

**CITY OF DANA POINT  
AGENDA REPORT**

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**DATE:** FEBRUARY 26, 2018

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
SEAN NICHOLAS, SENIOR PLANNER

**SUBJECT:** REVIEW OF ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT CDP17-0027(A) TO PERMIT THE DEMOLITION OF MORE THAN 50% OF AN EXISTING, SINGLE-FAMILY RESIDENCE AND THE CONSTRUCTION OF A NEW, SINGLE-STORY, SINGLE-FAMILY RESIDENCE.

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**RECOMMENDATION:** That the Planning Commission receive and file the Director of Community Development's approval of Administrative Coastal Development Permit CDP17-0027(A)

**APPLICANT:** Michael Luna and Associates

**OWNER:** Al and Mahin Ross

**REQUEST:** Coastal Development Permit CDP17-0027(A) to permit the demolition of more than 50% of an existing, single-family residence and the construction of a new, single-story, single-family residence.

**LOCATION:** 32571 Caribbean Drive (APN 670-085-01) (the "Property")

**NOTICE:** On January 22, 2018, a Notice of Application for an Administrative Coastal Development Permit was posted at the project site. There are no persons known to be of interest (as defined in Section 9.69.110 (c) (2) of the Dana Point Municipal Code), and public notices were sent to property owners within 500 feet of the project site, and residents within 100 feet of the project site.

**ENVIRONMENTAL:** Pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the Community Development Department has analyzed the subject project. Staff finds the project is Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures).

**ISSUES:**

1. Does the project satisfy all the findings required pursuant to the City's Municipal Code for approval of an Administrative Coastal Development Permit?

**BACKGROUND AND DISCUSSION:**

The existing single story house is comprised of four bedrooms and totals 3,651 square feet on a 16,591 square foot lot. The subject application proposes the demolition of more than 50% of the existing single-family residence and an addition that would result in a new, 4,589 square foot, one story, single-family residence with a three car garage on land located within the Coastal Overlay District, but outside the Coastal Commission appeals jurisdiction.

The property is a through-lot, fronting Caribbean Drive with Mediterranean Drive at the rear. Most of the Property comprises a steep slope terminating at Mediterranean Drive. The Property is surrounded on all sides by existing, single-family residential development.

The proposed structure would be comprised of four bedrooms and various accessory rooms for a total 4,589 square feet of habitable space. The structure would be single-story, stand approximately 15 feet in height (as measured from the structure's proposed finished pad) and cover approximately 39 percent of the subject property. This scope-of-work and project location meet all criteria for application for an Administrative Coastal Development Permit (CDP(A)) as enumerated in Section 9.69.030(a) of the Dana Point Municipal Code.

**Coastal Development Permit CDP17-0027(A)**

The proposed development meets all applicable development standards, and has been approved by the Home Owners Association. Therefore, the proposed scope-of-work meets all criteria as set forth in Section 9.69.030(a) including: 1) the project is for a single family residence outside the appeals jurisdiction, and 2) the project is not a subdivision and does not require a Conditional Use Permit or Variance for approval. The provisions of Section 9.69.110 of the DPZC have been followed for the approval of a CDP(A).

Section 9.69.070 of the DPZC stipulates a minimum of eight findings to approve a CDP, requiring that the project:

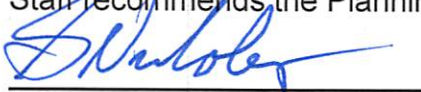
1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code;*
2. *Be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act;*

3. *Not adversely affect marine resources;*
4. *Not adversely affect recreational or visitor-serving facilities or coastal scenic resources;*
5. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources;*
6. *Minimize alterations of natural landforms;*
7. *Be visually compatible with the character of surrounding areas.*
8. *Be in conformance with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Supportive findings have been made for the conditionally approved administrative CDP and are detailed in the attached permit.

**CONCLUSION:**

Staff recommends the Planning Commission receive and file the approval of the CDP(A).



Sean Nicholas, AICP  
Senior Planner



Ursula Luna-Reynosa, Director  
Community Development Department

**SUPPORTING DOCUMENTS:**

1. Administrative Coastal Development Permit CDP17-0027(A)
2. Project Plans (architectural only)



January 26, 2018

Michael Luna, Architect  
1531 North El Camino Real, Suite A  
San Clemente, CA 92672

**ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT CDP17-0027(A)**

**APPLICANT/ OWNER:** Michael Luna and Associates/ Al and Mahin Ross

**LOCATION:** 32571 Caribbean Drive (APN 670-085-01)

**REQUEST:** A request to demolish more than 50% of a single-story, single family residence, and construct a new single-story, single family residence compliant with all development standards.

**ENVIRONMENTAL:** The project is Categorically Exempt from the provisions set forth in the California Environmental Quality Act (CEQA) per Section 15303 (Class 3 – New Construction or Conversion of Small Structures).

**DETERMINATION:** The Community Development Director hereby  
\_\_\_\_\_☒\_\_\_\_\_**APPROVES**  
\_\_\_\_\_☐\_\_\_\_\_**DENIES**  
the requested Administrative Coastal Development Permit described herein subject to the attached findings and applicable conditions.

  
\_\_\_\_\_  
Ursula Luna-Reynosa, Director  
Community Development Department

## Administrative Coastal Development Permit (CDP17-0027(A))

### Findings:

- 1) That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that, the approval of an administrative coastal development permit is required for the construction of a new single family dwelling located inside of the coastal overlay boundary but outside of the coastal appeals jurisdiction. The proposed residence is single-story and meets all applicable development standards. The residence is proposed to be a contemporary modern inspired architecture, is 4 bedrooms, an office, 6 bathrooms, laundry room, kitchen, and great room with an attached three car garage. The structure in total is proposed to be 4,589 square feet of living space.**
- 2) That the proposed development is located within the Coastal Overlay District and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that, any proposed development is located on a previously developed site and would not alter existing public access or public recreation areas in the vicinity.**
- 3) That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the subject project qualifies for a Class 3 Exemptions pursuant to Section 15303 (a) (New Construction or Conversion of Small Structures) as the project site proposes one single family residence in the Residential Single Family (RSF4) zone.**
- 4) That the proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that, the subject project proposes demolition of an existing, and the construction of a new single-family residence located where no public accessway exists.**

- 5) That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the subject property is an already developed parcel containing no environmentally sensitive habitat (ESHA) and accordingly, the proposed improvements will not result in adverse impacts.**
- 6) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is an already developed property that is being constructed on existing foundation; and the proposed additions will be designed in conformance with applicable regulations for geological safety, flood, and fire hazards.**
- 7) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and/or enhance visual quality **in that, the scale and architectural style of the proposed, new residence are consistent with other residential structures in the surrounding neighborhood. The neighborhood is made up of predominantly one-story single family residences with an eclectic mix of architectural styles. Thus the proposed single story modern influenced design is consistent with the neighborhood.**
- 8) That the proposed development will conform to the General Plan, Zoning Code, Local Coastal Program, applicable Specific Plan(s), or other, applicable adopted plans and programs **in that, the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable documents and subject to conditions of approval, been found consistent.**

Conditions:

**General:**

- 1) Approval of this application permits the demolition of an existing single family residence and construct a new single-story, single family residence with an attached garage consisting of 4,589 square feet on a previously developed lot located at 32571 Caribbean Drive.

Subsequent changes to the approved scope-of-work shall be in substantial compliance with those plans presented to the Community Development Director, and in compliance with applicable provisions of the City of Dana

Point Local Coastal Program and the General Plan.

- 2) Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
- 3) The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
- 4) Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
- 5) The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify and hold harmless the city shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions or proceedings against the City, its officers, employees, or agents arising out of or resulting from negligence of the applicant or the applicant's agents, employees or contractors. Applicant's duty to defend, indemnify and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

- 6) The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
- 7) The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
- 8) This resolution shall be copied in its entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans submitted to the City of Dana Point Building/Safety Division for plan check.
- 9) A separate permit for all retaining walls shall be required by the Building Department. A separate submittal shall be required in accordance with Building Department standards.
- 10) The project shall meet all water quality requirements.
- 11) A grading permit shall be obtained prior to any work including demolition activities.
- 12) The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television services. The applicant is responsible to coordinate any potential conflicts or existing easements.
- 13) The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
- 14) The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.



- 15) Prior to the commencement of any work within the public right-of-way, the applicant shall apply and be approved for an encroachment permit.

**At submittal for Building Plan Check:**

- 16) Building plan check submittal shall include three sets of the following construction documents:
- a. *Building Plans*
  - b. *Energy calculations*
  - c. *Structural Calculations*
  - d. *Soils/Geology Report*
  - e. *Drainage Plan*

All documents prepared by a professional shall be wet-stamped and signed.

- 17) Fire Department review is required. Submit plans directly to the Orange County Fire Authority for their review and approval.
- 18) Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
- 19) Minimum roofing classification is Class "A".

***Fire-Sprinkler Requirements***

- 20) Fire sprinkler system is required.

***Foundation***

- 21) Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
- 22) Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.

***Construction Documents***

- 23) Green Building: Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

- 24) This project is in a Special Fire Protection Areas/Very High Fire Hazard Severity Zones. All buildings structures, and lands located within Special Fire Protection Area/Very High Fire Hazard Severity Zones shall be in accordance with chapter 7A section 702A. Add a note that the structure is located in VHFHSZ (Very High Fire Hazard Severity Zone) and provide notes/specifications to comply with CBC Chapter 7A & the City of Dana Point Municipal Code.
- 25) The construction site shall be posted with signage indicating that construction not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
- 26) Building materials, unlicensed vehicles, portable toilets, and similar items shall not be placed in the public right-of-way.

**Prior to Issuance of a Grading Permit:**

- 27) The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
- 28) The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
- 29) The applicant shall submit an application for retaining walls, as needed, to the Building Department. A separate permit submittal shall be made to the Building Department for review and approval of all site walls. All retaining wall permits may be issued concurrently with the grading permit.
- 30) The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
- 31) A performance bond shall be required for all grading activities up to 100% of the proposed improvements. A separate performance bond may be required for retaining walls to ensure completion of grading activities and protection of adjoining improvements.

