

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: FEBRUARY 11, 2019

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR
SEAN NICHOLAS, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP18-0014 FOR SITE IMPROVEMENTS ASSOCIATED WITH ADA COMPLIANCE, SAFETY RAILING, AND NEW CHANGING CABANAS IN THE EXISTING OUTDOOR SHOWER AREA AT THE MONARCH BAY BEACH CLUB AT 500 MONARCH BAY DRIVE IN THE RECREATIONAL (REC) ZONING DESIGNATION

RECOMMENDATION: That the Planning Commission adopt the attached draft Resolution approving Coastal Development Permit CDP18-0014 (Action Document 1).

APPLICANT: Monarch Beach Resort

REQUEST: A request for accessibility compliance (ADA) modifications, safety improvements, and to add changing cabanas within the existing outdoor shower area.

LOCATION: 500 Monarch Bay Drive (APN 670-151-55)

NOTICE: Public Hearing notices were mailed to property owners within 500 feet, and to occupants within 100 feet of the site on February 1, 2019. The same notice was published in the Dana Point News on February 1, 2019, and notices were posted on February 8, 2019, at Dana Point City Hall, the Dana Point post office, the Capistrano Beach post office, and the Dana Point Library.

ENVIRONMENTAL: This project is categorically exempt (Class 1 - Section 15301 – Existing Facilities) from the provisions of the California Environmental Quality Act (CEQA) since the project is for minor improvements associated with ADA compliance, safety requirements, and minor improvements within existing outdoor areas.

ISSUES:

1. Is the proposal consistent with the City's adopted General Plan/Local Coastal Program?

2. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?
3. Does the project satisfy all the findings required pursuant to the City's Zoning Code for approving a Coastal Development Permit?

BACKGROUND:

The Monarch Bay Beach Club was developed in 1965, and has continually operated. The property managers, the Monarch Beach Resort (applicant), is in the process of completing repairs and maintenance to the site. The site is surrounded by single family residences on three sides, and the Pacific Ocean to the South.

DISCUSSION:

COASTAL DEVELOPMENT PERMIT:

A Coastal Development Permit (CDP) is required for projects that include improvements within 300 feet of the mean high tide line and the first public street. The applicant is undertaking several minor repair and maintenance improvements to the Beach Club. As part of the scope of work ADA and safety improvements are proposed. Those improvements include: new covered areas adjacent to required ADA parking and new fencing/railing for safety. The applicant is proposing new canopies within the outdoor shower area for changing. Based on the scope of work, the project meets the definition of development (coastal). None of the proposed improvements impact access or any sensitive habitat, as the proposed improvements would not expand the existing development footprint, and all areas of work have already been developed and operating as part of the Monarch Bay Beach Club.

ADA Improvements

Currently only the tram drop-off area is covered by a canopy. The applicant is proposing to extend the existing canopy entry towards the required ADA parking spaces and pedestrian accessible path. This improvement will provide equal facilitation as required under the California Accessibility requirements (State Law). The new canopies would match the existing canopies and will not exceed 10 feet tall. Under the canopy would be a new path of travel consistent with required grades for compliance with State Law.

Safety Improvements

The applicant is proposing safety railings in two areas. No other improvements are proposed in those areas, and the safety railing would be visibly transparent and 42 inches tall. Image one below illustrates the two locations where railings would be installed, and image two depicts the railing design.

Image 1: Location of New Railing (in red)



Image 2: Proposed Railing



Changing Cabanas

The applicant is proposing to install changing cabanas in the outdoor shower area. The cabanas would be for visitors to the Beach Club, and provide individual and family changing options for people going and coming from the beach. The cabanas would not exceed eight feet and six inches (8'-6") tall. The cabana materials and colors will be chosen to tie into the rest of the facilities. The cabanas would be permanently affixed to the outdoor shower area.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are articulated in the attached draft Resolution identified as Action Document 1.

CORRESPONDENCE:

Staff has not received any correspondence on the proposed project.

CONCLUSION:

Staff Recommends approval of CDP18-0014, as all of the applicable findings required can be made pursuant to the draft Resolution (Action Document 1).



