

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: DECEMBER 10, 2018

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
MATT SCHNEIDER, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: TENTATIVE PARCEL MAP TPM2018-126 FOR CONDOMINIUM PURPOSES TO SUBDIVIDE THE AIRSPACE AND ALLOW INDIVIDUAL OWNERSHIP OF A PREVIOUSLY APPROVED THREE (3) UNIT MULTIPLE FAMILY DWELLING USE.

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Tentative Parcel Map TPM2018-126.

APPLICANT: Advanced Civil Engineering – Steve Austin

PROPERTY OWNER: Long Beach Development, LLC

REQUEST: Approval of a tentative parcel map for condominium purposes to subdivide the airspace and allow individual ownership of a previously approved three (3) unit Multiple Family Dwelling use on a Residential Multiple Family (RMF 14) zoned lot within the Lantern Village.

LOCATION: 33851 Malaga Drive and 33852 Silver Lantern
(APN's: 682-263-14 & 682-263-19)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius on November 29, 2018, published within a newspaper of general circulation on November 22, 2018, and posted on November 22, 2018, at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, Dana Point Library, as well as on the City of Dana Point website.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section 15301 (Class 1 – Existing Facilities) in that project involves the division of a previously approved three (3) unit multi family dwelling into a common interest ownership subdivision where no physical

changes are occurring that are otherwise exempt.

ISSUES:

1. Is the proposal consistent with the City's adopted General Plan?
2. Is the project compatible with, and an enhancement to the site and surrounding neighborhood?
3. Does the project satisfy all required findings pursuant to the City's Zoning Code for approving a Tentative Parcel Map?

BACKGROUND:

The subject site is located east of Golden Lantern between La Paz Avenue and Selva Road within the Residential Multiple Family 14 (RMF-14) Zoning District and is designated as Residential 7-14 DU/AC on the City's Land Use Map. The site is a vacant, previously undeveloped, 7,996 square foot through lot with frontage on both Malaga Drive and Silver Lantern. The site is surrounded by a mixture of single-family, duplex and multiple-family developments to the north, south, east and west (Supporting Document 2).

The lot was previously comprised of two separate parcels. These parcels were merged through approval of Tentative Parcel Map No. 80-158, which was recorded by the County of Orange on September 19, 1984. In May of 2017, the Director of Community Development approved Minor Site Development Permit SDP17-0002(M) for the subject site allowing development of a Multiple Family Dwelling use consisting of three (3) units with two detached garages (Supporting Document 3). The proposal also permitted roof decks and retaining walls greater than 30 inches in height visible from the public right of way. Construction and grading plans associated with SDP17-0002(M) are currently being reviewed by the City through the building and grading plan check processes.

DISCUSSION:

SDP17-0002(M) authorized a three (3) unit multiple family development with two (2) detached garages on a single parcel that does not allow the sale of individual units. Although previously approved as a three unit multiple family dwelling under one ownership, the applicant's proposing a tentative parcel map for a condominium project to allow individual ownership of the three (3) individual dwelling units with their respective detached garages.

TENTATIVE PARCEL MAP

Pursuant to Section 7.02.110 of the Dana Point Subdivision Code (DPSC), a tentative parcel map (TPM) is used whenever a parcel is proposed to be subdivided for the purpose of creating less than five (5) condominium units. The applicant has provided the requisite TPM and a preliminary condominium plan (Supporting Documents 4 and 5 respectively). The

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preliminary condominium plan illustrates the manner in which individual interest in the structures proposed for the lot, and the common interest areas will be divided. Preliminarily, individual interest, or “airspace” will include one dwelling unit, their associated/required garage/parking stalls, decks, while also identifying common and association areas.

Specifics relating to the maintenance standards and responsibilities of individual, common, and association interest areas, retaining walls, as well as the parking requirements will be further defined and described in the covenants, conditions, and, restrictions (CC&R’s) required as conditioned in the attached draft resolution for TPM2018-126. To account for potential maintenance and ownership discrepancies between future owners, a specific condition of approval has been included requiring the CC&R’s to include provisions for dispute resolution. As is customary, the CC&R’s will be reviewed by City Staff and the City Attorney to ensure compliance with the conditions of approval, and requirements of both the California Subdivision Map Act and the City’s Subdivision Code.

Section 7.05.060 of the Dana Point Subdivision Code establishes findings required to approve a subdivision. These findings relate to consistency with the General Plan and Zoning Code, adequacy of the site to accommodate the development and density, potential environmental impacts, and that there are adequate utilities and improvements proposed to serve the subdivision. Overall, the TPM meets the requirements of the City’s Subdivision Code and is consistent with the property’s General Plan and Zoning designations. The site is suitable for the proposed type and density of development as previously assessed through SDP17-0002(M), and Staff believes the following findings supporting approval of the TPM can be made.

Findings:

1. That the proposed map is consistent with the City’s General Plan;
2. That the design and improvement of the proposed subdivision is consistent with the City’s General Plan;
3. That the site is physically suitable for the proposed type of development;
4. That the requirements of the California Environmental Quality Act have been satisfied;
5. That the site is physically suitable for the proposed density of development;
6. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantial and avoidable injury to fish or wildlife habitat;
7. That the design of the subdivision and the proposed improvements are not likely to

cause serious public health problems;

8. That the design of the subdivision and the proposed improvements will not conflict with easements of record or established by court judgment or acquired by the public at large for access through or use of property within the proposed subdivision;
9. That the design and improvement of the proposed subdivision are suitable for the uses proposed and the subdivision can be developed in compliance with the applicable zoning regulations;
10. That the subdivision is not located in a fee area, or if located in a fee area, the subdivider has met the requirements or payment of the applicable fees or the subdivision would not allow development of a project which would contribute to the need for the facility for which a fee is required;
11. That the subdivision is located in an area which has access to adequate utilities and public services to support the development proposed within the subdivision or that the subdivision includes the provisions and improvements necessary to ensure availability of such utilities and services.

CORRESPONDENCE:

To date, no correspondence has been received concerning the subject project.

CONCLUSION:

Based on the above analysis, as well as the projects consistency with the City's General Plan, and Zoning and Subdivision Codes, Staff determines that required findings supporting the project can be made. Accordingly, Staff recommends that the Planning Commission adopt the attached Draft Resolution approving Tentative Parcel Map TPM2018-126.



Danny Giometti
Associate Planner



Matthew Schneider
Director of Community Development

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 18-12-10-XX

Supporting Documents

2. Vicinity Map
3. SDP17-0002(M) Approved Plan
4. Tentative Parcel Map
5. Preliminary Condominium Plan

Action Document 1 Draft Planning Commission Resolution No. 18-12-10-XX

RESOLUTION NO. 18-12-10-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING TENTATIVE PARCEL MAP TPM2018-126 FOR CONDOMINIUM PURPOSES TO SUBDIVIDE THE AIRSPACE AND ALLOW INDIVIDUAL OWNERSHIP OF A PREVIOUSLY APPROVED THREE (3) UNIT MULTIPLE FAMILY DWELLING USE LOCATED AT 33852 SILVER LANTERN AND 33851 MALAGA DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Long Beach Development LLC, (the "Owner") is the owner of real property commonly referred to as 33852 Silver Lantern and 33851 Malaga Drive (APN's 682-261-14 & 682-261-19) (the "Property"); and

WHEREAS, the Owners authorized Advanced Civil Engineering (the "Applicant") and the Applicant caused to be filed a verified application for a Tentative Parcel Map for condominium purposes to subdivide the airspace and allow individual ownership of a previously approved three (3) unit multiple family dwelling use located at 33852 Silver Lantern and 33851 Malaga Drive.

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section(s) 15301 of the CEQA Guidelines (Class 1- Existing Facilities) in that project involves the division of a previously approved three (3) unit multi family dwelling into a common interest ownership subdivision where no physical changes are occurring that are otherwise exempt; and

WHEREAS, the Planning Commission did, on the 10th day of December, 2018, hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Tentative Parcel Map TPM2018-126.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Tentative Parcel Map TPM2018-126, subject to conditions:

1. That the proposed map is consistent with the City's General Plan in that it satisfies the intent of the Land Use Element Goal 1 pertaining to balanced development for the City, which states, "Achieve a desirable mixture of land uses to meet the residential, commercial, industrial, recreational, open space, cultural and public service needs of the City residents."
2. That the design and improvement of the proposed subdivision is consistent with the City's General Plan in that the proposed density and design conforms to the applicable City standards and policies related to residential development for the General Plan Land Use Designation "Residential 7-14 DU/AC", and the proposed subdivision will provide for individual and common interest and responsibility areas as further articulated in the Conditions, Covenants and Restrictions (CCR's), and final condominium map required as conditioned in this resolution.
3. That the site is physically suitable for the proposed type of development in that it is of a reasonable shape, size, and topography to accommodate a residential condominium subdivision for the three (3) dwelling units, two (2) garages, and retaining walls previously approved for development on the site.
4. That the requirements of the California Environmental Quality Act have been satisfied in that project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) in that the project involves division of proposed multiple family residences into common-interest ownership where no design changes occur which are not otherwise exempt.
5. That the site is physically suitable for the proposed density of development in that required development standards have already been met through the approval of Minor Site Development Permit SDP17-0002(M) and the site is large enough to accommodate the proposed density and land area requirements for the three (3) dwelling units, two (2) garages, and retaining walls proposed for development on the site.
6. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantial and avoidable injury to fish or wildlife habitat in that the subdivision is located within an urbanized area within the Lantern Village community of the City and on a site proposed

for development and does not contain any special status habitat.

7. That the design of the subdivision and the proposed improvements are not likely to cause serious public health problems **in that the proposed improvements and condominium subdivision conform to their requisite development standards and subdivision code requirements, respectively. Additionally, best management practices (BMP's) will be implemented before, during and after construction activities take place. Therefore, the design of the subdivision and proposed improvements are not likely to cause serious public health problems.**
8. That the design of the subdivision and the proposed improvements will not conflict with easements of record or established by court judgment or acquired by the public at large for access through or use of property within the proposed subdivision **in that any easement issues were previously reviewed under the required SDP17-0002(M) and there is no easement on the property related to access through or use of the property.**
9. That the design and improvement of the proposed subdivision are suitable for the uses proposed and the subdivision can be developed in compliance with the applicable zoning regulations **in that the subdivision creates individual ownership opportunities for the previously approved three-unit development, which was designed and approved in conformance with the RMF 14 Zoning District.**
10. That the subdivision is not located in a fee area, or if located in a fee area, the subdivider has met the requirements or payment of the applicable fees or the subdivision would not allow development of a project which would contribute to the need for the facility for which a fee is required **in that all applicable fees will be collected prior to issuance of construction permits for the three (3) units and two (2) garages approved for development at the site, or will be collected prior to issuance of a certificate of occupancy for any of the units, and the creation of the condominium subdivision will not create the need for additional public facilities.**
11. That the subdivision is located in an area which has access to adequate utilities and public services to support the development proposed within the subdivision or that the subdivision includes the provisions and improvements necessary to ensure availability of

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such utilities and services in that public utilities and services are currently being provided to adjacent improved properties and the applicant shall furnish a "Will Serve" letter from each of the requisite utility and public service companies prior to building permit issuance.

Conditions:

A. General:

1. Approval of this application is to allow for a Tentative Parcel Map for condominium purposes to subdivide the airspace and allow individual ownership of a previously approved three (3) unit multiple family dwelling use located at 33852 Silver Lantern and 33851 Malaga Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan and the Dana Point Zoning Code.
2. This conditionally approved tentative map shall expire two (2) years after its conditional approval unless the Applicant/subdivider requests an extension in writing prior to the expiration date, and the Subdivision Committee/Planning Commission grants the extension request in accordance with all provisions outlined in Subdivision Code Section 7.05.075.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, the Director may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents,

officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

9. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
10. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
11. The Final Parcel Map must be in substantial compliance with Tentative Parcel Map TPM2018-126, as determined by the Director of Community Development and the Director of Public Works. If the Final Parcel Map is approved, the Map shall be recorded with the Office of the County Recorder.
12. The applicant shall be responsible for coordination with SDG&E, AT&T California, SCWD, Southern California Gas Company, and Cox Communication Services for the provision of all utility services.
13. All proposed utilities within the project shall be installed underground. An approved SDG&E work order and undergrounding plan is required prior to building permit issuance.

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14. The applicant shall obtain all applicable permits for the proposed improvements, including any that may be required from outside agencies.
15. Unless and until the Final Parcel Map associated with Tentative Parcel Map TPM2018-126 is recorded with the Office of the County Recorder, the applicant shall comply with the provisions of the 2010 CBC Chapter 11A Housing Accessibility (Sections 110A, 1102A & 1104A).

B. Prior to approval of the final parcel map the applicant shall meet the following conditions:

16. A Final Map shall be submitted for review and approval in accordance with requirements of the Public Works Department and Community Development Department. The final map must be in substantial compliance with Tentative Parcel Map TPM2018-126, as determined by the Director of Community Development, the Director of Public Works, and the City Engineer. Said map shall be prepared as required by the City of Dana Point Subdivision Code.
17. All taxes and fees shall be paid to the County of Orange and the County Treasurer-Tax Collector's Certificate shall be signed.
18. All existing and proposed easements shall be shown and labeled on the Final Map clearly indicating the easement ownership, location, purpose and width. A copy of the recorded easements shall be included along with the plan submittal for review by the City Engineer. The Final Map shall also include a note to identify any easements proposed to be vacated with the Map.
19. Utility easements shall be provided to the specifications of the appropriate utility companies and subject to review and approval by the Director of Public Works.
20. The applicant shall submit the Final Map to the County of Orange for review and approval. A copy of the approval shall be submitted to the Public Works Department.
21. The Final Map shall clearly state that the subdivision is for condominium purposes.
22. Applicant shall provide to the City a copy of a current title report not less than six months old and any other survey documentation in relation to the subject subdivision.

23. The applicant shall submit a copy of the proposed CC&R's and Articles of Incorporation of the Owners' Association(s) for review and approval by the Directors of Public Works and Community Development and the City Attorney. The CC&R's shall be recorded with the Final Map and shall include:
- a. A statement that prohibits amendment of the document without review and approval by the City Attorney, the Directors of Public Works and Community Development, and the City Engineer at any time prior to or preceding recordation of the Final Parcel Map.
 - b. A method to ensure resolution of any disputes regarding maintenance of any commonly held portions of the lot, any common walls, or disputes regarding the maintenance of the proposed structures shall be included in CC&R's.
 - c. A method to ensure proper maintenance of the common walls in the development, specifically walls between units.
 - d. Reflect common access easements, and maintenance responsibility of all recreation areas, common walls, access ways, parking areas, landscaping and grounds by the parties common to the CC&R's.
 - e. An acceptable means for maintaining the easements within the subdivision and to distribute the cost of such maintenance in an equitable manner among the owners of the units within the subdivision.
 - f. If not included in the CC&R's, a copy of the proposed condominium plan shall be provided illustrating the manner in which the air space of the project is proposed for subdivision and illustrations of any commonly held portions of the site ensuring consistency between the definitions and descriptions contained in the proposed CC&R's.
 - g. Require a private drainage easement and maintenance agreement for all existing and proposed storm drain facilities and appurtenant structures. Said easement and agreements shall address existing drainage conditions, cross-lot drainage, and any easement documents.
 - h. Provisions which prohibit any obstructions within any fire protection access easement and shall also require approval of the Fire Chief for any modifications; such as speed bumps, control gates, or changes in parking plans within said easement.

