

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** FEBRUARY 26, 2018

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
BELINDA DEINES, SENIOR PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP17-0022 TO DEMOLISH AN EXISTING SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW 3,769 SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITHIN THE COASTAL ZONE AND SITE DEVELOPMENT PERMIT SDP17-0042(M) TO ALLOW ADDITIONAL HEIGHT FOR RETAINING WALLS VISIBLE FROM THE PUBLIC RIGHT-OF-WAY LOCATED AT 32502 ADRIATIC DRIVE

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**RECOMMENDATION:** That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP17-0022 and Site Development Permit SDP17-0042(M).

**APPLICANT:** Shawna and Allen Moznnett, Property Owners

**REPRESENTATIVE:** Ryan Singer, Designer

**REQUEST:** Approval of a Coastal Development Permit and a Minor Site Development Permit to construct a new single-family dwelling and exterior improvements including retaining walls on a property located within the City's Coastal Overlay District.

**LOCATION:** 32502 Adriatic Drive (APN 670-084-23)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on February 16, 2018, published within a newspaper of general circulation on February 16, 2018, and posted on February 23, 2018 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303(a) (Class 3 – New Construction) in that the project involves construction of one single-family dwelling in a residential zone.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP);
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP); and
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject site is a 19,420 square-foot lot located within Monarch Bay Terrace, a built-out neighborhood of single-family residences (Supporting Document 2). The site is bordered by single-family residential development. Currently, the site is improved with an existing one-story, 2,509 square-foot single family residence and an existing two-car garage at the street level. The property is zoned "Residential Single-Family 4" (RSF 4) and is designated Residential 7-14 du/ac in the City's General Plan Land Use Element. The property is located within the City's Coastal Overlay District (the California Coastal Zone) and outside the Appeals Jurisdiction of the California Coastal Commission.

**DISCUSSION:** The proposed scope of work involves demolition of the existing residence, and construction of a new one-story, 3,769 square-foot single-family residence and attached two-car garage. The total program consists of four bedrooms, four bathrooms, and an open concept kitchen, dining and living area. New pool/spa, landscape, and hardscape improvements are proposed throughout the site.

A Minor Site Development Permit is required for the height of retaining walls visible from the street. The applicant proposes to screen the walls with landscaping and add visual interest with stone veneer and steel materials. The retaining walls are proposed along the driveway and front entry stairs.

The neighborhood consists of single-story ranch-style homes that were originally built in the mid-1960s. Some homes have been renovated or reconstructed over the years, resulting in varied architectural styles throughout the area. The existing structure has not been identified as a historic resource. The proposed one-story design features sloped roof forms and variable exterior finishes which add interest and articulation which are compatible with neighboring properties. The proposed structure is proposed as a soft contemporary style with standing seam metal roofing, stone veneer, board and batten siding, smooth stucco, and metal architectural features.

New landscaping will be subject to compliance with DPZC Chapter 9.55 for Water Efficiency Landscape Requirements and Orange County Fire Authority fuel modification requirements for properties located within the Very High Fire Hazard Severity Zone.

Additional development standards for this property are set forth in the City's Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RSF-4 zone.

Table 1 summarizes applicable RSF-4 zoning designation development standards and the project's conformance with those requirements:

**Table 1: Compliance with RSF-4 Development Standards**

<b>Development Standard</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Compliant with Standard</b>
Front Setback	20 feet minimum	20'	Yes
Side Setbacks	5 feet minimum	6'-11"; 6'-3"	Yes
Rear Setback	25 feet minimum	59'	Yes
Height	24 feet maximum 2 stories	24' 2 stories	Yes
Lot Coverage	45% maximum	19.4%	Yes
Landscape Coverage	25% minimum	29.7%	Yes
Parking Required	2 garage parking spaces for five bedrooms	2 garage parking spaces	Yes

The project complies with all applicable development standards, including setbacks, parking, lot coverage, and height limits. No deviations are requested. The proposed project has been evaluated for general design compatibility and enhancement in compliance with DPZC Section 9.05.130.

**Coastal Development Permit CDP17-0022**

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, demolition and construction of a single-family residence on land located in the City's Coastal Overlay District requires approval of a Coastal Development Permit (CDP).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

- 1. Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
- 2. If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*

3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Recommended approval findings are set forth in the draft Resolution attached to this report as Action Document 1.

#### Site Development Permit SDP17-0042

Pursuant to DPZC Section 9.05.120(d)(3), retaining walls greater than 30 inches which will result in a grading fill condition and visible from a public right-of-way requires approval of a Site Development Permit (SDP). Retaining walls greater than 30 inches in height which face a public street or other public area shall be provided with a landscaped strip along the base of the wall with an adequate width of 2' minimum to accommodate mature plants to visually screen the wall.

DPZC Section 9.71.050 stipulates a minimum of four findings for approval of a SDP:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Recommended approval findings are set forth in the draft Resolution attached to this report as Action Document 1.

**CORRESPONDENCE:** On September 20, 2017, the project received approval from the Monarch Bay Terrace Property Owners Association. Staff has not received any additional correspondence regarding this project.

**CONCLUSION:** Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance, and Local Coastal Program. As the project has been found to comply with all standards of development and City's design guidelines staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 17-0022 and Site Development Permit 17-0042 subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 18-02-26-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Architectural Plans

## **RESOLUTION NO. 18-02-26-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP17-0022 AND SITE DEVELOPMENT PERMIT SDP17-0042 TO DEMOLISH AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW SINGLE-FAMILY DWELLING LOCATED WITHIN THE RESIDENTIAL SINGLE FAMILY 4 (RSF-4) ZONE LOCATED AT 32502 ADRIATIC DRIVE.**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Ryan Singer, Designer, (the “Representative”) has filed an application on behalf of Shawna and Allen Moznott (“Applicant”), the owners of real property commonly referred to as 32502 Adriatic Drive (APN 670-084-23) (the “Property”); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit and Site Development Permit to allow demolition of an existing single-family dwelling and construction of a new single-family dwelling, including additional height for retaining walls visible from the public right-of-way at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures); and

WHEREAS, the Planning Commission did, on the 26<sup>th</sup> day of February, 2018, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP17-0022 and Site Development Permit SDP17-0042.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP17-0012 and SDP17-0042 subject to the following conditions of approval:

Findings:

Coastal Development Permit CDP17-0022

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within an existing community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that it proposes the construction of one new single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses with little disturbance of existing natural landforms proposed and; in that the proposed development will be constructed in conformance with applicable regulations for geological and erosional forces, flood, and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.**

Site Development Permit SDP17-0042

8. That the site design is in compliance with the development standards of the Dana Point Zoning Code (DPZC) **in that pursuant to Section 9.05.120(d) of the Dana Point Zoning Code (DPZC), applications for retaining walls that are greater than thirty (30) inches from the top of the wall to finished grade may be permitted subject to the approval of a Site Development Permit (SDP). The overall design of the retaining wall will complement proposed site improvements and be architecturally compatible with the home, while maintaining vehicular and pedestrian access from the street to the main structure.**
9. That the site is suitable for the proposed use and development **in that the retaining walls provide necessary ingress/egress to the garage and main entry door. The proposed walls utilize a variety of materials, step back with the natural topography contours of the lot, and are screened with adequate mature landscaping from street view.**

10. That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines **in that the applicant's proposal is consistent with the City's General Plan and all applicable provisions of the Urban Design Guidelines in that the proposed improvements are not in conflict with any goals or policies of the General Plan.**
11. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, **in that the proposed improvements are appropriate for the site in that the new retaining walls have been designed utilizing a variety of materials and colors that are compatible with the main residence and provide visual interest. The proposed landscape planter areas provide screening for the proposed walls.**

Conditions:

General:

1. Approval of this application permits demolition of all existing site improvements and the construction of a new 3,769 square-foot single-family dwelling at 32502 Adriatic Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the

Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.

5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The project shall meet all water quality requirements.
8. A grading permit shall be obtained prior to any work including demolition activities.
9. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.

10. The Applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
11. The Applicant, Applicant's agent(s), or successor-in-interest, shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

**Prior to Issuance of a Grading Permit:**

12. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
13. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
14. The applicant shall submit a Hydrology and Hydraulic Study for the proposed sump pump. All drainage from the proposed pump shall be directed towards the street, through a dissipation system prior to outlet.
15. The applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
16. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
17. A performance bond shall be required for all grading activities up to 100% of the proposed improvements.
18. The applicant shall submit a separate Site Wall Plan, in compliance with City standards, for review and approval to the Building Division. The plan shall be in accordance with the current Building Division submittal guidelines.

**Prior to Issuance of a Building Permit:**

19. Building plan check submittal shall include sets of the following construction documents: building plans (4 sets), energy calculations (2 sets), structural calculations (2 sets), soils/geology report (3 sets), and drainage plan. All documents prepared by a registered design professional shall be wet-stamped and signed.
20. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building and landscape plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
21. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
22. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of a grading and drainage plan (and soils report if required) in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
23. The Applicant, or Applicant's agent(s), shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
24. The Applicant, or Applicant's agent(s), shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
25. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing

and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

**Prior to Final Approval of All Permits:**

26. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
27. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
28. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
29. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
30. All permanent best management practices, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
31. Public Works final approval will be required for all permits.
32. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
33. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 26<sup>th</sup> day of February, 2018 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Scott McKhann, Chairperson  
Planning Commission

ATTEST:

\_\_\_\_\_  
Ursula Luna-Reynosa, Director  
Community Development Department

## An aerial photograph of a residential neighborhood with property lines and addresses overlaid. A yellow polygon highlights a specific property. The map includes labels for 'Adriatic Drive', 'Mediterranean Drive', 'Caribbean Drive', and 'Sea Drive'. A green label 'MONARCH BAY TERRACE H.O.A.' is visible. The highlighted property is located between Adriatic Drive and Mediterranean Drive, and between Sea Drive and Caribbean Drive. The property number 32492 is visible within the highlighted area. Other property numbers visible include 32432, 32422, 32431, 32441, 32451, 32461, 32471, 32482, 32491, 32502, 32511, 32522, 32531, 32542, 32551, 32561, 32571, 32371, 32391, 32401, 32421, 32451, 32471, 32491, 32511, 32531, 32551, 32561, 32571, 32301, 32302, 323011, 323012, 323021, 323022, 323031, 323032, 323041, 323042, 323051, 323052, 323061, 323062, 323071, 323072, 323081, 323082, 323091, 323092, 323101, 323102, 323111, 323112, 323121, 323122, 323131, 323132, 323141, 323142, 323151, 323152, 323161, 323162, 323171, 323172, 323181, 323182, 323191, 323192, 323201, 323202, 323211, 323212, 323221, 323222, 323231, 323232, 323241, 323242, 323251, 323252, 323261, 323262, 323271, 323272, 323281, 323282, 323291, 323292, 323301, 323302, 323311, 323312, 323321, 323322, 323331, 323332, 323341, 323342, 323351, 323352, 323361, 323362, 323371, 323372, 323381, 323382, 323391, 323392, 323401, 323402, 323411, 323412, 323421, 323422, 323431, 323432, 323441, 323442, 323451, 323452, 323461, 323462, 323471, 323472, 323481, 323482, 323491, 323492, 323501, 323502, 323511, 323512, 323521, 323522, 323531, 323532, 323541, 323542, 323551, 323552, 323561, 323562, 323571, 323572, 323581, 323582, 323591, 323592, 323601, 323602, 323611, 323612, 323621, 323622, 323631, 323632, 323641, 323642, 323651, 323652, 323661, 323662, 323671, 323672, 323681, 323682, 323691, 323692, 323701, 323702, 323711, 323712, 323721, 323722, 323731, 323732, 323741, 323742, 323751, 323752, 323761, 323762, 323771, 323772, 323781, 323782, 323791, 323792, 323801, 323802, 323811, 323812, 323821, 323822, 323831, 323832, 323841, 323842, 323851, 323852, 323861, 323862, 323871, 323872, 323881, 323882, 323891, 323892, 323901, 323902, 323911, 323912, 323921, 323922, 323931, 323932, 323941, 323942, 323951, 323952, 323961, 323962, 323971, 323972, 323981, 323982, 323991, 323992, 324001, 324002, 324011, 324012, 324021, 324022, 324031, 324032, 324041, 324042, 324051, 324052, 324061, 324062, 324071, 324072, 324081, 324082, 324091, 324092, 324101, 324102, 324111, 324112, 324121, 324122, 324131, 324132, 324141, 324142, 324151, 324152, 324161, 324162, 324171, 324172, 324181, 324182, 324191, 324192, 324201, 324202, 324211, 324212, 324221, 324222, 324231, 324232, 324241, 324242, 324251, 324252, 324261, 324262, 324271, 324272, 324281, 324282, 324291, 324292, 324301, 324302, 324311, 324312, 324321, 324322, 324331, 324332, 324341, 324342, 324351, 324352, 324361, 324362, 324371, 324372, 324381, 324382, 324391, 324392, 324401, 324402, 324411, 324412, 324421, 324422, 324431, 324432, 324441, 324442, 324451, 324452, 324461, 324462, 324471, 324472, 324481, 324482, 324491, 324492, 324501, 324502, 324511, 324512, 324521, 324522, 324531, 324532, 324541, 324542, 324551, 324552, 324561, 324562, 324571, 324572, 324581, 324582, 324591, 324592, 324601, 324602, 324611, 324612, 324621, 324622, 324631, 324632, 324641, 324642, 324651, 324652, 324661, 324662, 324671, 324672, 324681, 324682, 324691, 324692, 324701, 324702, 324711, 324712, 324721, 324722, 324731, 324732, 324741, 324742, 324751, 324752, 324761, 324762, 324771, 324772, 324781, 324782, 324791, 324792, 324801, 324802, 324811, 324812, 324821, 324822, 324831, 324832, 324841, 324842, 324851, 324852, 324861, 324862, 324871, 324872, 324881, 324882, 324891, 324892, 324901, 324902, 324911, 324912, 324921, 324922, 324931, 324932, 324941, 324942, 324951, 324952, 324961, 324962, 324971, 324972, 324981, 324982, 324991, 324992, 325001, 325002, 325011, 325012, 325021, 325022, 325031, 325032, 325041, 325042, 325051, 325052, 325061, 325062, 325071, 325072, 325081, 325082, 325091, 325092, 325101, 325102, 325111, 325112, 325121, 325122, 325131, 325132, 325141, 325142, 325151, 325152, 325161, 325162, 325171, 325172, 325181, 325182, 325191, 325192, 325201, 325202, 325211, 325212, 325221, 325222, 325231, 325232, 325241, 325242, 325251, 325252, 325261, 325262, 325271, 325272, 325281, 325282, 325291, 325292, 325301, 325302, 325311, 325312, 32

MONARCH BAY TERRACE H.O.A.

