

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JULY 22, 2019

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR OF COMMUNITY DEVELOPMENT
BELINDA DEINES, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP19-0003 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW 4,860 SQUARE-FOOT SINGLE-FAMILY RESIDENCE AND ATTACHED THREE-CAR GARAGE WITHIN THE RESIDENTIAL SINGLE FAMILY 3 (RSF 3) ZONING DISTRICT LOCATED AT 35481 CAMINO CAPISTRANO

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP19-0003.

APPLICANT: Bob Ott and Barbara Niksch, Property Owners

REPRESENTATIVE: John Taylor, Project Manager

REQUEST: Approval of a Coastal Development Permit to demolish existing structures, construct a new single-family dwelling and attached three-car garage, and construct improvements within 50' of a coastal bluff located within the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 35481 Camino Capistrano (APN 653-103-15)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on July 12, 2019, published within a newspaper of general circulation on July 12, 2019 and posted on July 12, 2019 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303(a) (Class 3 – New Construction) in that the project involves construction of one single-family dwelling in a residential zone.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP);
- Project compatibility with and enhancement of the site and surrounding neighborhood; and
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP).

BACKGROUND: The subject site is a 10,243 square-foot coastal bluff lot located in the Capistrano Beach neighborhood, which consists of an established and built-out neighborhood of single-family residences and duplex structures. The lot is approximately 56 feet in width and 180 feet in depth. The topography of the lot is predominantly a flat building pad area and descends down the coastal bluff facing Pacific Coast Highway. Currently, the site is improved with an existing 5,421 square-foot, two-story single-family residence with a 901 square-foot attached three-car garage. The existing structure was built in 1983 and is not identified as a historic resource. The site is bounded by vacant parcels to the north and south, coastal bluff and Pacific Coast Highway to the west, and residential development to the east (Supporting Document 2).

The property is located within the “Residential Single Family 3” (RSF 13) Zone, Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The proposed scope of work includes demolition of all existing structures, and landscaping, and construction of a new 4,860 square-foot, single-family residence and a 998 square-foot attached three-car garage. The total program consists of two levels of living area including three bedrooms, two offices, an exercise room, five bathrooms, and an open concept living, dining, and kitchen area. A 152 square-foot balcony is proposed at the rear of the property and accessed from the second story great room. The proposed three-car garage meets the covered parking requirement for a single-family residence with six bedrooms.

Table 1 summarizes applicable RSF 3 Zoning District development standards and the project’s conformance with those requirements:

Table 1: Compliance with RSF 3 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback	10’ minimum	20’	Yes
Garage Setback	20’ minimum	20’	Yes

Side Setbacks	8' minimum	8'; 9'	Yes
Bluff Setback	25' from bluff edge*	37'-3" from bluff edge	Yes
Height	26' for 4:12 roof 28' for 6:12 roof	26' 27'-4"	Yes
Lot Coverage	45% maximum	30.9%	Yes
Landscape Coverage	25% minimum	27%	Yes
Parking Required	3 covered parking spaces minimum for six bedrooms	3 covered parking spaces	Yes

**Bluff setback deviation recommended to be reduced from 40 feet to 25 feet.*

The neighborhood consists of one and two-story homes with varied architectural styles throughout the area. The project proposes a two-story house with a contemporary design. Gabled shingle roofing and standing seam metal roofing with varied roof provide architectural interest to ensure compatibility with neighboring properties. The exterior finishes include shiplap siding on the first story, vertical board and batten on the second story, shingle siding between the roof and second story plate height, and stone veneer for the cylindrical entry along the side of the structure (Supporting Document 3). The use of various materials helps break up the mass of the structure on all elevations.

A preliminary landscape plan has been submitted illustrating low water use plants proposed throughout the site. New landscaping would be subject to compliance with DPZC Chapter 9.55 for Water Efficiency Landscape Requirements.

The project as designed complies with all applicable development standards, including setbacks, parking, landscape area, and height limits. No deviations are requested.

Coastal Development Permit CDP19-0003

Pursuant to Section 9.69.040(b)(1) of the Dana Point Zoning Code, improvements within 50' of a coastal bluff, demolition of existing structures, and construction of a new single-family dwelling on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires approval of a Coastal Development Permit (CDP).

Coastal Bluff

The subject property is located on a coastal bluff, which requires submittal of a geotechnical report to determine the location of the edge of the coastal bluff (the point at which the site transitions from the flat building pad to the topographic descent to Pacific Ocean below), historic and projected future erosion of the site, as well as general site stability. The geotechnical analysis supports a deviation from the

property's established 40' setback to a minimum of 25', pursuant to DPZC Section 9.27.030(c). The main structure is proposed at 37'-3" from the determined bluff edge. The project's geotechnical report conclusions and foundation design were reviewed and deemed complete by City staff.

The proposed improvements located within the 25' coastal bluff setback includes minor development in the rear yard, which includes a concrete patio, planter, barbeque, seat wall, fire pit, and a decomposed granite path. These improvements have been reviewed in compliance with DPZC Section 9.27.030(c)(5)(B), and the geotechnical report concludes that these proposed improvements as designed are not expected to have an impact on the stability of the bluff (Supplemental Document 4). Development within the coastal bluff setback is limited to native and drought-tolerant landscaping, low-level walls, and hardscape without deepened structural footings. No irrigation is proposed within the 25' coastal bluff setback. The proposed project complies with all requirements relative to the property's coastal bluff.

DPZC Section 9.69.070 stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*

- 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 19-07-22-XX, attached to this report as Action Document 1.

CORRESPONDENCE: To date, no correspondence has been received regarding this project.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends that the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 19-0003 subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Matt Schneider, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 19-07-22-xx

Supporting Documents

2. Vicinity Map
3. Color and Material Sample Boards
4. Geotechnical Comments, Petra Geosciences – July 11, 2019
5. Site Photos
6. Architectural Plans

Action Document 1: Draft Planning Commission Resolution No. 19-07-22-xx

RESOLUTION NO. 19-07-22-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING COASTAL DEVELOPMENT PERMIT CDP19-0003 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW, TWO-STORY, SINGLE-FAMILY DWELLING ON A COASTAL BLUFF LOT AT 35481 CAMINO CAPISTRANO

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Robert Ott and Barbara Niksch (the "Applicant") are the owners of real property commonly referred to as 35481 Camino Capistrano (APN 653-103-15) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow the demolition of an existing single-family dwelling and the construction of a new single-family dwelling and attached garage on land containing a coastal bluff at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that it proposes construction of one new single-family dwelling and attached garage; and

WHEREAS, the Planning Commission did, on the 22nd day of July, 2019 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP19-0003.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP19-0003 subject to conditions:

Findings:

Coastal Development Permit CDP19-0003

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and; that the project will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by the new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not located between the first public roadway and the sea or shoreline, that the property is an already developed lot zoned for residential use and located on land that does not contain public accessways or areas of recreation. Moreover, adequate public access to the coast or areas of recreation exist nearby at City, County and State beaches and parks; therefore, the project will conform to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) for the construction of one new single-family dwelling with the attached garage.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is a developed parcel containing no environmentally sensitive habitat area (ESHA) and therefore the proposed**

improvements would not result in adverse impacts.

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property containing a single-family dwelling. The proposed dwelling would be less than the existing footprint and overall floor area and so its development would require minimal grading or other landform alteration/disturbance. Prior to commencement of construction, the project will be conditioned to obtain a building permit, adherence to which will minimize undue risk to the property from future erosion, property slippage, geologic instability, as well as flood and fire hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the subject project would demolish an existing single-family dwelling and construct a new two story single-family dwelling of similar height, story-count and overall massing as others in the vicinity, utilizing new and aesthetically pleasing colors and materials. Implementation of the subject project would result in new development that is visually compatible with surrounding structures and constitute an overall enhancement of the property.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by the Planning and Building/Safety Divisions as well as the Public Works/Engineering Department and been found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

A. General:

1. Approval of this application permits the allow demolition of an existing single-family dwelling and construction of a new, two-story, 4,860 square foot, single-family dwelling with an attached 998 square-foot three-car garage at 35481 Camino Capistrano.

Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission and in compliance with the applicable provisions of the Dana Point General Plan and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising

out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. The project shall meet all water quality requirements, including those for implementation of Low Impact Development (LID).
10. An Encroachment Permit shall be obtained from Public Works-Engineering prior to any work within the City Right-of-Way.
11. A grading permit shall be obtained prior to any work, including demolition of existing structures.
12. The Applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable/internet television services.
13. The Applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant shall provide erosion control measures of a type, size and location as approved by the Director of Public Works. Erosion control measures shall be shown and specified on the grading plan and constructed to the satisfaction of the Director of Public Works prior to the start of any other grading operations. The Applicant shall maintain all erosion control devices until final approval of all permits.
14. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of

the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.

15. The applicant shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity. During all construction activities the approved bluff edge shall be staked and delineated on-site. The approved bluff edge shall remain delineated during all phases of construction activity and inspections.
16. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the 25-foot bluff edge setback as determined by the geotechnical consultant (Petra Geosciences, Inc.). Improvements located seaward of the 25-foot bluff edge setback shall be limited to non-permitted items.
17. Per Municipal Code Section 9.27.030(c)(5), the grading (fill) allowed within the determined 25-foot bluff edge setback shall be located landward of the estimated 50-year future bluff retreat and is limited solely to the level needed to provide positive drainage to the street.
18. The 25' bluff edge setback deviation, as justified by the submitted geotechnical documents, shall be clearly shown on all plans submitted for review and approval.
19. Separate review, approval, and permits are required for:
 - Retaining walls
 - Shoring walls
 - Fire sprinklers
 - Demolition of structures
 - Site walls over three feet
 - Pool and spa
20. The applicant shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
21. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

B. Prior to Issuance of a Grading Permit:

22. The applicant shall submit an application for a grading permit. The grading permit application shall be in compliance with City standards and submitted for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual, and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
23. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
24. All plans submitted shall reflect the determined bluff edge and all associated setbacks as shown on the submitted "Response to City of Dana Point 2nd Review Letter dated January 21, 2019 Regarding 35481 Camino Capistrano, Dana Point, County of Orange, California," by Petra Geosciences, Inc., dated February 28, 2019 and submitted March 4, 2019.

C. Prior to Issuance of a Building Permit:

25. Building plan check submittal shall include the following construction documents:
 - Building Plans (4 sets)
 - Electrical/Plumbing/Mechanical plans by a Registered Design Professional
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)
 - Drainage Plan

All documents prepared by a registered-design-professional shall be wet-stamped & signed.
26. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
27. Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
28. Minimum roofing classification is Class "A".

29. Fire sprinkler system is required.
30. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
31. The Applicant shall submit for review and approval by the Planning and (if applicable) Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code, preliminary plans approved by the Planning Commission, as well as the following:
 - *All proposed plantings within 25 feet of the edge of the property's coastal bluff shall be of a variety that is both California native and drought tolerant.*
 - *Any existing irrigation within 25 feet of the edge of the property's coastal bluff shall be removed and; no new irrigation is permitted within the area of the setback from edge of bluff.*
32. The Applicant shall execute the City's standard deed restriction and submit to the City and through City staff, the City Attorney, for review and approval. The deed restriction shall stipulate the following:
 - *That the Applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards;*
 - *That the Applicant unconditionally waives any claim of liability on the part of the City or any other public agency from any damage from such hazards;*
 - *That the Applicant assumes all liability for damages incurred as a result of any required off-site grading.*
33. The applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall include the bluff top setback area and be in accordance with the approved grading plan and City of Dana Point Municipal Code for improvements allowed within the 25-foot bluff edge setback.
34. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the

approved grading plans and reports.

35. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the Civil Engineer (standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades (to the nearest 0.1') to the satisfaction of the City Engineer. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
36. The applicant shall submit a rough grade certification from the Geotechnical Engineer/Engineering Geologist of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
37. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, geologic mapping, caisson drilling, as well as a geotechnical map depicting the limits of grading, geologic mapping/caisson drilling, locations of all density testing, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report and addenda.
38. Building Code Analysis: Provide building code analysis showing conformance to the Chapter 3 and 5 of the CBC. Specify occupancy group(s), type(s) of construction, including fire sprinklers, location on property, actual and allowable floor area, building height, number of stories, and conforming exiting.
39. Soils Report (1803): Unless waived, submit a foundation and soils investigation report by a Registered Design Professional and

conducted in conformance with CBC Section 1803.3 through 1803.5.
The report shall comply with CBC Section 1803.6.

40. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

D. Following Issuance of a Building Permit:

41. Prior to commencement of framing, the Applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP19-0003. The City's standard "Setback Verification Certification" form shall be obtained at time of permit issuance, prepared by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval.
42. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP19-0003. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

E. Prior to Issuance of a Certificate of Use and Occupancy:

43. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
44. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
45. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction of line and grade for all engineered drainage devices and retaining walls.

46. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
47. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
48. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030 and approved geotechnical reports, with no new structure foundations or improvements requiring a building permit within the determined 25' bluff edge setback.
49. All project landscaping within all yards shall be installed prior to scheduling of a final inspection of the project by the Planning Division.
50. Prior to scheduling a final inspection, the Applicant shall submit to the Project Planner, a written, wet-stamped and signed certification from a California-licensed landscape architect that all plantings within the property's approved setback from edge of bluff were installed in conformance with the project's approved Final Landscaping Plan.
51. The Applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

PLANNING COMMISSION RESOLUTION NO. 19-07-22-xx
CDP19-0003
PAGE 12

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 22nd day of July, 2019, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

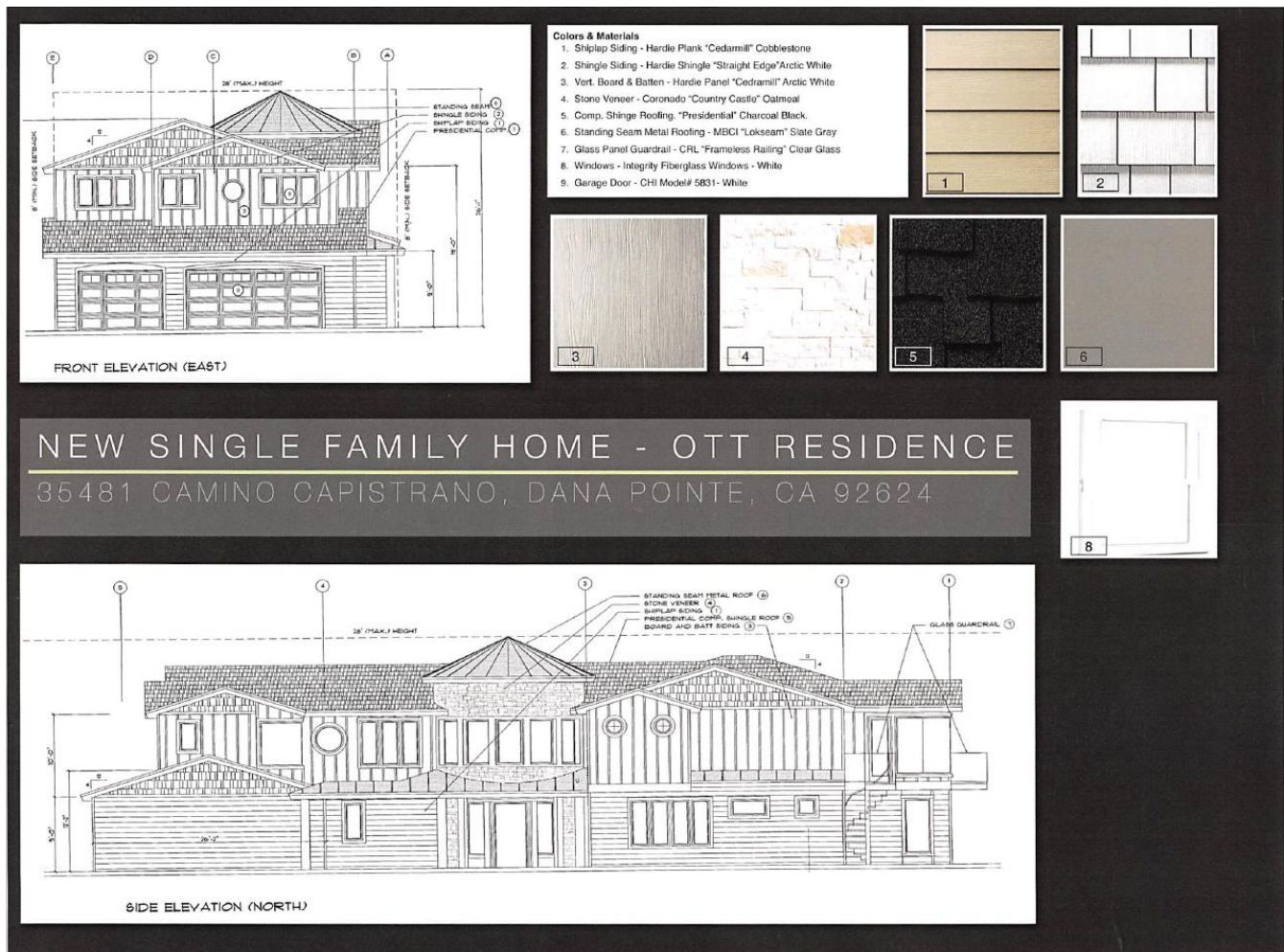
Roy Dohner, Chairperson
Planning Commission

ATTEST:

Matt Schneider, Director
Community Development Department

[illegible]

Supporting Document 3: Color and Material Sample Boards



Supporting Document 4: Geotechnical Comments, Petra Geosciences
 – July 11, 2019



ENGINEERS + GEOLOGISTS + ENVIRONMENTAL SCIENTISTS

July 11, 2019
J.N. 18-161

MR. BOB OTT

c/o South Pointe Construction, Attention Mr. Gavin Sermon
29379 Rancho California Road, Suite 106
Temecula, California 92591

Subject: Geotechnical Comments Regarding Minor Development Within Coastal Bluff
 Edge Setback, 35481 Camino Capistrano, Dana Point, County of Orange,
 California

References: See Attached List

Dear Mr. Ott:

Pursuant to your request, presented herein are our comments regarding the minor development (as defined by section c5B of the Development Standards presented in Chapter 9.27.030 of the City of Dana Point Municipal Code) proposed for construction in the back yard of the subject project.

