

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: MARCH 12, 2018

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
DANNY GIOMETTI, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP18-0003 TO PERMIT ADDITIONS INCLUDING 64 SQUARE FEET TO AN EXISTING SINGLE-FAMILY DWELLING, AND A 74 SQUARE FOOT DETACHED ACCESSORY POOL BATHROOM IN THE REAR YARD OF THE SINGLE-FAMILY DEVELOPED LOT LOCATED AT 232 MONARCH BAY DRIVE.

RECOMMENDATION: That the Planning Commission adopt the attached draft Resolution approving Coastal Development Permit (CDP18-0003).

APPLICANT: Curtis E. Lively

OWNER: Duraid Antone

REQUEST: Approval of a Coastal Development Permit (CDP) to permit additions including 64 square feet to an existing single-family dwelling (SFD), and a 74 square foot detached accessory pool bathroom in the rear yard of the single-family developed lot.

LOCATION: 232 Monarch Bay Drive (670-111-12)

NOTICE: Notice of the Public Hearing was mailed to property owners within a 500-foot radius and occupants within a 100-foot radius of the subject site, published within a newspaper of general circulation on March 2, 2018, and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on March 2, 2018.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section(s) 15301 and 15303 of the CEQA Guidelines (Classes 1 and 3 – Existing Facilities and

Construction or Conversion of Small Structures) due to the fact that the project consists of an addition to an existing SFD and the installation of detached pool bathroom.

ISSUES:

1. Is the proposal consistent with the Dana Point General Plan, the Dana Point Zoning Code (DPZC) and the Local Coastal Program (LCP)?
2. Does the proposal satisfy all findings required pursuant to the DPZC and the LCP for approval of a CDP and SDP?
3. Is the proposed project compatible with and an enhancement to the site and surrounding neighborhood?

BACKGROUND:

The subject site is situated along Monarch Bay Drive, northwest of the intersection of Pacific Coast Highway and Crown Valley Parkway within the residential Single Family 4 (RSF 4) zoned community of Monarch Bay. The 12,312-square foot lot is surrounded by single family dwelling's (SFD's) along the side property lines and across Monarch Bay Drive, and Pacific Coast Highway along the rear property line. The subject site is developed with a 2,100 square foot SFD with an attached 584 square foot garage built in 1964, site- walls, and decorative hardscaping and landscaping.

In January of 2018, the subject entitlement application along with the Monarch Bay Architectural Committee approval was submitted to the City of Dana Point. The subject site is located within the Appeal Jurisdiction of the California Coastal Commission (CCC) and with a scope of work exceeding limitations or including items identified under Section 9.69.040(b)(2) of the DPZC (Exemptions), require a major CDP. The project proposes an addition of 64 square feet to the subject SFD, and the placement of a 74 square foot detached structure in the rear yard of the single-family developed lot, both of which require the approval of a major CDP.

DISCUSSION:

COASTAL DEVELOPMENT PERMIT (CDP18-0003)

The project proposes a partial enclosure of an internal courtyard, resulting in an addition of 64-square feet to the existing SFD. The addition will contribute to an enlarged kitchen area which ties into the existing roof, resulting in a gross floor area of 2,164 square feet for the SFD. With the exception of the enclosure of the existing courtyard, the floor plan of the SFD remains relatively unchanged.

The project also proposes to locate a 72-square foot detached pool bathroom at the

northeastern corner of the rear yard. The pool bathroom is proposed to be constructed ten feet in height as measured from existing grade to top of roof and be finished in smooth stucco to match the existing SFD.

Additional site improvements currently being reviewed under ministerial building permits not associated with the subject entitlement include: side and rear property line walls, a new pool and spa, patio covers, gas fire table seating area and barbecue island. The façade of the home will be refreshed with a new coat of white cream paint and the installation of drought tolerant landscaping is also proposed.

The aforementioned improvements blend together to complement the respective midcentury modern architectural styling. The current design has been reviewed and approved by the Monarch Bay Architectural Review Committee.

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and
7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting the above mentioned findings are detailed in the attached draft Planning Commission Resolution.

CORRESPONDENCE:

To date, the City has received no correspondence related to the subject application. The Monarch Bay Homeowners Architectural Committee has reviewed and approved the subject plans.

CONCLUSION:

Based on the subject analysis, Staff has determined that the project is consistent with the policies and provisions of the City of Dana Point General Plan, the DPZC, and those portions thereof comprising the LCP and that the Planning Commission findings articulated in the draft resolution, supporting approval of the subject improvement requests can be made. Therefore, staff recommends approval of CDP18-0003, subject to the conditions contained in the attached draft resolution.



Danny Giometti
Associate Planner



Ursula Luna-Reynosa, Director
Community Development Department

ACTION DOCUMENTS:

1. Draft PC Resolution 18-03-12-XX

SUPPORTING DOCUMENTS

1. Plans
2. Project Vicinity Map
4. Monarch Bay HOA Approval

RESOLUTION NO. 18-03-12-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP18-0003 TO PERMIT ADDITIONS INCLUDING 64 SQUARE FEET TO AN EXISTING SINGLE-FAMILY DWELLING , AND A 74 SQUARE FOOT DETACHED ACCESSORY POOL BATHROOM IN THE REAR YARD OF THE SINGLE-FAMILY DEVELOPED LOT LOCATED AT 232 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Duraid Antone, (the "Applicant") is the owner of real property commonly referred to as 232 Monarch Bay Drive (APN 670-111-12) (the "Property"); and

WHEREAS, the Applicant has made an application for a Coastal Development Permit to permit additions including 64 square feet to an existing single-family dwelling (SFD), and a 74 square foot detached accessory pool bathroom in the rear yard of the single-family developed lot located at 232 Monarch Bay Drive (attached as Exhibit A to this resolution); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section(s) 15301 and 15303 of the CEQA Guidelines (Classes 1 and 3 – Existing Facilities and Construction or Conversion of Small Structures) due to the fact that the project consists of an addition and remodel to an existing SFD and the installation of a detached pool bathroom, respectively; and

WHEREAS, the Planning Commission did, on the 12th day of March, 2018, review the Coastal Development Permit (CDP) as prescribed by law; and

WHEREAS, at said Planning Commission Review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to CDP.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.
- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP18-0003, subject to conditions:

Findings:

Coastal Development Permit CDP18-0003

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code in that the site and architectural design of the proposed improvements are found to comply with all development standards of the Dana Point General Plan, Local Coastal Program and Zoning Code. The development will further General Plan Urban Design Element Policy 5.2 through the proposed additions to the mid 1960's developed SFD and the detached accessory bathroom in conjunction with the updates to the SFD and site improvements, encouraging a design that "takes advantage of the City's excellent climate to maximize indoor-outdoor spatial relationships."
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act in that while the project is located between the nearest public roadway and the sea or shoreline, the property is located within a private community, or to which the public does not have access nor areas of public recreation. Moreover, adequate access to public beaches and areas of recreation exist nearby at County beaches and accordingly, the site is in conformance with all policies of Chapter Three of the California Coastal Act.
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment in that the project is qualified as Categorical Exempt from review under CEQA pursuant to Sections 15303 (Class 3 – Existing Facilities) and 15303 (Class 3 - Construction or Conversion of Small Structures) due to the fact that the project consists of an addition and remodel to an existing SFD and the installation of a detached pool bathroom on a previously improved parcel.
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources in that the subject property is a previously developed parcel containing no

environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.

5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an previously developed property located within an established area of residential uses and the proposed development will be constructed in conformance with applicable regulations for geological and erosional forces, flood, and fire, minimizing undue risks from these or other hazards.**
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed addition to an existing SFD utilizes materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.**
7. That the proposed development conforms to the General Plan, and Local Coastal Program and Zoning Code **in that the proposed project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and conforms with the City's regulations regarding development of single-family dwellings in the Residential Single Family 4 (RSF 4) Zoning District designation of the Dana Point Zoning Code, the Residential 3.5-7 DU/AC designation in the City's General Plan, and the requirements of the City's Coastal Overlay District.**

Conditions:

A. General:

1. Approval of this application permits additions including 64 square feet to an existing SFD, and a 74 square foot detached accessory pool bathroom in the rear yard of the single-family developed lot located at 232 Monarch Bay Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other

related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
13. In lieu of a separate submittal, review, and issuance of a grading permit, the Public Works Department will review the required geotechnical report, drainage plan, landscape plan, and erosion control plan as a part of the Building Permit application.
14. Separate review, approval, and permits are required for:

- Separate Structures
- Retaining Walls
- Site Walls over 3 ft.
- Fire Sprinklers
- Demolition of Structures
- Swimming Pool/Spa

B. Prior to Building Plan Check Submittal:

15. Building(s) shall comply with the 2016 editions of the Building Code with all local amendments.
16. Project "Conditions of Approval" shall appear on the submitted drawings.
17. Building plan check submittal shall include the following construction documents:
 - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)
 - Drainage Plan

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

18. Fire Department review maybe required. Submit plans directly to the Orange County Fire Authority for their review.
19. Minimum roofing classification is Class "A".
20. Fire-rated Construction: Plans should clearly identify and detail the fire-rated construction for any construction due to close proximity to the property line.
21. Separate review, approval, and permits are required for separate structures.
22. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.

23. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
24. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CAL Green requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

C. Prior to the Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

25. Approvals are required from:
 - Planning Department
 - Public Works
 - Obtain Orange County Fire Authority Approval
 - Obtain "Will Serve" letter from Water District.
 - Provide an SDG&E service work order for proposed service location
26. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
27. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval. The review of the submitted geotechnical report shall be done on a time and materials basis.
28. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
29. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.
30. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil

engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.

31. If applicable, the applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Director of Community Development, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.

D. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

32. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. If landscape improvements are subject to Chapter 9.55 of the DPZC, the appropriate State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Director of Community Development as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55. Otherwise, a State licensed landscape architect shall certify that all plant and irrigation materials have been installed in accordance with the specifications of the final plan and shall submit said certification in writing to the Director of Community Development.
33. Verification of all conditions of approval is required by all City Departments.
34. The applicant shall contact both the Planning Division and Public Works & Engineering Services to schedule a final inspection prior to final project sign-off by the Building Division.
35. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
36. All approvals from outside Departments and Agencies (i.e. Fire

Department) is/are required.

37. A written approval by the Geotechnical Engineer of Record approving the construction as being in conformance with the approved plan from a geotechnical standpoint.

DRAFT

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 12th day of March 2018, by the following vote, to wit:

AYES:

NOES:

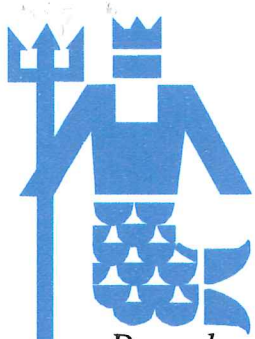
ABSENT:

ABSTAIN:

Scott McKhann, Chairman
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



Monarch Bay Association

RECEIVED

FEB 12 2018

December 6, 2017

Duraid Antone

232 Monarch Bay Drive
Monarch Beach, CA 92629

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

via email

RE: LANDSCAPE/HARDSCAPE APPROVAL - 232 MONARCH BAY DRIVE
PLANS BY SCOTT PETERSON 10/16/17
HOME REMODEL APPROVAL - PLANS BY GRAND WEST DATED 10/16/17
VARIANCE APPROVAL- 4' REAR SETBACK ENCROACHMENT

Dear Mr. Antone,

The Monarch Bay Association Architectural Control Committee has reviewed and approved both the home remodel, as well as landscape/hardscape plans as submitted. The Committee also approved the variance request to encroach 4' into the rear setback with the new pool restroom.

You have already submitted a review retainer of \$1,500; however, prior to construction beginning, you will need to submit an additional construction deposit of \$2,500 made payable to the Monarch Bay Association in care of Progressive Community Management. At the successful completion of your project, your unused retainer and deposit will be refunded minus the road use fees pursuant to the attached schedule.

We are enclosing a copy of the Association's construction rules for you to share with your contractor so they understand what is expected of them when working within the community. We have also enclosed a copy of the Road Use Fee policy so that you are aware of these fees.

We thank you for your cooperation and wish you the best with your project.