**SUBJECT  
PROPERTY**

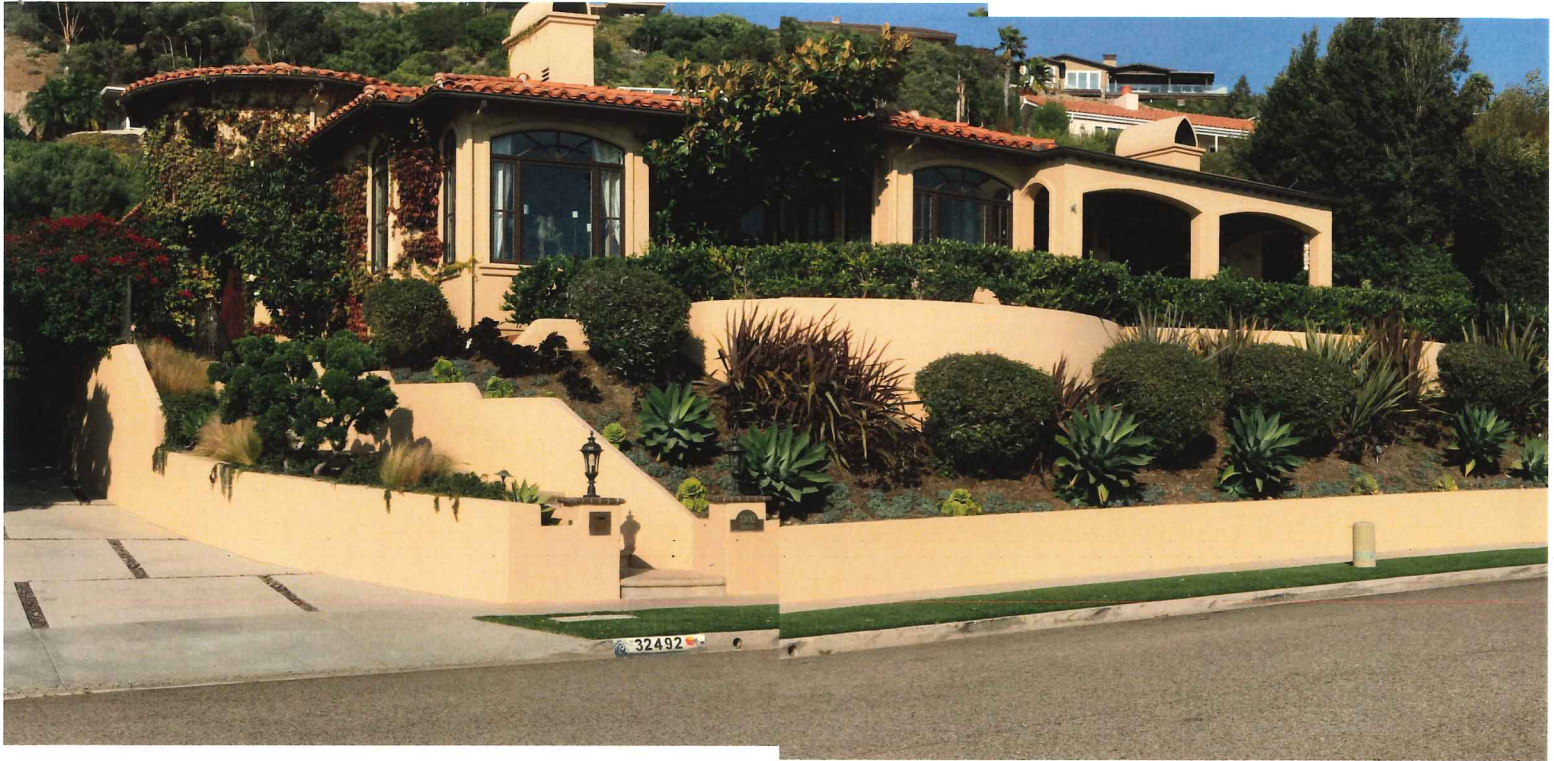


**FRONT ELEVATION OF  
SUBJECT PROPERTY**

**MOZNETT RESIDENCE  
32502 ADRIATIC DR**

**1 of 6**

**SINGER**



**FRONT ELEVATIONS OF  
ADJACENT PROPERTIES**



**MOZNETT RESIDENCE  
32502 ADRIATIC DR**

**SINGER**

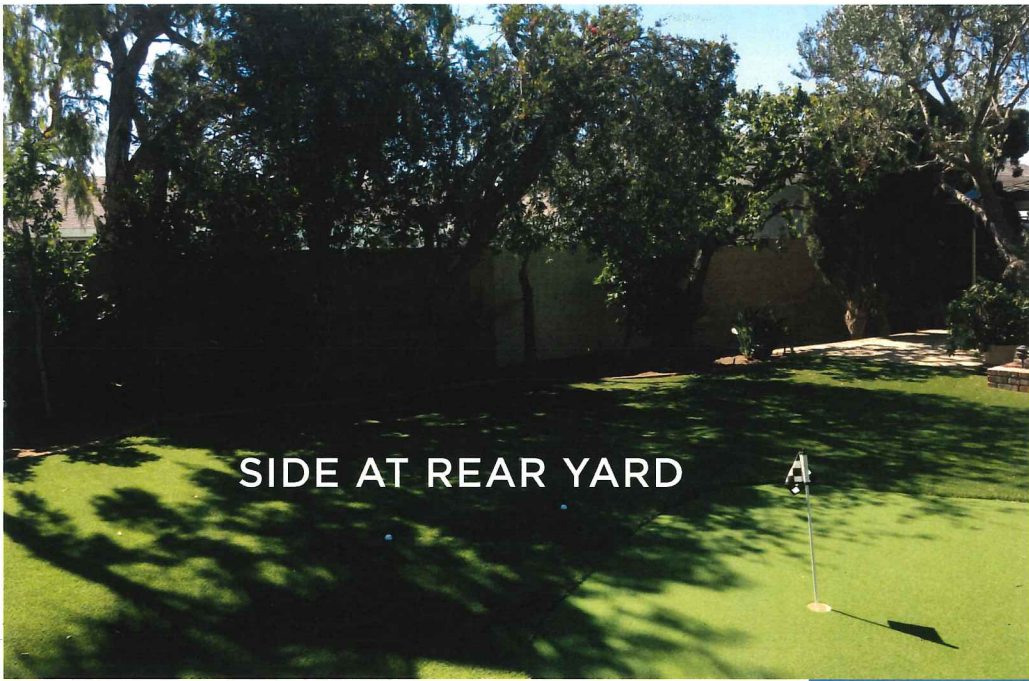


**FRONT ELEVATION DIRECTLY  
ACROSS THE STREET**

**MOZNETT RESIDENCE  
32502 ADRIATIC DR**

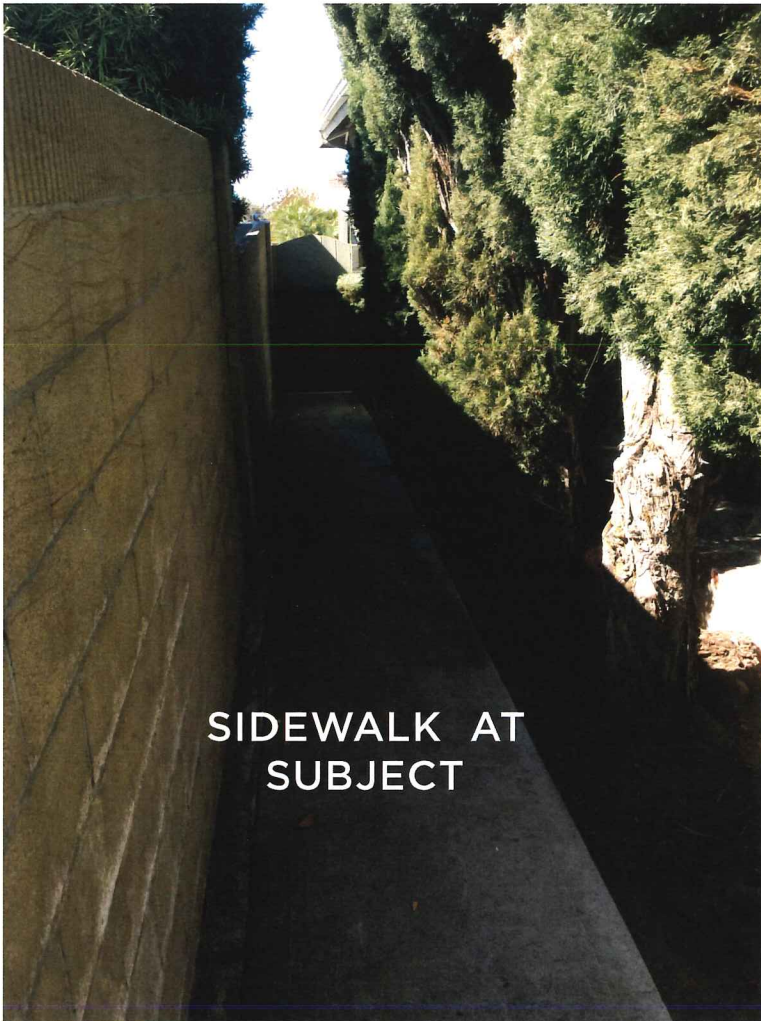
**3 of 6**

**SINGER**

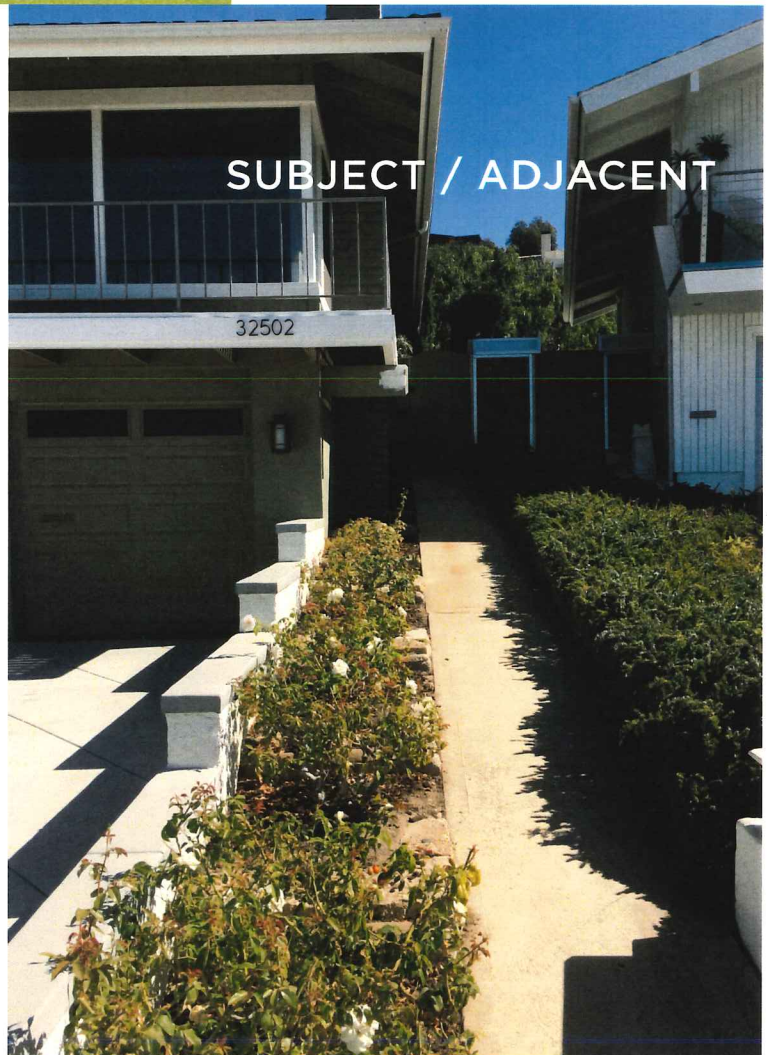


SIDE AT REAR YARD

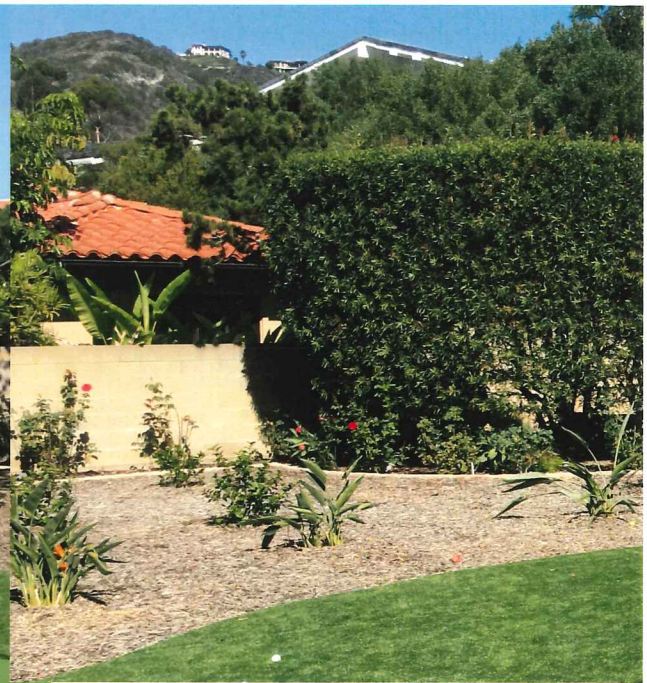
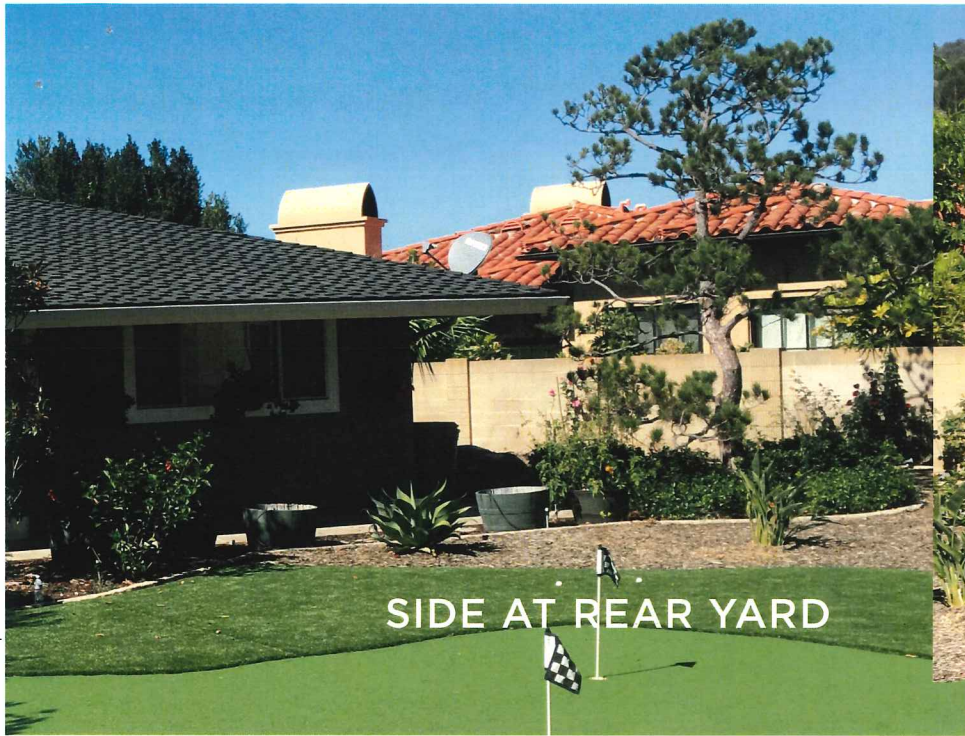
SIDE ELEVATIONS OF  
ADJACENT  
PROPERTIES (SOUTH)



