

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** JANUARY 8, 2018

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
DANNY GIOMETTI, ASSOCIATE PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP17-0025 AND SITE DEVELOPMENT PERMIT SDP17-0046 TO PERMIT AN ADDITION OF 888 SQUARE FEET TO AN EXISTING SINGLE FAMILY DWELLING LOCATED AT 48 MONARCH BAY DRIVE. ADDITIONALLY, A SITE DEVELOPMENT PERMIT HAS BEEN REQUESTED TO LOCATE A FIRE PIT SEATING AREA WITHIN THE FRONT YARD.

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**RECOMMENDATION:** That the Planning Commission adopt the attached draft Resolution approving Site Development Permit (CDP17-0025) and Site Development Permit Application (SDP17-0046).

**APPLICANT:** Ursula Crupi/ Crupi Construction

**OWNER:** Tracy and Valerie Price

**REQUEST:** Approval of a Coastal Development Permit (CDP) and Site Development Permit (SDP) to permit an addition of 888 square feet to an existing single family dwelling (SFD). Additionally, a Site Development Permit has been requested to locate a fire pit seating area within the front yard.

**LOCATION:** 48 Monarch Bay Drive (670-131-34)

**NOTICE:** Notice of the Public Hearing was mailed to property owners within a 500-foot radius of the subject site, published within a newspaper of general circulation on December 29, 2017 and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, and the Dana Point Library on December 29, 2017.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section(s) 15301 and 15303 of the CEQA Guidelines (Classes 1 and 3 – Existing Facilities and Construction or Conversion of Small Structures) due to the fact that the project consists of an addition and remodel to an existing SFD and the installation of a fire pit seating area.

**ISSUES:**

1. Is the proposal consistent with the Dana Point General Plan, the Dana Point Zoning Code (DPZC) and the Local Coastal Program (LCP)?
2. Does the proposal satisfy all findings required pursuant to the DPZC and the LCP for approval of a CDP and SDP?
3. Is the proposed project compatible with and an enhancement to the site and surrounding neighborhood?

**BACKGROUND:**

The subject site is situated at the end of the cul-de-sac along Monarch Bay Drive, southwest of the intersection of Pacific Coast Highway and Crown Valley Parkway within the residential Single Family 4 (RSF-4) zoned community of Monarch Bay. The 11,500-square foot lot abuts SFD's on all sides. The subject site includes a 3,243 square foot single-family dwelling with an attached 647 square foot garage, a pool, site- walls, and decorative hardscaping and landscaping.

In October of 2017, the subject entitlement application along with the Monarch Bay Architectural Committee approval was submitted to the City of Dana Point. Pursuant to Section 9.69.040(a)(2)(A) of the DPZC, approval of a CDP is required for an increase of ten percent (10%) or more of the internal floor area of a structure within the Coastal Commission Permit Jurisdiction Area. Additionally, pursuant to Section 9.05.080(J), Footnote L of the DPZC, accessory structures shall be located in the rear half of the parcel, however an exception for locating structures in the front half of the parcel may be permitted subject to the approval of a minor SDP. The project proposes an addition of more than ten percent of the internal floor area (888-square feet) of a structure within in the Coastal Commission Permit Jurisdiction Area and the installation of a fire pit seating area within the front yard. Accordingly, a major CDP and a minor SDP are required.

## **DISCUSSION:**

### **COASTAL DEVELOPMENT PERMIT (CDP17-0025)**

Although the proposed project is an addition to an existing SFD, the interior and exterior are proposed to be completely remodeled. The redesigned structure consists of a one-story, 4,131 square foot SFD, including four bedrooms with multiple walk-in closets, four bathrooms, an office, open living and entertaining areas and a kitchen which flows directly into a family room. The proposed design allows for maximum efficiency and usage of space.

Proposed exterior improvements include a combination of smooth white crème, plaster and stacked natural stone veneer, a dark-brown shingle roof, a mahogany entry door, large glass windows and steel garage doors. All materials blend together to form a cohesive contemporary architectural design. The current design has been reviewed and approved by the Monarch Bay Architectural Review Committee.

Pursuant to Section 9.69.070 "Basis for Action on Coastal Development Permit Applications" of the DPZC, every Coastal Development Permit requires the following findings:

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code; and,
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act; and,
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment; and,
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources; and,
5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards; and,
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas; and

7. That the proposed development conforms to the General Plan, Local Coastal Program and Zoning Code.

Staff finds the proposed project is consistent with the basis of approval for a CDP as outlined in Section 9.69.070 of the DPZC. Responses supporting the above mentioned findings are detailed in the attached draft Planning Commission Resolution.

SITE DEVELOPMENT PERMIT SDP17-0046

The subject application proposes the installation of a fire pit seating area within the front yard of the subject property. This area includes a 30-inch high bench seat-wall and a 16-inch high gas fire trough constructed on top of a low wood-slat deck. The seating area is proposed five (5) feet from the front property line and shall not exceed 42-inches as measured from existing grade. The landscaping plan identifies a mixture of succulents and tall grasses which will mature to visually screen the back of the bench seat wall. Additional yard improvements include a resurfacing of the existing pool and spa, an outdoor living/dining area and pergola, decorative pavers and new landscaping.

Pursuant to Section 9.71.050 "Basis of Approval, Conditional Approval, or Denial of a Site Development Permit" of the DPZC, the Planning Commission shall make the following findings:

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code; and
2. That the site is suitable of the site for the proposed use and development; and
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines; and
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture; and
5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA).

Staff finds the proposed fire pit seating area consistent with the basis of approval of a SDP as outlined in Section 9.71.050 of the DPZC. Responses supporting the above mentioned findings are detailed in the attached draft Planning Commission Resolution.

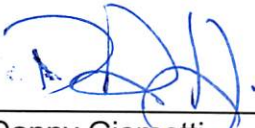


**CORRESPONDENCE:**

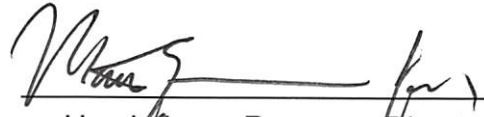
To date, the City has received no correspondence related to the subject application. The applicant has also provided the City with a copy of the Monarch Bay Homeowners Association approved plans.

**CONCLUSION:**

Based on the subject analysis, Staff has determined that the project is consistent with the policies and provisions of the City of Dana Point General Plan, the LCP and the DPZC and that the Planning Commission findings articulated in the draft resolution, supporting approval of both requests can be made. Therefore, staff recommends approval of CDP17-0025 and SDP17-0046, subject to the conditions contained in the attached draft resolution.



Danny Giometti  
Associate Planner



Ursula Luna-Reynosa, Director  
Community Development Department

**ACTION DOCUMENTS:**

1. Draft PC Resolution 18-01-08-XX

**SUPPORTING DOCUMENTS**

1. Plans and Simulations
2. Project Vicinity Map and Site Photography

## **RESOLUTION NO. 18-01-08-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP17-0025 AND SITE DEVELOPMENT PERMIT SDP17-0046 TO PERMIT AN ADDITION OF 888 SQUARE FEET TO AN EXISTING SINGLE FAMILY DWELLING AND LOCATE A FIRE PIT SEATING AREA WITHIN THE FRONT YARD OF A PROPERTY LOCATED AT 48 MONARCH BAY DRIVE.**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Tracy and Valerie Price, (the "Applicant") are the owners of real property commonly referred to as 48 Monarch Bay Drive (APN 670-131-34) (the "Property"); and

WHEREAS, the Applicant has made an application for a Coastal Development Permit and Minor Site Development Permit to allow an addition of 888 square feet to an existing single family dwelling (SFD) and locate a fire pit seating area within the front yard (attached as exhibit A to this resolution) on a SFD located at 48 Monarch Bay Drive; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is categorically exempt per Section(s) 15301 and 15303 of the CEQA Guidelines (Classes 1 and 3 – Existing Facilities and Construction or Conversion of Small Structures) due to the fact that the project consists of an addition and remodel to an existing SFD and the installation of a fire pit seating area, respectively; and

WHEREAS, the Planning Commission did, on the 8th day of January, 2018, review the Coastal Development Permit (CDP) and minor Site Development Permit (SDP) as prescribed by law; and

WHEREAS, at said Planning Commission Review, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to CDP and minor SDP.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A) The above recitations are true and correct and incorporated herein by this reference.
- B) Based on the evidence presented, the Planning Commission adopts the following findings and approves Coastal Development Permit CDP17-0025 and Site Development Permit SDP17-0046, subject to conditions:

Findings:

Coastal Development Permit CDP17-0025

1. That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that the site and architectural design of the proposed improvements are found to comply with all development standards of the Dana Point General Plan, Local Coastal Program and Zoning Code. The development will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by renovating an older property to create an aesthetically SFD and site that is compatible and complimentary to surrounding structures.**
2. That the proposed development, if located between the nearest public roadway and the sea or shoreline of any body of water, is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the proposed development conforms with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) as the project consists of an addition and remodel to an existing SFD on a previously improved parcel.**
4. That the proposed development be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly,**

**proposed improvements would not result in adverse impacts.**

5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses and the proposed development will be constructed in conformance with applicable regulations for geological and erosional forces, flood, and fire, minimizing undue risks from these or other hazards.**
6. That the proposed development be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed addition to an existing SFD utilizes materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.**
7. That the proposed development conforms to the General Plan, and Local Coastal Program and Zoning Code **in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Local Coastal Program and Dana Point Zoning Code.**

Site Development Permit SDP17-0046

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that pursuant to Section 9.05.080.120(J), Footnote L of the DPZC, exceptions for locating structures in the front half of the parcel may be permitted subject to the approval of a SDP(M). The proposed fire pit seating area within the front yard of the subject property includes a 30-inch high bench seat-wall and a 16-inch high gas fire pit constructed on top of a low wood-slat deck. The seating area is proposed five (5) feet from the front property line and shall not exceed forty-two (42) inches as measured from existing grade. The landscaping plan identifies a mixture of succulents and tall grasses which will mature to visually screen the back of the bench seat-wall. Additional yard improvements include a resurfacing of the existing pool and spa, an outdoor living/ dining area and pergola, decorative pavers and new landscaping. With the inclusion of the aforementioned complementary hardscaping and**

landscaping improvements, the site design complies with Section 9.05.120 of the DPZC.

2. That the site is suitable for the proposed use and development **in that the lot is irregularly shaped with five corners and has a short, steep slope following the rear property line. These irregularities limit the private outdoor living area at the rear of the home, however provide the opportunity to improve the front yard area for private outdoor use. Therefore the proposed outdoor fire pit seating area is suitable for the site and its intended uses.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that pursuant to Goal 2, Policy 2.5 of the Land Use Element of the General Plan as well as Section III.A.5. of the Urban Design Guidelines the inclusion of proposed landscaping on the street-facing side of the fire pit seat-wall encourages neighborhood street landscaping to improve the quality of public spaces in residential areas and creates a buffer between residential development and the subject seat-wall.**
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture **in that the subject fire pit and seat-wall are designed to be less than forty-two (42) inches in height as measured from the existing grade, therefore adhering to Section 9.05.120(b)(1) of the DPZC which states that walls shall not exceed forty-two (42) inches in height. Although not requiring a particular style of architecture, the seat-wall and fire-pit will be designed and finished with materials which are compatible and complementary to the contemporary styling of the proposed home.**
5. That the requirements of the California Environmental Quality Act have been satisfied in that the project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – Construction or Conversion of Small Structures) as the project consists of the installation of a fire pit seating area on a previously improved parcel.**

Conditions:

**A. General:**

1. Approval of this application permits an addition of 888 square feet to an existing single family dwelling (SFD) and fire pit seating area located within the front yard at 48 Monarch Bay Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the date of determination (January 8, 2020). If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the

claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the City's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. The construction site shall be posted with signage indicating that construction may not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
9. The applicant, property owner or successor in interest shall submit a standard Waste Reduction and Recycling Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The standard Waste Reduction and Recycling Plan shall be reviewed and approved and deposit posted prior to issuance of any permits.
10. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.

12. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion and sediment control measures at all times. The applicant shall maintain the erosion and sediment control devices until the final approval of all permits.
13. In lieu of a separate submittal, review, and issuance of a grading permit, the Public Works Department will review the required geotechnical report, drainage plan, landscape plan, and erosion control plan as a part of the Building Permit application.
14. Separate review, approval, and permits are required for:
  - Separate Structures
  - Retaining Walls
  - Site Walls over 3 ft.
  - Fire Sprinklers
  - Demolition of Structures
  - Swimming Pool/Spa

**B. Prior to Building Plan Check Submittal:**

15. Building(s) shall comply with the 2016 editions of the Building Code with all local amendments.
16. Project "Conditions of Approval" shall appear on the submitted drawings.
17. Building plan check submittal shall include the following construction documents:
  - Building Plans with Electrical/Plumbing/Mechanical plans (4 sets)
  - Energy Calculations (2 sets)
  - Structural Calculations (2 sets)
  - Soils/Geology Report (3 sets)
  - Drainage Plan

All documents prepared by a registered-design-professional shall be wet-stamped & signed.

18. Fire Department review maybe required. Submit plans directly to the Orange County Fire Authority for their review.
19. Undergrounding of all onsite utilities is required. An Approved SDG&E



Work Order and Undergrounding Plan is required prior to permit issuance.

20. Minimum roofing classification is Class "A".
21. Fire-rated Construction: Plans should clearly identify and detail the fire-rated construction for any construction due to close proximity to the property line.
22. Separate review, approval, and permits are required for separate structures.
23. Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
24. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
25. Green Building: Plans shall show compliance & indicate method of verification of compliance with all CAL Green requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.

**C. Prior to the Issuance of a Building Permit:**

26. Approvals are required from:
  - Planning Department
  - Public Works
  - Obtain Orange County Fire Authority Approval
  - Obtain "Will Serve" letter from Water District.
  - Provide an SDG&E service work order for proposed service location
27. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval. The review of the submitted geotechnical report shall be done on a time and materials basis.
28. The applicant shall submit a drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.

29. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.
30. The applicant shall submit a final landscape and irrigation plan for review and approval by Public Works & Engineering Services and Community Development Department. The plan shall be prepared by a State licensed landscape architect and shall include all proposed and existing plant materials (location, type, size, quantity), an irrigation plan (if irrigation utilized), note wall/fence locations, a grading plan, an approved site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with the applicable provisions of the Zoning Code, the preliminary plan approved by the Director of Community Development, and further, recognize the principles of drought tolerant landscaping. Landscape documentation shall also comply with Chapter 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code as may be applicable and with the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.

**D. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:**

31. Prior to commencement of framing, the applicant shall verify, by survey, that each structure will be constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines included as part of this entitlement. The City's standard "Setback Certification" form shall be obtained from the Project Planner and be prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.
32. All landscaping and irrigation shall be installed per the approved final landscape and irrigation plan. A State licensed landscape architect shall provide the "Landscape Installation Certificate of Completion" form to the Director of Community Development as required in the Submittal Requirements and Guidelines for Implementation of the Chapter 9.55 of the DPZC.
33. Verification of all conditions of approval is required by all City Departments.
34. The applicant shall contact both the Planning and Public Works & Engineering departments to schedule a final inspection prior to building

final project sign-off.

35. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
36. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
37. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
38. A written approval by the Geotechnical Engineer of Record approving the construction as being in conformance with the approved plan from a geotechnical standpoint.
39. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 8<sup>th</sup> day of January 2018, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Scott McKhann, Chairman  
Planning Commission

ATTEST:

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Ursula Luna-Reynosa, Director  
Community Development Department















PRICE  
RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

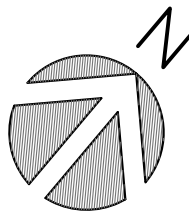
CRUPI CONSTRUCTION INC.

construction - design - management  
32221 Azores Rd., Dana Point, CA 92629  
949-309-6691

The drawings and other documents prepared for this project are for use on the project only and may not be used for any of the following:  
1) on any other projects.  
2) for additions to this project.  
3) for the completion of this project by others, unless otherwise expressly agreed on by the Crupi Construction and Architect in writing.  
The drawings and other documents prepared for this project are the exclusive property of the Crupi Construction and Architect, and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of the Crupi Construction and Architect.