- i. Clearly assign maintenance responsibility of the Owners' Association(s) for landscaping, irrigation and other improvements installed on City property for the benefit of the Project.
 - j. Implement and Maintain all structural and non-structural improvements and Best Management Practices (BMPs) indicated in the Final WQMP.
- 24. The applicant shall reimburse the City for staff time and City Attorney costs associated with the review of the CC&R's, easement, and maintenance agreement documents.
 - 25. The approved Fire Master Plan shall be submitted to the City of Dana Point Public Works Department.
 - 26. Prior to the recordation of a subdivision map, a note shall be placed on the map stating that all residential structures shall be protected by an approved automatic fire sprinkler system.
 - 27. All monuments shall be set, or a security provided, to ensure all monuments will be set in accordance with the County of Orange and City of Dana Point standards.
 - 28. Applicant/owner shall provide the City with the copy of the recorded Condominium Map.
 - 29. The applicant shall submit, to the Public Works and Engineering Department, a copy of the recorded Final Map as approved by the City Council and recorded with the Office of the County Recorder.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 10th day of December 2018, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Danni Murphy, Chairwoman
Planning Commission

ATTEST:

Matthew Schneider, Director
Community Development Department

Supporting Document 2 Vicinity Map

VICINITY MAP



PROJECT: TPM2018-126
APPLICANT: ADVANCED CIVIL ENGINEERING
OWNER: LONG BEACH DEVELOPMENT, LLC

Supporting Document 3 SDP17-0002(M) Approved Plan

ATTACHMENT

PROJECT ADDRESS(S): 33851 MALAGA DR.
33852 SILVER LANTERN ST.

SCOPE OF WORK:
MULTIFAMILY DEVELOPMENT CONSISTING OF 3 DWELLING UNITS (TWO ATTACHED AND ONE DETACHED) WITH TWO DETACHED THREE CAR GARAGES ROOF DECKS AND RETAINING WALLS ON AN EXISTING 7,996 SF VACANT LOT.

PROPERTY OWNER:
LONG BEACH DEVELOPMENT LLC
32932 PCH #14-487
DANA POINT CA 92629
(949) 275-2262

LEGAL DESCRIPTION:
PARCEL 1 OF PARCEL MAP No. 80-158, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP FIELD IN BOOK 191, PAGE 35 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA.

MATERIAL LIST:
EXTERIOR WALLS: STUCCO PER PLANS
WOOD SIDING PER PLANS
WINDOWS: VINYL FRAME
BUILDING FRAME: WOOD
ROOFING: RUBEROID@EnergyCap™ Torch Granule FR
FOUNDATION: SLAB ON GRADE CONCRETE
RETAINING WALLS: CONCRETE MASONRY UNITS

G. AREAS:
33852 SILVER LANTERN ST, APN: 682-263-14
UNIT #1
3 BEDROOMS, 3 BATHS

FIRST FLOOR: 1,216sf
COVERED PORCH: 58sf
SECOND FLOOR: 1,033sf
COVERED DECK: 285sf
DETACHED
3 CAR GARAGE: 600sf
GROSS FLOOR AREA: 2,849sf
TOTAL BUILDING AREA: 3,192sf
ROOF DECK AREA: 298sf
LOT AREA: 7,996 sf

BUILDING AREAS:
33851 MALAGA DR, APN: 682-263-14
UNITS 2&3
1 BEDROOM, 2 BATHS EACH UNIT

UNIT #2
FIRST FLOOR: 1,185sf
UNIT #3
SECOND FLOOR: 1,032sf
COVERED DECK: 187sf
PORCH COVER: 45sf
DETACHED
3 CAR GARAGE: 600sf
GROSS FLOOR AREA: 2,817sf
TOTAL BUILDING AREA: 3,049sf
ROOF DECK AREA: 295sf
LOT AREA: 7,996 sf

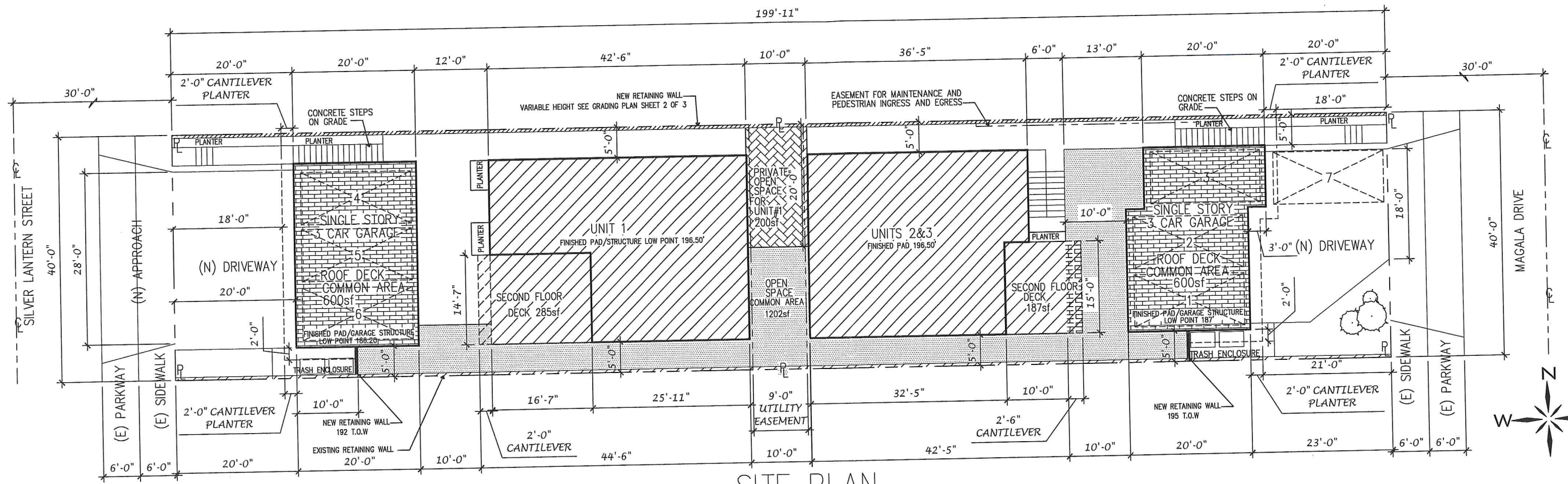
DEVELOPMENT STANDARDS TABLE	REQUIRED	PROPOSED
ZONE: RMF 14		
MINIMUM LAND AREA PER UNIT:		
2600 sf	7,800sf	7,996sf
MAXIMUM LOT COVERAGE: 60%	4,797.6sf	2,520sf
FRONT YARD SET BACK THROUGH LOT	20ft	20ft BOTH SIDES
SIDE YARD SETBACK	5ft	5ft
REAR YARD SETBACK	N/A	N/A
MIN. OPEN SPACE PER UNIT	200sf	200sf
MIN. OPEN COMMON SPACE	30%	2398.8sf
MIN LANDSCAPE	25%	1999sf

PARKING ANALYSIS:			
COVERED	UNCOVERED	VISITOR	TOTAL
UNIT#1	2	.5	.2
UNIT#2	1	.5	.2
UNIT#3	1	.5	.2
6.1			

THE PROPOSED DEVELOPMENT SHALL BE IN COMPLIANCE WITH 2016 CALIFORNIA BUILDING CODES AND DANA POINT MUNICIPAL CODE.

Height TABLE		
	FINISHED PAD/ LOW POINT	FINISHED PAD/ MAX. HEIGHT
3 CAR GARAGE ALONG SILVER LANTERN	186.20 FEET	210.20 FEET
UNIT 1 ALONG SILVER LANTERN	196.50 FEET	220.50 FEET
UNITS 2&3 ALONG MALAGA DRIVE	196.50 FEET	220.50 FEET
3 CAR GARAGE ALONG MALAGA DRIVE	187 FEET	211 FEET

DRAWN BY:
MAYRA REYES



SITE PLAN

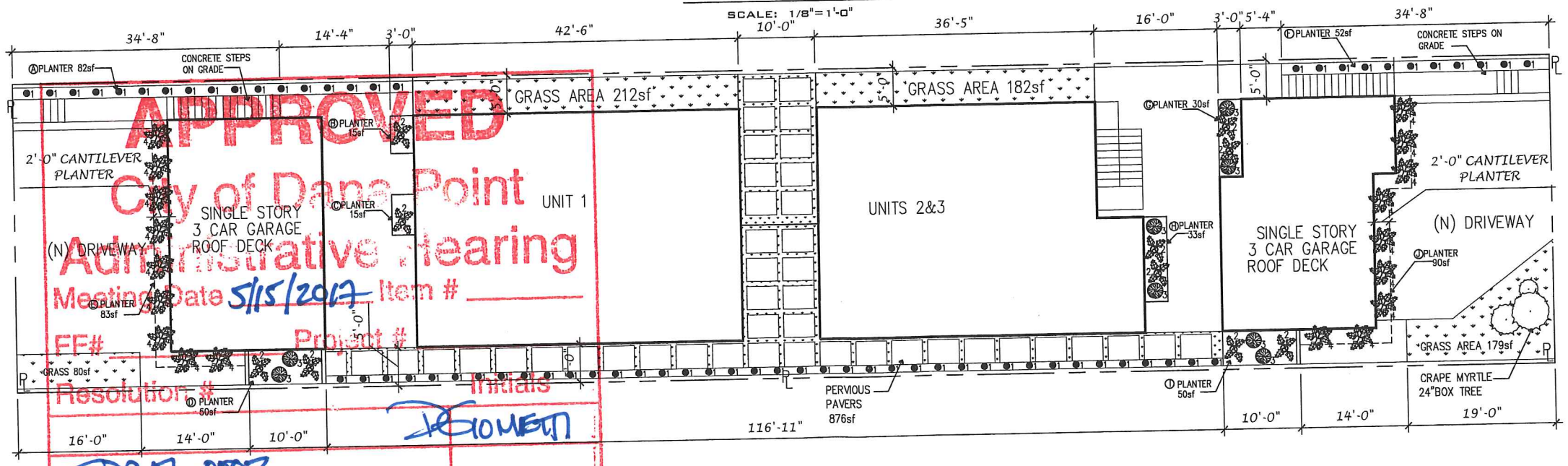
SCALE: 1/8"=1'-0"

NATIVE PLANTS LEGEND

●1	BLUE FESCUE
●2	CALIFORNIA MOUNTAIN LILAC
●3	BLUE OAT GRASS
●4	HOARY CALIFORNIA FUSCHIA

LANDSCAPE AREAS

PLANTER ①	82sf
PLANTER ②	15sf
PLANTER ③	15sf
PLANTER ④	50sf
PLANTER ⑤	83sf
PLANTER ⑥	52sf
PLANTER ⑦	30sf
PLANTER ⑧	33sf
PLANTER ⑨	50sf
PLANTER ⑩	90sf
GRASS AREAS	623sf
PAVED AREAS	876sf
TOTAL LANDSCAPE	1999sf



LANDSCAPE PLAN

SCALE: 1/8"=1'-0"

DESIGNS BY MAYRA
(323) 707-1772
designsbymayra@yahoo.com

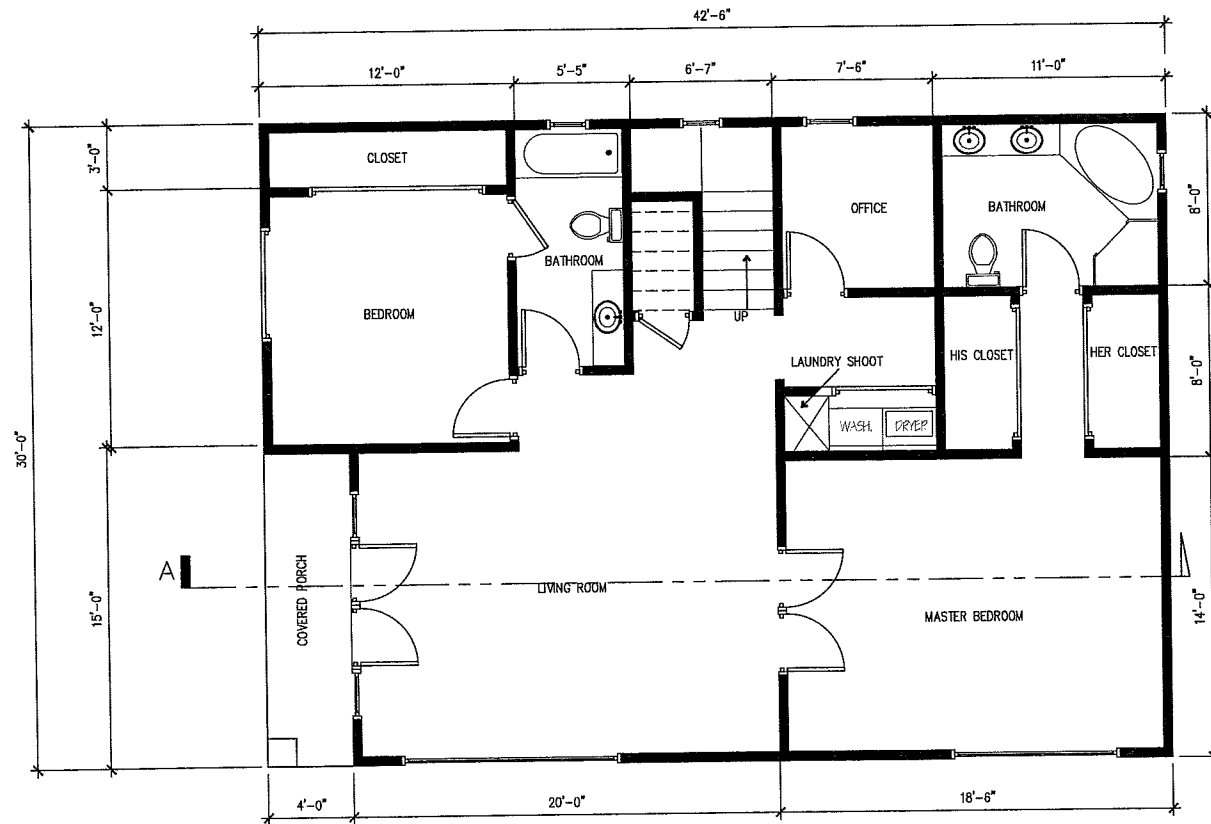
PROJECT INFORMATION:
33852 SILVER LANTERN ST. &
33851 MALAGA DR.
DANA POINT CA.