SIDEWALK AT  
SUBJECT



SUBJECT / ADJACENT



## SIDE ELEVATIONS OF ADJACENT PROPERTIES (NORTH)

**MOZZETT RESIDENCE**  
32502 ADRIATIC DR

5 of 6

**SINGER**



**REAR ELEVATION OF SUBJECT  
PROPERTY**



**MOZNETT RESIDENCE  
32502 ADRIATIC DR**

**6 of 6**

**SINGER**

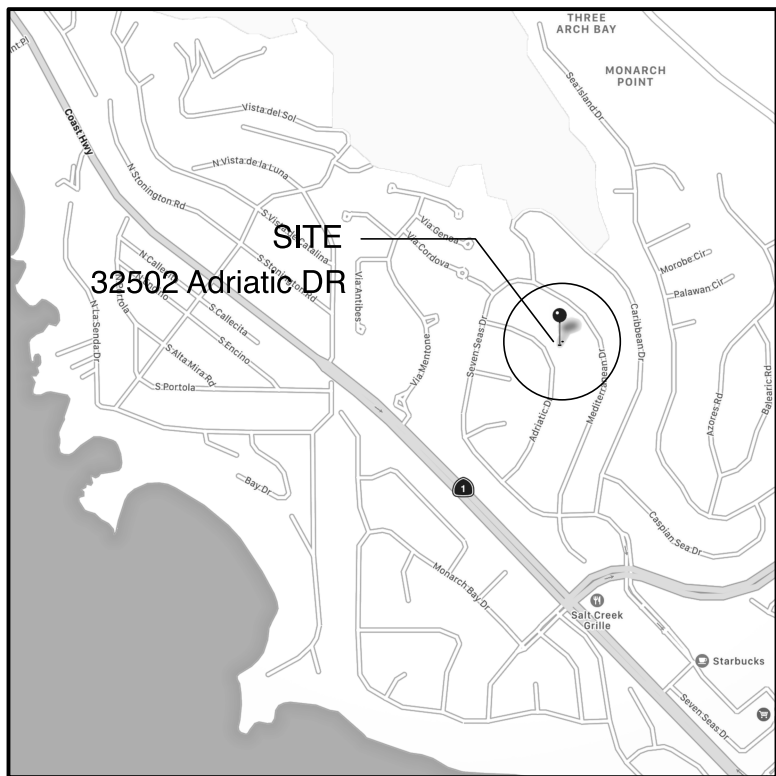
PROJECT INFORMATION TABLES				
ZONING STANDARDS				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	CONFORMS (yes/no)
USE	RSF 4			
ZONE/PRD	NOT IN ZONE			
SPECIFIC PLAN	NOT IN SP			
LOT SIZE	6700 SF	19,420 SF		YES
LOT WIDTH	50'	±80'		YES
LOT DEPTH	75'	±185'		YES
MAX. LOT COVERAGE	45%	13.25%	19.4%	YES
MAX. BUILDING HEIGHT	MAX 28'	266.24' <small>(Max 270.24' above finish point 242.24')</small>	266.24' <small>(Max 270.24' above finish point 242.24')</small>	YES
Lot Slope %	29.7%	29.7%	29.7%	
Max. # of stories	2	2	2	YES
Roof Slope		4:12	mixed 3.25 : 12, Min 2%	YES
FLOOR AREA RATIO				
SETBACKS:				
Front Yard	20'	21'	20'	YES
Side Yard (L)	5'	14'-2"	6'-11"	YES
Side Yard (R)	5'	6'-3"	6'-3"	YES
Rear Yard	25'	112'	59'	YES
OPEN SPACE				
LANDSCAPE AREA	25%	14,176 SF 73%	9508 SF 49.5%	YES
IRRIGATED LANDSCAPE AREA		Project Must comply with DPMC 9.55 on Water Efficiency based on size		
PARKING	2 CAR GARAGE	2	2	YES
PROJECT DATA				
DESCRIPTION	EXISTING	PROPOSED	TOTAL	REMODEL
FLOOR AREA:				
LOWER LEVEL	GAR - 824.39 SF	GAR - 18.63 SF	GAR - 843.02 SF	
UPPER LEVEL	2509.8 SF	1,259.44 SF	3769.24 SF	
GROSS FLOOR AREA				
GARAGE	824.39 SF	GAR - 18.63 SF	GAR - 843.02 SF	
ELEVATED DECK/TERRACE		N/A	263 SF	
MECHANICAL				
IMPERVIOUS SURFACES	LOT AREA		% OF LOT AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED
STRUCTURE	2,509.8	3,855	12.9%	19.8%
HARDSCAPE (w/ DRIVEWAY)	2,643.2	5,633	13.6%	29%
TOTAL	5153	9,488	26.5%	48.8%
DEMOLITION (LINEAR FT.)	EXISTING	REMOVED	REMAINING	DEMO TOTAL %
EXTERIOR WALLS	235	230	5 (CHIMNEY)	97.8%
INTERIOR WALLS	180	180	0	100%
TOTAL WALLS	415	410	5	



# MOZNETT RESIDENCE

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED OTHERWISE
2. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK
3. RYAN SINGER DESIGN SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.
4. ANY AREAS INDICATED ON THIS SHEET ARE APPROXIMATE AND INDICATIVE ONLY.ALL WORK SHALL CONFORM TO THE
5. 2016 CBC, CMC, CPC, CRC and CEC as AMENDED BY CITY ORDINANCE AND THE 2016 TITLE 24 ENERGY REGULATIONS.
6. TYPE VB CONSTRUCTION

## VICINITY MAP



## LEGEND

BW	BACK WALL
FF	FINISH FLOOR
FL	FLOW LINE
FS	FINISH SURFACE
GFF	GARAGE FINISH FLOOR
NG	NATURAL GRADE
RC	ROOF CORNER
SCO	SEWER CLEANOUT
TBM	TEMPORARY BENCHMARK
TC	TOP CURB
TOP	TOP OF PARAPET
TOR	TOP OF ROOF
TW	TOP WALL
WM	WATER METER
WV	WATER VALVE

————	BUILDING NEW.
— — — —	OLD BUILDING & OLD STAIRS
————	DESIGN - LANDSCAPE
	PROPERTY LINE
— — — —	SECTION
- - - - -	SETBACK & SETBACKS

## PROJECT NOTES

This Project is in **VHFSHZ** and Construction shall comply with **CBC CHAPTER 7A & DPMC**.

This project shall comply Standards of Quality (CBC 703A), Ignition-Resistant Construction (CBC 704A), Roofing (CBC 705A), Vents (CBC 706A), Exterior Covering (CBC 707A), and Exterior Windows (CBC 708A).

### FIRE SPRINKLERS ARE REQUIRED

Separate permits are required for accessory building, landscape, patio covers, fences, swimming pool, retaining walls, demolition, etc.

All Construction Shall Comply To The Following:  
2016 California Building Code, 2016 California Mechanical Code, 2016 California Plumbing Code,  
2016 California Electrical Code, 2016 Ca. T-24 Energy Conservation Regulations, and DPMC.

PAD HEIGHT ELEVATION AT LOWER LEVEL 242.24'

(for HOA, Pad Height Elevation Recorded @ 251.36')

## PROJECT TEAM

**SHAWNA & ALLEN MOZNETT**  
949 933 3720 amoznett@gmail.com  
25222 Bentwood Laguna Niguel, CA 92677

**SINGER**  
949 445 1101 ryan@singer.design  
29422 Vista Plaza Dr. Laguna Niguel, CA 92677

**YAGHI ENGINEERS**  
714 997 9120 fsllim@yaghiengineers.com  
112 E Chapman Ave Ste D Orange Ca 92666

**TOAL ENGINEERING**  
949 492 8586 VMeum@toalengineering.com  
139 Avenida Navarro San Clemente, CA 92672

**BORELLA GEOLOGY**  
949 494 3566 borellageology@yahoo.com  
1617 Hillcrest Drive Laguna Beach CA 92651

**ANNEMARIE HALL DESIGN**  
949 636 4003 annemariehalldesign@gmail.com  
25141 Via Bajo Cerro Laguna Niguel, CA 92677

CLIENT

DESIGNER

ENGINEER

CIVIL

GEOLOGY

LANDSCAPE

## PROJECT SUMMARY

PROJECT ADDRESS: 32502 Adriatic Dr  
LEGAL DESCRIPTION: Lot: 37 ; Tract No: 3845

GP  
ZONING: DETACHED RESIDENTIAL  
TRACT: RSF 4  
LOT: 3845  
APN: 37  
670-084-23

SETBACKS  
FRONT TO RESIDENCE 20'  
SIDES 5' EACH SIDE  
REAR 25  
266.36' MAX HEIGHT (15' ABV PAD EL. 251.36')  
2 ENCLOSED

PROJECT DESCRIPTION  
Demolish (E) Single Family only (excluding garage and fireplace)  
  
(P) PROPOSED CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE IN THE RESIDENTIAL SINGLE FAMILY 4 (RSF 4) ZONE AND (E) ATTACHED TWO-CAR GARAGE

DESIGN CRITERIA  
Climate Zone: 6  
Seismic Zone: D/E  
Roof Drain Design: 3" rainfall per hour  
Wind Exposure: C  
Wind Speed: 110 MPH

BUILDING CODES  
All Work shall conform to the 2016 CEC, CMC, CPC, CEC, CGBS , CEES and as amended by City of Dana Point regulations and Ordinances.

## PROJECT SCOPE

LOT SIZE 19588 SF  
PROPOSED AREA 3769 SF  
2 STORY  
2 CAR GARAGE  
4 BEDROOM 3 1/2 BATH  
POOL ANS SPA

## INDEX

00	GENERAL SURVEY
AB1	EXISTING SITE PLAN
AB2	EXISTING GARAGE PLAN
AB3	EXISTING ENTRY PLAN
AB4	FRONT AND LATERAL ELEVATION
AB5	SECTION
A1	SITE
A1.1	ROOF PLAN
A2	PLAN @GARAGE LEVEL
A3	PLAN @ ENTRY LEVEL
A4	ELEVATIONS
A5	ELEVATIONS
A6	SECTIONS
A7	SECTION (LANDSCAPE AREAS)

CONSULTANTS LANDSCAPE	
L1.00	HARDSCAPE SCHEDULE & NOTES
L1.01	HARDSCAPE PLAN
L3.00	PLANTING SCHEDULES
LX.01	AREA CALCULATIONS

TOTAL 19 SHEETS

CONDITION OF APPROVAL  
TITLE SHEET

00

MOZNETT RESIDENCE  
32502 Adriatic Dr  
Monarch Beach, CA

CDP & MINOR SITE

1 - R1 DEC/12

SINGER

Revision  
http://singerdesign 949 445 1101

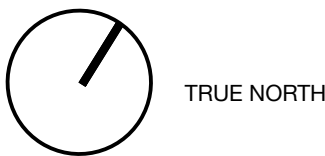
Submital

Project

Title

Sheet

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6. TYPE VB CONSTRUCTION

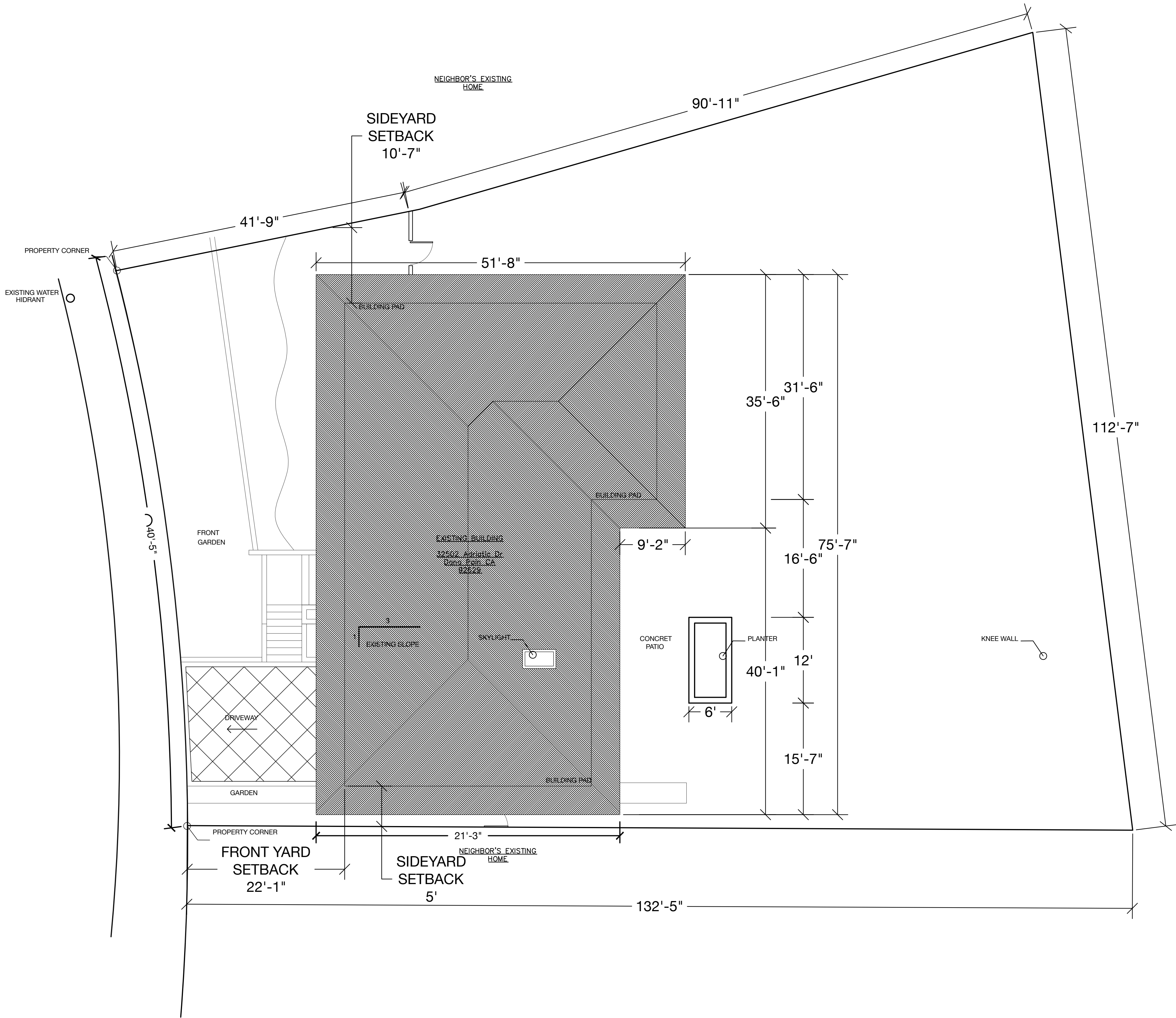


SCALE: 1/8"=1'-0"

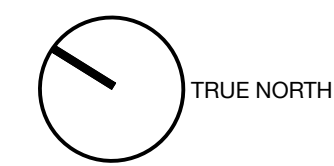
SITE PLAN

1

ADRIATIC DR



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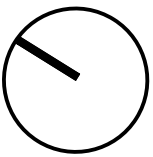
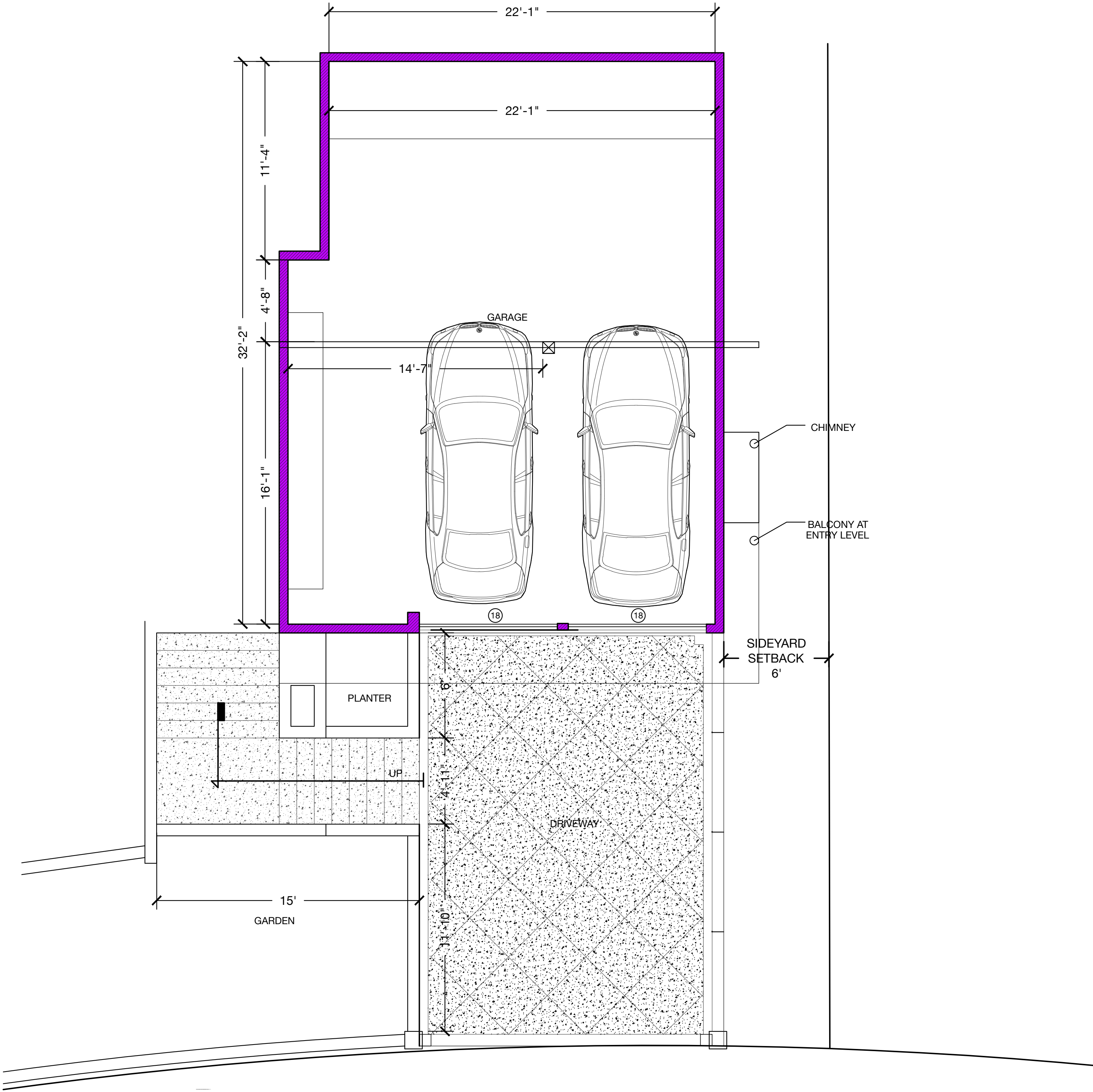
EXISTING ENTRY LEVEL

