

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JANUARY 28, 2019

TO: DANA POINT PLANNING COMMISSION

**FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR OF COMMUNITY DEVELOPMENT
BELINDA DEINES, SENIOR PLANNER**

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP18-0011 TO DEMOLISH AN EXISTING 2,072 SQUARE-FOOT SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW 3,146 SQUARE-FOOT SINGLE-FAMILY DWELLING AND ATTACHED TWO-CAR GARAGE WITHIN THE RESIDENTIAL SINGLE FAMILY 4 (RSF 4) DISTRICT LOCATED AT 225 MONARCH BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP18-0011.

APPLICANT: Annette and Mark Graff, Property Owners

REPRESENTATIVE: Stan Andrade, Architect

REQUEST: Approval of a Coastal Development Permit to demolish an existing single-family dwelling and construct a new single-family dwelling and attached two-car garage located within the RSF 4 District, Coastal Overlay District, and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 225 Monarch Bay Drive (APN 670-111-23)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on January 18, 2019, published within a newspaper of general circulation on January 18, 2019, and posted on January 18, 2019 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303(a) (Class 3 – New Construction) in that the project involves construction of one single-family dwelling in a residential zone.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP);
- Project compatibility with and enhancement of the site and surrounding neighborhood; and
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP).

BACKGROUND: The subject site is a 10,156 square-foot lot located within the Monarch Bay Homeowners Association, which consists of a built-out neighborhood of single-family dwellings. The site is improved with a 2,072 square-foot, one-story single-family dwelling and attached two-car garage built in 1963. All existing improvements will be demolished and the existing structure is not identified as a historic resource.

The property is zoned “Residential Single Family 4” (RSF 4), identified in the City’s General Plan with a land use designation of “Residential 3.5-7 DU/AC,” and is located within the City’s Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The project includes demolition of all existing structures and the landscaping, and construction of a new 3,146 square-foot, one-story single-family dwelling with a 657 square-foot attached two-car garage. The proposed structure consists of four bedrooms, five bathrooms, and an open concept living, dining, and kitchen area. The proposed two-car garage meets the covered parking requirement for a single-family residence with four bedrooms.

Development standards for this property are set forth in the City’s Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RSF 4 District. Table 1 summarizes applicable RSF 4 District zoning designation development standards and the project’s conformance with those requirements:

Table 1: Compliance with RSF 4 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback	20’ minimum	20’	Yes
Side Setbacks	5’ minimum	5’; 5’	Yes
Rear Setback	25’ minimum	29’-6”	Yes
Height	24’ maximum Less than 3:12 roof pitch	16’ 0.25-5:12	Yes

Lot Coverage	45% maximum	37.5%	Yes
Landscape Coverage	25% minimum	62.35%	Yes
Parking Required	2 car garage	2 car garage	Yes

The proposed structure's architectural style is described as contemporary with mid-century design features. The proposed roof consists of a combination of tan asphalt shingle, flat roofing, and three small skylights. The exterior finishes include wood fascia, metal/clad exterior doors and windows, wood panel garage doors, and smooth stucco.

A new pool and spa will be constructed in the rear yard with new hardscape and landscape proposed throughout the site. The proposed landscape plan will be subject to compliance with DPZC Chapter 9.55, Water Efficient Landscape Standards and Requirements, based on the total rehabilitated landscape area provided onsite.

The project as designed complies with all applicable development standards, including setbacks, parking, lot coverage, landscape area, and height limits. No deviations are requested.

Coastal Development Permit CDP18-0011

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, construction of a new single-family dwelling on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires approval of a Coastal Development Permit (CDP).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

- 1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
- 2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
- 3. Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*

4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 19-01-28-XX, attached to this report as Action Document 1.

CORRESPONDENCE: On September 18, 2018, the proposed project received approval from the Monarch Bay Association Architectural Control Committee. To date, no additional correspondence has been received.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. The project has been found to comply with all development standards, and staff recommends that the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 18-0011 subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Matt Schneider, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 19-01-28-xx

Supporting Documents

2. Vicinity Map
3. Color and Material Sample Boards
4. Site Photos
5. Architectural Plans

Action Document 1 Draft Planning Commission Resolution No. 19-01-28-XX

RESOLUTION NO. 19-01-28-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP18-0011 TO DEMOLISH AN EXISTING 2,072 SQUARE-FOOT SINGLE-FAMILY DWELLING, AND CONSTRUCT A NEW 3,146 SQUARE-FOOT SINGLE-FAMILY DWELLING AND A 657 SQUARE-FOOT ATTACHED TWO-CAR GARAGE LOCATED WITHIN THE CITY'S COASTAL OVERLAY DISTRICT AT 225 MONARCH BAY DRIVE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Stan Andrade, Architect, (the "Representative") has filed an application on behalf of Annette and Mark Graff, ("Applicant"), the owners of real property commonly referred to as 225 Monarch Bay Drive (APN 670-111-23) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit to allow demolition and construction of a new single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 28th day of January, 2019, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP18-0011.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP18-0011 subject to the following conditions of approval:

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Findings:

Coastal Development Permit CDP18-0011

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of one new single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would**

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not result in adverse impacts.

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses with little to no natural landforms present and; in that the proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

General:

1. Approval of this application permits demolition of all existing site improvements and the construction of a new 3,146 square-foot single-family dwelling and 657 square-foot attached two-car garage at 225 Monarch Bay Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

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3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions

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on the project site.

7. The project shall meet all water quality requirements.
8. A grading permit shall be obtained prior to any work, including demolition activities.
9. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.
10. The Applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
11. The Applicant, Applicant's agent(s), or successor-in-interest, shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

Prior to Issuance of a Grading Permit:

12. The Applicant, or Applicant's Agent(s), shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
13. The Applicant, or Applicant's Agent(s), shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
14. The Applicant, or Applicant's Agent(s), shall submit an application for separate structures, including retaining walls. Retaining walls and other structures not supported by the building foundation require a separate submittal for review and approval to the Building Department. A separate permit submittal shall be made to the Building Department in accordance with the current submittal requirements.

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15. The applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
16. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
17. A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for shoring activities to ensure completion of grading activities and protection of adjoining improvements.

Prior to Issuance of a Building Permit:

18. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan.
19. All documents prepared by a professional shall be wet-stamped and signed.
20. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
21. The Applicant, or Applicant's Agent(s), shall submit payment for all supplemental fees, including school, park, water, sewer and other impact-related fees.
22. The Applicant, or Applicant's agent(s), shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
23. The Applicant, or Applicant's agent(s), shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-foot to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

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24. The Applicant, or Applicant's agent(s), shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
25. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
26. The Applicant, or Applicant's Agent(s), shall submit a final Landscape and Irrigation Plan for review and approval by both the Public Works/Engineering Department and the Planning Division. The plan shall include all proposed and existing plant materials (location, type, size, and quantity), an irrigation plan (if irrigation is proposed), site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with applicable provisions of the Zoning Code, the preliminary plans approved by the Planning Commission and further, recognize the principles of drought tolerant landscaping.
27. Prior to commencement of framing, the Applicant, or Applicant's Agent(s), shall submit a setback certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP18-0011. The City's standard "Setback Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval.
28. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP18-0011. The City's standard

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"Height Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.

Prior to Final Approval of All Permits:

29. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
30. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
31. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
32. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
33. All permanent best management practices, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
34. Public Works final approval will be required for all permits.
35. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
36. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval. All landscaping of the subject property shall be installed (per plan) prior to final inspection by the Planning Division.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 28th day of January, 2019 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Danni Murphy, Chairperson
Planning Commission

ATTEST:

Matt Schneider, Director
Community Development Department

Supporting Document 2 Vicinity Map

VICINITY MAP: 225 MONARCH BAY DRIVE



Supporting Document 3 Color and Material Sample Boards



EXTERIOR STUCCO
 PRODUCT: STUCCO
 COLOR/FINISH: DUNN EDWARDS -
 FLINSTONE (DE6221) - SMOOTH FINISH
 LOCATION: EXTERIOR WALLS



GARAGE DOOR
 PRODUCT: METAL
 COLOR/FINISH: METAL PANELS
 W/ ACCENT TRIM
 (DUNN EDWARDS MID CENTURY GEM - DET525)



ROOF EAVE FACIA
 PRODUCT: WOOD
 COLOR: DUNN EDWARDS -
 ANTIQUE PAPER (DE6218)



DOORS/WINDOWS
 PRODUCT: METAL CLAD DOORS & WINDOWS
 COLOR/FINISH: CLEAR ANODIZED



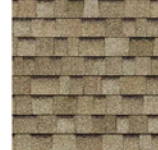
BREEZE BLOCK MASONRY UNITS
 MFR: ORCO BLOCK & HARDSCAPE
 COLOR: DUNN EDWARDS -
 FLINSTONE (DE6221)
 LOCATION: ENTRY COURTYARD WALL



ROOFING
 PRODUCT: BUILT UP COMPOSITION
 COLOR/FINISH: TAN BLEND
 LOCATION: FLAT ROOF



ENTRY DOOR/GATES/ACCENT TRIM
 COLOR: DUNN EDWARDS -
 MID-CENTURY GEM (DET535)



ROOFING
 PRODUCT: COMPOSITION SHINGLES
 COLOR/FINISH: TAN BLEND
 LOCATION: SLOPE ROOF

DRAWN BY: TP DATE: 7/05/18 JOB #: 1727 SHEET: MCB	EXTERIOR MATERIAL/COLOR BOARD	GRAFF RESIDENCE 225 MONARCH BAY DRIVE DANA POINT, CA 92629	 2889 SOUTH COAST HIGHWAY LAGUNA BEACH, CA 92651 PHONE: 949.757.7474 FAX: 949.757.3475 ANDRADEARCHITECTS.COM <small>ANDRADE ARCHITECTS, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION OF ANDRADE ARCHITECTS, INC.</small>
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Supporting Document 4 Site Photos



Rear yard



Rear yard, side view



Front View



Rear yard

RECEIVED
SEP 27 2013
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



Side Yard



Side Yard



Neighbor (224)



Neighbor (226)

Supporting Document 5 Architectural Plans

ATTACHMENT

GRAFF RESIDENCE

225 MONARCH BAY DR. DANA POINT, CALIFORNIA

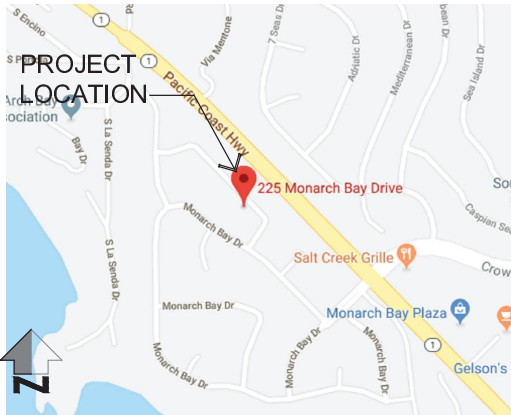
CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH 2016 CALIFORNIA RESIDENTIAL CODE (CRC); 2016 CALIFORNIA BUILDING CODE (CBC); 2016 CALIFORNIA PLUMBING CODE (CPC); 2016 CALIFORNIA ELECTRICAL CODE (CEC); 2016 CALIFORNIA MECHANICAL CODE (CMC); 2016 BUILDING ENERGY EFFICIENCY STANDARDS (BEES); 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC), AS AMENDED BY CITY ORDINANCE

FIRE DEPARTMENT NOTES

- ENTIRE STRUCTURE WILL BE PROTECTED WITH A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D.

VICINITY MAP



GENERAL NOTES

- SUBMIT SEPARATE PLANS, CALCULATIONS AND PERMITS FOR ALL FENCES, POOLS AND RETAINING WALLS
- CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS BEFORE COMMENCING ANY WORK
- HOUSE NUMBER WILL BE VISIBLE AND LEGIBLE FROM THE STREET
- ITEMS IN THIS LIST REQUIRE FIELD TESTING AND/OR VERIFICATION BY A CERTIFIED HERS RATER. THE INSPECTOR MUST RECEIVE A COMPLETED CF-4R FORM FOR EACH OF THE MEASURES LISTED BELOW FOR FINAL TO BE GIVEN:

THE HVAC SYSTEM HVAC INCORPORATES HERS VERIFIED DUCT LEAKAGE. HERS FIELD VERIFICATION AND DIAGNOSTIC TESTING IS REQUIRED TO VERIFY THAT DUCT LEAKAGE MEETS THE SPECIFIED CRITERIA.

PROJECT DIRECTORY

PROPERTY OWNER:
MR. MARK GRAFF
225 MONARCH BAY DR.
DANA POINT, CA 92629
PHONE: (303)-679-0282

CIVIL ENGINEER:
CIVILSCAPES ENGINEERING
28052 CAMINO CAPISTRANO, STE 213
LAGUNA NIGUEL, CA 92677
PHONE: (949)-464-8115
Email: info@civiscapes.com

SOILS ENGINEER:
GLOBAL ENGINEERING
30 CORPORATE PARK, STE 270
IRVINE, CA 92606
PHONE: (949)-221-0900
FAX: (949) 221-0091
Email: global@globalgeo.net

ARCHITECT:
ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949-715-7474
FAX: 949-715-7475
Email: stan@andradearchitects.com

LANDSCAPING ARCHITECT:
ANDRADE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949-715-7474
FAX: 949-715-7475
Email: kda@andradearchitects.com

PROJECT INFORMATION TABLES

ZONING STANDARDS				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (y/n)
USE		SFD	SFD	YES
ZONE/PRD	RSF-4	RSF-4	RSF-4	YES
SPECIFIC PLAN				
LOT SIZE	8,700 S.F.	10,156 S.F.	10,156 S.F.	
LOW WIDTH	50'-0"	89'-0"	89'-0"	
LOT DEPTH	75'-0"	114'-4"	114'-4"	
MAX. LOT COVERAGE	45%	25.3%	37.5%	YES
MAX. BUILDING HEIGH	14'-0"	12'-8"	14'-0"	YES
Lot Slope %				
Max. # of stories		1	1	
Roof Slope		4:12	5:12	
FLOOR AREA RATIO				
SETBACKS:				
Front Yard	20'-0"	24'-8"	20'-0"	YES
Side Yard (L)	5'-0"	15'-0"	5'-0"	YES
Side Yard (R)	5'-0"	10'-0"	5'-0"	YES
Rear Yard (R)	25'-0"	35'-0"	29'-6"	YES
OPEN SPACE		400 S.F.	(177'-69" x 218"=400) TOTAL=618 S.F.	
LANDSCAPE AREA	25 %	20 %	3,333 S.F. =62.36 %	YES
IRRIGATED LANDSCAPE AREA		21 %	2,256 S.F. =22 %	YES
PARKING	2 CAR GARAGE	2 CAR GARAGE	2 CAR GARAGE	

PROJECT DATA				
DESCRIPTION	EXISTING	PROPOSED	TOTAL	REMODEL
FLOOR AREA:				
MAIN LEVEL	2,072 S.F.	3,146 S.F.	3,146 S.F.	
TOTAL LIVING AREA				
GARAGE AREA	503 S.F.	657 S.F.	657 S.F.	
GROSS FLOOR AREA				