**Prior to Issuance of a Building Permit:**

- 32) Verification of all conditions of approval is required by all City Departments.
- 33) All approvals from outside Departments and Agencies are required.
- 34) "Rough Grad/Pad Certification" or "Grading Release Form" is required from City Engineer.
- 35) All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
- 36) Separate review, approval and permits are required for fire sprinklers, demolition, swimming pools/spa, separate structures, retaining walls and site walls over 3 feet.
- 37) The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
- 38) The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
- 39) The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
- 40) An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement

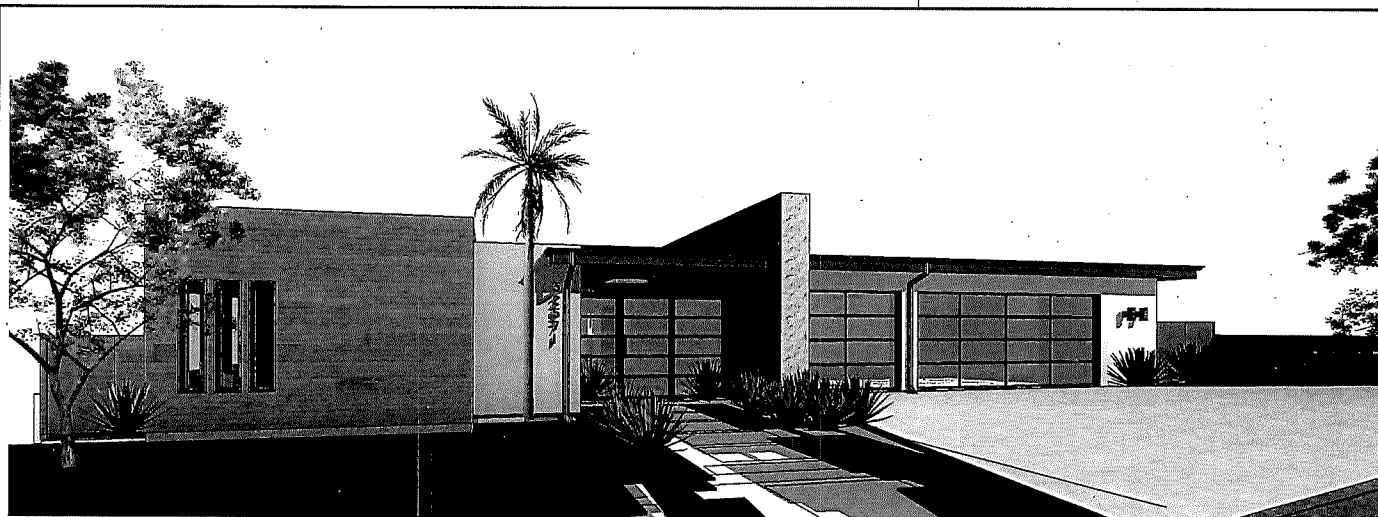
monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

**Prior to Final Inspections and/or Project Sign-off by City Staff and/or issuance of a Certificate of Occupancy:**

- 41) Revised plans showing any changes must be submitted for review and approval prior to the commencement of construction.
- 42) Prior to commencement of framing, the applicant shall submit a Foundation Certification, by survey that the structure is constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines. The City's standard "Setback Certification" Form shall be obtained from the Project Planner, prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.
- 43) Prior to a release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of each structure complies with plans approved by the City. The City's standard "Height Certification" Form shall be obtained from the Project Planner, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.
- 44) The applicant shall contact the Planning Division to conduct an inspection of the completed project prior to contacting the Building/Safety Division for final project sign-off. In addition to completion of the approved project scope-of-work, at a minimum, all new landscaping proposed in the front one-half of the subject property shall be installed prior to calling for this inspection.
- 45) A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
- 46) A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
- 47) A written approval by the Civil Engineer of Record approving the grading

as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.

- 48)** An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
- 49)** All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.



# ROSS RESIDENCE

32571 CARIBBEAN DRIVE  
DANA POINT, CA

Michael  
Luna

&  
Associates

1801  
Rancho Conejo Blvd  
Santa Ana, CA 92705

San  
Clemente,  
California  
92683

Phone (949) 454-0328  
Fax (949) 454-0328

Architect

Project

Construction  
Documents

Ross  
Residence

32571 Caribbean Drive  
Dana Point, CA

Sheet Title

Project Title  
Sheet



Project No. 1707  
Plot Date 1/4/2018  
B.D. Submittal 9:45:45 AM  
Revisions  
Revision 1  
Revision 2  
Revision 3  
Revision 4

T.1

Sheet No.

## PROJECT DIRECTORY

### Owner:

AJ & Maria Ross  
32571 Caribbean Drive  
Dana Point, CA 92629

### Legal Description:

APN: 870495-01  
LOT: 13  
TRACT: 3845

### Job Address:

32571 Caribbean Drive  
Dana Point, CA 92629

### Architect:

Michael Luna & Associates, Architects Inc.

Michael Luna, Architect

1521 N El Camino Real, Ste A  
San Clemente, CA 92672

Tel: (949) 452-3200  
Fax: (949) 452-3245  
Email: mluna@mvna.com

### Structural:

R.M. Volpe & Associates, Inc.  
25321 LANE FOREST DRIVE, SUITE 204  
LAKE FOREST, CA 92650  
TEL: (949) 355-4700  
email: bob@rmvolpe.com

### Civil:

MEANE CO  
BIMAR & CLAM  
84 VIA ATHENA  
ALISO VIEJO, CA 92556  
TEL: (714) 955-0403  
email: bmar@meane.com

### MEP:

PRO ENGINEERING CONSULTING, INC.  
1102 SYCAMORE AVENUE, SUITE 2A  
VISTA, CA 92081  
TEL: (619) 546-4535  
email: steve@proengineeringconsulting.com

### Geotechnical:

VIA GEOTECH  
MIKE CHLOE  
285 N COAST HWY, SUITE B  
PO BOX 328 LAGUNA BEACH, CA 92652  
TEL: (949) 464-2721  
mchloe@viatech.com

## SHEET INDEX

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4 Erosion Control & Wall Plan  
5 Demolition Plan  
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A1.3 Demolition Plan  
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L-3 Landscape Planting Imagery

## TABULATIONS

### ZONING STANDARDS

DESCRIPTION	REQ./ALLOWED	EXISTING	PROPOSED	CONFORMS
USE:	SFD	SFD	SFD	YES
ZONE:	RSF 4	RSF 4	RSF 4	YES
LOT AREA:	-	16,591 sf	16,591 sf	YES
MAX BLDG. HT.:	28'-0" (City) 19'-0" (HQA)	19'-0"	19'-0"	YES
SETBACKS:				
Front Yard	20'-0" min	22'-6"	20'-0"	YES
Rear Yard	25'-0" min	74'-9"	74'-9"	YES
Side Yard	5'-0" min	6'-1"	5'-1"	YES
LOT COVERAGE:	45%	5,022 sf (30.3%)	6,510 sf (39.3%)	YES
PARKING:	2	2	3	YES

### PROJECT DATA

DESCRIPTION	EXISTING	PROPOSED ADDITION	PROPOSED DEMO	TOTAL (SF)
LIVING AREA:	3,070 sf	+ 1,519 sf	-	4,589 sf
GARAGE:	581 sf	+ 76 sf	-	657 sf
WOOD DECK:	699 sf	-	54.5 sf	634.5 sf

### LANDSCAPE:

TOTAL NEW LANDSCAPE (WITHOUT REAR SLOPE):  
2,540 S.F. (NOT INCLUDING DECORATIVE GRAVEL IN FRONT)  
389 S.F. OF DECORATIVE GRAVEL IN FRONT YARD  
4,929 S.F. OF LANDSCAPE IN REAR SLOPE  
OVERALL TOTAL LANDSCAPE: +17,550 S.F.  
OVERALL LOT SIZE: 16,591 S.F.  
% LOT COVERAGE OF LANDSCAPE: 44.5 %  
TOTAL NEW HARDSCAPE: +12,800 S.F.

### NOTE:

STRUCTURE IS LOCATED IN VERY HIGH FIRE HAZARD SEVERITY ZONE AND SHALL COMPLY WITH CBC CHAPTER 7A.

## SCOPE OF WORK

Remodel and addition to existing single-story residence; site work to include deck upgrade and landscaping. All work to be less than 15' in height.

## CODE DATA

OCCUPANCY GROUP: R-3

ZONING DESIGNATION: RSF 4

TYPE OF CONSTRUCTION: TYPE VB

FIRE SPRINKLERS: THE EXISTING BUILDING IS NOT PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM. AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED.

NUMBER OF STORIES: ONE

### NOTES:

- OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.406.1 CALGREEN CODE.

### DEFERRED SUBMITTALS:

- FIRE SPRINKLERS

NOTE: DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

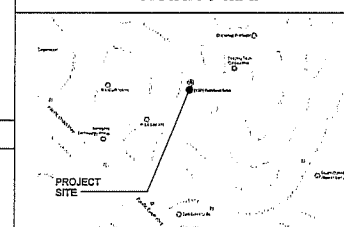
### SEPARATE PERMITS:

- RETAINING WALLS
- REAR PATIO COVER

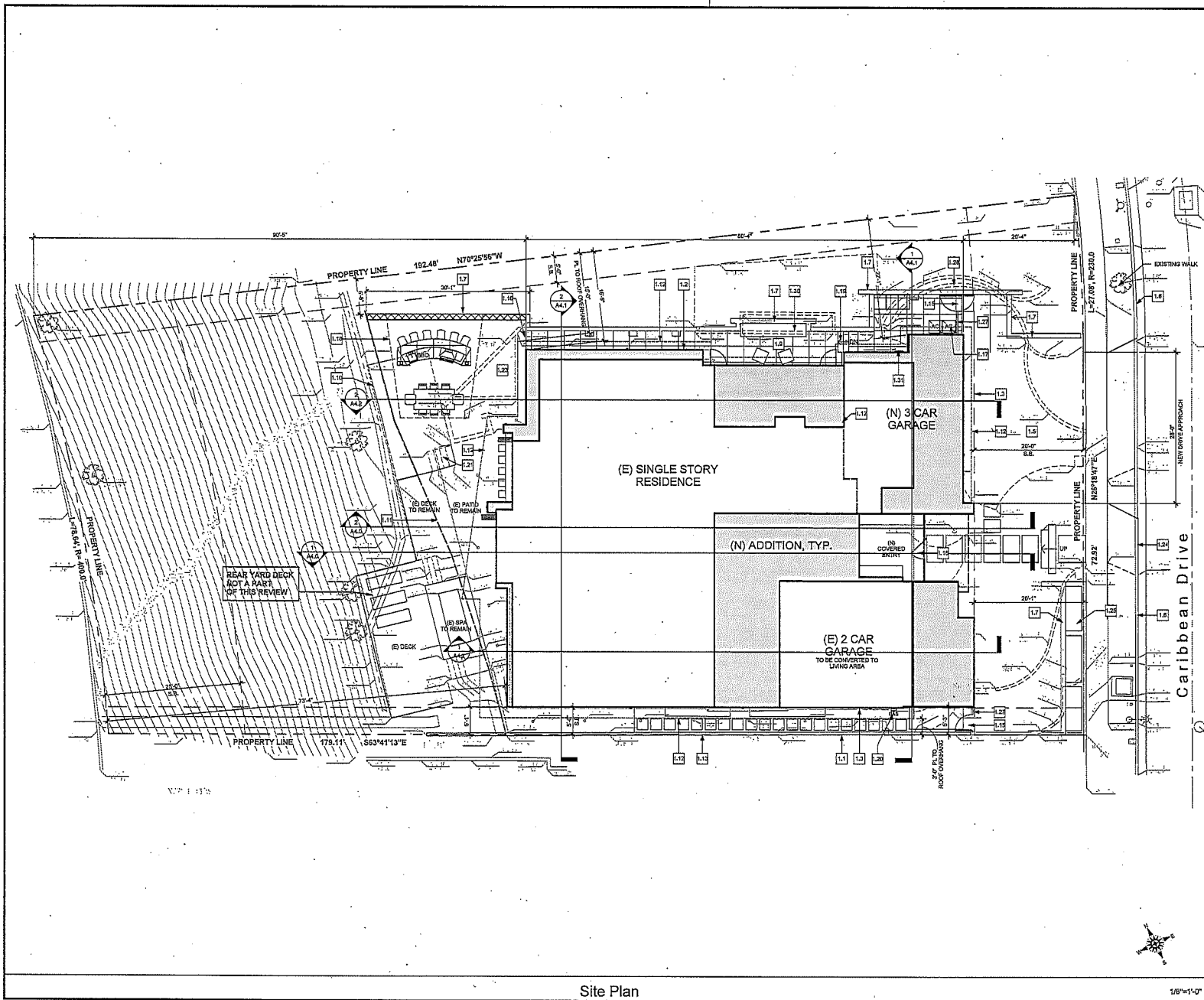
### CODE INFORMATION:

2016 CRC - BASED ON 2015 IRC  
2016 CBC - BASED ON 2015 IBC  
2016 NEC - BASED ON THE 2014 NATIONAL ELECTRICAL CODE (NEC)  
2016 CPC - BASED ON THE 2015 UPC  
2016 CMC - BASED ON THE 2015 UMC  
2016 CPC - BASED ON 2015 IPC  
2016 CAL - ENERGY CODE  
2016 CAL - GREEN BLDG. STDS. CODE

## VICINITY MAP







1.1	PROPERTY LINE TYPICAL
1.2	NEW BUILDING FOOTPRINT
1.3	BUILDING SETBACK LINE
1.4	NEW DRIVEWAY - REFER TO LANDSCAPE PLAN
1.5	CURB AND GUTTER
1.6	NEW RETAINING WALL (SEPARATE PERMIT)
1.7	NEW HANDBRAKE
1.8	EXISTING DECK TO BE DEMOLISHED
1.9	EDGE OF SLOPE
1.10	LINE OF ROOF ABOVE
1.11	EXISTING CMU SITE WALLS WITH STUCCO FIN.
1.12	NEW WOOD GATE 8' W
1.13	EXISTING RETAINING WALL
1.14	ADU UNIT LOCATION
1.15	NEW DETACHED PATIO COVER (SEPARATE PERMIT)
1.16	NEW STAIRS
1.17	EXISTING GAS METER (VERIFY SIZE AND LOCATION)
1.18	EXISTING STAIRS TO BE REMOVED
1.19	EXISTING RAISED PLANTER TO BE REMOVED
1.20	NEW CONCRETE CURB
1.21	NEW RAISED PLANTER W/ STUCCO FINISH
1.22	NEW 9' HT. WOOD FENCE
1.23	EXISTING SITE WALL TO BE REMOVED
1.24	NEW FOUNTAIN, REFER TO LANDSCAPE PLAN
1.25	RELOCATED ELECTRICAL METER, ZISA SERVICE UPGRADE

Keynotes

	AREA OF EXISTING
	AREA OF NEW ADDITION
	PROPERTY LINE
	BUILDING SETBACK LINE
	ROOF LINE ABOVE
(E)	EXISTING
(N)	NEW

- NOTES:
1. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THIS GRADE SHALL MAINTAIN A MINIMUM OF 6" WITHIN THE FIRST 10'.
  2. THE DISCHARGE OF POLLUTANTS FROM ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
  3. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.

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Architect

Project

Construction Documents

Ross Residence

32571 Caribbean Drive  
Dana Point, CA

Sheet Title

Site Plan



Project No.	1707
Plot Date	1/6/2019 2:35:18 AM
B.O. Submitted	
Redline	
Revision	
Revision	
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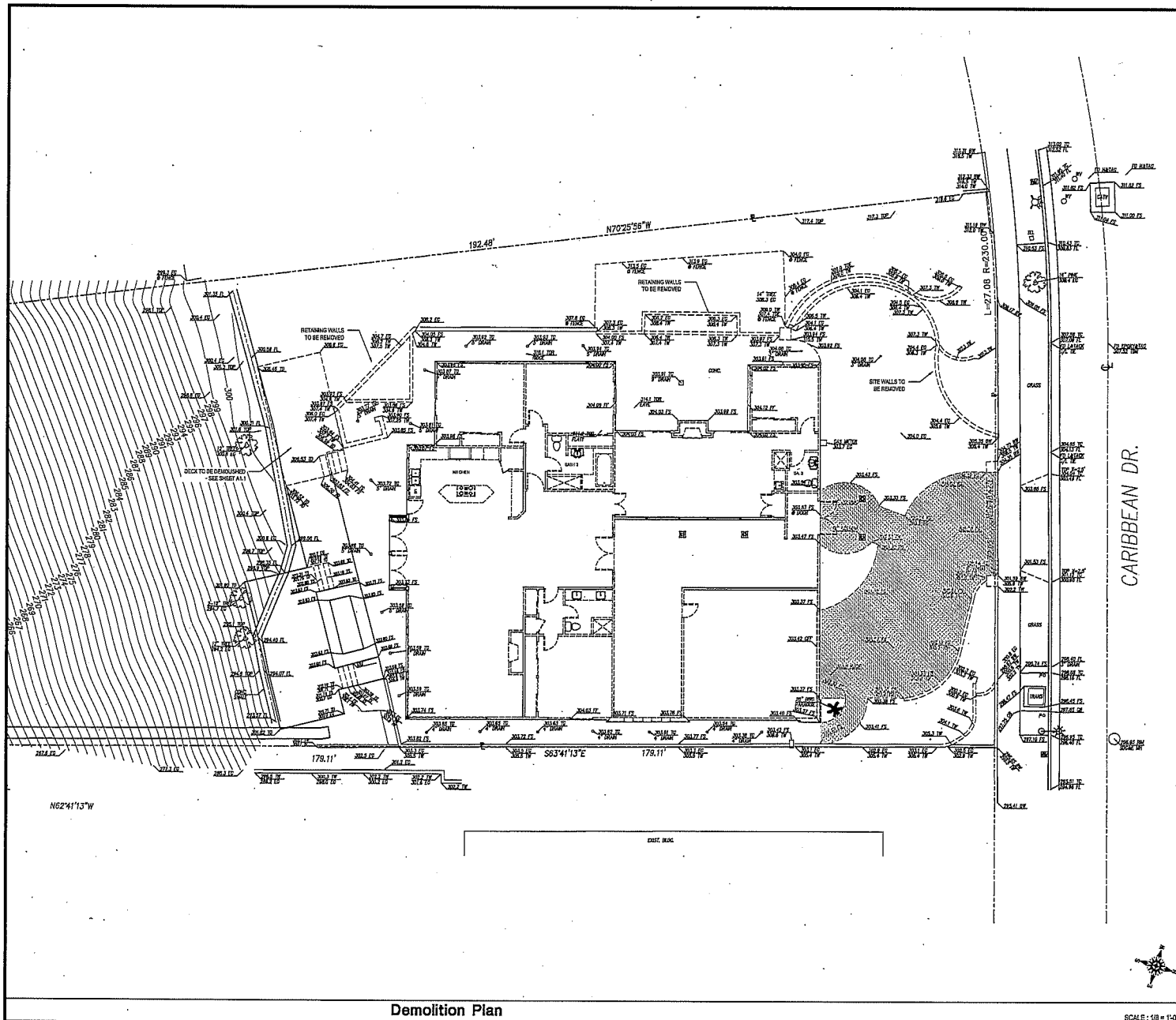
Sheet No.