issued for	rev	date

seals and signatures



drawing title

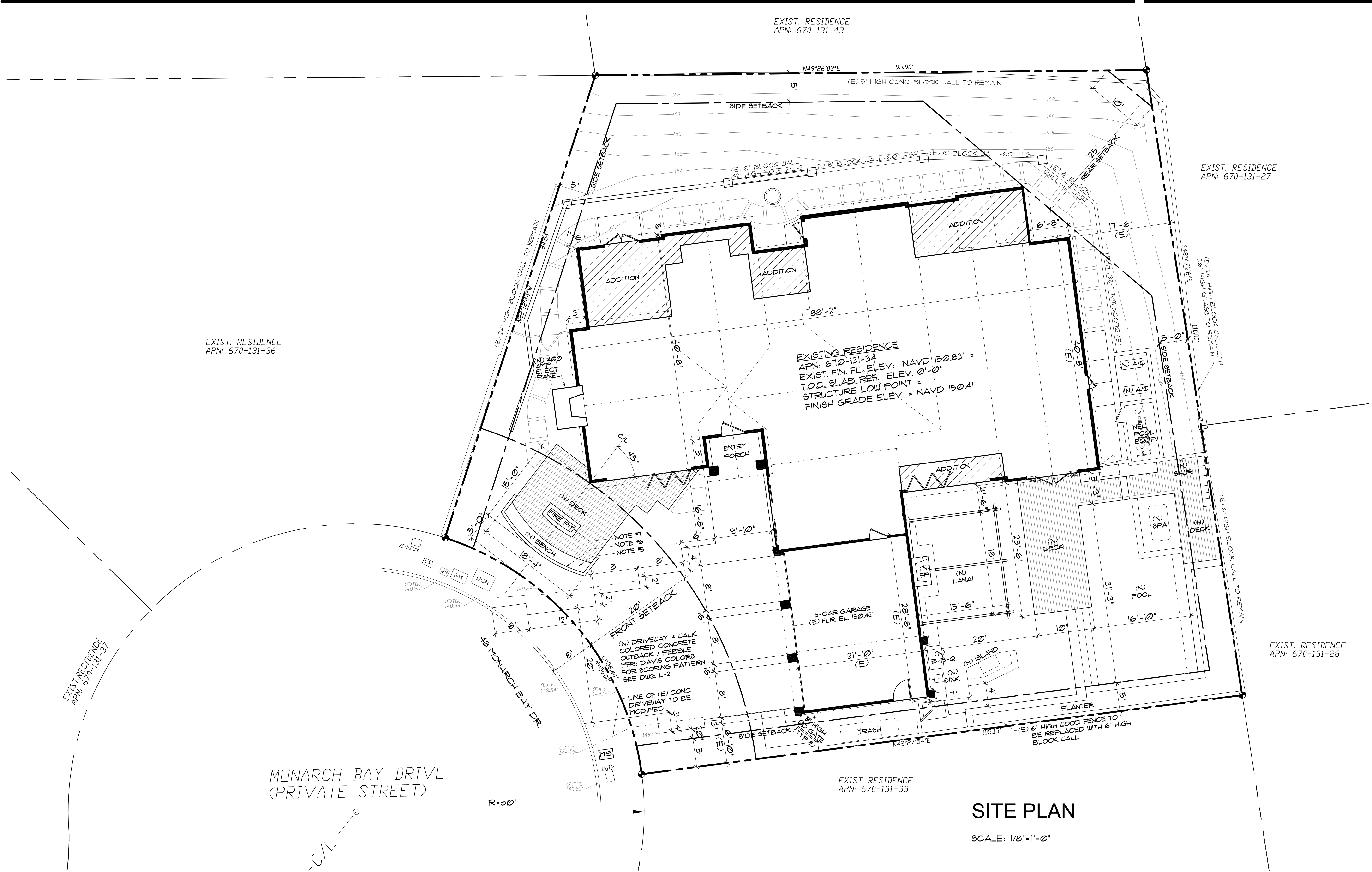
SITE PLAN

scale 1/8"=1'-0"

date 10/23/2017

drawing number

A-1



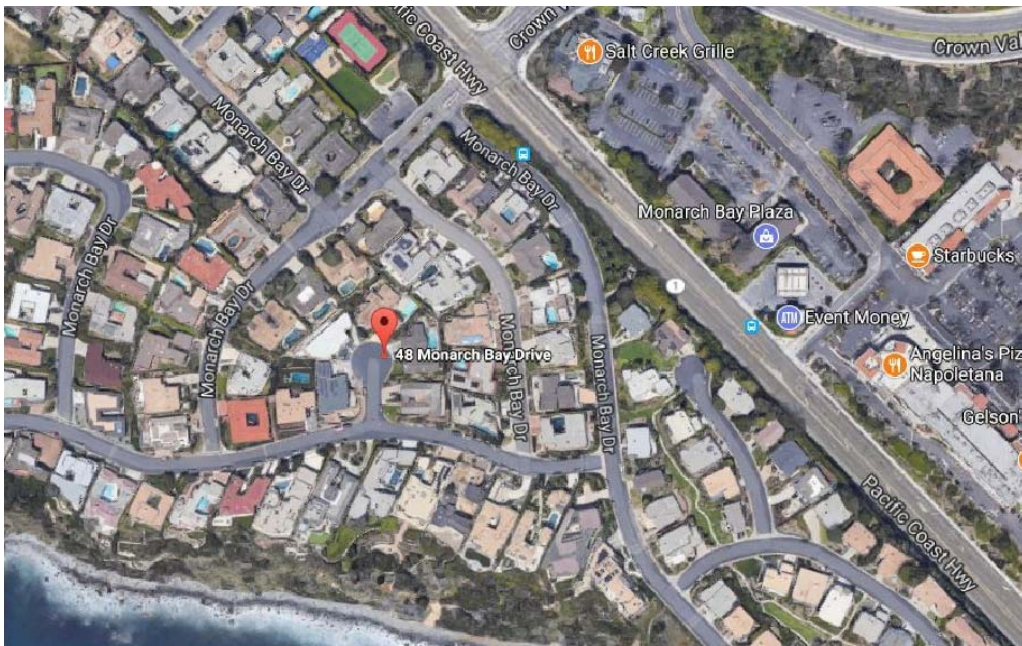
SITE PLAN

SCALE: 1/8"=1'-0"

NOTES

- SEE LANDSCAPE SHEETS L-2 AND L-3 FOR HARDSCAPE CONSTRUCTION DETAILS AND MATERIALS.
- (N) 16" HIGH CONCRETE SEAT.
- (N) 28' HIGH CONCRETE BACKREST WALL.
- (N) 16" HIGH CONCRETE FIREPIT.
- CONNECT NEW DRAINS TO EXISTING DRAINAGE SYSTEM.
- DRAINAGE AREA SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" INCH WITHIN THE FIRST 10 FEET.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

VICINITY MAP



SITE INFORMATION

**BUILDING AREA:**  
- HABITABLE (EXIST) 3,243 S.F.  
- HABITABLE ADDITION 888 S.F.  
- NEW HABITABLE TOTAL 4,131 S.F.  
- NEW ENTRY PORCH 63 S.F.

**SITE INFORMATION:**

ZONING : RSF 4  
LOT AREA : 11,500 S.F.