PROJECT:
NEW CONSTRUCTION

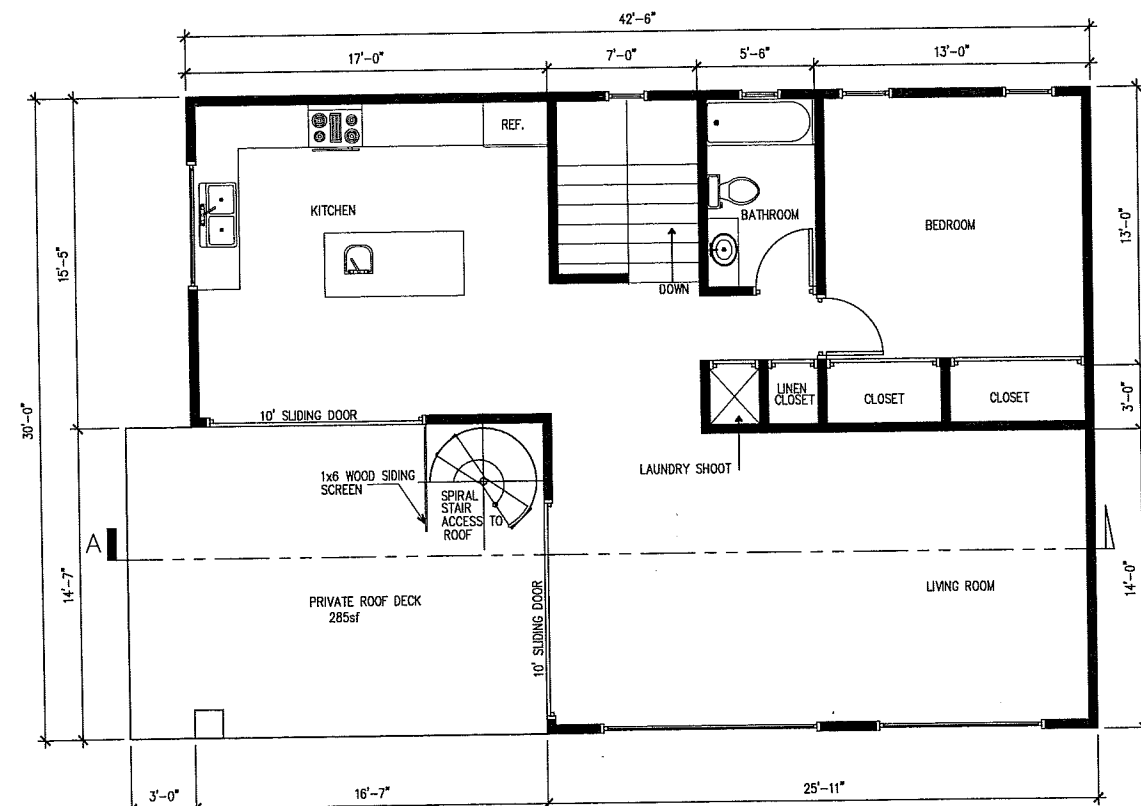
DATE:
MARCH 5, 2017

SCALE:
AS SHOWN ON PLAN

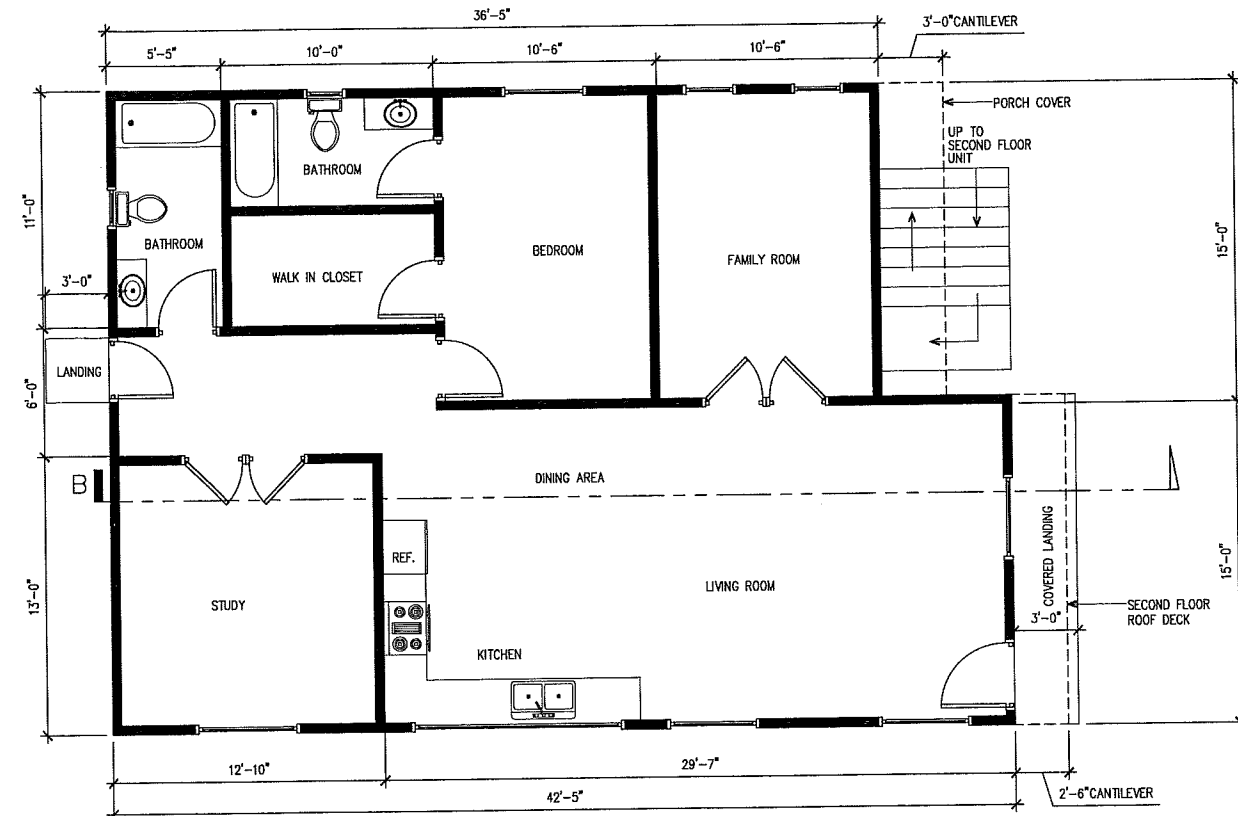
SHEET:
A-1



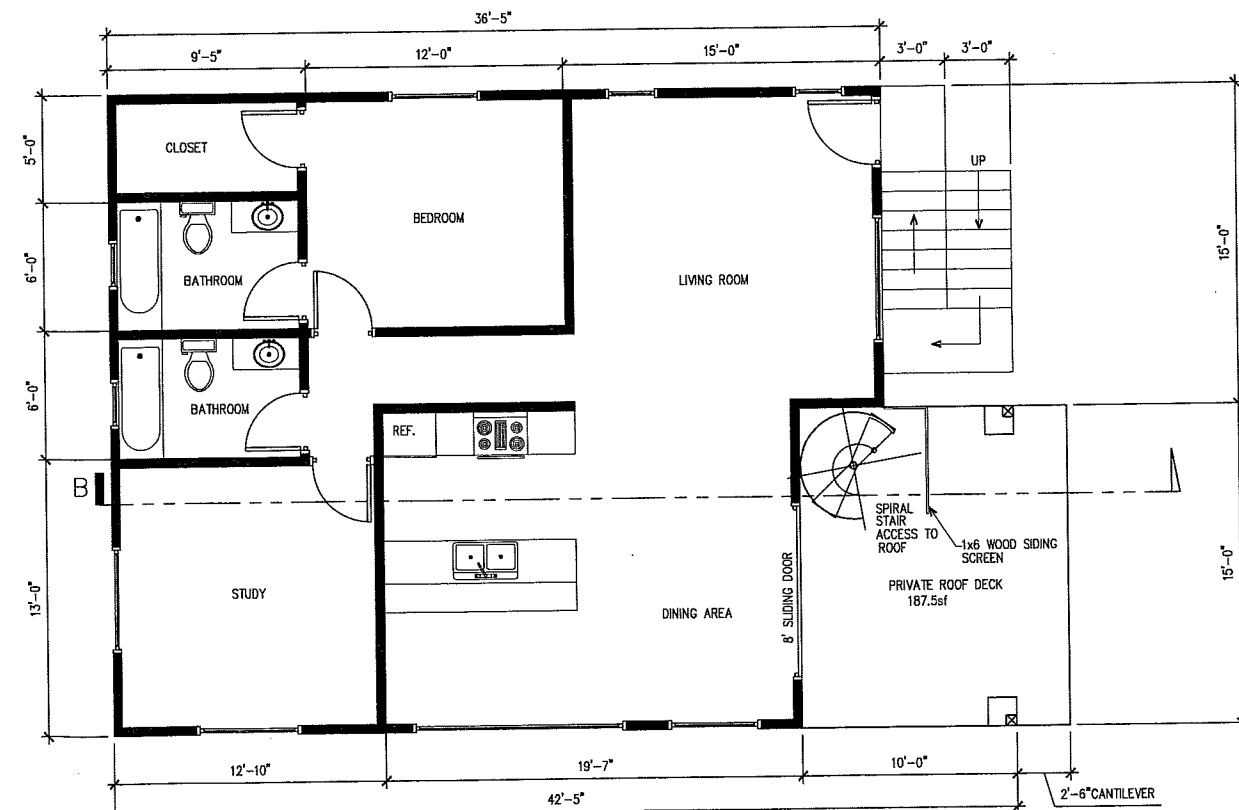
UNIT 1
FIRST FLOOR
SCALE: 1/4" = 1'-0"



UNIT 1
SECOND FLOOR
SCALE: 1/4" = 1'-0"



UNIT 2
FIRST FLOOR
SCALE: 1/4" = 1'-0"



UNIT 3
SECOND FLOOR
SCALE: 1/4" = 1'-0"

DRAWN BY:
MAYRA REYES

DESIGNS BY MAYRA

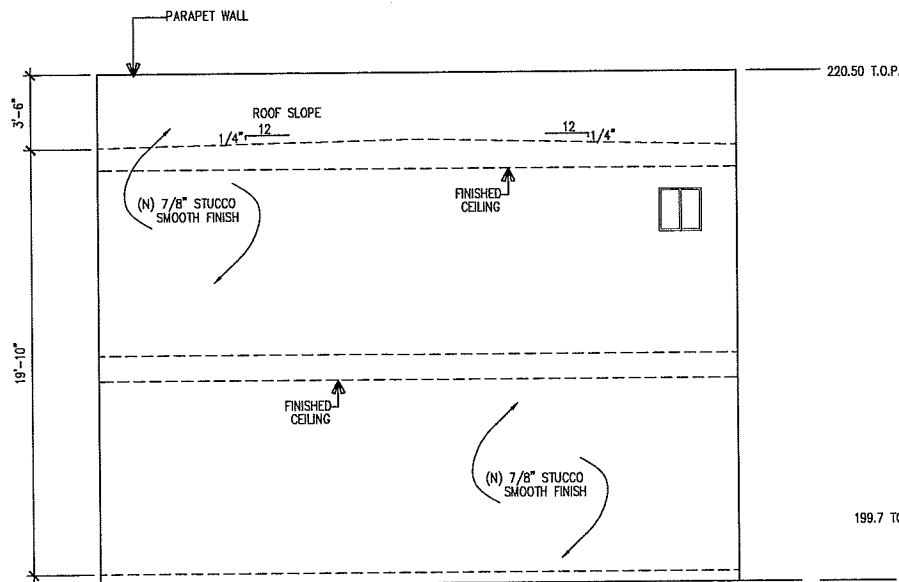
(323) 707-1772
designsbymayra@yahoo.com

PROJECT INFORMATION:
33852 SILVER LANTERN ST. &
33851 MALAGA DR.
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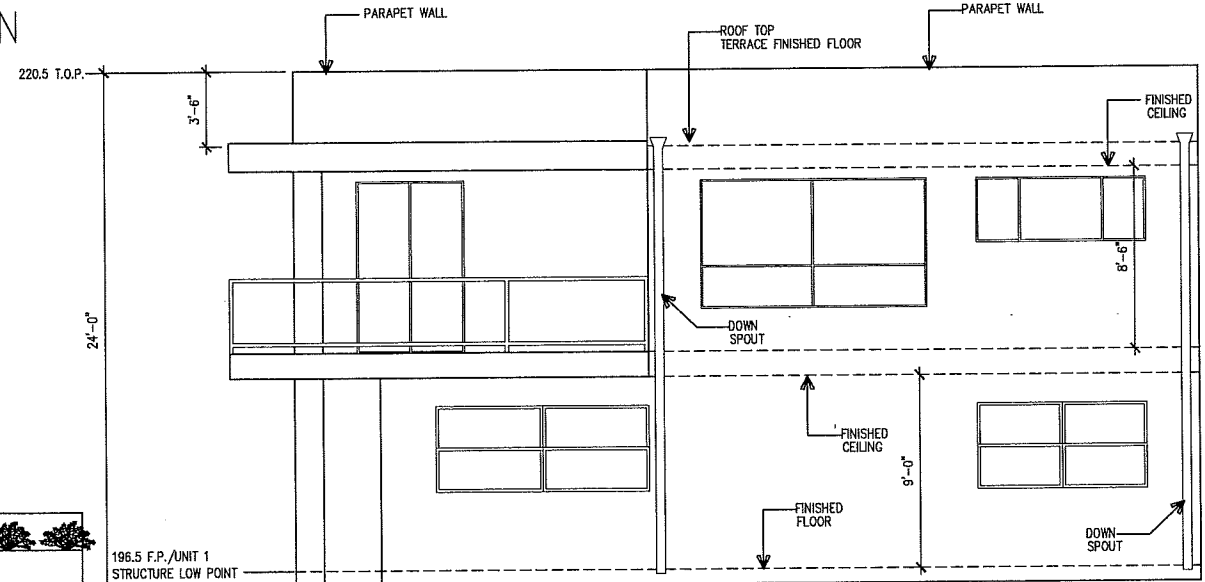
PROJECT:
NEW CONSTRUCTION
DATE:
MARCH 5, 2017
SCALE:
AS SHOWN ON PLAN
SHEET:
A-2