Site Plan

1/8"=1'-0"

Legend & Notes





=====	WALL TO REMAIN	800 LF
-----	WALL TO BE REMOVED	10110 SF
=====	HARDSCAPE / DRIVEWAY TO BE REMOVED	2770 LF
<b>DEMOLITION TOLERANCE</b>		
=====	BUILDING WALLS TO BE DEMOLISHED	800 LF
=====	WALLS TO BE DEMOLISHED	10110 SF
=====	WALLS TO BE DEMOLISHED	2770 LF

SCALE: 1/8" = 1'-0"

Wall Legend and Notes

Michael  
Luna  
&  
Associates

101  
11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

Architect  
Project

ROSS  
RESIDENCE

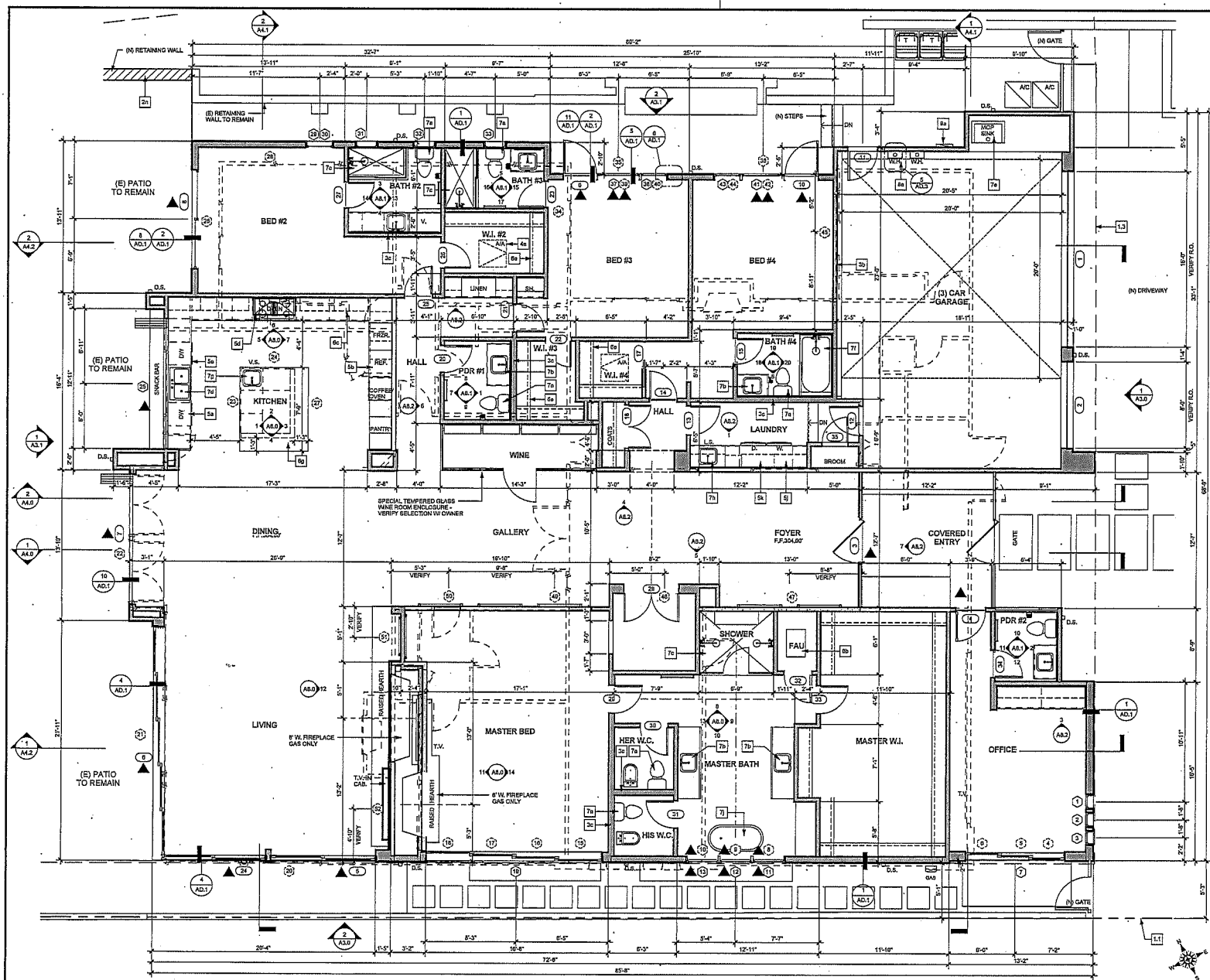
32571 Caribbean Dr.  
Dana Point, California

Demolition  
Plan



Project No.	1001
Plot Date	01/27/2017
W.D. Residential	
W.D. Name	
Contract Name	
Revision	
Revision	
Revision	
Revision	

A1.3



- 1.1 PROPERTY LINE, TYPICAL
- 1.2 BUILDING SETBACK LINE
2. NEW CMU RETAINING WALL PER STRUCTURAL
3. PROVIDE 6" TOP RAIL TO RETAIN 4" CONCRETE WALL U.L.G.
4. 2" x 8" WOOD STUD WALL PLUMBING WALL
5. MIN. 20" X 4" TYPIC ACCESS PANEL, PROVIDE MIN. 30" HEAD CLEARANCE AT OPENING
6. 24" BUILT-IN DRYWASHER - VERIFY DIMENSIONS WITH MANUFACTURER SPECIFICATIONS AND COMPLIANCE WITH SECTIONS 414.1, 414.3 AND 437.4 OF THE 2013 CFC
7. 6" REFRIGERATOR FREEZER - VERIFY TYPICAL CLEARANCE BETWEEN PANELS AND DOOR CASING V.L.S. - VERIFY DIMENSIONS WITH MANUFACTURER SPECIFICATIONS
8. 1/2" RANGE HOOD, MIN. 30" C.F.M. V.T.C.A. - VERIFY DIMENSIONS WITH MANUFACTURER SPECIFICATIONS
9. UNDER-SINK HOT AND COLD WATER CONNECTIONS, WASTE DRAIN AND 1/2" PAN WITH DRAIN TO WASTE SYSTEM, PROVIDE SINKY PAN AT UPPER LEVEL LOCATIONS
10. DISH - PROVIDE FUEL GAS & VENT TO OUTSIDE AIR PER CMC - USE 4" DIA. DIRECT VENT 14" MAX. LENGTH 1/2" W MAX. 2.0" BODIES
11. UPPER EUROPEAN STYLE CABINETS OFF TALL WITH 24" TALL ADJES
12. WOOD SHEET & POLE (PROVIDE DOUBLE POLE AT REAR WALL OF MASTER WALK-IN)
13. 1/2" x 1/2" NATURAL STONE COUNTER TOP @ 30" A.F.F.
14. WATER CLOSET WITH 20" CLEAR MIN. SPACE IN WIDTH AND 14" SPACE IN FRONT PER CODE MAX. FLOW RATE 1.28 G.P.T. @ 150 PSI AT 1/2" A.F.F. - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
15. FAUCETS W MAX. 1.5 G.P.M. @ 60 PSI - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
16. SHOWER PAN AND CURB WITH 1/2" SLOPE CERAMIC TILE FLOOR AND WALLS 1/2" A.F.F. DRAIN, PROVIDE CLEAR SHOWERHEAD GLASS ENCLOSURE, SHOWER HEAD MAX. 2 G.P.M. @ 150 PSI AT 1/2" A.F.F. - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
17. KITCHEN SINK W GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER SPECIFICATIONS (FAUCETS W MAX. 1.5 G.P.M. @ 60 PSI) - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
18. SINK FAUCETS W MAX. 1.5 G.P.M. @ 60 PSI - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
19. SINK FAUCETS W MAX. 1.5 G.P.M. @ 60 PSI - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
20. UTILITY SINK FAUCETS W MAX. 1.5 G.P.M. @ 60 PSI - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
21. CONSIDERED SOLID EXTERIOR FLOORING (TYPICAL) WITH WALL MOUNTED TUB FILLER (MAX. 2 G.P.M. @ 150 PSI) - SEE OWNERS PLUMBING SPEC BOOK FOR FIXTURE SELECTION
22. NON-TOXIC WATER HEATER, MODEL NCT-100-100 (OR APPROVED EQUAL, PROVIDE 2000 AND/OR MANUFACTURER SPEC FOR INSTALLATION REQUIREMENTS)
23. FORCED AIR UNIT ON 24" HIGH PLATFORM - PROVIDE COMBUSTION AIR WITHIN 1' OF TOP AND BOTTOM OF THE COMPARTMENT
24. ELECTRICAL PANEL/METER

## Keynotes

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL TO BE CONSTRUCTED

INDICATES TEMPERED GLASS  
REFER TO EXTERIOR ELEVATIONS  
FOR LOCATIONS

## GARAGE DOOR SPRING NOTES:

- A. SPRING SHALL BE FABRICATED FROM EITHER HARD-DRAWN SPRING WIRE (PER ASTM A227-20) OR DR-TEMPERED WIRE (PER ASTM A229-75).
- B. MINIMUM DESIGN STANDARD SHALL BE 5.0 CYCLES.
- C. PHYSICAL CYCLING TEST SHALL BE PERFORMED AND CERTIFIED BY AN APPROVED TESTING AGENCY.
- D. EACH SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY OTHER PART THEREOF IN THE EVENT OF BREAKAGE. CONTAINMENT DEVICE SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY.

SHOWER COMPARTMENT NOTE: SHOWER COMPARTMENTS AND WALL ABOVE BATHS WITH SHOWER HEADS INSTALLED SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR, (SIC, R07.2)

PLUMBING FIXTURE SPECIFICATIONS BY OTHERS.

## Notes:

DOORS THAT PROVIDE DIRECT ACCESS TO THE EPA SHALL BE PROVIDED WITH A BARRIER AND/OR FLUSH MOUNTED DOOR ALARMS COMPLIANT WITH THE CITY OF SAN DIEGO BARRIER ORDINANCE. THIS INCLUDES AN APPROVED SAFETY SPA COVER THAT MEETS ALL OF THE PERFORMANCE REQUIREMENTS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), IN COMPLIANCE WITH THE STANDARD F 1484.

VENT OPENINGS IN EXTERIOR WALLS SUCH AS BATHROOM PANS, KITCHEN HOOD VENTS, CLOTHES DRYERS OR S.B.A. OPENINGS SHALL BE PROVIDED BY ONE OF THE FOLLOWING:

- A. THE VENT SHALL BE SPECIFICALLY LISTED FOR RESISTING THE INTRUSION OF FLAME OR BURNING EMBERS.
- B. THE VENT SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN. OPENING OF 1/16" AND MAX. OF 1/2".
- C. VENT OPENINGS IN THE EXTERIOR WALL FOR CLOTHES DRYERS SHALL BE PROTECTED BY A METALLIC BACK DRAFT DAMPER AT THE EXTERIOR WALL SURFACE.