Sean Nicholas, AICP
Senior Planner



Matt Schneider
Director of Community Development

ACTION DOCUMENT:

1. Draft Planning Commission Resolution 19-02-11-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. CEQA Exemption
4. Conceptual Plans

Action Document 1: Draft Planning Commission Resolution 19-02-11-XX

RESOLUTION NO. 19-02-11-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP18-0014 FOR SITE IMPROVEMENTS ASSOCIATED WITH ADA COMPLIANCE, SAFETY RAILING, AND NEW CHANGING CABANAS IN THE EXISTING OUTDOOR SHOWER AREA AT THE MONARCH BAY BEACH CLUB AT 500 MONARCH BAY DRIVE IN THE RECREATIONAL (REC) ZONING DESIGNATION

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the Monarch Beach Resort (the "Applicant"), maintains the real property commonly referred to as the Monarch Bay Beach Club at 500 Monarch Bay Drive (APN 670-151-55) (the "Property"); and

WHEREAS, the Applicant initiated an application for a Coastal Development Permit for accessibility compliance (ADA) modifications, safety improvements, and to add changing cabanas within the existing outdoor shower area; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 11th day of February, 2019, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, the proposed project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) in that the project is for minor improvements associated with ADA compliance, safety requirements, and minor improvements within existing outdoor areas; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP18-0014.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A) That the above recitations are true and correct and incorporated herein by reference;

Findings:

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP18-0014, subject to conditions:

General Plan and Local Coastal Program, **in that the project does not propose a change of use, and is improving the site consistent with state accessibility requirements thus improving access to visitors, increasing safety of guests, and providing amenities within the footprint of existing outdoor facilities is consistent with the General Plan and Coastal Access requirements.**

- 2) That the proposed development is located between the nearest public roadway and the sea or shoreline of any body of water, and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act, **in that the project does not change or alter any public access way and is in close proximity to numerous public beaches including Salt Creek Beach. The accessibility improvements will aid visitors who are disabled to more freely utilize the existing amenities, thus improving visitor access.**
- 3) That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act), **in that the project qualifies for a Categorical Exemption Type 1 since the project is for minor improvements associated with ADA compliance, safety requirements, and minor improvements within existing outdoor areas and does not impact any sensitive habitat or resources as the areas being modified have already been developed and does not expand the footprint of any improvements.**
- 4) That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources, **in that the site is already developed and the proposed improvements do not expand the footprint of the development thus it will not impact surrounding uses or the Pacific Ocean. There is no ESHA on-site, thus no habitat or other environmentally sensitive areas will be impacted by the improvements.**
- 5) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards, **in that the project does not propose any type of development which would result in impacting natural landforms, or create geologic, erosional, flood, or fire**

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hazards as there is no expansion of the footprint of developed or improved areas, and all improvements will meet applicable building and fire code requirements.

- 6) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas, **in that the aesthetics of the proposed improvements will match existing conditions and will be visually compatible with the character of the Beach Club.**
- 7) That the proposed development will conform with the General Plan, Zoning Code, Local Coastal Program, or other applicable adopted plans and programs, **in that the proposed project has been reviewed by City staff to confirm that the project conforms to all applicable codes, policies, and standards.**

A. **General:**

1. Approval of this application is to allow the accessibility compliance (ADA) modifications, safety improvements, and to add changing cabanas within the existing outdoor shower area and does not expand the existing footprint. Subsequent submittals for this project shall be in substantial compliance with the concept plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan/Local Coastal Program, and the Dana Point Zoning Code.
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced within such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved for the location and concepts of the uses, structures, features, and materials, shown on the conceptual documents. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will be reviewed for consistency with the conceptual drawings. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall

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be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, they may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The proposed canopy shall not exceed 10 feet in height and shall match the color and material of the other canopies on-site.
6. The changing cabanas in the existing outdoor shower area shall not exceed 8 feet-6 inches (8'-6") tall and the materials and colors shall compliment the Beach Club.
7. Building(s) shall comply with the 2016 editions of the Building Code with all local amendments.
8. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
9. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety and Engineering Division for plan check for Building and Grading Permits.
10. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 11th day of February, 2019, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Roy Dohner, Chairperson
Planning Commission

ATTEST:

Matt Schneider, Director
Director of Community Development

DRAFT

Supporting Document 2: Vicinity Map



Vicinity Map

CDP18-0014, Monarch Bay Beach Club ADA, Safety, and Cabana Improvements



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Supporting Document 3: CEQA Exemption

**CITY OF DANA POINT
NOTICE OF EXEMPTION**

Date: February 11, 2019

To: County Clerk-Recorder
County of Orange
12 Civic Center Plaza, Room 106
P.O. Box 238
Santa Ana, CA 92702
Attn: EIR Clerk

From: City of Dana Point
Community Development Department
33282 Golden Lantern, Suite No. 209
Dana Point, California 92629

Project Title: Coastal Development Permit CDP18-0014

Project Location:
500 Monarch Bay Drive (APN 670-151-55)

Description of Nature, Purpose, and Beneficiaries of Project:
A request for accessibility compliance (ADA) modifications, safety improvements, and to add changing cabanas within the existing outdoor shower area.