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

Cc: Board

Architect Curtis Lively

MB/232/arch/remodel and ls-hardscape approval/12.06.17

PROJECT

CURTIS E. LIVELY
1325 SIMPSON WAY, STE. A
ESCONDIDO
CA
92029
60-480-5555
curtis.gwa@att.net

DR DESIGNER

ADDISON BRULEY
WAYTON ADDISON, IDS

49-715-7797
ashleyaddison@hotmail.com

ACTOR

WESTBRIDGE CONSTRUCTION, INC.
CTAVIAN SCUTELNICU

1-246-7475
westbridgeconstruction.com

T DATA

_____ V-N
_____ R-3 / U-1
_____ RSF-4
STREET) _____ 20'-0"
_____ 5'-0"

REVISION		DATE
#	DESCRIPTION	
A	MONARCH BAY ARCHITECTURAL REVIEW COMMITTEE	
B	() AS SUBMITTED	
C	() DISAPPROVED	
D	() LETTER ATTACHED	
E	DATE: 12/4/17 BY: [Signature]	

DURAND ANTONONE

232 MONARCH BAY
DANA POINT, CA 92629



City of Dana Point

CDP18-0003

Danny Giometti, Associate Planner

Community Development Department

33282 Golden Lantern (Danny Giometti, Associate Planner)

Dana Point, CA 92629-1805

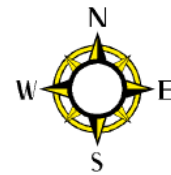
VICINITY MAP



Project : CDP18-0003

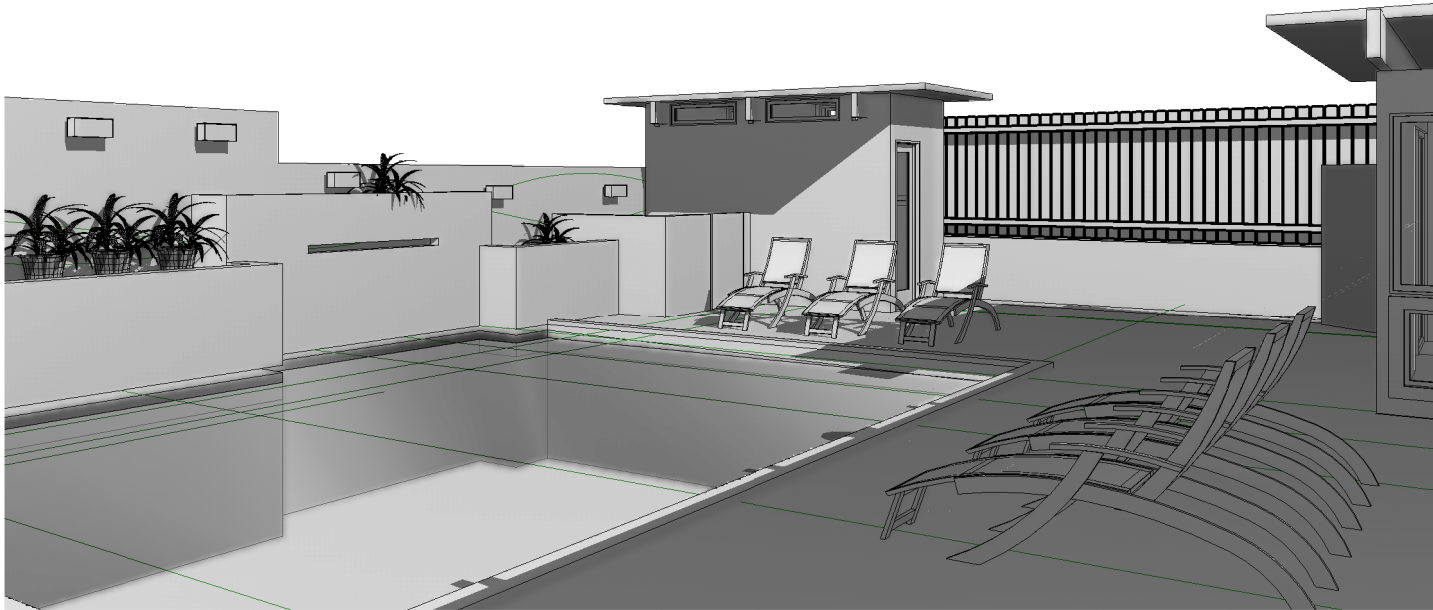
Applicant: Curtis Lively

Location: 232 Monarch Bay Drive



ANTONE ADDITION

232 MONARCH BAY DRIVE
DANA POINT, CA 92629



3D View 9

CODE AND GOVERNING AGENCIES

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE FOLLOWING:
2016 CRC
2016 CMC
2016 CPC
2016 CGBS
2016 CEES
CITY OF DANA POINT REGULATIONS AND ORDINANCES

CODES
12" = 1'-0"

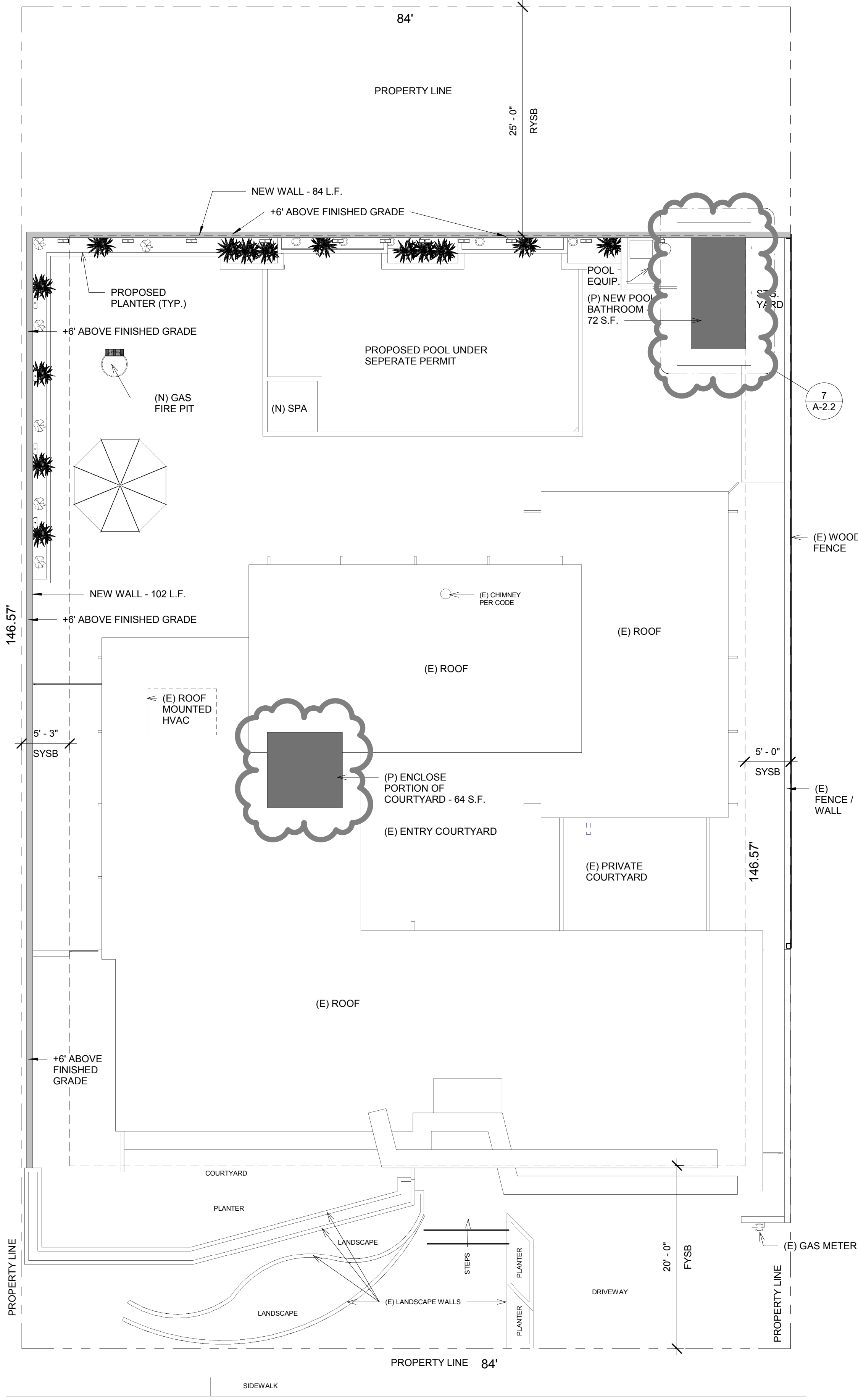


3D View 4_3
12" = 1'-0"



POOL BATH & EQUIPMENT_2
12" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
A-1.0	TITLE SHEET
A-2.0	EXISTING AND DEMO PLANS
A-2.1	FLOOR PLAN
A-2.2	POOL BATHROOM
A-3	ELEVATIONS
A-4	ELEVATIONS
A-5	ROOF PLAN
A-8	PHOTOS
S-1	GENERAL NOTES
S-2	FOUNDATION & FRAMING PLAN



NOTE:
A.) PLANNING FINAL REQUIRED
B.) SETBACK CERTIFICATION REQUIRED
C.) BUILDING HEIGHT CERTIFICATION REQUIRED

NOTE:
1.) THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
2.) BUILDING IS NOT PROTECTED BY A SPRINKLER SYSTEM.



Site
1/8" = 1'-0"

PROJECT DIRECTORY

ARCHITECT

NAME: CURTIS E. LIVELY
ADDRESS: 1325 SIMPSON WAY, STE. A
CITY: ESCONDIDO
STATE: CA
ZIP: 92029
PHONE: 760-480-5555
EMAIL: curtis.gwa@att.net

INTERIOR DESIGNER

NAME: ADDISON BRULEY
CONTACT: PAYTON ADDISON, IDS
ADDRESS:
CITY:
STATE:
ZIP:
PHONE: 949-715-7797
EMAIL: pashleyaddison@hotmail.com

CONTRACTOR

NAME: ARCSTONE CONSTRUCTION, INC.
CONTACT: OCTAVIAN SCUTELNICU
ADDRESS: 9720 CRYSTAL RIDGE
CITY: ESCONDIDO
STATE: CA
ZIP: 92026
PHONE: 951-246-7475
EMAIL: octavian@arcstonebuilders.com

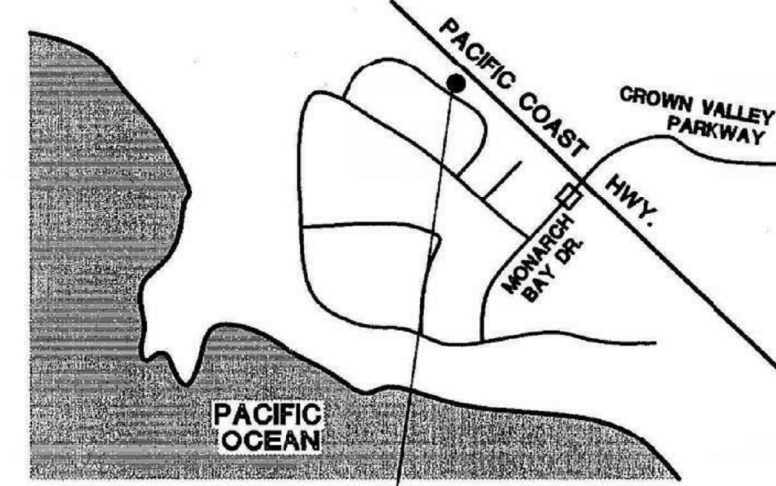
PROJECT DATA

BUILDING TYPE _____ V-N
OCCUPANCY TYPE _____ R-3 / U-1
ZONE _____ RSF-4
FRONT SETBACK (STREET) _____ 20'-0"
SIDE YARD SETBACKS _____ 5'-0"
REAR YARD SETBACK _____ 25'-0"
HEIGHT LIMIT _____ (14' HOA) 28' MAX
LOT AREA _____ 12,312 SF
ALLOWABLE LOT COVERAGE CITY (45%) _____ 5,540 SF
ALLOWABLE LOT COVERAGE HOA (40%) _____ 4,925 SF
MINIMUM LANDSCAPE AREA REQUIRED _____ 3,078 SF
EXISTING FLOOR AREA _____ 2,100 SF
EXISTING GARAGE _____ 584 SF
EXISTING GROSS SF _____ 2,684 SF
EXISTING BUILDING FOOTPRINT (INCLUDES INTERIOR COURTYARDS) _____ 3,848 SF
(E) LOT COVERAGE (CITY (INCLUDES EAVE OVERHANGS) _____ 4,005 SF
PROPOSED ADDITION (DINING - MAIN STRUCTURE) _____ 64 SF
PROPOSED DETACHED POOL BATHROOM _____ 72 SF
PROPOSED TOTAL FLOOR AREA _____ 2,236 SF
PROPOSED GROSS SF _____ 2,820 SF
PROPOSED BUILDING FOOTPRINT _____ 2,820 SF
PROPOSED LOT COVERAGE (CITY) _____ (34%) 4,120 SF
PROPOSED LOT COVERAGE (HOA) _____ (32%) 3,920 SF (INCLUDES INTERIOR COURTYARDS)
APN: _____ 670-111-12-00

PROJECT DESCRIPTION

- ADD DETACHED POOL BATHROOM - CONCRETE SLAB ON GRADE WITH 2X4 CONVENTIONAL FRAMING WITH 3/8" PLYWOOD SHEATHING WITH SCRATCH / BROWN / AND FINISH STUCCO VENEER TO MATCH (E) BUILDING. ROOF TO BE TORCH APPLIED ASPHALTIC TO MATCH (E) ROOF. EXPOSED 4X RAFTERS, PAINTED TO MATCH EXISTING.
- ENCLOSE 8'X8' SECTION OF INTERIOR COURTYARD - REMOVE (E) GLASS WINDOWS AND SLIDING DOORS, REMOVE (2) INTERIOR COLUMNS SPAN WITH BEAM. ADD TWO WINDOWS AND TWO AWNINGS TO COMPLETE PROPOSED ENCLOSURE

VICINITY MAP



PROJECT LOCATION:
232 MONARCH BAY DRIVE
(MONARCH BAY)

DURAND ANTONIO
232 MONARCH BAY
DANA POINT, CA 92629

PROJECT DATA:

GRAND WEST ASSOCIATES, INC.
1325 SIMPSON WAY, SUITE
ESCONDIDO, CA 92029

STUDIO
760.594.125
e-mail
curtis.gwa@att.net

SHEET INFORMATION		TITLE SHEET	
DRAWN BY:	Author	CHECKED	Checker
DATE:	Issue Date	SCALE:	AS
JOB	Project Number	CAD FILE:	C:\Users\curtis\Documents\92629 MONARCH BAY
	760.480.555		

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PLOT DATE: 2/20/2018 7:14:36 AM

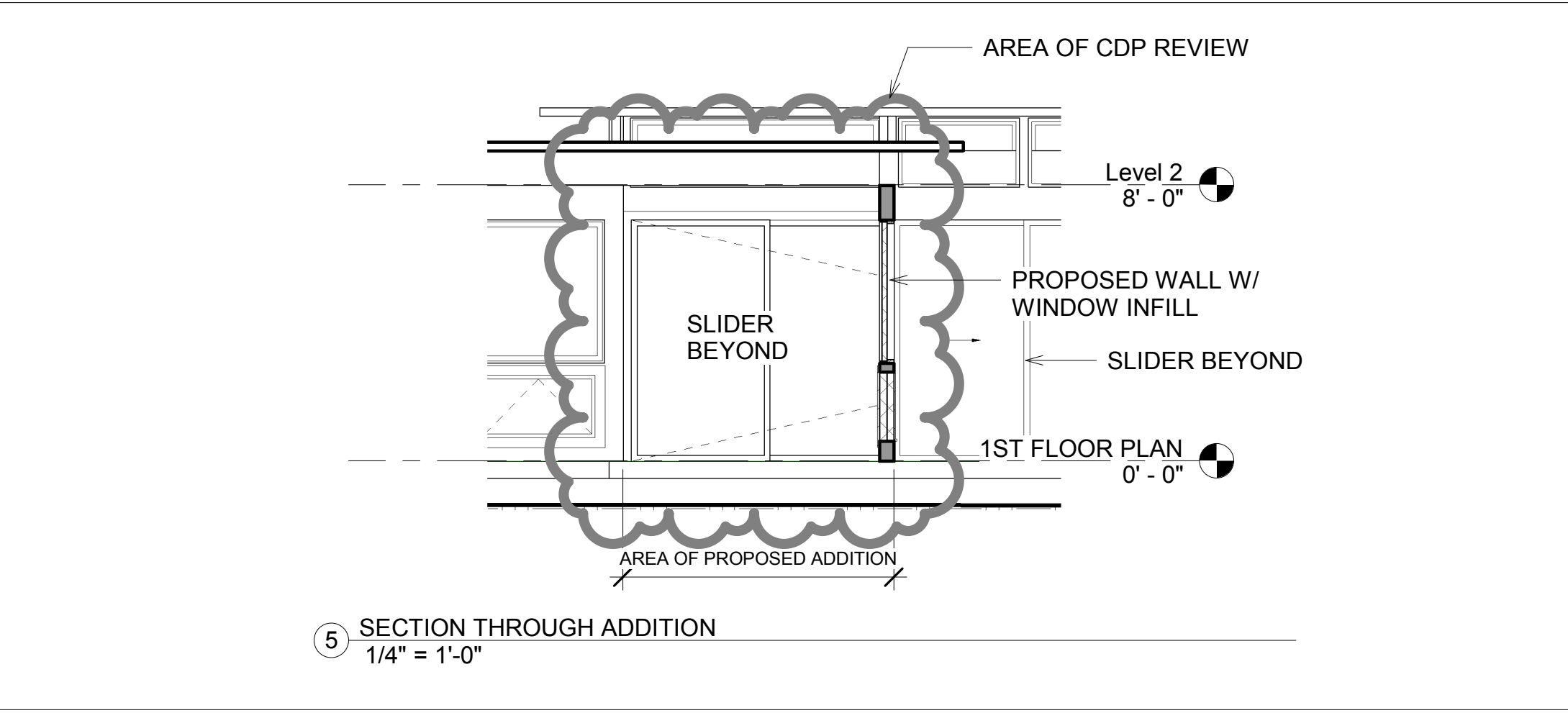
ELECTRICAL NOTES

1. ALL WORK MUST COMPLY WITH THE LATEST APPROVED NEC, STATE CODES, AND CITY OF SAN DIEGO CODE AND ORDINANCE.
2. ALL WORK MUST CONFORM TO THE AMERICANS WITH DISABILITIES ACT. RECEPTACLES SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE FLOOR. LIGHT SWITCHES NO HIGHER THAN 48 INCHES.
3. ALL WIRE SHALL BE COPPER UNLESS SHOWN DIFFERENT ON DRAWINGS.
4. ALL WIRE SHALL MEET ZONE 4 SEISMIC MOUNTING REQUIREMENTS.
5. ALL CIRCUITS SHALL BE GROUNDED PER NEC.
6. PROVIDE A NEW PANELBOARD DIRECTORY FOR NEW PANELBOARD UTILIZED FOR THIS PROJECT TO INCLUDE THE FOLLOWING:
7. PROVIDE ALL REQUIRED SEISMIC BRACING, SUPPORT BOLTS, WASHERS, NUTS, ETC., FOR LIGHT FIXTURES, AND ALL ELECTRICAL EQUIPMENT.
8. PROVIDE HARD WIRED SMOKE DETECTORS AS NOTED ON PLANS AND PER (U.B.C. 3101). HARD WIRED SMOKE DETECTORS SHALL BE EQUIPPED WITH BATTERY BACKUP. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS.
9. THE PROJECT WILL COMPLY WITH COUNTY OF SAN DIEGO LIGHTING ORDINANCE
10. FLOURESCENT FIXTURES MUST BE OF THE BALLASTED TYPE THAT ONLY ACCEPTS FLUORESCENT BULBS WITH A MINIMUM EFFICACY OF 40 LUMENS/WATT.
11. AT LEAST HALF THE INSTALLED WATTAGE OF LUMINAIRES IN THE KITCHEN SHALL BE HIGH EFFICACY. ALL OTHER FIXTURES MUST BE SWITCHED SEPARATELY.
12. PROVIDE HIGH-EFFICACY LUMINAIRES OR MANUALLY SWITCHED, LOW EFFICACY LUMINAIRES CONTROLLED BY MOTION SENSOR AND PHOTOCONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) FOR EACH OUTDOOR LIGHTING FIXTURE
13. ANY ELECTRICAL SWITCHES OR OUTLETS SHALL BE LOCATED A MINIMUM OF 15 INCHES FROM BOTTOM OF RECEPTACLE/OUTLET BOX TO FINISH FLOOR. ALSO A MAXIMUM 48 INCHES FROM TOP OF RECEPTACLE/OUTLET BOX TO FINISH FLOOR. (NOTE CUSTOM HEIGHTS REQUIRED IN CANINE ACCESS AREAS)
14. ALL LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS, AND OTHER ROOMS OR AREAS THAT ARE NOT A KITCHEN SHALL EITHER BE HIGH EFFICACY OR CONTROLLED BY A VACANCY SENSOR (OR DIMMER SWITCH FOR OTHER ROOMS ONLY).
15. A MECHANICAL EXHAUST SYSTEM, SUPPLY SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR COMPLYING WITH ASHRAE STANDARD 62.2-2007 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
16. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST SYSTEM (WITH OUTDOOR AIR) SHALL BE INSTALLED IN EACH KITCHEN AND BATHROOM COMPLYING WITH ASHRAE STANDARD 62.2-2007 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL VENTILATION SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL VENTILATION EXHAUST AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 ACH (AIR CHANGES/HOUR) IN KITCHENS BASED ON KITCHEN VOLUME.
17. SINGLE AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE USED IN ACCORDANCE WITH THE REQUIREMENTS OF UL 204. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075
18. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A MECHANICAL SOURCE AND SHALL BE BACKUP BY A BATTERY BACKUP. ALL WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
19. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION R315.1.1. NEW BUILDINGS ONLY. MECHANICAL EXHAUST FANS FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING (CALGreen 4.507.1): ENERGY COMPLIANT AND DUCTED TO TERMINATE OUTSIDE BUILDING CONTROLLED BY READILY ACCESSIBLE HUMIDISTAT - UNLESS FAN FUNCTIONS AS COMPONENT OF WHOLE-HOUSE VENTILATION SYSTEM - WITH CONTROLS CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY RANGE OF 50% TO 80%.

- 4 ELECTRICAL NOTES
1/4" = 1'-0"

ELECTRICAL LEGEND	
	WALL MOUNTED INCANDESCENT
	WALL MOUNTED FLUORESCENT
	CEILING MOUNTED INCANDESCENT
	FAN/LIGHT
	TWO LAMP, 32W STEM MOUNTED FIXTURE
	ELECTRICAL METER LOCATION
	GAS SUPPLY
	HOSE BIB
	DUPLEX OUTLET
	WEATHERPROOF OUTLET AT 18" A.F.F.
	DUPLEX OUTLET - GROUND FAULT INTERRUPT
	SWITCH AT 36" A.F.F. U.O.N.
	3 WAY SWITCH
	OCCUPANT SENSOR
	RECESSED FLUORESCENT
	COMBINATION SMOKE DETECTOR & CARBON MONOXIDE ALARMS
	COMBINATION SMOKE DETECTOR & CARBON MONOXIDE ALARMS
	CEILING FAN WITH LIGHT
	SPECIALTY LIGHTING PER OWNER SELECTION

- 3 ELECTRICAL LEGEND Copy 1
1/4" = 1'-0"



-
- AREA OF CDP REVIEW
- Level 2
8' - 0"
- 1ST FLOOR PLAN
0' - 0"
- ② Elevation 5 - a
1/4" = 1'-0"



DURAID ANTONE
232 MONARCH BAY
DANA POINT, CA 92629

PROJECT DATA:

GRAND WEST ASSOCIATES, INC.