UNIT 1

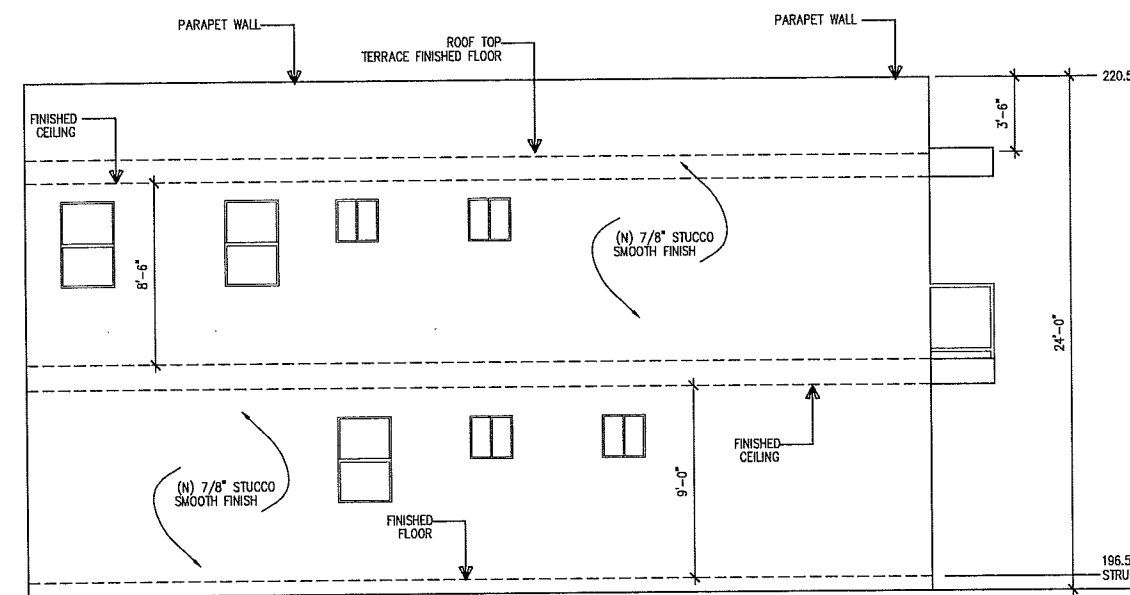
33852 SILVER LANTERN



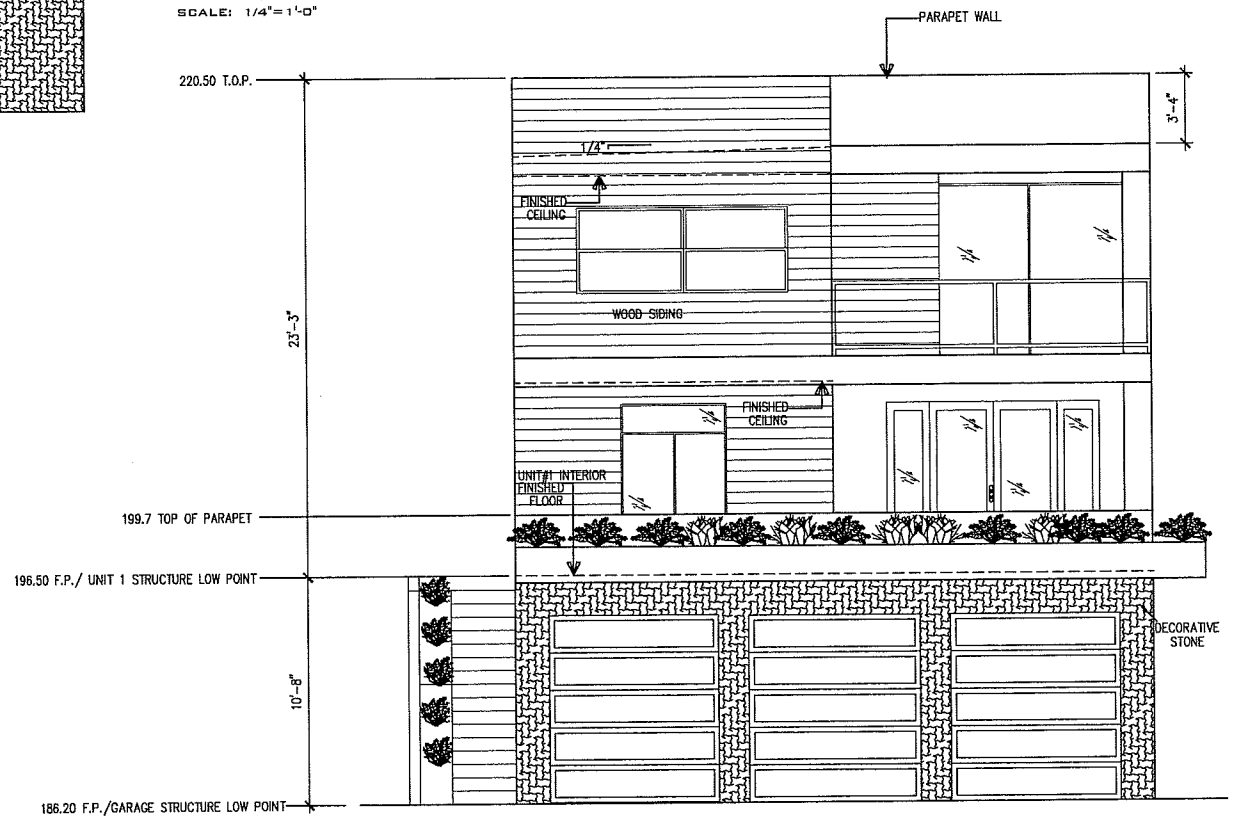
UNIT 1
EAST ELEVATION
SCALE: 1/4" = 1'-0"



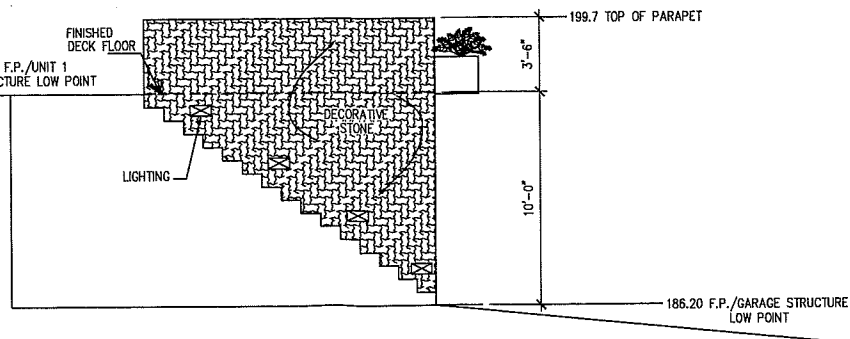
SOUTH ELEVATION



NORTH ELEVATION
SCALE: 1/4"=1'-0"



UNIT 1
WEST ELEVATION
SCALE: 1/4" = 1'-0"



AWN BY:
MAYRA REYES

DESIGNS BY MAYRA
(323) 707-1772
designsbymayra@yahoo.com

33852 SILVER LANTERN ST. &
33851 MALAGA DR.
DANA POINT CA.

PROJECT:
NEW CONSTRUCTION

DATE:
MARCH 5, 2017

SCALE:
AS SHOWN ON PLAN

SHEET: A-3

UNITS 2 & 3
33851 MALAGA DR.

DRAWN BY:
MAYRA REYES

DESIGNS BY MAYRA

(323) 707-1772
designsbymayra@yahoo.com

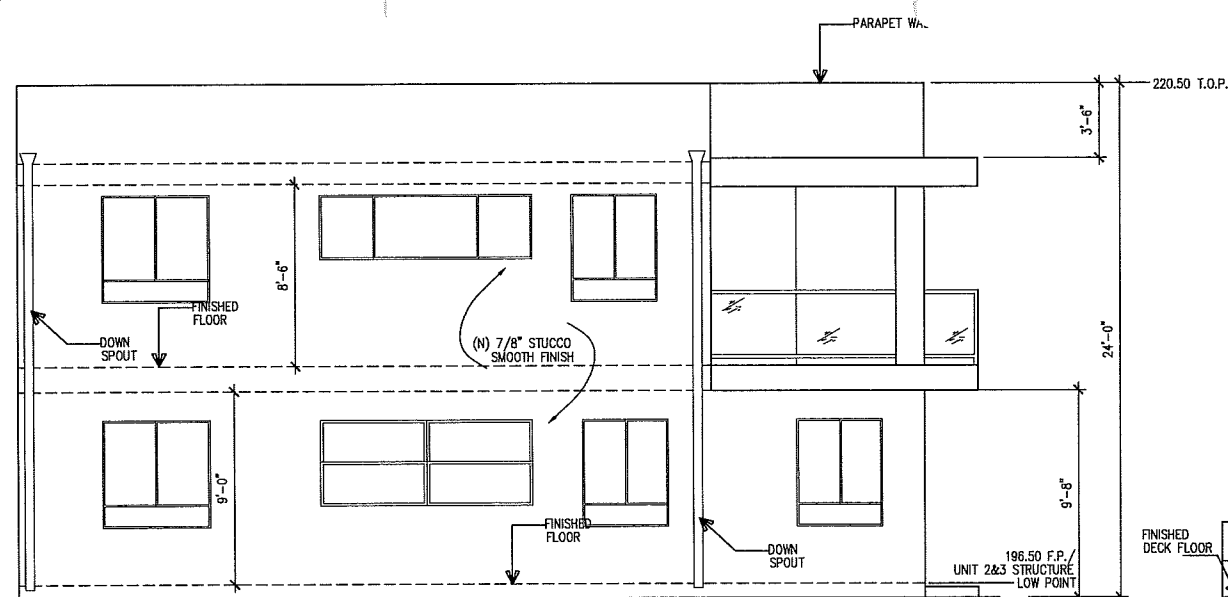
PROJECT INFORMATION:
33852 SILVER LANTERN ST. &
33851 MALAGA DR.
DANA POINT CA.

PROJECT:
NEW CONSTRUCTION

DATE:
MARCH 5, 2017

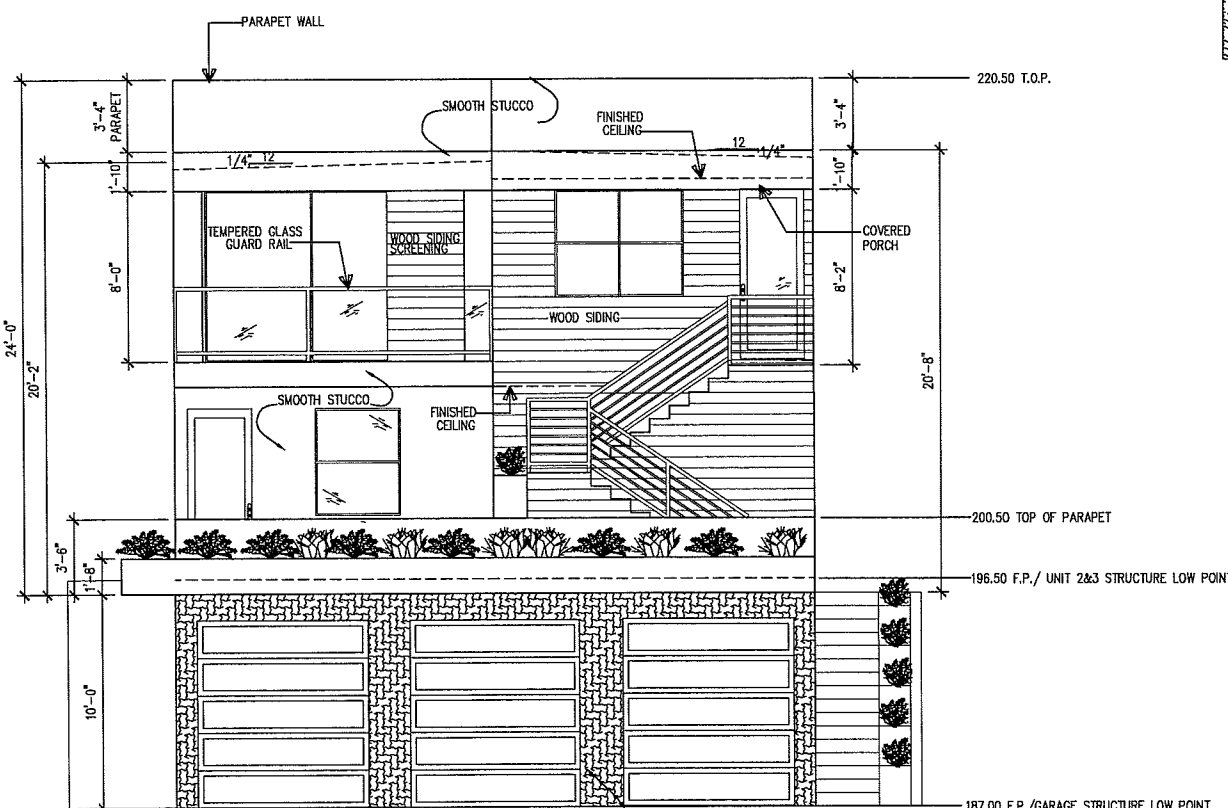
SCALE:
AS SHOWN ON PLAN

SHEET:
A-4



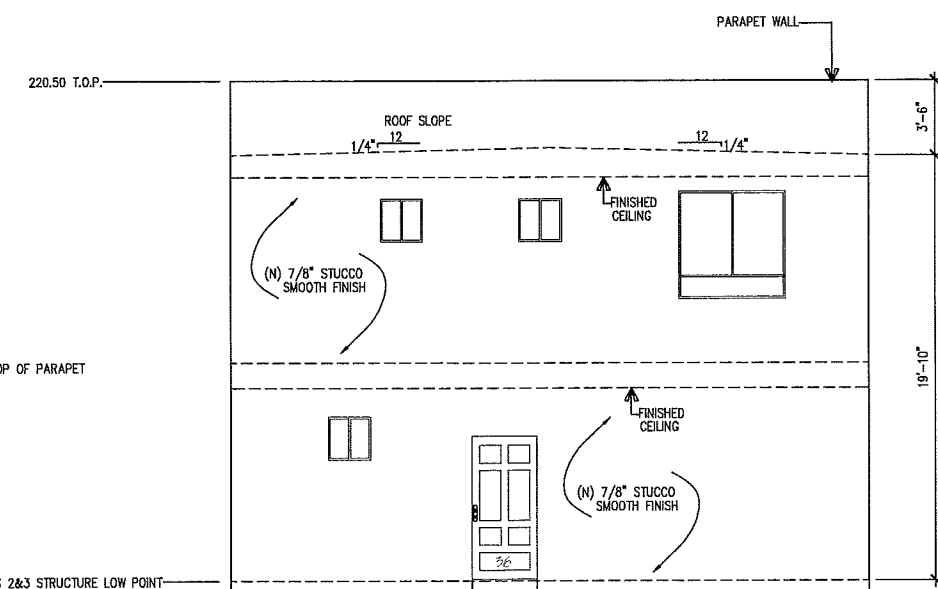
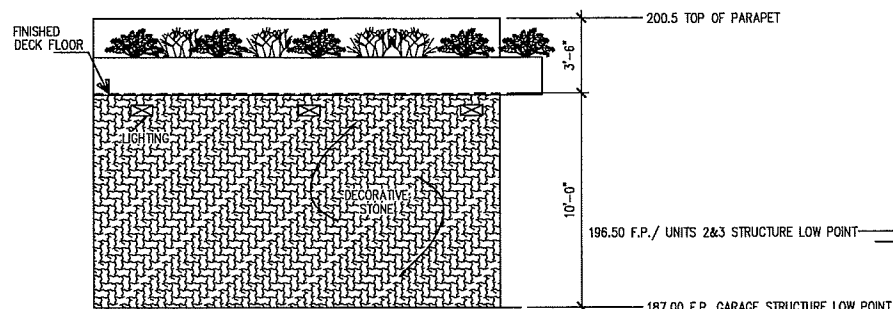
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



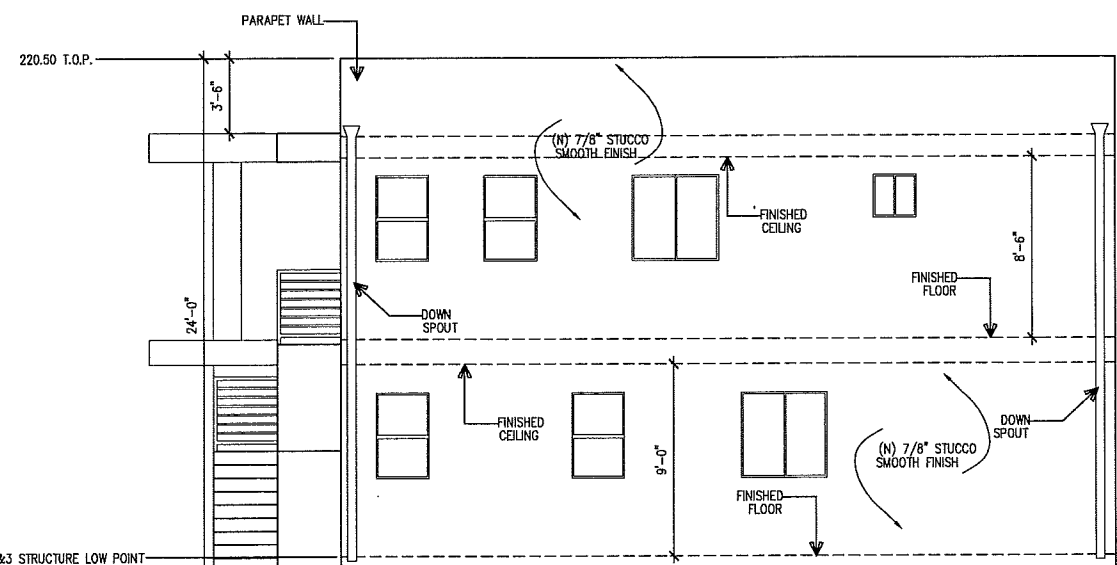
UNITS 2&3
EAST ELEVATION

SCALE: 1/4" = 1'-0"