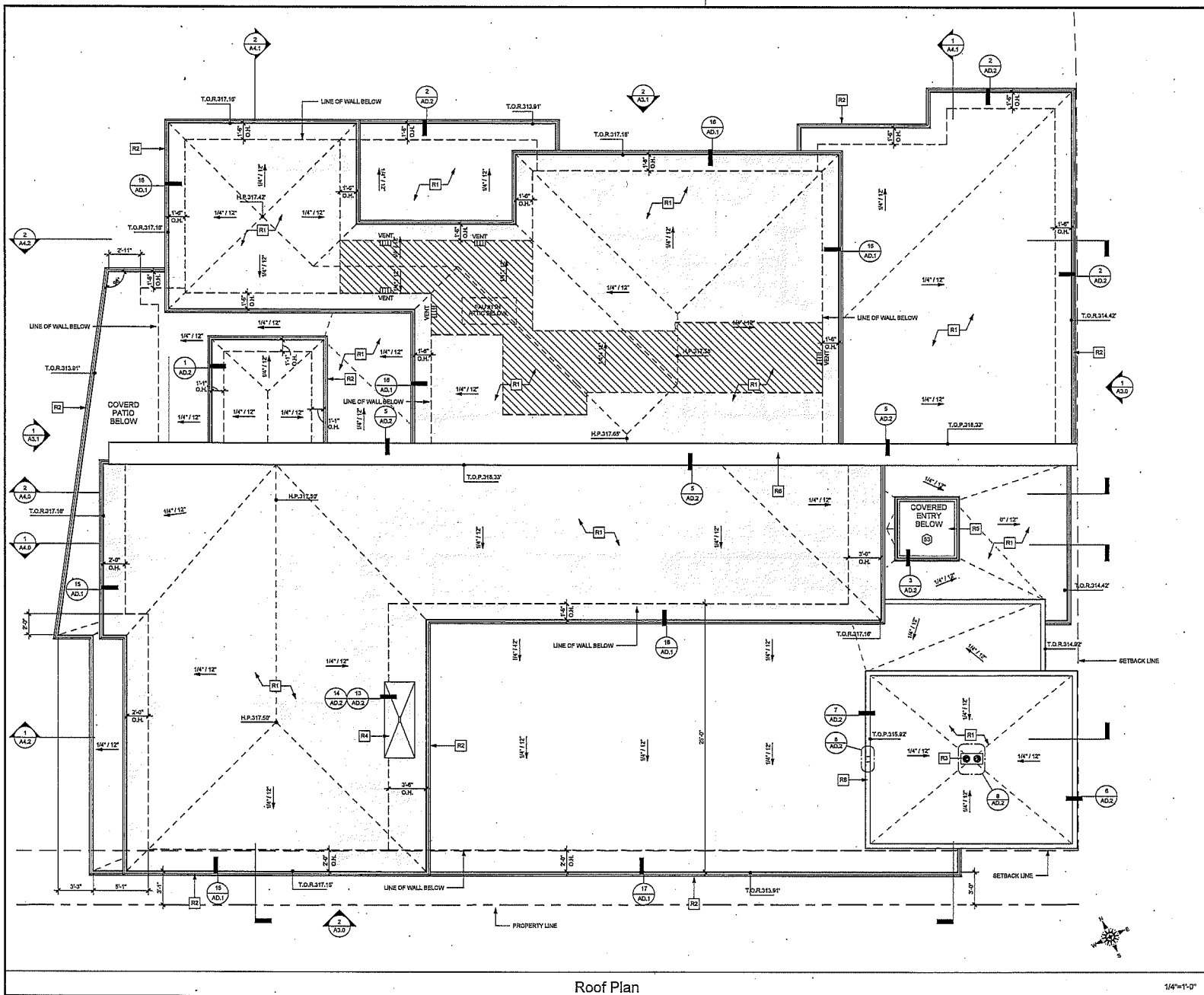
CLOTHES DRYER VENT SHALL BE MAINTAINED AND CLEANED PERIODICALLY TO PREVENT FIRE.

ALL WINDOWS SHALL HAVE MIN. (1) PANE OF TEMPERED GLASS PER VERY HIGH HAZARD SEVERITY ZONE REQUIREMENTS.

Floor Plan

1/4"=1'-0"

## Legend & Notes



R1	GAF/FLAT BUTYR ROOFING SYSTEM (SEE #1274)
R2	SYSTEM #1 FOR CLASS A ROOFING ASSEMBLY
R3	(LOOSE LAY GRAVEL) RUBEROD MGP #1
R4	(GAF/FLAT BUTYR) 1/4\"/>
R5	LINE OF METAL GUTTER
R6	ROOF DRAIN
R7	CHIMNEY
R8	SKYLIGHT
R9	PARAPET WALL

#### Keynotes

	UPPER FLAT ROOF AREA
	LOWER FLAT ROOF AREA
	PARAPET WALL
	ATTIC SPACE

#### ATTIC VENTILATION NOTES:

PROVIDE 1/10 SF VENTILATION FOR ATTIC AREA.  
 ATTIC AREA: 319 SQ. FT.  
 REQUIRED VENTING: 2.13 SQ. FT. (206.72 SQ. IN.)  
 PROVIDE: (5) 12X18 WALL VENTS (60 SQ. IN. EA.)  
 TOTAL ATTIC VENTING PROVIDED: 2.19 SQ. FT. (215 SQ. IN.)

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Architect

Construction  
Documents

Ross  
Residence

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Dana Point, CA

Sheet Title

Roof Plan



Project No. 1787  
 Plot Date 12/14/2017  
 12:53:47 PM  
 S.D. Submittal  
 Bill Issue  
 Const. Issue  
 Revision  
 Revision  
 Revision

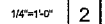
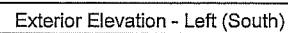
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Sheet No.

Roof Plan

1/4"=1'-0"

Legend & Notes



### Legend & Notes

- [illegible]

## Keynotes

- NOTES:**
1. MODIFIED BITUMEN WATERPROOF MEMBRANE SHALL BE INSTALLED BELOW ALL EXTERIOR PLASTER WALL CAPS, LEOPES, ANGLED WALLS, WINDOW HEADS AND SILLS, ETC. PROVIDE 2 LAYERS OF TYPE "D" FELT PAPER OVER WALL SHEATHING.

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Architect

Project

Construction  
Documents

Ross  
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32571 Caribbean Drive  
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Sheet Title

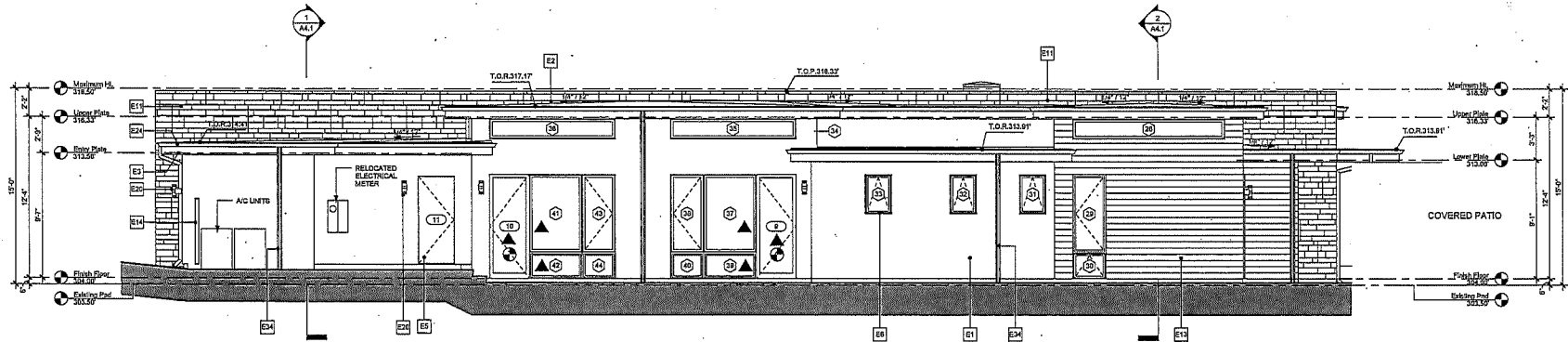
Exterior  
Elevations



Project No. 1707  
Plot Date 12/1/2017  
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D.O. Submittal  
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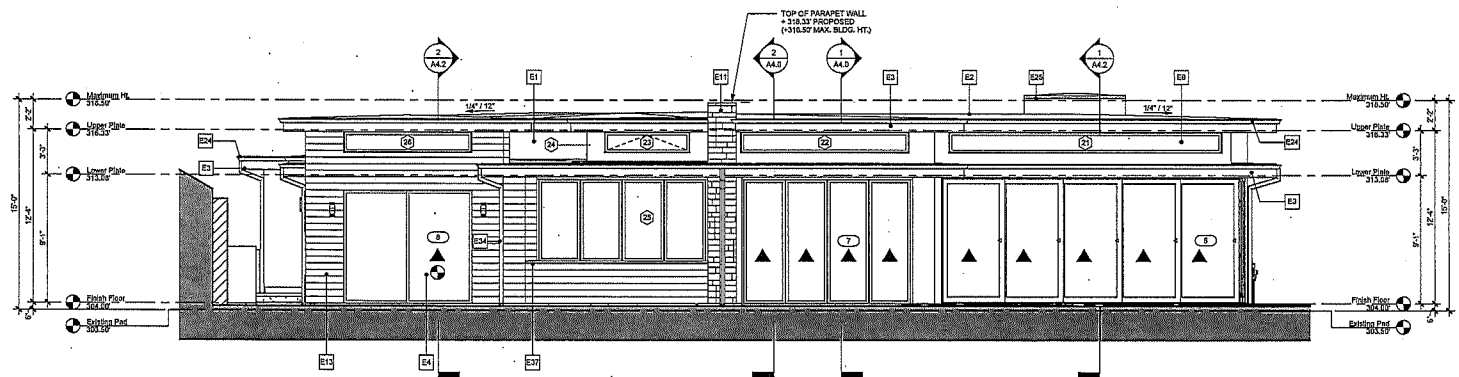
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Sheet No.