STUDIO
760.480.5555
JENNIFER@GWA.COM

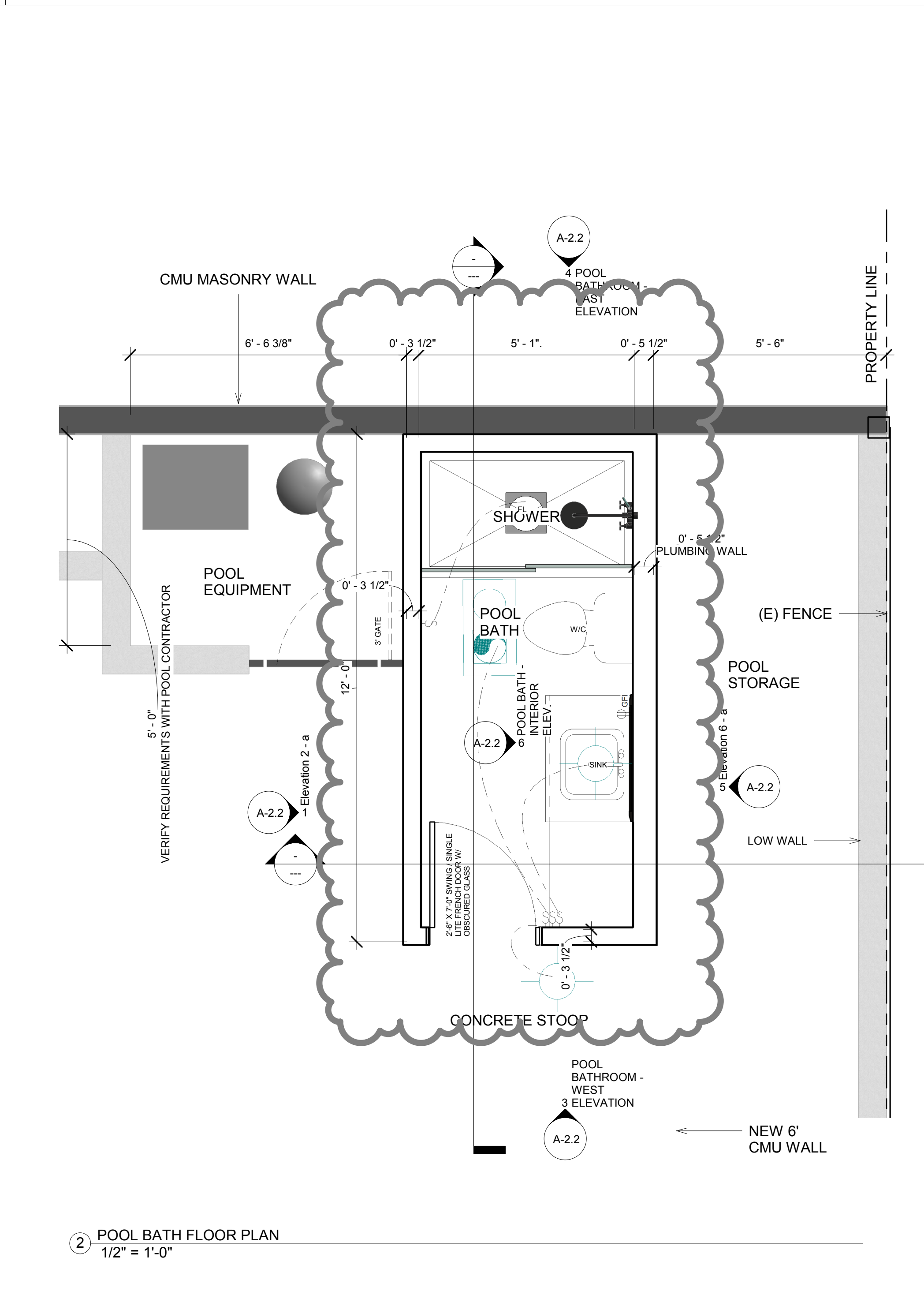
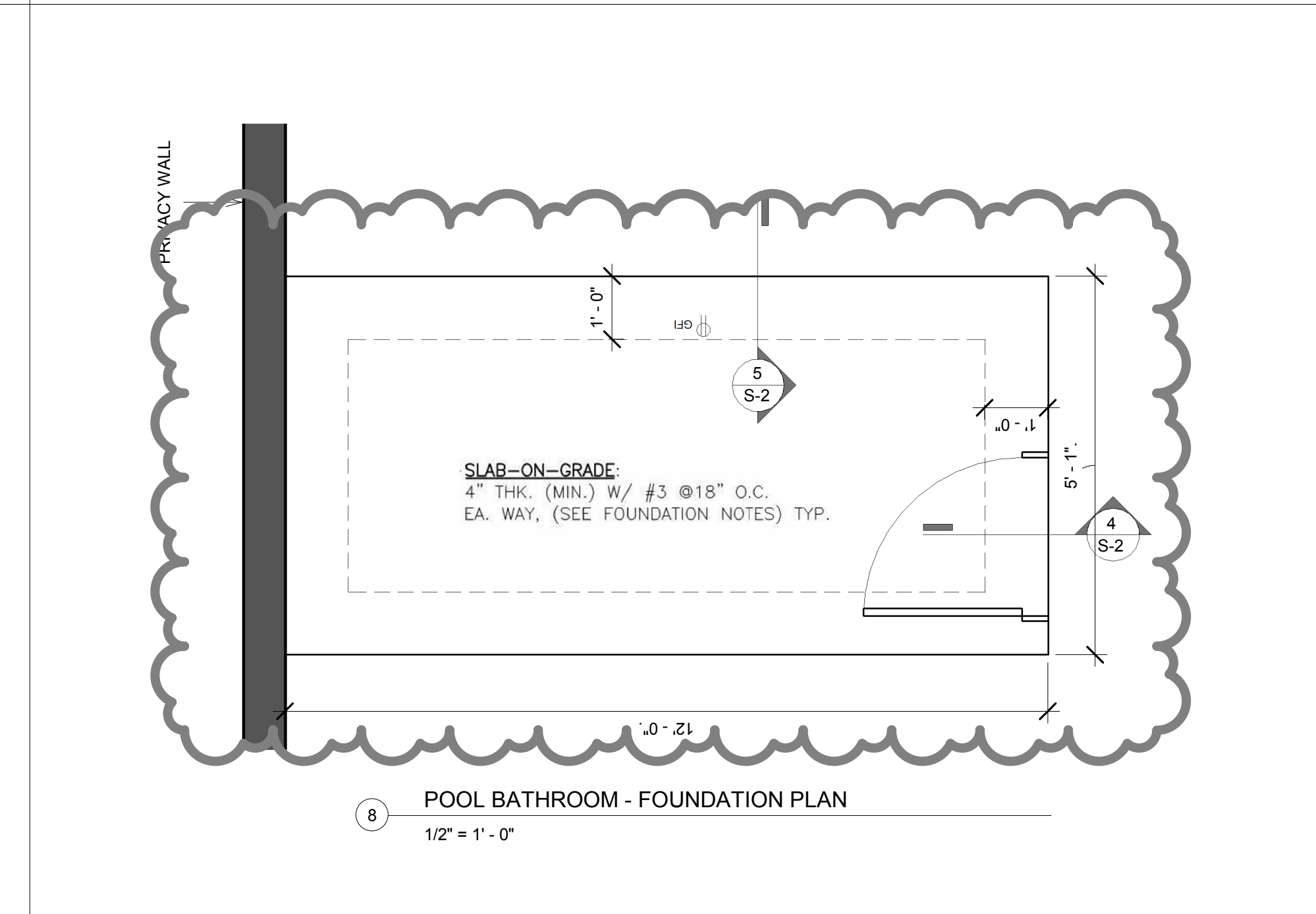
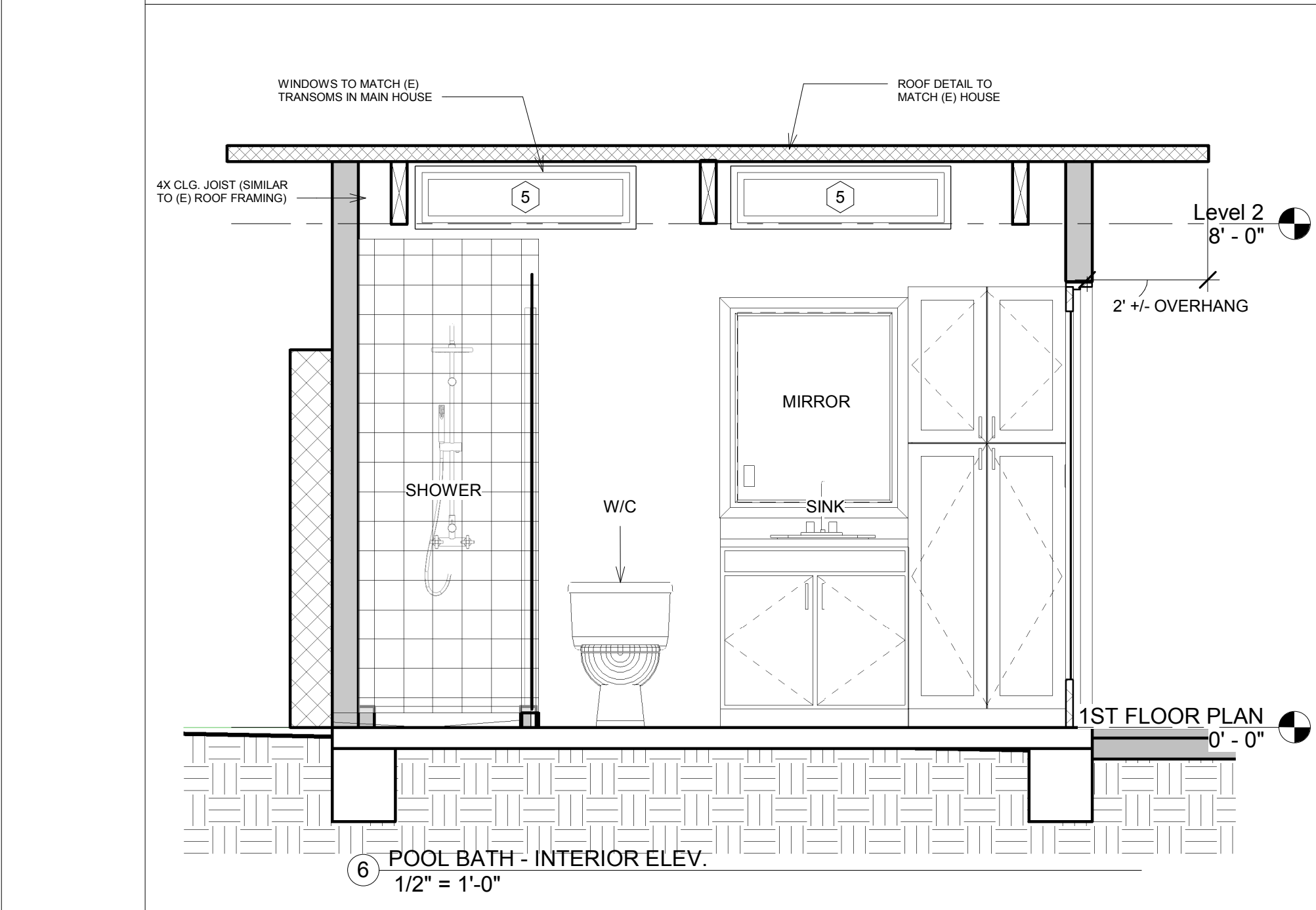
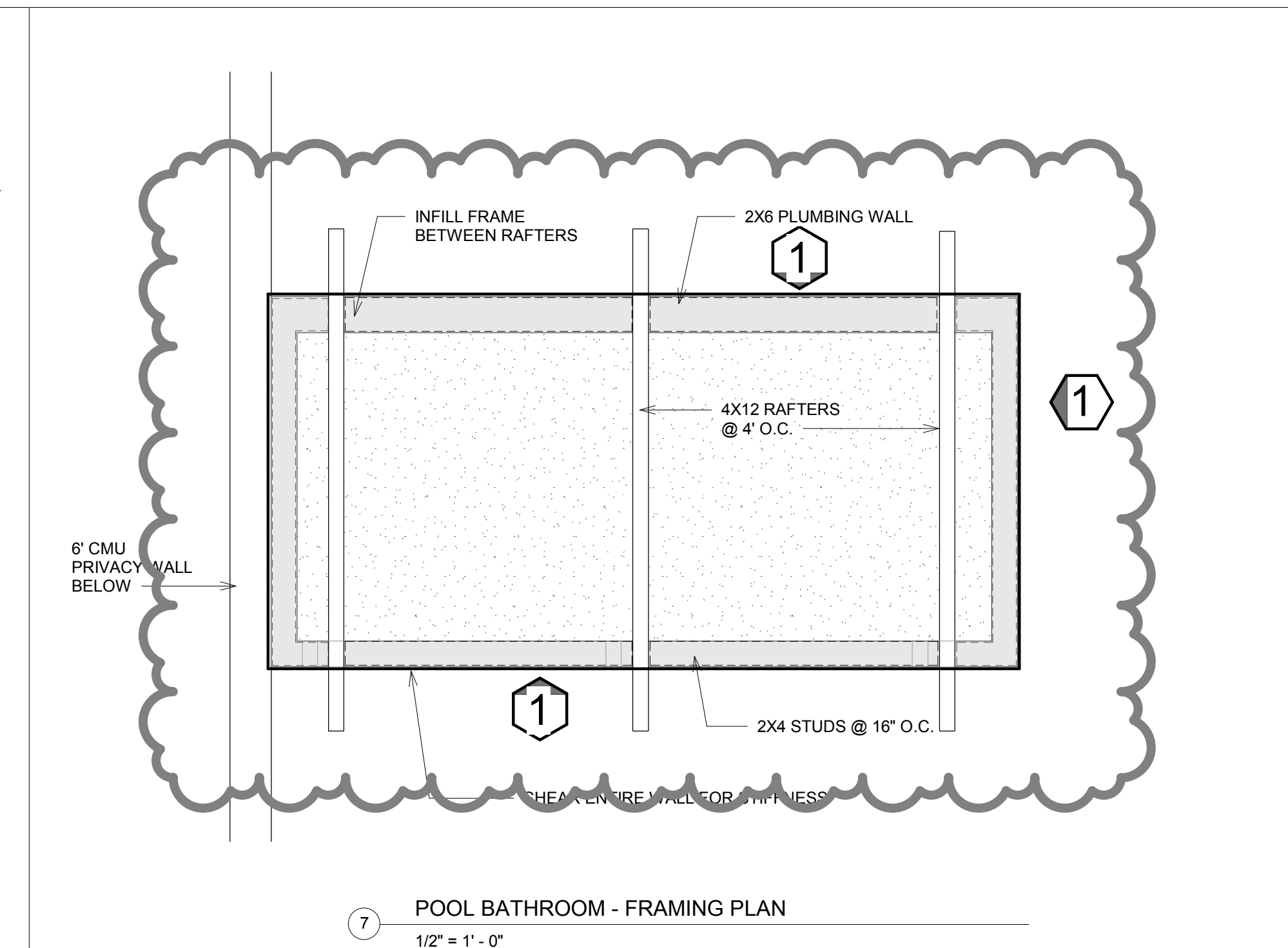