UNITS 2&3
WEST ELEVATION

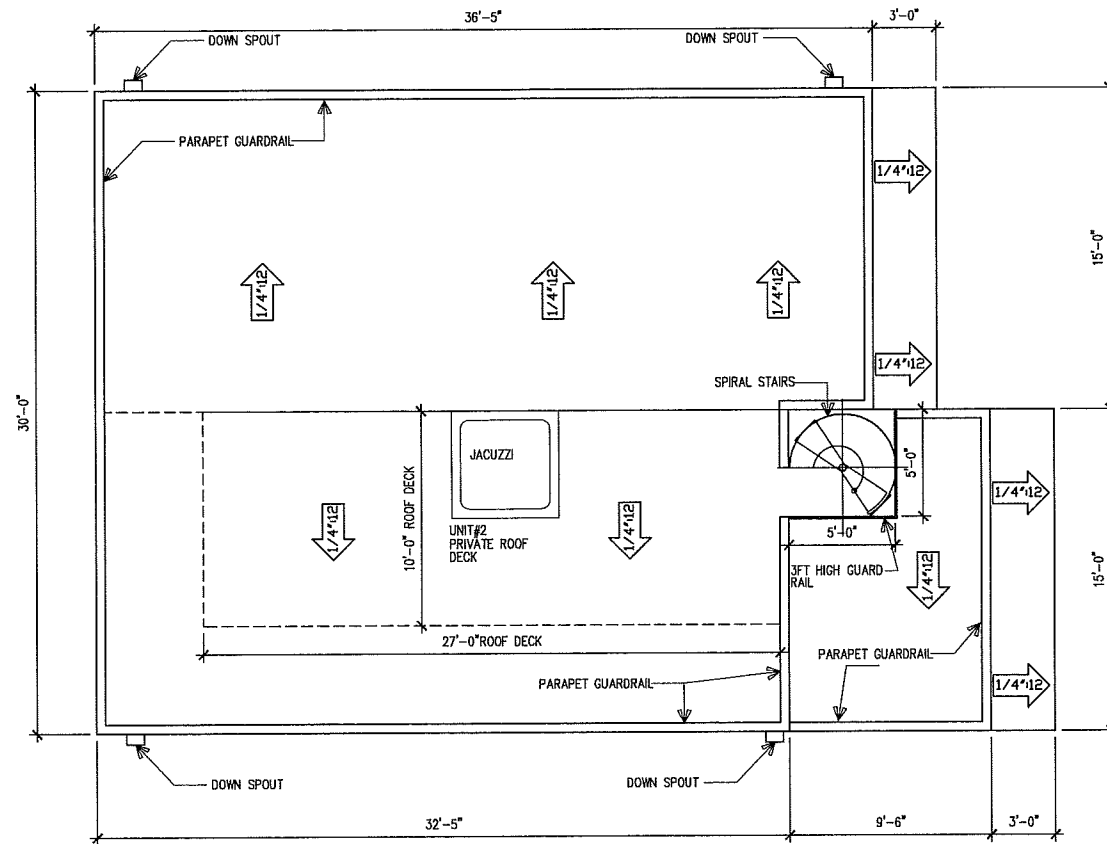
SCALE: 1/4" = 1'-0"



NORTH ELEVATION

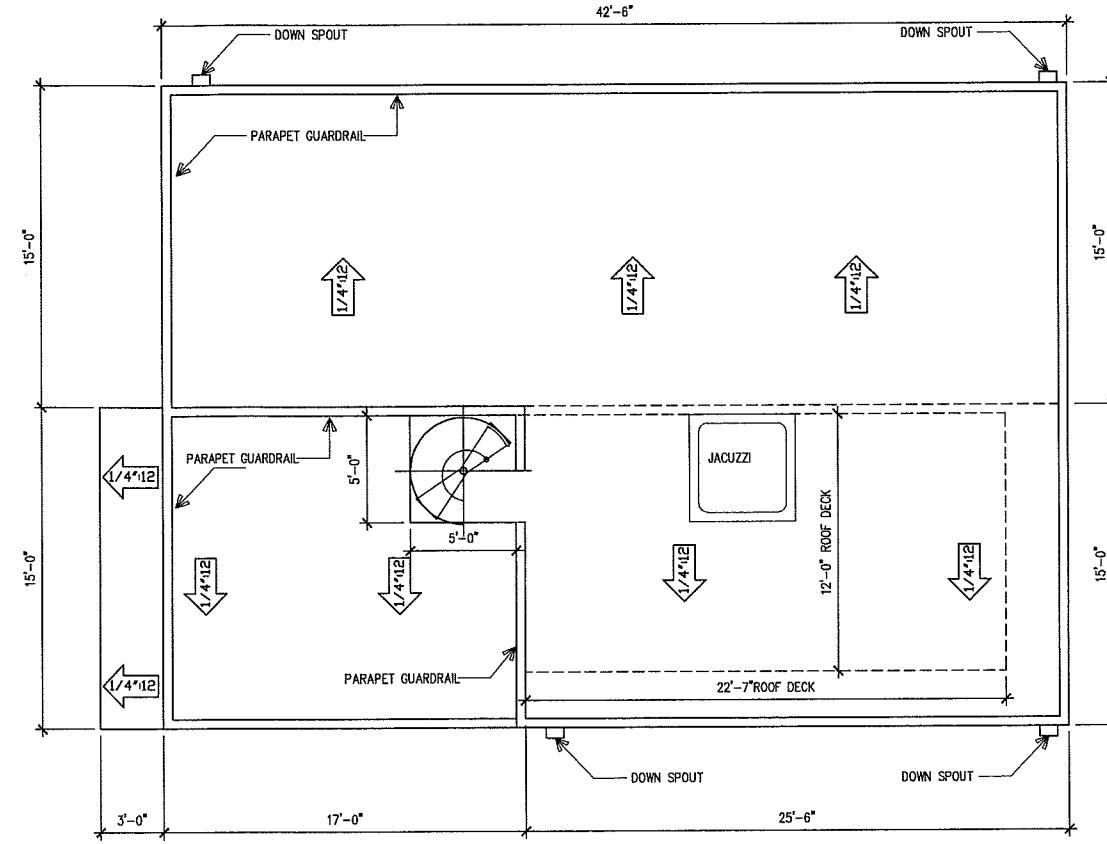
SCALE: 1/4" = 1'-0"

DUPLEX



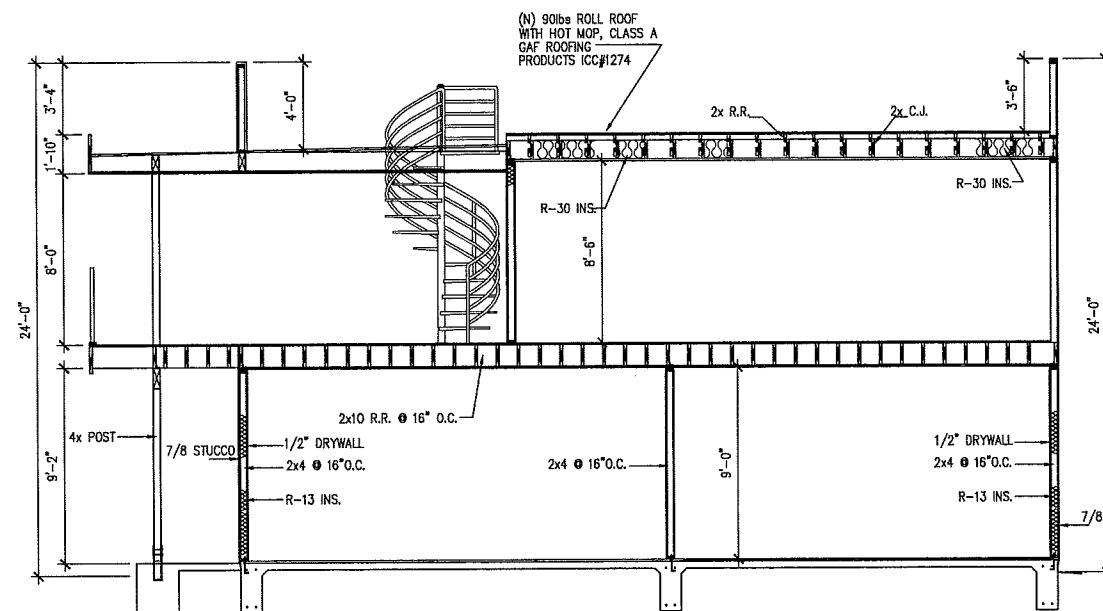
UNITS 2 & 3
ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF AREA CALCULATION
TOTAL ROOF AREA: 1265sf
25% ROOF AREA: 316sf
ROOF DECK AREA PROVIDED: 295sf

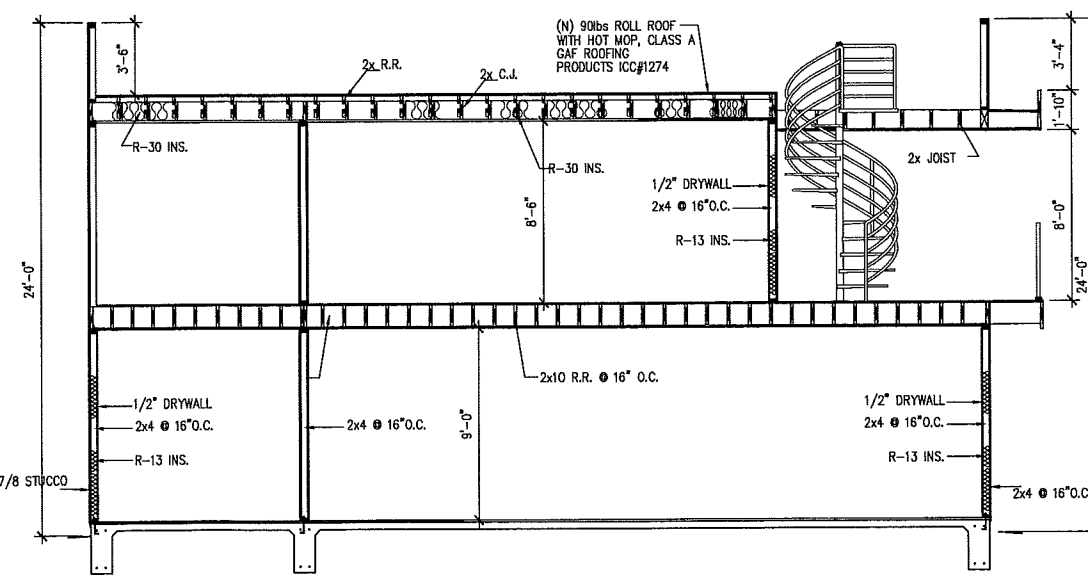


UNIT 1
ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF AREA CALCULATION
TOTAL ROOF AREA: 1320sf
25% ROOF AREA: 330sf
ROOF DECK AREA PROVIDED: 298sf



SECTION A
SCALE: 1/4" = 1'-0"



SECTION B
SCALE: 1/4" = 1'-0"

DRAWN BY:
MAYRA REYES

DESIGNS BY MAYRA
(323) 707-1772
designsbymayra@yahoo.com

PROJECT INFORMATION:
33852 SILVER LANTERN ST. &
33851 MALAGA DR.
DANA POINT CA.

PROJECT:
NEW CONSTRUCTION
DATE:
MARCH 5, 2017
SCALE:
AS SHOWN ON PLAN
SHEET:
A-5

CITY OF DANA POINT
GRADING PLAN
38851 MALAGA DRIVE / 33852 SILVER LANTERN
DANA POINT, CA. 92629

NOTE:

THE MINIMUM SLOPE AWAY FROM THE BUILDING FOUNDATION SHALL BE 2% FOR HARDSCAPE (IMPERVIOUS) AND 5% FOR LANDSCAPED (NATURAL GROUND)

LEGEND

---	EXISTING STRUCTURE
---	PROPOSED STRUCTURE
x 105.50	EXISTING ELEVATION
105.50	PROPOSED ELEVATION
CL	CENTERLINE
PL	PROPERTY LINE
DS	DOWN SPOT
T.B.R.	TO BE REMOVE
---	EXISTING CONTOUR ELEV.
---	PROPOSED CONTOUR ELEV.
PSL	PIPE SLOPE
TC	TOP OF CURB
FL	FLOWLINE
PS	PIPE SLOPE
TVG	TOP OF V-GUTTER
FF	FINISH FLOOR
PE	PAD ELEVATION
P.A.	PLANTING AREA
FS	FINISH SURFACE
FG	FINISH GRADE
MIN.	MINIMUM
H.	HIGH
BW	BACK OF WALK

196.62RIM
196.62

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

EARTHWORK CALCULATIONS
(IN CUBIC YARDS)

CUT= 1,415 CY

FILL= 0 CY

EXPORT = 1,415 CY

IMPORT= 0 CY

NOTE

THESE EARTHWORK VOLUMES ARE APPROXIMATE.
THE CONTRACTOR SHALL MAKE HIS OWN CALCULATIONS.

CONSTRUCTION NOTES

- 1 PLACE 4" PVC PIPE SCHEDULE 40.
- 2 CONSTRUCT 4" CONCRETE SLAB WITH #3 REBARS AT 18" ON CENTER EACH WAY
- 3 ANY DAMAGE TO SIDEWALK CURB AND GUTTER WILL BE RECONSTRUCT PER CITY OF DANA POINT STANDARD PLAN
- 4 CONSTRUCT CURB DRAIN PER CITY OF DANA POINT STANDARD PLAN
- 5 CONSTRUCT PCC RESIDENTIAL CONCRETE DRIVEWAY APPROACH PER SPPWC STANDARD PLAN NO. 110-2
- 6 CONSTRUCT CATCH BASIN (VEGATED SWALE INFILTRATION BASIN DETAIL) PER DETAIL ON SHEET 3
- 7 PLACED TYPICAL YARD DRAIN
- 8 CONSTRUCT RETAINING WALL PER SEPARATED PLAN AND PERMIT
- 9 ALL WORK IN PUBLIC RIGHT- OF- WAY REQUIRED A SEPARATE ENCROACHMENT PERMIT

LEGAL DESCRIPTION

PARCEL 1 OF P.M. NO. 80-158, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN P.M.B. 191, PAGE 35, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SOILS ENGINEER:

GEOMAX ENGINEERING, INC.

7340 FLORENCE AVE, SUITE 229
DOWNEY, CA 90240
PH.: 562.806.2173 FAX: 562.806.2369
GEOMAXENG@GMAIL.COM

OWNER OR DEVELOPER:

FRANK ALVAREZ
(562) 217-8423 TEL.

PREPARED BY:

A D S
CIVIL • DESIGN • SURVEYING

P.O. BOX 1633
DOWNEY, CA 90240
(562) 760-6040 TEL.
(562) 806-8481 FAX

ENGINEER

ALEJANDRO J. ALATORRE R.C.E. 32761
EXP. 6/30/18

APPROVED BY:

CITY ENGINEER, R.C.E.
EXP.