	LOT AREA		% OF LOT AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED
IMPERVIOUS SURFACES				
STRUCTURE	2,575 S.F.	3,803 S.F.	25.00 %	37.00 %
HARDSCAPE (W/ DRIVEWAY)	2,010 S.F.	4,078 S.F.	19.00 %	42.00 %
TOTAL	4,585 S.F.	7,881 S.F.	44.00 %	79.00 %

PROJECT DESCRIPTION

CONSTRUCT A NEW 3,146 S.F. SINGLE STORY, FOUR BEDROOM SINGLE FAMILY RESIDENCE WITH ATTACHED 648 S.F. GARAGE

DEMOLISH EXISTING 2,072 S.F. SINGLE FAMILY RESIDENCE

PROJECT DATA

APN:	670-111-23
TRACT:	3748
LOT:	105
ZONE:	RSF-4
OCCUPANCY:	R3/U
CONSTRUCTION TYPE:	VB FULLY SPRINKLED
LOWEST EXISTING NATURAL GRADE:	164.5
PAD ELEVATION:	164.7
MAXIMUM HEIGHT: (RESTRICTED TO EXISTING HEIGHT)	178.7
BUILDING TO BE EQUIPPED WITH FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA13D.	
MONARCH BAY ASSOCIATION	
PAD ELEVATION:	164.7
MAXIMUM HEIGHT: (14'-0" ABOVE PAD)	178.7

SHEET INDEX

ARCHITECTURAL:

G.001 PROJECT DATA
A.001 SITE PLAN
A.101 FLOOR PLAN
A.102 ROOF PLAN
A.201 EXTERIOR ELEVATIONS
A.202 EXTERIOR ELEVATIONS
A.301 BUILDING SECTIONS
ST-1 STAKING PLAN

LANDSCAPE:

L.101 LANDSCAPE PRELIMINARY PLAN
L.102 LANDSCAPE TABULATION PLAN
P.101 LANDSCAPE PLANTING PLAN

CIVIL:

C1 TITLE SHEET
C2 GRADING AND DRAINAGE PLAN
C3 STORM DRAIN PLAN
C4 EROSION CONTROL PLAN
1 OF 1 TOPOGRAPHIC SURVEY

GRAFF RESIDENCE

225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

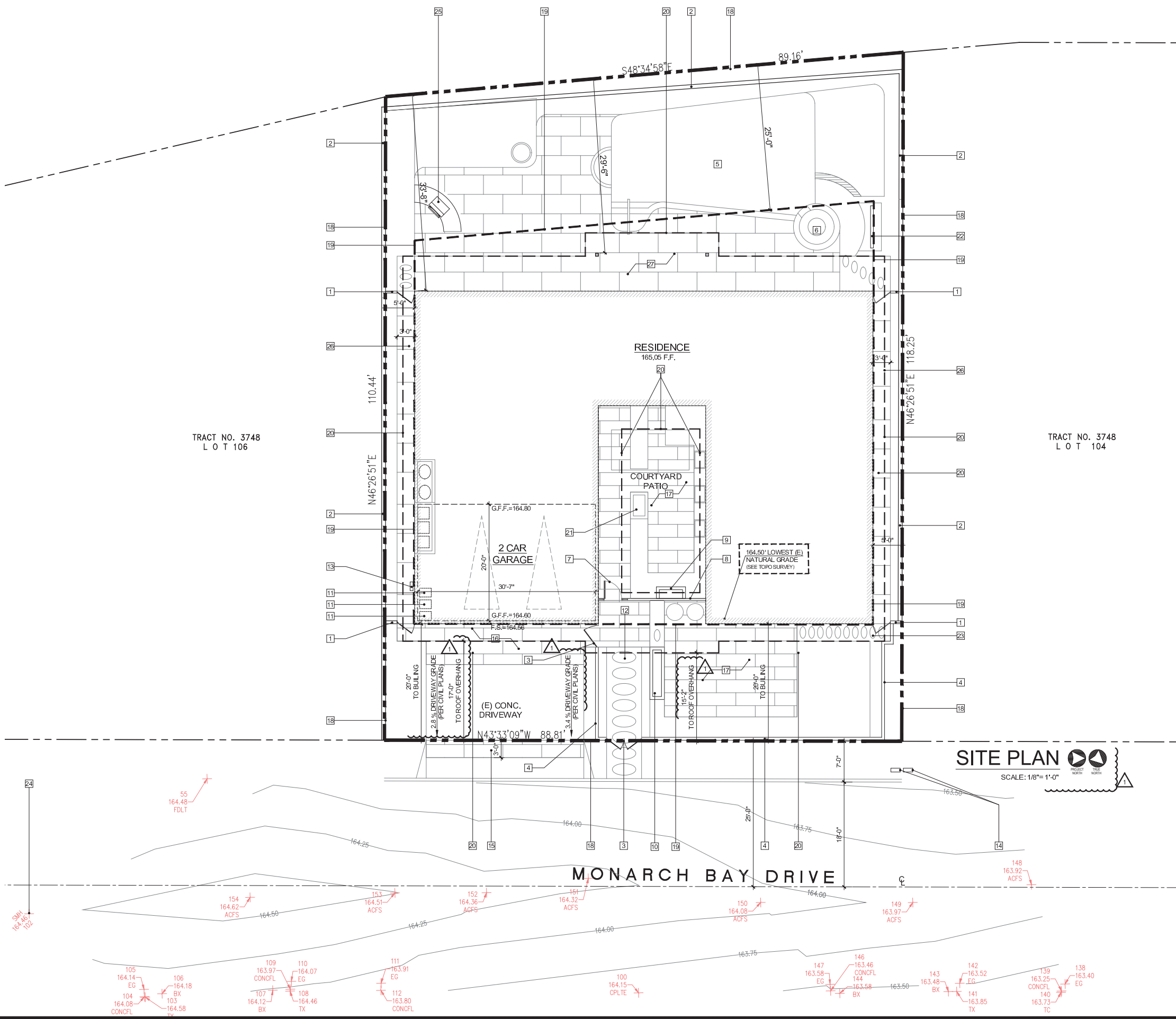
PROJECT DATA

REVISIONS

1 11/28/18
CDP PLAN CHECK
CORRECTIONS

DRAWN BY: DM
CHECKED BY: SA
DATE: 1/09/19
JOB #: 1727
SHEET:

G.001



- ### SITE KEYNOTES
- NEW 6'-0" H. WALL W/ WOOD GATE.
 - EXISTING 6'-0" H. WALL
 - NEW PAIR OF 3'-0" x 3'-6" HIGH ENTRY GATES. (3'-6" MAX HEIGHT)
 - NEW 3'-6" HIGH SMOOTH STUCCO WALL. (3'-6" MAX HEIGHT)
 - NEW POOL PER SEPARATE REVIEW AND PERMIT
 - NEW SPA-PER SEPARATE REVIEW AND PERMIT.
 - NEW SOLID CORE WOOD DOOR W/ SIDE LIGHTS - 5'-6" MAX HEIGHT
 - NEW BREEZE BLOCK MASONRY UNITS - 5'-6" MAX HEIGHT
 - NEW 2'-0" W x 5'-0" L WALL WATER FEATURE-PER LANDSCAPE PLANS
 - NEW 2'-6" W x 9'-0" L x 1'-6" HIGH CONCRETE WATER FEATURE W/BUBBLERS-PER LANDSCAPE PLANS
 - NEW TRASH CAN STORAGE AREA IN GARAGE
 - NEW 2'x4' OVAL CONCRETE STEPPERS
 - LOCATION OF NEW ELECTRICAL METER
 - EXISTING WATER METER
 - NEW 3'-0" WIDE DRIVEWAY PAVEMENT
 - NEW DRIVEWAY PAVEMENT
 - NEW COURTYARD PAVEMENT
 - PROPERTY LINE
 - SETBACK LINE
 - LINE OF NEW ROOF OVERHANG-ROOF OVERHANG SHALL NOT BE EXCEED MORE THAN 15'-0" TO THE FRONT PROPERTY LINE
 - NEW 3'-0" W 4'-6" L X 1'-6" HIGH FIRE PIT
 - NEW 4'-0" W X 8'-0" L X 6'-0" HIGH RAIN WATER FEATURE WIPEBBLE BASE-PER LANDSCAPE PLAN
 - NEW 1'-0" X 2'-0" OVAL CONCRETE STEPPERS
 - EXISTING DATUM POINT
 - NEW CURVED 42" HIGH, GAS BARBEQUE-PER LANDSCAPE PLAN
 - NEW 3'-0" WIDE CONCRETE WALKWAY
 - NEW PATIO FINISH PER CLIENT

- ### SITE PLAN NOTES
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM
 - CONTRACTOR TO VERIFY EXISTING FIELD CONDITIONS BEFORE COMMENCING ANY WORK
 - IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, ALLEY/ STREET PAVEMENT, AND OTHER PUBLIC IMPROVEMENTS WILL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION. ADDITIONALLY, IF EXISTING UTILITIES INFRASTRUCTURE ARE DEEMED SUBSTANDARD, A NEW 1/4" INCH WATER SERVICE, WATER METER BOX, SEWER LATERAL AND/ OR CLEANOUT WITH BOX AND LID WILL BE REQUIRED. 100% OF THE COST SHALL BE BORNE BY THE PROPERTY OWNER. MUNICIPAL CODES 14-24.020 AND 14-08.030 1. SAID DETERMINATION AND THE EXTEND OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
 - AN ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY. ALL NON-STANDARD IMPROVEMENTS SHALL COMPLY WITH CITY COUNCIL POLICY L-6 AND L-18.
 - ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR
 - AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY
 - DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY POOL ORDINANCE. (SELF CLOSING AND SELF LATCHING.)
 - FINISH GRADE WITHIN 10'-0" OF THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING FOR IMPERVIOUS SURFACES AND 5% FOR NATURAL GRADE.
 - HOUSE NUMBER SHALL BE VISIBLE AND LEGIBLE FROM THE STREET.
 - NEW WALLS & GATES IN FRONT YARD SETBACK SHALL NOT EXCEED 42" IN HEIGHT.
 - NEW WALLS & GATES IN REAR AND SIDE YARD SETBACK SHALL NOT EXCEED 72" IN HEIGHT.

ANDRADE ARCHITECTS, INC.
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ANDRADE ARCHITECTS, INC.

GRAFF RESIDENCE
225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

SITE PLAN

REVISIONS	
1	11/28/18 CDP PLAN CHECK CORRECTIONS
△	
△	
△	

DRAWN BY: DM
CHECKED BY: SA
DATE: 1/09/19
JOB #: 1727
SHEET: A.001




FLOOR PLAN

SCALE: 1/4"= 1'-0"

 PROJECT NORTH

 TRUE NORTH



2830 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
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ANDRADE ARCHITECTS, INC.

ANDRADE ARCHITECTS, INC.
IS AN EQUAL OPPORTUNITY FIRM
COMPLYING WITH THE AFFIRMATIVE
ACTION REQUIREMENTS OF THE
OTHER FEDERAL AGENCIES
AND THE CALIFORNIA STATE
LEGISLATURE. ALL CONTRACTS
AND DRAWINGS ARE TO BE
REVIEWED BY A LICENSED
REGISTERED ARCHITECT OR
REGISTERED PROFESSIONAL
ENGINEER. ANY CONTRACT
TEST IS TO BE ASSIGNED TO ANY
THIRD PARTY WITHOUT FIRST
OBTAINING THE WRITTEN
CONSENT OF ANDRADE ARCHITECTS, INC.

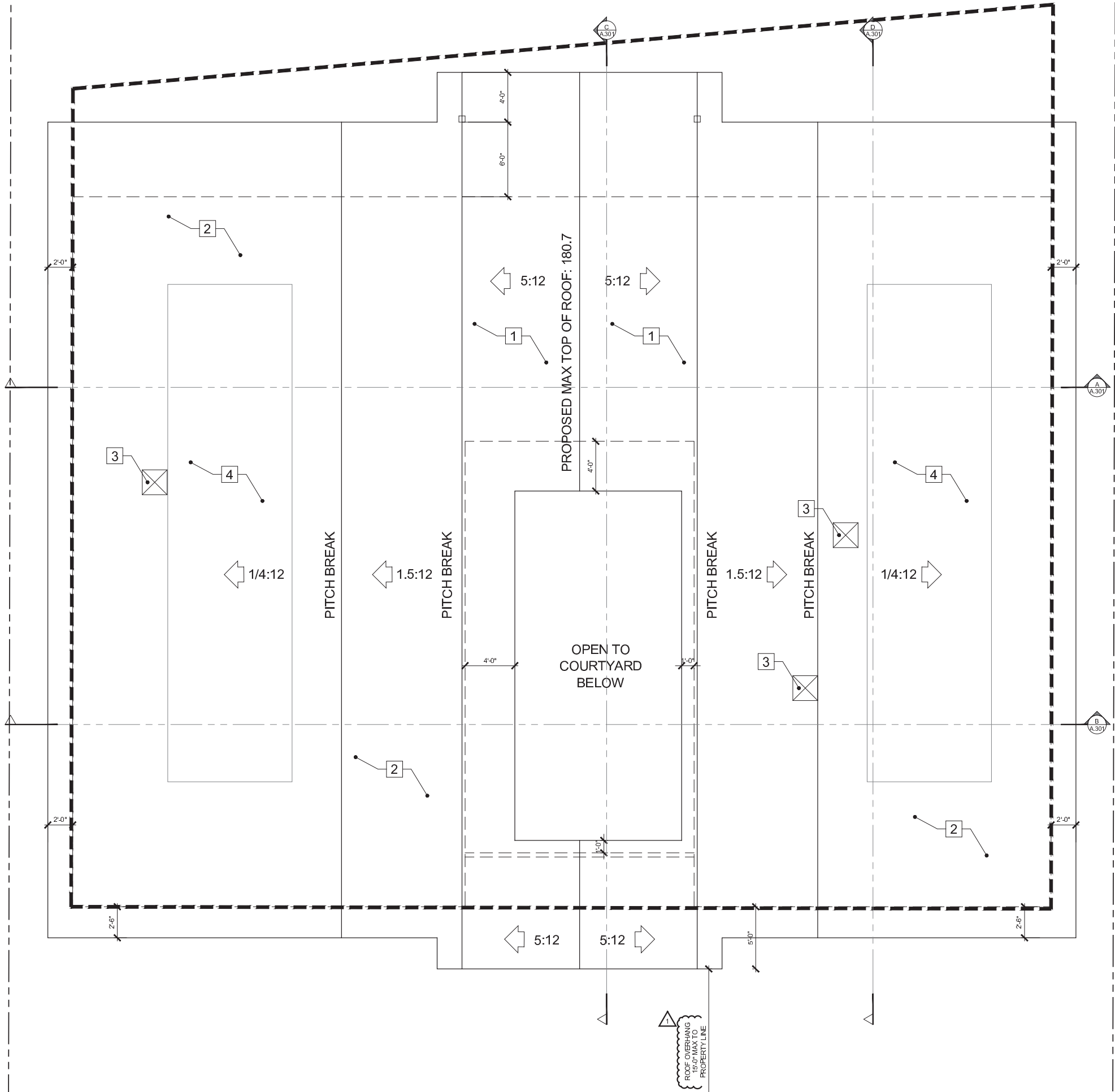
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225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

FLOOR PLAN

REVISIONS	
1	11/28/18 CDP PLAN CHECK CORRECTIONS

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SHEET:	