We have reviewed grading plans for the project that were provided this office on July 10, 2019. The plans were signed by the project civil engineer on July 3, 2019. The plans indicate that backyard improvements are to include a concrete patio, planter, barbeque, seat wall, fire pit, and a decomposed granite path. Portions of these proposed improvements will encroach into the Coastal Bluff Edge Setback designated for this site. However, provided that the design and construction of the proposed improvements are performed in accordance with the geotechnical recommendations provided in the reference reports and in accordance with the Municipal Code of the City of Dana Point, along with drainage being directed away from the top of the bluff as indicated on the grading plan, these minor improvements are not expected to have an impact on the stability of the adjacent bluff. This expectation is conditioned on the presumption that the proposed improvements and drainage will be maintained and not adversely altered over the life of the project.

MR. BOB OTT
c/o South Pointe Construction
35481 Camino Capistrano / Dana Point

July 11, 2019
J.N. 18-161
Page 2

It should be noted that while these minor improvements are not expected to have an impact on the stability of the adjacent bluff, any improvements constructed within ten feet of the top of the bluff may themselves experience the adverse effects of slope creep (minor tilting, cracking) over the long term.

This transmittal is subject to review by the controlling authorities for the subject project. If you have any questions or require additional information, please contact the undersigned at (714) 549-8921.

Respectfully submitted,

PETRA GEOSCIENCES, INC.



Don Obert
Associate Engineer
RGE 2872



DO/iv

Attachments: References

W:\2014-2019\2018\18-161 Bob Ott (35481 Camino Capistrano, Dana Point)\Reports\18-161 450 Geotechnical Comments.docx

Supporting Document 5: Site Photos





Supporting Document 6: Architectural Plans
ATTACHMENT

SUMMARY OF WORK:

The Contractor shall verify all dimensions and conditions on the plans and at the site and shall notify the Architect of any discrepancies found.

REGULATORY REQUIREMENTS CODES:

All work shall comply with applicable State statutes, city ordinances and the regulations of other agencies having jurisdiction. The contractor shall assume full responsibility for complying with the construction safety orders of the State Division of Industrial Safety, the regulations of the Federal and State Occupational Safety and Health Administrations, and such other agencies governing the contractor's acts. The Contractor shall be responsible for and hold harmless the Architect for any damages and/or penalties resulting from his failure to comply with said laws, statutes, ordinances, and regulations.

ALTERNATIVES:

No alternate methods of construction or substitutions shall be allowed without approval of the Architect:

DISCREPANCIES:

Drawings take precedence over specifications, detailed drawing and specifications take precedence over general drawings and specifications, dimensions take precedence over scaled measurements.

The General Contractor shall co-ordinate and verify with the plumbing, mechanical, and electrical contractors the size and location of all piping, ductwork, trenches, sleeves, special bolting for equipment conduits, etc., through and under concrete slabs prior to pouring of footings and floor slabs.

The design, adequacy ,and safety of erection bracing, shoring, temporary supports, etc is the sole responsibility of the Contractor, and has not been considered by the Structural Engineer.

GENERAL NOTES

- The contractor shall in the work of all trades perform any and all cutting and patching necessary to complete the work, and shall protect the existing building from damage caused by the work. The contractor shall repair and restore the existing construction to it's original condition to the satisfaction of the owner.
- The contractor shall not disrupt existing services, operations or utilities, without obtaining owners prior approval and instructions.
- Coordinate demolition and construction to remain so as to provide the best possible joint or underlying surface for the new work.
- All construction and workmanship shall conform to local building codes.
- The contractor shall visit the job site and be responsible for the verification of all conditions and dimensions prior to commencing construction.
- The contractor shall be responsible for leaving all finish surfaces clean at completion of the work and shall remove all excess material and debris from the job regularly.

GENERAL NOTES

- The contractor shall verify all dimensions before starting work. The owner shall be notified immediately of any discrepancies. Contractor is responsible for the accurate placement of the building on the site
- Plans and specifications shall conform to all local codes.
- The contractor shall be responsible for leaving all finish surfaces clean, at completion of the work and shall remove all excess material and debris from the job regularly.

SITE WORK

- Provide labor, materials, equipment and services necessary for excavating, backfilling and compacting in accordance with architectural drawings and these specifications.
- The contractor shall remove all excess materials from the site and repair any damaged areas to the owner's satisfaction.

CONCRETE / FOUNDATION

- Furnish, install and finish concrete work complete, including grading under all slabs, plastic membranes, form work, reinforcing, etc., and placement of bolts, supplied by other trades as indicated on drawings.
- All concrete for slabs on grade shall have 4500 psi ultimate compressive strength in 28 days. Slab finish to be wood float and steel trowel to smooth dense finish. Apply broom finish to exposed slab surfaces.
- All reinforcing steel and anchor bolts shall be well secured in position prior to pouring concrete.
- Provide 5/8"dia. x 10" anchor bolts embedded 7" in concrete @ 48" O.C. (or as with bolt maximum 9" from sill ends.
- Concrete shall be type V cement and have a maximum 0.45 water / cement ratio
- Reinforcing steel shall be intermediate grade deformed bars conforming to ASTM A-615 and A-305.
-
- Minimum protective coverage of steel in concrete footing pad or any concrete poured against earth shall be 3"; slab- 3/4".
-
- Note: extend one lower footing bar up 18" above finish floor for electrical ground at service panel, bar 20'-0" long minimum.
- The slab shall be placed over 2" sand over 10 mil. plastic film vapor barrier. The vapor barrier shall be properly lapped and sealed.

WOOD FRAMING

- All framing lumber shall be douglas fir no. 2 grade or larch except as noted. Studs shall be douglas fir no. 2 grade. All posts and beams shall be graded no. 1.
- All lumber in contact with concrete less than 48" from the ground shall be pressure treated or durable wood.
- The number and size of nails connecting wood members together shall be in accordance with Table 2304.10.1 of the Calif. Building Code unless otherwise noted or detailed.
- Isolated wood posts shall be attached to concrete slab or foundations with ICC approved metal anchors. Separate from concrete 1" with min. 1/8" thick metal plate. Isolated wood posts shall be attached to beams at top with ICC approved metal post caps or straps.

- Plywood notes:
 - Douglas fir PS-1-94
 - Face grain shall be perpendicular to joists.
 - Stagger all joints
 - Plywood shall be structural grade as graded by an approved grading agency
 - All plywood used on walls, roofs, floors, shall be bonded with exterior glue.
 - Roof diaphragm nailing: min. 8d box nails@ 6" O.C.@ edges; 12" O.C. @ intermediate supports.
- Top plate of all stud walls shall be two pieces same size as studs, splices to lap 4'-0" min. and nailed with (8) 16d min. each side of joint.
- Provide 18g. x 1 1/4" Simp. ST12 where plates are interrupted or broken.
- Holes for bolts shall be same size as bolts or 1/16" larger.
- Provide 2x3 cross bridging @ 10'-0" O.C. for roof joists (or approved metal cross bridging).
- Floor joists shall have blocking @ 8'-0" O.C.
- Provide 2x solid blocking at each support.
- Provide double joists under parallel partitions.
-
- Provide 2x solid fire blocking stud walls and partitions, including furred spaces, so placed that maximum dimension of any concealed space does not exceed 10'-0". Also firestop at ceilings and furred soffits.
- Unless otherwise noted, all exterior wall studs shall be 2x4 @ 16" O.C.; interior walls shall be 2x4 @ 16" O.C. with larger studs to be provided where required to accommodate plumbing lines electrical panels, etc.
- Provide minimum 1" clearance between all wood and fireplace chimney.
- Header schedule:

2 - 2x4 to 3'-0"

2 - 2x6 to 4'-0"

2 - 2x8 to 6'-0"

2 - 2x10 to 8'-0"
- Contractor shall provide necessary blocking, backing and framing for light fixtures, electrical units, A.C. equipment, and all other misc. items requiring same.
- Header joists over 6'-0" long and tail joists over. 12'-0" long shall be supported by approved metal hangers.
- HANGING OF WOOD DOORS AND WINDOWS: Sand and refinish doors and window sash as required. Hang doors with clearances of not more than 3/32" at head and jambs; 1/2" or as required at sills. Bevel lock edge. Install windows as indicated on plans. Do all mortising for hardware before finish is applied. Do not install hardware until painting/staining is complete. Keep all hardware free from scratches, dents or other defacements.
- Framing contractor shall supply all sisalkraft paper used at exterior door and window frames.
- Framing contractor shall supply and apply approved mastic caulking material at all points in the framing where leaks are apt to occur. This shall include, but is not limited to, sills, flashings, windows, etc. Special care shall be used in the application of all sisalkraft and building papers to prevent leaks, using waterproof lap over all doors and windows.
- Exposed overhangs shall be 1"x 6" tongue and groove S4S solid from fascia to Roof sheathing must edge nail into frieze/shear block for proper shear transfer from roof to wall.

ENERGY INSULATION

- All exterior walls shall be insulated with blanket-type mineral fiber or glass fiber insulation conforming to federal spec. HH-1-521 E with a thermal resistance (R) of not less than 13
- All ceilings of roof ceiling assemblies shall be insulated with blanket-type mineral or glass fiber insulation conforming to federal spec. HH-1-521 E with a thermal resistance (R) of not less than 30.
- Swinging doors or windows to the exterior or to unconditioned spaces such as garages shall be fully weather-stripped to limit air infiltration.
- All sliding glass doors and windows shall be certified and labeled to show conformance with air infiltration standards of American National Standards Institute
- All heating or cooling ducts located outside the building energy envelope shall have all joints and seams sealed and shall be insulated with a minimum 1" thick (.5lb/cuft.) fibrous insulation.
- Insulate interior walls around bathrooms and service rooms adjacent to habitable areas and floor/ceiling assemblies above habitable areas with fiberglass or mineral wool batts, 3 1/2" thick.

FINISHES

- Paper backed plaster lath to be "stucco-rite" galvanized wire mesh with paper backing or equal.
- The application shall be a three coat application consisting of scratch coat, brown coat and finish coat. Proportions to meet manufacturer's recommendations and shall be in accordance with the recommendations of the California Lathing and Plastering Contractor's Association and the American National Standards Institute, Standards A422 and A423.
- Painting materials shall be of general quality as Sherwin-Williams, Sinclair, Dunn-Edwards, or Devco Products. All primer and finish coats including color pigments, shall be lead free. Colors as directed by owner.

EPOXY MORTAR

- Materials: Simpson Set XP ESR 2508 epoxy mortar or equal.

GYPSUM WALLBOARD

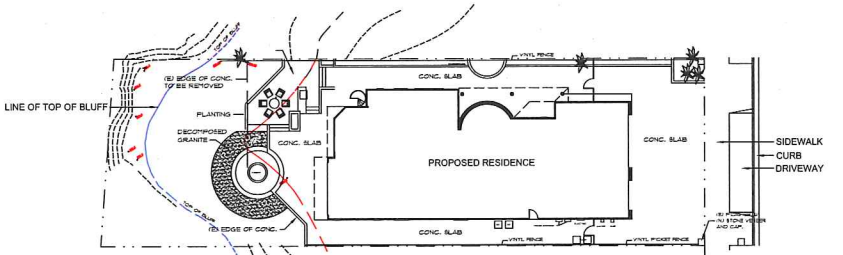
Gypsum board, ASTM C36, regular 1/2" typical, 5/8" Type "X" fire code for walls and ceilings where indicated complete with manufacturer's standard metal trim accessories at connections with other materials.

PAINTING

Painting materials shall be of general quality as Dunn-Edwards, or Frazee Products. All primer and finish coats including color pigments, shall be lead free. Colors as directed by Owner. Painting shall be in accordance with the recommendations of the "Painting and Decorating Contractor's of America" Architectural Specifications Manual and manufacturer's installation instructions.

RESIDENTIAL CONSTRUCTION PLANS FOR:
Ott Residence
35481 Camino Capistrano, Dana Point, CA. 92624

(N) BUILDING FOOTPRINT: 3348 SQFT.
SIZE OF THE LOT: 10,243 SQFT.
LOT COVERAGE: 32.6%



NOTE - LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MIN. OF 6" WITHIN THE FIRST 10'.

NOTE: HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.

SPECIAL INSPECTION

DEPUTY INSPECTORS ARE REQUIRED TO BE REGISTERED W/ THE CITY OF DANA POINT

SPECIAL INSPECTION IS REQUIRED FOR:
EPOXY ANCHORS
STEEL CONSTRUCTION, WELDING



NPDES NOTES

- In case of emergency, call _____ at work phone # _____ or home phone # _____
- Sediment from areas disturbed by construction shall be retained on site using structural controls to the maximum extent practicable
- Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
- Appropriate BMP's for construction related materials, wastes, spills shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
- Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to reduce or remove sediment and other pollutants
- All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas
- At the end of each day of construction activity all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins
- Construction sites shall be maintained in such a condition that an anticipated storm does not carry wastes or pollutants off the site. Discharges of material other than stormwater only when necessary for performance, completion of construction practices and where they do not cause or contribute to a violation of any water quality standard: cause or threaten to cause pollution, contamination, or nuisance: or contain a hazardous substance in a quantity reportable under Federal Regulations 40 CFR Parts 117 and 302.
- Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, glues, limes, pesticides, herbicides, wood preservatives and solvents; asbestos fibers, paint flakes or stucco fragments; fuels, oils lubricants, and hydraulic, radiator or battery fluids; fertilizers, vehicle/equipment wash water and concrete wash water; concrete, detergent or flammable wastes; wastes from any engine/equipment steam cleaning or chemical degreasing and superchlorinated potable water line flushing. During construction, permittee shall dispose of such materials in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Dewatering of contaminated groundwater, or discharging contaminated soils via surface erosion is prohibited. Dewatering of non- contaminated groundwater requires a national pollutant discharge elimination system permit from the respective State Regional Water Quality Control Board. Graded areas on the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage is to be directed toward dewatering facilities.
- The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.
- The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plans.
- The permittee shall notify all general contractors, subcontractors, material suppliers, lessors, and property owners: that dumping of chemicals into the storm drain system or the watershed is prohibited.
- Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent
- All removable erosion protective devices shall be in place at the end of each working day when the 5-day rain probability forecast exceeds 40%
- Sediments from areas disturbed by construction shall be retained on site using an effective combination of erosion and sediment controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to the streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
- Appropriate BMP's for construction related materials, wastes, spills or residues shall be implemented and retained on site to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff.

FLOOR LIVE LOAD	40 PSF
ROOF LIVE LOAD	20 PSF
WIND SPEED	110 MPH
OCC CATAGORY	II
SEISMIC DESIGN CAT.	D
SEISMIC FORCE RESIST SYS.	BEAR'G WALL (A)
IMPORTANCE FACTOR	1
WIND EXPOSURE	C
Ss	1.322
Sd1	0.498
Sds	0.881
DESIGN BASE SHEAR	0.126
ALLOWABLE STRESS	0.090
REDUNDANCY	0.117
R	6.5

CODE USED	2016 ED. CRC / CBC
OCCUPANCY	R-3
TYPE OF CONSTRUCTION	TYPE V-B - SPRINKLERED
AREA OF NEW WORK	3346 SQFT. EXISTING FIRST FLOOR - DEMO 2976 SQFT. EXISTING SECOND FLR - DEMO 2171 SQFT. NEW FIRST FLOOR 2689 SQFT. NEW SECOND FLOOR 998 SQFT. NEW GARAGE 150 SQFT. NEW DECK
DESCRIPTION OF WORK	CONSTRUCT NEW TWO STORY WOOD FRAME RESIDENCE WITH GARAGE ADD NEW SITE WORK, LANDSCAPING
PLANS COMPLY WITH	2016 ED. CALIFORNIA BUILDING CODE 2016 ED. CALIFORNIA RESIDENTIAL CODE 2016 ED. CALIFORNIA PLUMBING CODE 2016 ED. CALIFORNIA MECHANICAL CODE 2016 ED. CALIFORNIA ELECTRICAL CODE 2016 ED. CALIF. ENERGY EFFIC. STDs. 2016 ED. CALIF. GREEN BLDG. STDs.
ASSESSOR'S PARCEL #	653-103-15
SITE CLASS	D - STIFF SOIL (SC)
WIND SPEED	110 MPH - EXPOSURE C

SHEET INDEX

NO.	DESCRIPTION
A1	TITLE SHEET - GENERAL NOTES - SITE
A2	SITE GRADING, DRAINAGE PLAN
A3.1	EXIST'G FLOOR PLAN - DEMO
A3.2	EXIST'G EXTERIOR ELEVATIONS
A3.3	EXIST'G EXTERIOR ELEVATIONS
A4.1	NEW FIRST FLOOR PLAN
A4.2	NEW SECOND FLOOR PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A6	ROOF PLAN
A7	DOOR AND WINDOW SCHEDULES
A8	BUILDING SECTIONS
G1	GRADING PLAN GENERAL NOTES
G2	GRADING PLAN - DEMOLITION
G3	GRADING PLAN AND UTILITY PLAN
G4	GRADING PLAN - EROSION CONTROL
G5	TOPOGRAPHIC SURVEY
LI	LANDSCAPE PLAN

The contract drawings and specifications represent the finished structure, unless otherwise shown. They do not indicate the method of construction. The contractor shall supervise and direct the work and he shall be solely responsible for all construction means, methods, techniques, sequences and procedures. Observation visits to the site by field representatives of the Architect/Engineer shall not include inspection of the protective measures or the construction procedures required for same. Any support services performed by the Architect/Engineer during construction shall be distinguished from continuous and detailed inspection services which are furnished by others. These support services performed by the Architect/Engineer, whether of material or work, and whether performed prior to, during, or after completion of construction are performed solely for the purpose of assisting in quality control and in achieving conformance with contract drawings and specifications, but they do not guarantee contractors performance and shall not be construed as supervision of construction.

Unless otherwise provided in the contract documents, the contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery, water, heat, utilities, transportation, lancing, barnacles and other facilities and services necessary for the proper execution and completion of the work, whether temporary or permanent and whether or not incorporated or to be incorporated in the work.

The contractor shall be responsible for all cutting, fitting or patching that may be required to complete the work or to make its several parts fit together properly.

