TRAILING
GAZANIA



OLEA EUROPAEA 'MONTRA' /
LITTLE OLLIE DWARF OLIVE

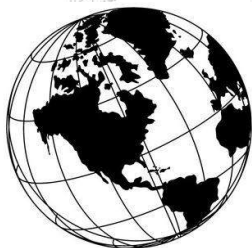


Global Resorts, Inc.

LANTERN POINT HOTEL – PLANTING IMAGES



8841 RESEARCH DR
SUITE 200
IRVINE • CA 92618
949.387.1323
RIDGELA.COM



Global Resorts, Inc.

BOUNDARY NOTE:

THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. A FORMAL BOUNDARY SURVEY HAS BEEN CONTRACTED AND IS IN PROCESS.

EASEMENT NOTES

ALL EASEMENTS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PER A PRELIMINARY TITLE REPORT PREPARED BY TIGOR TITLE, ORDER NO. 00407835-988-DN1 DATED JUNE 7, 2016 UNLESS NOTED OTHERWISE.

- 1 ITEM 5 OF THE PRELIMINARY TITLE REPORT, AN EASEMENT GRANTED TO SD&E FOR ELECTRIC PURPOSES, RECORDED AUGUST 7, 2000 AS INSTRUMENT NO. 20000411537, SAID EASEMENT HAS BEEN ELIMINATED BY SD&E THROUGH "QUITCLAIM OF EASEMENT" RECORDED NOVEMBER 28, 2017, INSTRUMENT NO. 17-510613. (QUITCLAIMED EASEMENT NOT SHOWN)

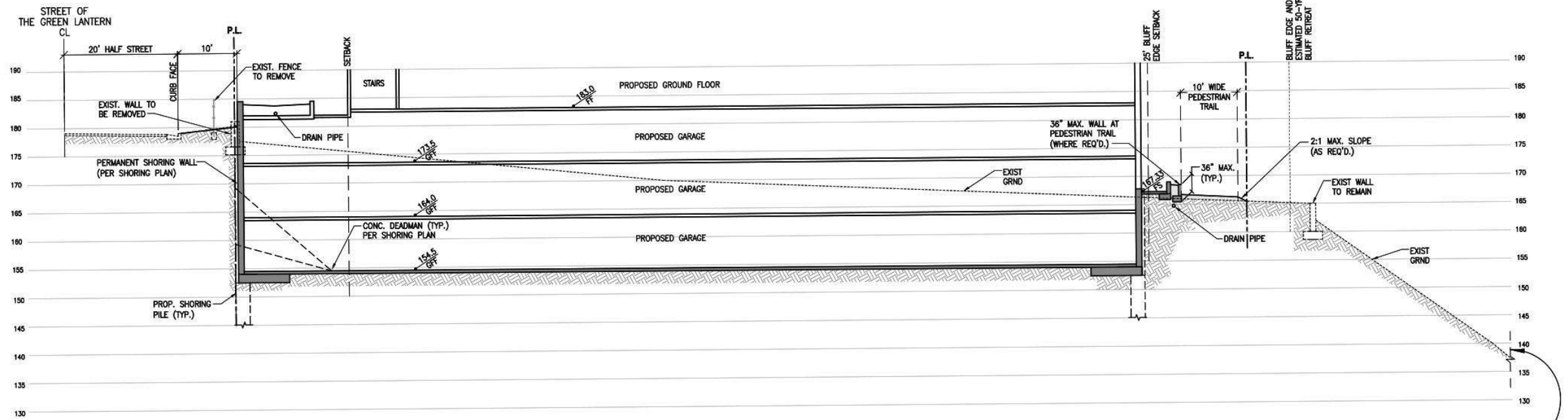
NOT TO SCALE

LANTERN POINT HOTEL – GRADING PLAN-STREET LEVEL

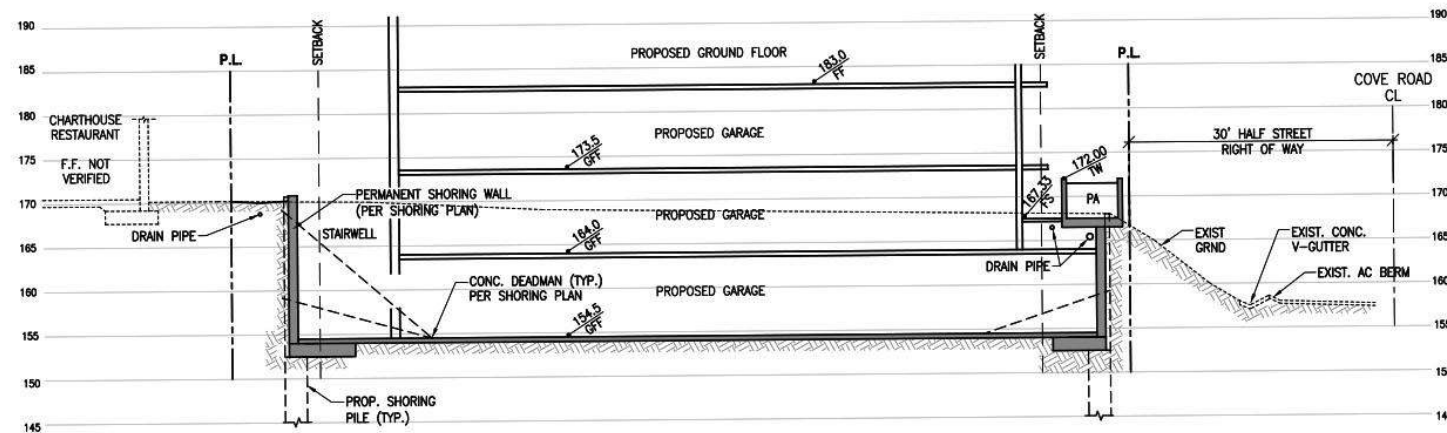
LEGEND

	EXISTING CONTOUR	PAD	PROPOSED PAD ELEVATION
	PROPOSED CONTOUR	T/SLAB	PROPOSED TOP OF SLAB
	SPOT ELEVATION	FS	PROPOSED FINISHED SURFACE
	PROPOSED CONCRETE PAVING	FG	PROPOSED FINISHED GROUND
	PROPOSED BIOFILTRATION BMP	F.F.	PROPOSED FINISHED FLOOR
	PROP. FORCE MAIN	INV	INVERT OF PIPE
	PROPOSED STORM DRAIN	TG	TOP OF GRATE
	PROP. SUBDRAIN	P.L.	PROPERTY LINE
	PROPOSED BEARING/RETAINING WALL	TW	TOP OF WALL
	EXISTING SCREEN WALL	TF	TOP OF FOOTING
	PROPOSED SCREEN WALL	W.F.	WATER FEATURE
	PROPOSED RETAINING WALL	PA	PLANTER AREA
	PROPOSED DOWNSPOUT	H.P.	HIGH POINT
			GRADING LIMITS