Name of Public Agency Approving Project: City of Dana Point

Project Applicant: Monarch Beach Resort, 1 Monarch Beach Resort, Dana Point, CA 92629, 949-234-3433

Exempt Status: (Check One)
Statutory Exemption
___ Section:
___ Ministerial (Sec. 21080(b)(1); 15268):
___ Declared Emergency (Sec. 21080(b)(3); 15269(a))
___ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
 X Categorical Exemption: Class: 1 Section: 15301
___ Exempt: Sections:

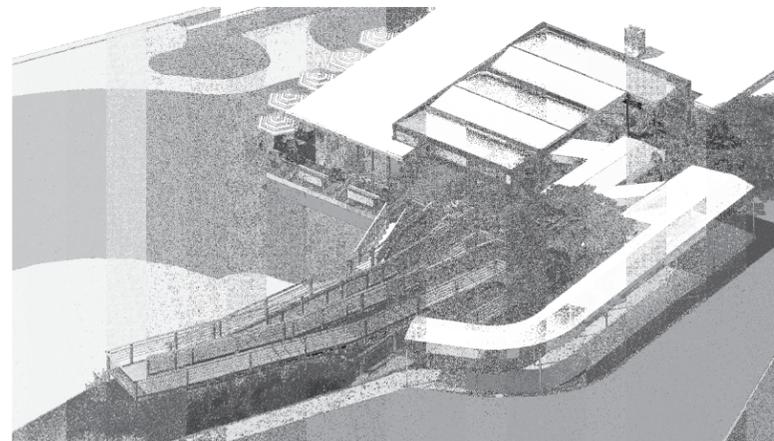
Reason Why Project is Exempt:
The project includes minor improvements associated with ADA compliance, safety requirements, and minor improvements within existing outdoor areas and does not impact any sensitive habitat or resources as the areas being modified have already been developed and does not expand the footprint of any improvements.

Lead Agency Contact Person:
Sean Nicholas, AICP, Senior Planner, (949) 248-3588
City of Dana Point
32282 Golden Lantern
Dana Point, CA, 92629

Signature: _____ Date: _____ Title: _____
 Signed by Lead Agency Signed by Applicant

Supporting Document 4: Conceptual Plans

ATTACHMENT



MONARCH BAY CLUB

500 MONARCH BAY DR.
DANA POINT, CA 92629

EXTERIOR ADA UPGRADES COASTAL DEVELOPMENT PERMIT SET

JAN 14, 2019

STREETSTUDIO.LA

STREETSTUDIO.LA
3580 WILSHIRE BLVD, SUITE 1180
LOS ANGELES, CALIFORNIA 90010
T 213-955-5755 F 213-955-5766

BUILDING AREA & OCCUPANCY

OCCUPANCY GROUPS: A-2
 CONSTRUCTION TYPE: V-B
 AUTOMATIC FIRE SPRINKLERS: YES (PER CBC SECTION 903.2.3)
 BASIC ALLOWABLE FLR AREA: 24,000 SF (PER CBC TABLE 506.2)
 BASIC ALLOWABLE HEIGHT: 2 STORY (PER CBC TABLE 504.4)
 60'-0" (PER CBC TABLE 504.3)
ACTUAL FLOOR AREA: 4,960 SF - TOTAL
ACTUAL HEIGHT: 1 STORES
17'-3"

OCCUPANT ANALYSIS

OCCUPANT LOAD FACTOR PER CBC TABLE 1004.1

ASSEMBLY AREAS (UNCONCENTRATED)	15 SF NET
COMMERCIAL KITCHENS	200 GROSS
ACCESSORY STORAGE AREAS	300 GROSS
BUSINESS AREAS	100 GROSS
ASSEMBLY FLOOR AREA: 1735 SF	
BAR	760 SF
DINING	620 SF
PDR	355 SF
OCCUPANT LOAD	118 OCCUPANTS
COMMERCIAL KITCHEN AREA: 1422 SF	
KITCHEN	1294 SF
SERVING WINDOW	128 SF
OCCUPANT LOAD	8 OCCUPANTS
STORAGE AREA: 553 SF	
STORAGE 1	160 SF
STORAGE 2	140 SF
CLOSET	21 SF
LIQUOR STORAGE	66 SF
STORAGE 3	80 SF
COOLER	106 SF
OCCUPANT LOAD	2 OCCUPANTS
BUSINESS AREA: 62 SF	
OCCUPANT LOAD	1 OCCUPANT
ASSEMBLY OCCUPANTS: 91 OCCUPANTS	
KITCHEN OCCUPANTS	8 OCCUPANTS
STORAGE OCCUPANTS	2 OCCUPANTS
BUSINESS OCCUPANTS	1 OCCUPANT
TOTAL OCCUPANTS	102 OCCUPANTS