Seal



No.	Revision

RESIDENTIAL CONSTRUCTION PLANS FOR:

Ott Residence
35481 Camino Capistrano, Dana Point, CA. 92624

Sheet Title

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Date

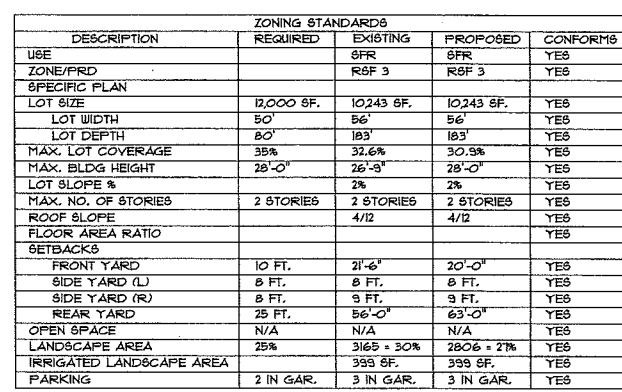
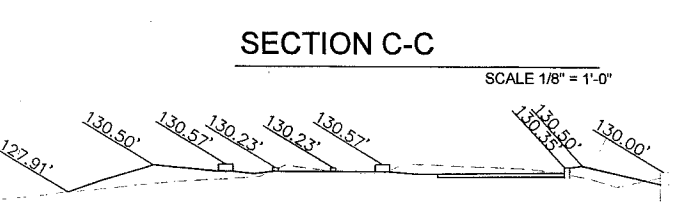
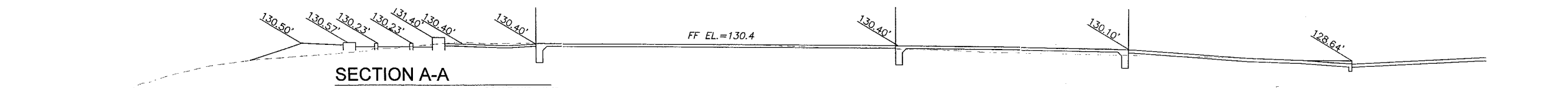
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Job No.

Sheet No.

A1










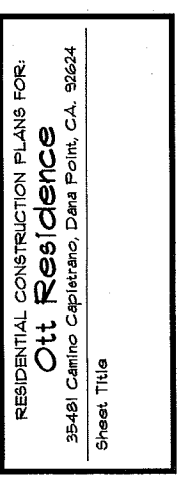
----- ELEMENT ABOVE
 _____ FOOTPRINT OF HOUSE - PROPOSED
 - - - - - TOP OF SLOPE & SETBACK FROM SLOPE

DESCRIPTION	PROJECT DATA			REMODEL AREA
	EXISTING	PROPOSED	TOTAL	
FLOOR AREA				
LOWER LEVEL	2445 SF.	211 SF.		
UPPER LEVEL	2316 SF.	2693 SF.		
TOTAL LIVING AREA	5421 SF.	4860 SF.		
GARAGE AREA	901 SF.	938 SF.		
GROSS FLOOR AREA	6322 SF.	5058 SF.		
ELEVATED DECK/TERRACE	105 SF.	152 SF.		
MECHANICAL	N/A	N/A		

IMPERVIOUS SURFACES	LOT AREA		% OF LOT AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED
STRUCTURE	3346 SF.	3169 SF.	32.6%	30.9%
HARDSCAPE (W/ DRIVEWAY)	3732 SF.	4268 SF.	36.4%	41.6%
TOTAL	7078 SF.	7437 SF.	69%	72.5%

LANDSCAPE KEY

- | | |
|---|--|
|  | DECOMPOSED GRANITE GRAVEL - GROUND COVER |
|  | SHRUB 16" TALL, 12" WIDE |
|  | SHRUB TRIMMED TO 12" - 24" TALL AND WIDE |
|  | FLOWERS, SPECIES TBD |
|  | FLOWERING BUSH - PERENNIAL
12 - 18" TALL, 24 - 26" WIDE |
|  | NATURAL UNDISTURBED |
|  | EXISTING PALM |



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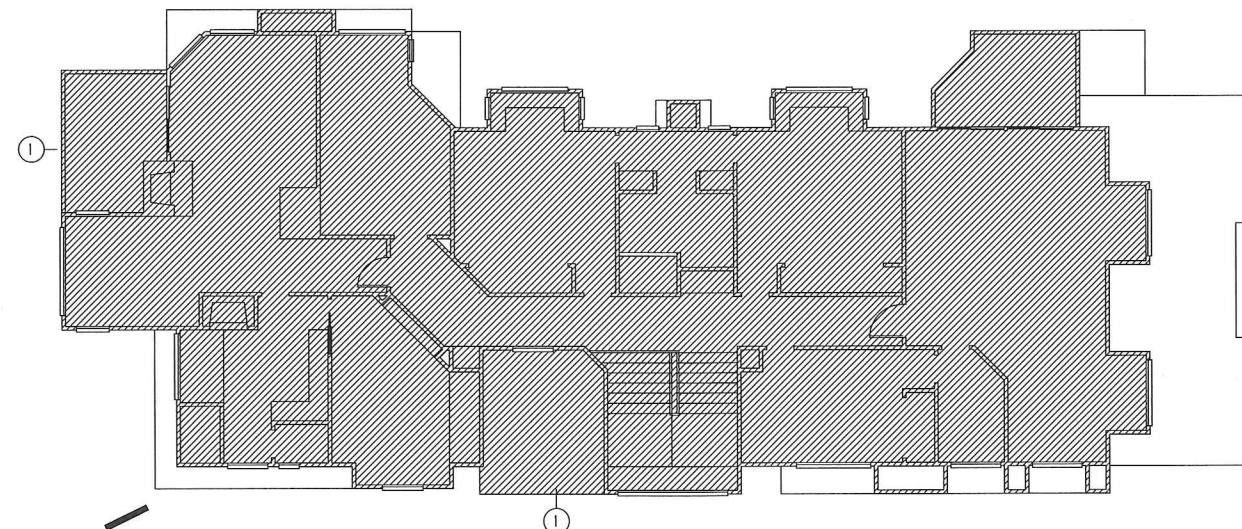


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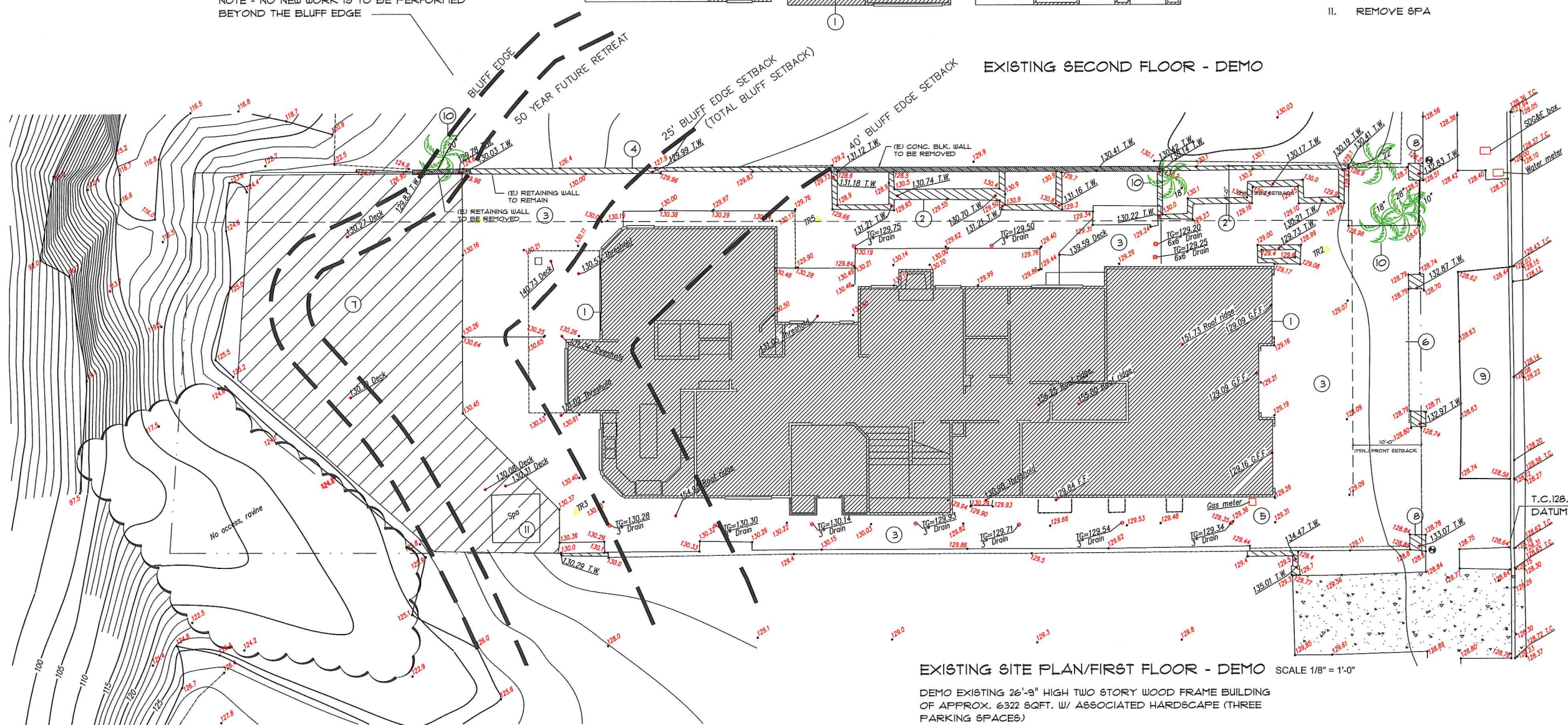
PROJECT DATA				
DESCRIPTION	EXISTING	PROPOSED	TOTAL	REMODEL
FLOOR AREA				
LOWER LEVEL	2445 SF.	2111 SF.		
UPPER LEVEL	2916 SF.	2689 SF.		
TOTAL LIVING AREA	5421 SF.	4800 SF.		
GARAGE AREA	901 SF.	998 SF.		
GROSS FLOOR AREA	6322 SF.	5898 SF.		
ELEVATED DECK/TERRACE	105 SF.	152 SF.		
MECHANICAL	N/A	N/A		

DEMOLITION (LIN. FT.)	EXISTING	REMOVED	REMAINING	DEMO %
EXTERIOR WALLS	586 FT.	586 FT.	0 FT.	100%
INTERIOR WALLS	458 FT.	458 FT.	0 FT.	100%
TOTAL WALLS	1044 FT.	1044 FT.	0 FT.	100%



- DEMOLITION NOTES
1. REMOVE EXISTING STRUCTURE - ALL CONCRETE AND ALL FRAMING
 2. REMOVE MASONRY PLANTERS AND LEVEL SOIL
 3. REMOVE CONCRETE FLATWORK
 4. REMOVE FENCE
 5. REMOVE UTILITIES - SEWER, WATER, ELECTRICITY GAS BACK TO PROPERTY LINE
 6. REMOVE GATES AND PEIRS
 7. REMOVE DECK AND SUPPORTS
 8. PEIR TO REMAIN
 9. DRIVEWAY APPROACH TO REMAIN
 10. TREES TO REMAIN
 11. REMOVE SPA

NOTE - NO NEW WORK IS TO BE PERFORMED BEYOND THE BLUFF EDGE



EXISTING SITE PLAN/FIRST FLOOR - DEMO SCALE 1/8" = 1'-0"

DEMO EXISTING 26'-9" HIGH TWO STORY WOOD FRAME BUILDING OF APPROX. 6322 SQFT. W/ ASSOCIATED HARDSCAPE (THREE PARKING SPACES.)

Seal

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Scale 1/8" = 1'-0"

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Job No.

Sheet No.

A3.1



FRONT ELEVATION (EAST) - EXISTING TO BE DEMOED



SIDE ELEVATION (NORTH) - EXISTING TO BE DEMOED



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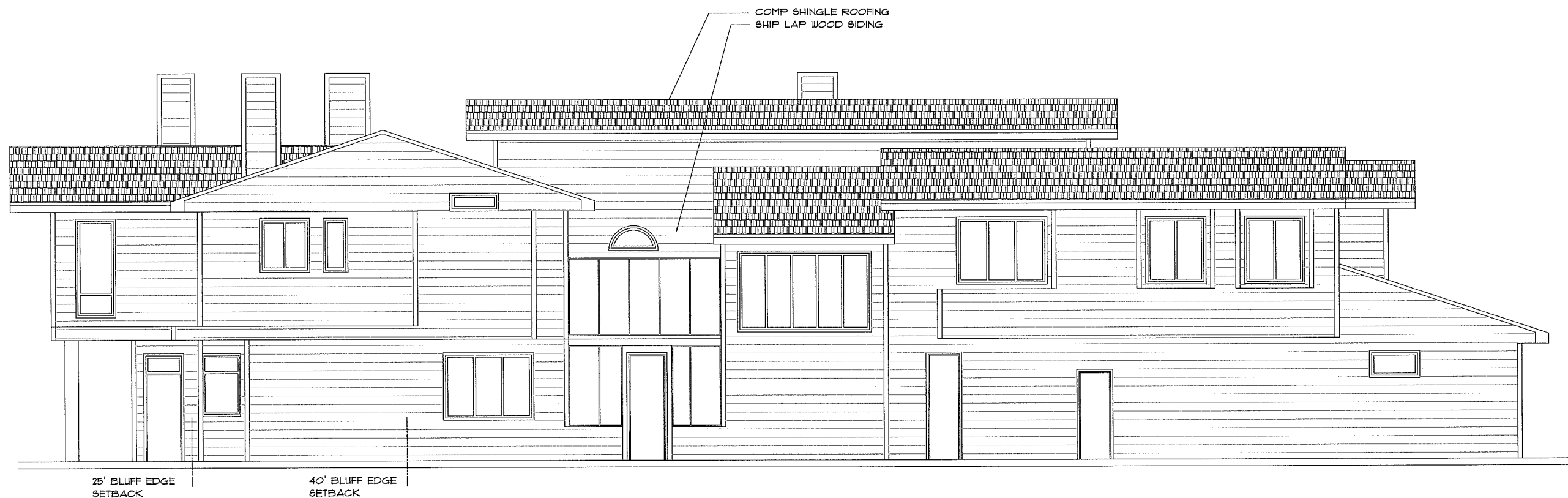
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Sheet No.

A3.2



REAR ELEVATION (WEST) - EXISTING TO BE DEMOED



SIDE ELEVATION (SOUTH) - EXISTING TO BE DEMOED

Seal

LICENSED ARCHITECT
KENNETH G. BROWN
NO. C13410
SINCE 1-1-19
STATE OF CALIFORNIA

No.	Revision

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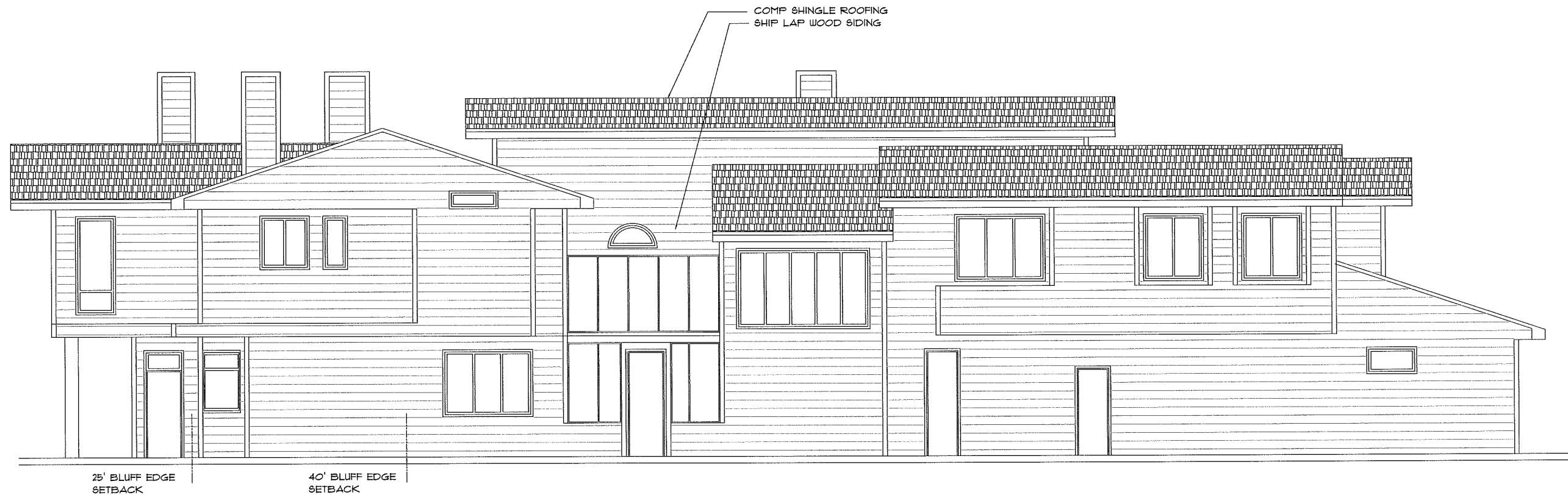
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Sheet No.

A3.3



REAR ELEVATION (WEST) - EXISTING TO BE DEMOED



SIDE ELEVATION (SOUTH) - EXISTING TO BE DEMOED

Seal



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ARCHITECTURE - SPACE PLANNING

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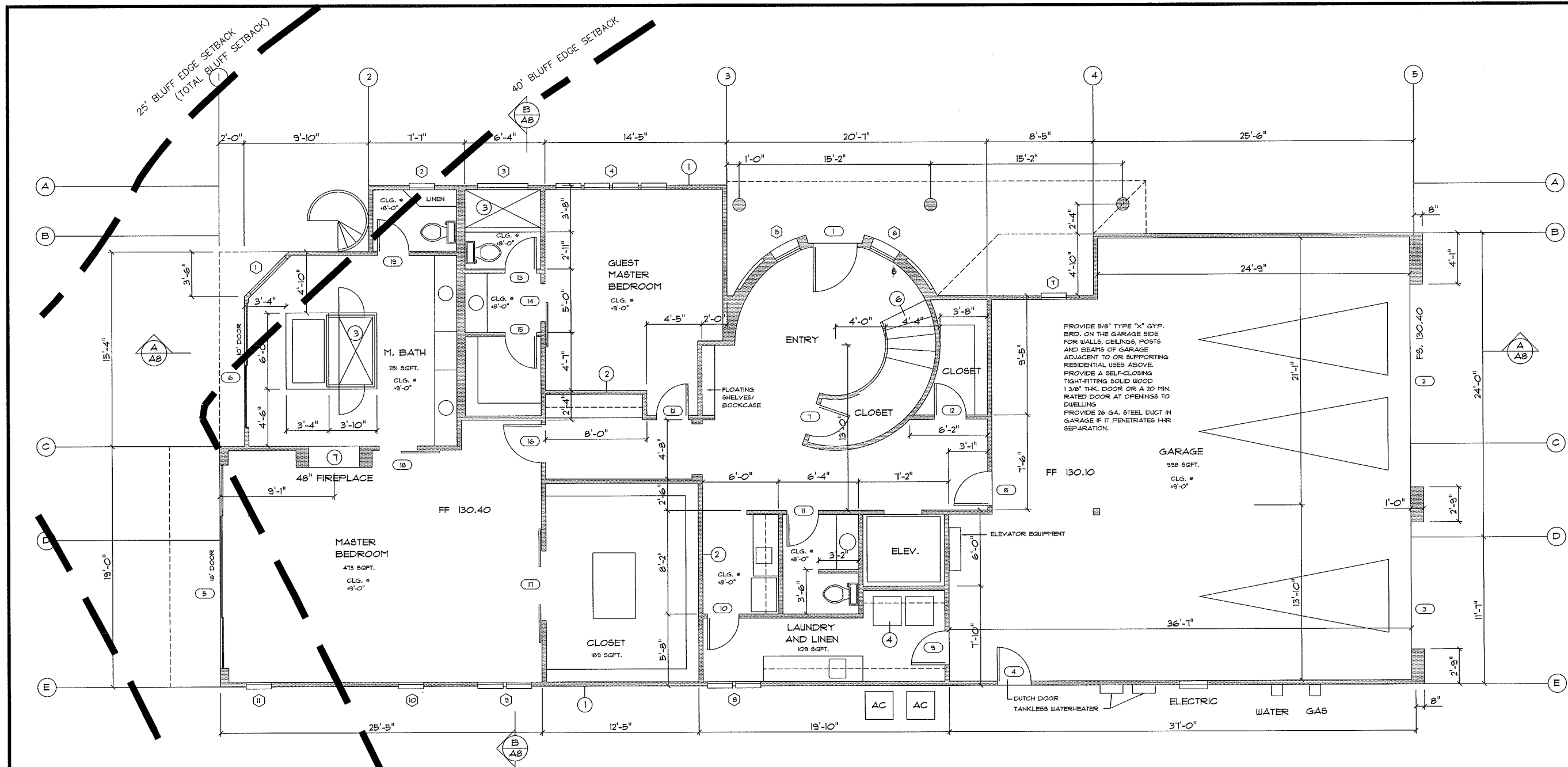
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Job No.