A.101



- | # | KEYNOTES |
|----|---|
| 1. | ASPHALT SHINGLE ROOFING - TAN BLEND |
| 2. | BUILT-UP ROOFING - TAN BLEND |
| 3. | 2'X2' SKYLIGHT- ACRALIGHT INTERNATIONAL - ICC REPORT: ESR-2415 - PER MONARCH BAY GUIDELINES SECTION 5.7 |
| 4. | SOLAR PANEL ZONE - SOLAR PANEL DESIGN TBD |

- | GENERAL NOTES | |
|---------------|--|
| 1. | PROVIDE 26 GA GI ROOF TO WALL FLASHING |
| 2. | PROVIDE GUTTERS @ EAVE W/ DOWNSPOUTS CONNECTED TO GROUND DRAINAGE SYSTEM |

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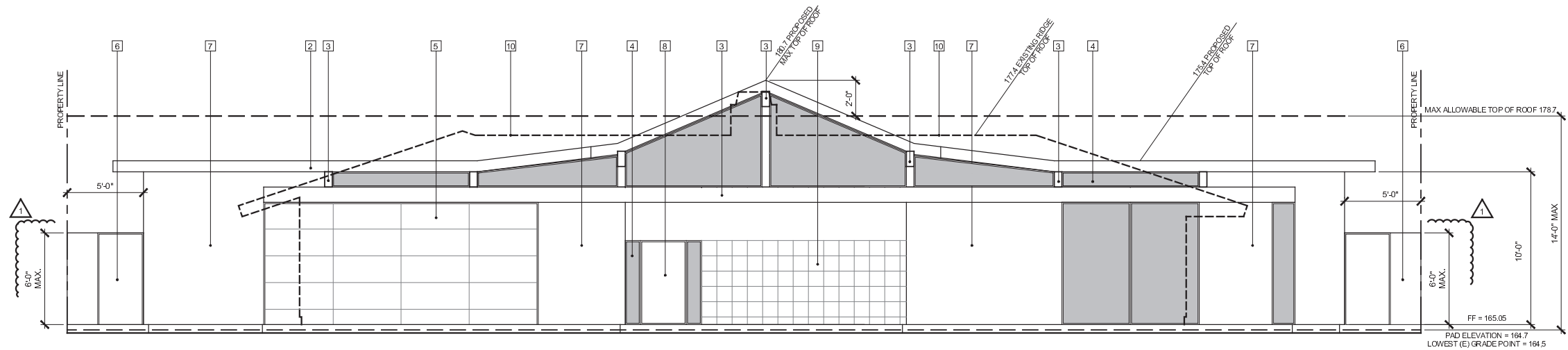
ANDRAE ARCHITECTS, INC.

GRAFF RESIDENCE
225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

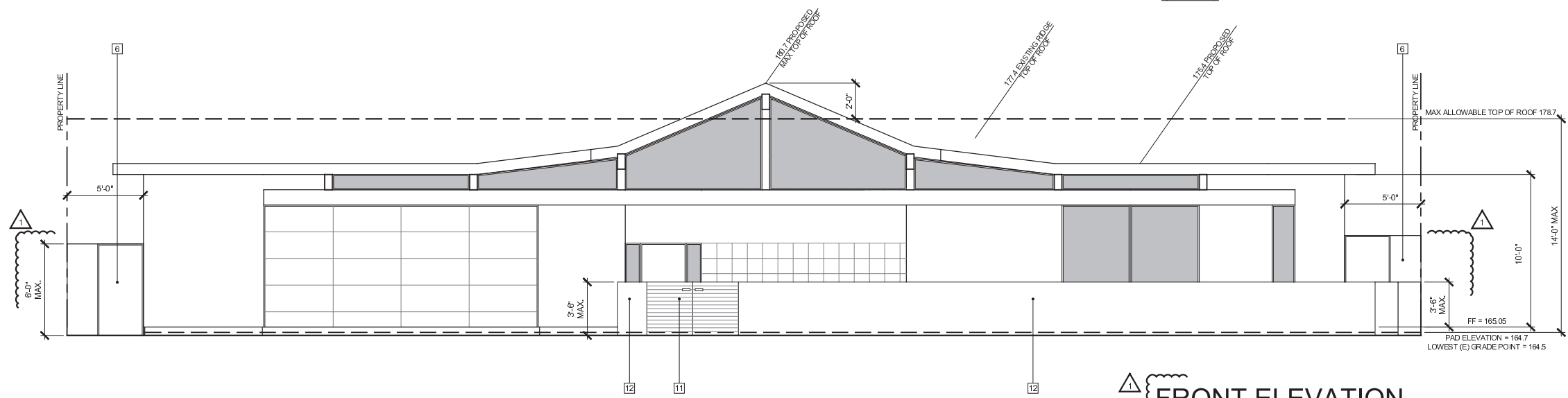
ROOF PLAN

REVISIONS		
1	CDP PLAN CHECK	11/28/18
	CORRECTIONS	

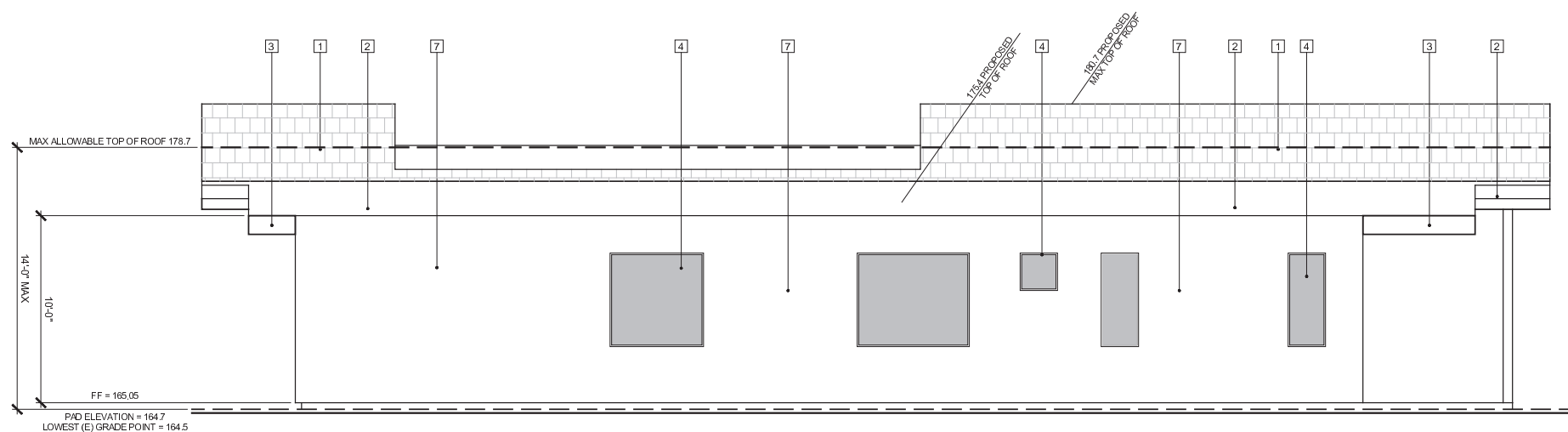
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SHEET:



FRONT ELEVATION
(East)
SCALE: 1/4"= 1'-0"

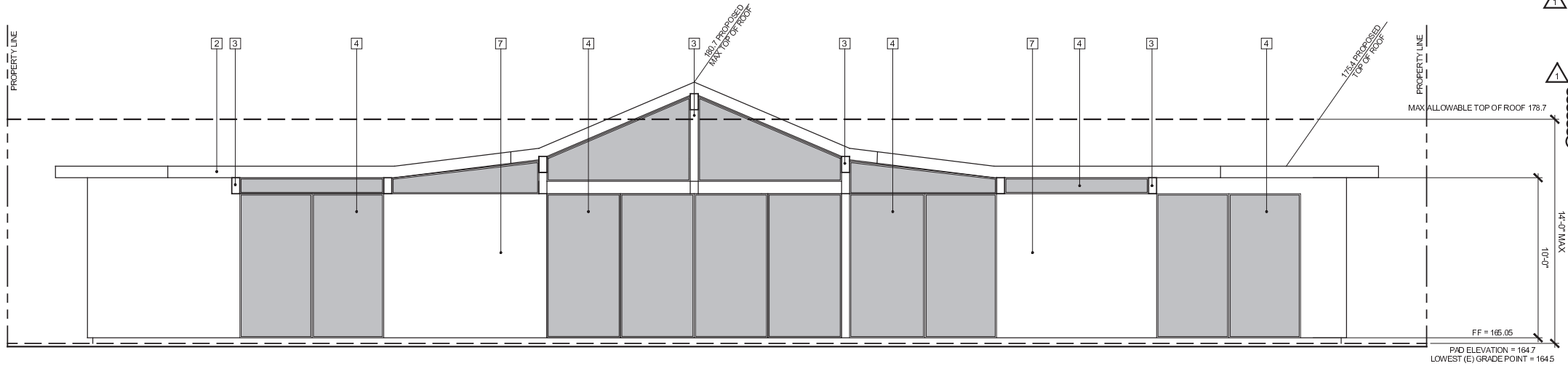


FRONT ELEVATION
(East)
W/ BLOCK WALL &
ENTRY GATES
SCALE: 1/4"= 1'-0"



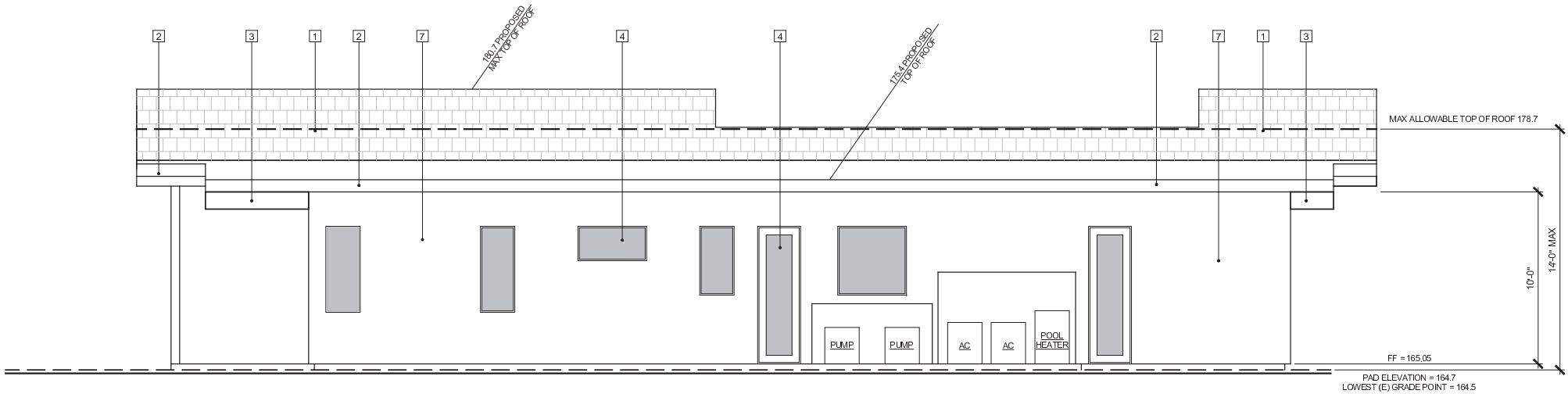
RIGHT ELEVATION
(North)
SCALE: 1/4"= 1'-0"

- | # | KEYNOTES |
|----|--|
| 1 | ASPHALT SHINGLE ROOFING - TAN BLEND |
| 2 | WOOD FASCIA |
| 3 | DECORATIVE WOOD BEAM - TYPICAL |
| 4 | METAL/CLAD EXTERIOR DOORS AND WINDOWS |
| 5 | WOOD SECTIONAL GARAGE DOOR |
| 6 | 6'-0" H. MAX. WALL W/ SMOOTH STUCCO FINISH & WOOD GATE |
| 7 | SMOOTH EXTERIOR STUCCO FINISH |
| 8 | SOLID CORE WOOD DOOR W/ SIDE LIGHTS - 5'-6" MAX HEIGHT |
| 9 | BREEZE BLOCK MASONRY UNITS - 5'-6" MAX HEIGHT |
| 10 | LINE OF EXISTING BUILDING OUTLINE |
| 11 | 42" H. MAX. WOOD ENTRY GATES |
| 12 | 42" H. MAX. BLOCK WALL W/ SMOOTH STUCCO FINISH |



REAR ELEVATION
(West)

SCALE: 1/4"= 1'-0"

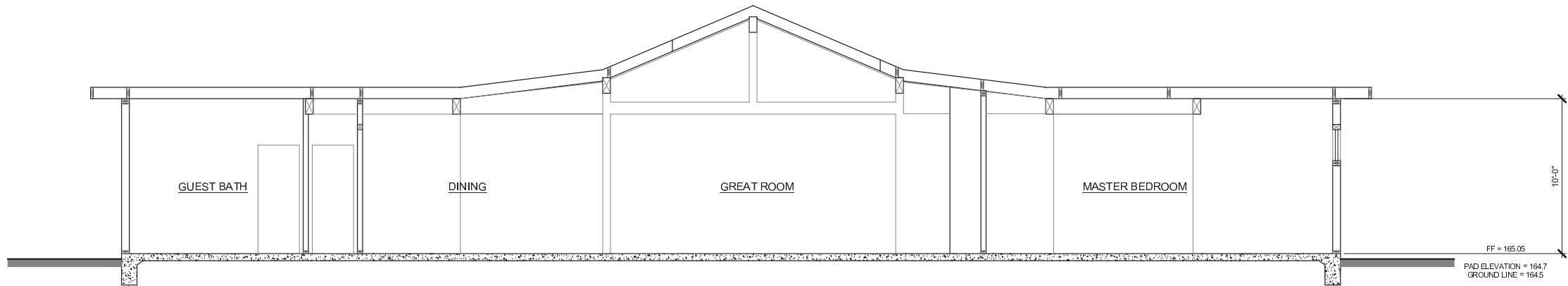


LEFT ELEVATION
(South)

SCALE: 1/4"= 1'-0"