**LEGAL DESCRIPTION:**

TRACK 3039 LOT 36  
ASSESSOR PARCEL NO. : 670-131-34  
**PROJECT ADDRESS:**  
48 MONARCH BAY DR. DANA POINT, CA 92629

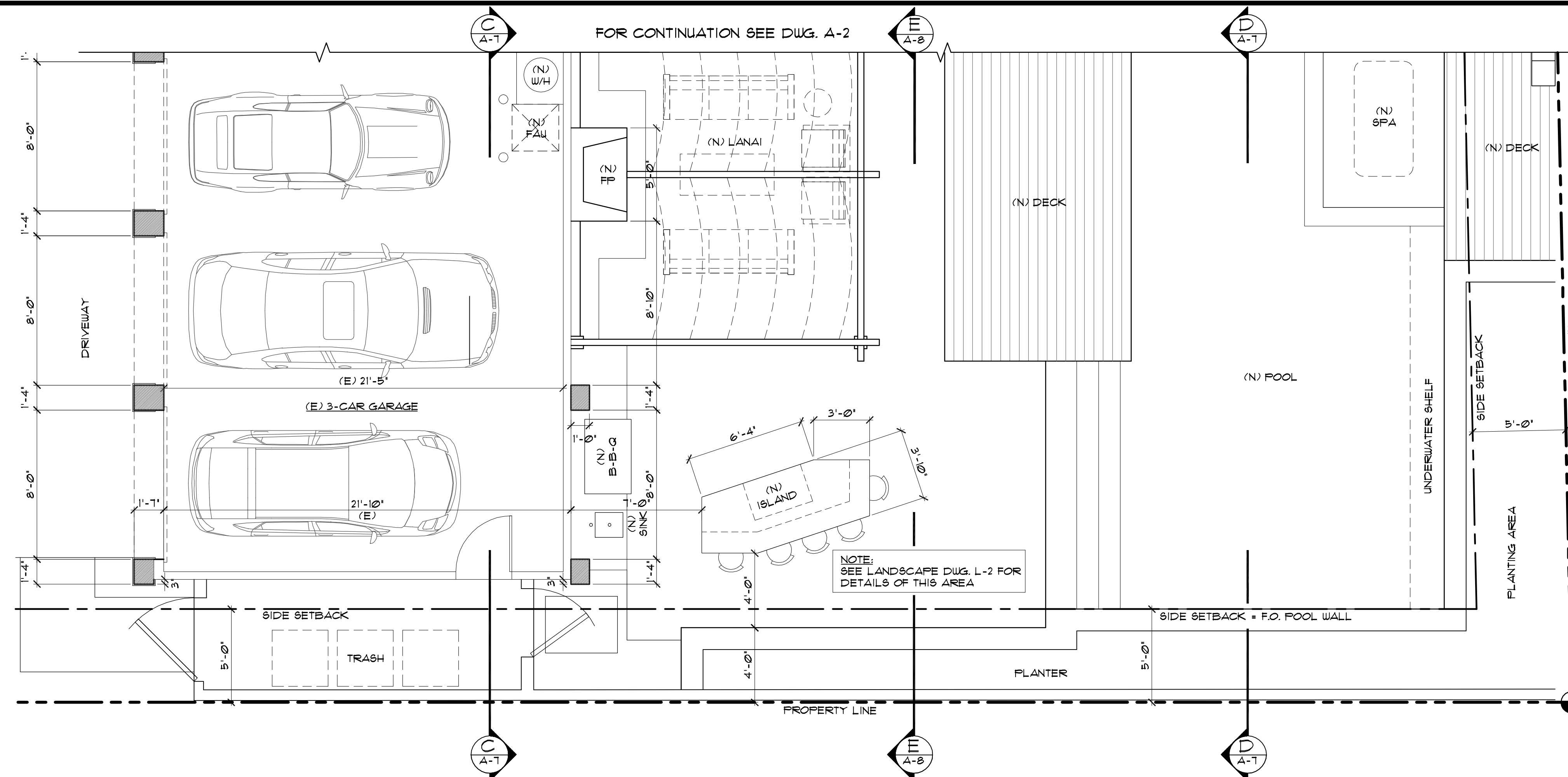
LEGEND

- CONTOUR LINES (9-FOOT CONTOUR INTERVAL)
- SETBACK LINE
- PROPERTY LINE
- ROOFLINE PROJECTION



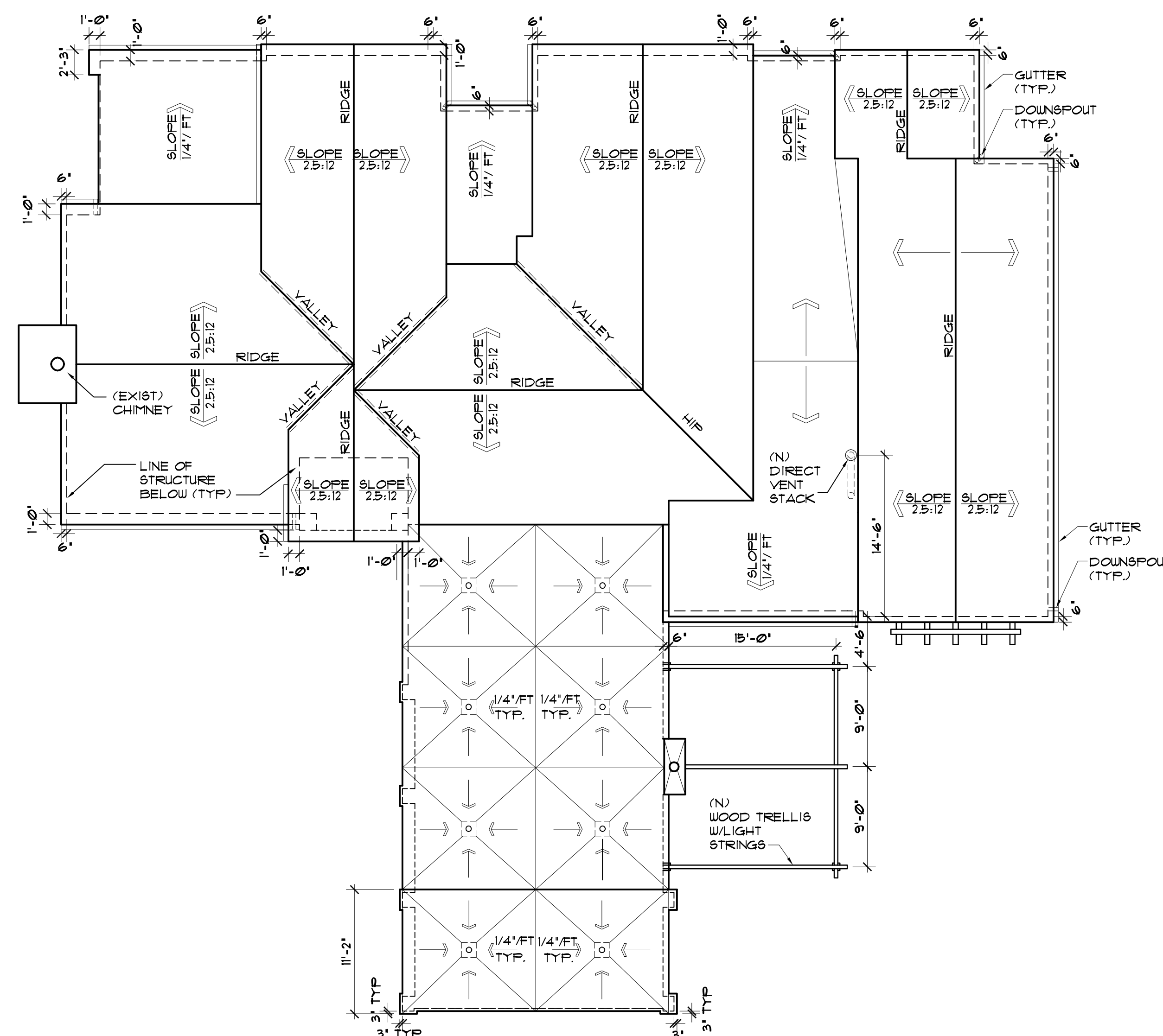


**A-2**



## FLOOR PLAN-PART 2

SCALE: 1/4"=1'-0"



## ROOF PLAN

SCALE: 1/8"=1'-0"

GENERAL NOTES:

KEY NOTES – ☐

**PRICE  
RESIDENCE**

48 Monarch Bay Dr. Dana Point, CA 92629

construction - design - management  
32221 Azores Rd., Dana Point, CA 92629  
949-309-6691

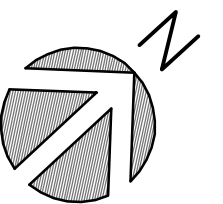
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drawing title

## ROOF PLAN AND FLOOR-PART 2

scale  $1/4"=1'-0"$

date 10/23/2017

drawing number

**A-3**

PRICE  
RESIDENCE

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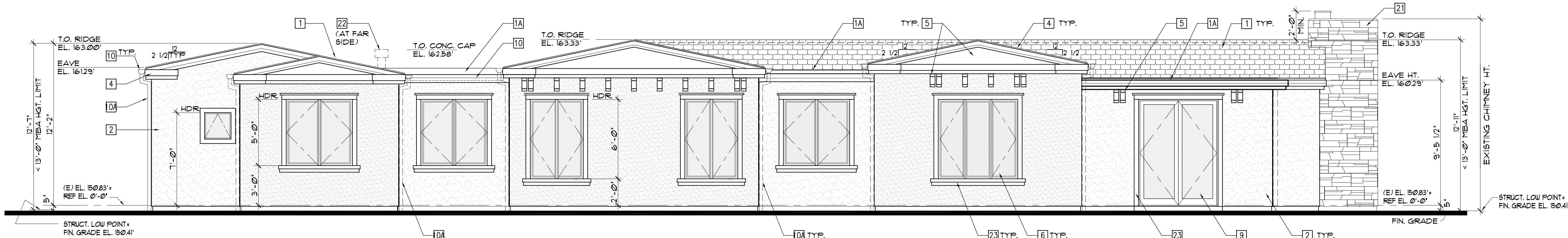
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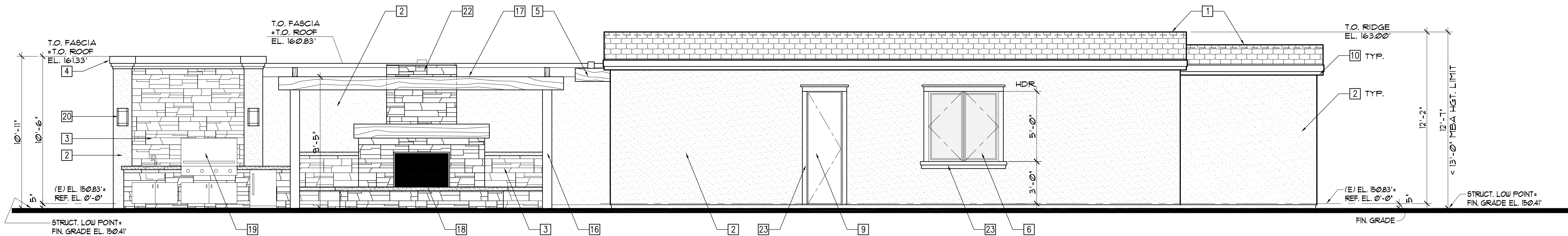
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NORTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