Sheet No.

A3.3



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Job No.	

Sheet No.

A4.1

CONSTRUCTION NOTES

- 2" x 4" @ 16" O.C. WOOD STUD WALL WITH SHIPLAP WOOD SIDING OVER 15" BUILDING PAPER (2-LAYERS GRADE "D" PAPER OVER WOOD SHTG.) EXTERIOR, R-13 BATT INSULATION W/ TYVEK WRAP, 1/2" GYP. BRD. INTERIOR
- FRAME INTERIOR WALL WITH 2" X 4" @ 16" O.C. WOOD STUDS WITH 1/2" GYP.BRD. EACH SIDE
- SHOWER - CERAMIC TILE FLOOR AND WALLS TO CEILING - SAFETY GLASS ENCLOSURE
- WASHER AND DRYER - RECESSED STANDPIPE DRAIN W/ HOT AND COLD WATER SUPPLY AT WASHER, 4" DRYER VENT TO OUTSIDE AIR TERMINATE AT G.I. WALL CAP
- KITCHEN CABINETS, ISLAND, APPLIANCES, PLUMBING FIXTURES
- STAIRS - WOOD FRAME IT - 1 1/4" RISERS AND 20 - 11" TREADS WITH HANDRAIL
- FIREPLACE - HEAT & GLO NO. ESCAPE 48DV REAR VENT, GAS ONLY PREFAB BOX WITH GLASS DOORS, STONE HEARTH & SURROUND RAISED 12" OFF FLOOR, ESR# 2316

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD.

AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT

INTERIOR SPACES INTENDED FOR HUMAN OCC. SHALL BE PROVIDED WITH SPACE HEATING SYSTEMS CAPABLE OF MAINTAINING AN INDOOR TEMPERATURE OF NOT LESS THAN 68 DEGREES AT A POINT 3' ABOVE THE FLOOR

EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND DUCTED TO THE OUTSIDE FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. MIN. EXH. RATE 50 CFM INTERMITTANT OR 20 CFM CONTINUOUS

FIXTURE TYPE

SHOWERHEADS	2.0 GPM @ 80 PSI
LAVATORY FAUCET	1.5 GPM @ 60 PSI
TANK TYPE WATER CLOSET	1.28 GAL. PER FLUSH
KITCHEN FAUCET	1.5 GPM @ 60 PSI

ENERGY RATINGS

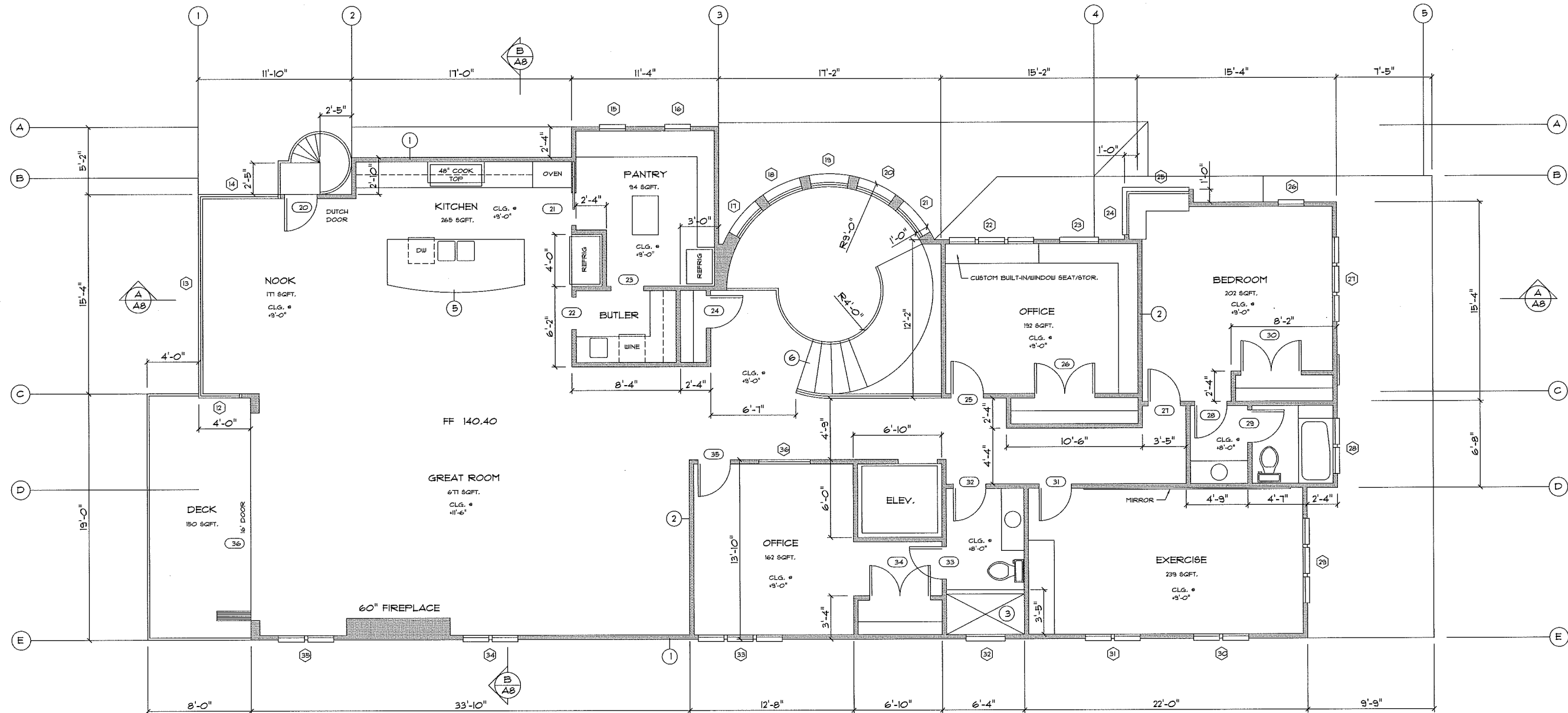
WINDOWS	U = 0.32, SHGC = 0.25
GLASS DOORS	U = 0.32, SHGC = 0.25
WALL INSUL.	R-15 BATT INSUL
ROOF INSUL.	R-36 BATT INSUL

FIRST FLOOR PLAN SCALE 1/4" = 1'-0"

2171 SQFT. LIVABLE
 998 SQFT. GARAGE

CARBON MONOXIDE ALARMS SHALL BE PROVIDED AT THE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACK-UP. CARBON MONOXIDE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED

NOTE - SMOKE DETECTORS REQUIRED IN ALL SLEEPING ROOMS. SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED.



CONSTRUCTION NOTES

- 2" x 4" @ 16" O.C. WOOD STUD WALL WITH SHIPLAP WOOD SIDING OVER 15# BUILDING PAPER (2-LAYERS GRADE "D" PAPER OVER WOOD SHTG.) EXTERIOR, R-13 BATT INSULATION W/ TYVEK WRAP, 1/2" GYP. BRD. INTERIOR
- FRAME INTERIOR WALL WITH 2" x 4" @ 16" O.C. WOOD STUDS WITH 1/2" GYP. BRD. EACH SIDE
- SHOWER - CERAMIC TILE FLOOR AND WALLS TO CEILING - SAFETY GLASS ENCLOSURE
- WASHER AND DRYER - RECESSED STANDPIPE DRAIN W/ HOT AND COLD WATER SUPPLY AT WASHER, 4" DRYER VENT TO OUTSIDE AIR TERMINATE AT G.I. WALL CAP
- KITCHEN CABINETS, ISLAND, APPLIANCES, PLUMBING FIXTURES
- STAIRS - WOOD FRAME IT - 1 1/4" RISERS AND 20 - 11" TREADS WITH HANDRAIL
- FIREPLACE - HEAT & GLO NO. ESCAPE 36DV REAR VENT, GAS ONLY PREFAB BOX WITH GLASS DOORS, STONE HEARTH & SURROUND RAISED 12" OFF FLOOR, ESR# 2316

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD.

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FIXTURE TYPE

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TANK TYPE WATER CLOSET	1.28 GAL. PER FLUSH
KITCHEN FAUCET	1.5 GPM @ 60 PSI

ENERGY RATINGS

WINDOWS	U = 0.32, SHGC = 0.25
GLASS DOORS	U = 0.32, SHGC = 0.25
WALL INSUL.	R-15 BATT INSUL
ROOF INSUL.	R-36 BATT INSUL

SECOND FLR PLAN

SCALE 1/4" = 1'-0"

2689 SQFT. LIVABLE

CARBON MONOXIDE ALARMS SHALL BE PROVIDED AT THE OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACK-UP. CARBON MONOXIDE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED

NOTE - SMOKE DETECTORS REQUIRED IN ALL SLEEPING ROOMS. SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED.

Seal



No. Revision

RESIDENTIAL CONSTRUCTION PLANS FOR:
Ott Residence
35481 Camino Capistrano, Dana Point, CA. 92624
Sheet Title

Kenneth G. Brown & Co.
ARCHITECTURE - SPACE PLANNING
25401 Cabot Rd. #201
Laguna Hills, CA 92653
(949) 710-8550
Fax (949) 710-8570



Date

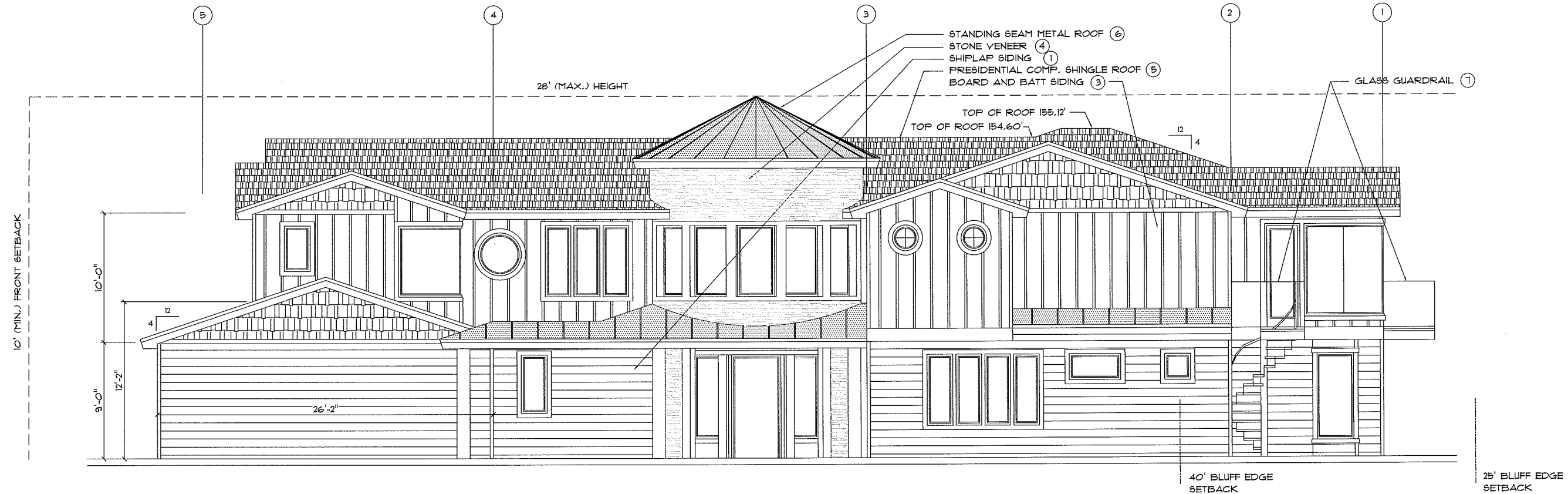
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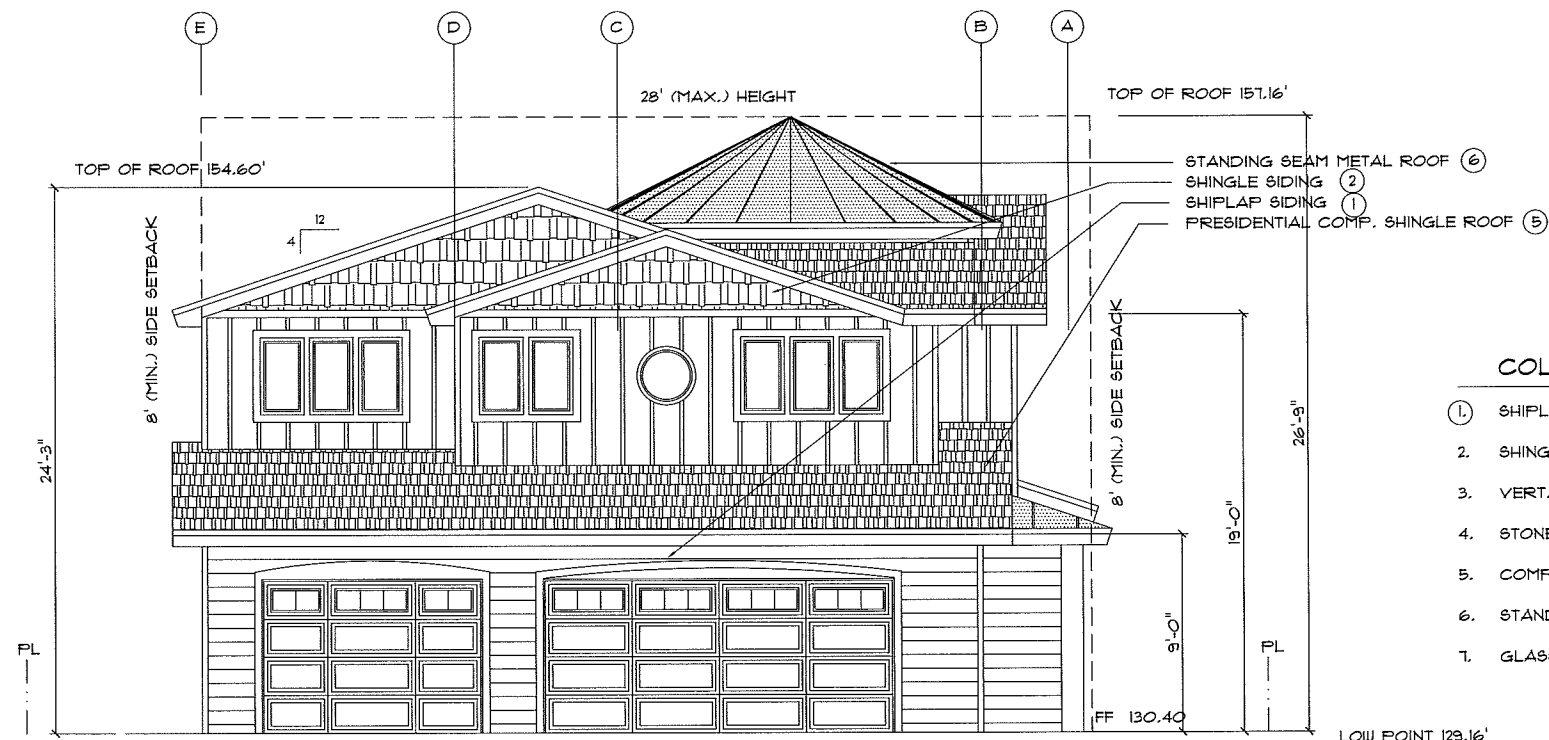
Job No.

Sheet No.