EGRESS ANALYSIS

EGRESS WIDTH PER OCC. SERVED - A-2 OCC., SPRINKLERED (CBC 1005.3)

STAIRWAYS: 0.2"
 OTHER EGRESS COMPONENTS: 0.15"

REQUIRED NUMBER OF EXITS

ASSEMBLY OCCUPANT LOAD: 91 OCCUPANTS
 2 EXITS REQUIRED (CBC 1015.1 & TABLE 1021.2)

PANIC HARDWARE REQUIRED FOR DOORS SERVING SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A OCCUPANCY (CBC 1008.1.10)

EXIT SIGNS REQUIRED AT EXIT DOORS (CBC 1011.1)

FLOOR LEVEL EXIT SIGNS REQUIRED AT INTERIOR CORRIDORS IN A OCCUPANCY (CBC 1011.7)

EVERY ROOMSPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOMSPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. (CBC 1004.3) FIRE CODE 1004.3

ANY TIME A BUILDING OR A PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1-FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE LEVEL.

PLUMBING FIXTURE ANALYSIS

FIXTURES PER OCC. SERVED - A-2 OCC, B, S (TABLE 422.1, TABLE A)

A-2	LOAD FACTOR	= 30		
	INTERIOR & EXTERIOR DINING AREAS	3581 SF		
A-2 OCCUPANT LOAD:		120		
WOMEN:		60		
MEN:		60		
WOMEN	LOAD	REQ'D	PROVIDED	
WATER CLOSETS:	3:51-100	3	4	
LAVATORIES:	1:1-150	1	3	
MEN	LOAD	REQ'D	PROVIDED	
WATER CLOSETS:	2:51-100	2	3	
URINALS:	1:1-200	1	1	
LAVATORIES:	1:1-150	1	3	
B	LOAD FACTOR	= 200		
AREA(KITCHEN + OFFICE)	1,484 SF			
B OCCUPANT LOAD:		8		
WOMEN:		4		
MEN:		4		
WOMEN	LOAD	REQ'D	PROVIDED	
WATER CLOSETS:	1:1-15	1	4	
LAVATORIES:	1:1-50	1	3	
MEN	LOAD	REQ'D	PROVIDED	
WATER CLOSETS:	2:1-50	1	3	
URINALS:	1:1-100	1	1	
LAVATORIES:	1:1-75	1	3	

01 EGRESS PLAN
 SCALE: 1/8" = 1'-0"

PATH OF TRAVEL NOTES

PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE. EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 2% UNLESS OTHERWISE INDICATED. (POT) SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307) CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL & THE PATH OF TRAVEL COMPLY WITH CBC 11B.

EXISTING SURFACE DEFECTS, TRANSITIONS GREATER THAN 1/4" AND SLOPES NOT MEETING THESE REQUIREMENTS SHALL BE GROUND SMOOTH, PATCHED AND/OR RE-SURFACED AS REQUIRED.

PARKING CALCULATIONS

REQUIRED PARKING: PER DANA POINT ZONING CODE SECTION 9.35.080
 COMMERCIAL USE - RESTAURANT - DINING

BUILDING AREA: 4,960 SF
 PARKING LOAD: 40 STALLS + 1 stall/50 SF-GFA ABOVE 4,000 SF-GFA

CALCULATION: 4960 - 4000 = 960 SF
 960/50 = 19.2 = 20 ADD'L STALLS

TOTAL STALLS REQUIRED: 60 STALLS

PROVIDED PARKING: 93 STALLS

STANDARD STALLS: 88 SPACES TOTAL

ACCESSIBLE STALLS REQUIRED: 4 SPACES (3 STANDARD / 1 VAN)

STANDARD ACCESSIBLE STALLS: 4 SPACES PROVIDED

VAN ACCESSIBLE STALLS: 1 SPACES PROVIDED

THE IDEAS AND DESIGN REPRESENTED HEREIN AND THE DRAWINGS ALL PREPARED BY STREETSTUDIO.LA AND FOR THE USE SOLELY WITH RESPECT TO THE PROJECT. STREETSTUDIO.LA SHALL RETAIN ALL COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS IN THE DRAWINGS. STREETSTUDIO.LA AND THEIR REPRESENTATIVES HOLDING COPYRIGHT AND THEY SHALL NOT BE USED BY OTHERS FOR ANY OTHER PURPOSE WITHOUT WRITTEN PERMISSION OF STREETSTUDIO.LA