1. MAXIMUM BUILDING HEIGHT IS 28 FEET FOR ZONE R9F4 PER CITY OF DANA POINT RESIDENTIAL DEVELOPMENT STANDARDS SECTION 9.09.030.
2. MAXIMUM ROOF HEIGHT FOR THIS LOT ALLOWED BY MONARCH BAY ASSOCIATION STANDARDS IS 13 FEET ABOVE FINISH GRADE.
3. THE PROPOSED MAXIMUM ROOF HEIGHT OF 12'-11" FOR THIS PROJECT IS IN COMPLIANCE WITH THE CITY OF DANA POINT RESIDENTIAL DEVELOPMENT AND MONARCH BAY ASSOCIATION STANDARDS.

KEY NOTES - □

15. HARDSCAPE: PLANTER WALLS - NATURAL STONE VENEER SPLIT FACE TRAVERTINE, COLOR: CREAM
16. 8 X 8 POLYMER HARDWOOD COLUMN WRAP BY AZEK, COLOR: MAHOGANY
17. BEAM WRAP W/ POLYMER HARDWOOD BY AZEK, COLOR: MAHOGANY
18. (N) DIRECT VENT FIREPLACE: MFR. MARTIN FIREPLACE, MODEL 9B540099 STAINLESS STEEL
19. (N) STAINLESS STEEL BUILT-IN BARBECUE UNIT
20. (N) EXTERIOR LIGHT FIXTURE:
21. EXISTING CHIMNEY WITH NEW NATURAL STONE VENEER
22. (N) DIRECT VENT PIPE WITH GAS DIRECT TERMINATION CAP
23. WINDOW SURROUND: SMOOTH PLASTER FINISH, COLOR: WHITE

- 9A EXTERIOR FOLDING DOORS: ALUMINUM CLAD WOOD, MFR: SIERRA PACIFIC, COLOR: BRONZE #024
10. GUTTERS: ALUMINUM ROUND, CUSTOM FABRICATED, MFR: RGS COLOR: TO MATCH ROOFING TILE
- 10A DOWNSPOUTS: ALUMINUM ROUND, CUSTOM FABRICATED, MFR: RGS COLOR: WHITE
11. DECKS: POLYMER HARDWOOD, VINTAGE COLLECTION MFR: AZEK, COLOR: MAHOGANY.
12. GARDEN WALLS: 8" THICK CONCRETE BLOCK COLOR: TO MATCH SMOOTH PLASTER WALLS.
13. GATES: POLYMER HARDWOOD MFR: AZEK, COLOR: MAHOGANY
14. DRIVEWAY: CONCRETE, COLORS: OUTBACK/PEBBLE, MFR: DAVIS

3. WALLS-ACCENT: NATURAL STONE VENEER, SPLIT FACE TRAVERTINE, COLOR: CREAM
4. FASCIA TRIM: PAINTED WOOD, MFR: DUNN-EDWARDS COLOR: WHITE DEW 380
5. WOOD TRIM: PAINTED WOOD, MFR: DUNN-EDWARDS COLOR: DEW 380
6. WINDOWS: ALUMINUM CLADDED WOOD, CASEMENT TYPE U.N.O. MFR: SIERRA PACIFIC, COLOR: BRONZE #024
7. GARAGE DOORS: STEEL, POLYSTYRENE INSULATED MFR: AMARRR CLASSICA COLLECTION, COLOR: WHITE
8. ENTRY DOOR: WOOD, CUSTOM BUILT, MAHOGANY, CLEAR FINISH
9. EXTERIOR DOORS: ALUMINUM CLAD WOOD, MFR: SIERRA PACIFIC, COLOR: BRONZE #024

1. ROOF (GABLE): CLASS 'A' LIGHTWEIGHT CONCRETE TILES TYPE: 'BEL-AIR', OVER 1X3 ELEVATED BATTEN SYSTEM BY EAGLE ROOFING PRODUCTS (IAPMO-UES ER#1900) / OVER CLASS 'A' TORCH APPLIED 3-PLY MODIFIED BITUMEN MEMBRANE RUBEROID® APP BY GAF (UL-ER 1306-02) CONCRETE TILE COLOR: #281 BROWN GRAY RANGE
- 1A ROOF (FLAT): CLASS 'A' TORCH APPLIED 3-PLY MODIFIED BITUMEN MEMBRANE RUBEROID® APP SYSTEM BY GAF (UL-ER 1306-02), ELIGIBLE FOR 20-YEAR 'NDL' MANUFACTURER WARRANTY. CAP SHEET COLOR: GRANULE TO MATCH CONCRETE ROOFING TILE.
2. WALLS-FIELD: SMOOTH PLASTER, FINISH: SANTA BARBARA, COLOR: #50 CRYSTAL WHITE, MFR: LA HABRA