A4.2



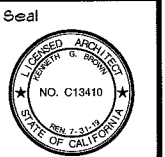
SIDE ELEVATION (NORTH)



FRONT ELEVATION (EAST)

COLORS AND MATERIALS

1. SHIPLAP SIDING	HARDIE PLANK "CEDARMILL" COBBLESTONE
2. SHINGLE SIDING	HARDIE SHINGLE "STRAIGHT EDGE" ARTIC WHITE
3. VERT. BOARD AND BATT	HARDIE PANEL "CEDARMILL" ARTIC WHITE
4. STONE VENEER	CORONADO "COUNTRY CASTLE" OATMEAL
5. COMP. SHINGLE ROOF	CERTAINTED "PRESIDENTIAL" CHARCOAL BLACK CLASS "A"
6. STANDING SEAM MTL. ROOF	MBCI "LOKSEAM" SLATE GRAY
7. GLASS PANEL GUARDRAIL	CRL "FRAMELESS RAILING" CLEAR GLASS



No.	Revision

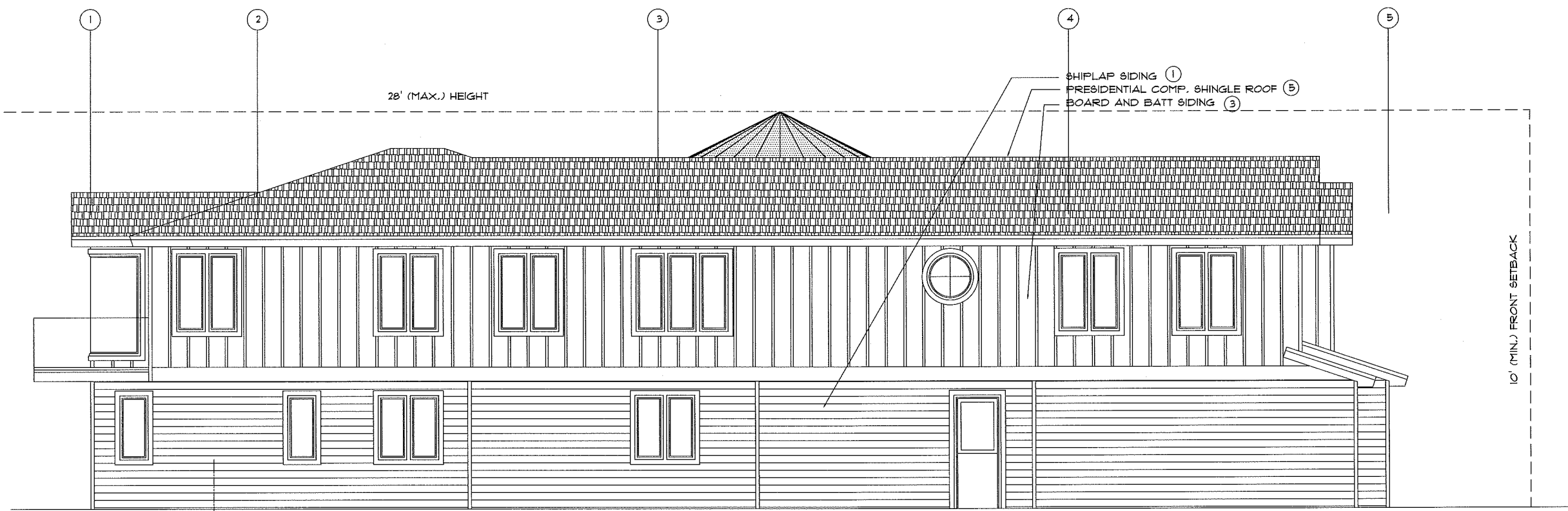
RESIDENTIAL CONSTRUCTION PLANS FOR:
Ott Residence
 35481 Camino Capistrano, Dana Point, CA. 92624
 Sheet Title

Kenneth G. Brown & Co.
 ARCHITECTURE - SPACE PLANNING
 25401 Cabot Rd. #201
 Laguna Hills, CA 92653
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 Fax (949) 710-8870

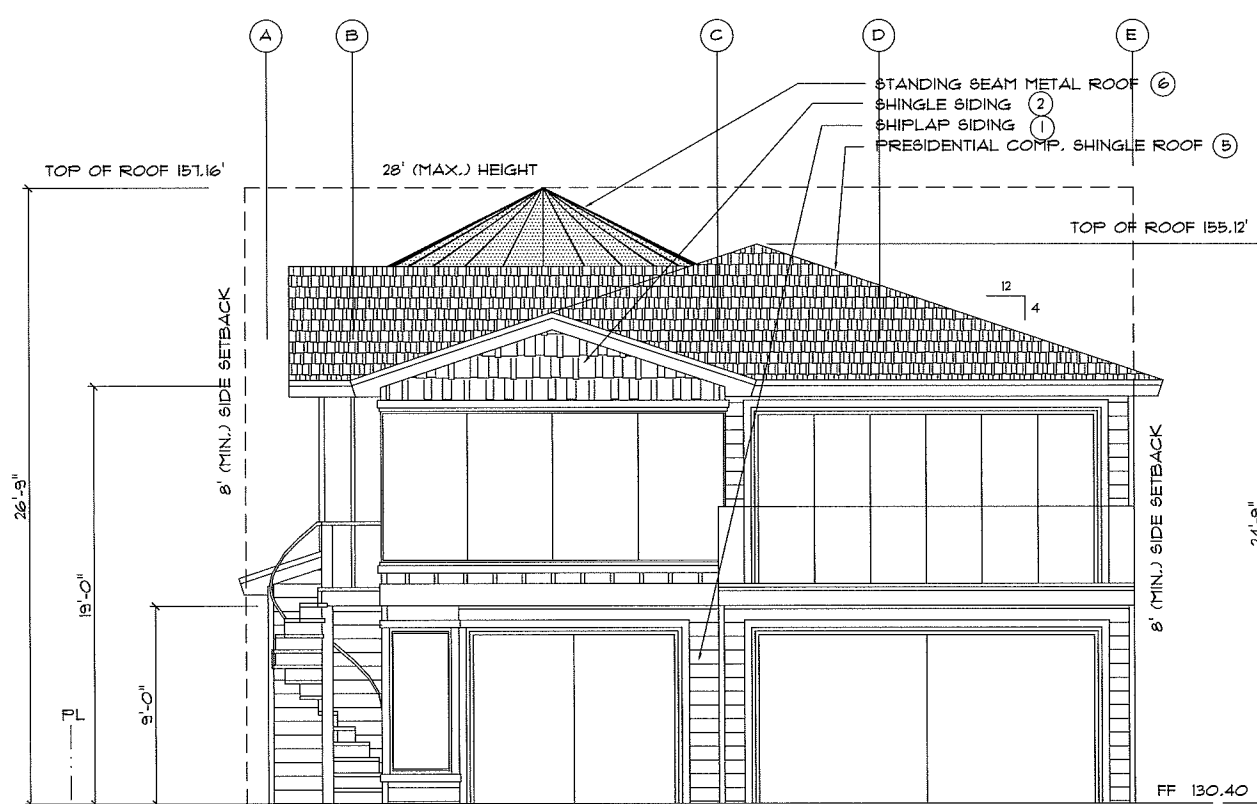


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A5.1



SIDE ELEVATION (SOUTH)



REAR ELEVATION (WEST)

COLORS AND MATERIALS

1. SHIPLAP SIDING	HARDIE PLANK "CEDARMILL" COBBLESTONE
2. SHINGLE SIDING	HARDIE SHINGLE "STRAIGHT EDGE" ARTIC WHITE
3. VERT. BOARD AND BATT	HARDIE PANEL "CEDARMILL" ARTIC WHITE
4. STONE VENEER	CORONADO "COUNTRY CASTLE" OATMEAL
5. COMP. SHINGLE ROOF	CERTAINTED "PRESIDENTIAL" CHARCOAL BLACK CLASS "A"
6. STANDING SEAM MTL. ROOF	MBCI "LOKSEAM" SLATE GRAY
7. GLASS PANEL GUARDRAIL	CRL "FRAMELESS RAILING" CLEAR GLASS

Seal

No.	Revision

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 35481 Camino Capistrano, Dana Point, CA, 92624
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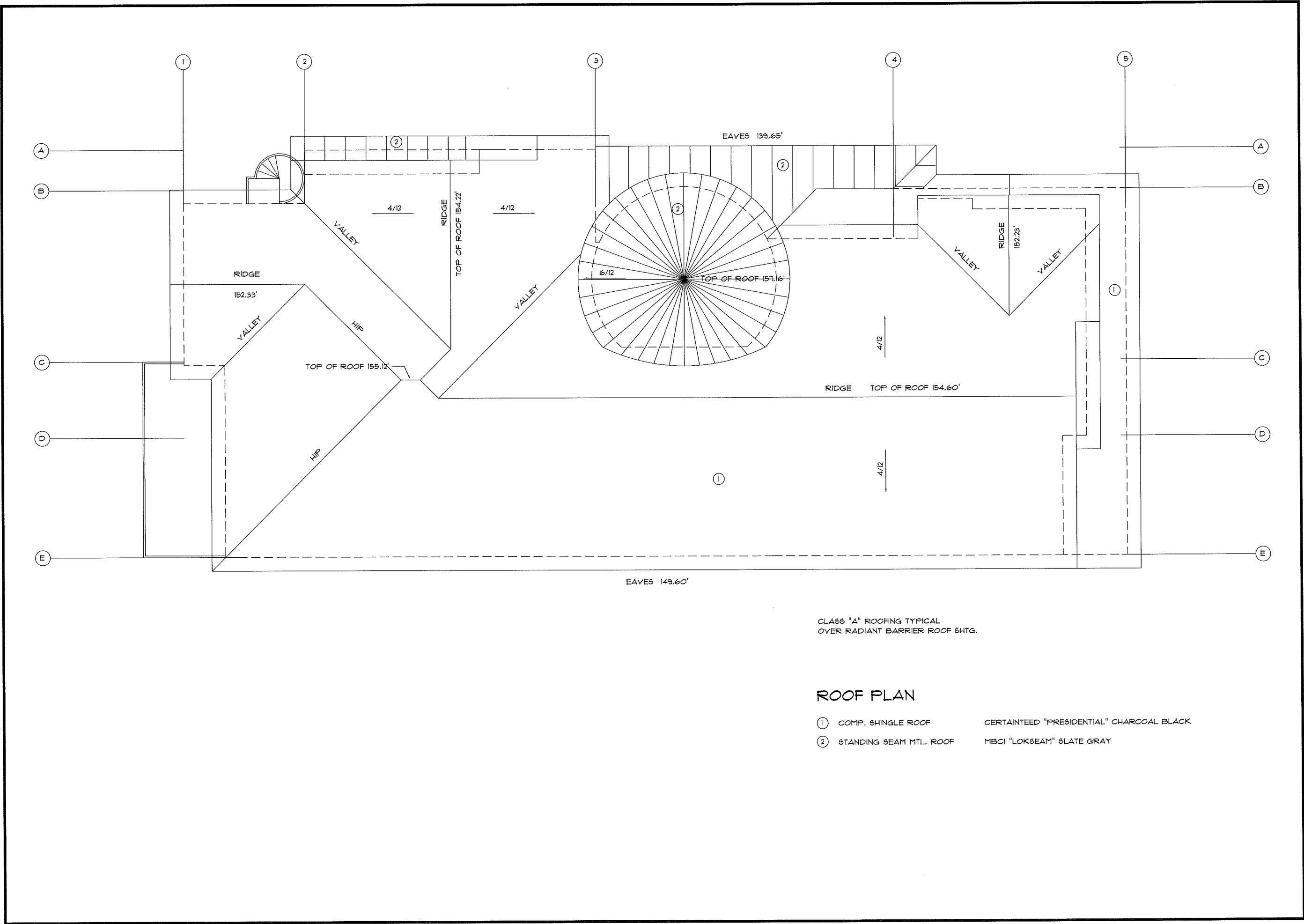
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A5.2



ROOF PLAN

- | | | |
|---|-------------------------|--|
| ① | COMP. SHINGLE ROOF | CERTAINTED "PRESIDENTIAL" CHARCOAL BLACK |
| ② | STANDING SEAM MTL. ROOF | MBCI "LOKSEAM" SLATE GRAY |

No.	Revision

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35481 Camino Capistrano, Dana Point, CA. 92624
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Sheet No.

A6

DOOR SCHEDULE															
DR NO	SIZE			DOOR				FRAME		DETAIL				HARDWARE	REMARKS
	WT	HT	TH	TYF	FACE	CRS	FIN	MAT.	FIN	H	J	J	S		
1	3'-6"	8'-0"	1 3/4"	B	WD	S	PT	WD	PT					ENT LK DB	CUSTOM
2	16'-0"	1'-0"	2"	A	MTL	S	PT	WD	PT					OPENER	SECTIONAL GARAGE DOOR
3	9'-0"	1'-0"	2"	A	MTL	S	PT	WD	PT					OPENER	SECTIONAL GARAGE DOOR
4	3'-0"	8'-0"	1 3/4"	H	WD/GLS	S	PT	WD	PT					ENT LK DB	DUTCH DOOR W/ SNGL LITE TOP
5	16'-0"	8'-0"	1 3/4"	E	VINYL	S	FF	WD	PT					INTEGRAL LOCK	MULTI-PANEL TEMP. GLS. PATIO DOOR
6	10'-0"	8'-0"	1 3/4"	E	VINYL	S	FF	WD	PT					INTEGRAL LOCK	MULTI-PANEL TEMP. GLS. PATIO DOOR
7	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
8	2'-8"	8'-0"	1 3/4"	D	WD	S	PT	WD	PT					ENT LK DB	RAISED PANEL, 20 MIN., SELF CLOSING
9	2'-8"	8'-0"	1 3/4"	D	WD	S	PT	WD	PT					ENT LK DB	RAISED PANEL, 20 MIN., SELF CLOSING
10	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
11	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PRIVACY LOCK	RAISED PANEL
12	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
13	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PRIVACY LOCK	RAISED PANEL
14	3'-0"	8'-0"	1 3/8"	N	WD	S	PT	WD	PT					BARN DOOR	RAISED PANEL
15	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
16	3'-0"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
17	5'-6"	8'-0"	1 3/8"	N	WD	S	PT	WD	PT					BARN DOOR	PAIR, RAISED PANEL
18	3'-0"	8'-0"	1 3/8"	N	WD	S	PT	WD	PT					BARN DOOR	RAISED PANEL
19	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PRIVACY LOCK	RAISED PANEL
20	2'-6"	8'-0"	1 3/4"	H	WD/GLS	S	PT	WD	PT					ENT LK DB	DUTCH DOOR W/ SNGL LITE TOP
21	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					POCKET	RAISED PANEL
22	2'-6"	8'-0"						WD	PT						CASED OPENING
23	2'-6"	8'-0"						WD	PT						CASED OPENING
24	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
25	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
26	5'-0"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	PAIR, RAISED PANEL
27	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
28	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
29	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PRIVACY LOCK	RAISED PANEL
30	5'-0"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	PAIR, RAISED PANEL
31	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
32	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PRIVACY LOCK	RAISED PANEL
33	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PRIVACY LOCK	RAISED PANEL
34	5'-0"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	PAIR, RAISED PANEL
35	2'-6"	8'-0"	1 3/8"	L	WD	S	PT	WD	PT					PASSAGE LTCH	RAISED PANEL
36	16'-0"	8'-0"	1 3/4"	E	VINYL	S	FF	WD	PT					INTEGRAL LOCK	MULTI-PANEL TEMP. GLS. PATIO DOOR
37															
38															
39															
40															
41															
42															
43															
44															

LEGEND

AWN'G AWNING
CLR CLEAR
DB DEAD BOLT
D.H. DOUBLE HUNG
ENT LK ENTRANCE LOCK
GLS GLASS
H.S. HORIZONTAL SLIDING
PT PAINT
S SOLID
TNTD TINTED
WD WOOD

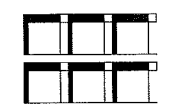
WINDOW SCHEDULE															
WIN NO.	SIZE			GLASS	DESCRIPTION	FRAME		DETAIL				REMARKS			
	WT	HT	TH			MAT.	FIN	H	J	J	S				
1	48"	72"	3/16	CLR	FIXED / WD FRME							TEMPERED GLASS			
2	24"	24"	3/16	CLR	AWNING / WD FRME										
3	48"	24"	3/16	CLR	HORIZ SLDG / WD FRME										
4	36"	72"	3/16	CLR	CSMNT / WD FRME							4-PANEL			
5	24"	84"	3/16	CLR	FIXED / WD FRME							TEMPERED GLASS			
6	24"	84"	3/16	CLR	FIXED / WD FRME							TEMPERED GLASS			
7	24"	60"	3/16	CLR	CSMNT / WD FRME										
8	24"	60"	3/16	CLR	CSMNT / WD FRME							2-PANEL			
9	24"	60"	3/16	CLR	CSMNT / WD FRME							2-PANEL			
10	24"	60"	3/16	CLR	CSMNT / WD FRME										
11	24"	60"	3/16	CLR	CSMNT / WD FRME										
12	36"	84"	3/16	CLR	STOREFRNT / ALUM. FRM										
13	184"	84"	3/16	CLR	STOREFRNT / ALUM. FRM										
14	72"	84"	3/16	CLR	STOREFRNT / ALUM. FRM										
15	24"		3/16	CLR	FIXED / WD FRME							ROUND / DIVIDED LIGHT			
16	24"		3/16	CLR	FIXED / WD FRME							ROUND / DIVIDED LIGHT			
17	32"	60"	3/16	CLR	FIXED / WD FRME										
18	32"	60"	3/16	CLR	FIXED / WD FRME										
19	32"	60"	3/16	CLR	FIXED / WD FRME										
20	32"	60"	3/16	CLR	FIXED / WD FRME										
21	32"	60"	3/16	CLR	FIXED / WD FRME										
22	24"	60"	3/16	CLR	CSMNT / WD FRME							3-PANEL			
23	36"		3/16	CLR	FIXED / WD FRME							ROUND / DIVIDED LIGHT			
24	42"	60"	3/16	CLR	FIXED / WD FRME										
25	60"	60"	3/16	CLR	FIXED / WD FRME										
26	36"	60"	3/16	CLR	CSMNT / WD FRME										
27	24"	42"	3/16	CLR	CSMNT / WD FRME							3-PANEL			
28	24"	42"	3/16	CLR	CSMNT / WD FRME							2-PANEL			
29	24"	42"	3/16	CLR	CSMNT / WD FRME							3-PANEL			
30	24"	60"	3/16	CLR	CSMNT / WD FRME							2-PANEL			
31	24"	60"	3/16	CLR	CSMNT / WD FRME							2-PANEL			
32	36"		3/16	CLR	FIXED / WD FRME							ROUND / DIVIDED LIGHT			
33	24"	60"	3/16	CLR	CSMNT / WD FRME							3-PANEL			
34	24"	60"	3/16	CLR	CSMNT / WD FRME							2-PANEL			
35	24"	60"	3/16	CLR	CSMNT / WD FRME							2-PANEL			
36	48"	60"	3/16	CLR	FIXED / WD FRME										
37															