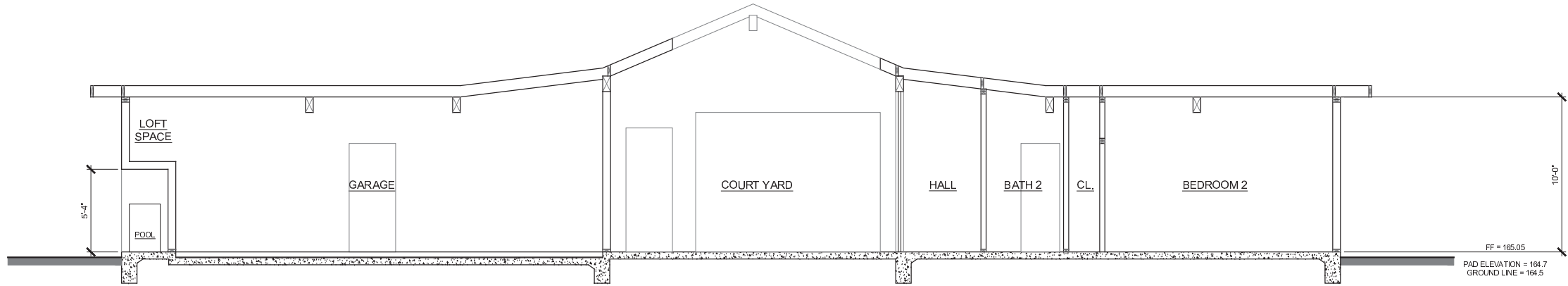
- | # | KEYNOTES |
|----|--|
| 1 | ASPHALT SHINGLE ROOFING - TAN BLEND |
| 2 | WOOD FASCIA |
| 3 | DECORATIVE WOOD BEAM - TYPICAL |
| 4 | METAL/CLAD EXTERIOR DOORS AND WINDOWS |
| 5 | WOOD SECTIONAL GARAGE DOOR |
| 6 | 6'-0" H. MAX. WALL W/ SMOOTH STUCCO FINISH & WOOD GATE |
| 7 | SMOOTH EXTERIOR STUCCO FINISH |
| 8 | SOLID CORE WOOD DOOR W/ SIDE LIGHTS - 5'-6" MAX HEIGHT |
| 9 | BREEZE BLOCK MASONRY UNITS - 5'-6" MAX HEIGHT |
| 10 | LINE OF EXISTING BUILDING OUTLINE |
| 11 | 42" H. MAX. WOOD ENTRY GATES |
| 12 | 42" H. MAX. BLOCK WALL W/ SMOOTH STUCCO FINISH |

REVISIONS	
1	11/28/18 CDP PLAN CHECK CORRECTIONS



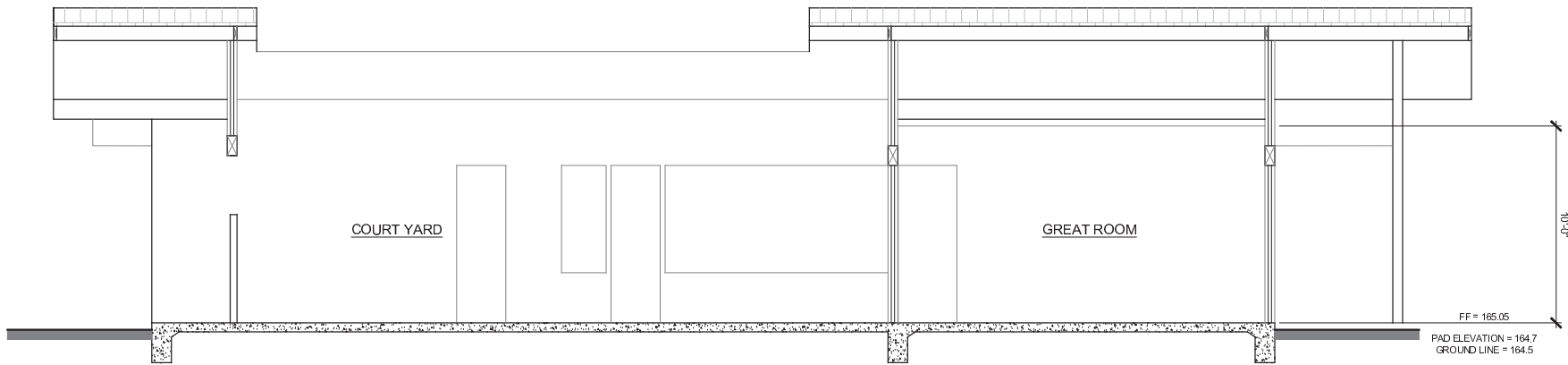
SECTION A

SCALE: 1/4"= 1'-0"



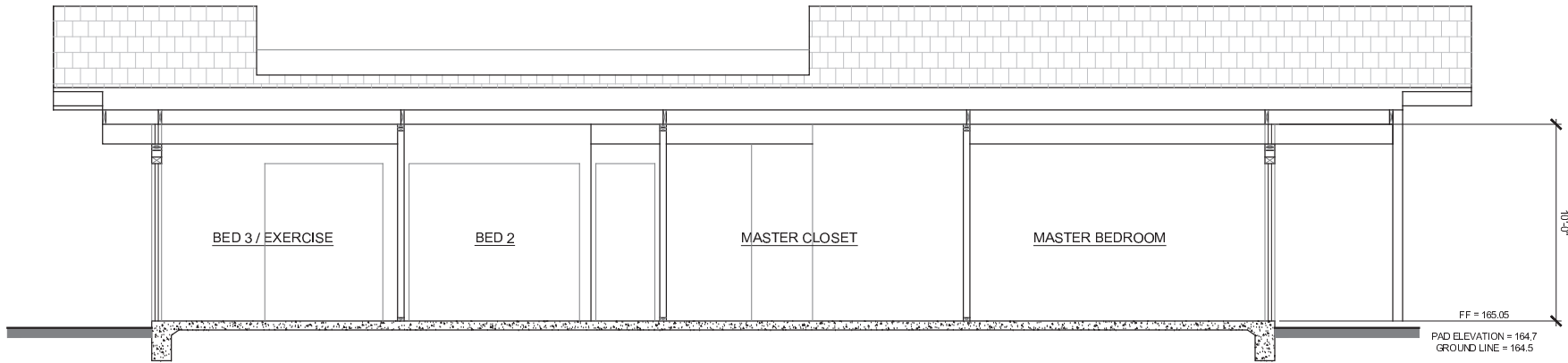
SECTION B

SCALE: 1/4"= 1'-0"



SECTION C

SCALE: 1/4"= 1'-0"



SECTION D

SCALE: 1/4"= 1'-0"

ANDRADE ARCHITECTS, INC.
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ANDRADE ARCHITECTS, INC.

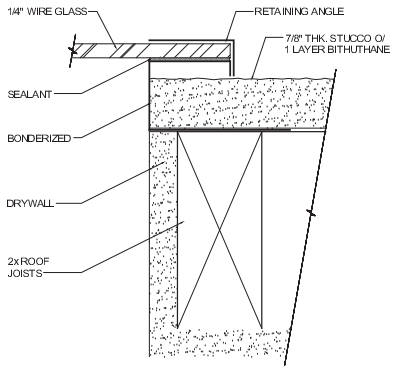
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GRAFF RESIDENCE
225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

BUILDING SECTIONS

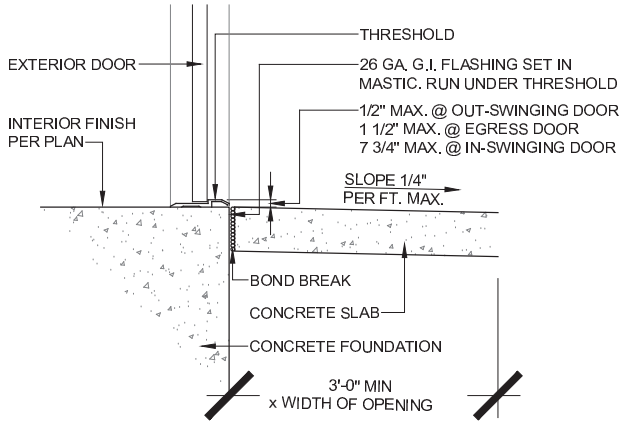
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SKYLIGHT (TYP.)

04

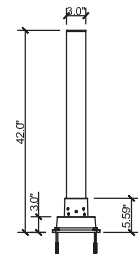


RESIDENTIAL EXTERIOR LANDING

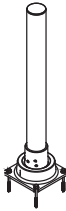
SCALE: 1"= 1'-0" 01



PLAN VIEW



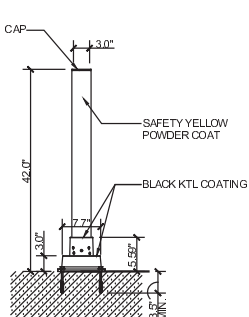
ELEVATION VIEW



ISO VIEW



EXPLODED VIEW

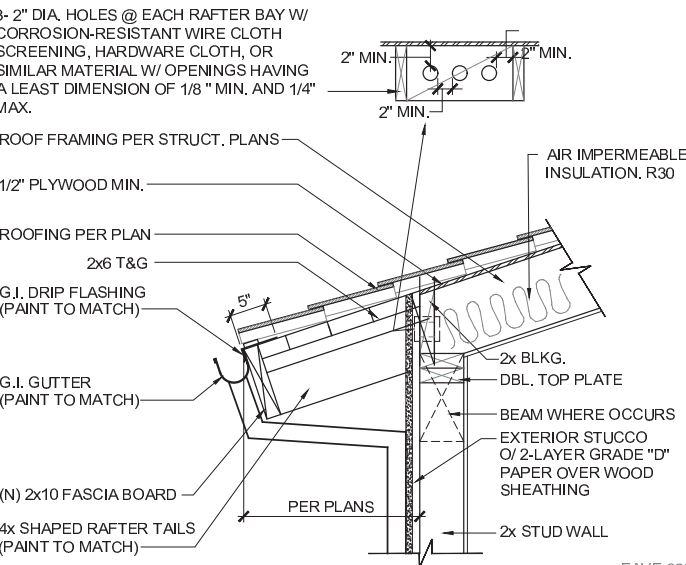


EMBEDMENT VIEW

PROPOSED MANUFACTURE:
IMPACT RECOVERY SYSTEMS
OR EQUAL
MODEL # SS4Y-42

BOLLARD DETAIL

SCALE: N.T.S. 05



WOOD EAVE

SCALE: 1"= 1'-0" 02

GA FILE NO. WP 3514

GENERIC

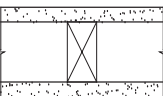
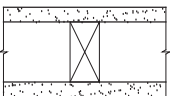
1 HOUR
FIRE

35 TO 39 STC
SOUND

GYPSUM WALLBOARD, WOOD STUDS

ONE LAYER 5/8" X GYPSUM WALLBOARD OR GYPSUM VENEER BASE
APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD
STUDS 16 O.C. TYPE W DRYWALL SCREWS 12" O.C.

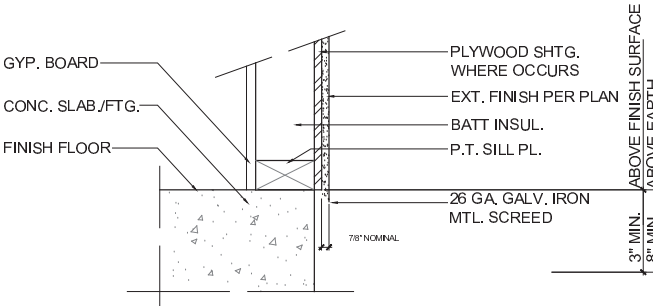
JOINTS STAGGERED 16" O.C. ON OPPOSITE SIDES (LOAD-BEARING)



THICKNESS: 4 3/4"
APPROX. WEIGHT: 7 PSF
FIRE TEST: SWRI 01-4511-619,8-19-92
SOUND TEST: SEE WP 3520
(G&H NG-246 FT, 7-2-65)

TYPICAL 1-HOUR WALL:

06



NOTE:
WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON
EXTERIOR FOUNDATION WALLS ARE LESS THAN 8 INCHES FROM EXPOSED
EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

WEEP SCREED

SCALE: 1"= 1'-0" 03

GRAFF RESIDENCE

225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

DETAILS

REVISIONS

11/28/18
CDP PLAN CHECK
CORRECTIONS

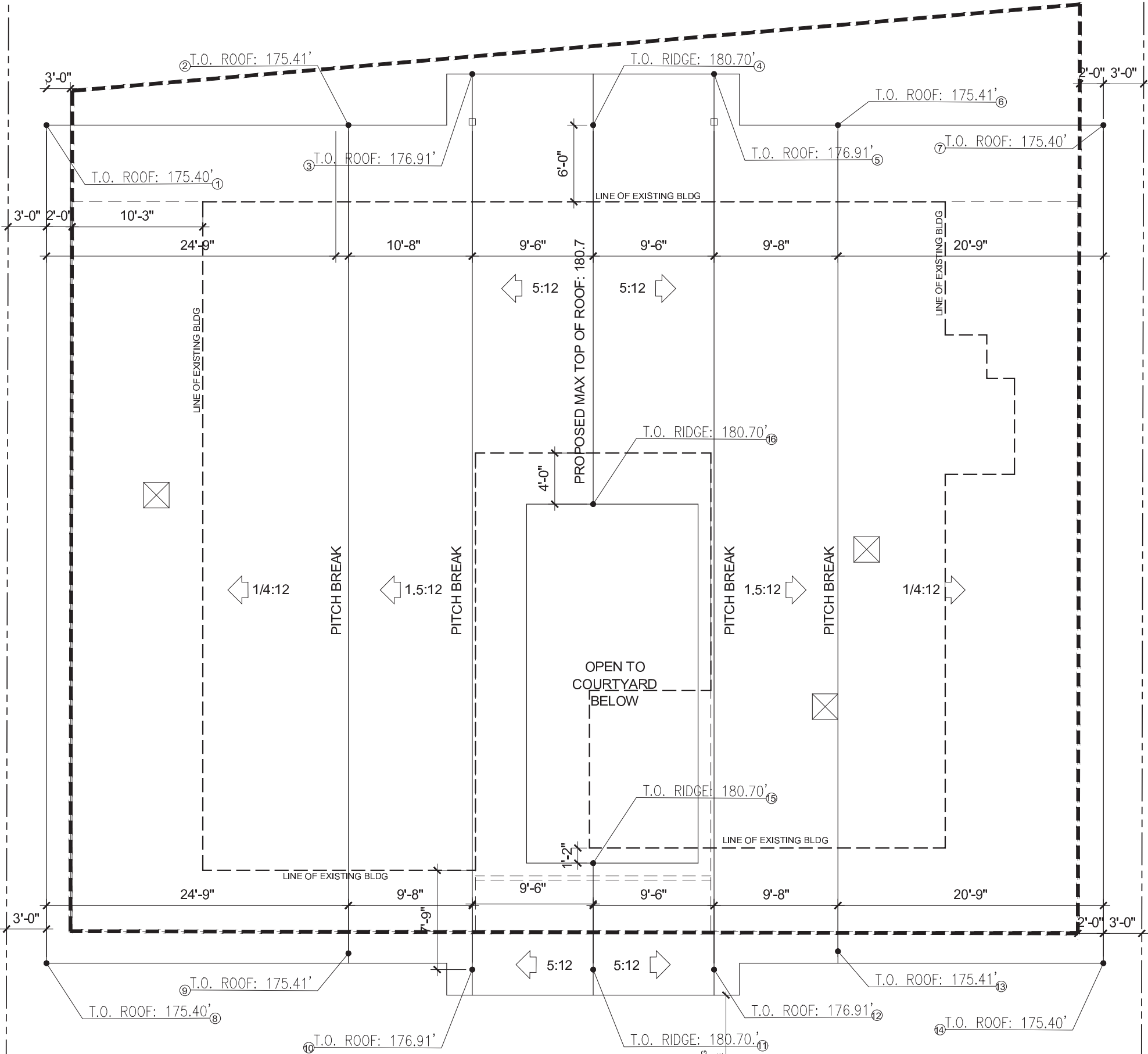


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DATE: 1/09/19
JOB #: 1727
SHEET:

A.401

DOOR SCHEDULE															
#	SIZE			TYPE	DOOR CONST.	FACING/ FINISH	GLASS	FRAME CONST.	FRAME FINISH	HARDW.	U-FACTR.	SHGC	REMARKS		
	W	H	THK.												
101	3'-0"	8'-0"	1 3/4"	EXT	SC	PREF	TG	MC	PREF	1/4			ENTRY DOOR		
102	2'-8"	8'-0"	1 3/4"	EXT	SC	PREF	TG	MC	PREF	1/4					
103	2'-6"	8'-0"	1 3/4"	EXT	SC	PREF	TG	MC	PREF	1/4			GARAGE ENTRY DOOR		
104	3'-0"	8'-0"	1 3/4"	EXT	SC	PREF	TG	MC	PREF	1/4			ENTRY GATE		
105	18'-0"	7'-11"	1 3/4"	EXT	SC	PREF	TG	MC	PREF	2			GARAGE DOOR		
106	2'-6"	8'-0"	1 3/4"	EXT	SC	PREF	TG	MC	PREF	1/4			GARAGE ENTRY DOOR		
107	2'-6"	8'-0"	1 3/4"	EXT	SC	PREF	TG	MC	PREF	1/4					
108	9'-0"	9'-0"	1 5/8"	EXT	SC	PREF	TG	WD	WSV	1					
109	9'-0"	9'-0"	1 3/4"	EXT	SC	PREF	TG	WD	WSV	1					
110	18'-5"	9'-0"	1 3/4"	EXT	SC	PREF	TG	WD	WSV	1					
111	9'-0"	9'-0"	1 3/4"	EXT	SC	PREF	TG	WD	WSV	1					
112	9'-0"	8'-0"	1 3/4"	EXT	SC	PREF	TG	WD	WSV	1					
113	6'-0"	9'-0"	1 3/4"	EXT	SC	PREF	TG	WD	WSV	1					
114	5'-0"	9'-0"	1 3/4"	EXT	SC	PREF	TG	WD	WSV	1					
115	11'-11"	9'-0"	1 3/4"	EXT	SC	PREF	TG	WD	WSV	1					
116	3'-0"	7'-0"	1 3/4"	INT	SC	PREF	TG	WD	WSV	1/4	-	-	20 MINUTE FIRE RATED		
117	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
118	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	1	-	-			
119	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
120	2'-8"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	1	-	-			
121	7'-2"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
122	2'-8"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
123	3'-0"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
124	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
125	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
126	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	1	-	-			
127	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
128	3'-0"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
129	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	1	-	-			
130	8'-8"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
131	3'-0"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
132	8'-2"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	2	-	-			
133	2'-6"	7'-0"	1 3/4"	INT	SC	WSV	-	WD	WSV	1	-	-			
ABBREVIATION LEGEND															
AN- ANODIZED					MG- MIRROR GLASS					TDL- TRUE DIVIDED LIGHT			VG- VIEW GLASS		
BDG- BEVELED DUAL GLAZED					MC- METAL CLAD					TFG- TEMP./ FROSTED GLASS			WD- WOOD		
DG- DUAL GLAZED					PREF- PRE FINISHED					TG- TEMPERED GLASS			WG- WIRE GLASS		
G- GLASS					SC- SOLID CORE					TM- TIMELY			WP- WOOD PAINTED		
HM- HOLLOW METAL					ST-STOREFRONT					TRG- TRIPLE GLAZED			WSV- WOOD STAINED/VARNISHED		
HARDWARE LEGEND															
1- LOCKING				2- NON LOCKING				3- SELF CLOSER				4- DEAD BOLT		5- SELF LATCHING	
GENERAL NOTES															
1. ALL HARDWARE TO BE SCHLAGE OR EQUAL AND INCLUDE A SWEEP AND THRESHOLDS.															
2. FENESTRATIONS WITH 'U' VALUE LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A															
3. FACTORY REMOVABLE LABEL.															
4. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED R302.5.1															
5. GARAGE DOOR SPRINGS: (PER SECT. R309.1)															
a) SPRING SHALL BE FABRICATED FROM EITHER HARD-DRAWN SPRING WIRE (PER ASTM A227-21) OR OIL TEMPERED WIRE (PER ASTM A229-71)															
b) MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES															
c) PHYSICAL CYCLING TESTS SHALL BE PERFORMED AND CERTIFIED BY AN APPROVED TESTING AGENCY															
d) EACH SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. CONTAINMENT DEVICE SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY.															

WINDOW SCHEDULE										
#	SIZE		TYPE	FRAME MTRL.	FRAME FINISH	GLASS	HEADER HEIGHT	U-FACTR.	SHGC	REMARKS
	W	H								
101	11'-4"	5'-6"	CSMT	MC	PREF	DG	8'			
102	1'-0"	5'-6"	CSMT	MC	PREF	TG	5'-6"			
103	1'-0"	5'-6"	CSMT	MC	PREF	TG	5'-6"			
104	4'-0"	4'-0"	CSMT	MC	PREF	DG	8'			
105	2'-0"	4'-0"	CSMT	MC	PREF	DG	8'			
106	4'-0"	2'-0"	CSMT	MC	PREF	DG	8'			
107	2'-0"	5'-0"	CSMT	MC	PREF	DG	8'			
108	2'-0"	5'-0"	CSMT	MC	PREF	DG	8'			
109	2'-0"	5'-0"	CSMT	MC	PREF	DG	8'			
110	2'-0"	5'-0"	CSMT	MC	PREF	DG	8'			
111	2'-0"	2'-0"	CSMT	MC	PREF	DG	8'			
112	6'-0"	5'-0"	CSMT	MC	PREF	DG	8'			
113	5'-0"	5'-0"	CSMT	MC	PREF	DG	8'			
114	1'-6"	8'-0"	CSMT	MC	PREF	DG	8'			
115	5'-0"	9'-0"	CSMT	MC	PREF	DG	8'			
116	5'-0"	9'-0"	SKLT	MC	PREF	DG	8'			SKYLIGHT
117	5'-0"	9'-0"	SKLT	MC	PREF	DG	8'			SKYLIGHT
118	2'-0"	2'-0"	SKLT	MC	PREF	DG	8'			SKYLIGHT
119	2'-0"	2'-0"	SKLT	MC	PREF	DG	8'			SKYLIGHT
120	2'-0"	2'-0"	SKLT	MC	PREF	DG	8'			SKYLIGHT
ABBREVIATION LEGEND										
ALUM- ALUMINUM			FIX- FIXED				SH- SINGLE HUNG			WD- WOOD
AN- ANODIZED			M- METAL				SL- SLIDING			WP- WOOD PAINTED
AWN- AWNING			MC- METAL CLAD				TDL- TRUE DIVIDED LIGHT			WSV- WOOD STAINED/VARNISHED
CSMT- CASEMENT			O- OBSCURE GLASS				TG- TEMPERED GLASS			SKLT- SKYLIGHT
DG- DUAL GLAZED			PRE- PREFINISHED				VIN- VINYL			
GENERAL NOTES										
1. FENESTRATIONS WITH 'U' VALUE LOWER THAN DEFAULT VALUE MUST HAVE PERMANENT LABEL. OTHER FENESTRATIONS MAY HAVE A FACTORY REMOVABLE LABEL.										



STORY POLE CONSTRUCTION NOTES TABLE

DATE: 07/11/2018
SITE ADDRESS: 225 MONARCH BAY DR, DANA POINT, CA 92629
DATUM POINT: SEWER MAN HOLE-164.46 (SEE TOPOGRAPHIC SURVEY & A.001 FOR LOCATION)
NAME OF SURVEYOR OR ENGINEER: GRAND NIGHT ENGINEERING

POLE NUMBER	BASE GRADE ELEVATION	HEIGHT OF STORY POLE FROM BASE ELEVATION	PROPOSED MAXIMUM ELEVATION
1	165.05' T.O. F.F.	10.35'	175.40' T.O. ROOF
2	165.05' T.O. F.F.	10.35'	175.41' T.O. ROOF
3	165.05' T.O. F.F.	11.86'	176.91' T.O. ROOF
4	165.05' T.O. F.F.	15.65'	180.70' T.O. RIDGE
5	165.05' T.O. F.F.	11.86'	176.91' T.O. ROOF
6	165.05' T.O. F.F.	10.35'	175.41' T.O. ROOF
7	165.05' T.O. F.F.	10.35'	175.40' T.O. ROOF
8	165.05' T.O. F.F.	10.35'	175.40' T.O. ROOF
9	165.05' T.O. F.F.	10.35'	175.41' T.O. ROOF
10	165.05' T.O. F.F.	11.86'	176.91' T.O. ROOF
11	165.05' T.O. F.F.	15.65'	180.70' T.O. RIDGE
12	165.05' T.O. F.F.	11.86'	176.91' T.O. ROOF
13	165.05' T.O. F.F.	10.35'	175.41' T.O. ROOF
14	165.05' T.O. F.F.	10.35'	175.40' T.O. ROOF
15	165.05' T.O. F.F.	15.65'	180.70' T.O. RIDGE
16	165.05' T.O. F.F.	15.65'	180.70' T.O. RIDGE

SIGNATURE OF REGISTERED LAND SURVEYOR OR CIVIL ENGINEER
NAME
LICENSE NO. / EXPIRATION DATE
DATE

GRAFF RESIDENCE
225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

STAKING PLAN

REVISIONS	
1	11/28/18 CDP PLAN CHECK CORRECTIONS

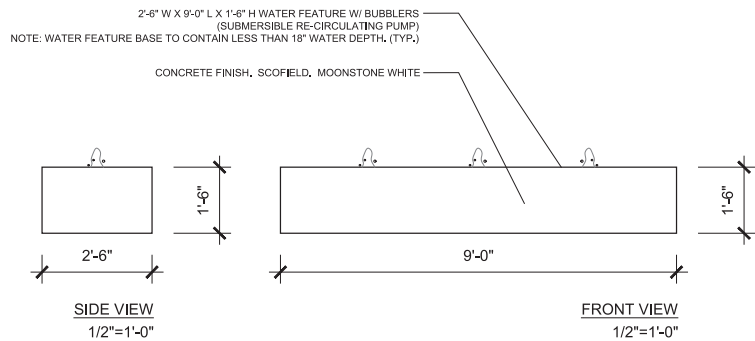
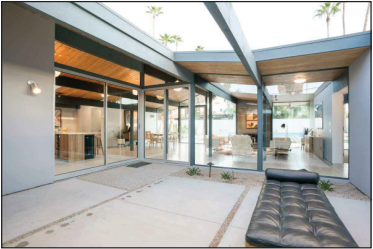
DRAWN BY: DM
CHECKED BY: SA
DATE: 1/09/19
JOB #: 1727
SHEET:

ST-1

ANDRAE ARCHITECTS, INC.
2880 SOUTH COAST HIGHWAY
DANA POINT, CA 92629
PHONE: 949.746.1474
FAX: 949.746.1475
ANDRAEARCHITECTS.COM

ANDRAE ARCHITECTS, INC.

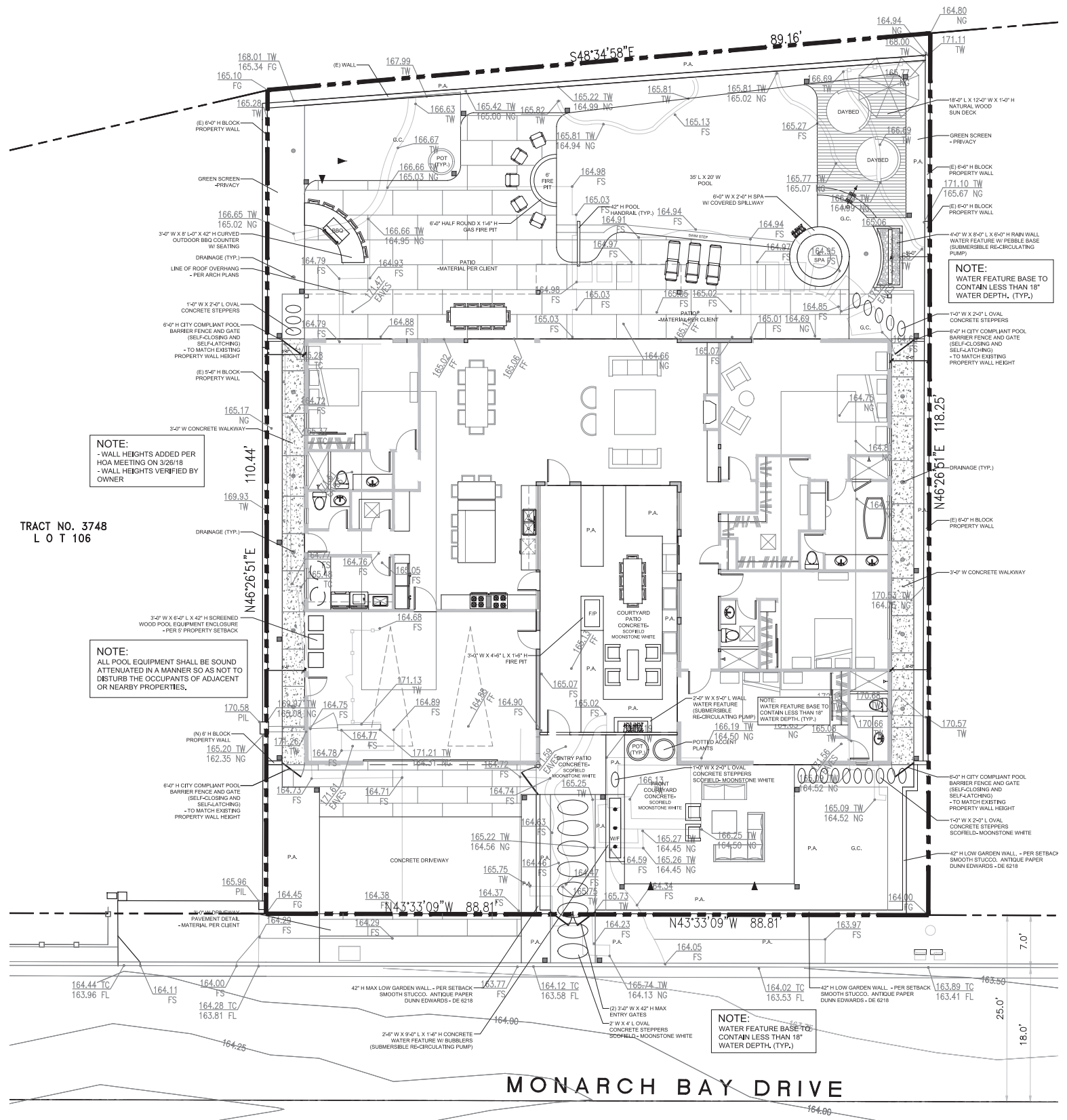
A photograph of a modern, single-story building at dusk. The building has a white exterior and a prominent glass facade with a dark frame. A bright blue door is visible. The sky is filled with colorful clouds, and palm trees are silhouetted against the horizon. The foreground shows a paved area and some landscaping.