drawing title

EXTERIOR  
ELEVATIONS

scale AS NOTED

date 10/23/2017

drawing number

A-4



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issued for	rev	date

seals and signatures

drawing title

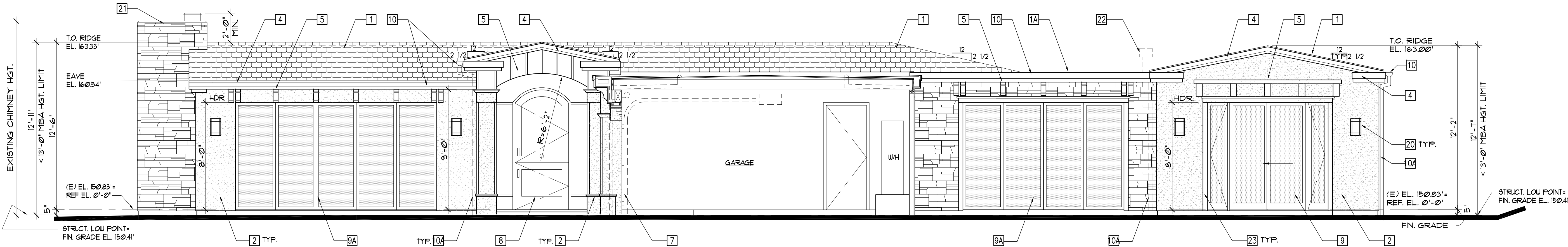
EXTERIOR  
ELEVATIONS

scale AS NOTED

date 10/23/2017

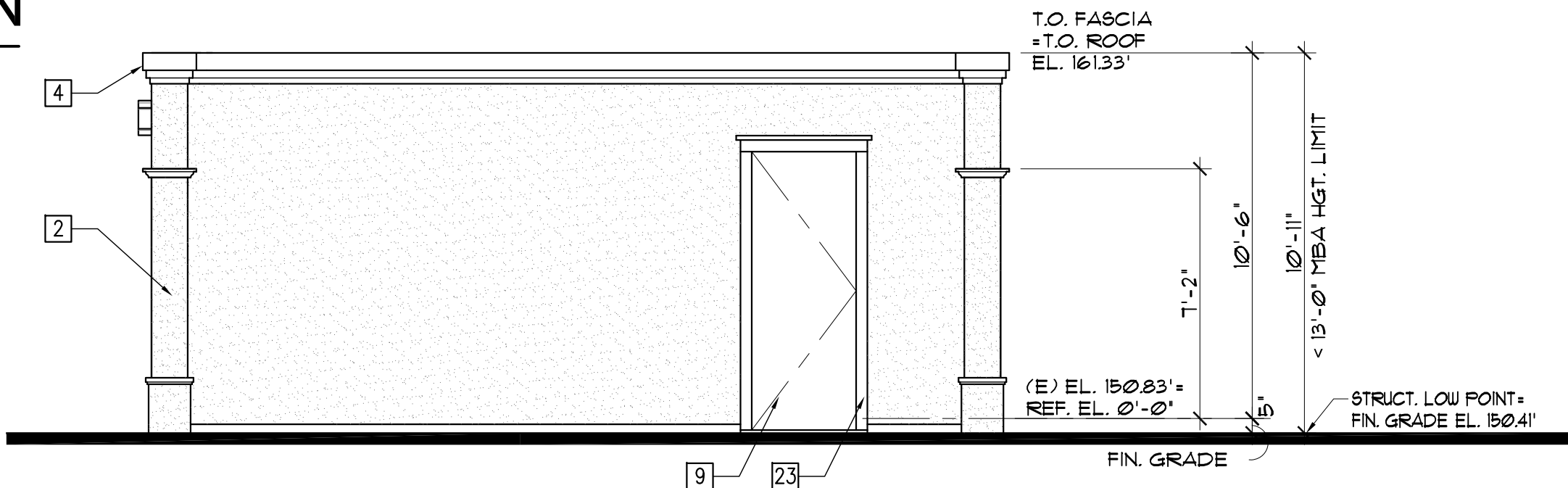
drawing number

A-5



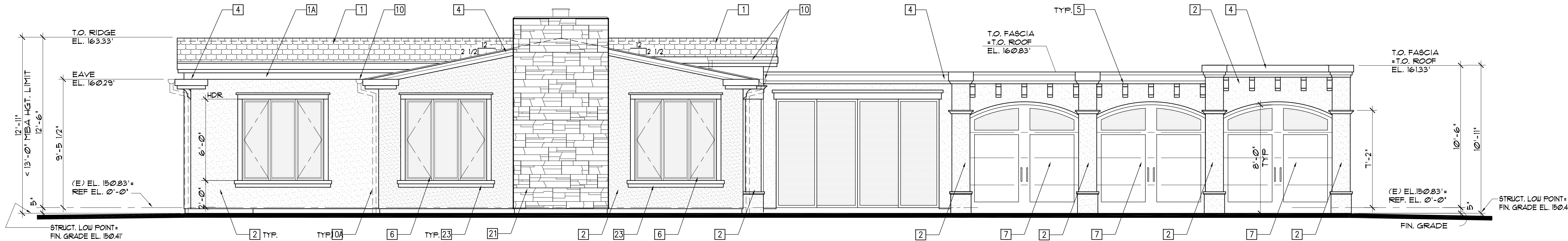
SOUTH ELEVATION / SECTION

SCALE: 1/4"=1'-0"



GARAGE - SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

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2. WALLS-FIELD: SMOOTH PLASTER, FINISH: SANTA BARBARA, COLOR: #50 CRYSTAL WHITE, MFR: LA HABRA

PRICE  
RESIDENCE

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drawing title

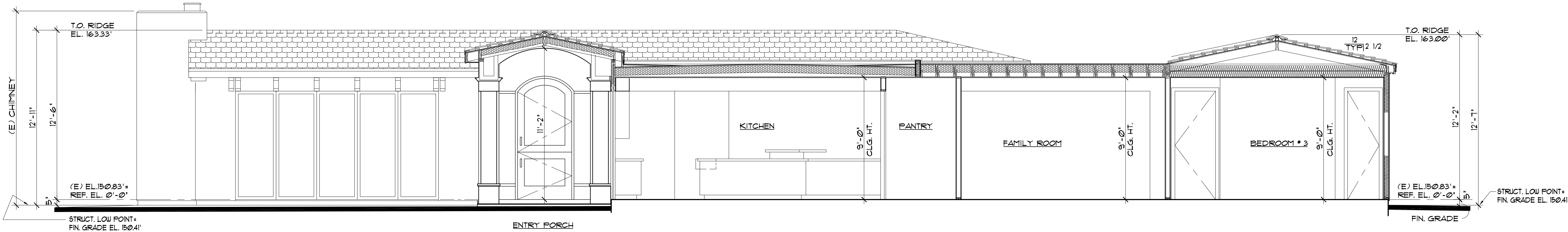
BUILDING  
SECTIONS

scaleAS NOTED

date10/23/2017

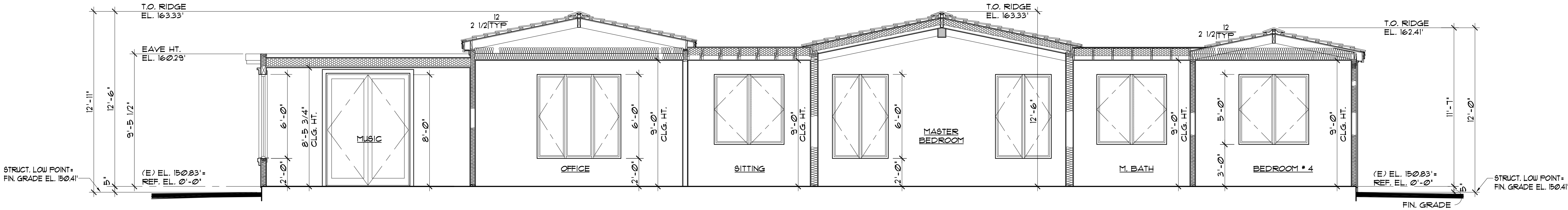
drawing number

A-6



SECTION - A

SCALE: 1/4"=1'-0"



SECTION - B

SCALE: 1/4"=1'-0"

KEY NOTES – □

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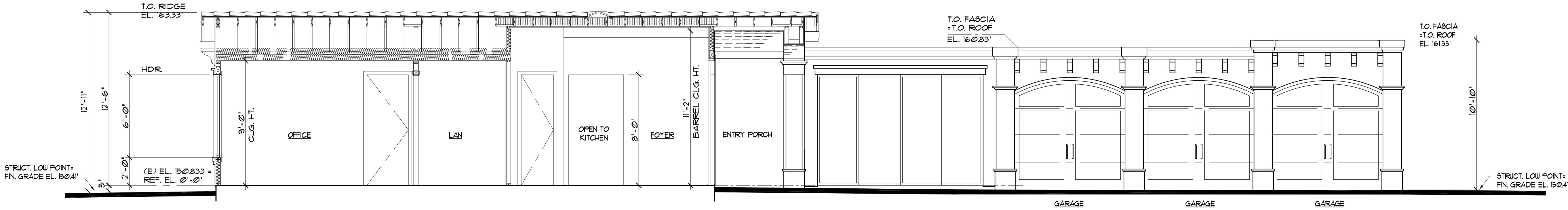
BUILDING  
SECTIONS

scale AS NOTED

date 10/23/2017

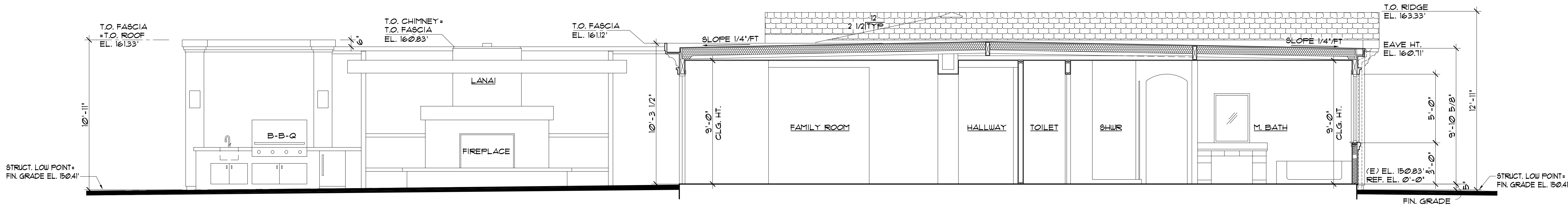
drawing number

A-7



SECTION - C

SCALE: 1/4"=1'-0"



SECTION - D

SCALE: 1/4"=1'-0"