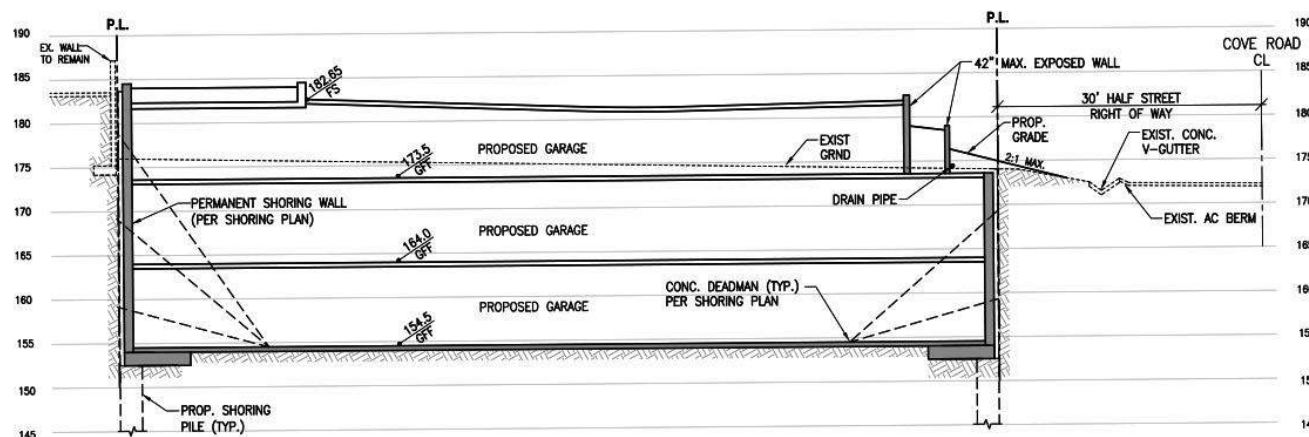




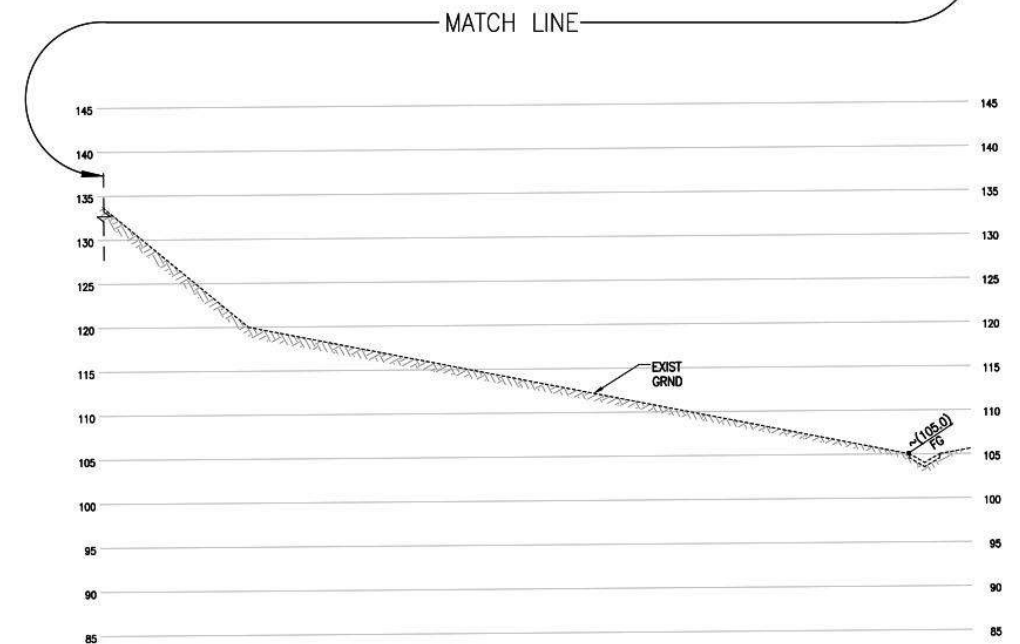
SECTION C-2
SCALE: 1" = 10'



SECTION C-1
SCALE: 1" = 10'

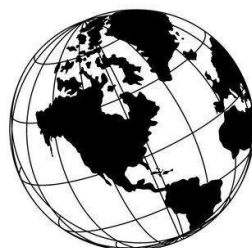


SECTION C-1
SCALE: 1" = 10'



SECTION C-2 (continuation)
SCALE: 1" = 10'

NOT TO SCALE



Global Resorts, Inc.

LANTERN POINT HOTEL – SECTIONS



EASEMENT NOTES

ALL EASEMENTS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PER A PRELIMINARY TITLE REPORT PREPARED BY TICOR TITLE, ORDER NO. 00407835-988-DN1 DATED JUNE 7, 2016 UNLESS NOTED OTHERWISE.

1 ITEM 5 OF THE PRELIMINARY TITLE REPORT, AN EASEMENT GRANTED TO SD&E FOR ELECTRIC PURPOSES, RECORDED AUGUST 7, 2000 AS INSTRUMENT NO. 20000411537, SAID EASEMENT HAS BEEN ELIMINATED BY SD&E THROUGH "QUITCLAIM OF EASEMENT" RECORDED NOVEMBER 28, 2017, INSTRUMENT NO. 17-510613. (QUITCLAIMED EASEMENT NOT SHOWN)

LEGEND

ESTIMATED PROPERTY LINE
LOT LINE FROM UNDERLYING MAP(S)
CONTOUR LINE
SPOT ELEVATION
FENCE
CONCRETE SURFACE

MASONRY WALL
WOOD WALL
ROCK WALL
FINISHED FLOOR
FINISHED SURFACE
TOP OF GRATE

INV INVERT OF PIPE
TC TOP OF CURB
EP EDGE OF PAVEMENT
TW TOP OF WALL
FOUND-MONUMENT
SURVEY CONTROL POINT
The Chart House restaurant