SQUARE FOOTAGES

TOTAL LOT AREA:	10,156.00 SQ. FT
BUILDING AREA:	3,803.00 SQ. FT
TOTAL LANDSCAPE AREA:	6,333.25 SQ. FT = 100%
DECORATIVE HARDSCAPE (IMPERVIOUS):	4,078.17 SQ. FT = 64.4%
SOFTSCAPE (PERVIOUS):	2,255.08 SQ. FT = 35.5%
INCLUDING - LANDSCAPE IRRIGATED AREA (MIN 3' X 3')	1,554.84 SQ. FT = 24.5%
BASIC CONCRETE:	1556.15 SQ. FT = 24.5%
POOL / SPA:	708.63 SQ. FT = 11.1%

LIGHTING LEGEND				LIGHTING NOTES:
QUANTITY	DESCRIPTION	MANUFACTURER/ MODEL #	REMARKS	
4	▼ UPLIGHT	ALLIANCE/ BL50 LED 4 W MR11 BULLET LIGHT (LOW VOLTAGE)	DIRECTIONAL UPLIGHTS (BENEATH TREES ONLY), ORIENT AS SHOWN ON PLAN.	1. FINISH: B - AGED BRASS FINISH
23	■ DOWNLIGHT / PATHLIGHT	ALLIANCE/ DL50 LED 4 W MR11 BULLET LIGHT (LOW VOLTAGE)	ORIENT AS SHOWN ON PLAN.	2. MOUNTING: GROUND MOUNTED FIXTURES TO BE MOUNTED ON ALLIANCE PERMAPOST 3. INSTALL PER MANUFACTURER INSTRUCTIONS, LIGHTING LOCATIONS PER OWNER'S,
2	▨ STEP LIGHT	ALLIANCE/ SL25-LED 4.5 W LOUVERED INTEGRATED STEP LIGHT (LOW VOLTAGE)	ORIENT AS SHOWN ON PLAN.	4. THE LIGHT SOURCE FOR DIRECTIONAL UPLIGHTS AND FLOODLIGHTS MUST BE SHIELDED FROM DIRECT VIEW FROM NEIGHBORING PROPERTIES, 5. OUTDOOR LIGHTING SHALL CONFORM TO MONARCH BAY ARCHITECTURAL GUIDELINES SECTION 7.10.
(29 TOTAL)				
IRRIGATION NOTES:				PLANTING NOTES:
DRIP IRRIGATION W/ SMART CONTROLLER - (TO MATCH EXISTING) RAINBIRD XFS SUBSURFACE PRESSURE REGULATED DRIPLINE				P.A. = PLANTING AREA G.C. = GROUNDCOVER
EQUIPMENT NOTES:				DRAINAGE NOTES:
POOL / SPA EQUIPMENT TO BE LOCATED PER ARCHITECTURAL PLANS				SEE DRAINS PER ENGINEERS PLAN



NOTE: PROJECT MAY BE SUBJECT TO DPMC 9.55
WATER EFFICIENT LANDSCAPE REQUIREMENTS AND REVIEW.

SCALE: 1/8"=1'-0"



2880 SOUTH OAKST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.715.7474
FAX: 949.715.7475
ANDRADEARCHITECTS.COM

ANDRADE ARCHITECTS, INC.

COMMON LAW AND EQUITABLE
OTHER PROPERTY RIGHTS IN
DRAWINGS ARE NOT TO BE
REPRODUCED, CHANGED, OR
USED IN ANY MANNER
THEY TO BE ASSIGNED TO ANY
THIRDPARTY WITHOUT FIRST
OBTAINING THE WRITTEN
ANDRADE ARCHITECTS, INC.

GRAFF RESIDENCE
225 MONARCH BAY DRIVE
DANA POINT, CALIFORNIA 92629

LANDSCAPE
PRELIMINARY PLAN

REVISIONS

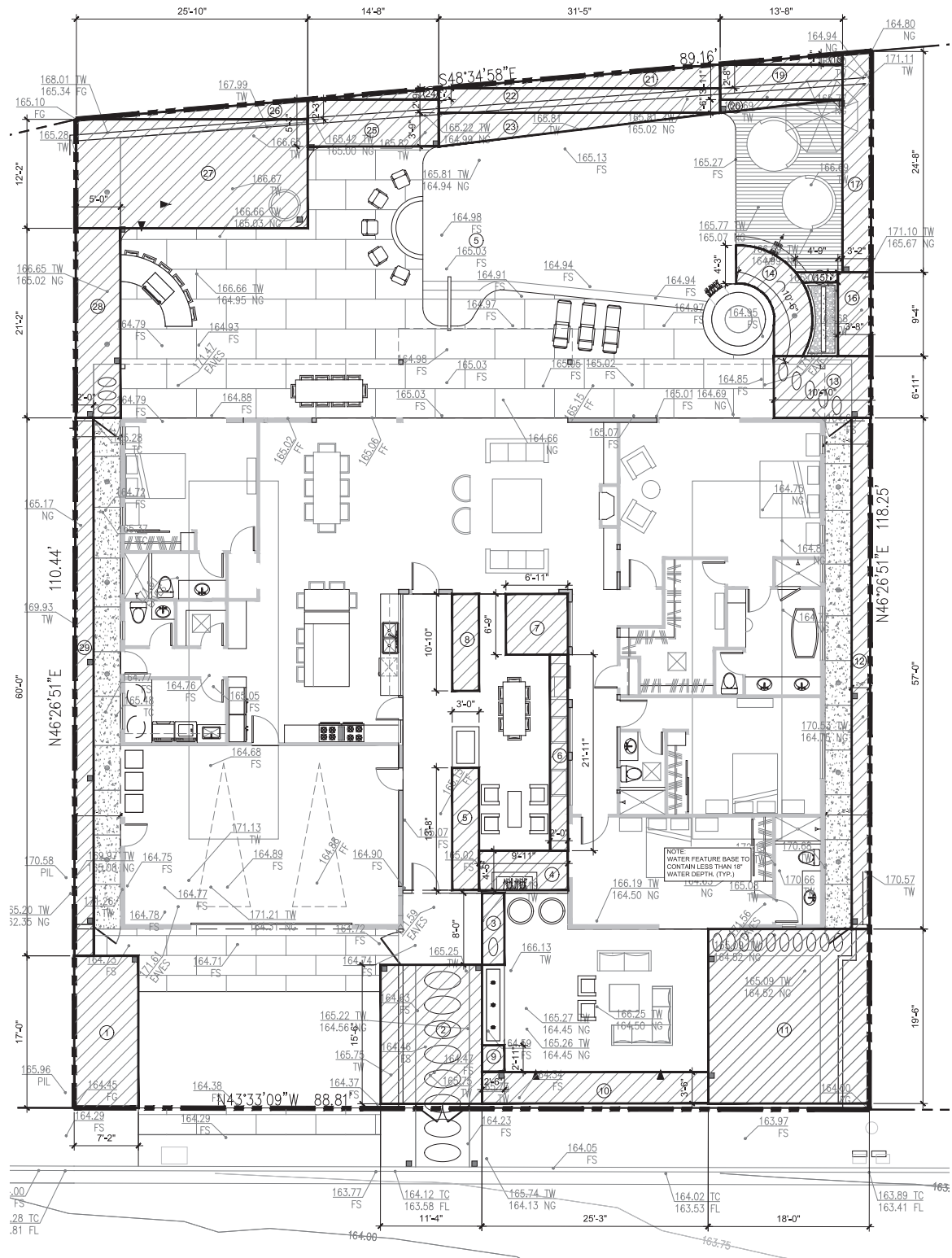
11/28/18
CDP PLAN CHECK
CORRECTIONS



AWN BY:	TP/DM
CHECKED BY:	KA
DATE:	12/03/18
3 #:	1727
FEET:	

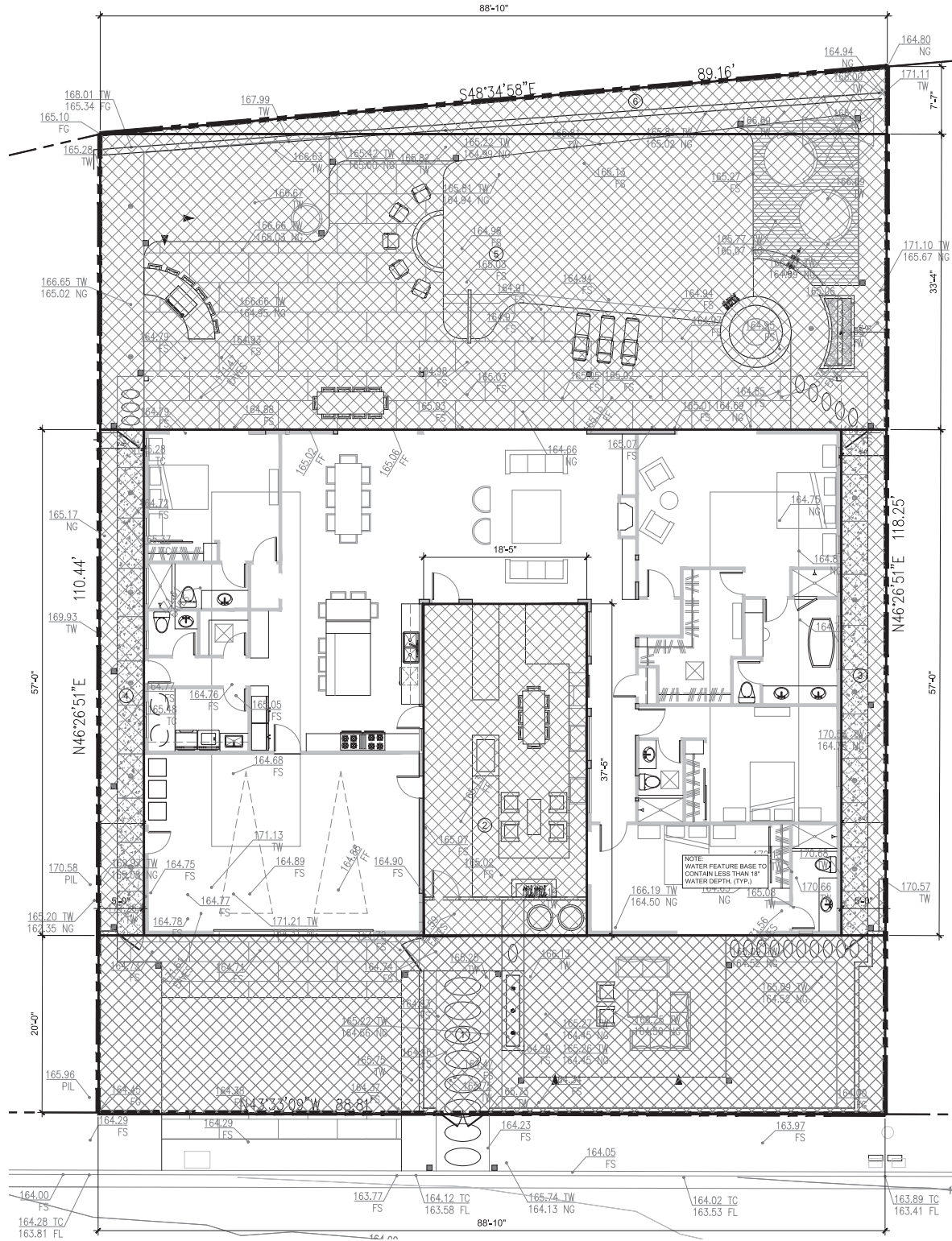
..101

	IRRIGATED LANDSCAPE AREA TABULATION	
1	7'-2" x 17'-0"	121.89 S.F.
2	11'-4" x 15'-6"	175.62 S.F.
3	2'-6" x 8'-0"	20.00 S.F.
4	9'-11" x 4'-5"	43.85 S.F.
5	3'-0" x 13'-8"	41.01 S.F.
6	2'-0" x 21'-11"	43.84 S.F.
7	6'-11" x 6'-9"	46.71 S.F.
8	3'-0" x 10'-10"	32.49 S.F.
9	2'-6" x 2'-11"	7.30 S.F.
10	25'-3" x 3'-6"	88.375 S.F.
11	18'-0" x 19'-6"	351.00 S.F.
12	2'-0" x 57'-0"	114.00 S.F.
13	10'-10" x 6'-11"	74.94 S.F.
14	10'-6" x 4'-3"	44.63 S.F.
15	4'-9" x 1'-2"	5.56 S.F.
16	3'-8" x 9'-4"	34.24 S.F.
17	3'-2" x 24'-8"	78.20 S.F.
18	13'-8" x 1'-3" - [13.67 x 1.25]/2	8.54 S.F.
19	13'-8" x 3'-11"	53.59 S.F.
20	13'-8" x 1'-6" - [13.67 x 1.5]/2	20.51 S.F.
21	31'-5" x 2'-8" - [31.42 x 2.67]/2	41.95 S.F.
22	31'-5" x 2'-9"	86.41 S.F.
23	31'-5" x 3'-9" - [31.42 x 3.75]/2	58.91 S.F.
24	14'-8" x 1'-3" - [14.67 x 1.25]/2	9.17 S.F.
25	14'-8" x 5'-3"	77.02 S.F.
26	25'-10" x 2'-3" - [25.83 x 2.25]/2	9.06 S.F.
27	25'-10" x 12'-2"	314.35 S.F.
28	5'-0" x 21'-2"	105.85 S.F.
29	2'-0" x 60'-0"	120.00 S.F.
TOTAL		2,229.03 S.F.



IRRIGATED LANDSCAPE TABULATION PLAN

SCALE: 1/8"=1'-0"



LANDSCAPE TABULATION PLAN

SCALE: 1/8"=1'-0"

	LANDSCAPE AREA TABULATION	
1	88'-10" x 20'-0"	1776.60 S.F.
2	18'-5" x 37'-5"	689.28 S.F.
3	5'-0" x 57'-0"	285.00 S.F.
4	5'-0" x 57'-0"	285.00 S.F.
5	88'-10" x 33'-4"	2960.70 S.F.
6	88'-10" x 7'-7" - [88.83 x 7.58]/2	336.67 S.F.
TOTAL		6,333.25 S.F.

DRAINAGE NOTES

1. PROVIDE 1% MIN. SLOPE AWAY FROM HOUSE ON ALL HARDSCAPE AND 2% MINIMUM SLOPE AWAY FROM HOUSE FOR PLANTING AREAS.
2. FINAL DRAINAGE LAYOUT PER CIVIL ENGINEER.
3. PLANTER DRAINAGE LAYOUT PER CIVIL ENGINEER.