KEY NOTES – □

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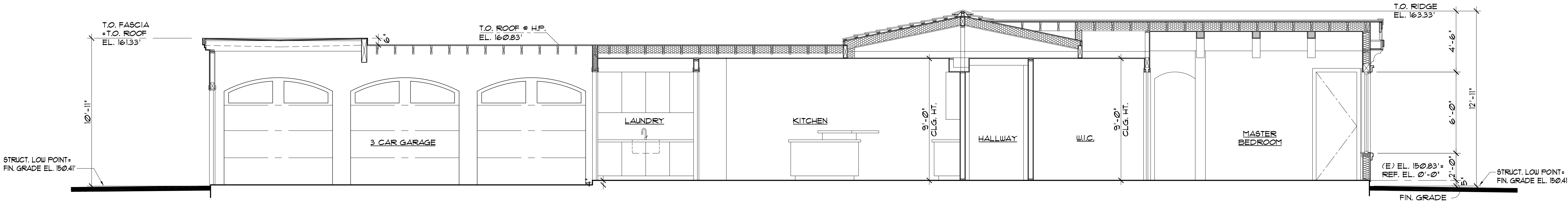
BUILDING  
SECTIONS

scale AS NOTED

date 10/23/2017

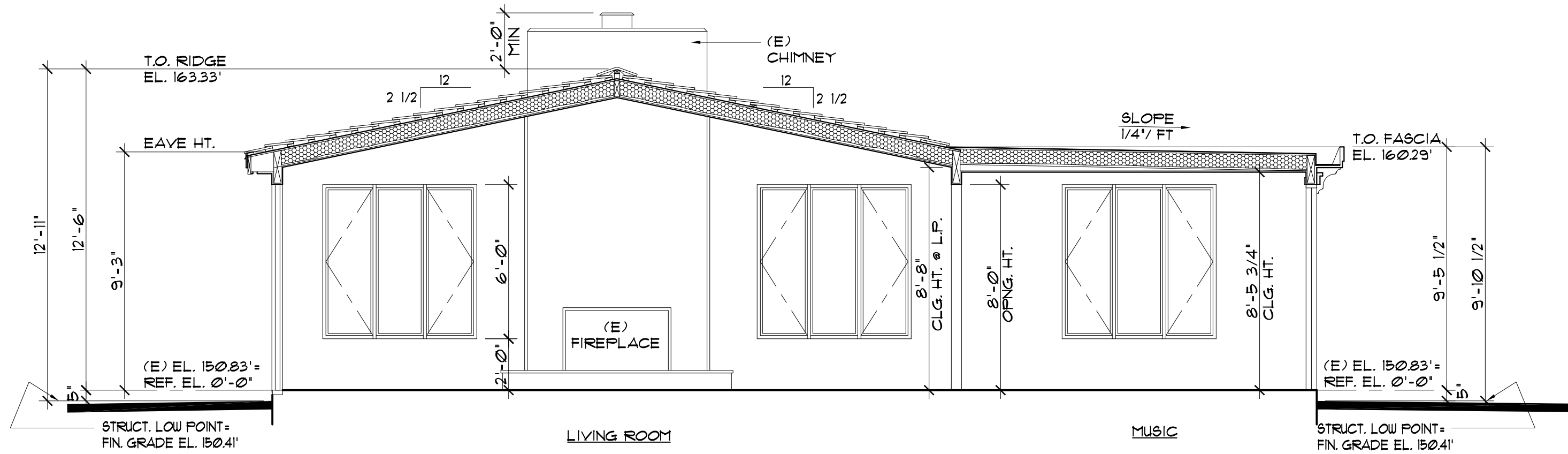
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A-8



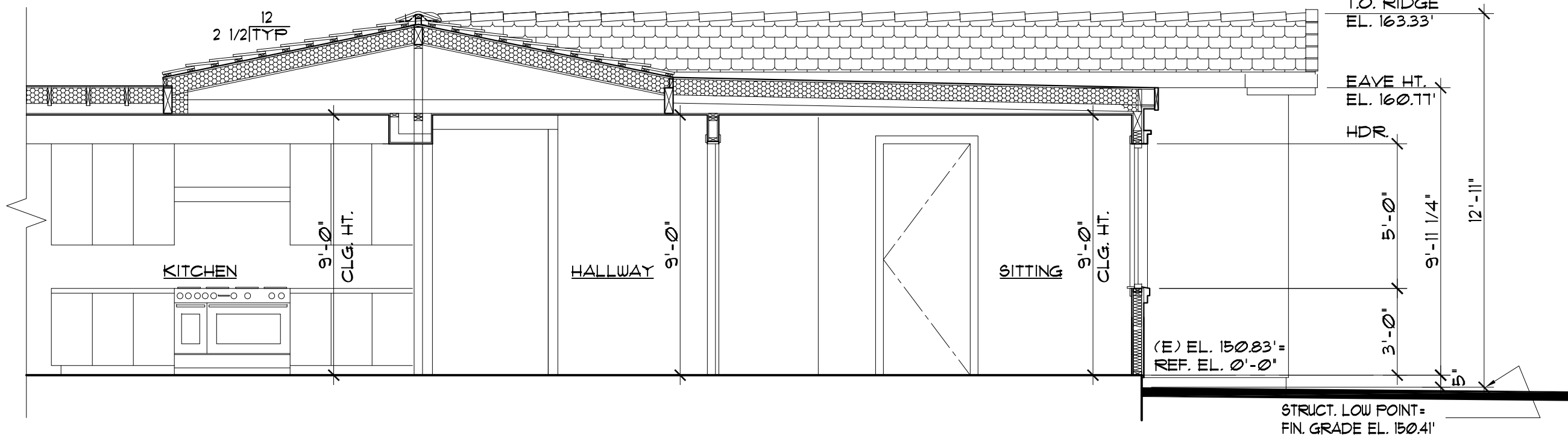
SECTION - E

SCALE: 1/4"=1'-0"



SECTION - G

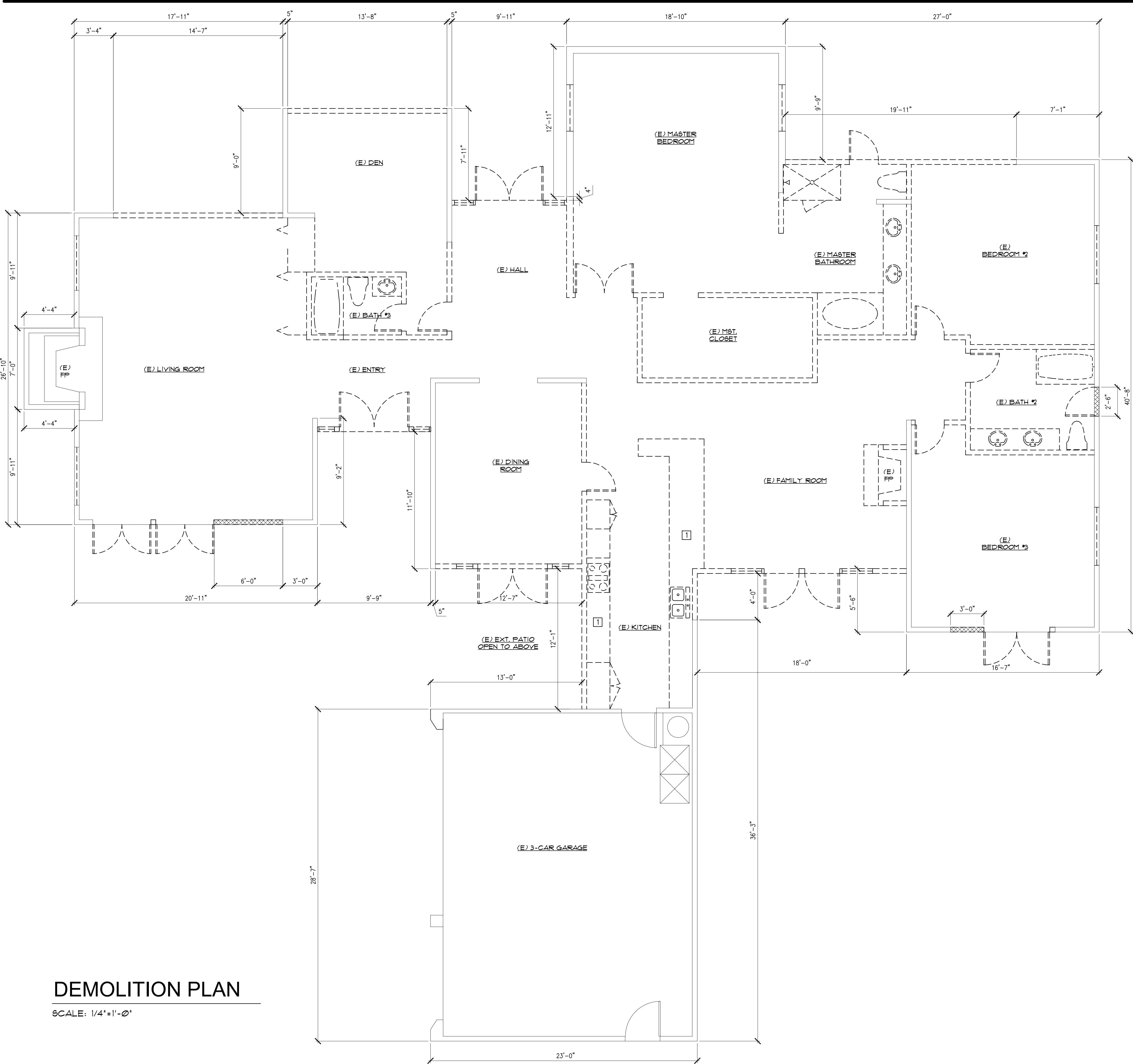
SCALE: 1/4"=1'-0"



SECTION - F

SCALE: 1/4"=1'-0"

KEY NOTES – □



DEMOLITION PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES:

- 1. TOTAL LINEAR LENGTH OF ALL WALLS: 670'-0"  
A. EXTERIOR: 421'-11"  
B. INTERIOR: 242'-1"
- 2. LENGTH OF WALL TO BE REMOVED: 288'-8"  
A. EXTERIOR: 114'-10"  
B. INTERIOR: 183'-10"  
PERCENTAGE OF TOTAL WALLS: 44.5%
- 3. WALLS TO BE RECONSTRUCTED: 11'-6"  
A. EXTERIOR: 11'-6"  
B. INTERIOR: 0'-0"  
PERCENTAGE OF TOTAL WALLS: 1.7%
- 4. LENGTH OF WALL TO REMAIN: 384'-4"  
A. EXTERIOR: 313'-1"  
B. INTERIOR: 71'-3"  
PERCENTAGE OF TOTAL WALLS: 57.4%

DEMO KEY NOTES: — □

- 1. KITCHEN COUNTERTOP, SINK, OVEN RANGE AND CABINETS TO BE REMOVED.