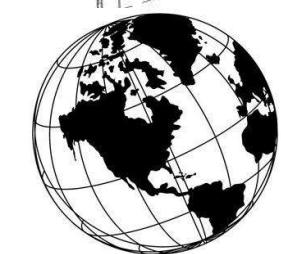
LOT 5 AND POR LOT 6
BLOCK C, TRACT 573

NOT TO SCALE

CLOUDED AREA PER TOPOGRAPHIC SURVEY
DATED 8-27-1999

CLOUDED AREA PER TOPOGRAPHIC SURVEY
DATED 8-27-1999

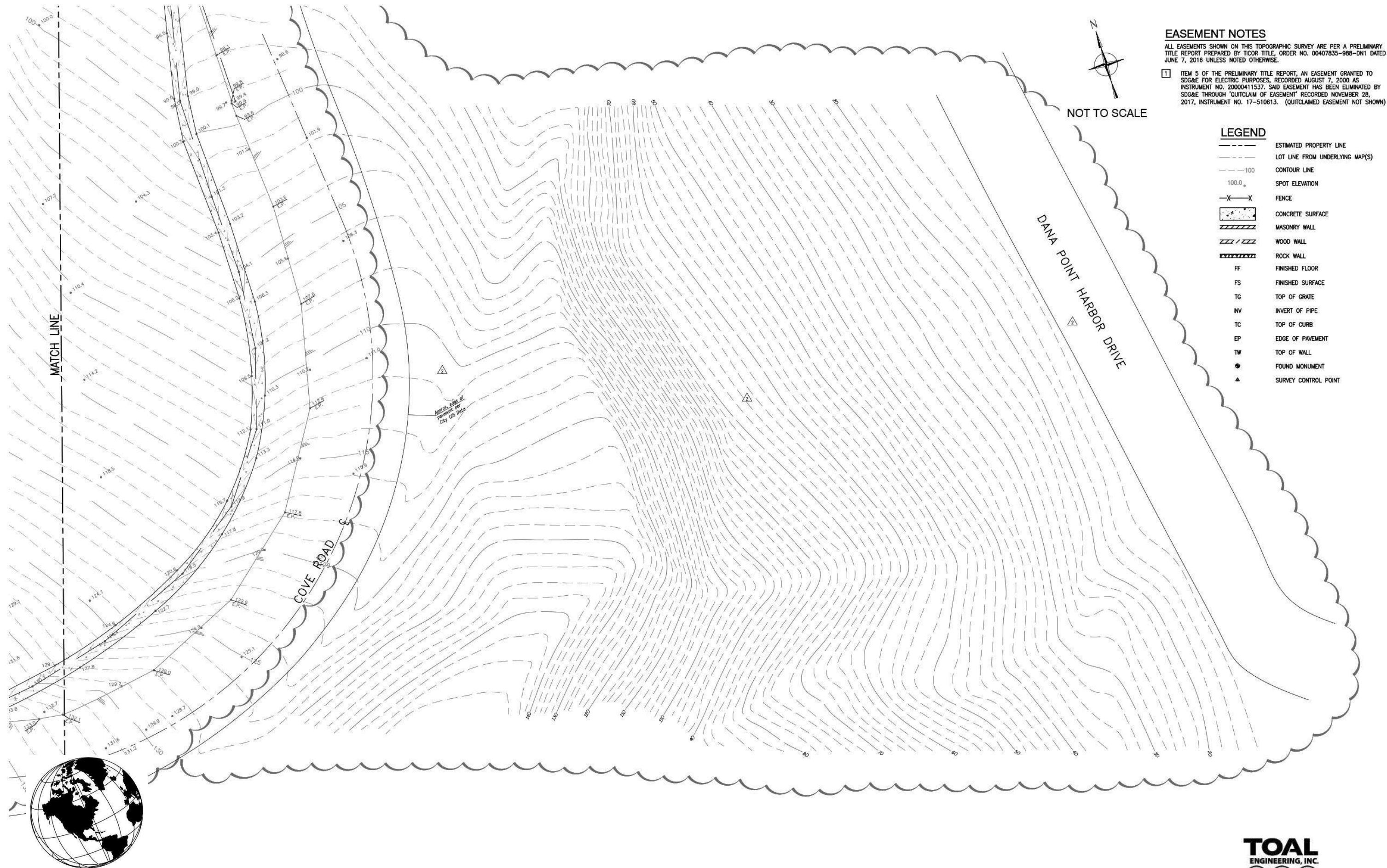
MATCH LINE



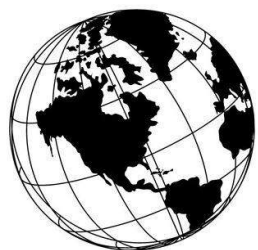
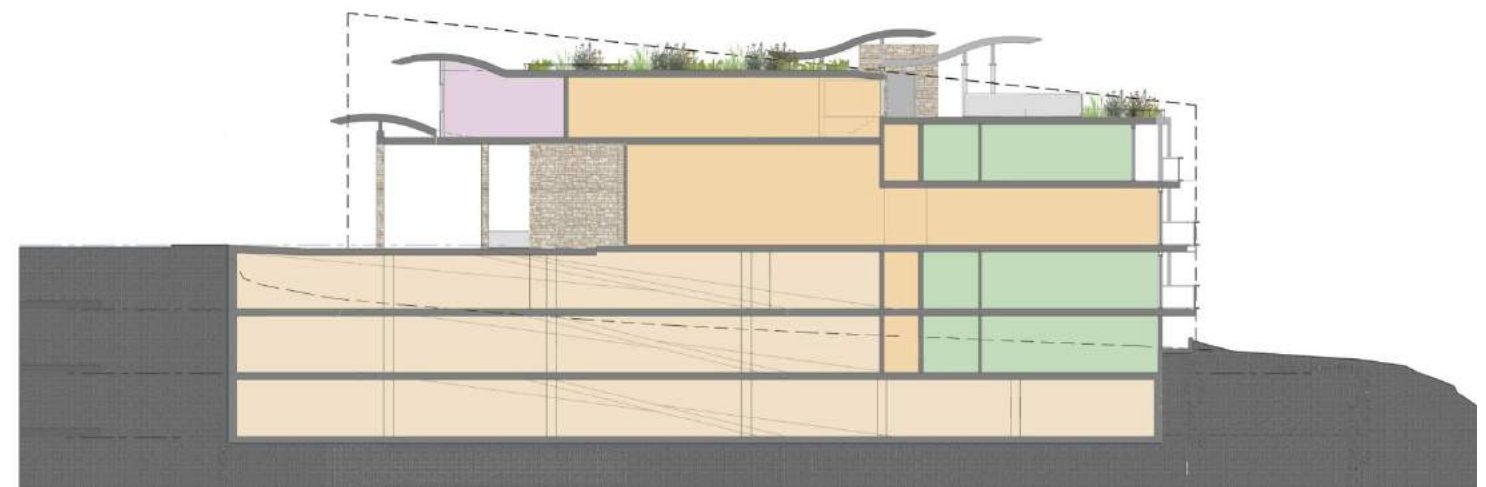
Global Resorts, Inc.

LANTERN POINT HOTEL – TOPOGRAPHIC SURVEY PART 1





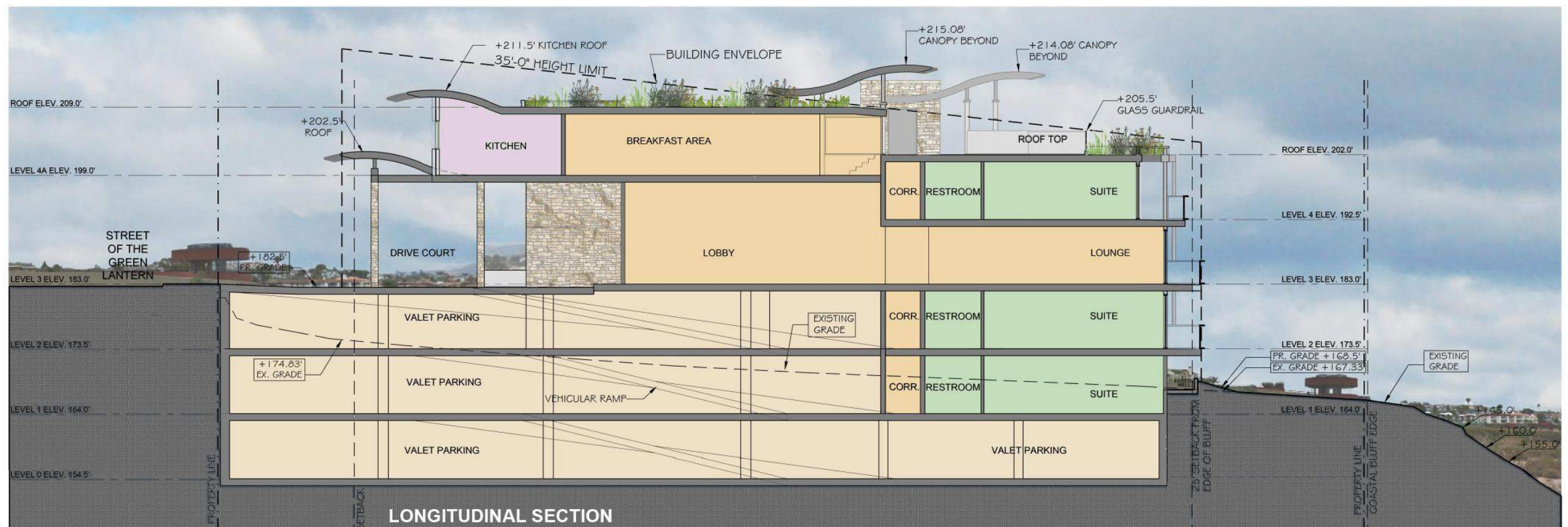
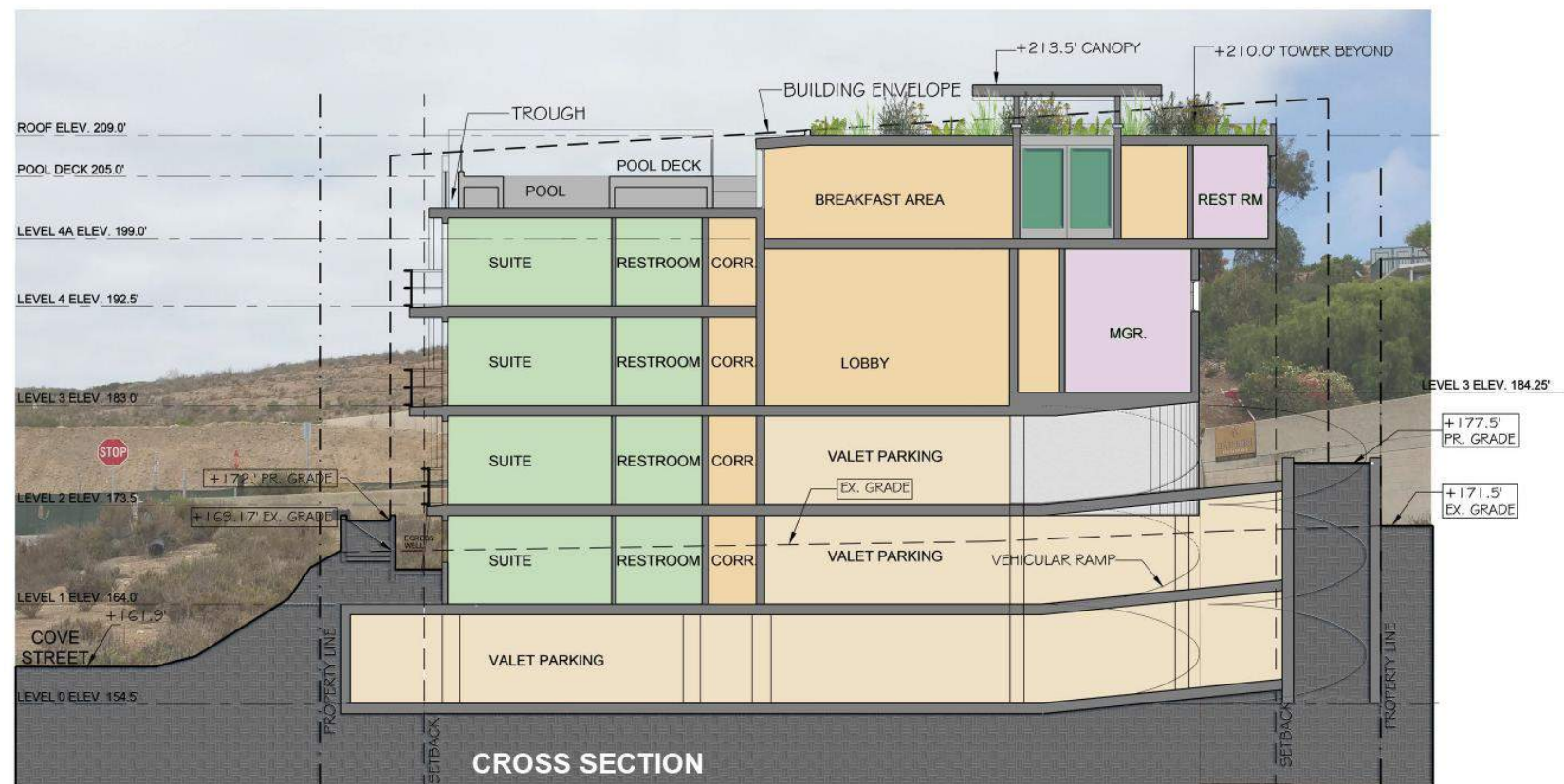
LANTERN POINT HOTEL – TOPOGRAPHIC SURVEY PART 2