P.A. = PLANTING AREA (SEE LANDSCAPE PLANTING PLAN - SHEET P-101)





















IRRIGATION NOTES:

AUTOMATIC DRIP IRRIGATION W/ SMART CONTROLLER -
RAINBIRD XFS SUBSURFACE PRESSURE REGULATED DRIPLINE

PLANTING NOTES:

P.A. = PLANTING AREA | G.C. = GROUND COVER

PLANTING PALETTE

PLAN SYMBOL:	BOTANICAL NAME:	COMMON NAME:	CONTAINER:	HEIGHT/ WIDTH:	WUCOLS PLANT FACTOR (REGION 3)
TREES:					
	<i>ALOE Plicatilis</i>	FAN ALOE	15 GAL	6' H X 4' W	L
	<i>DRACAENA DRACO</i>	DRAGON TREE	24" BOX	15' H X 15' W	VL
	<i>PARKINSONIA X 'DESERT MUSEUM'</i>	'DESERT MUSEUM' PALO VERDE	24" BOX	20' H X 20' W	VL
SHRUBS:					
	<i>AGAVE ANGUSTIFOLIA VAR. MARGINATA</i>	VARIEGATED AGAVE	5 GAL	4' H X 4' W	L
	<i>AGAVE 'BLUE GLOW'</i>	'BLUE GLOW' AGAVE	1 GAL	2' H X 2' W	L
	<i>AGAVE GEMINFLORA</i>	TWIN-FLOWERED AGAVE	1 GAL	3' X 3' W	VL
	<i>AGAVE VICTORIAE-REGINAE</i>	QUEEN VICTORIA AGAVE	1 GAL	1' H X 18" W	VL
	<i>ALOE STRIATA</i>	CORAL ALOE	1 GAL	18" H X 2' W	L
	<i>ALOE VERA 'BARBADENSIS'</i>	ALOE VERA	1 GAL	2' H X 2' W	L
	<i>BULBINE FRUTESCENS 'TINY TANGERINE'</i>	STALKED BULBINE	1 GAL	18" H X 18" W	L
	<i>ECHINOCACTUS GRUSONII</i>	GOLDEN BARREL CACTUS	1 GAL	2' H X 2' W	VL
	<i>EUPHORBIA RIGIDA</i>	SILVER SPURGE	1 GAL	2' H X 2' W	L
	<i>FOUQUIERA SPLENDENS</i>	OCOTILLO	5 GAL	10' H X 4' W	VL
	<i>HESPERALOE PARVIFOLIA 'PERPA'</i>	RED YUCCA 'BRAKELIGHTS'	1 GAL	3' H X 2' W	L
	<i>LEUCADENDRON 'JESTER'</i>	SUNSHINE CONEBUSH	1 GAL	3' H X 2' W	L
	<i>PACHYCREUS MARGINATUS</i>	MEXICAN FENCE POST CACTUS	5 GAL	10' H X 2' W	VL
	<i>SALVIA LEUCANTHA 'SANTA BARBARA'</i>	MEXICAN BUSH SAGE	5 GAL	4' H X 3' W	L
	<i>SANSEVERIA TRIFASCIATA</i>	SNAKE PLANT	1 GAL	3' H X 18" W	L
GROUNDCOVERS:					
	<i>DYMONDIA MARGARITAE</i>	SILVER CARPET	FLATS	2' H X 2' W	L
	<i>ECHEVERIA ELEGANS</i>	MEXICAN SNOWBALL	FLATS	6" X 6"	L



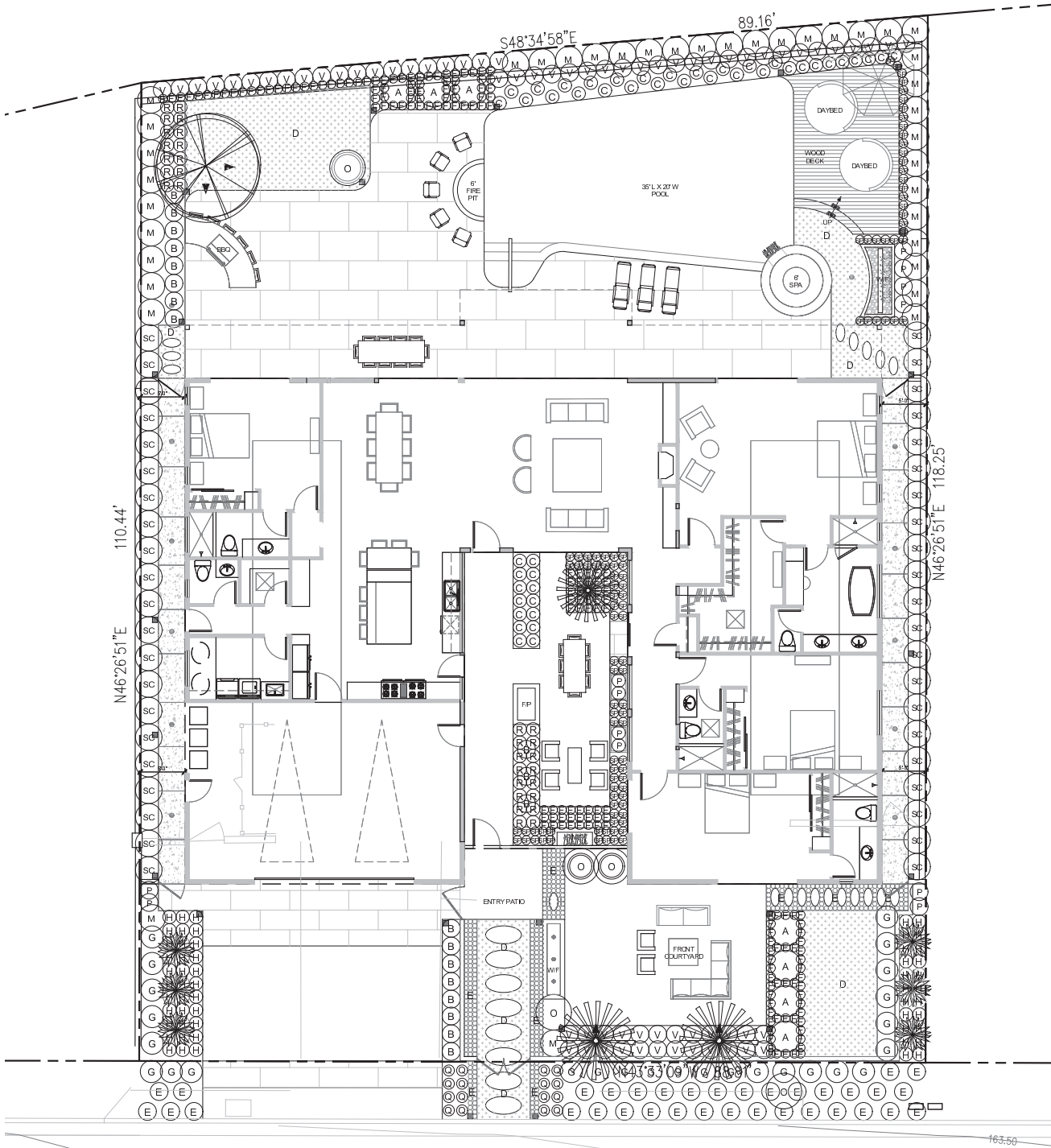
FAN ALOE DRAGON TREE 'DESERT MUSEUM' PALO VERDE



SILVER CARPET MEXICAN SNOWBALL



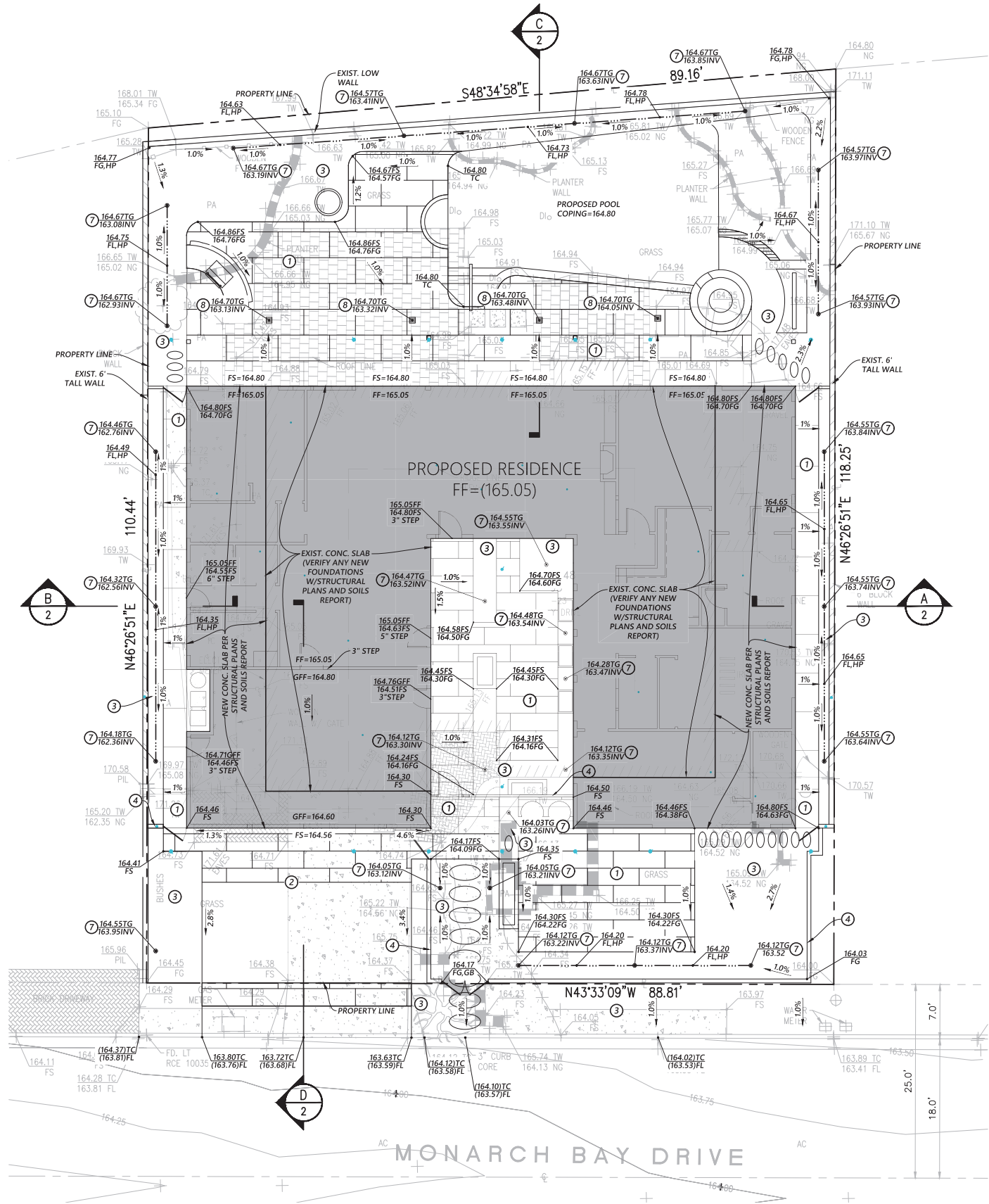
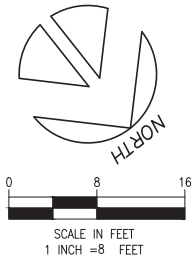
VARIEGATED AGAVE BLUE GLOW AGAVE TWIN FLOWERED AGAVE QUEEN VICTORIA AGAVE CORAL ALOE ALOE VERA STALKED BULBINE GOLDEN BARREL CACTUS SILVER SPURGE OCOTILLO RED YUCCA SUNSHINE CONEBUSH MEXICAN POST CACTUS MEXICAN BUSH SAGE SNAKE PLANT



NOTE: PROJECT MAY BE SUBJECT TO DPMC 9.55
WATER EFFICIENT LANDSCAPE REQUIREMENTS AND REVIEW.

LANDSCAPE PLANTING PLAN

SCALE: 1/8"=1'-0"

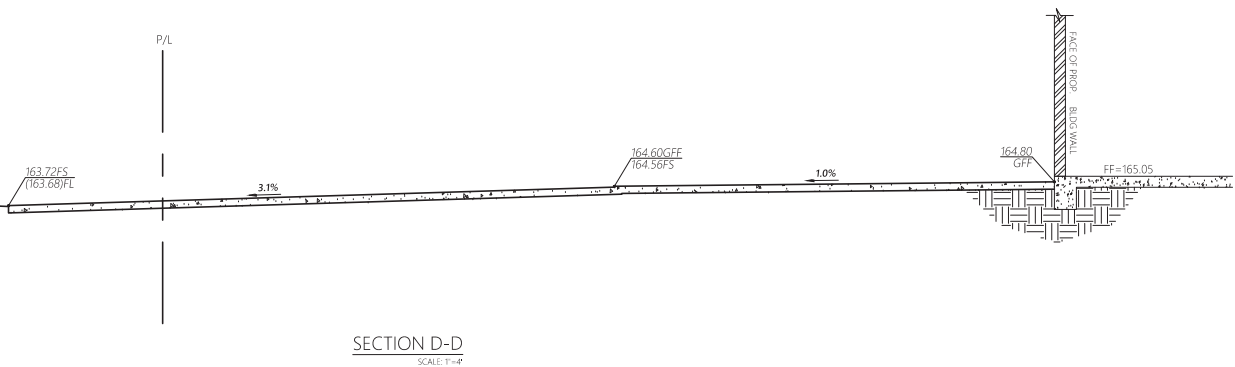
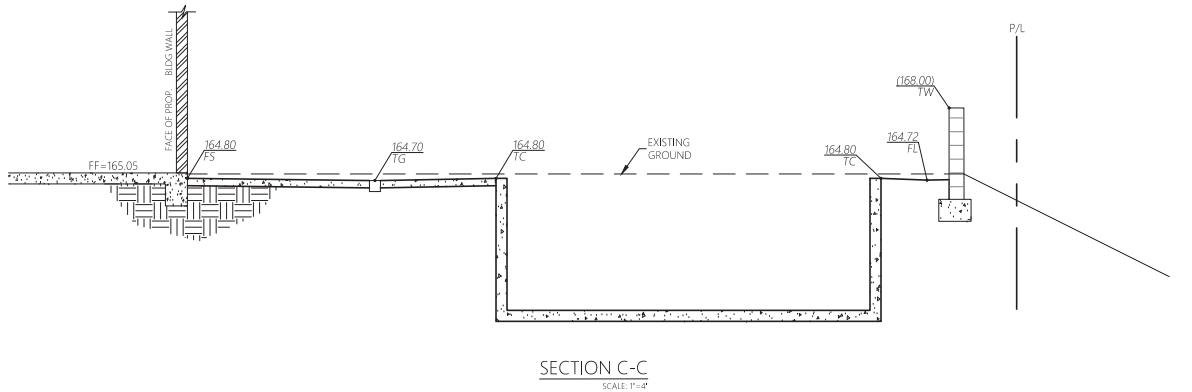
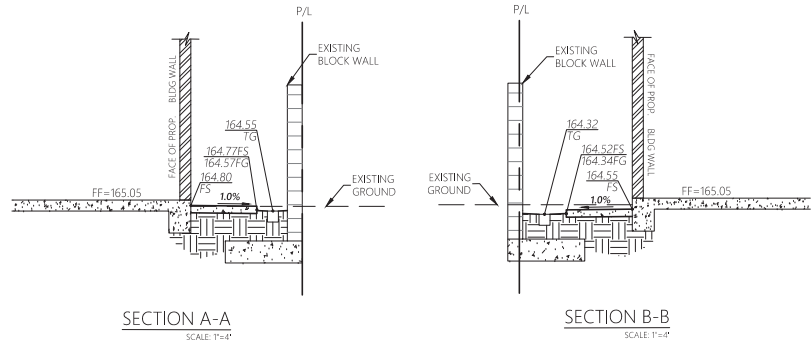


LEGEND

TS	TOP OF STEM WALL
TOP	TOP OF SLOPE
TRW	TOP OF RETAINING WALL
FF	FINISHED FLOOR ELEVATION
TG	TOP OF GRATE
TC	TOP OF COPING OR TOP OF CURB
PA	PLANTER AREA
TW	TOP OF WALL
LS	LANDSCAPE
FS	FINISHED SURFACE
FL	FLOW LINE
FG	FINISHED GRADE
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT
GFF	GARAGE FINISHED FLOOR
EG	EXISTING GRADE
()	EXISTING SPOT ELEVATION
---	PROPERTY LINE AND LIMIT-OF-WORK
---	PROPOSED WALL
(102.6)	EXISTING ELEVATION: CONTRACTOR SHALL FIELD
OR	VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND
102.6	REPORT ANY DISCREPANCIES TO CIVILSCAPES
	ENGINEERING

CONSTRUCTION NOTES

- 1 HARDSCAPE PER ARCHITECT'S PLAN.
- 2 DRIVEWAY PER ARCHITECT'S PLAN.
- 3 PLANTER AREA PER ARCHITECT'S PLAN.
- 4 WALL OR FENCE PER ARCHITECT'S PLAN.
- 7 FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" GREEN ATRIUM GRATE PER DETAIL ON SHEET C3.
- 8 FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" BRASS SQUARE GRATE PER DETAIL ON SHEET C3.