DATE

GRADING PLAN

SITE ADDRESS: 33851 MALAGA DRIVE &
33852 SILVER LANTERN
DANA POINT, CA. 92629

SCALE: 1"=10'

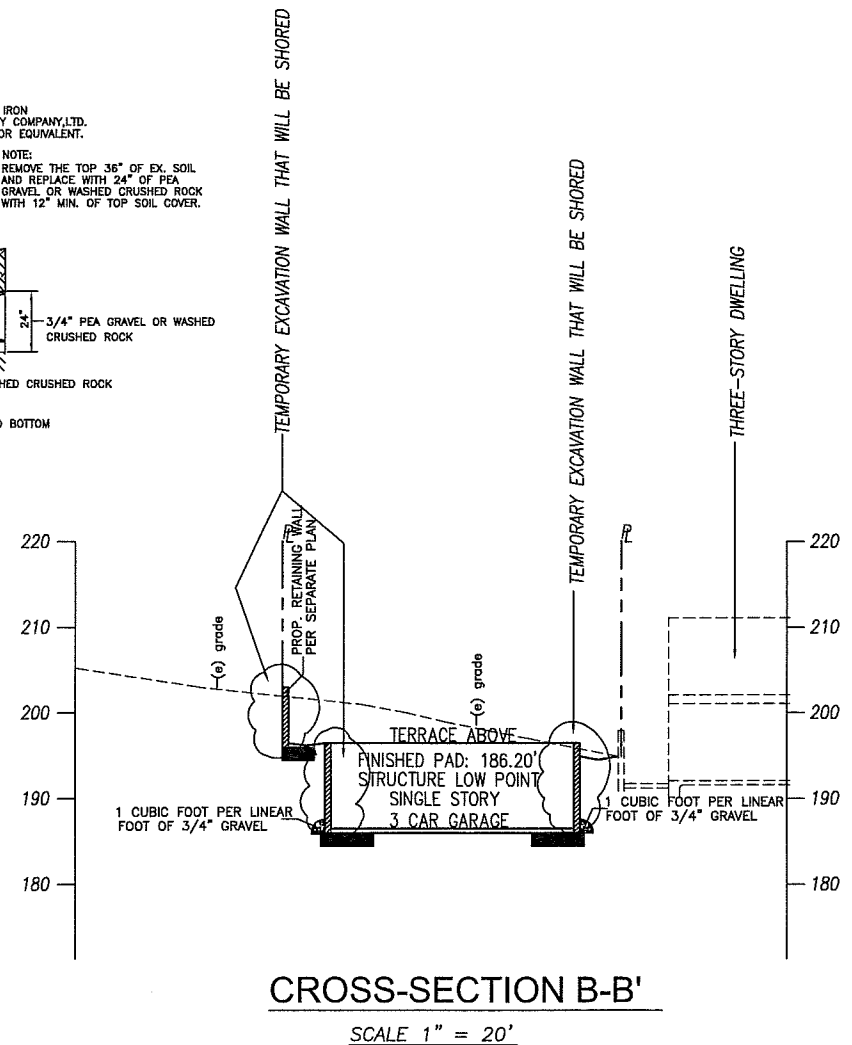
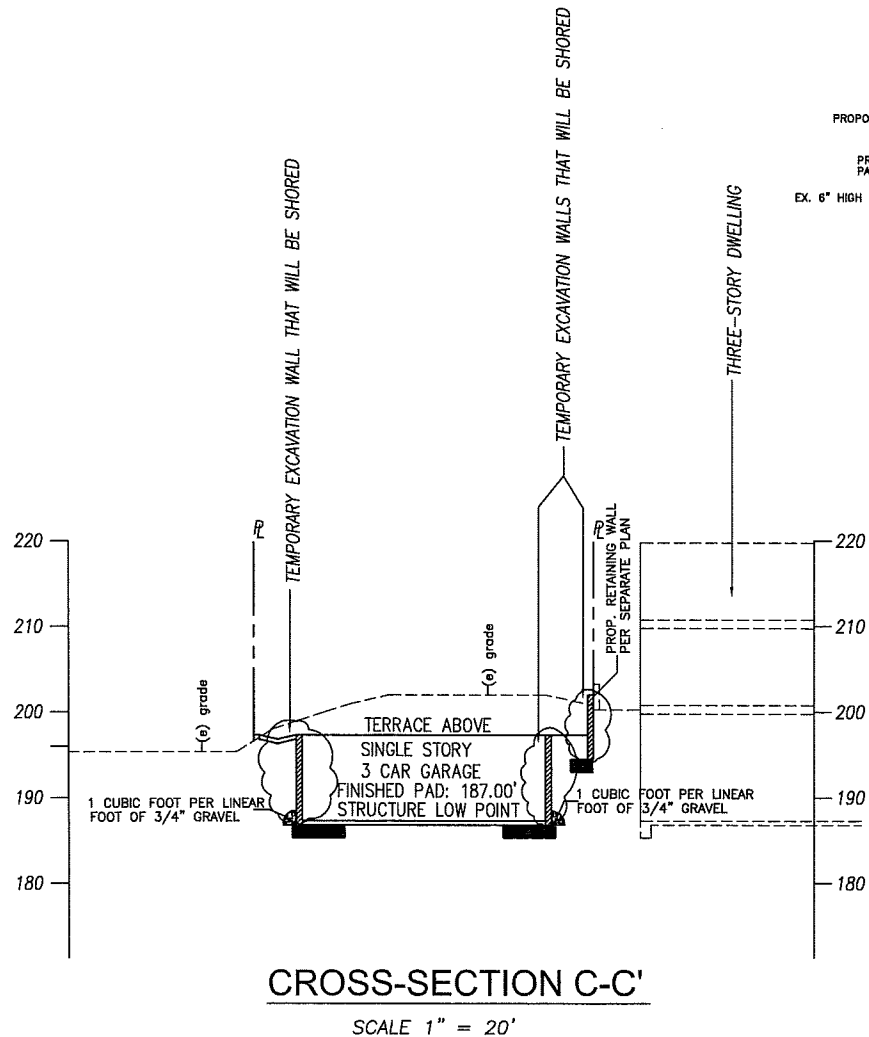
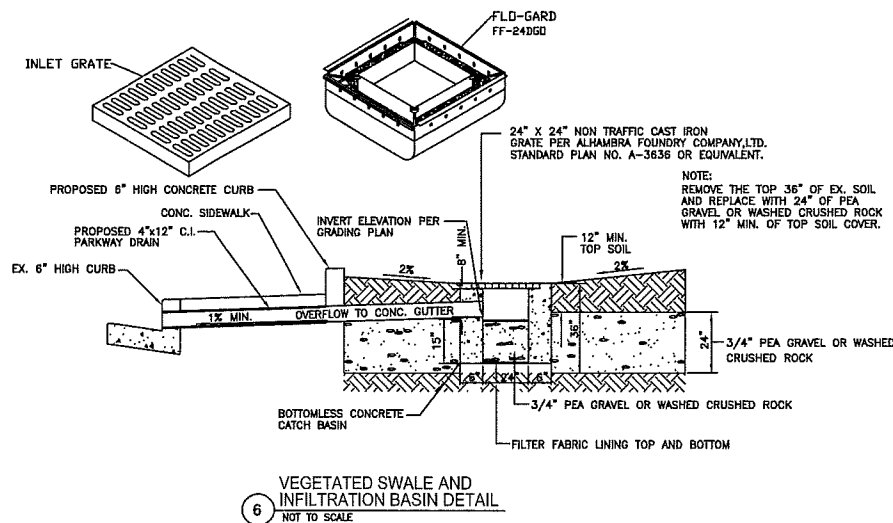
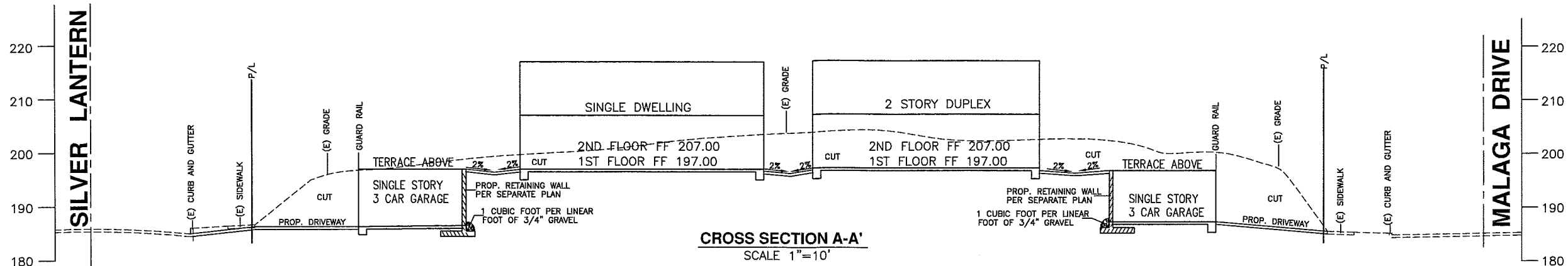
DRAWN BY:

CHECKED BY:

CITY OF DANA POINT

JOB NO:

SHEET 2 OF 3



CONCLUSIONS AND RECOMMENDATIONS

The site is considered geologically and geotechnically suitable for the construction of the proposed duplex buildings and garages provided the recommendations herein are considered in the design and followed during construction.

Foundations

The proposed buildings, garages and appurtenant retaining walls shall be supported on continuous and/or independent footings entirely placed into firm bedrock. The bearing capacity for continuous and independent footings with a minimum width of 15 inches and a minimum depth of 18 inches is 3,500 psf for bedrock. The bearing value may be increased 20 percent for each additional foot of width or depth to a maximum value of 5,600 psf. The bearing capacity allowed is for the total of dead and frequently applied live loads and may be increased by one-third for short duration wind and seismic loading.

Lateral Design

Resistance to lateral loads may be derived from the skin frictional forces acting at the base of footings and by passive pressure. The friction coefficient for use with dead load forces is 0.30 for bedrock. The unit passive pressure for the first foot of depth using both internal frictional and cohesive shear strength components is 400 psf for bedrock with an increase of 50 percent for each additional foot of depth to a maximum of 4,000 pcf. If the passive and skin frictional components are combined, the passive components should be reduced by a factor of one third.

Temporary Excavations

Temporary excavations walls will have a maximum height of about 10 feet with a horizontal back-surface. Temporary excavations may be cut vertical to a maximum height of 5 feet, all soils and bedrock above this height shall be trimmed to a 1:1 or shored. When a structure is located within a horizontal distance equal or less than the height of the temporary cut, the cut shall be made using an A-B-C slot cut method or shored. A shoring system shall be designed by a Structural Engineer using an EFP

REVISIONS				
NO.	INIT.	DATE	DESCRIPTION	APP'D. DATE

SOILS ENGINEER:

GEOMAX ENGINEERING, INC.

7340 FLORENCE AVE, SUITE 229
DOWNEY, CA 90240
PH.: 562.806.2173 FAX: 562.806.2369
GEOMAXENG@GMAIL.COM

OWNER OR DEVELOPER:

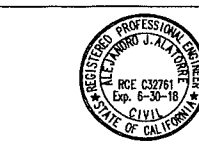
FRANK ALVAREZ
(562) 217-8423 TEL.

PREPARED BY:

A D S
CIVIL • DESIGN • SURVEYING

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DOWNEY, CA 90240
(562) 760-6040 TEL.
(562) 806-8481 FAX

ENGINEER



ALEJANDRO J. ALATORRE R.C.E. 32761
EXP. 6/30/18

DATE

APPROVED BY:

CITY ENGINEER, R.C.E.
EXP.

DATE

DETAILS AND SECTIONS

SITE ADDRESS: 33851 MALAGA DRIVE &
33852 SILVER LANTERN
DANA POINT, CA. 92629

SCALE: 1"=10'

DRAWN BY:

CHECKED BY:

CITY OF DANA POINT

JOB NO:

SHEET 3 OF 3

Supporting Document 4 Tentative Parcel Map

ATTACHMENT

LOCATED IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA

TENTATIVE PARCEL MAP NO. 2018-126

33852 SILVER LANTERN STREET AND 33851 MALAGA DRIVE, DANA POINT, CA 92629, APN'S 682-263-14 AND 682-263-19
BEING A SUBDIVISION OF PARCEL 1 OF P.M. NO. 80-158
FOR CONDOMINIUM PURPOSES - 3 UNITS



VICINITY MAP
NTS

OWNER
LONG BEACH DEVELOPMENT, LLC
32932 PACIFIC COAST HWY., #14-487
DANA POINT, CA 92629
CONTACT: ERIC WINKLER
PHONE: (949) 378-2798

ENGINEER
ADVANCED CIVIL GROUP
30251 GOLDEN LANTERN SUITE E, PMB 251
LAGUNA NIGUEL, CA 92677
(866) 338-5778
CONTACT: R. STEVEN AUSTIN, P.E.

PROJECT DESCRIPTION:
THREE UNIT CONDOMINIUM DEVELOPMENT
PROJECT ADDRESS: 33852 SILVER LANTERN STREET AND 33851 MALAGA DRIVE
DANA POINT, CA 92629
PROJECT AREA: 8,000 SQUARE FEET
PROJECT APN: 682-263-14
682-263-19
PROPOSED DEVELOPMENT:
- THREE RESIDENTIAL UNITS WITH TWO DETACHED GARAGES.

UTILITIES:

PROVIDER	PHONE
SERVICE WATER	SOUTH COAST WATER DISTRICT 949-427-2200
SEWER	CITY OF DANA POINT 949-248-3554
GAS	SAN DIEGO GAS AND ELECTRIC 800-611-7343
TELEPHONE	AT&T 800-388-2000
ELECTRICITY	SAN DIEGO GAS AND ELECTRIC 800-611-7343
TELEVISION	COX COMMUNICATIONS 888-892-2253
WASTE	ORRER WASTE & RECYCLING SERVICES 949-846-4805

LEGAL DESCRIPTION:
PARCEL 1 OF P.M. NO. 80-158, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA AS PER MAP RECORDED IN P.M.B. 191, PAGE 35, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PROPERTY DESCRIPTION:
THE EXISTING PROPERTY IS MADE UP OF TWO UNDEVELOPED PARCELS WITH A FAIR AMOUNT OF VEGETATION. THE PROPERTY IS NORTH OF LA PAZ AVE AND BETWEEN SILVER LANTERN STREET AND MALAGA DRIVE. EXISTING RESIDENTIAL DEVELOPMENT IS ADJACENT TO THE PROPERTY ON THE NORTH AND SOUTH.

DRAINAGE:
IN THE PROPOSED CONDITION ALL ONSITE RUNOFF WILL BE COLLECTED IN AN ONSITE AREA DRAIN SYSTEM THAT DISCHARGES TO SILVER LANTERN STREET AND MALAGA DRIVE. SITE HAS NO RUN ON DRAINAGE.