SCALE: 1/4"=1'-0"

1



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TRUE NORTH

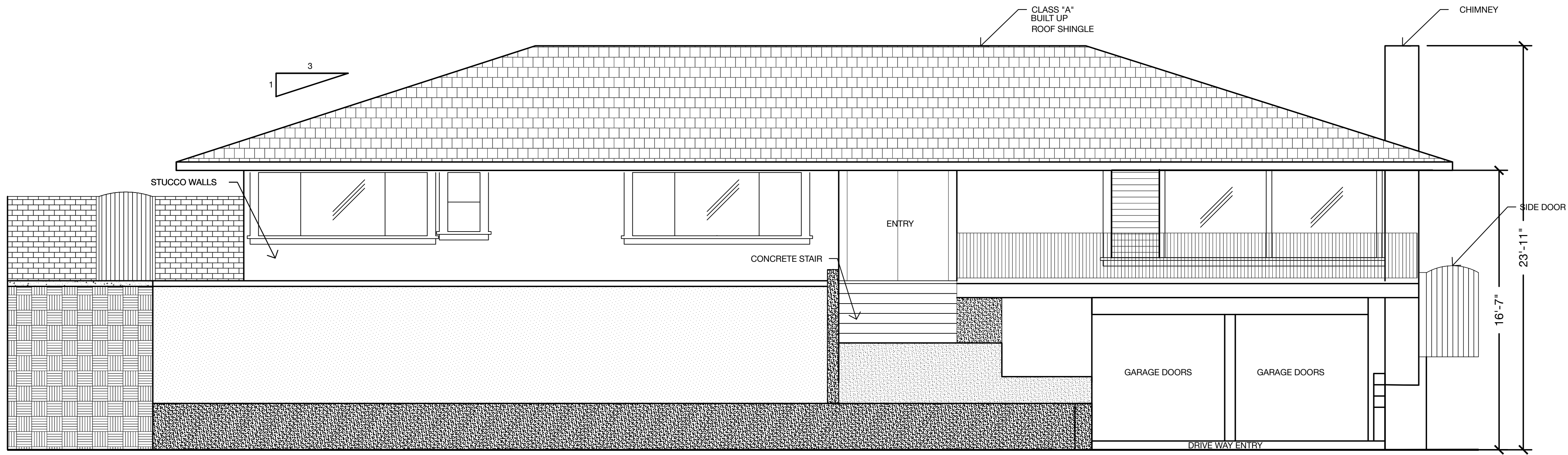


PROJECT NORTH

SCALE: 1/4"=1'-0"

GARAGE LEVEL

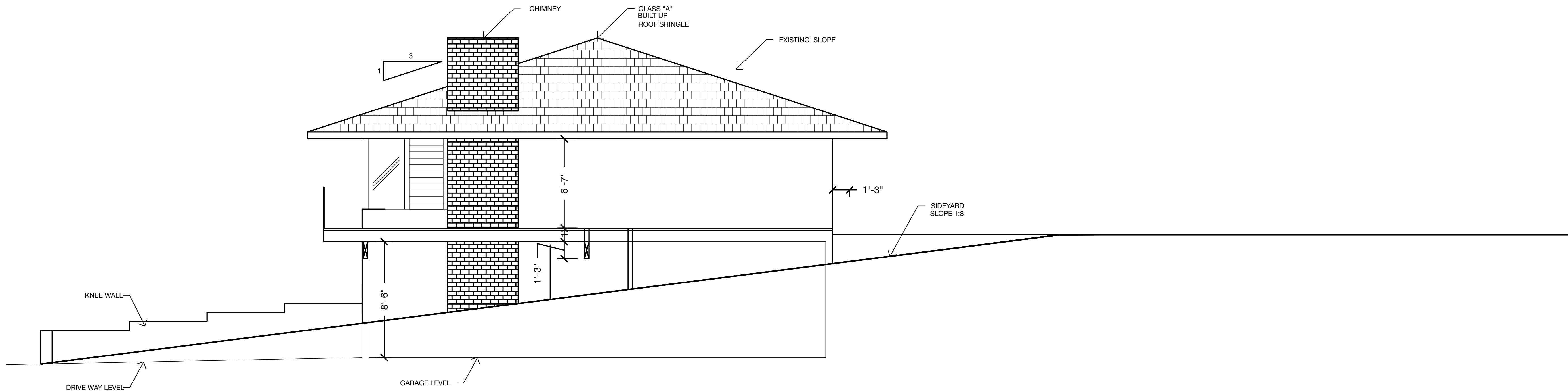
1



FRONT VIEW

SCALE: 1/4"=1'-0"

2

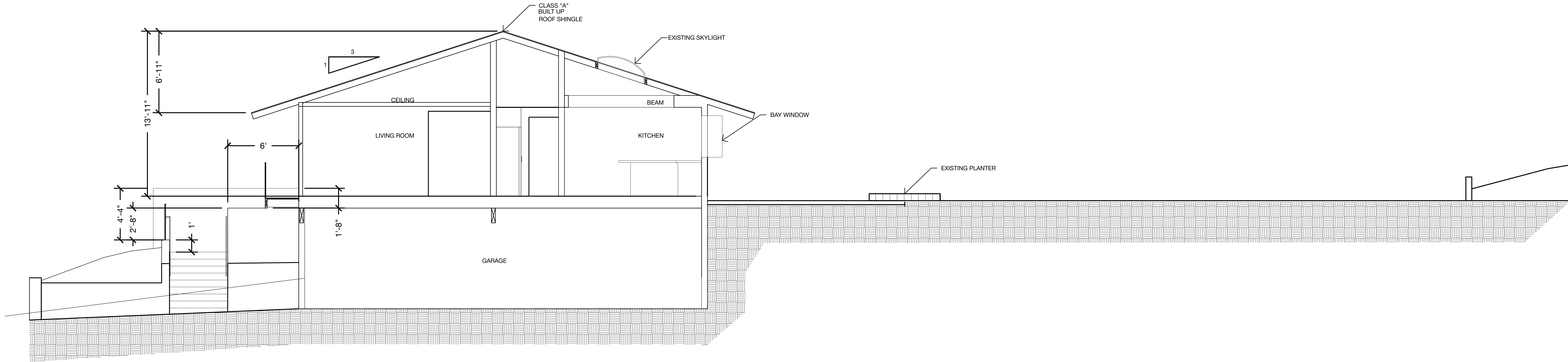


LATERAL VIEW

SCALE: 1/4"=1'-0"

1

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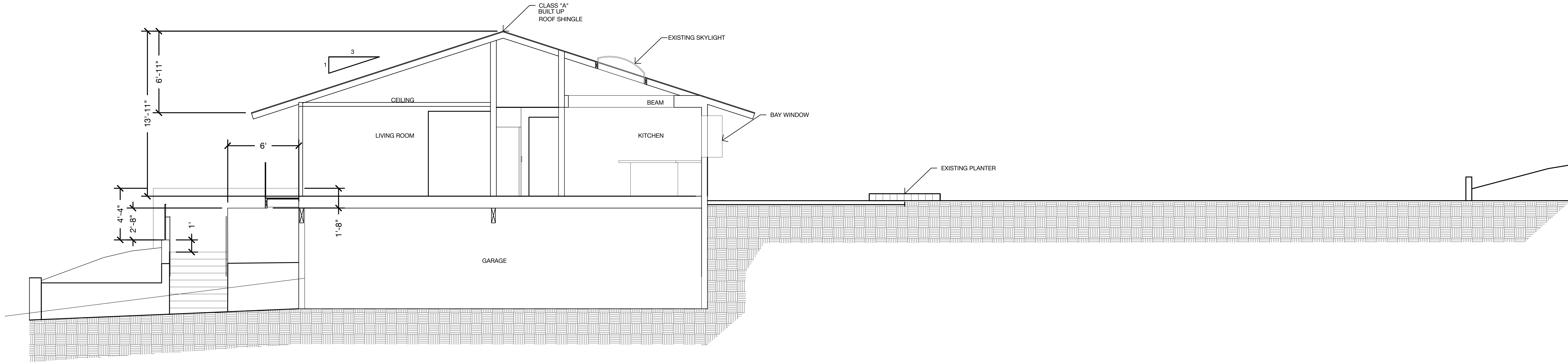


SECTION

1

SCALE: 1/4"=1'-0"

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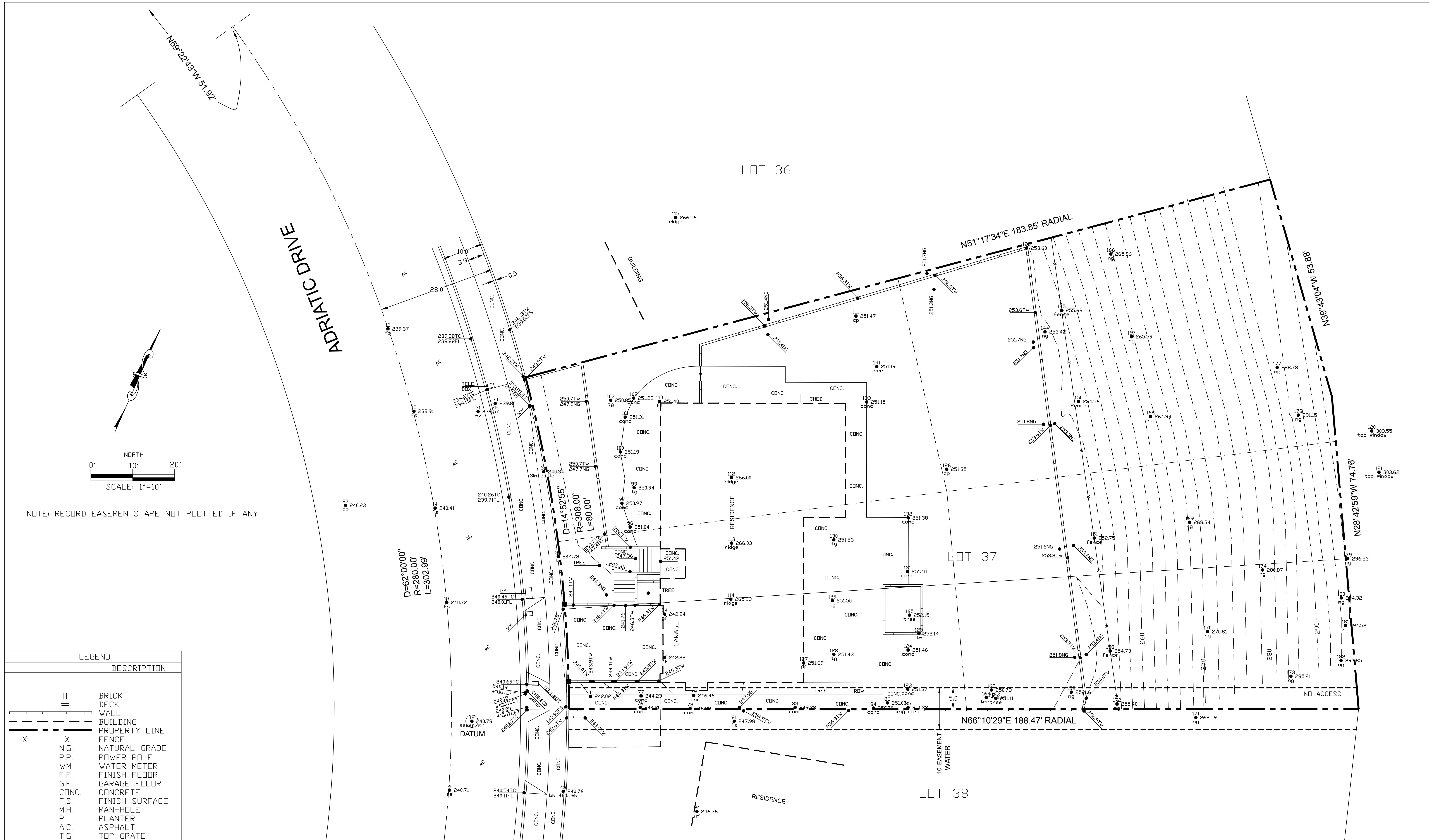


SECTION

1

SCALE: 1/4"=1'-0"

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6. TYPE VB CONSTRUCTION



LEGEND	
#	DESCRIPTION
	BRICK
	DECK
	WALL
	BUILDING
	PROPERTY LINE
	FENCE
	N.G.
	P.P.
	WM
	F.F.
	G.F.
	CONC.
	F.S.
	M.H.
	P
	A.C.
	T.G.

RdM SURVEYING INC. RON MIEDEMA L.S. 4653 23016 LAKE FOREST DR. #409 LAGUNA HILLS, CA 92653 (949) 858-2924 OFFICE (949) 858-3438 FAX RdMSURVEYING@COX.NET	TOPOGRAPHIC SURVEY  JOB#: 63-72      DATE: 2/3/2017	PREPARED FOR RYAN SINGER	LEGAL DESCRIPTION: LOT 37, TRACT NO. 3845	BENCH MARK: BM#: 3P-35-04 DATUM: NAVD88 ELEVATION: 157.955	ADDRESS OF PROJECT: 32505 ADRIATIC DRIVE DANA POINT

NOTE:  
The discharge of pollutants to any storm drainage system is prohibited.  
No solid waste, petroleum byproducts, soil particulate, construction waste materials,  
or wastewater generated on costruction sites or by construction activities shall be placed,  
conveyed or discharged into the street, gutter or storm drain system.