Seal	
No.	Revision

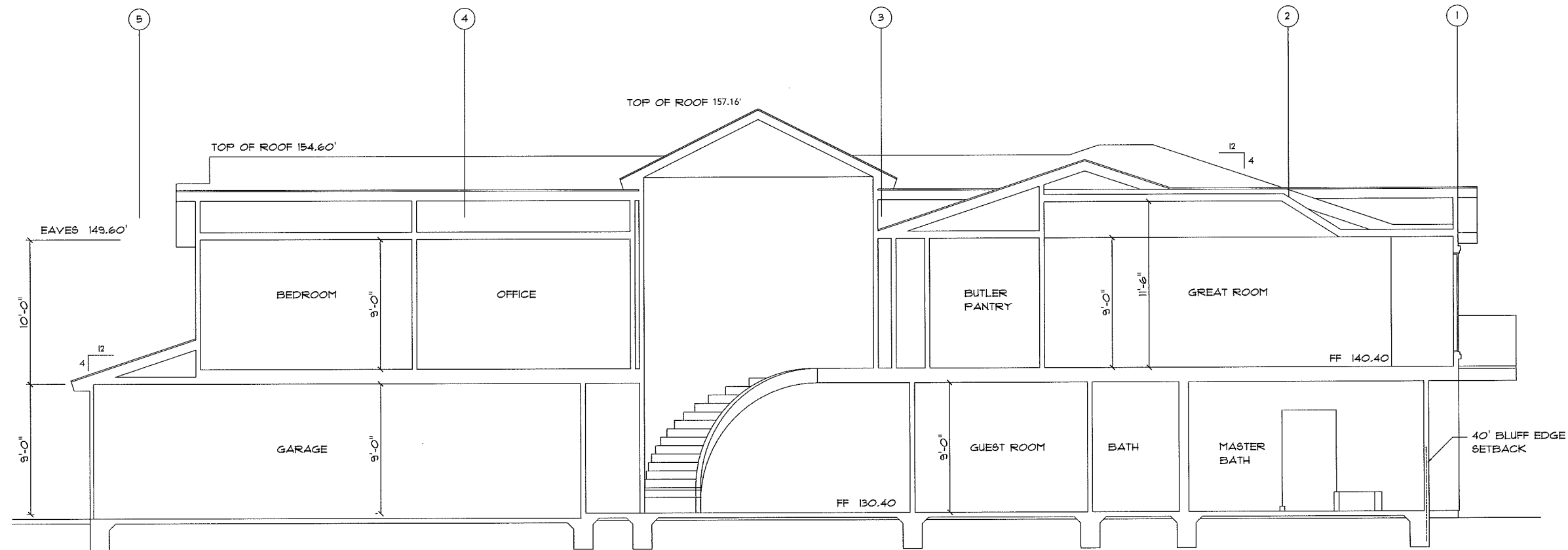


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35481 Camino Capistrano, Dana Point, CA. 92624
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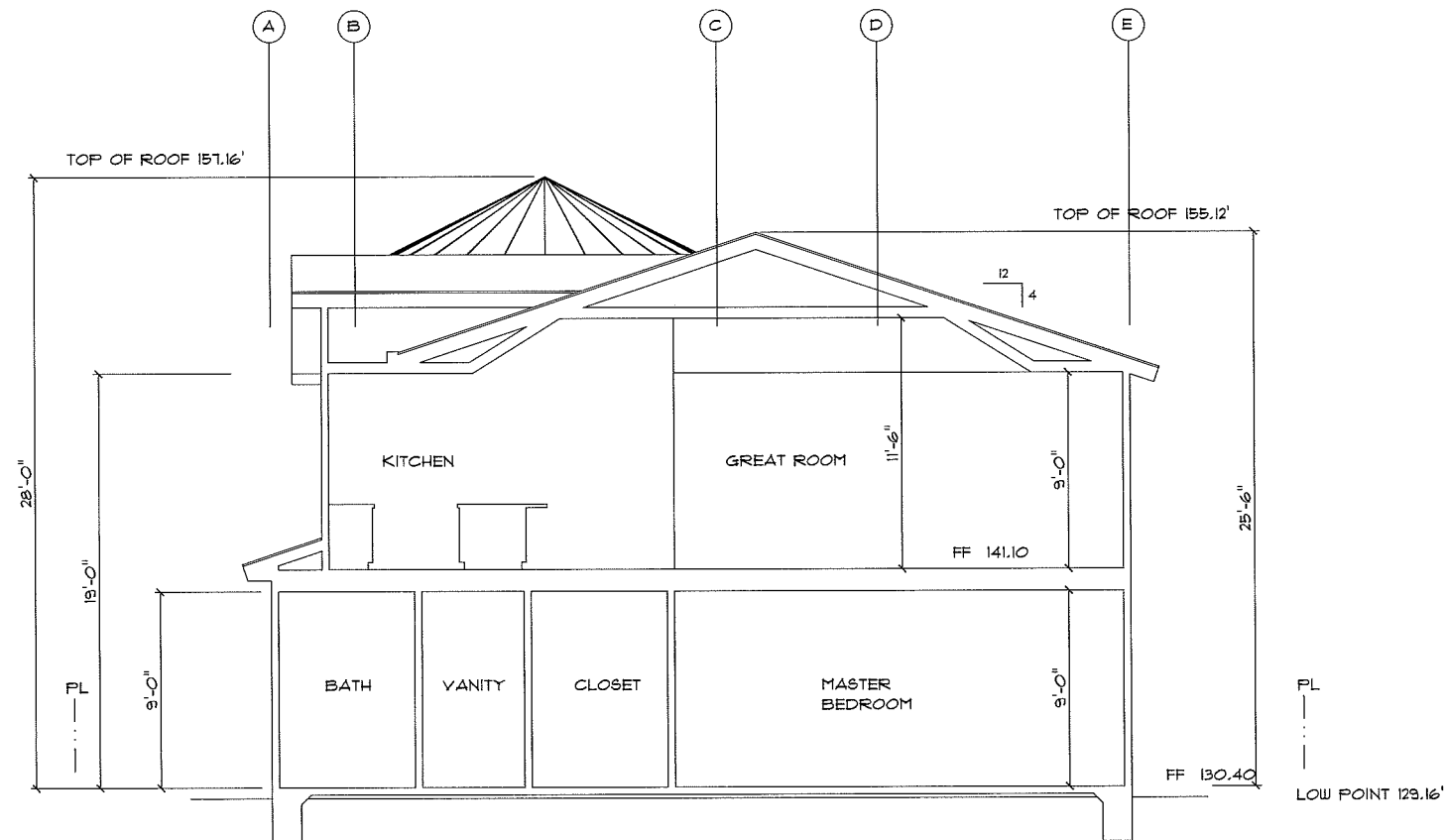
Kenneth G. Brown & Co.
ARCHITECTURE - SPACE PLANNING
25401 Cabot Rd. #201 (949) 710-8850
Laguna Hills, CA 92653 Fax: (949) 710-8853



Date	
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Sheet No.	
A7	



SECTION A-A



SECTION B-B

Seal

ARCHITECT
KENNETH G. BROWN & COMPANY
NO. C13410
EXPIRES 7-31-99
STATE OF CALIFORNIA

No.	Revision

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Sheet No.

A8

PRECISE GRADING PLAN

FOR
35481 CAMINO CAPISTRANO,
DANA POINT, CA 92624

GRADING NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY RDM STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
5. RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
6. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
7. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
10. FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY RDM STANDARD PLAN NO. 1322.
11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
12. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
13. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
14. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
16. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
17. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
20. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
21. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
22. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.
24. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
25. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
26. EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST BE APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
27. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE)
28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.

28. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.

29. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.

30. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.

31. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.

32. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

33. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

34. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.

GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.

a. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.

b. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).

c. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.

GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

36. ASPHALT SECTIONS MUST BE PER CODE: PARKING LOTS = 3 A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.

37. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDM STANDARD PLAN NO. 1805.

38. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDM STANDARD NO. 1804.

39. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.

40. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.

41. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

42. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.

43. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.

44. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.

45. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.

46. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

47. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.

48. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8871 OF THE BUSINESS AND PROFESSIONAL CODE.

NOTICE TO CONTRACTOR

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL, THE OWNER AND THEIR CONSULTANTS, AND THE CITY OF SANTA ROSA, AND EACH OF THEIR OFFICERS, EMPLOYEES, AND AGENTS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
2. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.
3. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS, CABLES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, OR ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

EROSION CONTROL GENERAL NOTES:

1. IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT BILL PARKER AT SOUTH POINTE CONSTRUCTION, LLC AT PHONE NUMBER 951.676.2773.
2. ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
3. TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
4. MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
5. AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
6. CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMP'S), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
7. SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
8. THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND THE DESILTING BASINS AND OTHER BMP'S, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
9. BMP'S SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH ¼ INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
12. SHOULD GERMINATION OF HYDROSEEDDED SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
13. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

ENVIRONMENTAL NOTES:

1. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS; THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR WATER SHED IS PROHIBITED.
2. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, SOILS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WAS WATER AND CONCRETE WAS WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING; DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AN FEDERAL REQUIREMENTS.
3. PERMITTEE ANY DISCHARGE MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
4. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

OWNER:

ROBERT OTT,
BARBARA NIKSCH,
26066 HARBOR VIEW,
CAPISTRANO BEACH, CA 92624
bot124@cox.net
(714) 227-1003

SITE ADDRESS:

35481 CAMINO CAPISTRANO
DANA POINT, CA 92624

SITE ACREAGE=0.24 ACRES (10,243 S.F.)

PROP. IMPERVIOUS AREA =0.17 ACRES (7,437 S.F.)

OWNER'S STATEMENT

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH THE EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION

BY: ROBERT OTT

DATE:

LEGAL DESCRIPTION:

PARCEL NUMBER 19 OF TRACT NO. 1128, AS PER MAP RECORDED IN BOOK 36, PAGES 22 TO 25 OF MISCELLANEOUS MAPS, AND PER MAP BOOK 691, PAGE 19 IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA EXCEPT THEREFROM ALL OIL, GAS, MINERAL AND OTHER HYDROCARBONS AS RESERVED IN INSTRUMENTS OF RECORD.

ASSESSOR'S PARCEL NUMBER:

APN: 691-192-19

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

VENTURA ENGINEERING INLAND, INC
27393 INEZ RD, SUITE 159,
TEHAMA, CA 92591
(951)252-7632

BY: WILFREDO VENTURA R.C.E. #66532

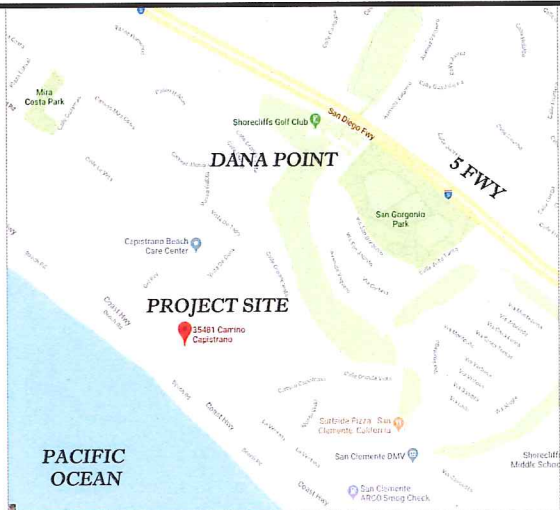
DATE:



PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/19

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.



SHEET INDEX

GENERAL NOTES AND QUANTITIES	1
DEMOLITION PLAN	2
PRECISE GRADING PLAN	3
SECTIONS AND DETAILS	4
EROSION CONTROL PLAN	5
TOPOGRAPHIC SURVEY	6

CONSTRUCTION NOTES & EARTHWORK QUANTITY ESTIMATE

EARTHWORK	CUT	FILL
EXCAVATION	7.15 CY	156.77 CY
EMBANKMENT		
OVEREXCAVATION/RECOMPACTION	1481 CY	1481 CY
EXPORT	0 CY	149.62 CY
IMPORT		

NOTE: EARTHWORK QUANTITIES ARE ESTIMATES ONLY AND DO NOT INCLUDE SHRINKAGE OR SUBSIDENCE. THEY ARE ESSENTIALLY FOR PERMIT PURPOSES ONLY AND NOT INTENDED FOR BIDDING. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT QUANTITIES FOR THE PURPOSES OF PAYMENT AND CONTRACT DOCUMENTS. THE UNDERSIGNED ENGINEER ACCEPTS NO RESPONSIBILITY FOR DISCREPANCIES IN THE EARTHWORK QUANTITIES.

CONSTRUCTION NOTE

①	CONSTRUCT CONCRETE DRIVEWAY	600 S.F.
②	CONSTRUCT PATIO	288 S.F.
③	INSTALL 6" DIA. PVC PIPE DRAIN SYSTEM	405 L.F.
④	INSTALL 6" ROUND DRAIN NOS TYPE 40 PER DETAIL ON SHEET 4	15 EA
⑤	PROPOSED VINYL PLANK FENCE	270 L.F.
⑥	PROPOSED 6" CURB	52 L.F.
⑦	CONSTRUCT CONCRETE SLAB	2465 S.F.
⑧	CONSTRUCT CURB CORE PER CITY STANDARD DP-123	2 EA
⑨	INSTALL DOWNSPOUT PER DETAIL ON SHEET 4	9 EA

SOILS AND GEOLOGIST'S CERTIFICATION

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERING REPORT ENTITLED: "LIMITED GEOTECHNICAL ENGINEERING REPORT, PROPOSED TWO STORY BUILDING AND EXTERIOR IMPROVEMENTS, 35481 CAMINO CAPISTRANO, DANA POINT, CALIFORNIA" DATED _____

I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS, AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

PETRA GEOSCIENCES, INC
3186 AIRWAY AVE, SUITE K
COSTA MESA, CA 92626
(714) 549-8921

BY: DON OBERT

GEOTECHNICAL ENGINEER GE# 2872 EXP

BY: SHAUN WILKINS

GEOLOGIST CEG# 2665 EXP

DATE:

CITY OF DANA POINT

GRADING PLANS FOR
35481 CAMINO CAPISTRANO,
DANA POINT, CA 92624
PARCEL 19, TRACT 1128,
APN: 691-192-19
TITLE SHEET

PLAN CHECK NO.

19-0022

1 OF 6 SHEETS

ORIGINAL SCALE: 1"=10'

DEMOLITION NOTES:

- ① REMOVE EXISTING STRUCTURE - ALL CONCRETE AND ALL FRAMING
- ② REMOVE MASONRY PLANTERS AND LEVEL SOIL
- ③ REMOVE CONCRETE FLATWORK
- ④ REMOVE FENCE (6' wood fence on 1' block wall)
- ⑤ REMOVE UTILITIES - SEWER, WATER, ELECTRICITY GAS BACK TO PROPERTY LINE
- ⑥ REMOVE GATES AND PEIRS
- ⑦ REMOVE DECK AND SUPPORTS
- ⑧ PEIR TO REMAIN
- ⑨ DRIVEWAY APPROACH TO REMAIN
- ⑩ TREES TO REMAIN
- ⑪ REMOVE (E) SPA
- ⑫ (E) RETAINING WALL TO BE REMOVED
- ⑬ (E) CONCRETE BLK. WALL TO BE REMOVED

CITY OF DANA POINT ENGINEERING REQUIRES AN ENCROACHMENT PERMIT FOR WORK IN THE RIGHT OF WAY, AND ALL NEW WORK (CURB/GUTTER, ETC.) IN THE RIGHT-OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE CITY STANDARDS.

ALL SITE DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE AND THE DANA POINT MUNICIPAL CODE.

PUBLIC WORKS NOTE:

IF PUBLIC IMPROVEMENTS SURROUNDING THE SITE ARE DAMAGED BY THE PRIVATE WORK, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND STREET PAVEMENT WILL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.

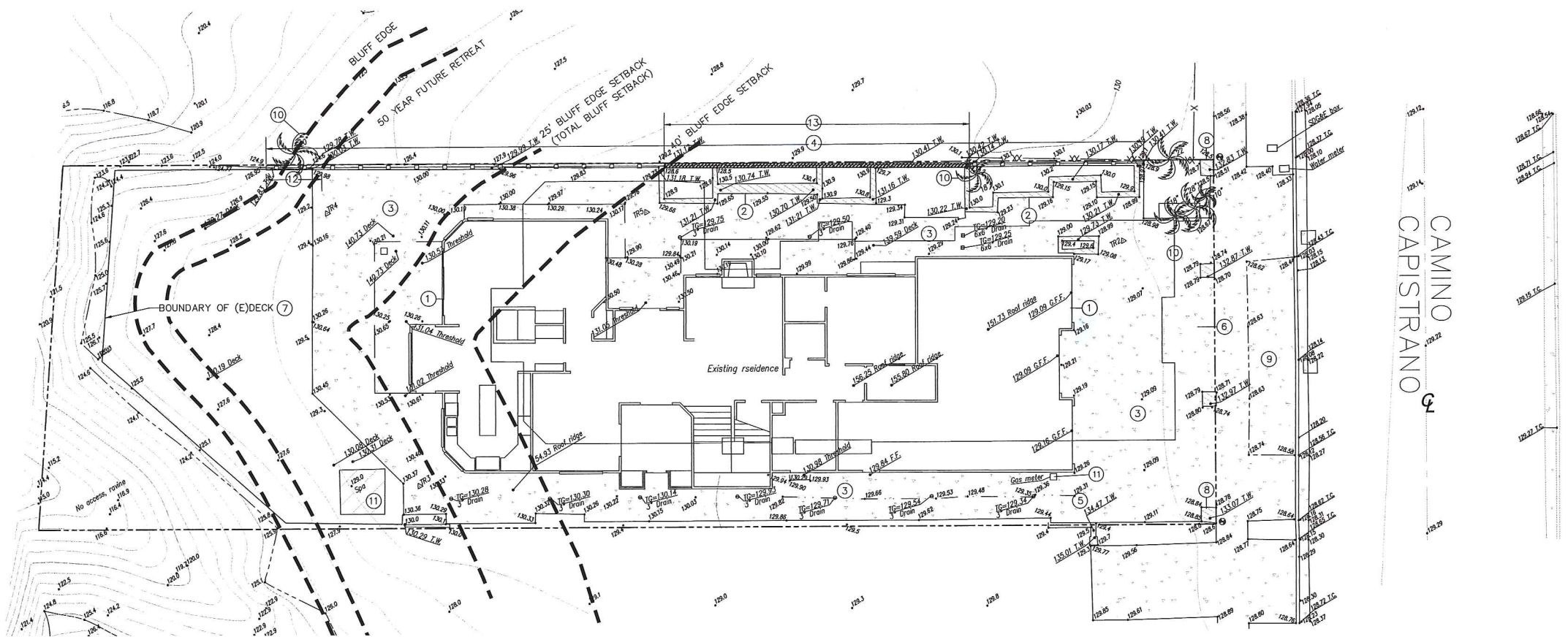
AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.

LEGEND

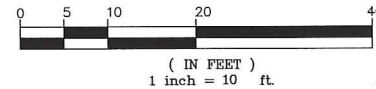
- PROPERTY LINE
- CENTERLINE
- EX. CONCRETE BLK. WALL
- EX. WOOD FENCE
- EX. CONCRETE
- EX. ASPHALT
- EG 100.00 EX. SPOT ELEVATION
- 100.00 PROP SPOT ELEVATION
- ⊕ ROAD CENTERLINE
- ⊕ EX AD EXISTING AREA DRAIN
- /// EX. CONCRETE BLK. WALL TO BE REMOVED

UNDERGROUND STRUCTURES:

ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENT PURSUANT THERETO AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED; LOCATED AT VARIANCE WITH THAT REPORTED OR SHOWN ON RECORDS EXAMINED. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.