NOTES:
SITE IS VACANT; BUILDINGS ARE PROPOSED
CONTOUR INTERVAL = 1'
ALL UNITS WILL BE CONNECTED TO EXISTING SEWER MAINS
ALL UNITS WILL BE CONNECTED TO EXISTING WATER MAINS
ZONING: RMF-14

EASEMENTS:
(A) RECORDED OCTOBER 13, 2005 IN OFFICIAL RECORDS AS INSTRUMENT NUMBER 2005000821615.
(B) AN EASEMENT AND RIGHT OF WAY OVER, UNDER, ALONG, ACROSS AND THROUGH THE REAR FIVE (5) FEET THEREOF, FOR THE EROSION, CONSTRUCTION, MAINTENANCE AND OPERATION OF POLE LINES, WITH THE NECESSARY CROSS AREA AND WIRES FOR THE TRANSMISSION OF ELECTRICAL ENERGY, AND FOR TELEGRAPH AND TELEPHONE LINES AND/OR FOR LAYING AND MAINTAINING CONDUITS AND/OR PIPE LINES FOR SAID PURPOSE AND/OR FOR WATER, GAS, SEWERS AND/OR OTHER PURPOSES, WITH RIGHT OF ENTRY FOR THE PURPOSE OF ERECTING, CONSTRUCTING, LAYING, MAINTAINING, REPAIRING AND OPERATING THE SAME, TOGETHER WITH THE FURTHER RIGHT TO CONVEY, LEASE OR DEDICATE THE WHOLE OR ANY PORTION OF SUCH EASEMENT AND RIGHT OF ENTRY TO ANY FIRM, CORPORATION, MUNICIPAL BODY, PERSON OR PERSONS (PAGE 374 IN BOOK 179, AND PAGE 217 IN BOOK 359 OF OFFICIAL RECORDS).

BENCHMARK:
O.C.S.B.N.: 3M-9-78R86
DATUM: NAVD 88
ELEVATION: 125.32 FT.
YEAR LEV: 2004

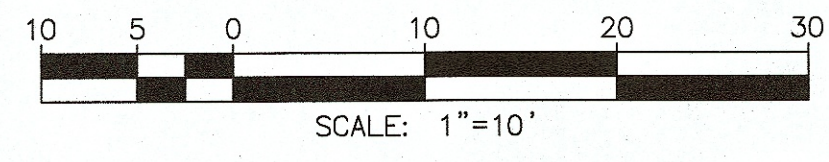
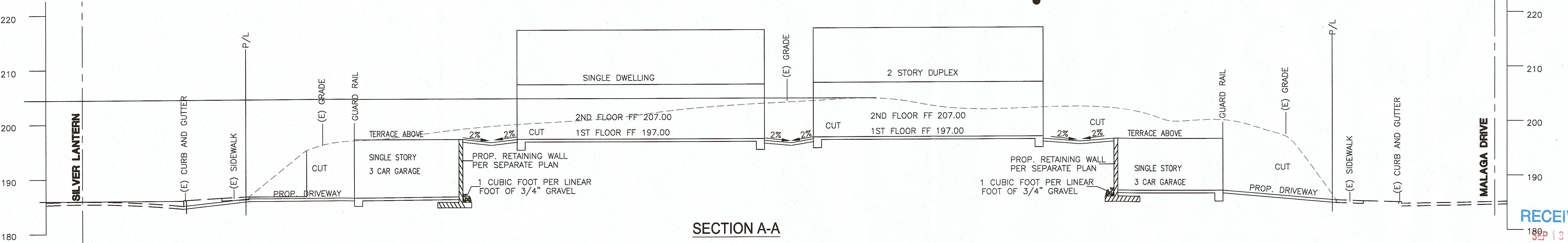
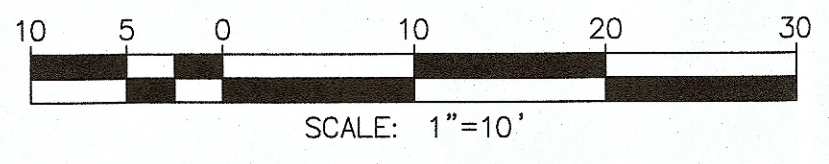
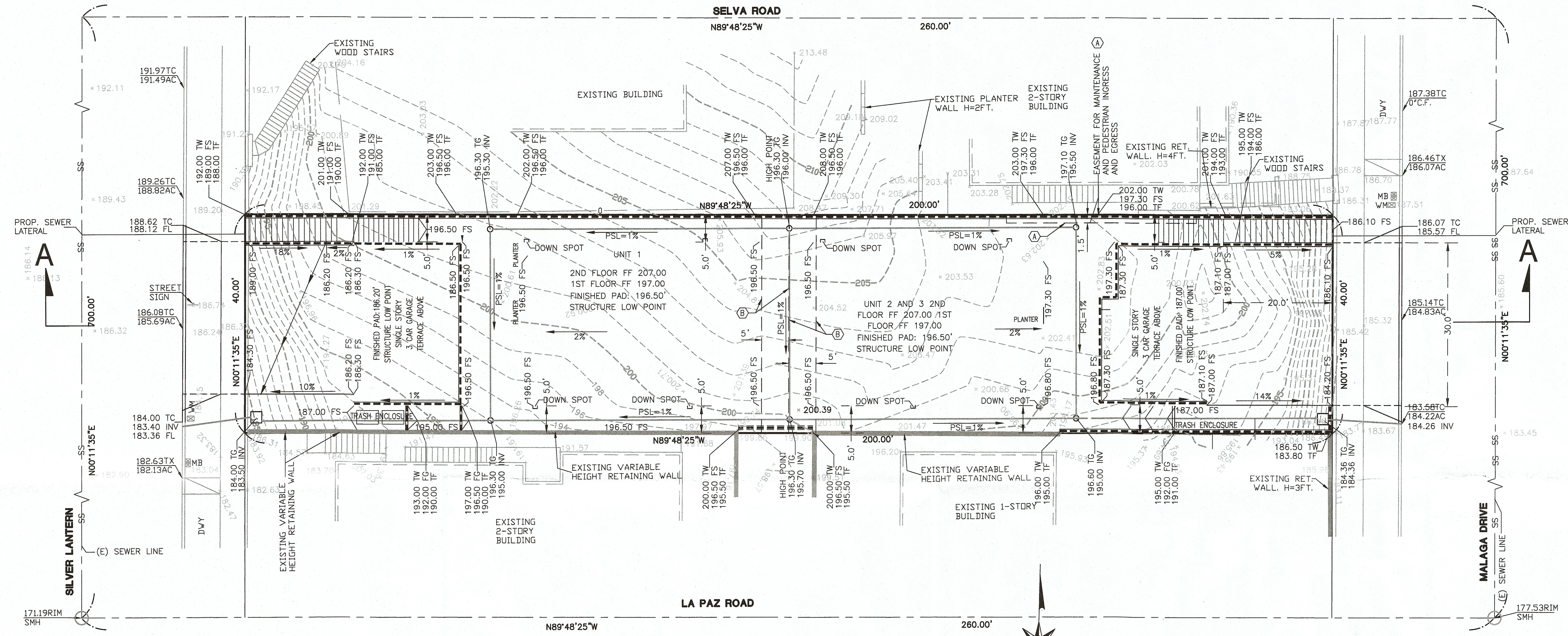
PREPARED BY:



ADVANCED CIVIL GROUP
30251 GOLDEN LANTERN, SUITE E, PMB 251
LAGUNA NIGUEL, CA 92677
(866) 338-5778 PHONE
WWW.ADVANCEDCIVILGROUP.COM
DATE: 08/14/2018



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CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



LEGEND

- | | | | | | |
|----------|------------------|----------|---------------------------|----------|--------------------------|
| EP | EDGE OF PAVEMENT | [Symbol] | ELECTRIC METER | [Symbol] | EXISTING OVER HEAD ELEC. |
| ESMT | EASEMENT | [Symbol] | IRRIGATION CONTROL VALVE | [Symbol] | PROPERTY LINE |
| EX | EXISTING | [Symbol] | GAS METER | [Symbol] | STREET CENTERLINE |
| MAX | MAXIMUM | [Symbol] | WATER METER | [Symbol] | EXISTING EASEMENT |
| MIN | MINIMUM | [Symbol] | WATER VALVE | [Symbol] | PROPOSED CURB |
| PL | PROPERTY LINE | [Symbol] | PROJECT BOUNDARY | [Symbol] | PROPOSED AREA DRAIN PIPE |
| R/W | RIGHT OF WAY | [Symbol] | EXISTING SANITARY SEWER | [Symbol] | PROPOSED RETAINING WALL |
| TYP | TYPICAL | [Symbol] | EXISTING DOMESTIC WATER | [Symbol] | EXISTING RETAINING WALL |
| [Symbol] | AIR CONDITIONER | [Symbol] | EXISTING STORM DRAIN LINE | [Symbol] | |

PLANNING COMMISSION AGENDA REPORT
TENTATIVE PARCEL MAP TPM2018-126
DECEMBER 10, 2018
PAGE 27

Supporting Document 5 Preliminary Condominium Plan

RECORDING REQUESTED BY: LONG BEACH DEVELOPMENT LLC. (OWNER) WHEN RECORDED MAIL TO: LONG BEACH DEVELOPMENT LLC. (OWNER) 32923 PCH. HWY. DANAPOINT, CA. 92629	SHEET 1 OF 15
--	---------------

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
in the City of DanaPoint, County of Orange, State of California.

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SEP 13 2013

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

SHEET INDEX

TITLE SHEET 1

SHEET INDEX 2

OWNER’S AND BENEFICIARY’S CERTIFICATE 3-4

DEFINITIONS 5-6

GENERAL NOTES 7

ENGINEER’S STATEMENT, BENCHMARK 8

BOUNDARY 9

UNIT PLAN 10

UNIT PLAN DIMENSIONS 1ST FLOOR. 11

UNIT PLAN DIMENSIONS 2ND FLOOR. 12

UNIT ROOF PLAN. 13

AIR SPACE AND COMMON AREA SECTION 14

LEGEND 15

PLANNING COMMISSION AGENDA REPORT
TENTATIVE PARCEL MAP TPM2018-126
DECEMBER 10, 2018
PAGE 29

SHEET 3 OF 15

RECORDING REQUESTED BY:
LONG BEACH DEVELOPMENT LLC. (OWNER)
WHEN RECORDED MAIL TO:
LONG BEACH DEVELOPMENT LLC. (OWNER)
32923 PCH. HWY.
DANAPOINT, CA. 92629

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
in the City of DanaPoint, County of Orange, State of California.

CERTIFICATE—OWNER

WE, THE UNDERSIGNED, BEING THE RECORD OWNER OF THE REAL PROPERTY HEREIN BEFORE DESCRIBED, DO HEREBY CERTIFY THAT WE CONSENT TO THE RECORDATION OF THIS PLAN OF CONDOMINIUM OWNERSHIP PURSUANT TO THE PROVISIONS OF SECTION 1351 OF THE CALIFORNIA CIVIL CODE, CONSISTING OF: (i) THE DESCRIPTION OF THE SURVEY MAP OF THE SURFACE OF THE LAND INCLUDED WITHIN THE PROJECT AS SET FORTH HEREIN, (ii) THE UNIT AND PARCEL BOUNDARY AND THE TYPICAL AIRSPACE PLAN AND PERSPECTIVE TO BE BUILT ON SAID LAND, IN SUFFICIENT DETAIL TO IDENTIFY EACH SEPARATE INTEREST, AS SAID AIRSPACE PLANS ARE SET FORTH HEREIN; AND (iii) THIS CERTIFICATE.

LONG BEACH DEVELOPMENT LLC. (OWNER)

LONG BEACH DEVELOPMENT LLC. (OWNER)

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
in the City of DanaPoint, County of Orange, State of California.

CERTIFICATE (CONT.)

NOTARY ACKNOWLEDGMENT:

A NOTARY PUBLIC OR OFFICER COMPLETING THIS CERTIFICATE VERIFIES
ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO
WHICH THE CERTIFICATE IS ATTACHED, AND NOT THE TRUSTFULNESS, ACCURACY,
OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.

ON _____, BEFORE ME, _____
NOTARY PUBLIC, PERSONALLY APPEARED, _____

PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE
PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND
ACKNOWLEDGED TO ME THAT HIS EXECUTED THE SAME IN THEIR AUTHORIZED
CAPACITIES, AND THAT BY HIS SIGNATURE ON THE INSTRUMENT, THE PERSON
OR THE ENTITY UPON BEHALF OF WHICH THE PERSON ACTED, EXECUTED
THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF
CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE _____

PRINTED NAME _____

MY PRINCIPAL PLACE OF BUSINESS IS IN _____ COUNTY.

MY COMMISSION NO. _____

MY COMMISSION EXPIRES _____

PLANNING COMMISSION AGENDA REPORT
TENTATIVE PARCEL MAP TPM2018-126
DECEMBER 10, 2018
PAGE 31

CONDOMINIUM PLAN FOR 33852 SILVER SHEET 5 OF 15
LANTERN ST. & 33851 MALAGA DR.

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
in the City of DanaPoint, County of Orange, State of California.

DEFINITIONS

- | | |
|-----------------------------------|---|
| 1. "ASSOCIATION
PROPERTY" | ASSOCIATION PROPERTY DESCRIBES ALL AREAS OF PROPERTY NOT INCLUDING THE UNITS AND COMMON AREA. |
| 2. "COMMON AREA" | "COMMON AREA" MEANS ALL OF PROPERTY EXCEPT THE UNITS THEREIN AND THE ASSOCIATION PROPERTY. THE COMMON AREA IS A THREE-DIMENSIONAL AIRSPACE, THE LOWER BOUNDARY OF WHICH IS A HORIZONTAL PLANE AT AN ELEVATION OF 50 FEET ABOVE FINISHED GROUND ELEVATION. THE UPPER BOUNDARY OF WHICH IS A HORIZONTAL PLANE AT AN ELEVATION OF 60 FEET ABOVE FINISHED GROUND ELEVATION AND THE LATERAL BOUNDARIES OF WHICH ARE THE VERTICAL PROLONGATION OF THE BOUNDARY LINES OF THE PROPERTY. |
| 3. "CONDOMINIUM" | "CONDOMINIUM" MEANS AN ESTATE IN REAL PROPERTY AS DEFINED IN CALIFORNIA CIVIL CODE SECTION 1351 (f). A CONDOMINIUM CONSISTS OF AN UNDIVIDED FEE SIMPLE OWNERSHIP INTEREST IN THE COMMON AREA TOGETHER WITH A SEPARATE OWNERSHIP INTEREST IN FEE IN A UNIT AND ALL EASEMENTS APPURTENANT THERETO. THE UNDIVIDED FEE SIMPLE INTEREST IN THE COMMON AREA IN THE PROPERTY IS APPURTENANT TO EACH UNIT AND IS A FRACTION HAVE ONE (1) AS ITS NUMERATOR AND THE NUMBER OF UNITS IN THE PROPERTY AS ITS DENOMINATOR; AND SHALL BE HELD BY THE OWNERS OF CONDOMINIUMS IN THE PROPERTY AS TENANTS IN COMMON. |
| 4. "CONDOMINIUM PLAN" | "CONDOMINIUM PLAN" MEANS THIS PLAN, AS AMENDED FROM TIME TO TIME, CONSISTING OF (A) A DESCRIPTION OF SURVEY MAP OF PROPERTY, WHICH SHALL REFER TO OR SHOW MONUMENTATION ON THE GROUND, (B) A THREE-DIMENSIONAL DESCRIPTION OF THE PROPERTY, ONE OR MORE DIMENSIONS OF WHICH MAY EXTEND FOR AN INDEFINITE DISTANCE UPWARDS OR DOWNWARDS IN SUFFICIENT DETAIL TO IDENTIFY THE ASSOCIATION PROPERTY, COMMON AREA, AND EACH UNIT AND (C) A CERTIFICATE CONSENTING TO THE RECORDATION THEREOF SIGNED AND ACKNOWLEDGED BY THE RECORD OWNER OF FEE TITLE TO THE PROPERTY AND BY EITHER THE TRUSTEE OR THE BENEFICIARY OF EACH RECORDED DEED OF TRUST, AND THE MORTGAGE OF EACH RECORDED MORTGAGE ENCUMBERING THE PROPERTY. |
| 5. "MAINTENANCE
EASEMENT AREA" | MEANS THOSE PORTIONS OF UNITS 1 AND UNIT 2 SHOWN ON SHEET 11 OF THE CONDOMINIUM PLAN OVER WHICH A MAINTENANCE EASEMENT HAS BEEN RESERVED FOR THE BENEFIT OF THE PROJECT'S HOMEOWNERS ASSOCIATION AS FURTHER DESCRIBED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE PROJECT. |

CONDOMINIUM PLAN FOR 33852 SILVER SHEET 6 OF 15
LANTERN ST. & 33851 MALAGA DR.