ADRIATIC DRIVE

D=62°00'00"  
R=280.00'  
L=302.99'

DATUM  
ELEV 240.78

MODIFY EXISTING WALL FOR  
NEW PLANTERS

20'-0"  
FRONTYARD  
SETBACK

RETAINING WALL  
ELEV. 244.0' TW.  
(SEE LANDSCAPE)

RETAINING WALL

ELEV. 252.5' FS

ELEV. 255.25' TW

ELEV. 246.5' FE

ELEV. 244.5' FS

ELEV. 244.5' FF

ELEV. 244.5' FS

ELEV. 244.5' FS

ELEV. 244.5' FS

ELEV. 244.5' FS

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ELEV. 244.5' FS

ELEV. 244.5' FS

ELEV. 244.5' FS

ELEV. 244.5' FS

DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

DRIVEWAY  
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RATIO: SLOPE  
12:0.81

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DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

DRIVEWAY  
ENTRANCE  
RATIO: SLOPE  
12:0.81

ELEV. 246.88' TW

ELEV. 246.88' TW

ELEV. 246.88' TW

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ELEV. 246.88' TW

6" Galvalume Box Gutter to match roofing

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

RESIDENCE

GABLE SKYLIGHT BY WASCO OR SIM.  
OPTIONAL ELEC. OPERABLE PANEL.  
CONTACT 800-388-0293

SKYLIGHT CANNOT EXCEED  
MAX HEIGHT 266.36'

SKYLIGHT CANNOT EXCEED  
MAX HEIGHT 266.36'

SKYLIGHT CANNOT EXCEED  
MAX HEIGHT 266.36'

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MAX HEIGHT 266.36'

SKYLIGHT CANNOT EXCEED  
MAX HEIGHT 266.36'

SKYLIGHT CANNOT EXCEED  
MAX HEIGHT 266.36'

LOT 36

LOT 38

REMOVING EXISTING RETAINING WALL

N51°17'34"E 188.85' RADIAL

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

ELEV. 253.25' TW

ELEV. 254.0' TW

ELEV. 251.5' FS

ELEV. 254.75' TS

N66°10'29"E 188.47' RADIAL

N66°10'29"E 188.47' RADIAL

N66°10'29"E 188.47' RADIAL

N66°10'29"E 188.47' RADIAL

N66°10'29"E 188.47' RADIAL

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N66°10'29"E 188.47' RADIAL

N66°10'29"E 188.47' RADIAL

N66°10'29"E 188.47' RADIAL

N66°10'29"E 188.47' RADIAL

1

PROJECT NORTH

SCALE: 1/8"=1'-0"

SITE PLAN

1

CONDITION OF APPROVAL  
SITE PLAN

A1

Sheet

MOZNETT RESIDENCE  
32502 Adriatic Dr  
Monarch Beach, CA

CDP & MINOR SITE

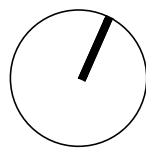
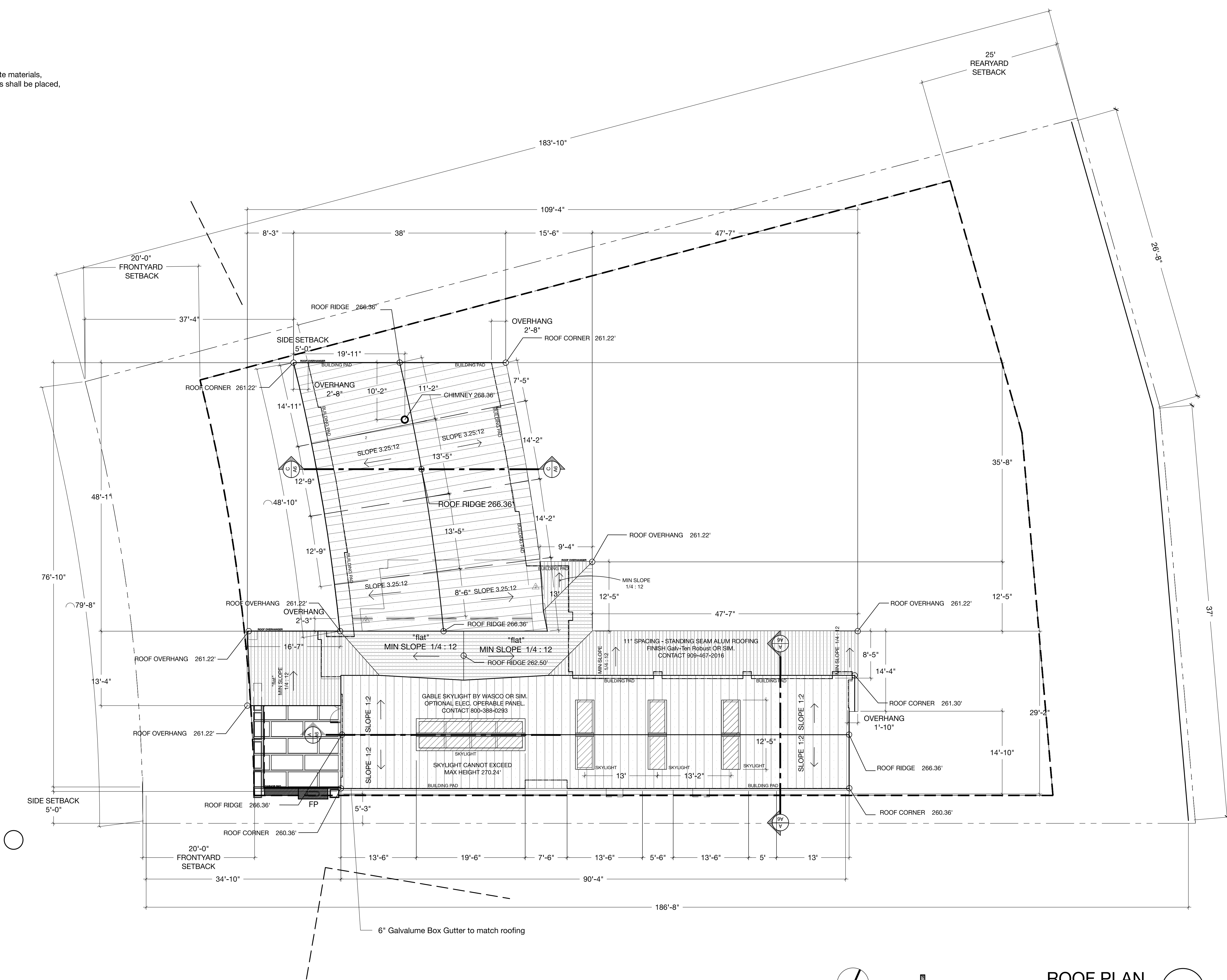
1 - RT DEC/12

Submittal

Revision  
http://singerdesign 949.445.1101

SINGER

NOTE:  
The discharge of pollutants to any storm drainage system is prohibited.  
No solid waste, petroleum byproducts, soil particulate, construction waste materials,  
or wastewater generated on costruction sites or by construction activities shall be placed,  
conveyed or discharged into the street, gutter or storm drain system.



PROJECT NORTH

SCALE: 1/8"=1'-0"

ROOF PLAN

1

CONDITION OF APPROVAL  
A1.1 ROOF PLAN

MOZNETT RESIDENCE  
32502 Adriatic Dr  
Monarch Beach, CA

CDF & MINOR SITE

1 - R1 DEC/12

SINGER

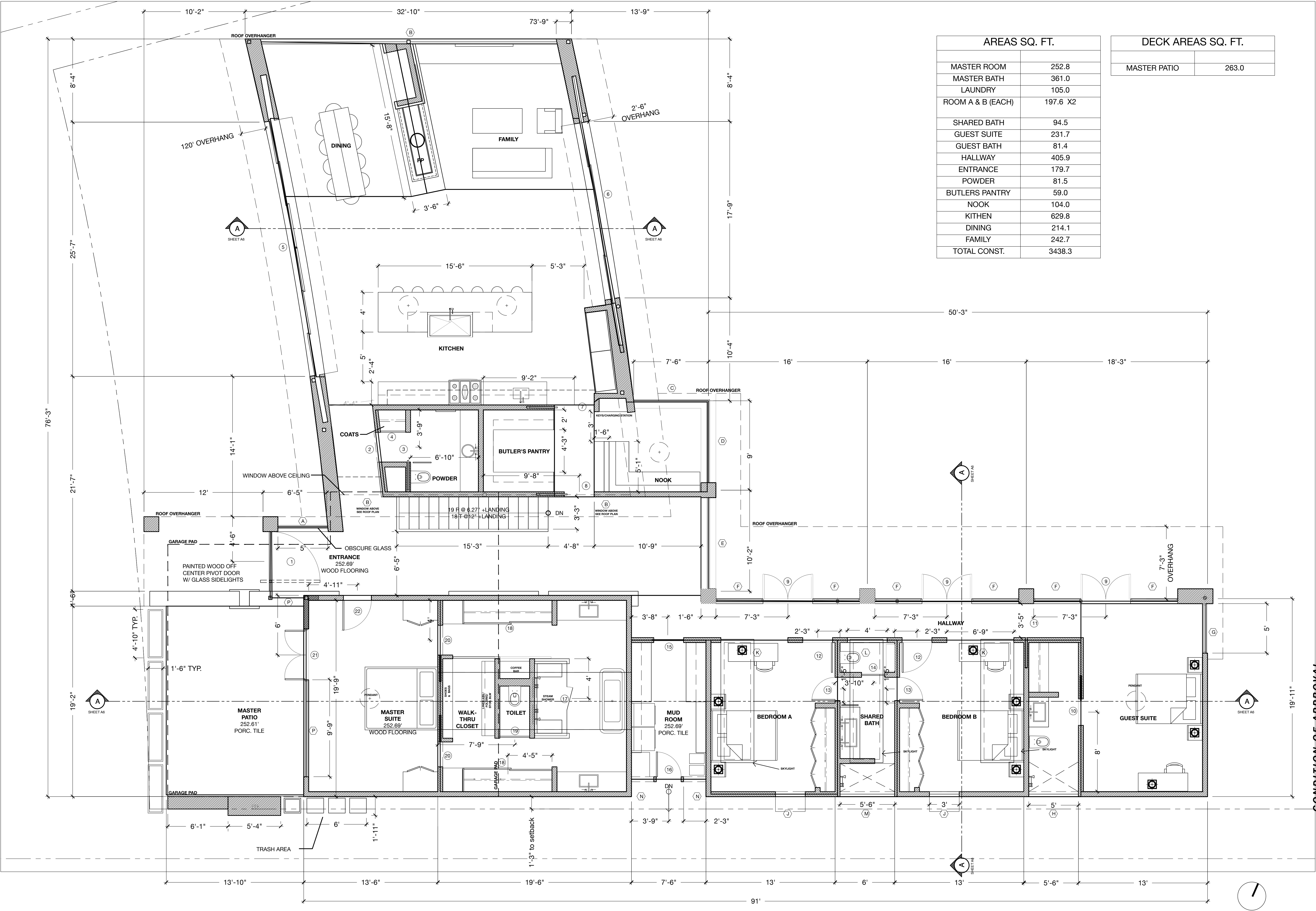
Revision  
http://singerdesign.com 949.445.1101

Submitted

Project

Title

Sheet



AREAS SQ. FT.	
MASTER ROOM	252.8
MASTER BATH	361.0
LAUNDRY	105.0
ROOM A & B (EACH)	197.6 X2
SHARED BATH	94.5
GUEST SUITE	231.7
GUEST BATH	81.4
HALLWAY	405.9
ENTRANCE	179.7
POWDER	81.5
BUTLERS PANTRY	59.0
NOOK	104.0
KITHEN	629.8
DINING	214.1
FAMILY	242.7
TOTAL CONST.	3438.3

DECK AREAS SQ. FT.	
MASTER PATIO	263.0

CONDITION OF APPROVAL  
PLAN @ ENTRY LEVEL

A2

MOZNETT RESIDENCE  
32502 Adriatic Dr  
Monarch Beach, CA

CDP & MINOR SITE

1 - R1 DEC/12

SINGER

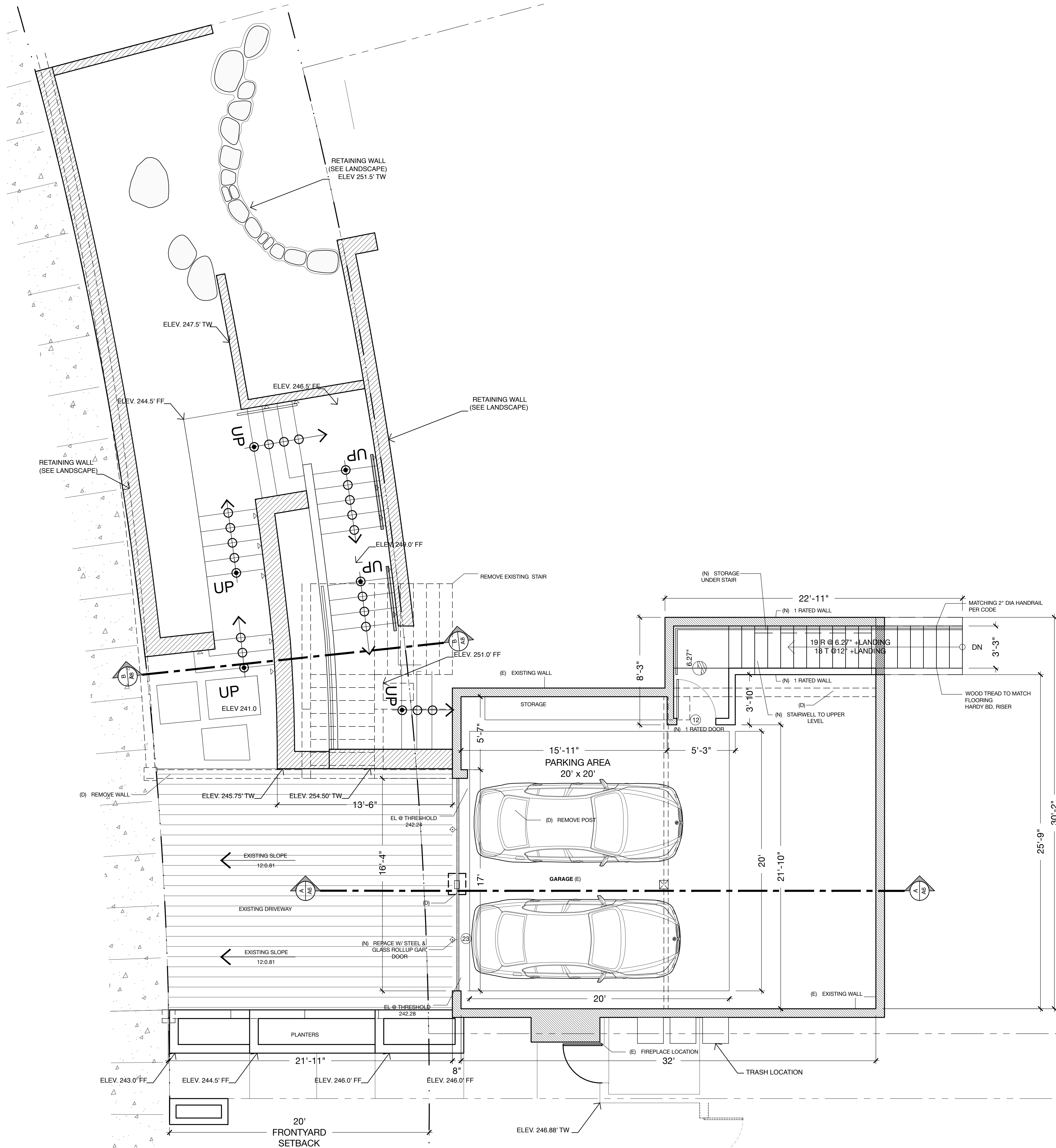
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Submital

Project

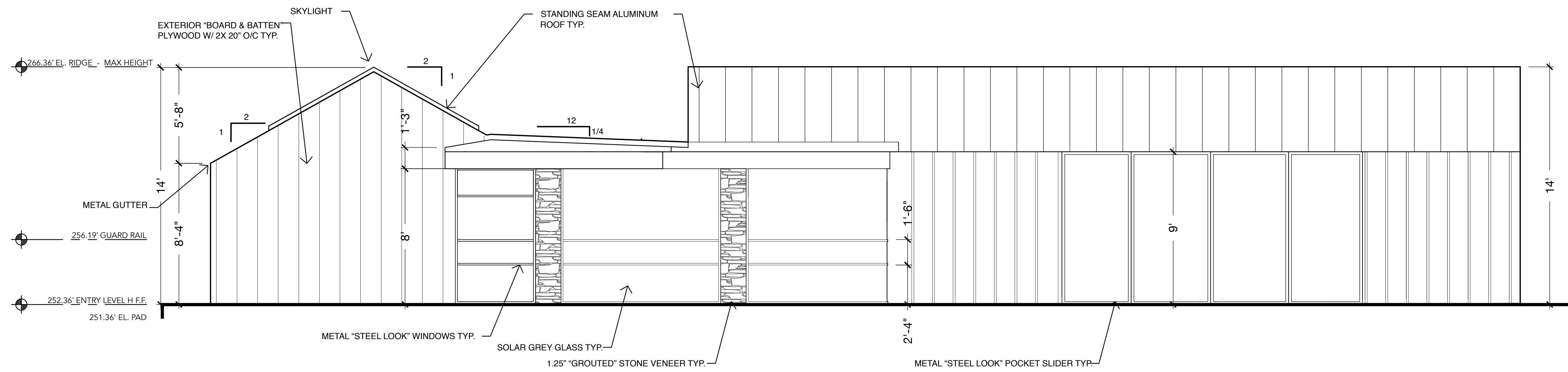
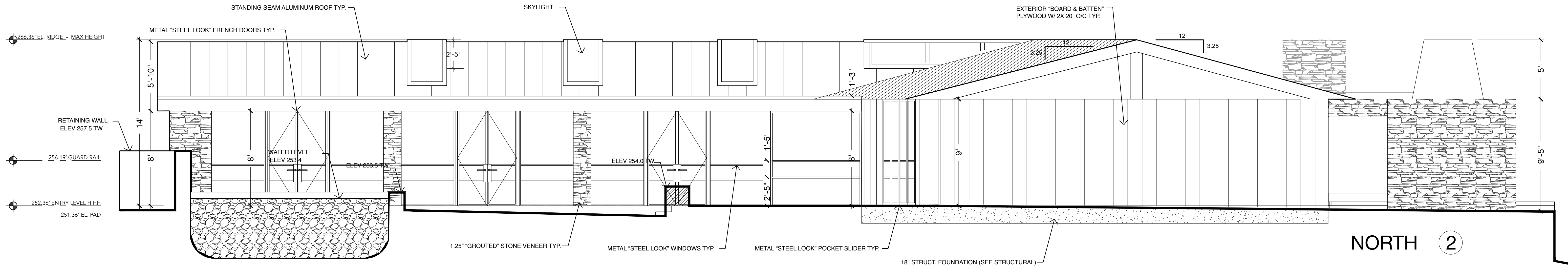
Title