Global Resorts, Inc.

LANTERN POINT HOTEL – SECTIONS



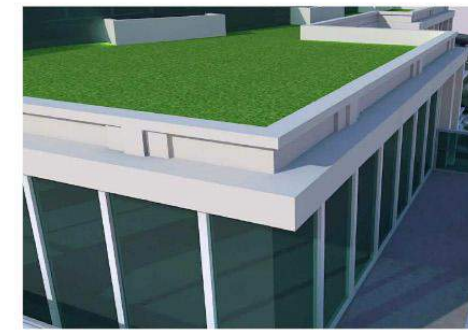


LANTERN POINT HOTEL – SECTIONS





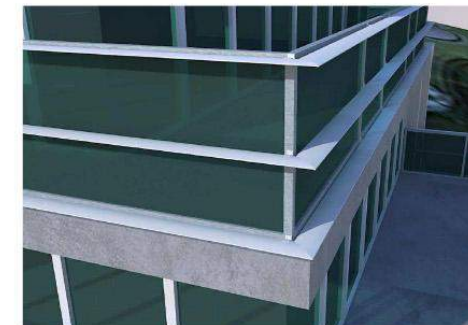
WALL SECTION



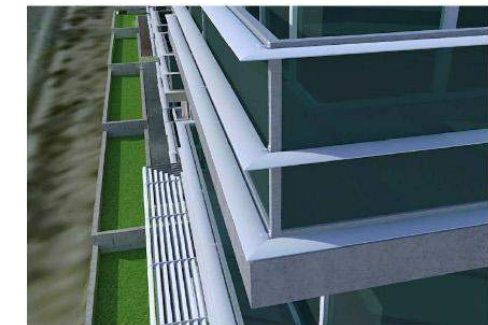
DETAIL A



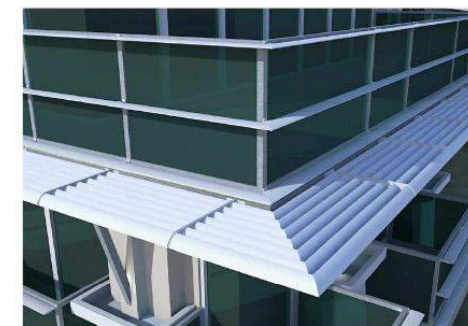
DETAIL A



DETAIL B



DETAIL B



DETAIL C



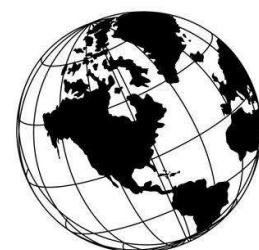
DETAIL C



DETAIL D



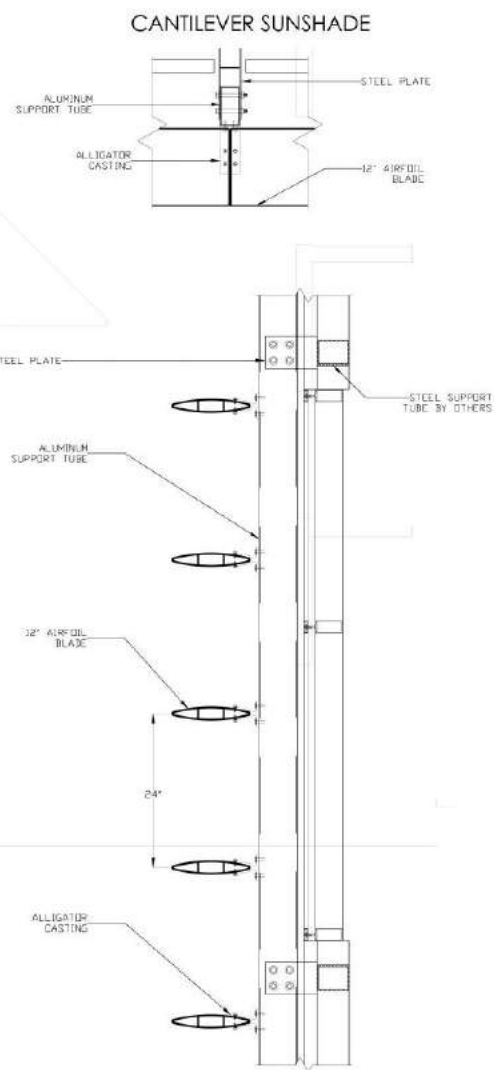
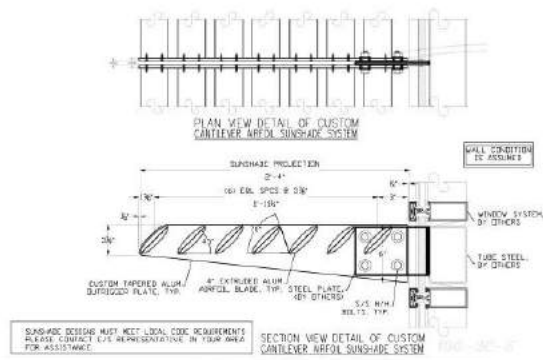
DETAIL D



Global Resorts, Inc.