Exterior Elevation - Right (North)

1/4"=1'-0" 1



Exterior Elevation - Rear (West)

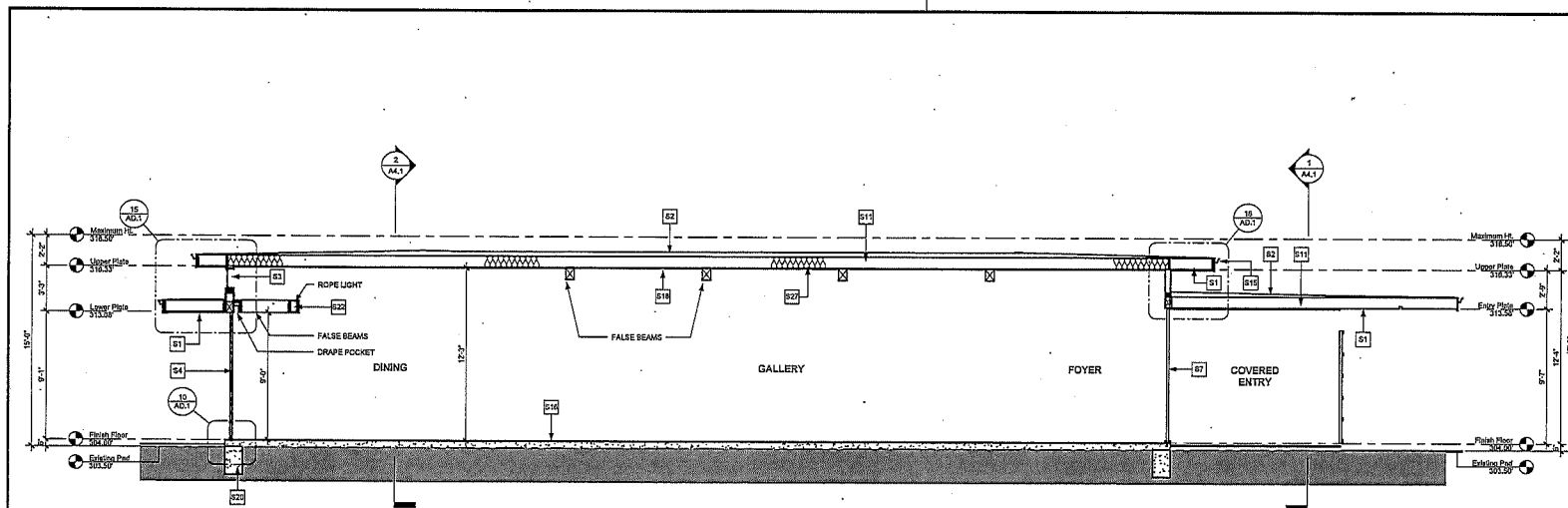
1/4"=1'-0" 2

Legend & Notes

- E1 7/8" EXTERIOR STUCCO w/ APPROVED METAL LASH, HAND-TROWEL, LEAVING RANDOM, SMOOTH MASONRY FINISH, COLOR PER SAMPLE BOARD
- E2 GARAGE BLU-UP ROOFING SYSTEM (SEE E204) SYSTEM #7 FOR CLASS A ROOFING ASSEMBLY FLOODED AND GRAVEL, w/ RUBBEROID MGP w/ GARGLAS PLY 4 w/ GARGLAS #75 BASE SHEET - MIN. 14" x 12" TO 12" x 12" ROOF SLOPE
- E3 WOOD FASCIA, PAINTED FINISH PER COLOR SAMPLE BOARD
- E4 ALUMINUM SLIDING GLASS DOOR
- E5 SOLID WOOD DOOR PER PLAN
- E6 ALUMINUM WINDOWS PER PLAN
- E7 4" x 8" RGT GUARD RAIL w/ TEMPLER GLASS GUARD RAIL
- E11 NATURAL STONE VENEER
- E13 EXTERIOR BRICK w/ CUSTOM WOOD GRAIN - "Finition" BY BOMAL OR EQUAL (SEE E207)
- E14 WOOD GATE, PAINTED FIN. PER COLOR SAMPLE BOARD
- E20 EXTERIOR LIGHT
- E21 METAL BUTTER, RECTANGULAR, PAINTED FINISH SHERWIN WALLIAMS TWP. IRON ONE
- E25 CHIMNEY w/ STUCCO FINISH
- E26 EXISTING LANDSCAPE WALL
- E27 EXISTING DECK
- E28 SQUARE METAL COLUMN WITH PAINTED FINISH, DUNN CORNERS DEC 788 MINERS DUST
- E29 METAL DOWNSPOUT, RECTANGULAR, PAINTED FINISH DUNN EDWARDS DEC 788 MINERS DUST
- E30 TOPANETIC SCISSOR TOP - SEE E207

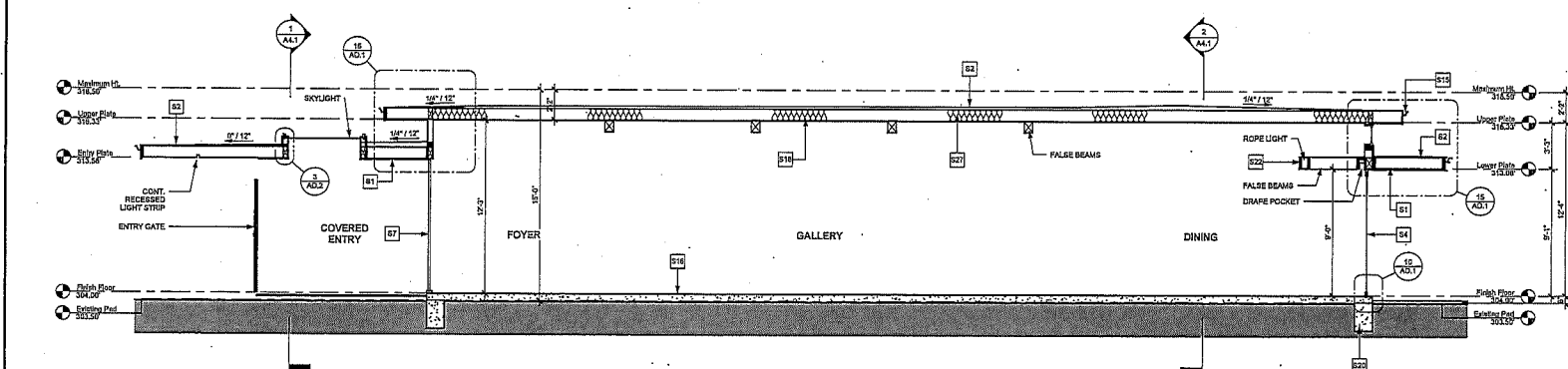
Keynotes

- ▲ DENOTES TEMPERED GLASS
  - INDICATES EMERGENCY EGRESS DOOR / WINDOW
- NOTES:
1. MODIFIED BITUTHANE WATER-PROOF MEMBRANE SHALL BE INSTALLED BELOW EXTERIOR PLASTER WALL CAPS, LEDGES, ANGLED WALL, WINDOW HEADS AND SILL, ETC.
  2. PROVIDE 2 LAYERS OF TYPE "D" FELT PAPER OVER WALL SHEATHING.



Building Section

1/4"=1'-0" 1



Building Section

1/4"=1'-0" 2

01	1/2" EXTERIOR HAZARD 2 APPROVED METAL LATH, WHITE, LOW-ALKALI AND MPA, SMOOTH HAND TROWELED MASONRY AND BELL-ENDED CORNERS AND EDGES, INCLUDING ARCHWAYS
02	UPPER AND BUT-UP ROOFING SYSTEM (SEE #12/24) SYSTEM #7 FOR GLASS A ROOFING ASSEMBLY 6 DOOR AND TRAVEL 8 RUBBEROID MDP 3" CAPGLASS PLY 4 or 5 CAPGLASS #12 INGL SHEET - MPA, 16"X12" TO 12"X12" MAX ROOF SLOPE
03	WINDOW PER PLAN, SEE WINDOW SCHEDULE SHEET A2.0
04	EXTerior DOOR PER PLAN, SEE DOOR SCHEDULE - SHEET A2.0
05	SPECIAL TEMPERED GLASS ENTRY WITH CUSTOM PIVOT DOOR
06	ROOF FRAMING PER STRUCTURAL
07	9" VTL. OUTLET PAINTED TO MATCH FASGIA, AND 3" VTL. DOWNSPOUT - PAINTED TO MATCH WALL FINISH
08	CONC. SLAB PER STRUCTURAL
09	5/8" TYPE GYP. BD. TYP. AT WALLS AND CEILING
10	CONC. FOOTING PER STRUCTURAL
11	12" GYP. FRAMING, SEE FRAMING PLAN AND STRUCTURAL DETAILS
12	12" R-10 FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, R-20 AT ROOFS. SEE TITLE 24 REPORT.

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Architect  
Project

Construction  
Documents

Ross  
Residence

32571 Caribbean Drive  
Dana Point, CA

Sheet Title

Building  
Sections



Project No.	1707
Plot Date	12/12/2017 12:13:54 PM
S.D. Consultant	
Billings	
Cost Issues	
Revisions	
Revision	△
Revision	△
Revision	△
Revision	△

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Sheet No.

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Architect

Construction  
Documents

Ross  
Residence

32571 Caribbean Drive  
Dana Point, CA

Sheet Title

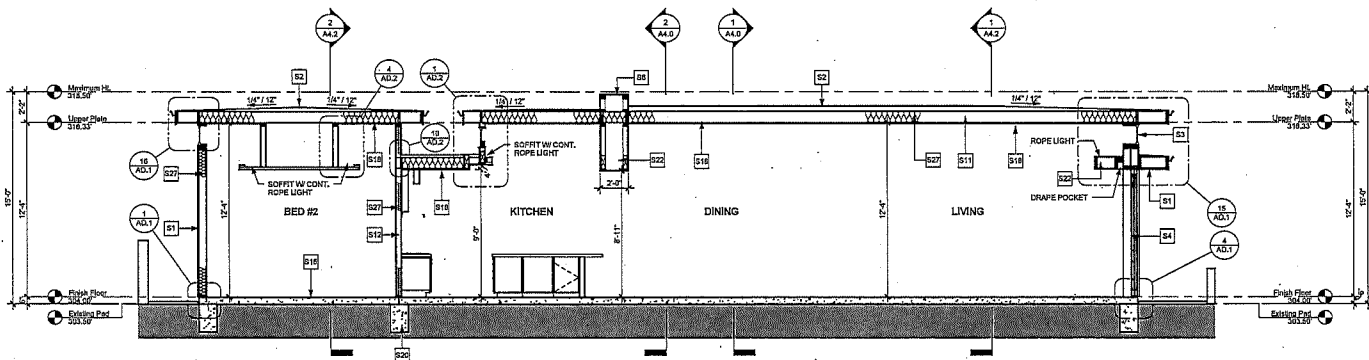
Building  
Sections



Project No. 1707  
Plot Date 12/10/2017  
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B.D. Schmitt  
Designer  
Const. Issue  
Revision  
Revision  
Revision  
Revision