GRAPHIC SCALE



DEMOLITION PLAN

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT	PLANS REVIEWED BY:	CITY OF DANA POINT	PLAN CHECK NO.
				N/A				VENTURA ENGINEERING INLAND, INC.	OCSBM 3B-52-68 ELEV= 18.235 NAVD88 DATUM, 1989 ADJ.	THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629	GRADING PLANS FOR 35481 CAMINO CAPISTRANO, DANA POINT, CA 92624 PARCEL 19, TRACT 1128, APN: 691-192-19 DEMOLITION PLAN	19-0022
				ACAD FILE NO. N/A			7/3/2019				MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/19		
				PROJECT NO. 2018-130			DATE 6/5/22						2 OF 6 SHEETS
					ENGINEER/OF WORK		R.C.E. NO.			CITY PLANNING DEPARTMENT			

ORIGINAL SCALE: 1" = 10'

CONSTRUCTION NOTE		
①	CONSTRUCT CONCRETE DRIVEWAY	600 S.F.
②	CONSTRUCT PATIO	288 S.F.
③	INSTALL 6" DIA. PVC PIPE DRAIN SYSTEM	405 L.F.
④	INSTALL 6" ROUND DRAIN NDS TYPE 40 PER DETAIL ON SHEET 3	15 EA
⑤	PROPOSED VINYL PLANK FENCE- 5' (On top of block wall)	270 L.F.
⑥	PROPOSED 6" CURB	52 L.F.
⑦	CONSTRUCT CONCRETE SLAB	2465 S.F.
⑧	CONSTRUCT CURB CORE PER CITY STANDARD DP-123	2 EA
⑨	INSTALL DOWNSPOUT PER DETAIL ON SHEET 3	9 EA

PROPERTY LINE

CENTERLINE

EX. RETAINING WALL

PROP. WOOD FENCE



PROP. CONCRETE

PROPOSED D.G.

PROP. DRIVEWAY

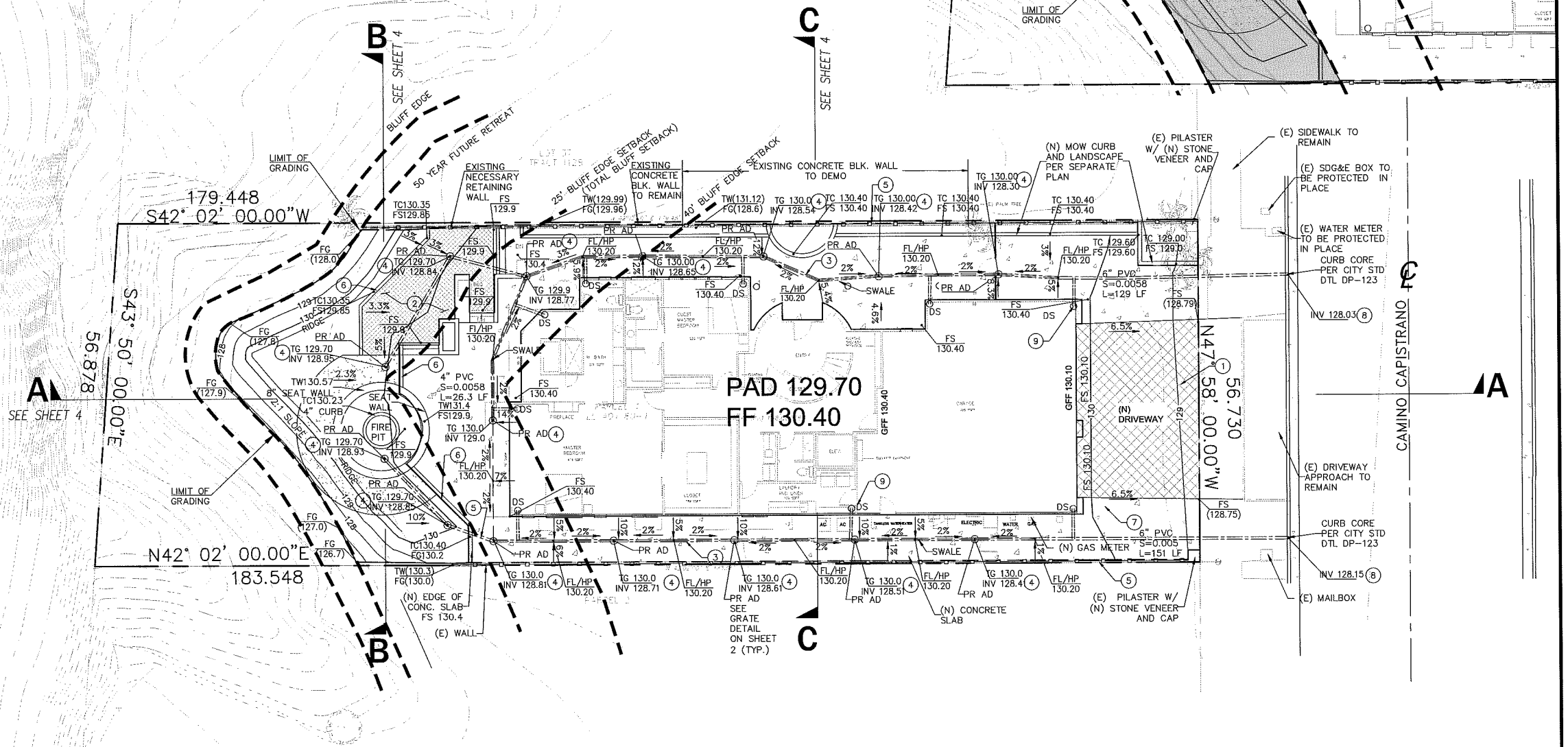
PROP. PATIO

EX. CONCRETE BLOCK WALL

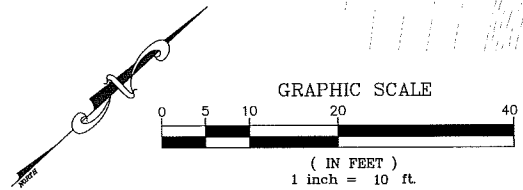
 FILL  CUT

CUT/FILL EXHIBIT

SCALE: 1"=10'

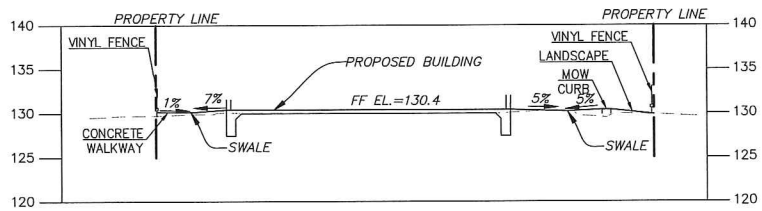
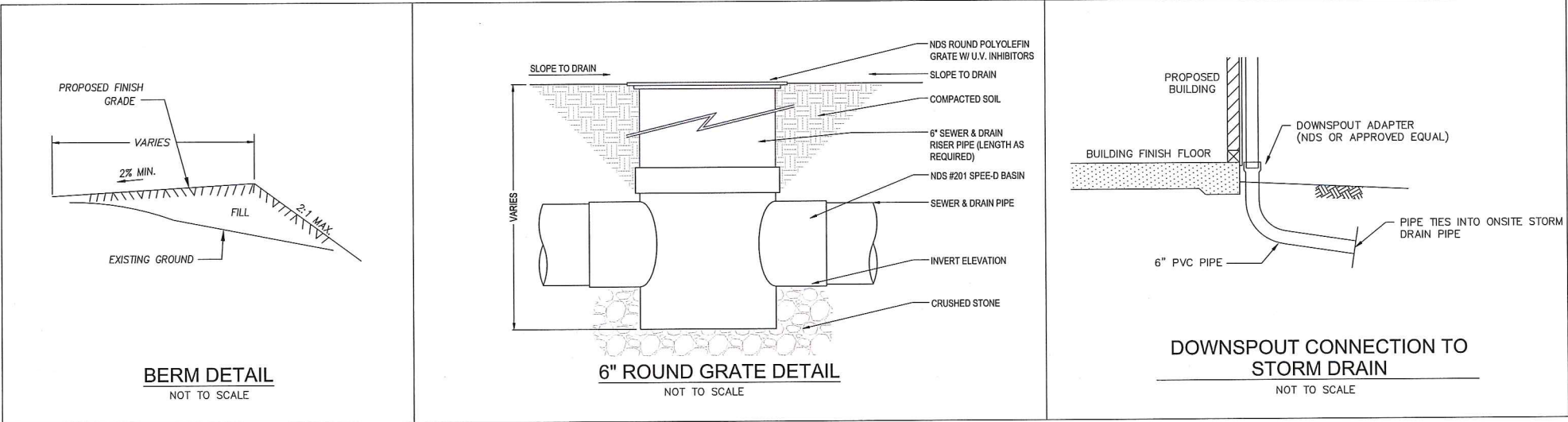


SCALE: 1"=10'

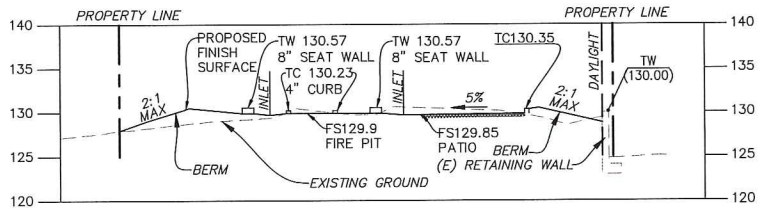


REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	DANA POINT, CA 92629	GRADING PLANS FOR 35481 CAMINO CAPISTRANO, DANA POINT, CA 92624 PARCEL 19, TRACT 1128, APN: 691-192-19 PRECISE GRADING PLAN	PLAN CHECK NO. 19-0022 3 OF 6 SHEETS
				N/A				VENTURA ENGINEERING INLAND, INC 27040 THREE ROAD, SUITE 100 TOLUCA CA 91350 PHONE (805) 252-7032 FAX (805) 252-5726	OCSBM 3B-52-68 ELEV= 18.235 NAVD88 DATUM, 1989 ADJ.	DATE _____ MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/19 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR			
				ACAD FILE NO. N/A			7/3/2019 DATE 6/6532						
				PROJECT NO. 2018-130		ENGINEER OF WORK	R.C.E. NO.			CITY PLANNING DEPARTMENT	DATE		

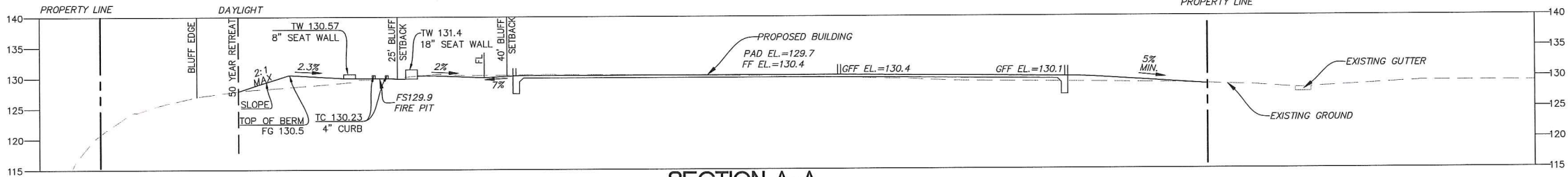
ORIGINAL SCALE:



SECTION C-C
SCALE: 1"=10'



SECTION B-B
SCALE: 1"=10'



SECTION A-A
SCALE: 1"=10'

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT	PLANS REVIEWED BY:	CITY OF DANA POINT	PLAN CHECK NO.
				N/A				VENTURA ENGINEERING INLAND, INC.	OCSBM 3B-52-68	THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES	GRADING PLANS FOR	
				ACAD FILE NO.			7/3/2019	2780 VINEZ ROAD, SUITE 100	ELEV= 18.235	THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR	33282 GOLDEN LANTERN	35481 CAMINO CAPISTRANO,	
				PROJECT NO.			DATE	TELEPHONE (949) 252-7822	NAVD88 DATUM, 1989 ADJ.	DATE	DANA POINT, CA 92629	DANA POINT, CA 92624	19-0022
				2018-130	ENGINEER/OF WORK		R.C.E. NO.	FAX (949) 252-7820				APN: 691-192-19	4 OF 6 SHEETS

ORIGINAL SCALE: 1"=10'

EROSION CONTROL

EC-1 SCHEDULING

SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.

TEMPORARY SEDIMENT CONTROL

- SE-1 SILT FENCE
- SE-5 FIBER ROLL
- SE-6 GRAVEL BAG BERM
- SE-7 STREET SWEEPING AND VACUUMING
- SE-10 STROM DRAIN INLET PROTECTION

PLACE AS SHOWN ON PLAN

PLACE AS SHOWN ON PLAN

STREET SHALL BE SWEEPED AND SEDIMENT COLLECTED AND PROOERLY DISPOSED OF, ON OR OFF-SITE, ON A DAILY BASIS.

ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISES WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM. PLACE GRAVEL BAGS AROUND CATCH BASIN TO FURTHER LIMIT SEDIMENT INTRODUCTION TO THE CITY STORM DRAIN SYSTEM.

WIND EROSION CONTROL

WE-1 WIND EROSION CONTROL

WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE FROM ANY DISTURBED AREA DURING CONSTRUCTION

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

WM-1 MATERIAL DELIVERY AND STORAGE

MATERIALS SHALL BE STORED ON-SIDE IN ORIGINAL MARK CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.

WM-2 MATERIAL USE

MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH THE PRODUCT DIRECTIONS.

WM-3 STOCKPILE MANAGEMENT

MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.

WM-5 SOLID WASTE MANAGEMENT

SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.

WM-8 CONCRETE WASTE MANAGEMENT

AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENTS OF THE CITY.

WM-9 SANITARY

ON-SITE FACILITIES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

NON-STORMWATER MANAGEMENT

NS-1 WATER CONSERVATION PRACTICES

MAINTAIN EQUIPMENT TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.

NS-3 PAVING AND GRINDING OPERATIONS

APPLY PERIMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGES.

NS-7 POTABLE WATER/ IRRIGATION

EXERCISE CARE DURING CONSTRUCTION TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.

NS-12 CONTROL CURING

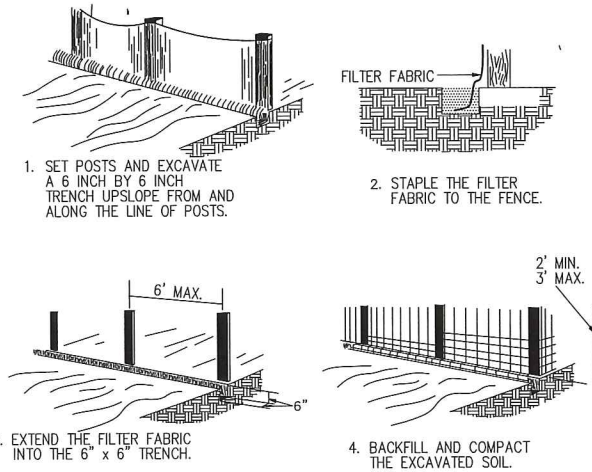
APPLIES TO ALL CONCRETE CONSTRUCTION.

NS-13 CONCRETE FINISHING

APPLIES TO ALL CONCRETE CONSTRUCTION.

ATTACHMENTS & BMP'S

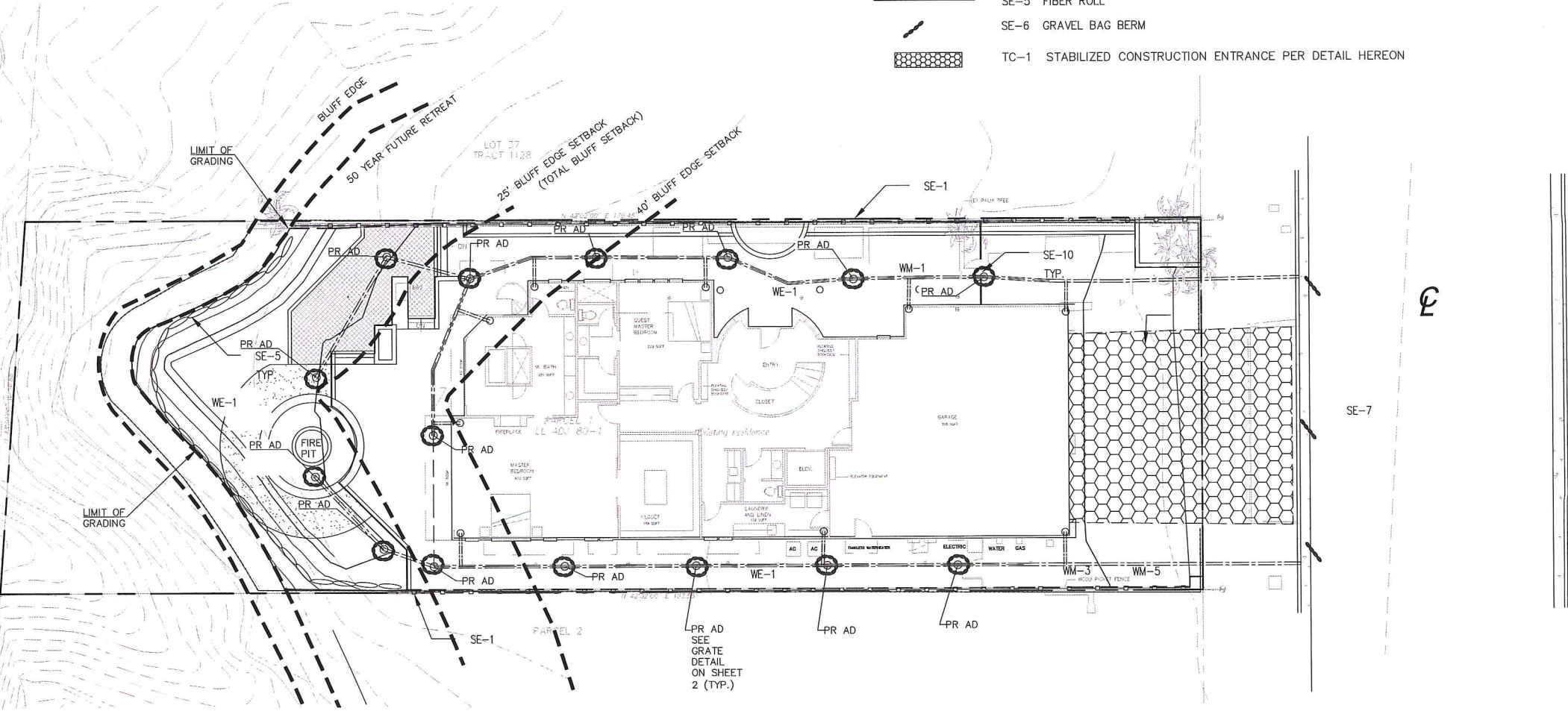
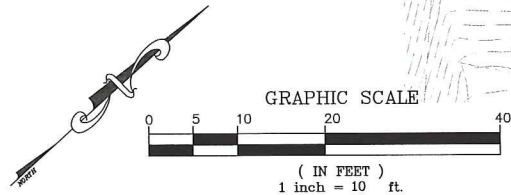
THE FOLLOWING BMPS AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR BUILDING OFFICIAL)