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KITCHEN DESIGN

AGROMS & TANAKA ASSOCIATES
 9301 STEWART & GRAY ROAD
 DOWNEY, CA 90241

INTERIOR DESIGN

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 LOS ANGELES CA 90036
 T 323-402-0129/201

SURVEYOR/CIVIL ENGINEER

CIVILSCAPES
 28052 CAMINO CAPISTRANO, SUITE 213
 LAGUNA NIGUEL, CA 92677
 T 949-464-8115

STAMP/SEALS



Monarch Bay Club Exterior ADA Upgrades

OWNER
 MONARCH BEACH RESORT

PROJECT ADDRESS
 500 MONARCH BAY DR.
 DANA POINT, CA 92629

REVISIONS

PROJECT NUMBER
07-2018

ISSUE
PERMIT SET

DATE
DECEMBER 03, 2018

SHEET TITLE
CODE ANALYSIS

SHEET NUMBER
GO.03

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STAMP/SEALS



**Monarch Bay Club
Exterior ADA
Upgrades**

OWNER
MONARCH BEACH RESORT

PROJECT ADDRESS
500 MONARCH BAY DR.
DANA POINT, CA 92629

REVISIONS

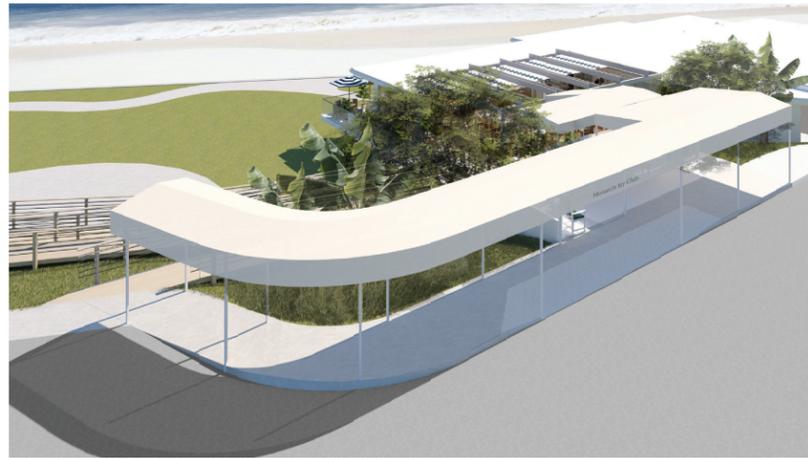
PROJECT NUMBER
07-2018

ISSUE
PERMIT SET

DATE
DECEMBER 03, 2018

SHEET TITLE
DESIGN
ILLUSTRATIONS

SHEET NUMBER
GO.04



04 ENTRANCE CANOPY AT DROP-OFF RENDERING
SCALE: NTS



01 ENTRANCE AERIAL RENDERING
SCALE: NTS



02 ENTRANCE CANOPY AT RAMP RENDERING
SCALE: NTS



03 ENTRANCE CANOPY AT STAIR RENDERING
SCALE: NTS

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LAGUNA HIGUEL, CA 92677
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STAMP/SEALS