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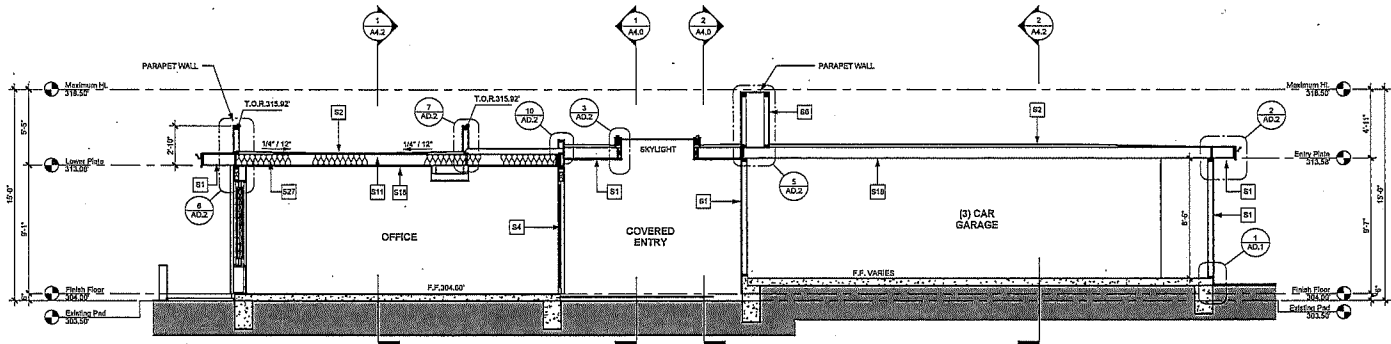
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Building Section

1/4"=1'-0"

1

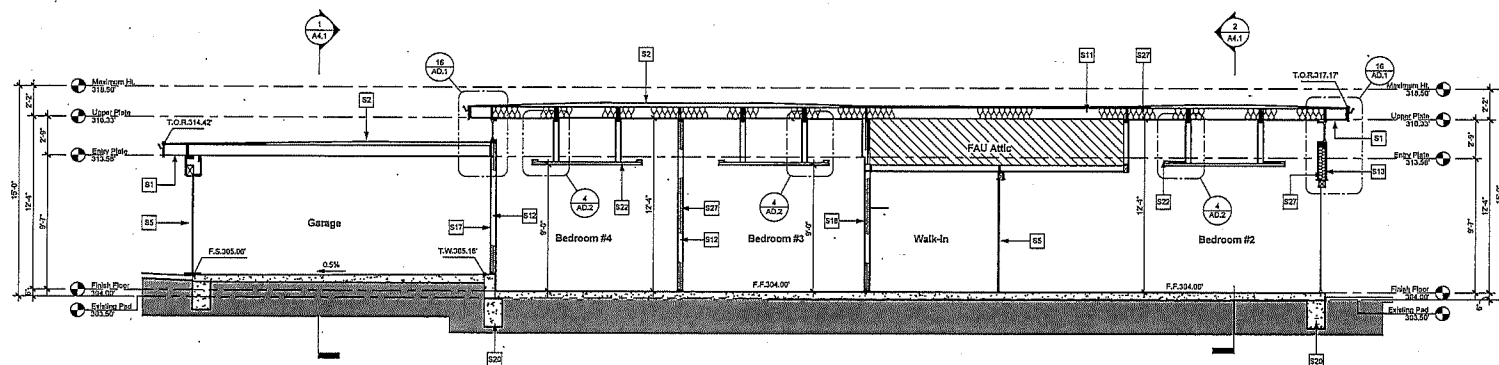
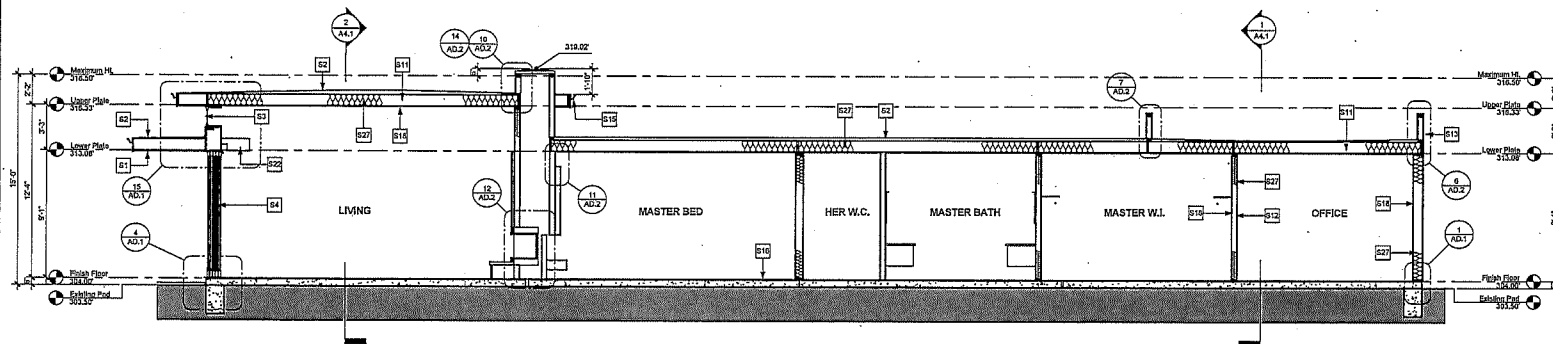


Building Section

1/4"=1'-0"

2

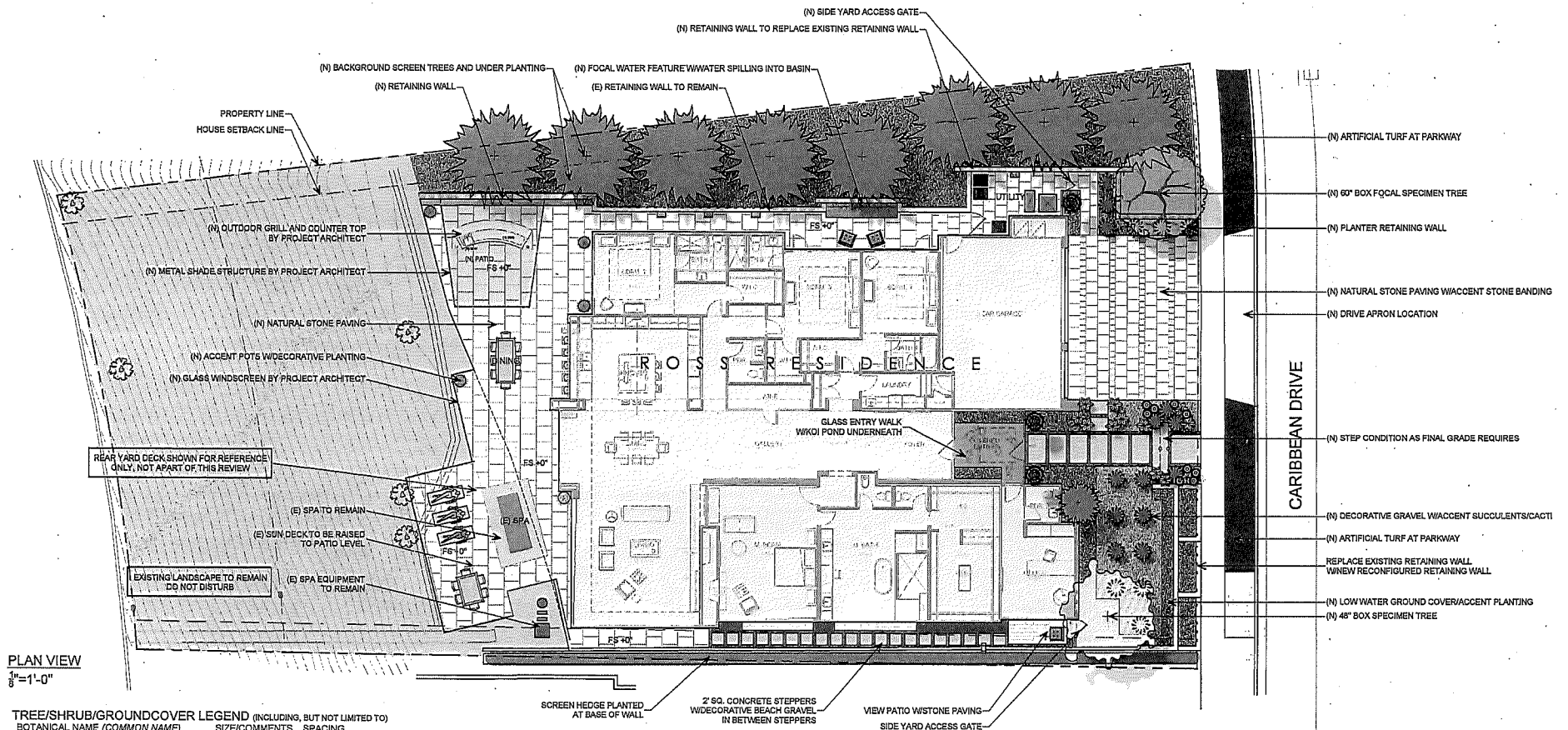
Keynotes



- |     |  |
|-----|--|
| 51  | PT EXTERIOR FLASTER @ APPROVED MTL. LVL WHITE, LEVAND+HAND MTL. SMOOTH HAND TROWELLED MASONRY, ALL-GLAZED ROOFING AND EGRESS, INCLUDING AIRWAYS  |
| 52  | CAPOLAR BUTY ADHESIVE SYSTEM (EAST RIVINGTON SYSTEM) WITH A ROOFING ASSEMBLY (LUTOCAT LAD AND GRAVEL) RUBBERED MGP @ 2" CAPSIL 54.1" & 2" CAPSILAS 54.1" RUBBERED MGP @ 2" CAPSIL 54.1" & 2" CAPSILAS 54.1" RUBBERED MGP @ 2" CAPSIL 54.1" & 2" CAPSILAS 54.1" |
| 53  | MINOWER PLANK, SEE WOODWORK SCHEDULE SHEET 24.1  |
| 54  | EXTERIOR DOOR PER PLAN, SEE DOOR SCHEDULE - SHEET 24.1   |
| 55  | EXTERIOR DOOR PER PLAN, SEE DOOR SCHEDULE - SHEET 24.1   |
| 56  | WOOD FRAMING PER STRUCTURAL  |
| 57  | 2X VOOD STUD WALL  |
| 58  | EXTERIOR SIDING - "MATCHBAY" BF BOWAL OR EQUAL, (SEE 24.1)   |
| 59  | 1/2" MTL. GUTTER PAINTED TO INTERIOR FINISH, AND 3" MTL. DOWNSPUTTER PAINTED TO EXTERIOR WALL FINISH   |
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Michael  
Luna





PLAN VIEW  
3/8" = 1'-0"