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
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DEFINITIONS (CONT.)

6. "DECLARATION" "DECLARATION" MEANS THE DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS, AND RESERVATION OF EASEMENTS FOR THE PROJECT, RECORDED IN THE OFFICIAL RECORDS OF ORANGE COUNTY. THE DEFINITIONS IN THIS CONDOMINIUM PLAN ARE INTENDED TO BE CONSISTENT WITH THE DEFINITIONS CONTAINED IN THE DECLARATION. IN THE EVENT THAT THERE IS A CONFLICT BETWEEN THE DEFINITIONS IN THIS CONDOMINIUM PLAN AND THE DEFINITIONS IN THE DECLARATION, THE DEFINITIONS SHALL BE READ IN A MANNER SO THAT THEY ARE CONSISTENT. IF THIS IS NOT POSSIBLE, THE DEFINITIONS ESTABLISHED IN THE DECLARATION SHALL CONTROL.
7. "PROPERTY" "PROPERTY" MEANS PARCEL 1 OF PARCEL MAP NO. 80-158, BOOK 190, PAGE 35 OF MAPS, IN THE CITY OF DANAPPOINT, COUNTY OF ORANGE, STATE OF CALIFORNIA AND ALL IMPROVEMENTS THEREON TOGETHER WITH THE COMMON AREA AND ASSOCIATION PROPERTY.
8. "PROJECT" "PROJECT" MEANS THAT PORTION OF THE PROPERTY WHICH IS DIVIDED INTO CONDOMINIUMS INCLUDING THE UNITS, ASSOCIATION PROPERTY, AND COMMON AREA. THE PROJECT IS A "COMMON INTEREST DEVELOPMENT" AS DEFINED IN SECTION 1351 (c) OF THE CALIFORNIA CIVIL CODE.
9. "UNIT" "UNIT" MEANS A SEPARATE VOLUME OF REAL ESTATE AS DEFINED IN SECTION 1351 (f) AND (l) OF THE CALIFORNIA CIVIL CODE. EACH UNIT IS A SEPARATE FREEHOLD ESTATE, AS SEPARATELY SHOWN, NUMBERED, AND DESIGNATED IN THIS CONDOMINIUM PLAN NOT WITHSTANDING THE FOREGOING AND THE DRAWINGS OF THE UNITS IN THE PLAN, THE LATERAL BOUNDARY OF EACH UNIT SHALL BE AS SHOWN ON THIS PLAN; PROVIDED HOWEVER, NOTWITHSTANDING THE DRAWINGS SHOWN ON THIS PLAN, (A) THAT THE LATERAL BOUNDARY OF THE UNIT AT THE FRONT DOOR OF THE BUILDING CONSTRUCTED WITHIN THE UNIT SHALL BE THE PERIMETER APPROXIMATELY 4 FEET BY 4 FEET CONCRETE ENTRY PORCH AT SUCH FRONT DOOR AREA AND (B) FOR ANY PORTIONS OF THE BUILDING WHICH EXTEND BEYOND THE LATERAL BOUNDARY OF THE UNIT SHOWN ON THIS PLAN, THE LATERAL BOUNDARY OF THE UNIT SHALL BE THE FINISHED SURFACE OF SUCH PROTUBERANCE. THE LOWER VERTICAL BOUNDARY OF THE UNIT SHALL BE AT AN ELEVATION OF 50 FEET BELOW THE FINISHED GROUND ELEVATION. THE UPPER VERTICAL BOUNDARY OF THE UNIT IS AT AN ELEVATION OF 50 FEET ABOVE FINISHED GROUND ELEVATION.

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
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GENERAL NOTES

1. THIS CONDOMINIUM PLAN AND THE DIMENSIONS SHOWN HEREON ARE INTENDED TO COMPLY WITH CALIFORNIA CIVIL CODE 1351 (f) AND THE "DAVIS-STIRLING COMMON INTEREST DEVELOPMENT ACT" WHICH REQUIRE DIMENSIONS OF THE UNITS SHOWN IN SUFFICIENT DETAIL TO IDENTIFY EACH UNIT, ITS RELATIVE LOCATION AND APPROXIMATE DIMENSIONS.
2. THE CONDOMINIUM PLAN INTENTIONALLY OMITTS SPECIFIC DETAILS OF ANY BUILDINGS OR OTHER STRUCTURES.
3. NO WARRANTY IS MADE OR IMPLIED THAT FENCES WERE CONSTRUCTED ON PROPOSED UNIT DIVISION LINES.
4. ALL UNIT LINES INTERSECT AT RIGHT ANGLES, UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS OF THE CONDOMINIUM UNITS ARE SHOWN TO THE NEAREST ONE-HUNDREDTHS (1/100TH) OF A FOOT AND ARE NOT INTENDED TO BE SUFFICIENTLY ACCURATE FOR COMPILATION OF SQUARE FOOTAGE OF AIRSPACE VOLUME IN AND FOR ALL SAID UNITS.

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
in the City of DanaPoint, County of Orange, State of California.

BENCHMARK:

BM DESIGNATION: S-783
DATUM: NAVD88
YEAR LEVELED: 2004'
ELEVATION: 125.32'

DESCRIPTION:
FD. OCS DISK STAMPED "S-783" LOCATED IN THE NORTHEASTERLY CORNER
OF THE INTERSECTION OF NORTHBOUND PACIFIC COAST HWY. AND ALCAZAR DRIVE.

ENGINEER'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A
FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP
ACT AND LOCAL ORDINANCE AT THE REQUEST OF FRANK ALVAREZ ON AUGUST 30,
2016. I HEREBY STATE THAT ALL THE MONUMENTS ARE OF THE CHARACTER AND
OCCUPY THE POSITIONS INDICATED, SUFFICIENT TO ENABLE THE SURVEY TO BE
RETRACED, AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE
CONDITIONALLY APPROVED TENTATIVE MAP.



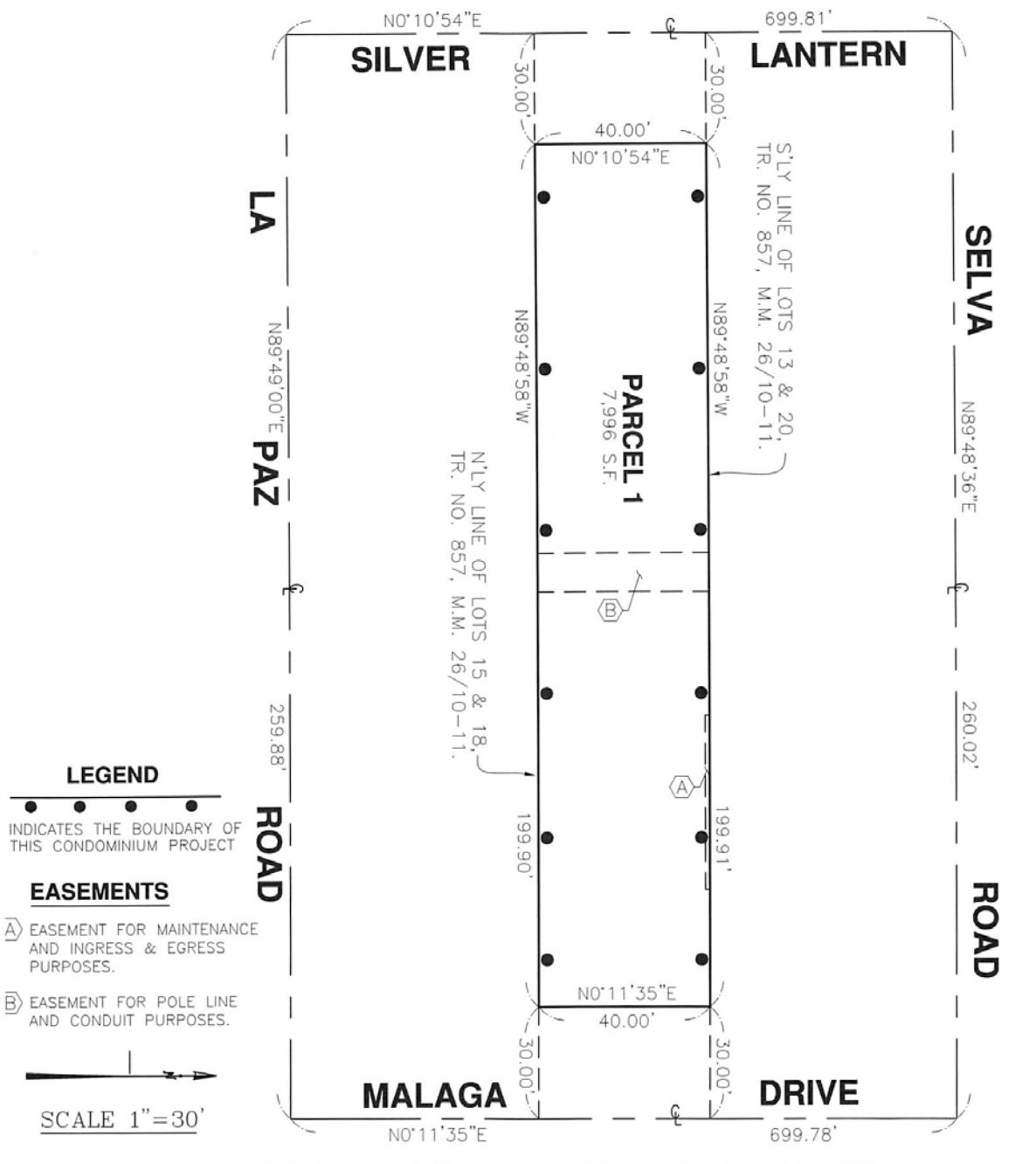
ALEJANDRO J. ALATORRE

R.C.E. NO. R.C.E. 32761 EXP. 6/30/18

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

PROJECT BOUNDARY

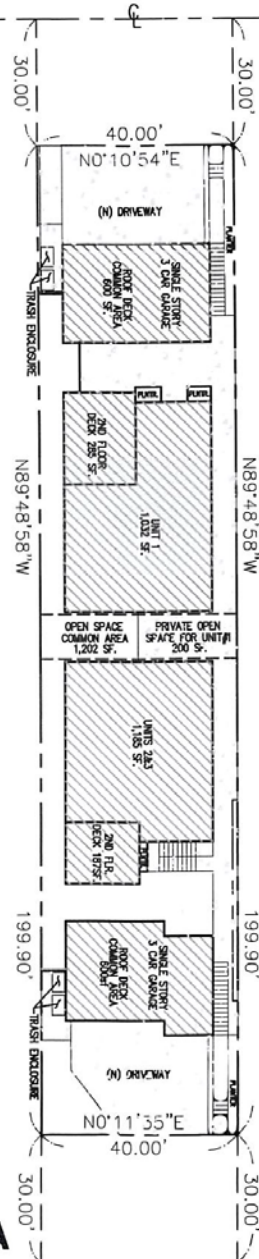
For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
in the City of DanaPoint, County of Orange, State of California.



UNIT PLAN

SILVER

LANTERN



SCALE 1"=30'

MALAGA

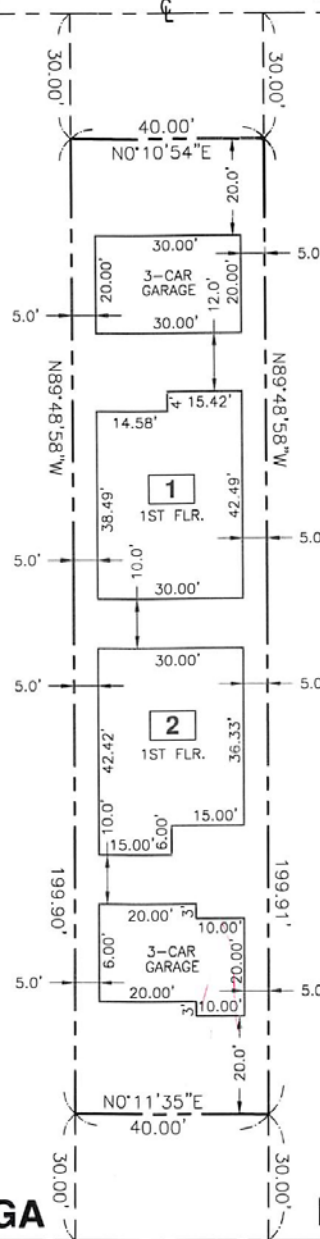
DRIVE

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

UNIT PLAN - 1ST FLOOR

For Parcel 1 of Parcel Map No. 80-158, Book 191, Pages 35, of Maps,
in the City of DanaPoint, County of Orange, State of California.

SILVER **LANTERN**



NOTE: SEE SHEET 15 FOR
LEGEND.



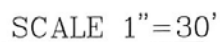
SCALE 1"=30'

MALAGA

DRIVE

UNIT PLAN - 2ND FLOOR

SILVER **LANTERN**



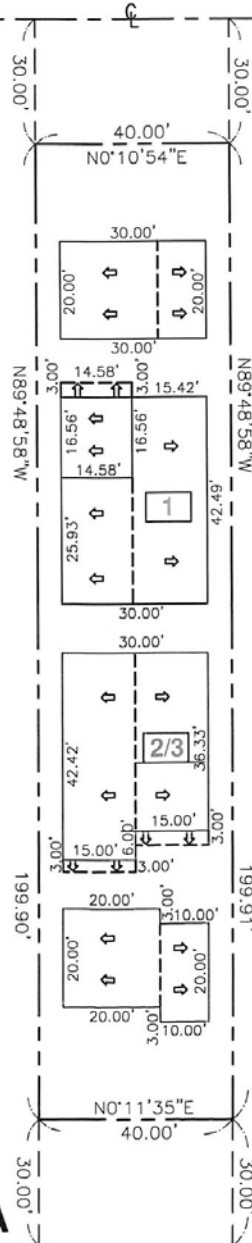
MALAGA

DRIVE

UNIT ROOF PLAN

SILVER

LANTERN



SCALE 1"=30'

MALAGA

DRIVE

AIR SPACE AND COMMON AREA SPACE



SHEET 15 OF 15

CONDOMINIUM PLAN FOR 33852 SILVER
LANTERN ST. & 33851 MALAGA DR.

LEGEND



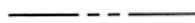
UNIT NUMBER



ASSOCIATION PROPERTY



UNIT LINE



PROPERTY LINE



STREET CENTER LINE



ROOF LINE