**Monarch Bay Club
Exterior ADA
Upgrades**

OWNER
MONARCH BEACH RESORT

PROJECT ADDRESS
500 MONARCH BAY DR.
DANA POINT, CA 92629

REVISIONS

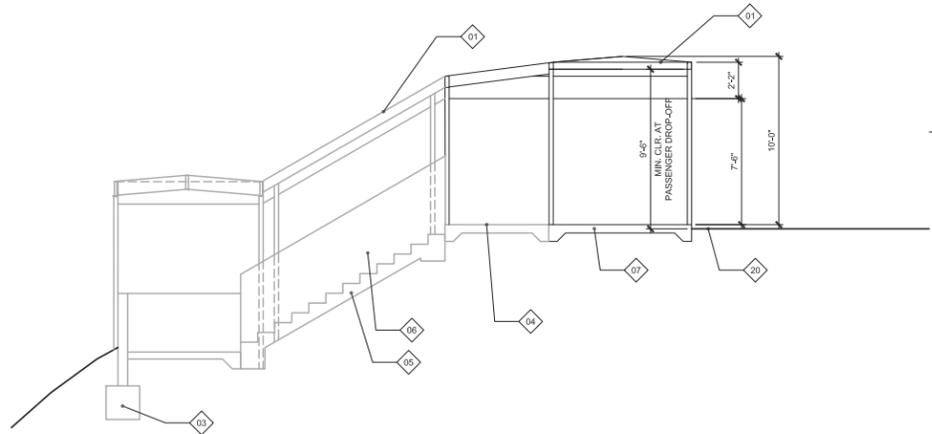
PROJECT NUMBER
07-2018

ISSUE
PERMIT SET

DATE
DECEMBER 03, 2018

SHEET TITLE
CANOPY SECTION

SHEET NUMBER
A3.00



KEYNOTE LEGEND

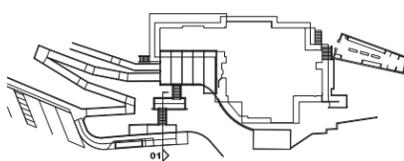
01 COVERED WALKWAY SECTION
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

- 01 CANOPY FRAME AND FABRIC DESIGNED AND INSTALLED BY MANUF. NO NEW FOOTINGS
- 02 CANOPY OVER STAIRS NOT IN SCOPE
- 03 (E) STAIR WALL FOUNDATION TO REMAIN
- 04 (E) CONG SLAB ON GRADE TO REMAIN
- 05 (E) CONG STAIR TO REMAIN
- 06 (E) CONG WALL AND ATTACHED RAILINGS TO REMAIN
- 07 NEW CONG WALK AT ADA DROP-OFF
- 08 (E) ASPHALT PAVING TO REMAIN

GENERAL NOTES

1. PATCH WALLS AND CEILING AS REQUIRED.
2. ALL NEW WALLS AND PATCHED SURFACES TO BE RE-FINISHED / RE-PAINTED TO MATCH ADJACENT CONDITIONS.
3. REPAIR OR REPLACE ALL DAMAGED OR MISSING ACCESS PANELS & CLEANOUT COVERS.



GENERAL NOTES :

- REFER TO TYPICAL ACCESSIBILITY DETAILS ON A9.01.

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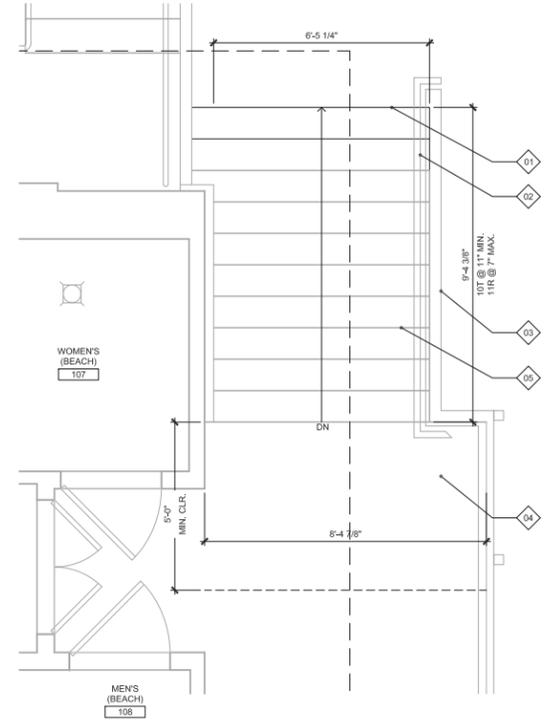
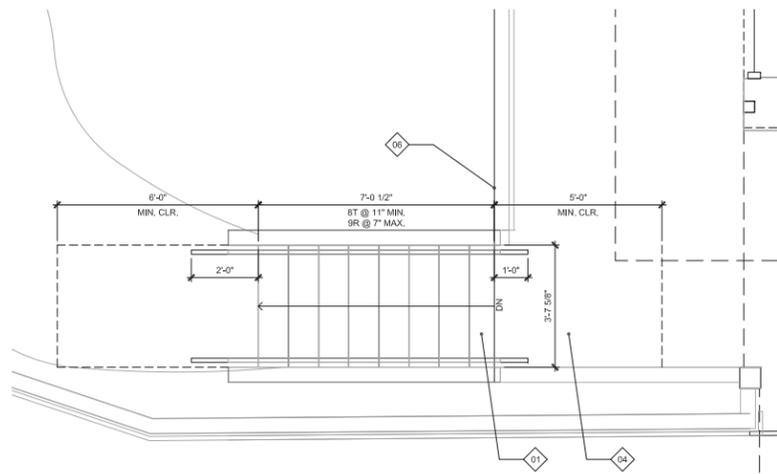
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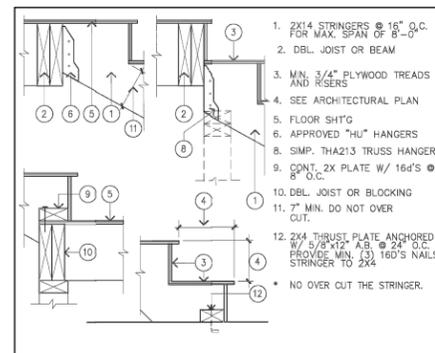
KEYNOTE LEGEND :