SILT FENCE DETAIL

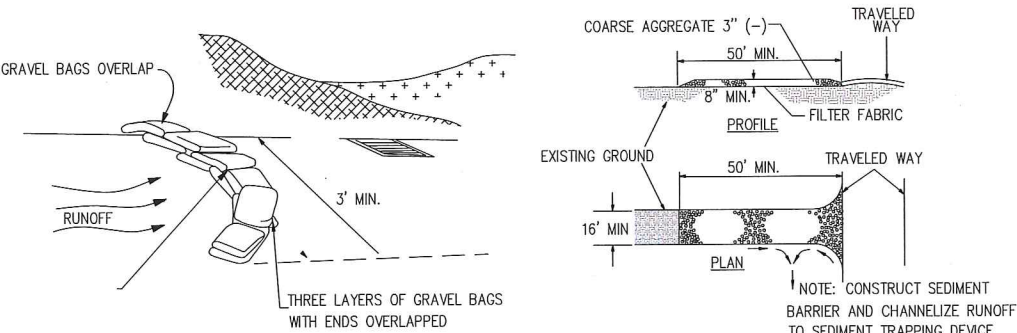
NO SCALE

THE SILT FENCE SHOULD BE SUPPORTED BY A WIRE MESH IF THE FILTER FABRIC DOES NOT HAVE SUFFICIENT STRENGTH AND BURSTING STRENGTH CHARACTERISTICS (AS RECOMMENDED BY THE FABRIC MANUFACTURER)



EROSION CONTROL PLAN

SCALE: 1"=10'



GRAVEL BAGS

NO SCALE

STABILIZED CONSTRUCTION ENTRANCE AND CONSTRUCTION ROADWAY

NO SCALE

LEGEND

THE LOCATION AND TYPE OF EROSION AND SEDIMENT CONTROL MEASURES TO BE USED WILL CHANGE DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE CONTROLS NECESSARY TO PREVENT NON-STORMWATER RUNOFF DISCHARGES FROM THE SITE AT ALL TIMES

LEGEND

XX-X

BMP DESIGNATION IN CALIFORNIA STORMWATER BMP HANDBOOK-CONSTRUCTION, LATEST EDITION, BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.

SE-1 SILT FENCE

SE-5 FIBER ROLL

SE-6 GRAVEL BAG BERM

TC-1 STABILIZED CONSTRUCTION ENTRANCE PER DETAIL HEREON

REVISION	DESCRIPTION	APPROVED	DATE

SCALE:	DESIGNED:	DRAWN:	CHECKED:
N/A			
ACAD FILE NO.			
N/A			
PROJECT NO.			

PLANS PREPARED BY:
VENTURA ENGINEERING INLAND, INC.
2700 YINEZ ROAD, SUITE 100
TEHACHEA, CA 92681
PHONE (805) 850-7002
FAX (805) 850-7200

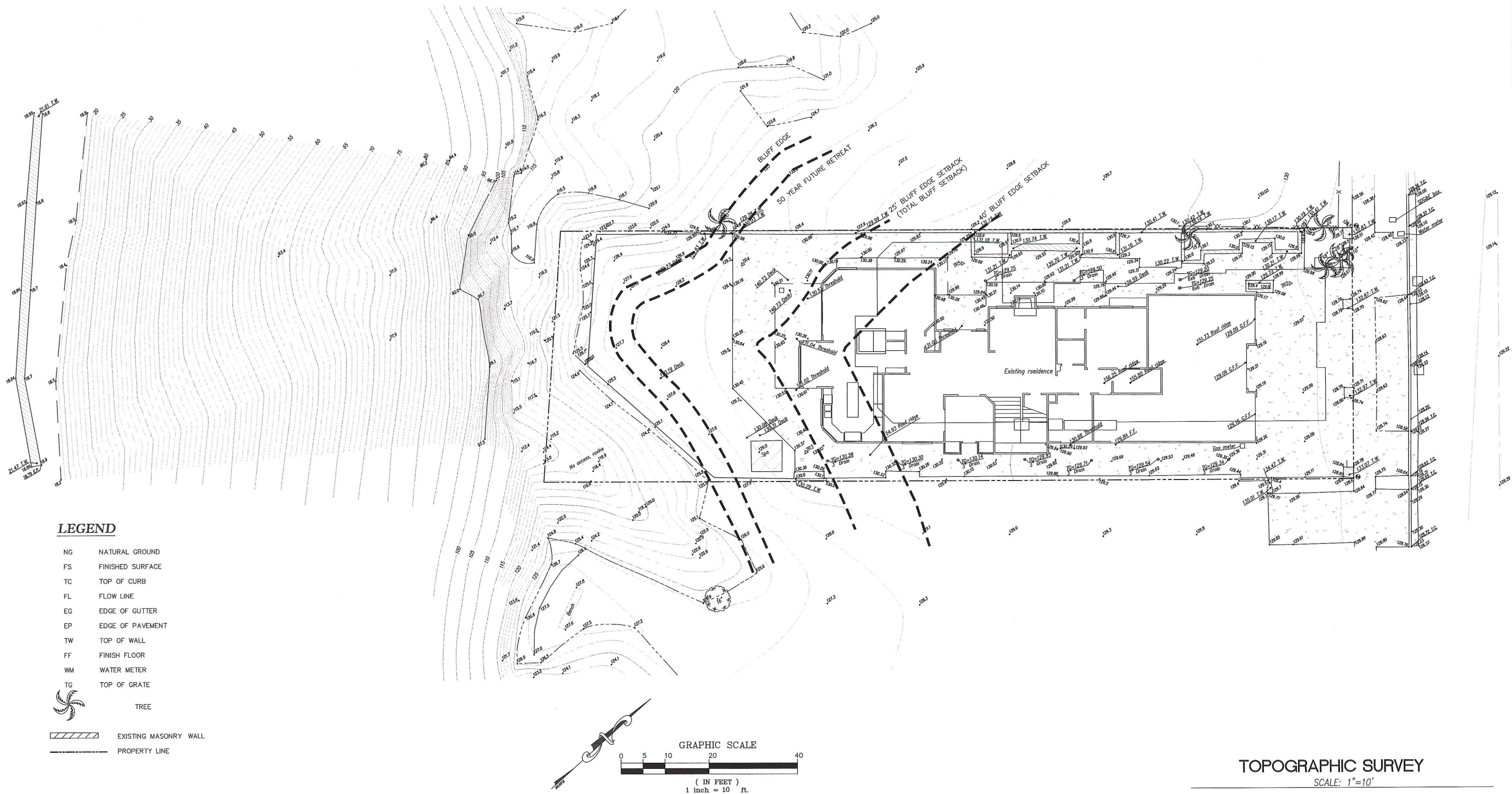
BENCHMARK
OCSBM 3B-52-68
ELEV= 18.235
NAVD88 DATUM, 1989 ADJ.

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY
AND MEETS THE REQUIREMENT OF THE DANA POINT
MUNICIPAL CODE:
CITY PLANNING DEPARTMENT
DATE

PLANS REVIEWED BY:	CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN	DANA POINT, CA 92629
MATTHEW V. SINACORI, CITY ENGINEER	DATE
RCE #59239 EXP. 06/30/19	
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	

CITY OF DANA POINT	PLAN CHECK NO.
GRADING PLANS FOR	19-0022
35481 CAMINO CAPISTRANO,	5 OF 6 SHEETS
DANA POINT, CA 92624	
PARCEL 19, TRACT 1128,	
APN: 691-192-19	
EROSION CONTROL PLAN	

ORIGINAL SCALE: 1"=10'



LEGEND

- NG NATURAL GROUND
- FS FINISHED SURFACE
- TC TOP OF CURB
- FL FLOW LINE
- EG EDGE OF GUTTER
- EP EDGE OF PAVEMENT
- TW TOP OF WALL
- FF FINISH FLOOR
- WM WATER METER
- TC TOP OF GRATE



TREE



EXISTING MASONRY WALL



PROPERTY LINE

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

TOPOGRAPHIC SURVEY

SCALE: 1"=10'

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT:
				N/A				VENTURA ENGINEERING INLAND, INC.	OCSBM 3B-52-68 ELEV= 18.235 NAVD88 DATUM, 1989 ADJ.	PLANNING DEPARTMENT
				ACAD FILE NO.			7/3/2019	27000 10000 ROAD, SUITE 100		THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
				N/A			DATE	TEHICULA, CA 92081		
				PROJECT NO.			66532	PHONE (909) 255-7002		
					ENGINEER OF WORK		R.C.E. NO.	FAX (909) 255-7002		CITY PLANNING DEPARTMENT

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/19

DATE



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CITY OF DANA POINT

GRADING PLANS FOR
35481 CAMINO CAPISTRANO,
DANA POINT, CA 92624
PARCEL 19, TRACT 1128,
APN: 691-192-19
TOPOGRAPHIC SURVEY

PLAN CHECK NO.

19-0022

6 OF 6 SHEETS

ORIGINAL SCALE: 1"=10'

- WATER ANALYSIS NOTES:
- ALL PLANTS ARE LOW WATER USE PLANTS.
 - ALL IRRIGATION IS TO BE A DRIP SYSTEM HIGH EFFICIENCY DESIGN.
 - EACH IRRIGATION VALVE SERVES MAXIMUM 8-1 GFT.
 - CLOCK TO A 'SMART CLOCK' WITH MOISTURE SENSORS FOR MAXIMUM WATER SAVINGS.

ZONING MATRIX PROVIDED	
LOT SIZE	10,243 SQFT.
LOT WIDTH @ FRONT SETBACK	55'
LOT DEPTH	181'
LOT COVERAGE	3348 SQFT. = 32.6%
MAX. HEIGHT	2 STORIES = 28'
FRONT YARD SETBACK	22'
SIDE YARD SETBACK	5' AND 0'
REAR YARD SETBACK	68'
HARDSCAPE	4089 SQFT. = 40%
LANDSCAPE COVERAGE	590 SQFT. = 5.8%
OPEN SPACE	2407 SQFT. = 23.5%

EXISTING AREA: 5421 SQFT. (1st - 2445 SQFT. / 2nd - 2976 SQFT.)
PROPOSED AREA: 4880 SQFT. (1st - 2171 SQFT. / 2nd - 2669 SQFT.)
NET CHANGE: - 561 SQFT.
EXISTING / PROPOSED GARAGE: 901 SQFT / 908 SQFT.

AREA IN 25' SETBACK

Landscaped Area 1886 sq/ft
Landscape 1085 sq/ft 57%
Hardscape 801 sq/ft 43%

NOTE:
no irrigation proposed within bluff setback

PLANT LEGEND

SIZE	BOTANICAL NAME	COMMON NAME	QUANTITY	HDW
TREES				
24" BOX	ARBUTUS 'MARINA'	STRAWBERRY TREE	1	40'X25'
15 GAL	PHOENIX ROEBELII	FIFTY DATE PALM	1	6'X4'
SHRUBS				
5 GAL	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	14	2'X3'
1 GAL	CALANDRINA G. 'JAZZ TIME'	ROCK FURSLANE	24	1'X3'
1 GAL	CAREX DIVULSA	BERKELEY SEDGE	25	1'X3'
5 GAL	EUONYMUS F. 'EMERALD GAILEY'	EMERALD GAILEY EUONYMUS	24	2'X4'
5 GAL	GALVENSIA SPECIOSA	ISLAND SNAPDRAGON	2	3'X4'
5 GAL	LAVANDULA SP.	LAVENDER	10	2'X4'
1 GAL	LIRIOPE MUSCARI	LILYTURF	10	1'X3'
5 GAL	PENNISSETUM G. 'CUPREUM'	STERILE FOUNTAIN GRASS	8	4'X3'
PERENNIALS				
4" POTS	ARMERIA MARITIMA	SEA PINKS	• 8" O.C.	1'X1'
4" POTS	IMPATIENS WALLERANA	IMPATIENS	• 8" O.C.	6'X1'

PLANTING NOTES

CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO ANY DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY FAILURE TO DO SO.

PLANT MAINTENANCE WORK SHALL CONSIST OF APPLYING WATER, WEEDING, FERTILIZING PER SPECIFICATIONS.

THE ENTIRE PROJECT IS TO BE MAINTAINED FOR A PERIOD OF 60 CALENDAR DAYS, COMMENCING FROM THE TIME ALL ITEMS OF WORK HAVE BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR DISEASE AND PEST CONTROL DURING THE MAINTENANCE PERIOD.

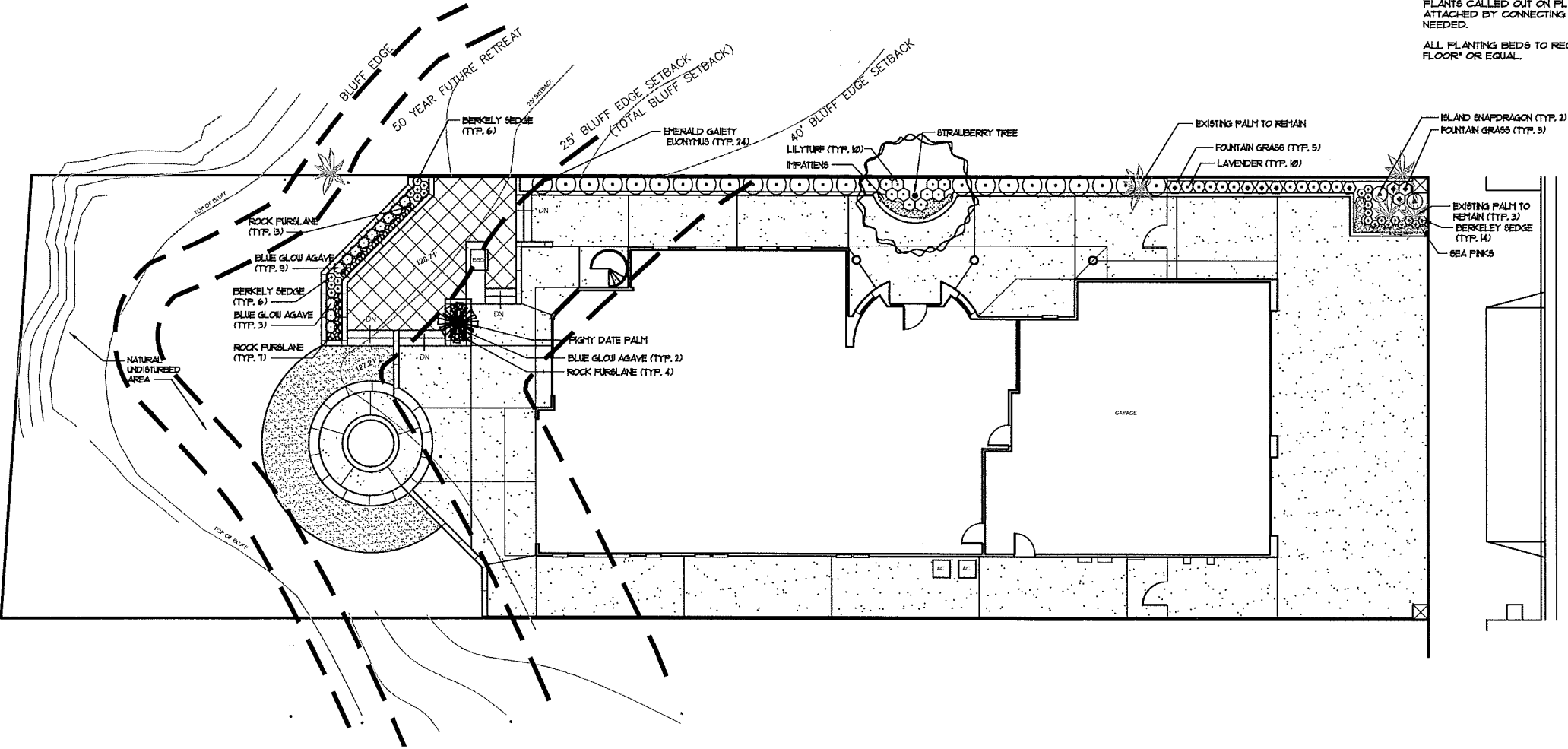
CONTRACTOR SHALL RAISE OR LOWER SPRINKLER HEADS TO PROPER LEVEL IF PLANT MATERIAL OBSTRUCTS FULL COVERAGE.

CONTRACTOR TO VERIFY WITH SOIL ANALYSIS, THE SOIL AMENDMENT AND CONTACT THE LANDSCAPE ARCHITECT IF THERE ARE ANY INADEQUATE AMENITIES.

ALL SHRUBS AND GROUND COVER TO BE INSTALLED 1" ABOVE BACKFILL GRADE. COMPACT BACKFILL TO REMOVE MAJOR SETTLING OF PLANT MATERIAL.

PLANTS CALLED OUT ON PLAN ARE CONSIDERED IN CLUSTERS EVEN IF NOT ATTACHED BY CONNECTING LINES. CALLOUTS WILL HAVE TOTAL COUNTS NEEDED.

ALL PLANTING BEDS TO RECEIVE 2" DEPTH OF FIR BARK MULCH - 'FOREST FLOOR' OR EQUAL.



REVISIONS	BY

OTT RESIDENCE

PRELIMINARY LANDSCAPE PLAN

SSA

STAN SMITH ASSOCIATES

(949) 855-6413
FAX 855-4465
LANDSCAPE ARCHITECTURE
23011 Moulton Parkway
Suite J12 • Laguna Hills, CA 92653

35481 CAMINO CAPISTRANO
DANA POINT, CA 92624

DRAWN SSA
CHECKED SS
DATE 9-25-18
SCALE 1/8" = 1'-0"
JOB NO.
SHEET

OF SHEETS