LANTERN POINT HOTEL – SECTIONS





HORIZONTAL SUNSHADE AT WINDOW



DETAIL A



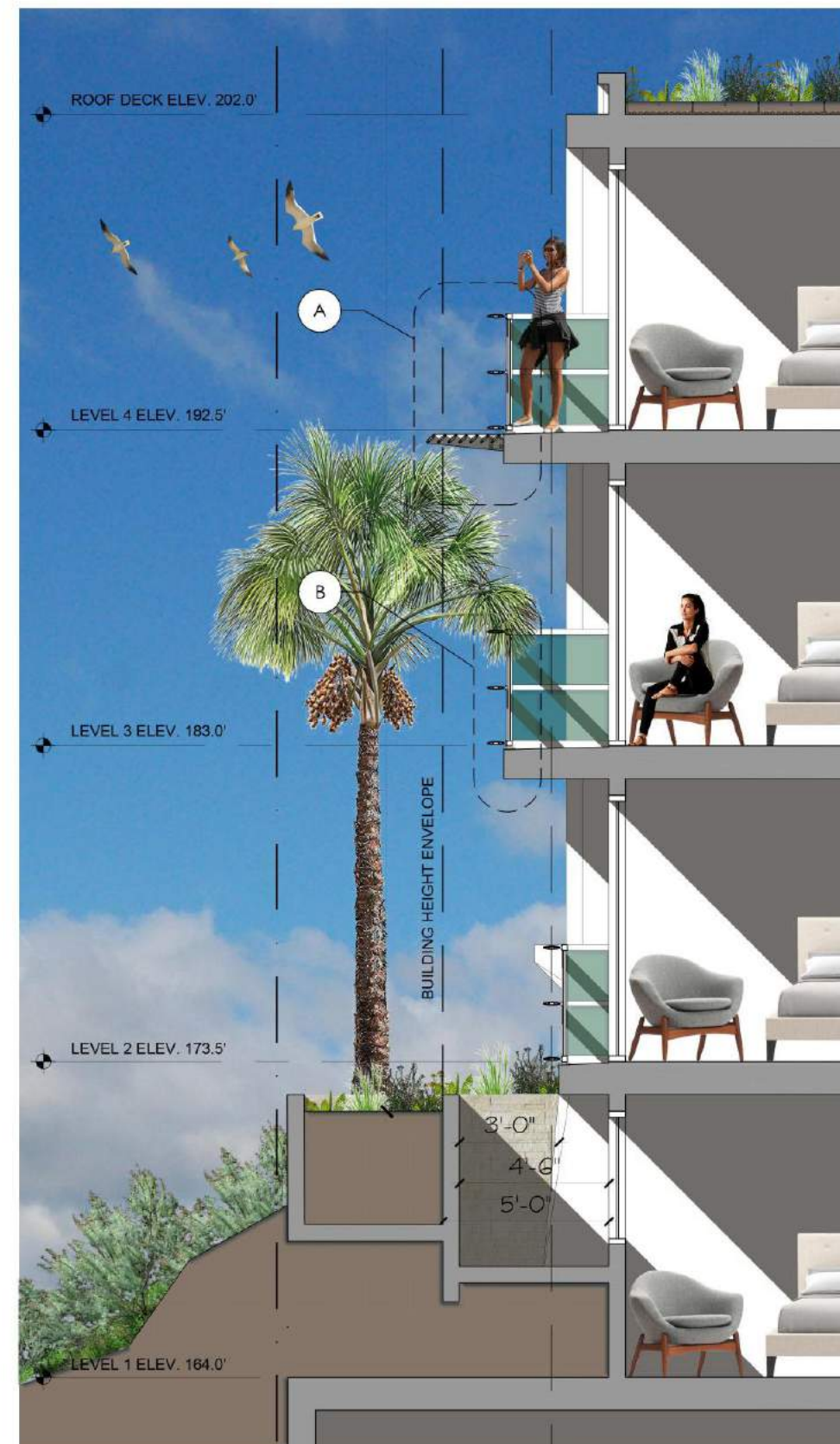
DETAIL A



DETAIL B



DETAIL B



WALL SECTION



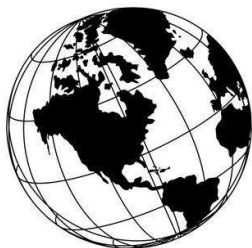
Global Resorts, Inc.

LANTERN POINT HOTEL – SECTIONS





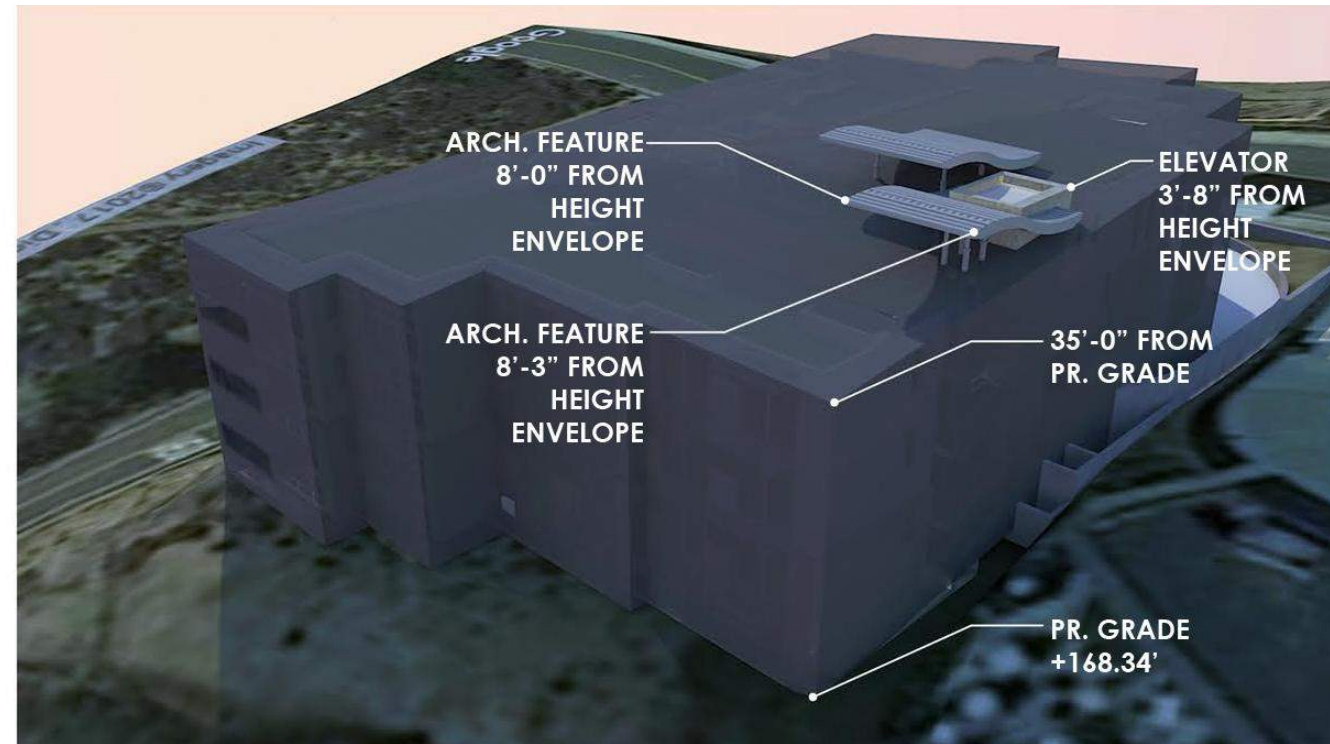
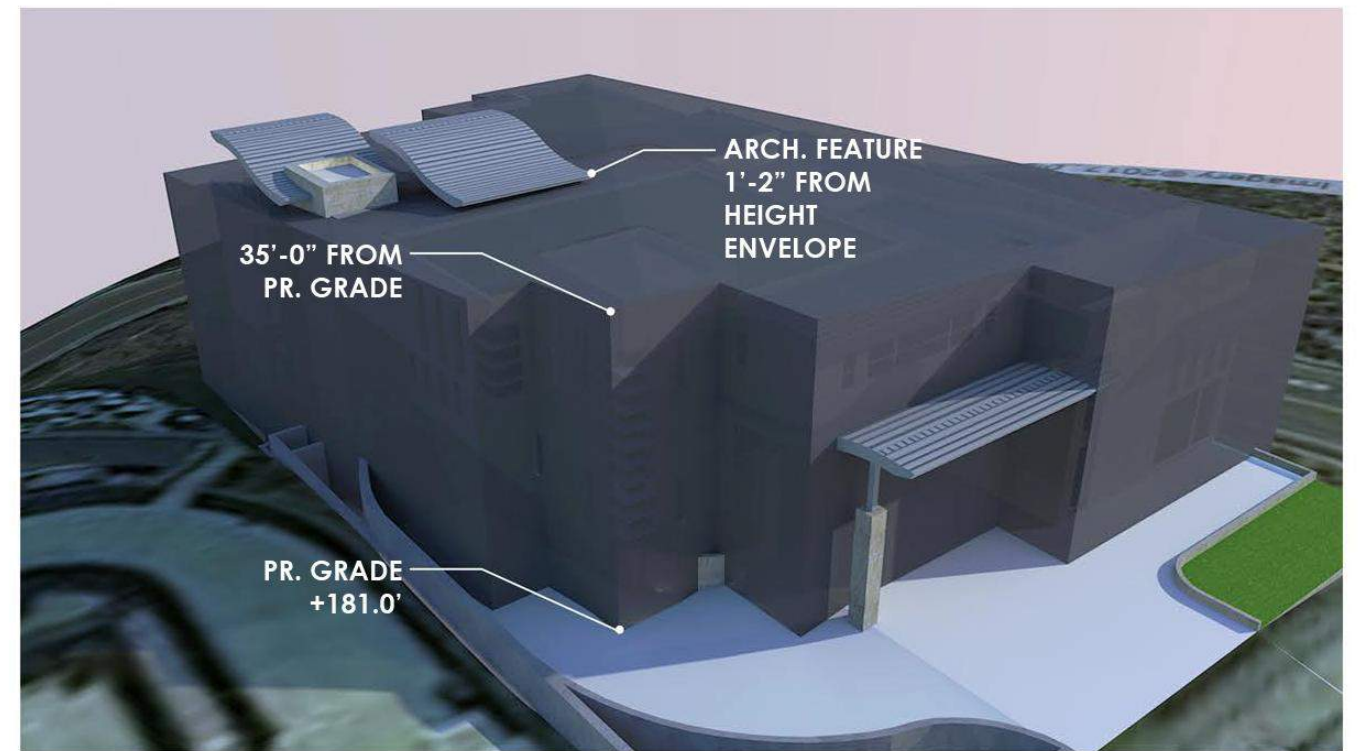
37



Global Resorts, Inc.