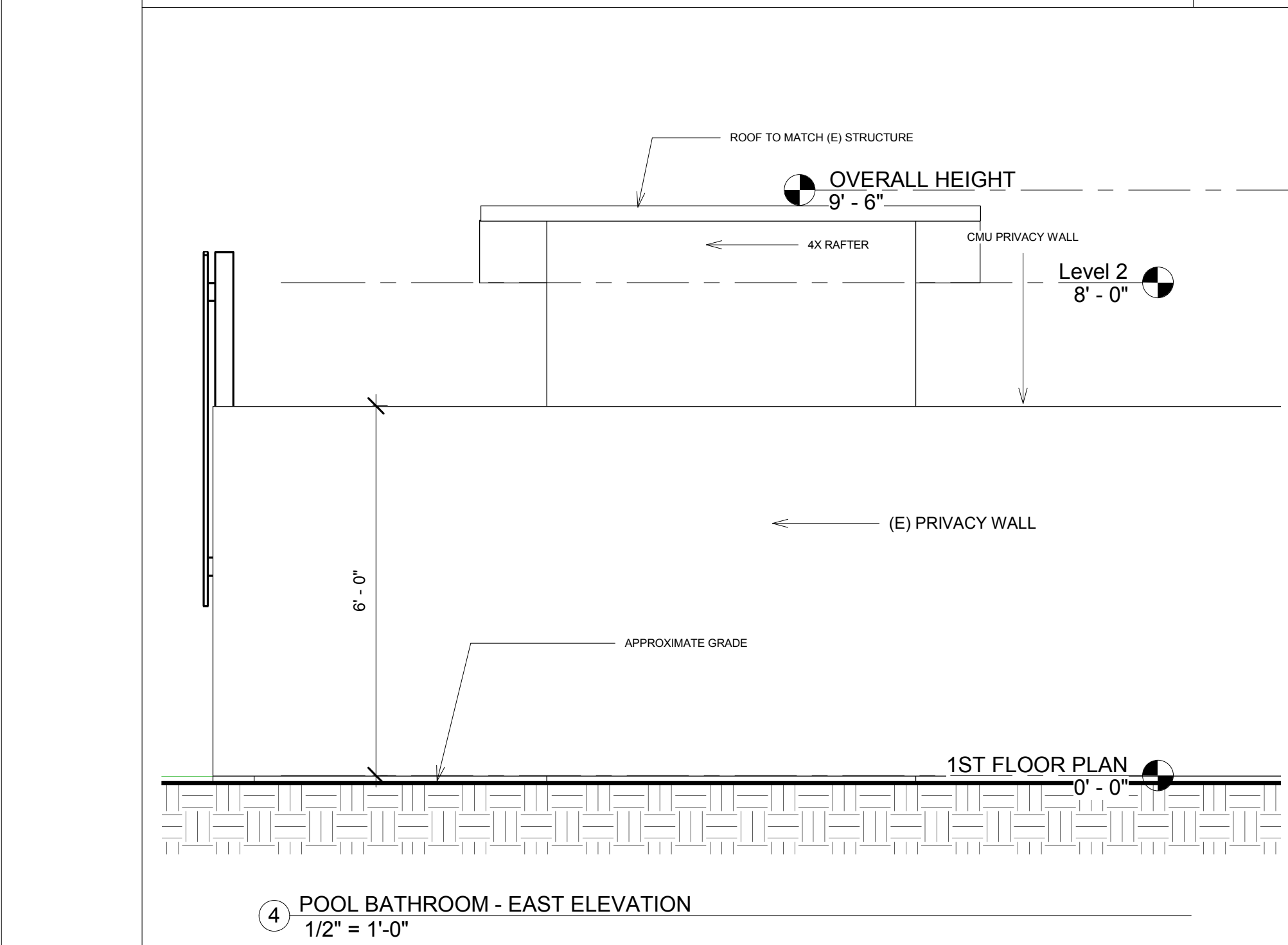
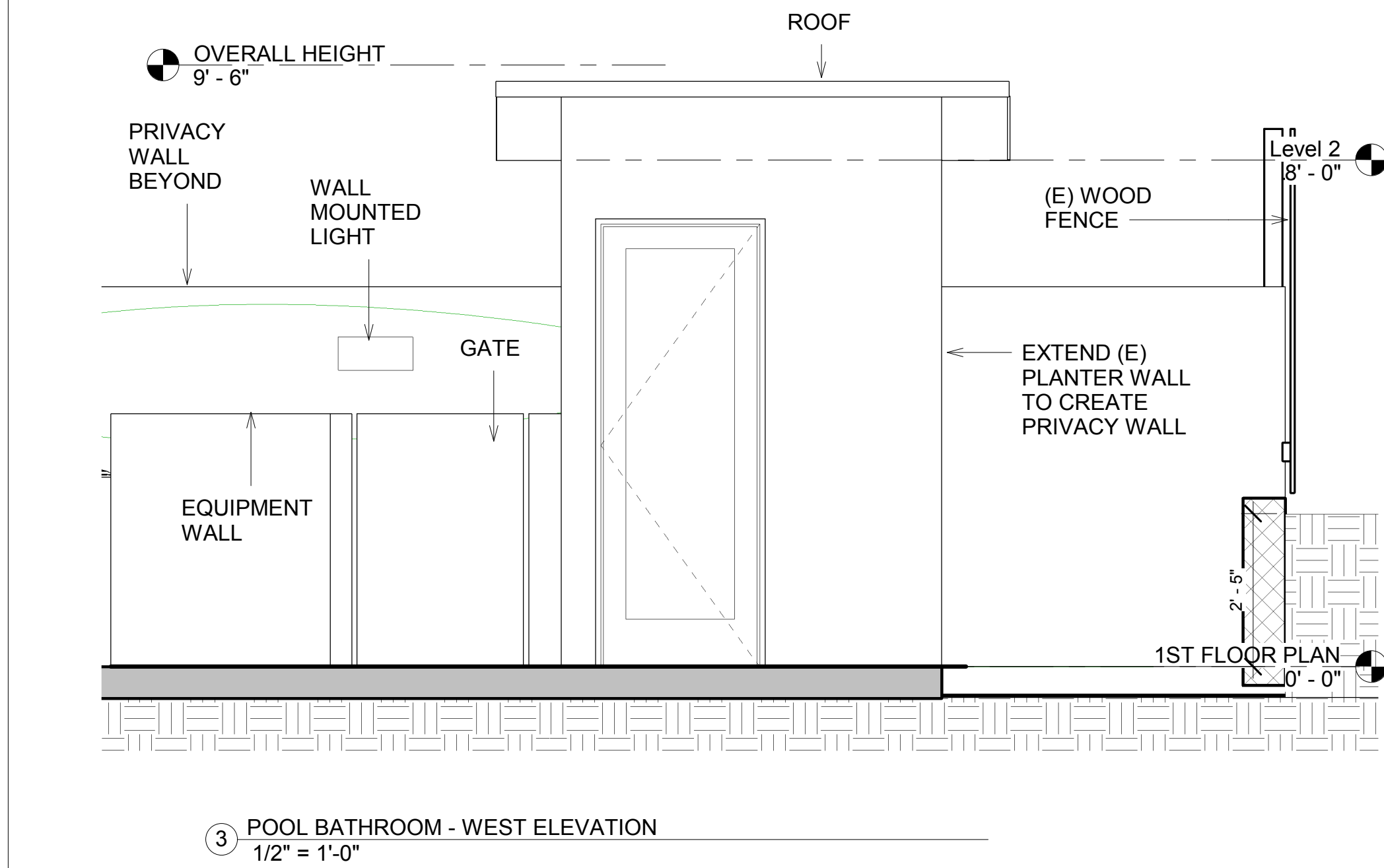
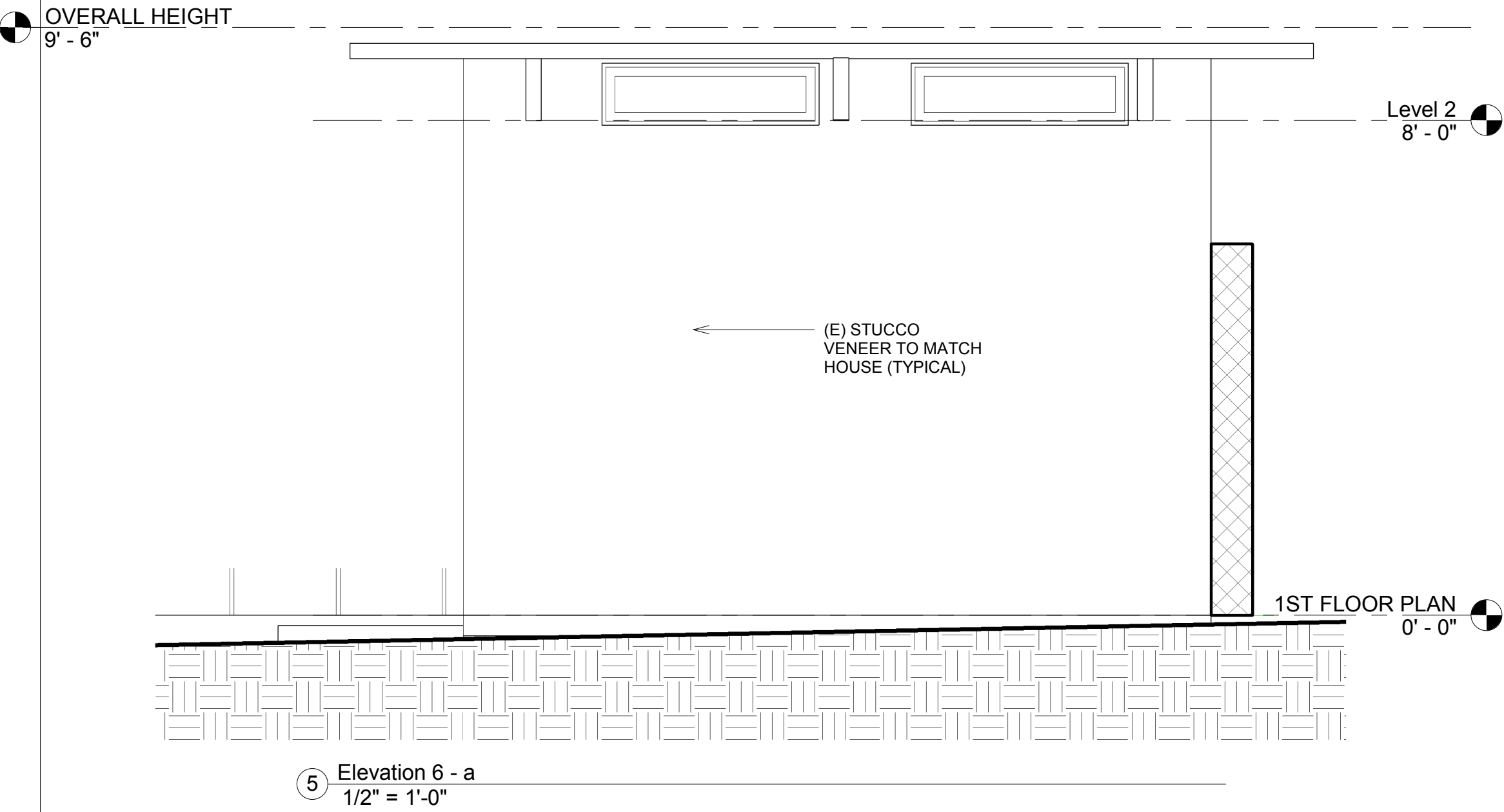
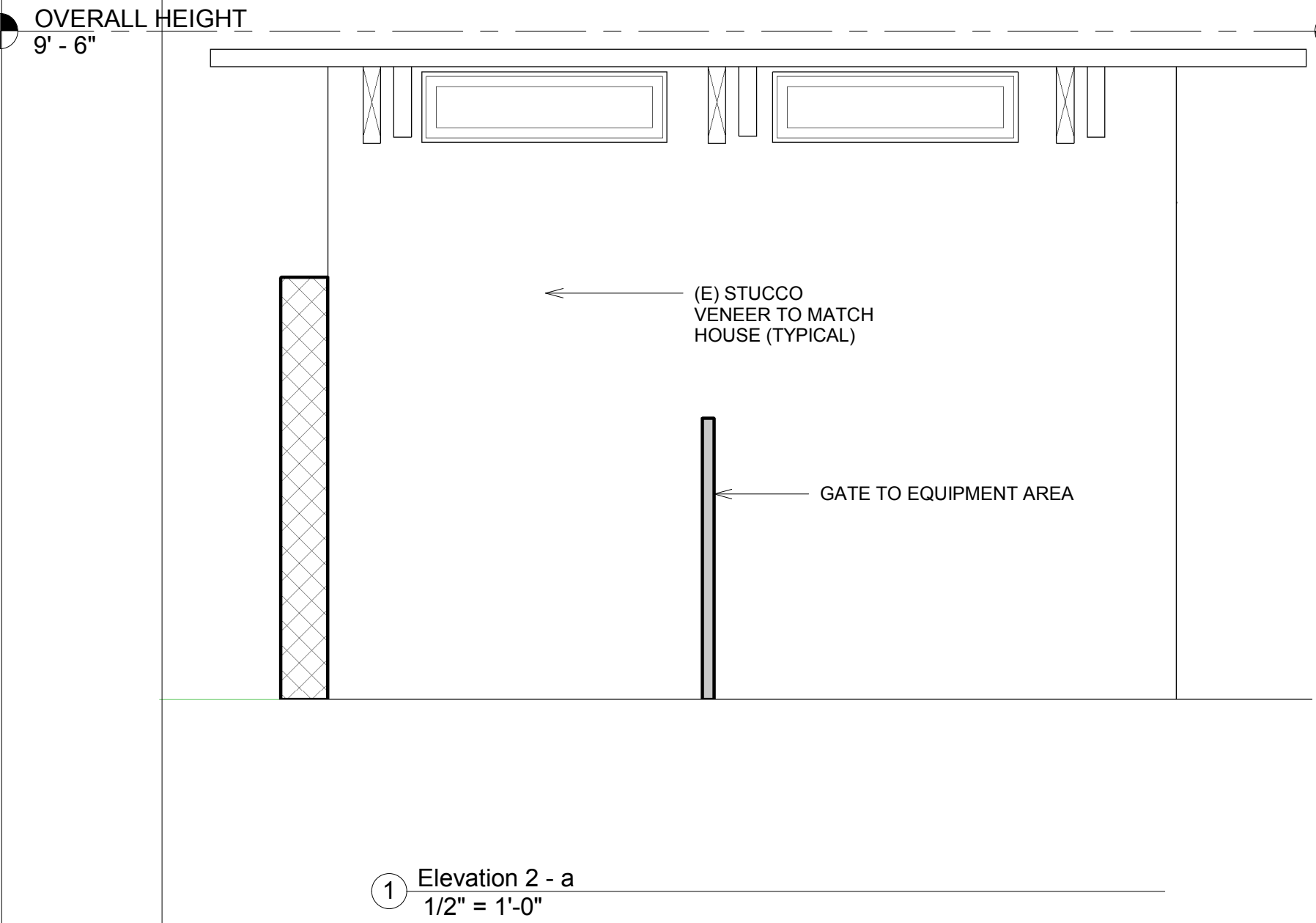
1325 SIMPSON WAY, SUITE
ESCONDIDO, CA 92029