- 01 DEMO AND REBUILD DAMAGED STAIRS AS NEEDED PER DETAIL 05-
- 02 (E) METAL HANDRAIL TO REMAIN REPAINT AS REQUIRED
- 03 (E) WOOD GUARDRAIL TO REMAIN REPAINT AS REQUIRED
- 04 (E) WOOD DECK TO REMAIN
- 05 (E) WOOD STAIRS TO REMAIN
- 06 (E) HANDRAIL TO REMAIN



04 ENLARGED STAIR PLAN - AT LOWER SEATING
SCALE: 1/2" = 1'-0"

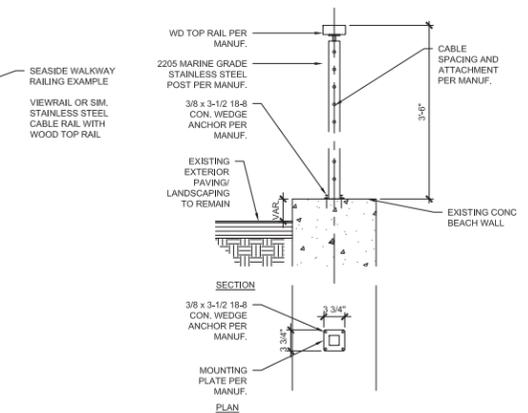
01 ENLARGED STAIR PLAN - AT BEACH RESTROOMS
SCALE: 1/2" = 1'-0"



05 WOOD STAIR CONNECTION
SCALE: NTS



03 RAIL EXAMPLE
SCALE: NTS



02 SEASIDE WALKWAY RAILING
SCALE: 1" = 1'-0"

STAMP/SEALS



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REVISIONS

PROJECT NUMBER
07-2018

ISSUE
PERMIT SET

DATE
DECEMBER 03, 2018

SHEET TITLE
ENLARGED STAIR PLANS

SHEET NUMBER
A4.01

GENERAL NOTES :

1. REFER TO TYPICAL ACCESSIBILITY DETAILS ON A9.01.
2. REFER TO TYPICAL SITE DETAILS ON A9.02.

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KEYNOTE LEGEND :

- 01 FIRE LANE MAINTAIN CLEAR AREA
- 02 MAINTAIN 16'-0" FIRE VEHICLE TURNING RADIUS
- 03 ADA CONC RAMP, MAX SLOPE 1:12, MAX CROSS SLOPE 2%
- 04 ADA DROP OFF AREA, MAINTAIN CLEAR SPACE
- 05 VEHICLE SPACE REQUIRED FOR ADA DROP-OFF
- 06 TRUNCATED DOME WARNING STRIP PER CBC 11B-705 PER DTL 021
- 07 LINE OF AWNING COVERING OVER HEAD
- 08 AWNING SUPPORT COLUMN
- 09 EXTEND HANDRAILS TO MAKE CONTINUOUS ALONG RAMP
- 10 CONSTRUCT CONC ADA RAMP PER CIVIL DRAWINGS
- 11 RESTRIPE ADA PARKING, PER CIVIL DRAWINGS
- 12 ALIGN NEW CONC AND WALK AND (E) CONC WALK SEE CIVIL SHEETS FOR PRECISE GRADING
- 13 ALIGN NEW CONC RAMP AT (E) LANDING SEE CIVIL DRAWINGS