Sheet



AREAS SQ. FT.	
GARAGE	781.0
STAIRS	90.0





EAST ①

CONDITION OF APPROVAL  
ELEVATION

A4

Sheet

MOZNETT RESIDENCE  
32502 Adriatic Dr  
Monarch Beach, CA

CDP & MINOR SITE

1 - R1 DEC/12

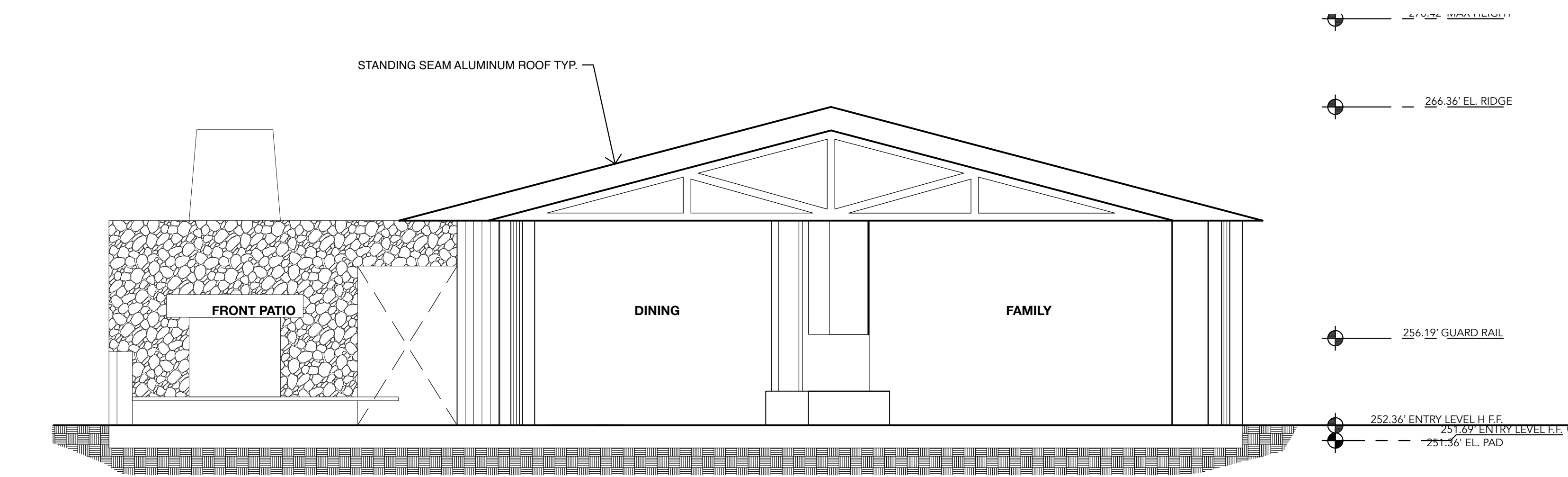
Project

Submittal

Revision

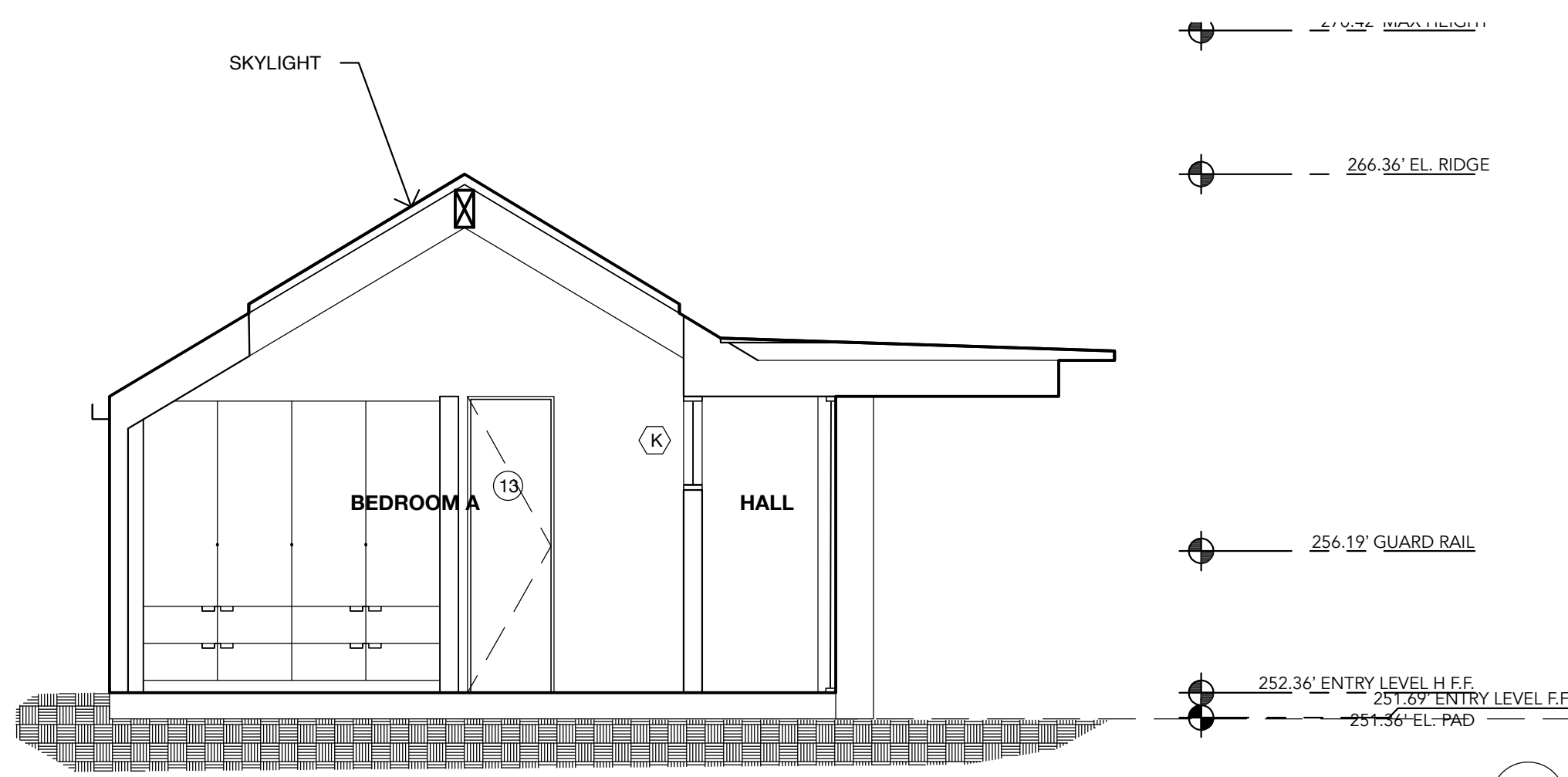
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SINGER



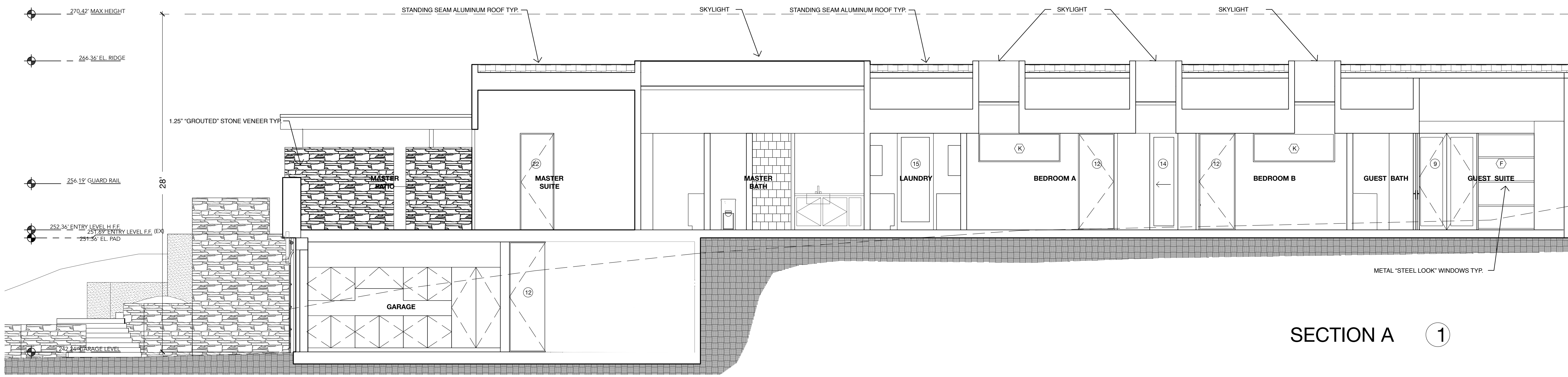
SECTION C

3



SECTION B

2



SECTION A

1

CONDITION OF APPROVAL  
SECTION

A6

MOZNETT RESIDENCE  
32502 Adriatic Dr  
Monarch Beach, CA

CDP & MINOR SITE

1 - R1 DEC/12

SINGER

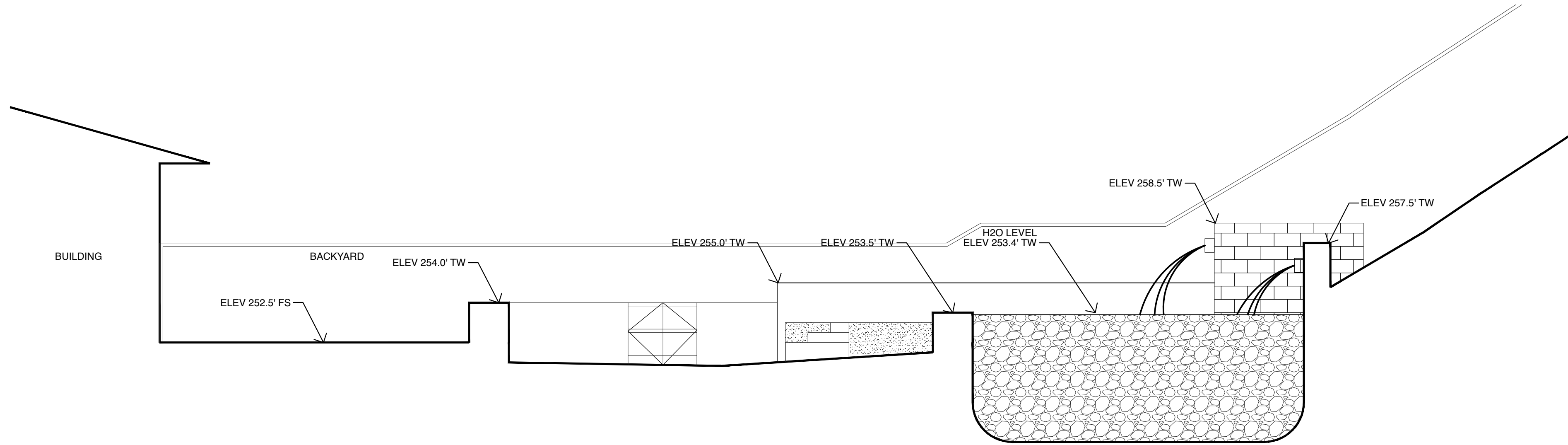
Revision  
http://singer-design.com 949.445.1101

Submit

Project

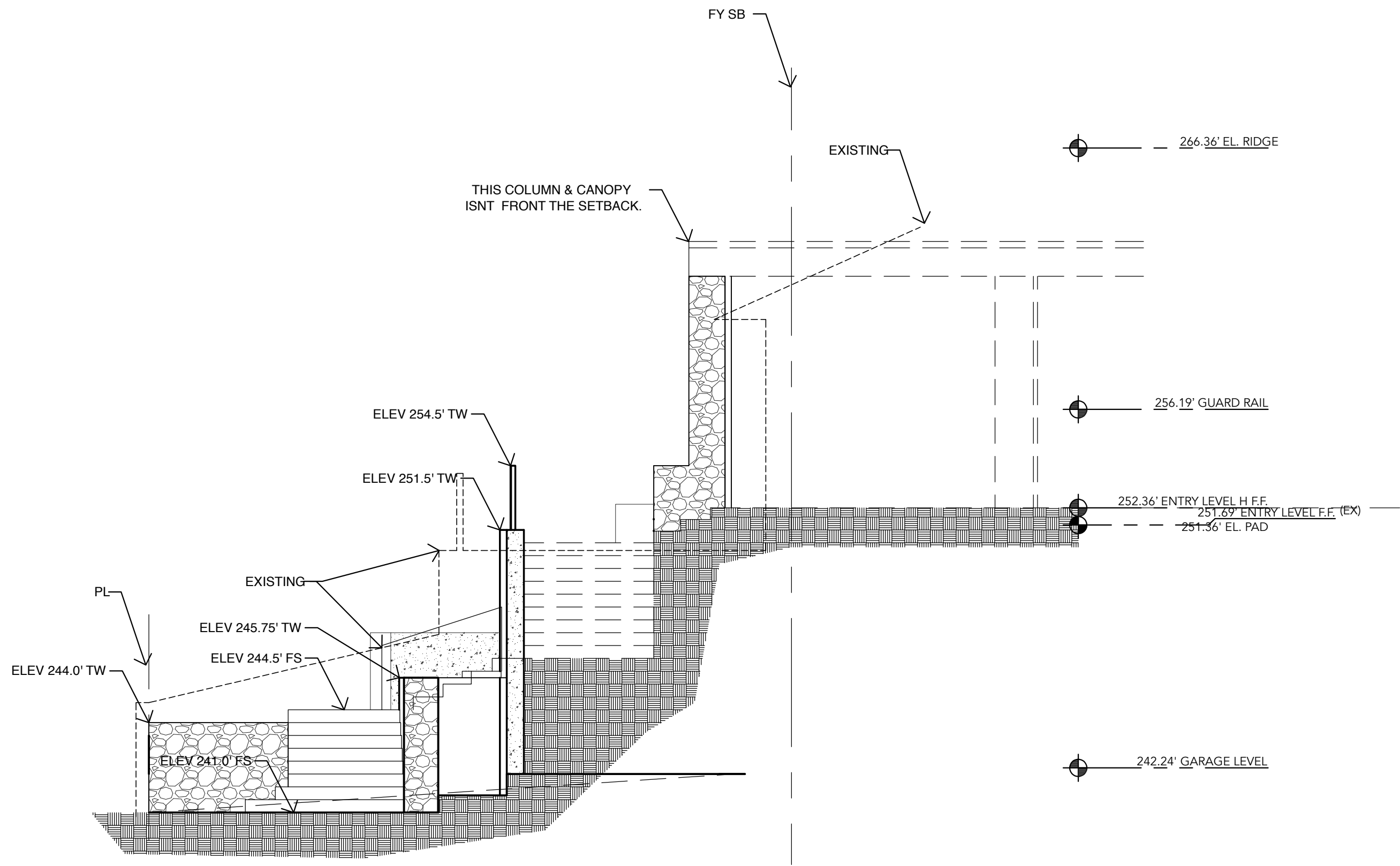
Title

Sheet



SECTION A









1



SECTION B

2

NOTES	
1.	All shrub areas to receive automatic irrigation system using Rainbird and Hunter equipment; connect to existing irrigation mainline, timer & clocks
2.	Yard to receive low voltage LED lighting system per Schematic Lighting Plan
3.	Contractor to secure permits, structural details, and calcs for improvements; and, follow City of Dana Point standards for landscape improvements & installation; use City standard wall footings for walls for bidding; final install per Structural Engineer
4.	Proposed wall heights are maximum height measured from finished grade; refer to Civil Engineer's grading plan for detail
5.	Contractor to include in bid a drainage system per Civil Engineer's plans