GRADING PLAN FOR GRAFF RESIDENCE GRADING AND DRAINAGE PLAN

225 MONARCH BAY DRIVE
DANAPPOINT, CA 92629

REVISIONS		
NO.	REVISION	DATE



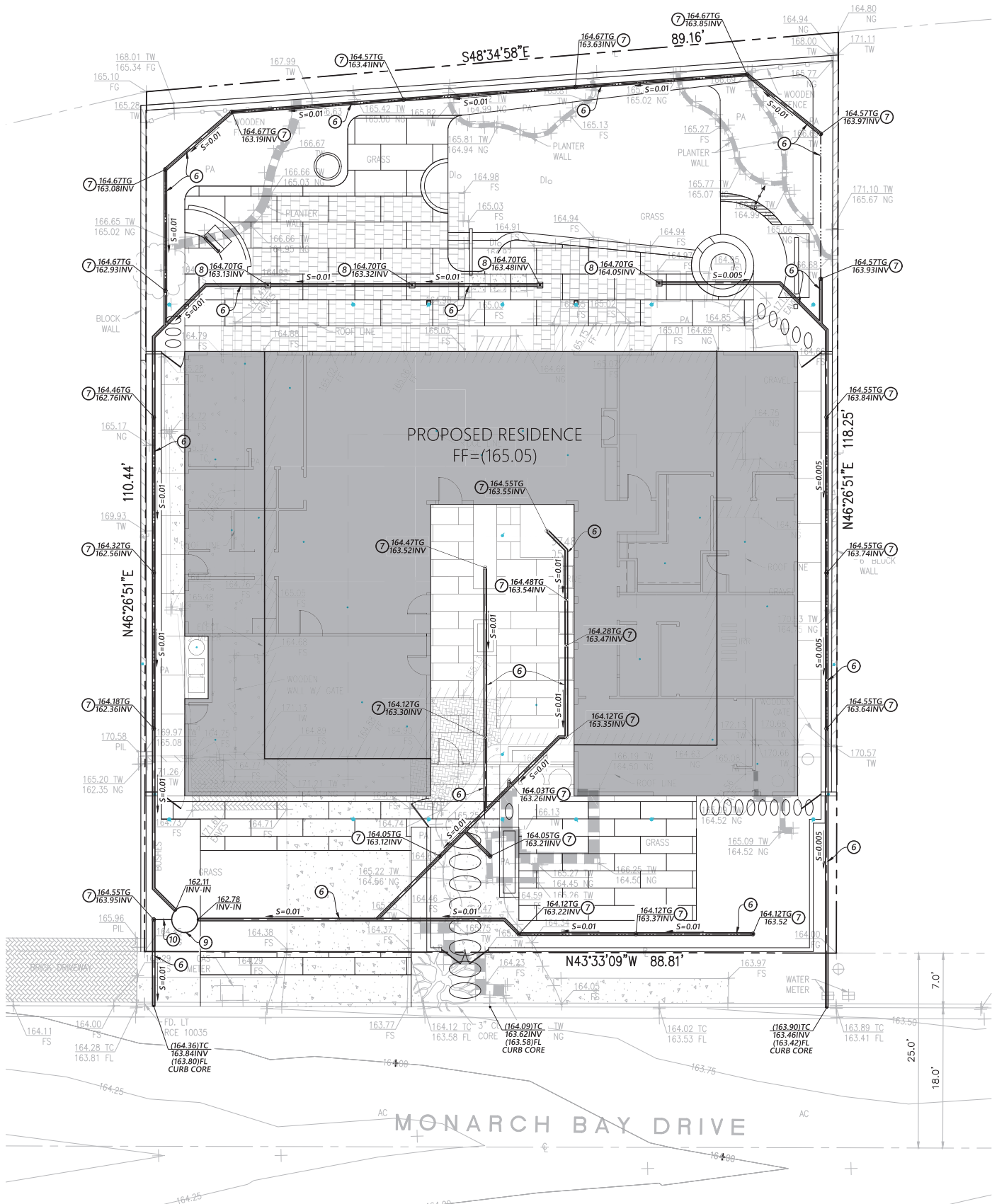
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DATE 12/5/2018
SHEET NO.

C2

SHEET NO. 2 OF 4

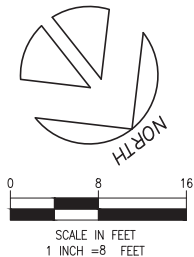
CIVILSCAPES
ENGINEERING

28052 CAMINO CAPISTRANO, STE 213
LAGUNA NIGUEL, CA 92677
949.464.8115 info@civilscales.com



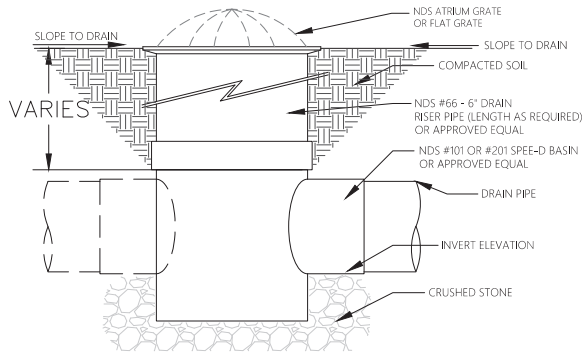
LEGEND

- () EXISTING SPOT ELEVATION
- PROPERTY LINE AND LIMIT-OF-WORK
- PROPOSED STORM DRAIN
- PROPOSED WALL
- (102.6) OR 102.6 EXISTING ELEVATION: CONTRACTOR SHALL FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO CIVILSCAPES ENGINEERING

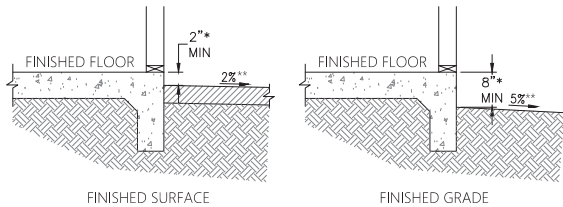


CONSTRUCTION NOTES

- FURNISH & INSTALL 4-INCH SDR-35 PVC STORM DRAIN (OR APPROVED EQUAL) PER CPC. INCLUDE REQUIRED JOINTS AND FITTINGS PER CPC. CONSTRUCT TRENCH, BEDDING, AND BACKFILL PER ASTM D 2321 AND SOILS REPORT.
- FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" GREEN ATRIUM GRATE PER DETAIL HEREON.
- FURNISH & INSTALL 6" NDS SPEE-D BASIN W/6" BRASS SQUARE GRATE PER DETAIL HEREON.
- FURNISH AND INSTALL SUMP PUMP IN PLANTER AREA; CONTACT PSI PUMPS.
- FORCE MAIN FROM SUMP TO CONNECT TO VERTICAL WYE THEN TO SIDE OF NDS SPEE-D BASIN.



7 8 NDS SPEE-D BASIN DETAIL
NO SCALE



FINISHED FLOOR/ADJACENT GRADE DETAIL
NO SCALE

* VERTICAL DISTANCE PER 2016 CRC SECTION R317.1 MAY BE REDUCED PROVIDED THAT WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS ARE MADE OF NATURAL DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH CODE. CONTRACTOR SHALL NOTIFY CIVILSCAPES ENGINEERING IF THERE ARE ANY CONFLICTS

** MINIMUM GRADE AWAY FROM FOUNDATION SHALL BE PER 2016 CRC SECTION R401.3. CONTRACTOR SHALL NOTIFY CIVILSCAPES ENGINEERING IF THERE ARE ANY CONFLICTS.

GRADING PLAN
FOR GRAFF RESIDENCE
STORM DRAIN PLAN

225 MONARCH BAY DRIVE
DANAPPOINT, CA 92629

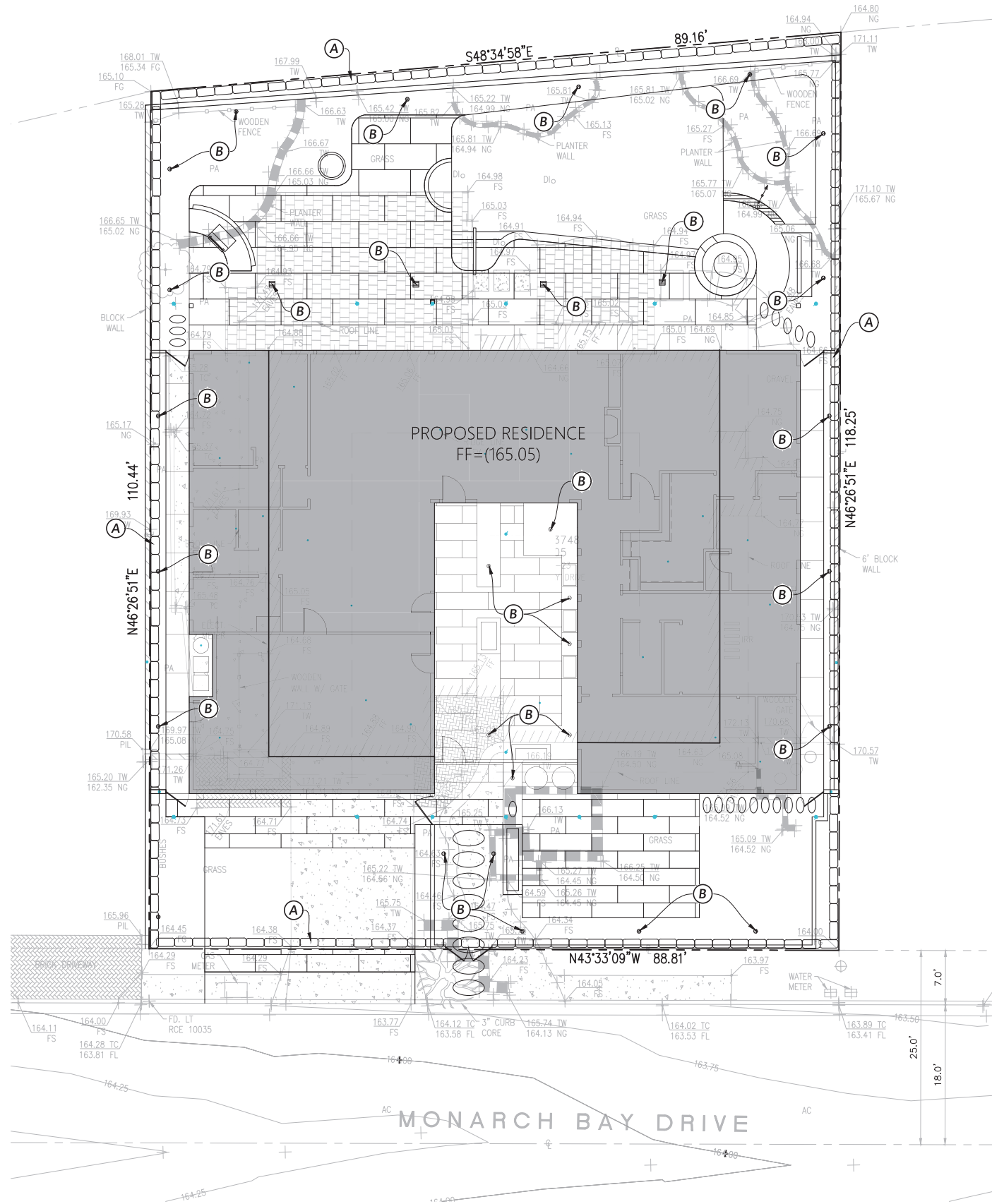
CIVILSCAPES
ENGINEERING
28052 CAMINO CAPISTRANO, STE 213
LAGUNA NIGUEL, CA 92677
949.464.8115 info@civilscapes.com

REVISIONS		
NO.	REVISION	DATE



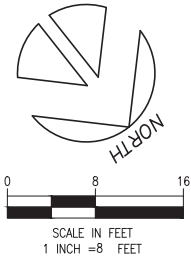
JOB NO. 18034
DATE 12/5/2018
SHEET NO.

C3



LEGEND

TS	TOP OF STEM WALL
TOP	TOP OF SLOPE
TRW	TOP OF RETAINING WALL
FF	FINISHED FLOOR ELEVATION
TG	TOP OF GRATE
TC	TOP OF COPING OR TOP OF CURB
PA	PLANTER AREA
TW	TOP OF WALL
LS	LANDSCAPE
FS	FINISHED SURFACE
FL	FLOW LINE
FG	FINISHED GRADE
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT
GFF	GARAGE FINISHED FLOOR
EG	EXISTING GRADE
()	EXISTING SPOT ELEVATION
- - -	PROPERTY LINE AND LIMIT-OF-WORK
---	PROPOSED WALL
(102.6)	EXISTING ELEVATION; CONTRACTOR SHALL FIELD
OR	VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND
102.6	REPORT ANY DISCREPANCIES TO CIVILSCAPES
	ENGINEERING

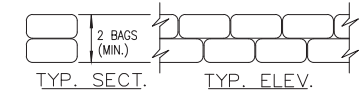


EROSION CONTROL CONSTRUCTION NOTES

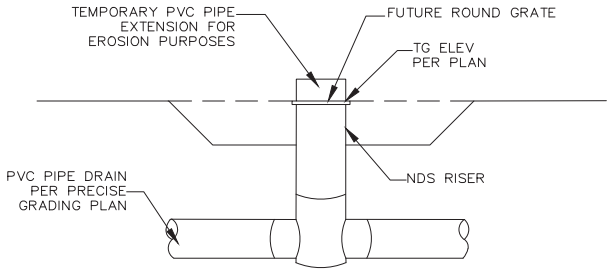
- (A) INSTALL SAND (OR GRAVEL) BAG BARRIER PER CASQA SE-8 AND SE-6
- (B) INLET PROTECTION PER DETAIL HEREON

NOTES:

- CONTRACTOR SHALL PROVIDE ONSITE CONCRETE WASHOUT FACILITY AND COMPLY WITH CASQA BMP WM-8.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OF ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.



A SAND BAG DETAIL
NO SCALE



B AREA DRAIN INLET PROJECTION
NO SCALE

**GRADING PLAN
FOR GRAFF RESIDENCE
EROSION CONTROL PLAN**
225 MONARCH BAY DRIVE
DANAPPOINT, CA 92629

REVISIONS		
NO.	REVISION	DATE



JOB NO.	18034
DATE	12/5/2018
SHEET NO.	

C4