CELLULAR
760.594.125

e-mail
curtis.gwa@att.net

SHEET	SHEET INFORMATION		FLOOR PLAN
	DRAWN BY:	Author	
	CHECKED	Checker	
	DATE:	Issue Date	
	SCALE:	AS	
	JOB	Project Number	
CAD FILE:			C:\Users\cursi\Documents\objects\2012\

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REVISION		DATE				
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232 MONARCH BAY
DANA POINT, CA 92629

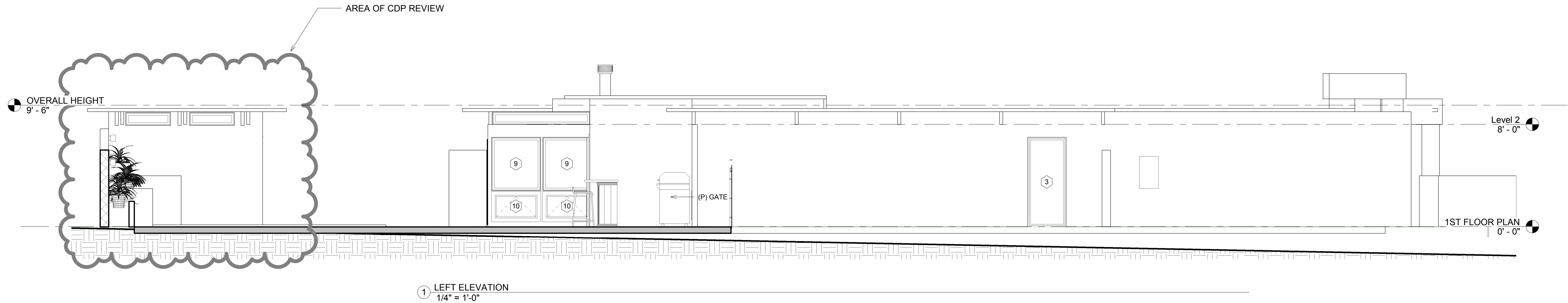
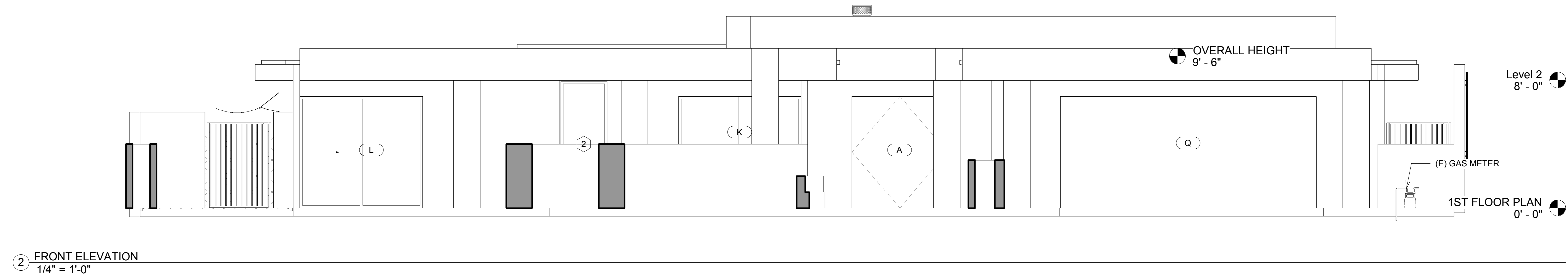
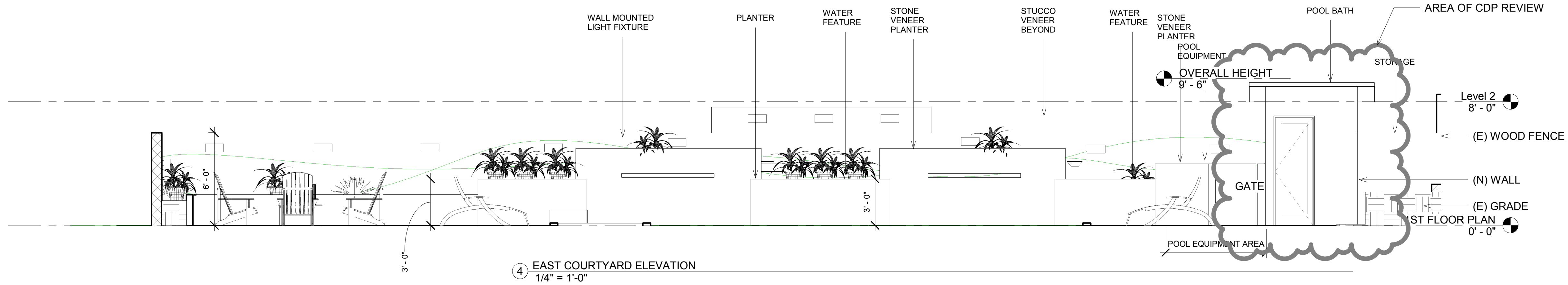
PROJECT DATA:

GRAND WEST ASSOCIATES, INC.
1325 SIMPSON WAY, SUITE
ESCONDIDO, CA 92029
CELLULAR
760.594.125

STUDIO
760.480.555

e-mail
curtis.gwa@att.net

SHEET INFORMATION: POOL BATHROOM	DRAWN BY: Author	CHECKED: Checker	DATE: Issue Date	SCALE: AS	JOB: Project Number	CAD FILE: C:\Users\curtis\Documents\92322 MONARCH BAY\92322 MONARCH BAY.dwg
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PLOT DATE: 2/20/2018 7:14:42 AM

SHEET INFORMATION: ELEVATIONS			
DRAWN BY:	Author	CHECKED:	Checker
DATE:	Issue Date	SCALE:	AS
JOB:	Project Number	CAD FILE:	Submittal/CDP/Revit/CDP

A-3

GRAND WEST ASSOCIATES, INC.

1325 SIMPSON WAY, SUITE
ESCONDIDO, CA 92029

CELLULAR

760.594.125

STUDIO

760.480.555

e-mail

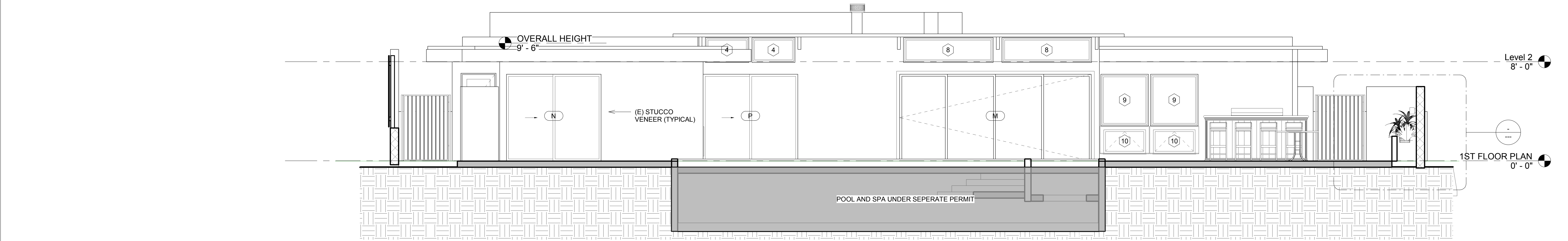
curtis.gwa@att.net

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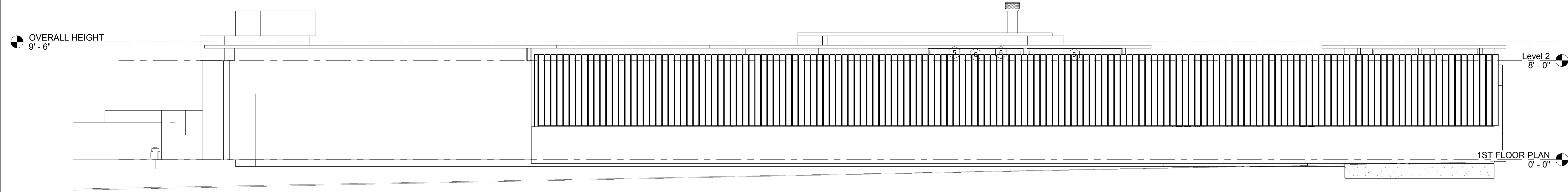
DURAND ANTONIO

232 MONARCH BAY
DANA POINT, CA 92629

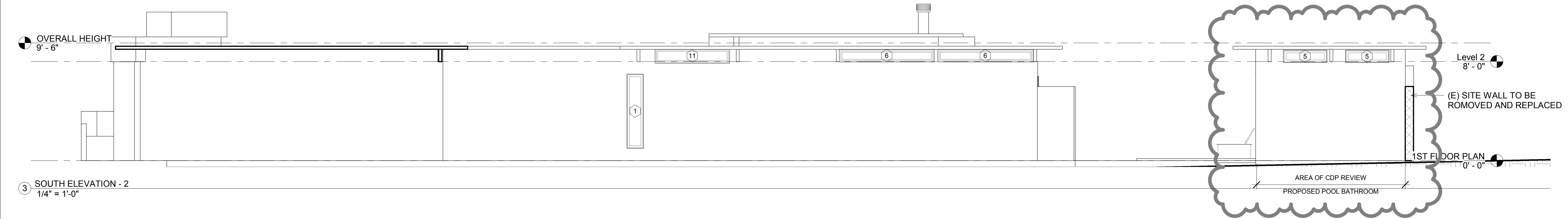
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1 REAR ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION W/ FENCE
1/4" = 1'-0"



3 SOUTH ELEVATION - 2
1/4" = 1'-0"

REVISION		DATE
#	DESCRIPTION	
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232 MONARCH BAY
DANA POINT, CA 92629

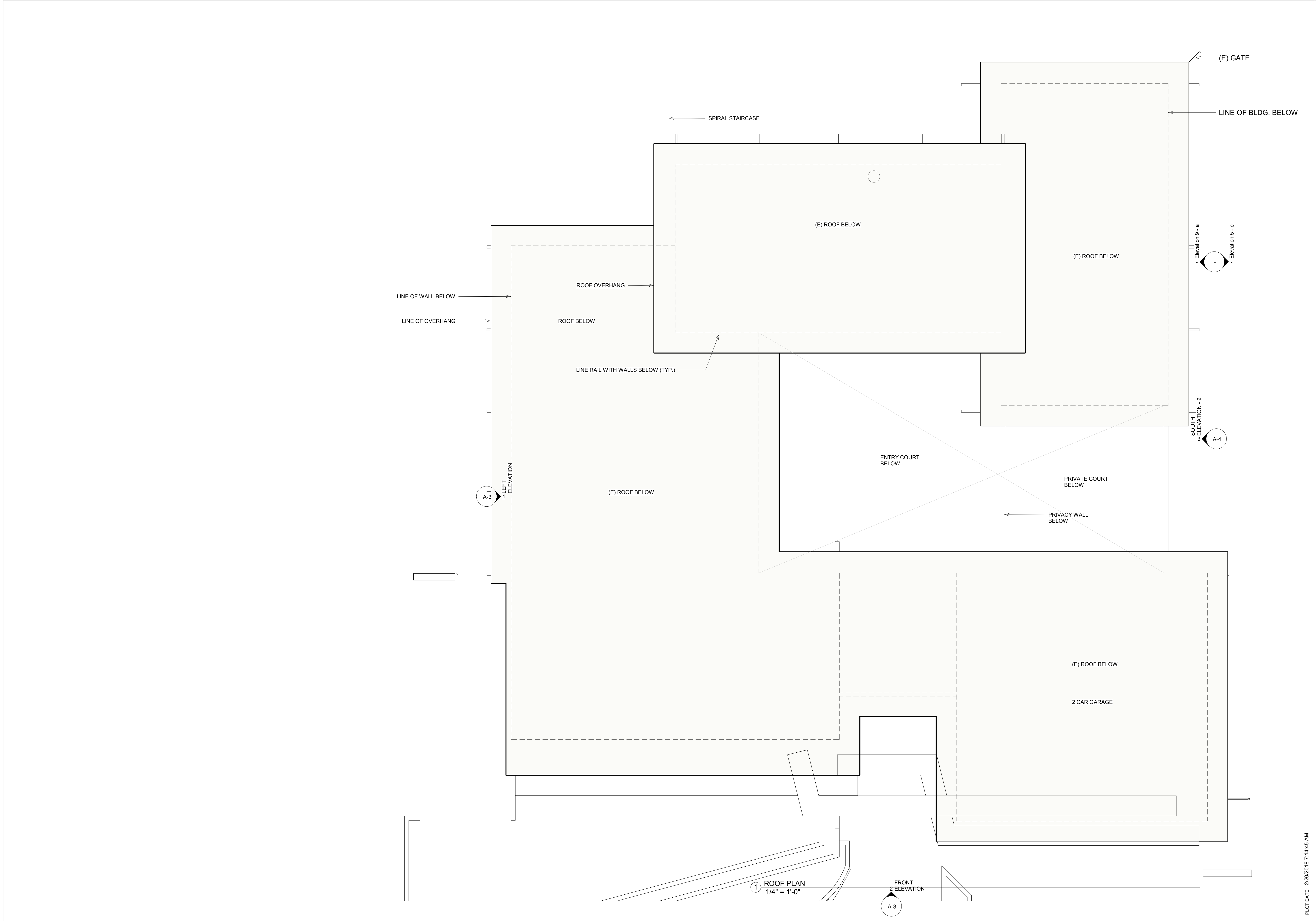
PROJECT DATA:

GRAND WEST ASSOCIATES, INC.
1325 SIMPSON WAY, SUITE
ESCONDIDO, CA 92029
CELLULAR
760.594.125
e-mail
curtis.gwa@att.net
STUDIO
760.480.555
C:\Users\curtis\Documents\gwa\232 MONARCH BAY\CDP

SHEET INFORMATION		ELEVATIONS	
DRAWN BY:	Author	CHECKED	Checker
DATE:	Issue Date	SCALE:	AS
JOB	Project Number	CAD FILE:	232 MONARCH BAY\CDP

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PLOT DATE: 2/20/2018 7:14:43 AM



PLOT DATE: 2/20/2018 7:14:45 AM

SHEET INFORMATION		ROOF PLAN	
DRAWN BY:	Author	CHECKED:	Checker
DATE:	Issue Date	SCALE:	AS
JOB:	Project Number	CAD FILE:	325-MONARCH-BAY
STUDIO		1325 SIMPSON WAY, SUITE 200 ESCONDIDO, CA 92029	
760.480.555		760.594.125	
curtis.gwa@att.net		curtis.gwa@att.net	

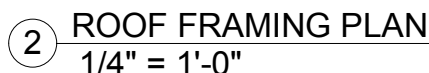
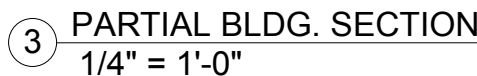
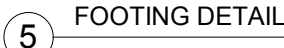
PROJECT DATA:	
GRAND WEST ASSOCIATES, INC.	
232 MONARCH BAY DANA POINT, CA 92629	

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A-5

GENERAL NOTES		REINFORCING STEEL NOTES		WOOD NOTES		SHEARWALL SCHEDULE						(0, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 & 13)																																			
1. ALL CONSTRUCTION INCLUDING MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE PROVISIONS OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) WITH THE AMENDMENTS OF THE GOVERNING AGENCY. 2. ALL ASTM STANDARDS LISTED HEREIN SHALL BE AS REFERENCED IN THE LATEST ISSUE OF THE ANNUAL BOOK OF STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS. 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/DESIGNER AND STRUCTURAL ENGINEER SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES. 4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER AND STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION. 5. IN CASE OF CONFLICT, THE STRUCTURAL DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER THE 'GENERAL NOTES' AND 'STANDARD DETAILS'. ALL TYPICAL DETAILS SHALL BE APPLICABLE UNLESS OTHERWISE NOTED ON THE PLANS. 6. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK. THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK. 7. WORKING DIMENSION SHALL NOT BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THESE STRUCTURAL DRAWINGS. 8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE ERECTION SHORING AND BRACING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. 9. PIPES, DUCTS, SLEEVES, OPENINGS, POCKETS, CHASES, BLOCK-OUTS, ETC. SHALL NOT BE PLACED IN SLABS, BEAMS, GIRDERS, COLUMNS, WALLS, FOUNDATIONS, ETC. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR SUCH ITEMS UNLESS SPECIFICALLY DETAILED ON THESE STRUCTURAL DRAWINGS. 10. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTIES. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE STRUCTURAL ENGINEER FREE AND HARMLESS FROM ALL CLAIMS, DEMANDS AND LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. 11. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF EXISTING UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR BEGINNING OF EXCAVATION. 12. IF ANY SUBSTITUTION OF MATERIAL IS PROPOSED BY THE CONTRACTOR, THE STRUCTURAL ENGINEER OF RECORD SHALL BE NOTIFIED IN ADVANCE PRIOR TO PROCEEDING WITH THE SUBSTITUTION. CALCULATIONS MAY HAVE TO BE PREPARED, THE DETAILS MAY HAVE TO BE ALTERED, AND NEW DRAWINGS MAY HAVE TO BE SUBMITTED TO THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL PAY THE STRUCTURAL ENGINEER FEES TO ALTER THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO PROCESS THE CHANGES AND/OR REVISIONS TO THE GOVERNING AGENCY. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.		1. NON-WELDED STEEL BAR REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60. WELDED STEEL BAR REINFORCING SHALL CONFORM TO ASTM A706. 2. DETAILS OF REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318-14 AND OTHER APPLICABLE CBC SECTIONS. 3. LAPS AT BAR SPLICES IN CONCRETE CONSTRUCTION SHALL BE AS SHOWN ON SHEET SD-1, 'CONCRETE LAP SPLICE TABLE', AND NOT LESS THAN 12 INCHES. 4. LAPS AT BAR SPLICES IN MASONRY CONSTRUCTION SHALL BE AS SHOWN ON SHEET SD-1, 'MASONRY LAP SPLICES TABLE', AND NOT LESS THAN 48 db. 5. VERTICAL REINFORCEMENT SHALL BE TIED OR OTHERWISE FIXED IN POSITION AT THE TOP AND BOTTOM AND AT INTERMEDIATE LOCATIONS, SPACED NOT GREATER THAN 192 BAR DIAMETERS (SEE DETAILS FOR OTHER REQ'TS). 6. WALLS, PILASTERS AND COLUMNS SHALL BE DOWELED TO THEIR SUPPORTING FOOTINGS WITH REINFORCEMENTS OF THE SAME SIZE, GRADE AND SPACING AS THE VERTICAL REINFORCEMENT IN THE WALLS, PILASTER, OR COLUMNS (U.N.O.). 7. BAR SUPPORTS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF 'BAR SUPPORT SPECIFICATIONS' AS CONTAINED IN THE LATEST EDITION OF THE 'MANUAL OF STANDARD PRACTICE' BY THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI). 8. REINFORCING STEEL DETAILING, BENDING, AND PLACING SHALL BE IN ACCORDANCE WITH THE CRSI 'MANUAL OF STANDARD PRACTICE'. 9. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE BEFORE PLACING CONCRETE OR GROUT. 10. WELDING OF CROSSING BARS AND TACK WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED. 11. CONTRACTOR SHALL SUBMIT REINFORCING STEEL SHOP DRAWINGS FOR REVIEW BEFORE FABRICATION AND INSTALLATION. 12. WELDING OF ALL REINFORCING STEEL TO STRUCTURAL STEEL SHALL BE LIMITED TO THOSE AREAS SPECIFICALLY SHOWN ON THE PLANS. ANY OTHER WELDING SHALL REQUIRE THE APPROVAL OF THE GOVERNING AGENCY, FIELD INSPECTOR, AND STRUCTURAL ENGINEER. 13. FLARE GROOVE WELDS SHALL, IN ADDITION, TO ALL SPECIFICATIONS LISTED ABOVE COMPLY WITH THE REQUIREMENTS OF THE 13TH EDITION OF THE 'MANUAL OF STEEL CONSTRUCTION – ALLOWABLE STRESS DESIGN'.		1. SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH (D.F.-L) CONFORMING TO THE 2016 CBC SECTION 2303.1 AND AFPA/AWC NDS-2015 NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION. 2. SAWN STRUCTURAL FRAMING MEMBERS SHALL BE AS FOLLOWS (U.N.O.): <table><tr><th>MEMBERS</th><th>GRADE</th></tr><tr><td>2x WALL STUDS @ 16"</td><td>D.F.-L #2</td></tr><tr><td>2x FLR JSTS & ROOF RFTRS</td><td>D.F.-L #2</td></tr><tr><td>BEAMS AND HEADERS (4x, 6x)</td><td>D.F.-L #1</td></tr><tr><td>POSTS (4x, 6x, 8x)</td><td>D.F.-L #1</td></tr></table> 3. ALL SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED (P.T.) D.F.-L. 4. ALL SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL HAVE ANCHOR BOLTS PER SHEARWALL SCHEDULE. ELSEWHERE, ANCHOR BOLTS SHALL HAVE MAXIMUM SPACING OF 60 " PLACED WITHIN 12" MAX. (4-1/2" MIN.) FROM EACH END OR SPLICE. MINIMUM 2 ANCHOR BOLTS REQUIRED FOR EACH SILL PLATE. 5. SILL PLATES OF INTERIOR, NON-BEARING, NON-SHEAR WALLS MAY BE FASTENED TO A CONCRETE SLAB USING HILTI 'X-2F12' LOW VELOCITY POWDER-ACTUATED FASTENERS PER ICC-ESR #1663. CONCRETE SLAB IS TO BE NORMAL WEIGHT CONCRETE AND CURED AT LEAST 7 DAYS. PLACE FASTENERS 6" FROM ENDS OF SILL AND AT 36" MAX. SPACING. 6. WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PS 1, DOC PS 2 OR ANSI/APA PRP 210. EACH PANEL SHALL BE IDENTIFIED FOR GRADE, BOND CLASSIFICATION, AND PERFORMANCE CATEGORY BY THE TRADEMARKS OF AN APPROVED TESTING AND GRADING AGENCY PER 2016 CBC SECTION 2303.1.5. THE MINIMUM GRADES AND SPAN INDEXES SHALL BE AS FOLLOWS: <table><tr><th>USE</th><th>MIN. GRADE</th><th>SPAN</th></tr><tr><td>ROOF SHEATHING</td><td>APA RATED SHEATHING, EXP. I</td><td>24" MIN.</td></tr><tr><td>FLOOR SHEATHING</td><td>APA RATED STURDI-FLOOR TAG</td><td>24" MIN.</td></tr><tr><td>WALL SHEATHING</td><td>PER SHEARWALL SCHEDULE, MIN. APA RATED SHEATHING, EXP. I</td><td>N/A</td></tr></table> 7. GLUED LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN ANSI/APA PRG 230 PER CBC SECTION 2303.1.4. EXTERIOR GLUE TO BE USED WITH INTENDED DRY USE CONDITION PER 2015 NDS. COMBINATIONS AND USES SHALL BE AS FOLLOWS: <table><tr><th>KEY</th><th>COMBINATION NO.</th><th>USE</th></tr><tr><td>24F-V4</td><td>EWS 24F-V4 DF/DF</td><td>SIMPLE SPAN</td></tr><tr><td>24F-V8</td><td>EWS 24F-V8 DF/DF</td><td>CONTINUOUS & CANTILEVERS</td></tr></table> 8. FOR STRUCTURAL GLUE-LAMINATED TIMBER MEMBERS, AN AITC CERTIFICATION OF CONFORMANCE OR A CERTIFICATE OF CONFORMANCE ISSUED BY A CURRENT ICC APPROVED QUALITY CONTROL AGENCY, SHALL BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION. THE MAXIMUM MOISTURE CONTENT OF THE LAMINATIONS AT TIME OF MANUFACTURE SHALL NOT EXCEED 16 % FOR DRY CONDITIONS OF USE. 9. LVL, PSL AND LSL ENGINEERED WOOD MEMBERS SHALL BE BY TRUSS JOISTS MAXIMILLIAN PER ICC-ESR #1387, MICROLAMLS, PARALLAMS AND TIMBERSTRAND, RESPECTIVELY. ALTERNATE MUST BE ICC-APPROVED AND REVIEWED BY STRUCTURAL ENGINEER. 10. FRAMING ANCHORS, POST CAPS, COLUMN BASES AND OTHER CONNECTORS SPECIFIED ON DRAWINGS SHALL BE AS MANUFACTURED BY 'SIMPSON STRONG-TIE' OR ENGINEER-APPROVED EQUAL. ALL CONNECTORS TO BE FULLY NAILED OR BOLTED AS SPECIFIED BY MANUFACTURER. 11. BARS AND PLATES SHALL CONFORM TO ASTM A36. BOLTS, UNLEADED BOLTS, WASHERS AND DRIFT BOLTS SHALL CONFORM TO ASTM A 307. 12. NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A 563, GRADE A. 13. ALL BOLT HEADS (MACHINE AND LAG) AND NUTS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS, U.N.O. 14. MACHINE BOLT (THRU BOLT) HOLES IN WOOD SHALL BE DRILLED MINIMUM 1/32" & MAXIMUM 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER.IA 15. LEAD HOLES FOR LAG SCREWS GREATER THAN 3/8" DIA. SHALL BE BORED AS FOLLOWS: 40% ± 70% OF THE SHANK DIAMETER AND A LENGTH EQUAL TO AT LEAST THE LENGTH OF THE THREADED PORTION. CLEARANCE HOLES FOR THE SHANK SHALL HAVE THE SAME DIAMETER AS THE SHANK AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK. LAG SCREWS SHALL BE INSERTED BY TURNING WITH A WRENCH, NOT BY DRILLING WITH A HAMMER. 16. NAILING OF SAWN WOOD MEMBERS SHALL CONFORM TO THE CBC TABLE 2304.10.1, U.N.O. ON STRUCTURAL DETAILS. 17. NAIL HOLES SHALL BE PRE-DRILLED WHEN NECESSARY TO PREVENT SPLITTING. 18. CUSTOM STEEL CONNECTORS FOR WOOD OR GLUE LAMINATED TIMBER SHALL BE FABRICATED FROM STEEL CONFORMING TO ASTM A 36. WELDS SHALL CONFORM TO THE REQUIREMENTS OF AWS D1.1. 19. DIAPHRAGM SHEATHING NAILS OR OTHER APPROVED SHEATHING CONNECTORS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING. 20. HORIZONTAL DIAPHRAGM NAILING SHALL CONFORM TO 2015 NDS TABLE 4.2C AND STRUCTURAL PANEL SHEAR WALLS SHALL CONFORM TO 2015 NDS TABLE 4.3A. NOMENCLATURE IS DEFINED AS FOLLOWS: B.N. = BOUNDARY NAILING AT DIAPHRAGM BOUNDARIES, E.N. = EDGE NAILING AT CONTINUOUS PANEL EDGES F.N. = FIELD NAILING AT INTERMEDIATE FRAMING MEMBERS 21. WHERE DIAPHRAGM BLOCKING IS SPECIFIED FOR ROOFS OR FLOORS, USE 2X4 FLAT BLOCKING WITH 'Z' CLIPS, U.N.O. 22. HORIZONTAL SHEATHING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS AND THE FACE GRAIN (LONG DIRECTION) OF SHEATHING SHALL BE PERPENDICULAR TO SUPPORT MEMBERS. 23. PROVIDE DOUBLE STUDS TO SUPPORT ALL BEAMS UNLESS POSTS ARE SPECIFIED ON THE PLANS. 24. PROVIDE DOUBLE BLOCKING UNDER ALL POSTS, DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS UNLESS OTHERWISE SPECIFIED. 25. TOP PLATES OF ALL WOOD STUD WALLS SHALL BE 2-2x (SAME STUD WIDTH), LAP 48" (MINIMUM) WITH AT LEAST 12-16d NAILS AT EACH SIDE OF LAP AND NOT MORE THAN 6" BETWEEN NAILS. 26. NOTCHING OF BEAMS OR JOISTS SHALL BE PERMITTED ONLY PER 2015 NDS SECTIONS 3.2.3 & 4.4.3. DETAILED AND APPROVED BY THE ENGINEER. HOLES DRILLED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOISTS, AND THE DIAMETER SHALL NOT EXCEED ONE THIRD THE DEPTH OF THE JOISTS. 27. MOISTURE CONTENT OF SAWN LUMBER AT TIME OF PLACEMENT SHALL NOT EXCEED 19%.		MEMBERS	GRADE	2x WALL STUDS @ 16"	D.F.-L #2	2x FLR JSTS & ROOF RFTRS	D.F.-L #2	BEAMS AND HEADERS (4x, 6x)	D.F.-L #1	POSTS (4x, 6x, 8x)	D.F.-L #1	USE	MIN. GRADE	SPAN	ROOF SHEATHING	APA RATED SHEATHING, EXP. I	24" MIN.	FLOOR SHEATHING	APA RATED STURDI-FLOOR TAG	24" MIN.	WALL SHEATHING	PER SHEARWALL SCHEDULE, MIN. APA RATED SHEATHING, EXP. I	N/A	KEY	COMBINATION NO.	USE	24F-V4	EWS 24F-V4 DF/DF	SIMPLE SPAN	24F-V8	EWS 24F-V8 DF/DF	CONTINUOUS & CANTILEVERS	SYMBOL						SHEAR (PLF)	MATERIAL & NAILING DESCRIPTION	ANCHOR BOLT SCHEDULE	MINIMUM BOTTOM NAILING PLATE	SHEAR TRANSFER RIM JST./BLK'G (SEE NOTE 13)
MEMBERS	GRADE																																														
2x WALL STUDS @ 16"	D.F.-L #2																																														
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						X* WHEN AN ASTERISK ACCOMPANIES THE SHEARWALL SYMBOL, SHEATHING IS TO BE CONTINUOUS THROUGH ADJACENT WALL FRAMING.						SHEARWALL SCHEDULE FOOTNOTES:																																			
						1. ANCHOR BOLTS MUST BE EMBEDDED 7" MIN. INTO NEW CONCRETE (U.N.O.). WHERE SHEARWALLS ARE TO BE ATTACHED TO EXISTING CONCRETE, 5/8" ø THREADED ROD ANCHORS SHALL BE EPOXIED WITH 5" MIN. EMBEDMENT INTO THE EXISTING FOOTINGS AT THE SPACING INDICATED IN THE ABOVE SCHEDULE. USE SIMPSON "SET" EPOXY, ICC-ESR-2508. (SPECIAL INSPECTION REQUIRED).						2. SILL PLATES TO BE ATTACHED USING A MINIMUM OF (2) ANCHOR BOLTS PER PIECE WITH ANCHOR BOLTS LOCATED 4 3/8" MIN. & 12" FROM EACH END.																																			
						3. ANCHOR BOLTS HOLES TO BE DRILLED 1/32" MAX. OVERSIZED.						4. FOUNDATION ANCHOR BOLTS IN ALL SHEARWALLS SHALL INCLUDE STEEL PLATE WASHERS, A MINIMUM OF 0.223 INCH THK BY 3 INCHES BY 3 INCHES IN SIZE, BETWEEN THE SILL PLATE AND NUT. THE HOLE IN THE PLATE WASHER IS PERMITTED TO BE DIAGONALLY SLOTTED WITH A WIDTH UP TO 3/16" LARGER THAN THE BOLT DIAMETER AND A LOT LENGTH NOT TO EXCEED 1 3/4", PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT. THE NUTS SHALL BE TIGHTENED JUST PRIOR TO COVERING WALL FRAMING.																																			
						5. USE DOUGLAS FIR NO. 2 PRESSURE TREATED SILL PALTES. ENGINEER TO BE NOTIFIED FOR RE-DESIGN IF OTHER SPECIES OF SILL PLATES ARE USED OR ARE PART OF THE EXISTING BUILDING.						6. WHERE NOTED, FRAMING AT FOUNDATION SILL PALTES, AND FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS, SHALL BE 3x NORMAL OR THICKER. ALL SILL PLATE AND SHEATHING NAILING SHALL BE STAGGERED.																																			
						7. SHEAR PANELS SHALL BE APPLIED DIRECTLY TO STUD FRAMING AT 16" ON CENTER, MAX.						8. WHERE SHEATHING PANELS ARE APPLIED ON BOTH FACES OF THE SHEARWALL, SHEATHING PANEL JOINTS SHALL OCCUR AT 3x NORMAL OR THICKER FRAMING MEMBERS. PANEL JOINTS ON EACH SIDE OF WALL SHALL BE STAGGERED.																																			
						9. ALL WOOD SHEATHING PANEL EDGES SHALL BE BLOCKED WITH MINIMUM 2x BLOCKING, UNLESS NOTED OTHERWISE.						10. SHEARWALLS WITH MORE THAN ONE VERTICAL PANEL IN HEIGHT SHALL HAVE EITHER VERTICAL OR HORIZONTAL STAGGERED SPLICED JOINTS.																																			
						11. ONLY COMMON NAILS ARE TO BE USED FOR ALL SHEATHING ATTACHMENT. NAILS GUNS USING "CLIPPED HEAD" OR "SINKER" NAILS ARE NOT ACCEPTABLE.						12. PROVIDE 3/8" MINIMUM EDGE DISTANCES FOR ALL SHEATHING AND FRAMING MEMBER EDGE NAILING.																																			
						13. STUCCO AND/OR EXTERIOR VENEER OVER WOOD SHEATHING SHEARWALL SHALL BE WATERPROOFED WITH A MINIMUM OF (2) LAYERS OF 15# FELT PAPER..																																									