LANTERN POINT HOTEL – ELEVATIONS





-Building Height Envelope & Setbacks-

The overall building height is designed such that all the major building components fall within the building envelope with only architectural elements such as roof canopies and the elevator enclosure protruding beyond the height envelope.

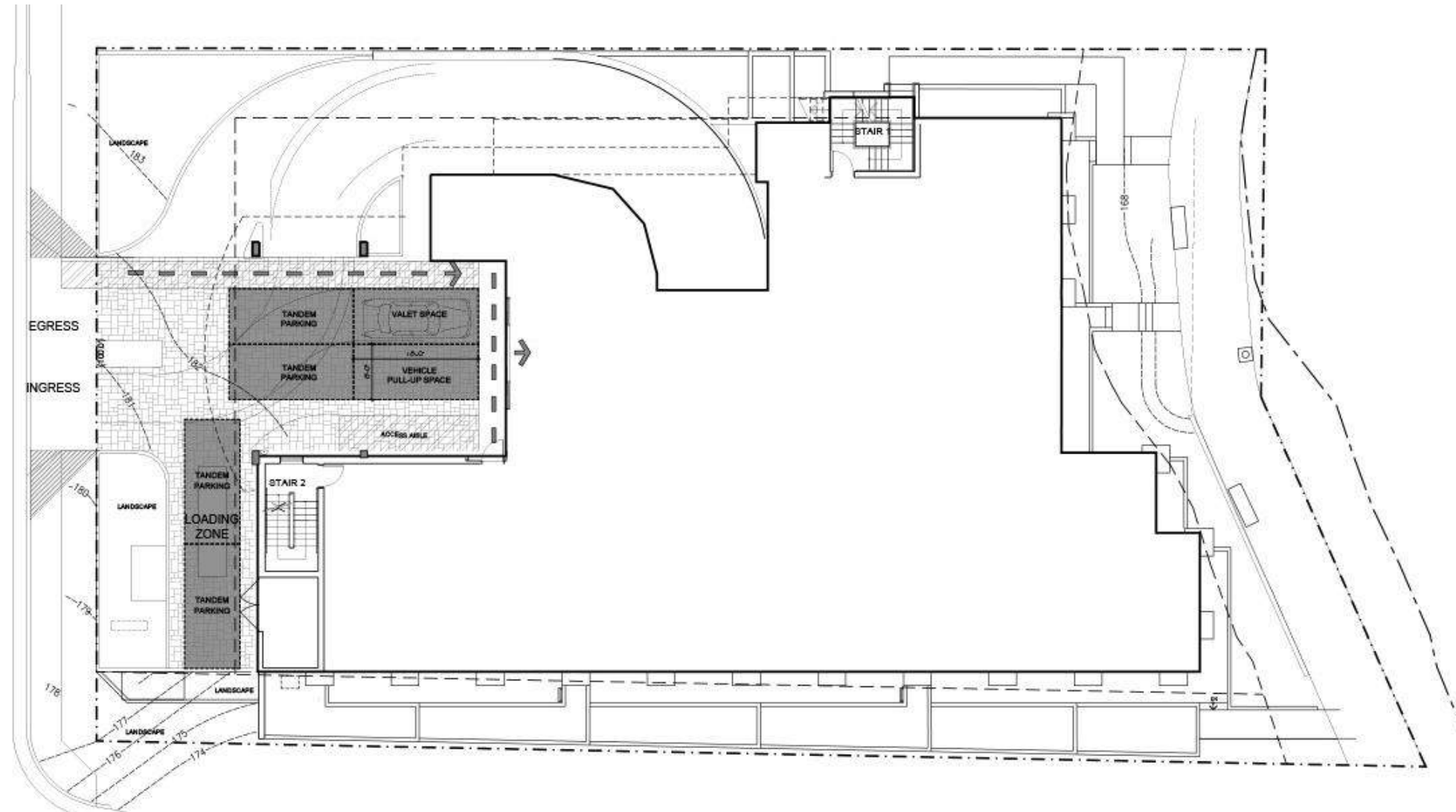
Likewise, the overall building footprint falls within the setbacks required for all the property lines, namely 20 feet from the front property line, 10 feet from the side property lines and 25 feet from the edge of the bluff on the eastern side.



Global Resorts, Inc.

LANTERN POINT HOTEL – BUILDING ENVELOP STUDY





PARKING LEVEL 3

-Parking Management Plan-

The Lantern Point Hotel has ample parking for all guests and staff with 60 parking spaces in total. With over 45 years of hotel operating experience, we have experienced that, even at full hotel occupancy, rarely does the parking get filled up completely. Although the use of personal automobiles has further declined due to the use of Uber, Lyft and other ride sharing services, we have sufficient parking to accommodate all guests and employees during full occupancy.

-Valet Operations-

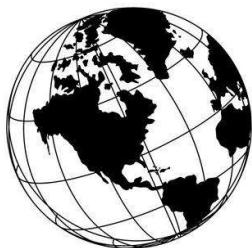
The valet service objectives are to move cars in and out of the loading zone safely and quickly while maintaining good customer service. Hotel guests will enter the property and park cars at the valet pull-up stalls. A dedicated valet receptionist will welcome and help guests into the Hotel Lobby while other valet team members park the vehicles.

Valet Operations will be composed of two dedicated valet staff during mid-week and off-peak times. During higher occupancy and weekends, we will utilize a three person staff to ensure quick and efficient valet operations.

The Lantern Point is a small boutique hotel without a restaurant or banquet hall and therefore we will not have any special events on the property other than providing a unique one for our guests. The valet staff size will vary according to reservations, seasonality and demand to ensure timely and efficient services.

The valet team will also utilize radios for communication and coordination as well as coordination with a traffic light system at each level of the ramp. This controls and ensures single directional traffic flow at all times.