ABBREVIATION LEGEND	
SYMBOL	DESCRIPTION
BW	BOTTOM OF WALL
CL	CENTER LINE
EQ.	EQUAL
EX	EXISTING GRADE
F.O.W.	FACE OF WALL
F.O.B.	FACE OF BUILDING
FF	FINISH FLOOR
FG	FINISH GRADE
FS	FINISH SURFACE
O.C.	ON-CENTER
L.O.W	LIMIT OF WORK
PA	PLANTING AREA
	POINT OF ORIGIN
	PROPERTY LINE
	SETBACK LINE
TF	TOP OF FENCE
TW	TOP OF WALL
	TREE ROOT BARRIER
	TURF EDGING
TYP.	TYPICAL
	STEP-DOWN INDICATOR REFER TO CIVIL PLANS
	BOTTOM STEP INDICATOR REFER TO CIVIL PLANS
	ALIGN WITH PARALLEL FACE

MISCELLANEOUS		
ITEM	DESCRIPTION	DETAIL
1	EXISTING CURB	REFER TO CIVIL ENG. PLANS
2	EXISTING DRIVEWAY APRON	REFER TO CIVIL ENG. PLANS
3	EXISTING CITY SIDEWALK	REFER TO CIVIL ENG. PLANS
4	BUILDING SETBACK LINE	REFER TO CIVIL ENG. PLANS
5	PROPERTY LINE	REFER TO CIVIL ENG. PLANS
6	TRASH AREA	--
7	POOL EQUIPMENT & STORAGE AREA (POOL EQUIP. TO BE MIN. 5' OFF PL.)	--
8	OWNERSHIP EASEMENT	REFER TO CIVIL ENG. PLANS
9	UTILITY EASEMENT	REFER TO CIVIL ENG. PLANS
10	PROPOSED TREE LOCATION	--
11	SITE FURNISHING	--

HARDSCAPE LEGEND: Paving and Steps			
ITEM	DESCRIPTION	DETAIL	ADDITIONAL INFO
P-1	DRIVEWAY	--	PAVING: POURED IN PLACE COLORED CONCRETE - VEHICULAR RATED COLOR TBD; BID. ALT. - CONCRETE PAVERS ON SAND
P-2	WALKWAY	--	PAVING: POURED IN PLACE COLORED CONCRETE COLOR TBD; BID. ALT. - CONCRETE PAVERS ON SAND
P-3	PATIO	--	PAVING: NATURAL STONE ON CONCRETE BASE
P-4	STEPPING STONES	--	PAVING: NATURAL STONE ON CONCRETE BASE JOINTS: PEBBLE, GROUNDCOVER, AND/OR GRASS
P-5	GRAVEL	--	PAVING: 3/8" PEA GRAVEL ON COMPACTED BASE
P-6	PEBBLE EDGE	--	PAVING: MIX OF 2" TO 6" DIA. BEACH PEBBLE EDGE; CORTEN STEEL
P-7	DECK	--	DECKING: IPE OVER PRESSURE TREATED FRAME
P-8	BOULDER STEP	--	STEP: BOULDER SET 1/3 BELOW GRADE
P-9	STEP	--	STEPS: POURED IN PLACE COLORED CONCRETE COLOR TBD
P-10	STEPS	--	STEPS: NATURAL ROCK STEPS
P-11	TROUGH	--	TROUGH: BELOW GRADE GUNITE TROUGH TO CATCH POOL OVERSPASH IN HEAVY USE; CONNECT TO SEWER PEBBLE; MIX OF 2" TO 3" BEACH PEBBLE EDGE; CORTEN STEEL

HARDSCAPE LEGEND: Walls, Fences, & Gates			
ITEM	DESCRIPTION	DETAIL	ADDITIONAL INFO
W-1	RETAINING WALL (RETAINING/FREESTANDING COMBO)	--	WALL: 8" BLOCK MASONRY; STUCCO VENEER CAP: ROLLED MORTAR CAP
W-2	RETAINING WALL - EXISTING TO REMAIN (RETAINING/FREESTANDING COMBO)	--	WALL: EXISTING WALL TO REMAIN: NEW STUCCO VENEER AND/OR PAINT CAP: EXISTING TO REMAIN
W-3	RETAINING WALL (RETAINING/FREESTANDING COMBO)	--	WALL: 12" BLOCK MASONRY; STUCCO VENEER CAP: STONE (OPTIONAL) TBD
W-4	RETAINING WALL	--	WALL: MASONRY; STONE VENEER CAP: STONE
W-5	RETAINING WALL	--	WALL: DRY STACK LOOK BOULDER/ROCK WALL
W-6	POOL FENCE	--	FENCE: 6' HIGH TUBULAR STEEL
W-7	GATE	--	GATE: WOOD; POOL SAFE
W-8	GATE	--	GATE: TUBULAR STEEL; POOL SAFE
W-9	PORCH RAILING	--	RAILING: 42" HIGH; METAL POSTS; CABLE RAILS
W-10	HAND RAIL	--	RAILING: 42" HIGH; METAL

HARDSCAPE LEGEND: Site Amenities			
ITEM	DESCRIPTION	DETAIL	ADDITIONAL INFO
SA-1	ENTRY FOUNTAIN	--	BASIN: POURED IN PLACE CONCRETE UPPER BOX: MASONRY; STONE VENEER WEIR: STONE VENEER PUMP: SUBMERSIBLE; AUTO FILL; OVERFLOW & REMOVABLE DRAIN
SA-2	FIREPLACE	--	BODY: MASONRY; STONE VENEER CHIMNEY: METAL HEARTH: MASONRY; STONE VENEER; STONE CAP TRELLIS: CONNECTED TO HOUSE; METAL (BY ARCHITECT)
SA-3	BUILT-IN BENCH SEAT	--	BENCH BASE: MASONRY; STUCCO VENEER; STONE CAP BRACKREST: MASONRY; STUCCO; ROLLED MORTAR CAP
SA-4	DRY CREEK BED	--	PEBBLE: MIX OF 1" TO 6" DIA. RIVER ROCK BOULDERS: VARY SIZES WITH MIN. 3 LARGE AT 24"x42"x18"
SA-5	OUTDOOR KITCHEN WITH TRELLIS	--	KITCHEN BASE: MASONRY; STUCCO VENEER COUNTER: BURNISHED CONCRETE OR STONE APPLIANCES: EVO GRILL, BBQ, BAR SINK; FRIDGE TRELLIS: METAL TO MATCH HOUSE
SA-6	FIREPIT	--	FIREPIT: CMU BLOCK; STUCCO VENEER; STONE CAP (TBD) INTERIOR: FIREBRICK LINING; TUMBLED LAVA ROCK OVER 1/4" LAVA PEBBLE GAS: STAINLESS STEEL GAS EMITTER WITH KEY
SA-7	SPA	--	SPA: ZERO-EDGE SPA COPING PLASTER: "TAHOE BLUE" TILE: MOSAIC GLASS BACK WALL: MASONRY; STONE VENEER; STONE CAP (SEE W-4) WALL WEIR: (1)-24" WIDE STONE WATER WEIR FROM WALL INTO SPA
SA-8	POOL	--	POOL: ZERO-EDGE POOL COPING PLASTER: "TAHOE BLUE" TILE: MOSAIC GLASS BOND BEAM WALL: GUNITE; STONE VENEER; STONE CAP BACK WALL: MASONRY; STONE VENEER; STONE CAP (SEE W-4) WALL WEIR: (4)-24" WIDE STONE WATER WEIR FROM WALL INTO POOL BAJA LEDGE: 18" DEEP; UMBRELLA SLEEVE
SA-9	JUMPING ROCK (OPTIONAL)	--	BOULDER: NATURAL ROCK SET ON GUNITE BASE
SA-10	FOUNTAIN	--	BOULDER: 6' HIGH BASALT COLUMN PLUMBED FOR FOUNTAIN BASIN: GUNITE SPASH STONE: NATURAL STONE OR CONCRETE EDGE: PEBBLE
SA-11	VEGGIE GARDEN BEDS	--	BEDS: REDWOOD OR CORTEN METAL
SA-12	VEGGIE GARDEN FENCE & GATE	--	FENCE: 36" HIGH 4x4" POSTS WITH 1/4" GALVANIZED MESH INSET GATE: 36" HIGH CUSTOM WOOD AND METAL GATE
SA-13	HAMMOCK GARDEN	--	POSTS: 6x6" BROWN PRESSURE TREATED; METAL CAP
SA-14	ADDRESS NUMBERS	--	NUMBERS: MATT BRONZE; PIN MOUNTED

Moznett Residence

32502 Adriatic Dr.  
Dana Point, CA

Client

Allen & Shawna Moznett

EPTDESIGN

landscape architecture | urban design | planning

9821 Irvine Center Drive | Irvine, CA 92618 | T 949.502.4500 | F 949.502.4510  
844 East Green Street, Ste. 201 | Pasadena, CA 91101 | T 626.795.2808 | F 626.795.2547  
www.eptdesign.com

Annemarie Hall Design

25141 Via Bajo Cerro  
Laguna Niguel, CA 92677

Phone 949.636-4003  
www.annemariehall.com

Revisions	By	Date
City Resubmittal		12.05.2017

Job Number

E17-517

Design Staff

CM

Project Manager

CM

Principal

AMH

Hardscape Schedules and Notes

L1.00

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Plan Control  
City Resubmittal 12.05.2017

Moznett  
Residence

32502 Adriatic Dr.  
Dana Point, CA

Client

Allen & Shawna  
Moznett

EPTDESIGN  
landscape architecture | urban design | planning

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Revisions	By	Date
City Resubmital		12.05.2017

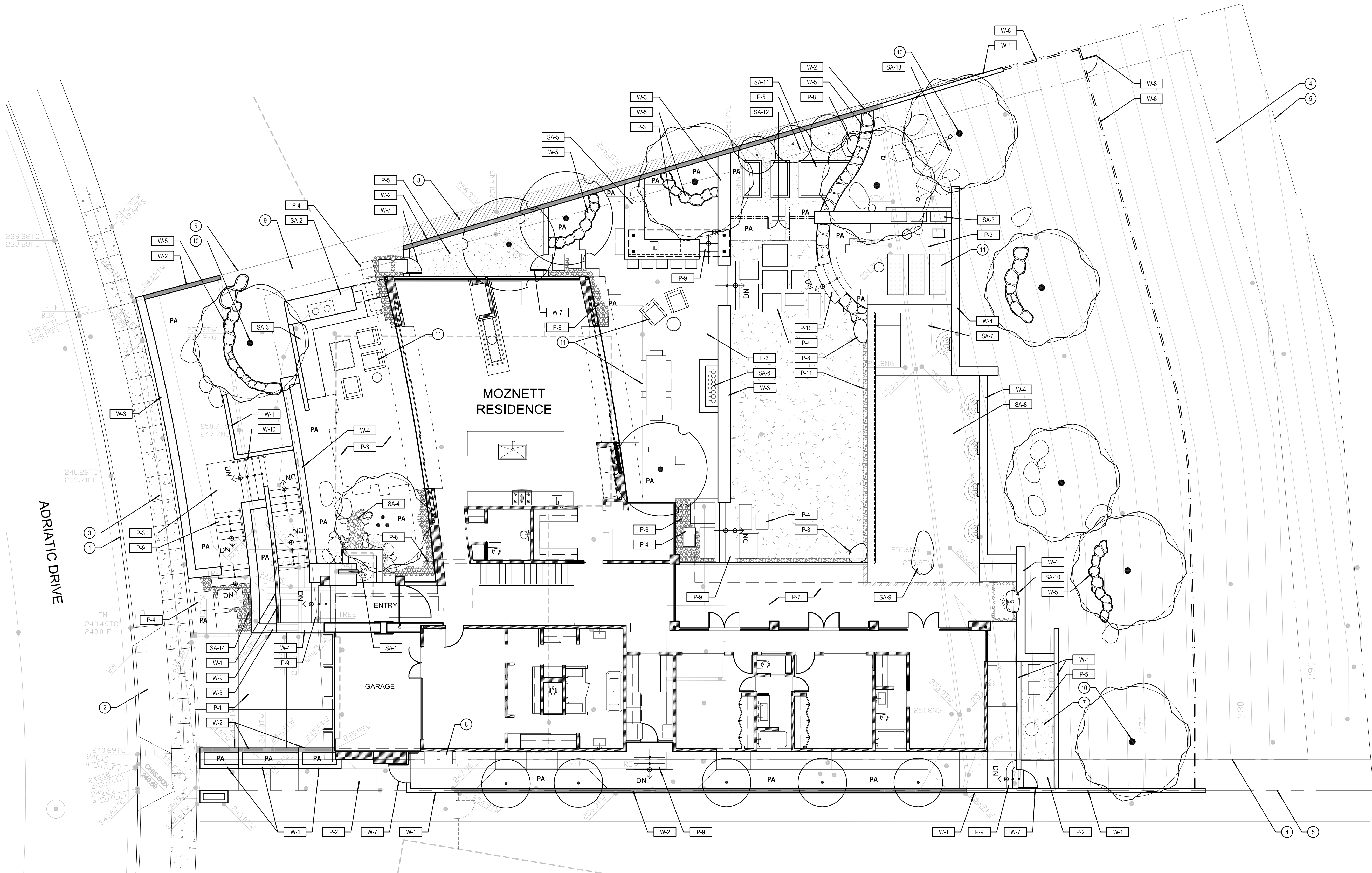
Job Number E17-517  
Design Staff CM  
Project Manager CM  
Principal AMH

Hardscape Plan

L1.01

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Plan Control  
City Resubmital 12.05.2017



MISCELLANEOUS, CONTINUED		
6	TRASH AREA	-
7	POOL EQUIPMENT & STORAGE AREA (POOL EQUIP. TO BE MIN. 5' OFF PL)	-
8	OWNERSHIP EASEMENT	REFER TO CIVIL ENG. PLANS
9	UTILITY EASEMENT ?	REFER TO CIVIL ENG. PLANS
10	PROPOSED TREE LOCATION	REFER TO L3.01 PLANTING PLAN
11	SITE FURNISHING	-

SITE AMENITIES LEGEND, CONTINUED		
SA-11	VEGGIE GARDEN BEDS	-
SA-12	VEGGIE GARDEN FENCE & GATE	-
SA-13	HAMMOCK GARDEN	-
SA-14	ADDRESS NUMBERS	-

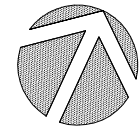
MISCELLANEOUS		
ITEM	DESCRIPTION	DETAIL
1	EXISTING CURB	REFER TO CIVIL ENG. PLANS
2	EXISTING DRIVEWAY APRON	REFER TO CIVIL ENG. PLANS
3	EXISTING CITY SIDEWALK	REFER TO CIVIL ENG. PLANS
4	BUILDING SETBACK LINE	REFER TO CIVIL ENG. PLANS
5	PROPERTY LINE	REFER TO CIVIL ENG. PLANS

SITE AMENITIES LEGEND		
ITEM	DESCRIPTION	DETAIL
SA-1	ENTRY FOUNTAIN	--
SA-2	FIREPLACE	--
SA-3	BUILT-IN BENCH SEAT	--
SA-4	DRY CREEK BED	--
SA-5	OUTDOOR KITCHEN WITH TRELLIS	--
SA-6	FIREPIT	--
SA-7	SPA	--
SA-8	POOL	--
SA-9	JUMPING ROCK (OPTIONAL)	--
SA-10	FOUNTAIN	--

WALLS, FENCES & GATES LEGEND		
ITEM	DESCRIPTION	DETAIL
W-1	RETAINING WALL (RETAINING/FREESTANDING COMBO)	-
W-2	RETAINING WALL - EXISTING TO REMAIN (RETAINING/FREESTANDING COMBO)	-
W-3	RETAINING WALL (RETAINING/FREESTANDING COMBO)	-
W-4	RETAINING WALL	-
W-5	RETAINING WALL	-
W-6	POOL FENCE	-
W-7	GATE	-
W-8	GATE	-
W-9	PORCH RAILING	-
W-10	HAND RAIL	-

PAVING & STEPS LEGEND		
ITEM	DESCRIPTION	DETAIL
P-1	DRIVEWAY	-
P-2	WALKWAY	-
P-3	PATIO	-
P-4	STEPPING STONES	-
P-5	GRAVEL	-
P-6	PEBBLE EDGE	-
P-7	DECK	-
P-8	BOULDER STEP	-
P-9	STEP	-
P-10	STEPS	-
P-11	TROUGH	-

REFER TO SHEET L1.00 FOR MASTER  
HARDSCAPE LEGENDS AND NOTES



0 2 4 8 16 Feet

PLANTING NOTES

1. In all shrub areas, apply 2" layer of forest floor bark mulch.
2. Contractor to supply mulch sample to Owner for approval.
3. All shrub areas to receive an automatic irrigation system.
4. All pots to receive an irrigation bubbler & drain.
5. Contractor to secure agricultural soil tests and amend soil as recommended by report.
6. Refer to Planting Details for installation recommendations.
7. All trees to received root barrier within 5' of walls, buildings and hardscape per manufacturer's specs. Refer to Hardscape Plan, Sheet L1.01 for root barrier locations.
8. Tree locations to be adjusted in field to accommodate overhead power lines and underground utilities.