1. FLOOR SHEATHING SHALL BE:
23/32" APA RATED STUDS-1 FLOOR, TAG, 24" O.C.
WITH 1/2" THICK EXPOSURE RESISTANT TOP SURF.
104 COMMON NAILS @ 6" O.C. B.N.
104 COMMON NAILS @ 6" O.C. S.N.
B.N. APPLIED TO ALL SUPPORTED PLYWOOD EDGES AT:
PLYWOOD EDGES, PERMETER WALLS &
& SHEARWALLS.
2. ALL POSTS SHALL BE DOUGLAS FIR LARCH #1, (U.N.O.)
3. ALL POSTS TO BEAM CONNECTIONS SHALL BE SIMPSON
(U.N.O.)
4. ALL BEAM TO TOP OF PLATE CONNECTIONS SHALL BE
SIMPSON 'A35' EACH SIDE (U.N.O.)
5. USE 2x6 D.F. #2 STUDS @ 16" O.C. FOR ALL BEARING
WALLS 10'-0" OR LESS IN HEIGHT.
6. PROVIDE "5/8x24" STRAP ACROSS ALL DISCONTINUOUS TOP
PLATE CONNECTIONS.
7. PROVIDE JOIST BRACING ALL INTERIOR WALLS &
GIRTS IN LENGTH. PROVIDE BLOCKING @ 1/3 SPANS
8. ALL SHEAR PANEL SHALL BE APPLIED DIRECTLY TO TOP
PRIOR TO INSTALLATION OF DECORATIVE POP-OUTS AND
TRIM.
9. SEE SHEETS S1 & S2 FOR STANDARD NOTES & DETAILS.

NOTE: THE ABOVE SPECIFICATIONS SHALL APPLY UNLESS
OTHERWISE NOTED ON THE DRAWINGS.

A. CONTINUOUS FOOTING

2-STORY - 15" W x 18" DP W/ 1-#5 T&E

1-STORY - 12" W x 18" DP W/ 1-#5 T&E

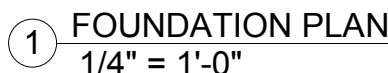
PAD FOOTINGS

F1 - 24" x 24" x 12" DP W/ 3-#5 EA. WAY

F2 - 30" x 30" x 12" DP W/ 3-#5 EA. WAY

F3 - 36" x 36" x 12" DP W/ 4-#4 EA. WAY

1.0	THE ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN IS 1,500 PSF PER TABLE 1806.2, CLASS 5 MATERIAL.	7.0	MAXIMUM ANCHOR BOLTS SPACING 48" O.C. ON NON-SHEARWALL.
2.0	THERE SHALL BE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE PIECE WITH ONE ANCHOR BOLT LOCATED A MINIMUM OF 4.3/8" AND A MAXIMUM OF 12" WITHIN EACH END OF EACH SILL PLATE PIECE.	8.0	THE MOISTURE BARRIER SHOULD BE PROPERLY LAPPED AND SEALED AT JOINTS AND AROUND ANY BREAKS SUCH AS OPENINGS FOR UTILITY CONDUTS.
3.0	USE 5/8" DIA. ANCHOR BOLTS WITH 7 INCHES EMBEDMENT (MIN.). PLATE WASHERS: MINIMUM OF 3" x 3" x .229" THK. SHALL BE USED ON EACH BOLT.	9.0	ALL DIMENSIONS SHALL BE VERIFIED WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED WITH ARCHITECT/DESIGNER.
4.0	ALL ANCHOR BOLTS, HOLDOWN ANCHORS AND DOWELS MUST BE IN PLACE PRIOR TO CALLING FOR FOUNDATION INSPECTION.	10.0	ALL HDU2 HOLDOWNS SHALL HAVE 2-2x6 POST AND SSTB1 ANCHOR BOLT, TYPE.
5.0	ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI.	11.0	PASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
6.0	CONCRETE SLAB SHALL BE A MINIMUM OF 4" THK. WITH #3 @ 18" O.C. BOTH WAYS IN THE CENTER. UNDERLAY WITH 7" CLEAN SAND OVERLAYING 10 MIL. VISQUEEN OVERLAYING ADDITIONAL 2" CLEAN SAND.	12.0	HORIZONTAL DISTANCE FROM BOTTOM LEADING EDGE OF FOOTING TO DAYLIGHT SHALL BE 7'-0" MINIMUM.
		13.0	NOTE: THE ABOVE SPECIFICATIONS SHALL APPLY UNLESS NOTED OTHERWISE ON THE DRAWINGS.
		15.0	SEE SHEETS S1 & S2 FOR STANDARD NOTES, SPECIFICATIONS AND DETAILS.



DURAID ANTONIE
232 MONARCH BAY
DANA POINT, CA 92629

PROJECT DATA:

GRAND WEST ASSOCIATES, INC.

STUDIO
760.480.555

1325 SIMPSON WAY, SUITE
ESCONDIDO, CA 92029

CELLULAR
760.594.125

e-mail
curtis.gwa@att.net

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