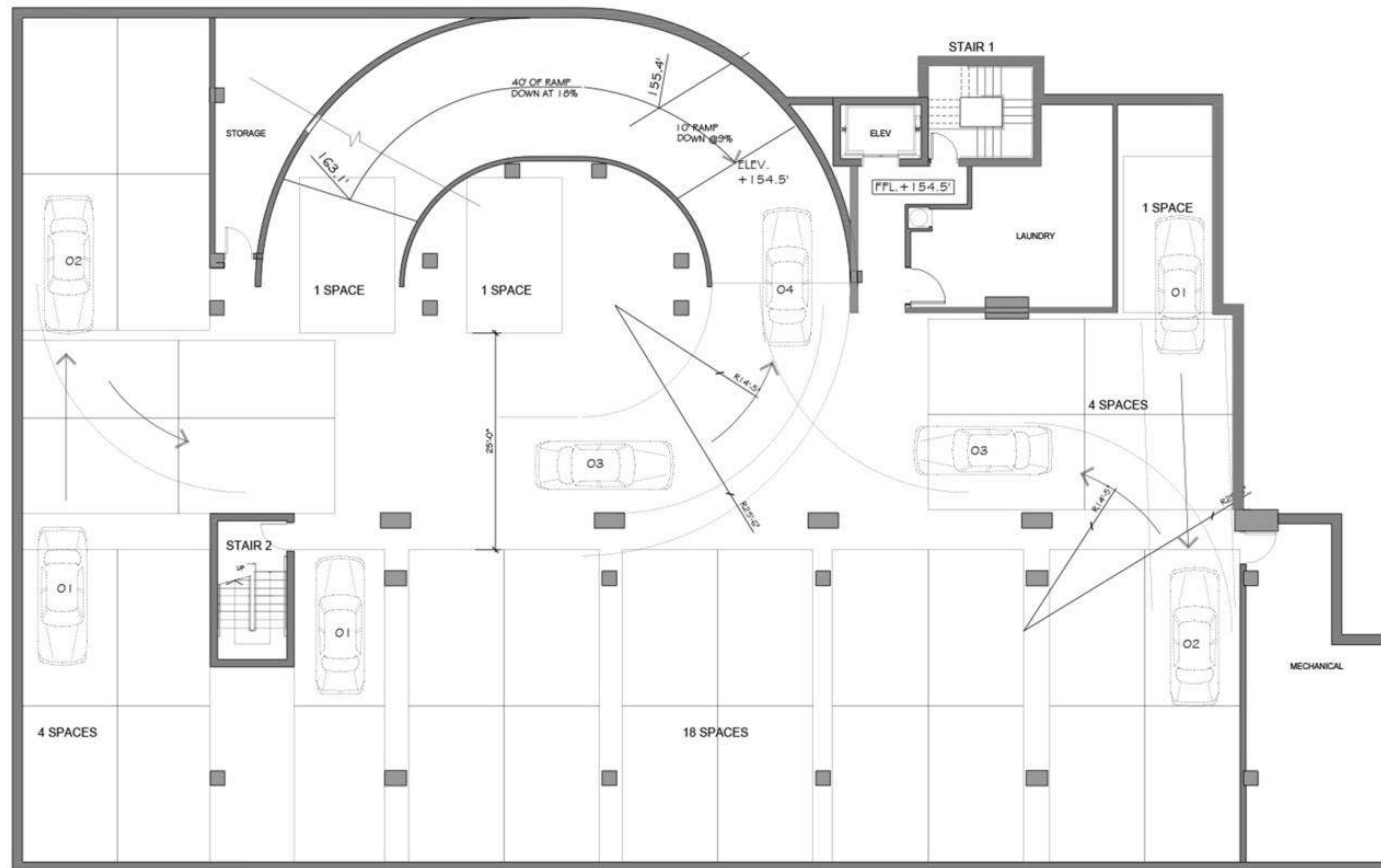
At check out time, the Front Desk will instruct the valet to bring cars to the Lobby Level for guests to check out and safely exit the hotel.



Global Resorts, Inc.

LANTERN POINT HOTEL – PARKING STUDY





PARKING LEVEL 0

-Parking and Access Ramp-

To maximize the use of the site for the hotel suites, the parking is located underground and accessed by a circular ramp. In designing the ramp we met with the Orange County Traffic Engineers to review the proposed ramp slope, radius and width. Parking Design Associates together with YNG Architects, collaborated to ensure that the design of the ramp complies with all zoning and code requirements.

-Accessible Parking-

The main entry Porte Cochere is provided with an access aisle and valet parking. Additionally, accessible parking spaces are provided on each of the three parking levels of the parking structure. The required 8'-2" van accessible clearance is maintained throughout the circulation path to all the accessible parking spaces.

-Valet Parking-

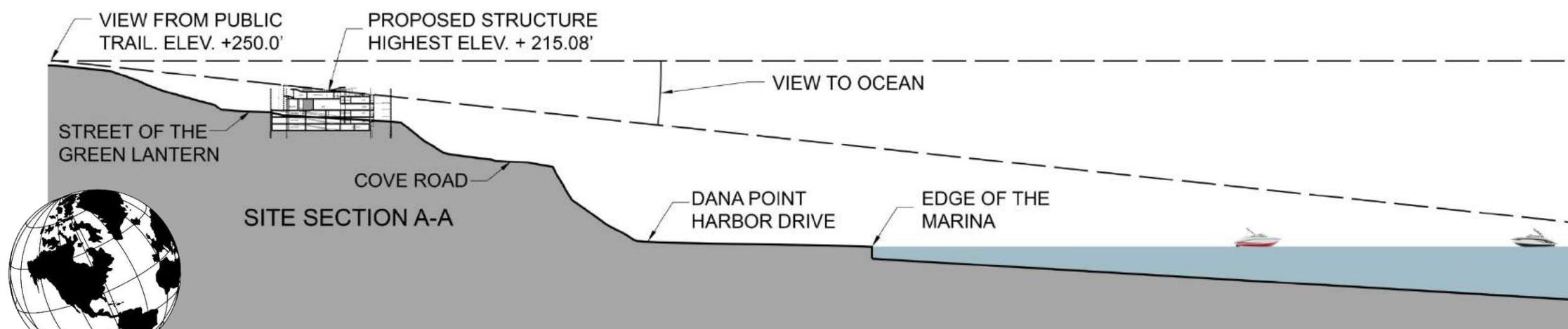
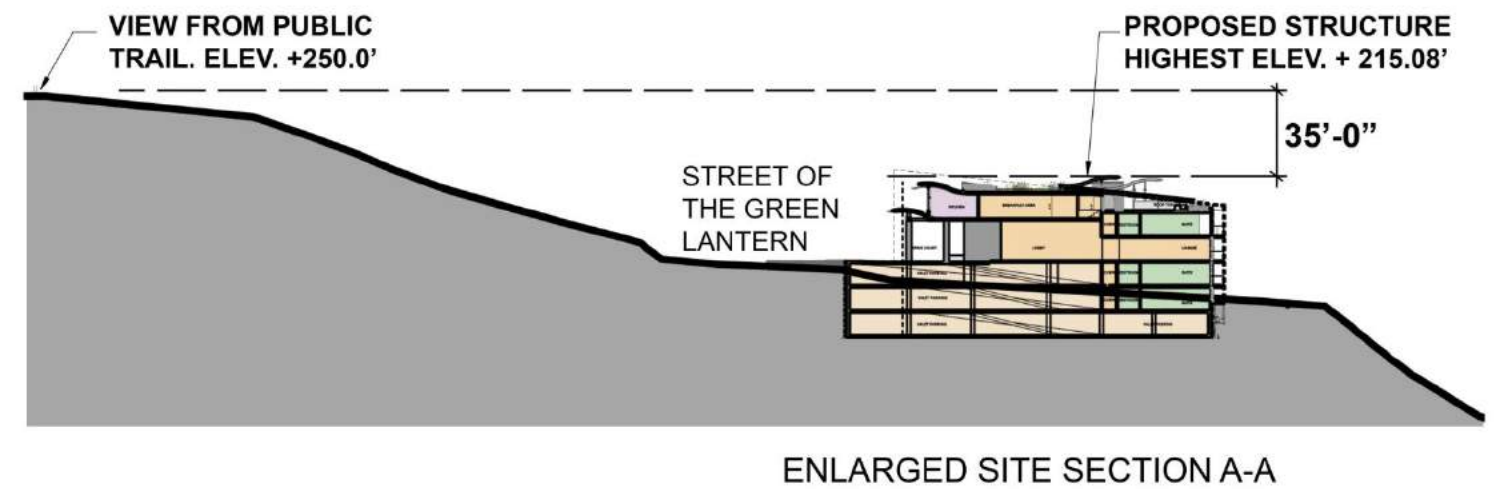
The overall parking for the circulation and layout has been reviewed by the relevant consultants and is typical of hotel valet parking. The tandem parking is acceptable when used in conjunction with a valet system and it optimizes parking while maintaining functionality.



Global Resorts, Inc.

LANTERN POINT HOTEL – PARKING STUDY





Global Resorts, Inc.

LANTERN POINT HOTEL – PUBLIC TRAIL STUDY





SITE– BEFORE



Global Resorts, Inc.

LANTERN POINT HOTEL – PUBLIC TRAIL IMAGES





SITE— AFTER



Global Resorts, Inc.

LANTERN POINT HOTEL – PUBLIC TRAIL IMAGES





VIEW #6
ELEV. +290.0'



VIEW #4
ELEV. +254.0'



VIEW #2
ELEV. +250.0'



VIEW #5
ELEV. +268.0'



VIEW #3
ELEV. +254.0'



VIEW #1
ELEV. +204.0'



Global Resorts, Inc.

LANTERN POINT HOTEL – PUBLIC TRAIL IMAGES





VIEW FROM BLUFF



PUBLIC TELESCOPE



PUBLIC BENCH

-Public Access of Trail-
The Lantern Point Hotel will work with the City of Dana Point to provide a 10' wide easement dedicated to the City of Dana Point for trail purposes. The hotel will work with the County of Orange to connect the trail to public sidewalks along Cove Road.



Global Resorts, Inc.