**TREE/SHRUB/GROUND COVER LEGEND (INCLUDING, BUT NOT LIMITED TO)**  
BOTANICAL NAME (COMMON NAME) SIZE/COMMENTS SPACING

LAGERSTROMIA INDICA (GRAPE HYDRIL)	30" BOX	AS SHOWN
CERCOCARPUS DESERT MUSEUM (PALO VERDE)	30" BOX	AS SHOWN
AGAVE AMERICANA (CENTURY AGAVE)	16 GAL.	60" O.C.
AGAVE ATTENUATA VARIEGATA (PORTUL AGAVE)	5 GAL.	30" O.C.
ALOE STRIATA (CORAL ALOE)	5 GAL.	24" O.C.
AEONUM SPECIES (AEONUM)	5 GAL.	18" O.C.
BOUQUINILLER (BOUQUINILLER)	5 GAL.	24" O.C.
ECHINOCACTUS GRUSONI (GOLDEN BARREL CACTUS)	15 GAL.	30" O.C.
LANTANA NEW GOLD (YELLOW LANTANA)	5 GAL.	36" O.C.
LIGUSTRUM JAPONICUM (WAX LEAF PRUNEL)	5 GAL.	24" O.C.
NUSSLEIA TUNISIANA (NUSSLEIA FEATHER GRASS)	1 GAL.	24" O.C.
PENINSETUM SETACEUM RUBRUM (PURPLE FOUNTAIN GRASS)	5 GAL.	30" O.C.
PITCOBOPHILA TOBIANA VARIEGATA (JAPANESE MOON ORANGE)	5 GAL.	24" O.C.
RHAPISODENDRON INDICA SPECIES (PINK HAWAIIAN TIGER)	5 GAL.	24" O.C.
CARISSA MACROCARPA (GREEN CARPET)	1 GAL.	30" O.C.
MYOPORUM PARVIFOLIUM (PROSTRATE MYOPORUM)	1 GAL.	30" O.C.
SENECIO MANDARINISCAE (BLUE CHALKSTICK)	1 GAL.	24" O.C.
TRACHELOSPERMUM JASMINOIDES (STAR JASMINE)	5 GAL.	24" O.C.

**IRRIGATION NOTES AND REQUIREMENTS:**

THE PROJECT LANDSCAPE PLANTING AREAS SHALL RECEIVE THE FOLLOWING IRRIGATION SYSTEM:  
LOW PRECIPITATION SHRUB DRIP SYSTEM AUTOMATICALLY PROGRAMMED WITH AN ELECTRICAL CONTROLLER. SYSTEM COMPONENTS WILL INCLUDE A BRASS GATE VALVE (IN VALVE BOX) AT THE POINT OF CONNECTION, BACK FLOW DEVICE (PER LOCAL CODES), ELECTRICALLY OPERATED REMOTE CONTROL VALVES AND DRIP SYSTEM IN SHRUB BEDS, ALL SUPPLIED BY PVC SCHEDULE 40 MAINLINE AND LATERAL LINES SIZED ACCORDING TO HYDRAULIC CALCULATION. CIRCUITS SHALL BE DETERMINED BY SOLAR ORIENTATION AND PLANTING AREA. 100% COVERAGE SHALL BE ACHIEVED THROUGHOUT THE SYSTEM. SEPARATE VALVE INCLUDED FOR FUTURE POTTED PLANTS AND TREES 48" AND ABOVE.

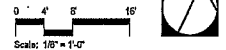
**MULCH NOTE:**

ALL PLANTING AREAS TO RECEIVE 3" LAYER OF DECORATIVE BARK MULCH AND/OR DECORATIVE GRAVEL.

**LIGHTING NOTE:**

ALL PROPOSED OUTDOOR LIGHTING SHALL BE LOW VOLTAGE AND ONLY PERTAIN TO PATHWAY LIGHTING AND FOCAL ELEMENTS, SUCH AS SPECIMEN TREES.

**PROJECT SUMMARY:**  
TOTAL NEW LANDSCAPE (WITHOUT REAR SLOPE): 2,540 S.F. (NOT INCLUDING DECORATIVE GRAVEL IN FRONT)  
360 S.F. OF DECORATIVE GRAVEL (IN FRONT YARD)  
4,630 S.F. OF LANDSCAPE IN REAR SLOPE  
OVERALL TOTAL LANDSCAPE: 47,550 S.F.  
OVERALL LOT SIZE: 16,951 S.F.  
% LOT COVERAGE OF LANDSCAPE: 44.5%  
TOTAL NEW HARDSCAPE: 22,900 S.F.



DATE: 01/04/2018  
PAGE 1 OF 3

# LANDSCAPE CONCEPT PLAN

## ROSS RESIDENCE

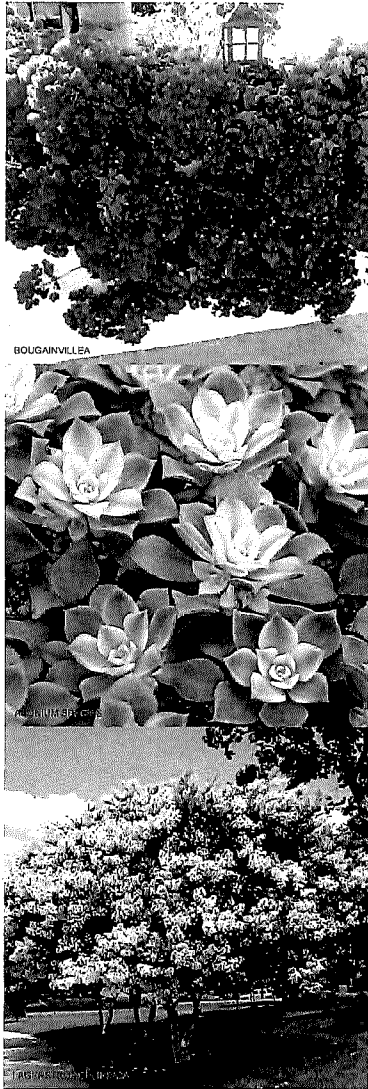
32571 CARIBBEAN DRIVE, DANA POINT, CA



INSPIRATION IMAGES

**ROSS RESIDENCE**

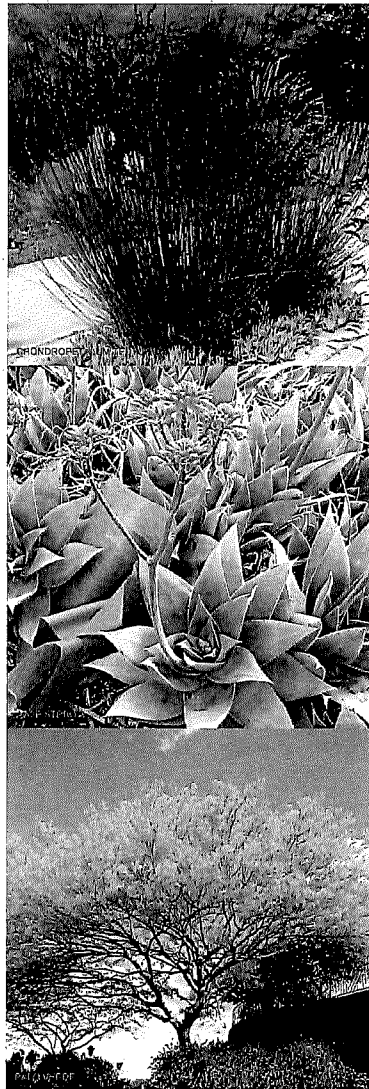
32571 CARIBBEAN DRIVE, DANA POINT, CA



BOUGAINVILLEA

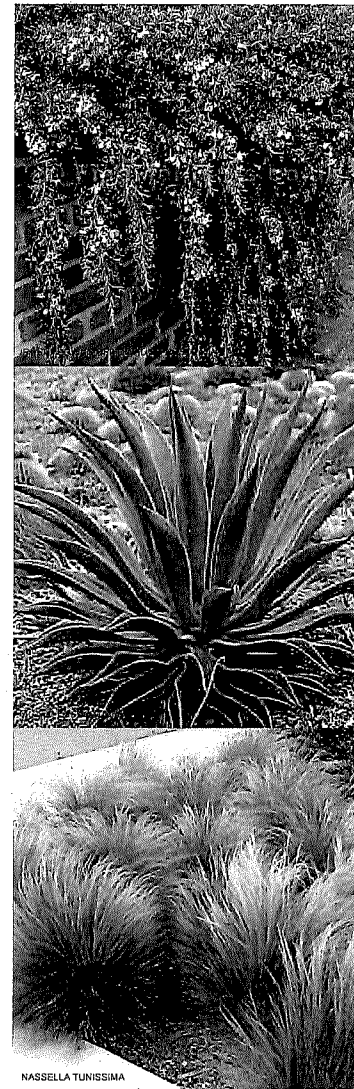
SEDUM

LAGARTICUS



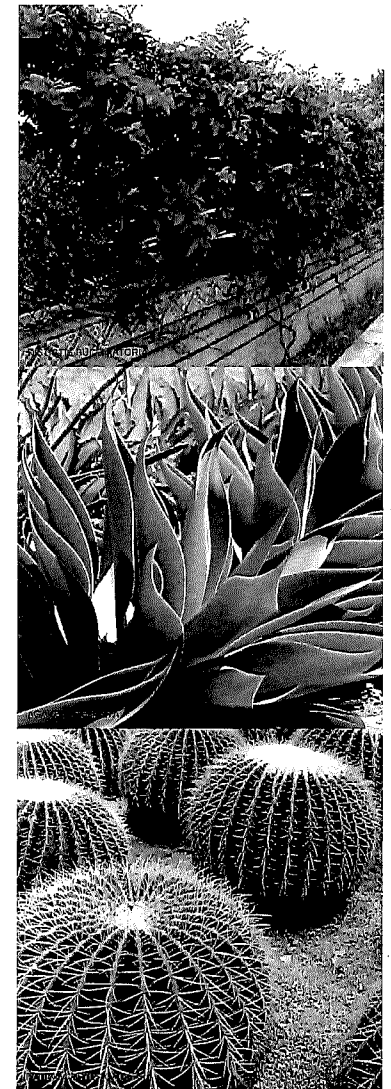
SPONDYLIUM

PALEA



SPONDYLIUM

NASSELLA TUNISSIMA



SPONDYLIUM

## PLANTING IMAGERY

# ROSS RESIDENCE

32571 CARIBBEAN DRIVE, DANA POINT, CA