STAMP/SEALS



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DANA POINT, CA 92629

REVISIONS

NO.	DESCRIPTION

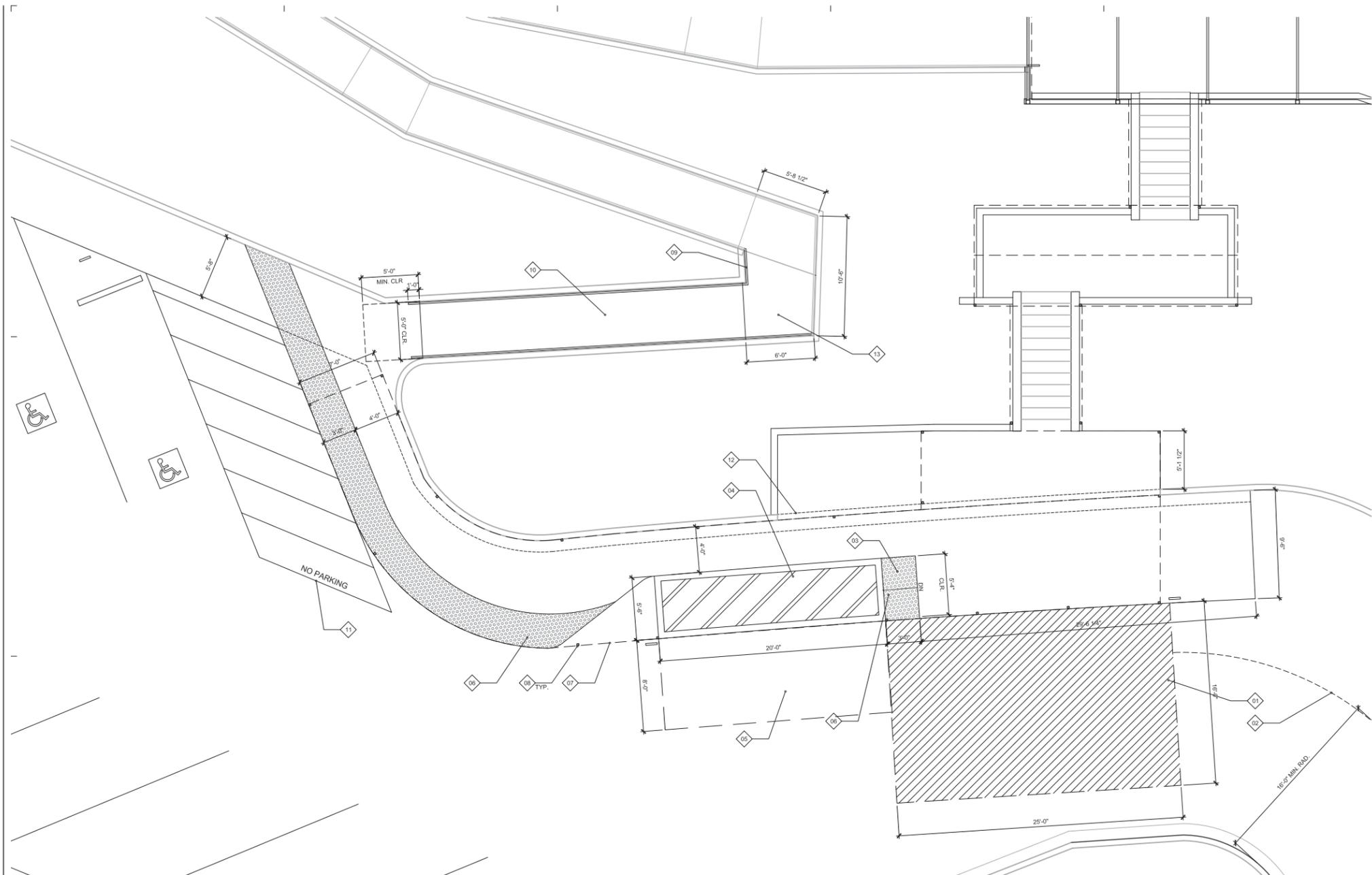
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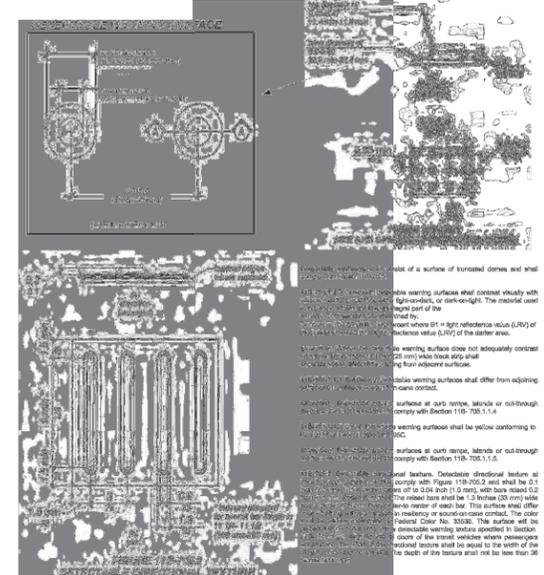
DATE
DECEMBER 03, 2018

SHEET TITLE
ENLARGED PLAN -
ADA DROP-OFF

SHEET NUMBER
A4.02



01 ENLARGED PLAN - AT ADA DROP OFF
SCALE: 1/2" = 1'-0"



02 TRUNCATED DOME DETAILS
SCALE: NTS

1/16/2019 07-2018 A4.02E.dwg