LANTERN POINT HOTEL – PUBLIC TRAIL ALONG BLUFF





BUILDING FORM

SUN SHADING

-Materials-

Walls: A combination of stone clad veneer walls, smooth trowelled stucco and glass. The color and texture of the stone veneer corresponds to the natural color and texture of local site materials. Exposed concrete finish is used for the parking levels and entrance ramp.

Canopies: The entrance and roof canopies are framed in metal with stone finish at the columns and composite wood at the underside of the canopies.

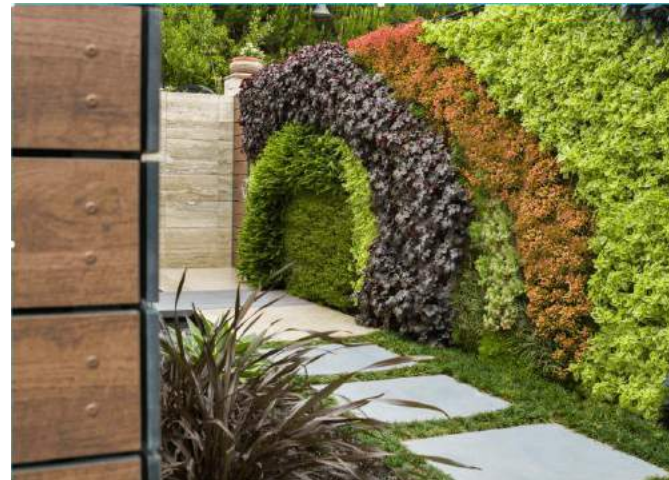
Balconies: Projecting balconies are finished concrete with a combination of metal and glass guardrails.



Global Resorts, Inc.

LANTERN POINT HOTEL – INSPIRATION - CASE STUDIES & DETAILS





MATERIALS

GREEN IDEAS

-Materials-

Roof: Approximately 40% of the roof is Green/ Live roof. The remaining portion of the roof deck is composite wood decking and palazzo pavers at the pool deck area.

Roof Canopies: The roof canopies are framed in metal with perforated metal panel louvers.

Windows: Dual glazed, tinted solar controlled glazing.

Staircases: Metal treads and railings.

Planters: Stone clad walls to enclosure.



Global Resorts, Inc.

LANTERN POINT HOTEL – INSPIRATION - CASE STUDIES & DETAILS



-Global Resorts, Inc. Background and Experience-

Chandu Patel, is the Chief Executive Officer of Global Resorts with over 45 years of experience in hotel management, development, and construction. Mr. Patel is also a licensed Real Estate Broker in the state of California and has long been active in site location, acquisition, and development. He is experienced in all aspects of the development process, from conceptualization through grand opening and beyond. He has built and managed over twenty different hotels, inns, and restaurants in Southern California. He is well known in the hospitality industry and has won many awards as well as guest speaker at universities.

Pankaj Pandya: Chief Financial Officer of Global Resorts. Mr. Pandya oversees for all aspects of accounting procedures, payroll, financing, and cost analysis for business operations for Global Hotels.

Sachin Amin, CHA: Chief Operating Officer of Global Resorts. Mr. Amin has had management experience in the hospitality Industry since 1985 and co-founded the Anaheim Resort Transportation, linking together hotels to tourist destinations, creating synergy for businesses in Anaheim, California. Mr. Amin join Global Resorts in 2000 and has since been overseeing operations as well as strategic planning.

Babu Patel, CHA: Vice President of Construction of Global Resorts. Mr. Babu Patel has managed and supervised several construction projects for Global Hotels. Mr. Patel is responsible for overseeing all construction projects, improvements, and maintenance of Global Resort properties.



Global Resorts, Inc.



Global Resorts, Inc.

Current and Past Hotel Projects:

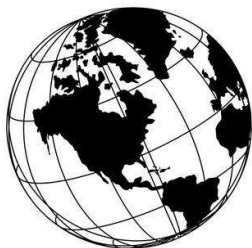
1. Comfort Suites, Huntington Beach, CA
2. Comfort Suites, San Clemente, CA
3. Comfort Inn, Downey, CA
4. Comfort Suites, San Diego, CA
5. Comfort Suites, Ontario, CA
6. Comfort Inn, Carson, CA
7. Cabrillo Motor Lodge, San Diego, CA
8. Quality Suites, San Clemente, CA
9. Quality Suites, Anaheim, CA
10. Travelodge, Ontario, CA
11. Travelodge and Center, Duarte, CA
12. Pacific View Hotel, Huntington Beach, CA
13. Dana Point Hilton, Dana Point, CA
14. Beverly Hills Reeves Hotel, Beverly Hills, CA
15. Penny Sleeper Inn, Anaheim
16. Econolodge, Pasadena, CA
17. El Vee Motel, Needles, CA
18. Shattuck Plaza Hotel Berkley, CA

Note: Thirteen hotels from the above list, including Hilton Hotel, Dana Point, currently Doubletree by Hilton, were built from the ground up by Mr. Chandu Patel.

Global Resorts represents many investors, many of whom are Doctors and Engineers, which enables us to take on many large scale projects. Moreover, Global Resorts has the expertise, track record, and financial capability to expand in the hospitality and food industries as well as to operate and manage successfully.



Global Resorts, Inc.



Global Resorts, Inc.

-MISSION STATEMENT-

To design ecologically and to achieve an integration of our built environment with nature in a positive way.

-ABOUT US-

People, Place, Process

People: We, at YNG Architects, have worked with the same values that first got us started and which continue to drive us today: A deep respect for the human spirit of creativity, collaboration and perseverance.

Place: We marvel at the uniqueness of the places and environment that we, as Architects, have been privileged to design and shape.

Process: And we value the dialogue with the people that we engage with that will enable the process of design to take an idea and shape it into a finished product.

These have been the core values and principles that have driven us in exploring a wide spectrum of architectural designs for the integration of our built and natural environment.



-PEOPLE-

Yenny C. Ng, CEO/Principal Architect

AIA, RIBA, NCARB, LEED AP

Yenny C. Ng, was born in Penang, Malaysia. He graduated from the School of Architecture of the highly regarded University of Nottingham, England with a B.A. (Hons) in Architectural Studies and a First Class Honors Masters degree in Architecture.

Since graduating from architecture school, Yenny's work has been far reaching, beginning his career working on projects in the U.K. and Europe while based in England, and later, when living in Singapore, extending his work in Asia, gaining a wealth of international experience. The work has been varied and interesting as the Office continues to innovate, with designs ranging from high end custom homes, to multi-family residential, churches and hotels.

In 2015, YNG Construction, Inc., was started to provide a Design Build option for our clients. This collaborative process has yielded successfully integrated construction projects such as the Los Angeles International Church of Christ Regional Church building at Rancho Cucamonga, CA. Among the various awards that he has received, is the Royal Institute of British Architects President's Medal for Architectural Education.



Ada Rose, Vice President/ Project Architect

AIA, LEED AP Homes

Ada graduated with a Bachelor in Architecture Degree from Cornell University in 1996. She became a licensed architect in 2008 and a LEED (Leadership in Energy and Environmental Design) Accredited Professional with a specialty in Homes in 2010. Ada joined YNG Architects in 2014.

Over the past 20 years she has worked in several southern California firms gaining experience in design, project management, and construction administration of high-end custom homes, multi-family housing, hospitality, and commercial, and institutional projects. Ada has also worked as a LEED AP consultant for several residential projects. As Vice President, Ada assists the CEO with management and planning of the firm.

As Project Architect, Ada brings together her strength in project management, talent for architectural design, and skill in coordinating the work of consultants. She takes projects from schematic design through the construction document phase, ensuring the Owner's desires are met and the design remains intact while the building adheres to the applicable zoning and building codes.

Fernando Niebla, Project Manager

Fernando began working at YNG Architects as an intern while at Woodbury University. In 2016 he received a Bachelor's Degree in Architecture.

Fernando is a skilled designer with knowledge in developing a wide range of architectural projects. He is also very skilled in creating 3D models, animations, and high quality rendering of building exteriors and interiors. Fernando's strengths lie in his keen attention to design and detailing; resolving complex technical and design issues, while keeping the client's needs in mind.

As Project Manager, Fernando, will oversee the realization of the design through plans, elevations, drawing details, as well material research while keeping the design in compliance with zoning codes and building regulations. Fernando works closely with the clients, Principal Architect and the project team to come up with the best design solutions.



LANTERN POINT HOTEL – COMPANY BIO