WATER USE CALCULATIONS

Point of Connection #1 - Moznett Residence										
Maximum Applied Water Allowance (MAWA)										
Total MAWA = (Eto x 0.55 x LA in Sq. Ft. x 0.62) + (Eto x 1.0 x SLA in Sq. Ft. x 0.62 = Gallons per year for LA + SLA										
where:										
MAWA = Maximum Applied Water Allowance (gallons per year)										
Eto = Reference Evapotranspiration from <b>Appendix C</b> (inches per year)										
0.55 = ET Adjustment Factor (ETAF)										
1.0 = ETAF for Special Landscaped Area										
LA = Landscaped Area (square Feet)										
0.62 = Conversion Factor (to gallons per square foot)										
SLA = Portion of the landscape area identified as Special Landscape Area (square feet)										
MAWA Calculation:										
	Eto	ETAF		LA or SLA (sq.ft.)		Conversion			MAWA (gals. Per Year)	
	MAWA for LA =	45.1	X	0.55	X	11,680	X	0.62	=	179,633
	MAWA for SLA =	45.1	X	1	X	-	X	0.62	=	-
	Total MAWA =					11,680				179,633
										Gallons per year for LA + SLA

Appendix C: Water Efficient Landscape Worksheet									
This worksheet is filled out by the project applicant and it is a required item of the Landscape Documentation Package									
Landscape Area Sector Type: [X] Residential [ ] Non-Residential									
Reference Evapotranspiration (Eto): 45.1									
	Hydrozone # / Planting Description	Location	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq.ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas									
1	High Water Use Warm Season Turf Plantings	Turf Area Back Yard	0.8	Rotator	0.76	1.05	878.00	924.21	25,842.77
2	Low Water Use Shrub Plantings Drip Irrigated	Shrub Beds	0.2	Drip	0.81	0.25	2,795.00	690	19,297.23
3	Moderate Water Use Shrub Plantings - Drip Irrigated	Shrub Beds	0.5	Drip	0.81	0.62	1,602.00	989	27,651.31
4	Low Water Use Shrub Plantings - Rotator Irrigated	Rear Slope	0.2	Rotator	0.76	0.25	4,233.00	1,114	31,148.20
5	Water Features - Pool/Spa and Fountain	Fountain - Front yard Pool/Spa and Rear Yard	1.0	Rotator	1.0	1.00	592.36	592	16,563.57
6	Moderate Water Use Trees (overlays other zones)	Front and Rear yard	0.5	Micro-Spray	0.76	0.65	1,580.00	1,039	29,065.76
7							9,508.00		without tree sq. footage
8									
9									
10									
11									
12									
13									
14									
15									
Average							Total	Total	
0.64							11,680.36	2,653.81	
Average ETAF for Regular Landscape Areas* (circle one)							In Compliance	Not in Compliance	
Special Landscape Areas									
SLA-1	none								
SLA-2	none								
SLA-3	none								
SLA-4	none								
SLA-5	none								

Totals:		0	0
Total Landscape Area		11,680.36	
Site Wide ETAF		0.55	
ETWU Total		149,568.85	
Maximum Water Allowance (MAWA)		179,633.42	

Plant Factor	PF	Irrigation Method	IE
Very low water use plant	0.1	Spray Nozzles	71%
Low water use plant	0.2	High efficiency spray nozzles	73%
Moderate water use plant	0.5	Main stream/Multi trajectory rotary (MSM) nozzle	76%
High water use plant	0.8	Stream rotor nozzle	73%
Lawn	0.8	Microspray	76%
Pool, spa or other water feature	1.0	Bubblers	77%
		Drip emitter	81%
		Subsurface drip	81%

Area Calculations	square footage	% of site
Total Site Area	19,599.00	
Total Landscaped Area*	9,508.00	48.51%
Hardscape incl. House	10,091.00	51.49%

\* does not include tree overlay

PLANTING PALETTE: WUCOLS Dana Point / Laguna Beach

Type	Botanical Name	Common Name	Water Use
S	Acacia cultriformis	knife acacia	Low
S T	Acacia longifolia	Sydney golden wattle	Low
Gc S	Acacia redolens	prostrate acacia	Very Low
P Su	Acerium spp.	Coincy island rose	Low
P S	Agave americana (and thick-leaved relatives)	agave	Very Low
P S	Agave attenuata (and thin-leaved relatives)	agave	Low
T	Agave flexuosa and cvs.	peppermint tree	Low
S Su T N	Alopecurus spp. (CA native and non-native)	slip	Low
S	Alyogyne laevis	blue hibiscus	Low
P	Anigozanthos flavidus	kangaroo paw	Moderate/Medium
T	Arbutus "Marina"	Marina arbutus	Low
Gc S N	Baccharis pilularis cvs.	dwarf coyote brush	Low
S	Buxus microphylla japonica	Japanese boxwood	Moderate/Medium
S	Cassidix mexicana	Mexican bird of paradise	Low
S	Callistemon "Little John"	Little John bottlebrush	Low
P	Carex divisa (sold as C. tumulicola)	European gray sedge	Moderate/Medium
P N	Carex praegracilis	California field sedge	Moderate/Medium
P N	Carex tumulicola	Berkeley sedge	Low
Gc	Cercia macrocarpa (prost.cvs.)	Natal plum	Low
S N	Ceanothus thyrsiflorus var. griseus "Yankee Point"	Yankee Point ceanothus	Low
T N A	Cercis occidentalis	western redbud Forest Pansy	Low
Gc S	Citrus spp. and cvs.	citrus	Low
T	Citrus spp.	orange, lemon etc.	Moderate/Medium
V	Clematis hybrids and cvs.	clematis	Moderate/Medium
P	Clivia miniata	clivia	Low
S	Coleonema pulchellum (C. pulchrum)	breath of heaven	Moderate/Medium
T	Cordylone australis	New Zealand cabbage tree	Low
P S Su	Crassula spp.	crassula	Low
P	Dianella caerulea (shade in desert)	Tasman flex fly	Moderate/Medium
S	Dodonaea viscosa "Purpurea"	purple hopseed bush	Low
T	Dracaena draco	dragon tree	Very Low
Gc P	Dymondia margaritae	dymondia	Low
P S Su A	Echeveria spp.	hearts and chickens	Low
P	Echinacea spp.	cone flower	Moderate/Medium
P	Echium "Purple Tower"	purple tower echium	Low
S	Elaeagnus pungens	silverberry	Low
G	Festuca "Siskyou Blue"	Siskyou blue fescue	Low
T	Geijera paniculata	Australian willow	Low
Gc P	Geranium incanum	carpet geranium	Low
S	Grevillea spp. & cvs.	grevillea	Low
S	Grewia occidentalis	lavender star flower	Moderate/Medium
S V A	Hardenbergia violacea	ilac vine	Low
G	Helicostichon sempervirens and cvs.	blue oat grass	Moderate/Medium
S Su A	Hesperaloe parviflora	red/yellow yucca	Very Low
S N A	Heteromeles arbutifolia	toyon	Very Low
T A	Lagerstroemia spp., hybrids and cvs.	crape myrtle	Moderate/Medium
Gc	Lampranthus spp.	ice plant (Lampranthus)	Very Low
Gc	Lantana "New Gold"	New Gold lantana	Very Low
S A	Lavandula spp. & cvs.	lavender	Low
S	Lavatera maritima	bush mallow	Low
S	Leonotis leonurus	lion's tail	Low
S	Ligustrum japonicum	Japanese privet	Moderate/Medium
S	Lupinus x soulangeana	lupine magnolia	Moderate/Medium
S	Maleuca incana	grey honey-myrtle	Low
T	Maleuca nesophila	pink maleuca	Low
S N	Minulus hybrids (shrubby) (Diplacia)	monkey flower	Low
G A	Miscanthus sinensis and cvs	bulrush grass	Moderate/Medium
G N A	Muhlenbergia rigens	deer grass	Low
Gc S	Myoporum parvifolium & cvs.	myoporum	Low
S	Myrsine africana	African boxwood	Low
T	Olea europaea	olive	Low
S	Osmarthus spp.	sweet olive/osmanthus	Moderate/Medium
T N	Parkinsonia "Desert Museum" (Cercidium)	Desert Museum palo verde	Very Low
Gc P	Pelargonium peltatum	ivy geranium	Moderate/Medium
G	Pennisetum massiacum	bunny tails	Moderate/Medium
T	Persea americana	avocado	Moderate/Medium
P	Phormium hybrids	flax	Moderate/Medium
P	Phormium tenax	New Zealand flax	Low
S	Photinia x fraseri	Fraser photinia	Moderate/Medium
S T	Pittosporum crassifolium	evergreen pittosporum	Moderate/Medium
S	Polygala fruticosa "Petite Butterfly"	Petite Butterfly pea shrub	Moderate/Medium
T	Pyrus communis	edible pear	Moderate/Medium
S	Rhaphiolepis adica & cvs	Indian hawthorne	Low
S	Rhaphiolepis umbellata and cvs.	Yeddo hawthorne	Low
V	Rosa "Cecile Brunner"	Cecile Brunner rose	Moderate/Medium
S	Rosa hybrids.bush	rose	Moderate/Medium
Gc	Rosa hybrids.ground covers	carpet roses	Moderate/Medium
Gc S	Rosmarinus cvs.	trailing rosemary	Low
S	Rosmarinus officinalis	rosemary	Very Low
S A	Russelia equisetiformis	coral fountain	Moderate/Medium
P S A	Salvia greggii & hybrids	autumn sage	Low
Gc P S	Santolina spp.	lavender cotton	Low
Gc P	Scabovda "Maave Clusters"	fan flower	Moderate/Medium
Gc P Su N	Sedum spp. (some are Hylotelephium)	stone crop	Low
P Su	Sempervivum spp.	house leek	Low
Gc P Su	Senecio mandraliscae (Kleinia mandraliscae)	kleinia	Low
Gc P Su	Senecio sepiens	blue chalcidicks	Low
S	Senecio talinoides and cvs. (nomenclature unresolved)	blue finger	Low
S	Senna nemophila (Cassia nemophila)	desert cassia	Low
G	Stipa tenuissima (Nassella tenuissima)	Mexican feather grass	Low
S	Streptocarpus reginae var. juncea	narrow-leaved bird of paradise	Low
S T	Theselia peruviana	yellow oleander	Low
Gc P	Thymus praecox	mother-of-thyme	Low
Gc S V	Trachelospermum asiaticum	Asian star jasmine	Moderate/Medium
Gc S V	Trachelospermum jasminoides	star jasmine	Moderate/Medium
S	Westringia "Wynabbie Gem"	Wynabbie Gem westringia	Low
S	Westringia fruticosa (rosmariniformis)& hybrids and cvs	coast rosemary	Low

Note: Plant palette will be 90% low/Very Low with 10% as medium/moderate planting in specific zones  
Lawn will be low water Paspalum Grass, Tifut Bermuda Grass or Artificial Grass

- Key
- S Shrub
- T Tree
- Gc Ground Cover
- N Native
- V Vine
- Su Succulent
- P Perennial

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Revisions	By	Date
City Resubmittal		12.05.2017

Job Number E17-517  
Design Staff CM  
Project Manager CM  
Principal AMH

Planting Schedules and Notes

L3.00

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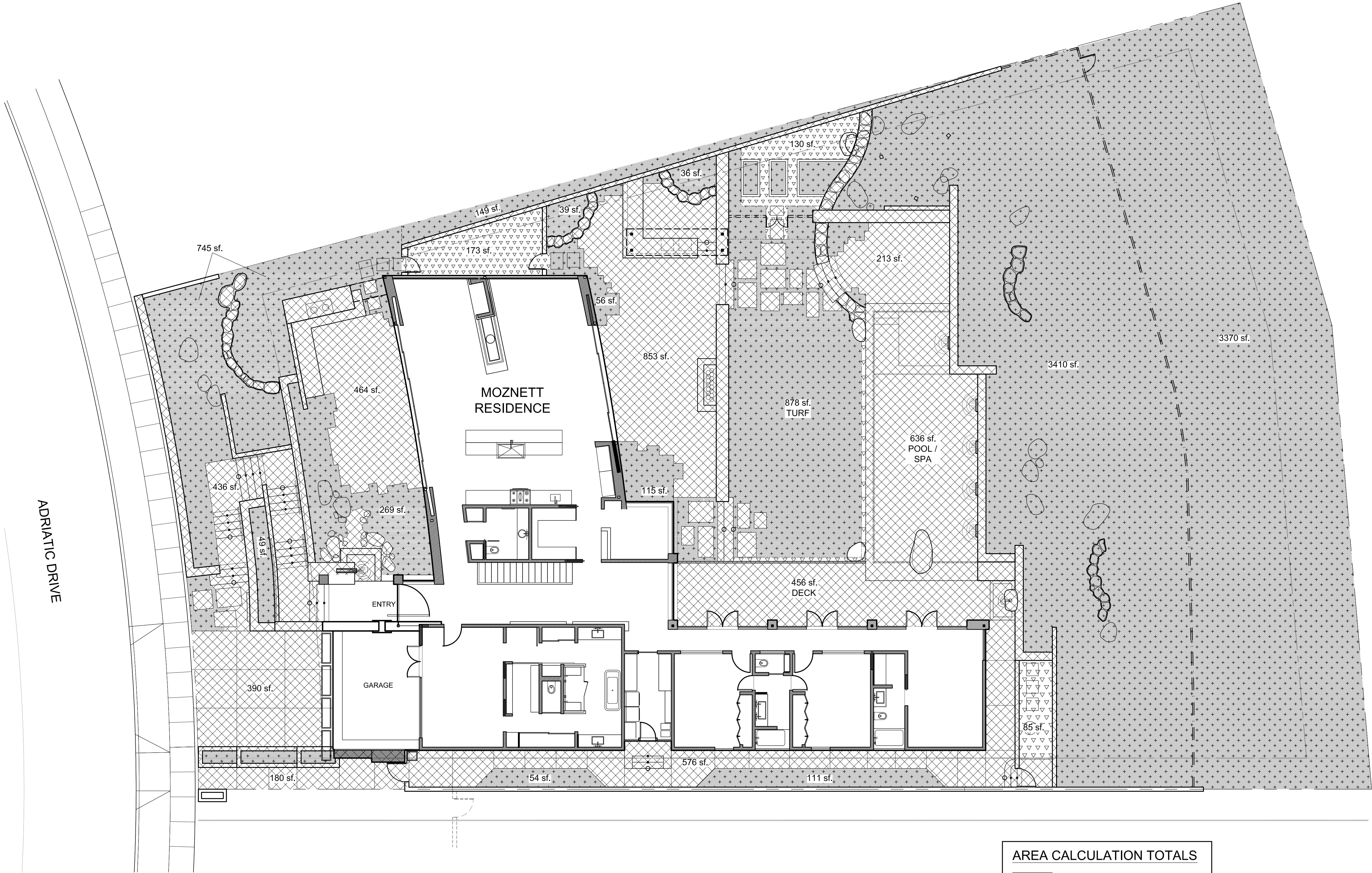
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Area Calculations Plan

LX.01

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AREA CALCULATION TOTALS

	PLANTING AREA:	9,508 sf.
	PERVIOUS AREA:	447 sf.
	IMPERVIOUS AREA:	5,633 sf.
AREA TOTAL:		15,565 sf.

NOTES:

- Square footage labels noted on plan are for reference only and include measurements of larger areas. (The inclusion of smaller areas such as some walls, concrete steppers, boulders, etc. vary in some instances.)
- Refer to Area Calculation Totals legend (above) for inclusive overall area totals.