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

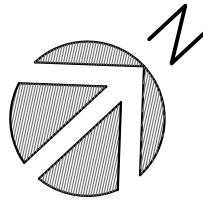
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DEMOLITION PLAN

scale 1/4"=1'-0"

date 10/23/2017

drawing number

D-1

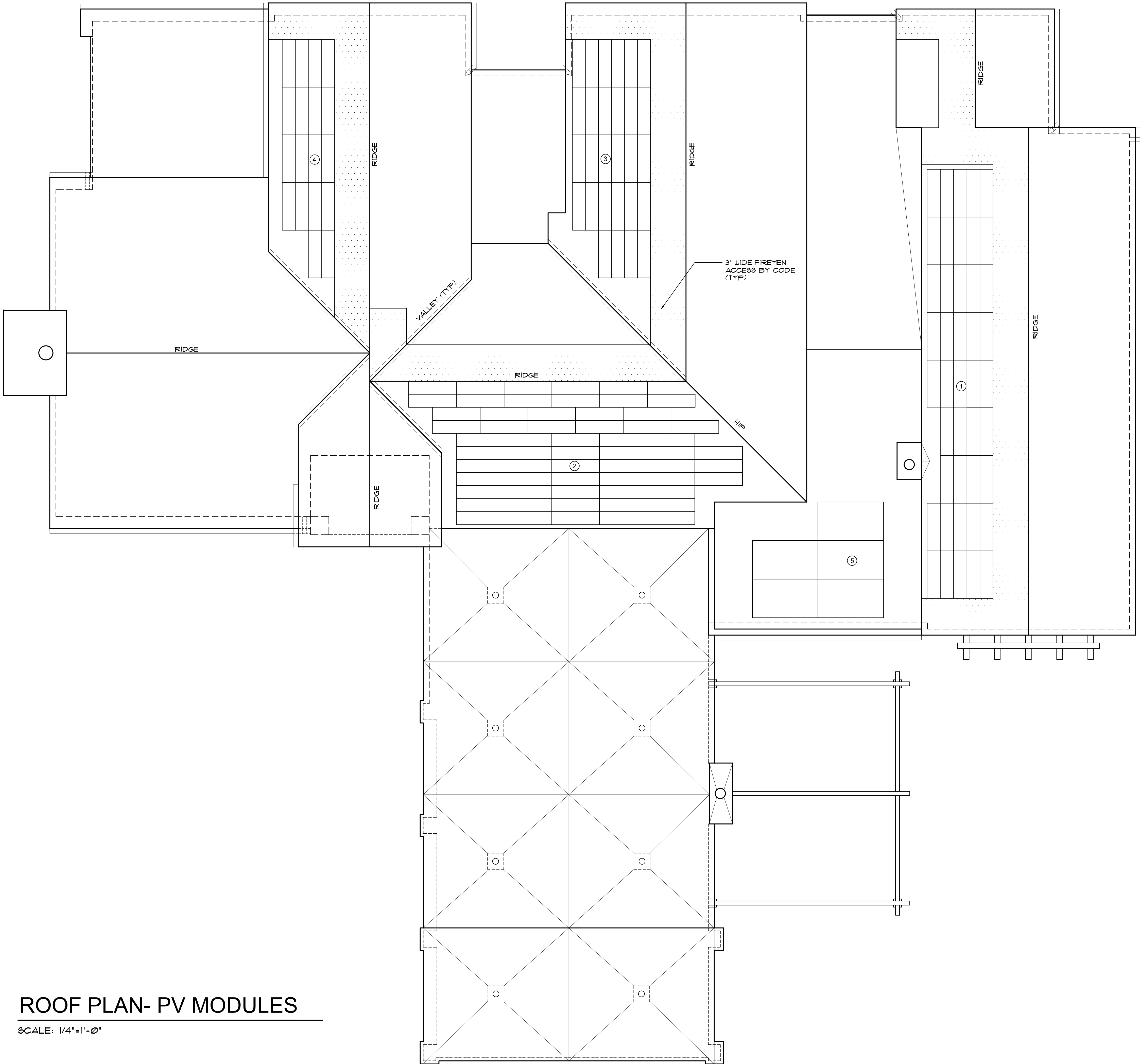
FLOOR PLAN SYMBOLS

- (E) WALL TO REMAIN
- (E) TO BE REMOVED
- (E) WALL RECONSTRUCTED









GENERAL NOTES:

PV MODULE ARRAY CALCS.

- PV MODULE ARRAY AREA - ○
- ① APPOLLO TILE II: 43 MODULES @ 60W/EA = 2,580 W
  - ② APPOLLO TILE II: 60 MODULES @ 60W/EA = 3,600 W
  - ③ APPOLLO TILE II: 28 MODULES @ 60W/EA = 1,680 W
  - ④ APPOLLO TILE II: 18 MODULES @ 60W/EA = 1,080 W
  - ⑥ SOLSTICE MODULE: 5 UNITS @ 300W/EA = 1,500 W
- TOTAL : 10,440 W  
OR : 10.44 KW

BASIS OF DESIGN PV MODULES BY : "CertainTeed" SAINT-GOBAIN

SOLAR PLAN SYMBOLS

3' WIDE FIRE DEPT ACCESS  
PATHWAY

ROOF PLAN- PV MODULES

SCALE: 1/4"=1'-0"

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RESIDENCE

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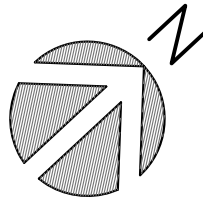
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ROOF PLAN  
PV MODULES

scale 1/4"=1'-0"

date 10/23/2017

drawing number

PV-1

ABBREVIATIONS									
AB. ABV. A/C ACOUS. ADJ. ADJ. ALUM. ALT. AMP. AVG.	ANCHOR BOLT ABOVE AIR CONDITIONING ACOUSTICAL ADJACENT ADJUSTABLE ALUMINUM ALTERNATE AMPERAGE AVERAGE	EXH. EXT. EXIST. E.W.	EXHAUST EXTERIOR EXISTING EACH WAY	MAR. MAS. MAX. M.B. MBA M.C. MFR. MIN. MIR. M-L. M.O. MTD. MTL.	MARBLE MASONRY MAXIMUM MACHINE BOLT MONARCH BAY ASSOCIATION MEDICINE CABINET MANUFACTURER MINIMUM MIRROR MICRO LAM MASONRY OPENING MOUNTED METAL	R.R. R.W.D. RO/S	ROOF RAFTER REDWOOD ROUGH SAUN	S. S.C. SCH. SCRND. SEC. SECT. S.F. SEL. SEL.STR. SER. S.H. SHT. SHTHG. SHWR. SL. SFL. SFN. SHP S.S. SST STD. S.V. STRUCT. SW.	SINK SOLID CORE SCHEDULE SCREENED SECOND SECTION SQUARE FOOT SELECT SELECT STRUCTURAL SERVICE SINGLE HUNG SHEET SHEATHING SHOWER SLIDING SPLASH SILL PLATE NAILING SHELF & POLE SERVICE SINK STAINLESS STEEL STANDARD SHEET VINYL STRUCTURAL SWITCH
BD. BLDG. BLK'G. BLT-IN BM. BN. BRG. B.S.	BOARD BUILDING BLOCKING BUILT-IN BEAM BOUNDARY NAILING BEARING BAR SINK	FAU F.D. F.G. F.G. FIN. FIN FLR F.J. FL. FLUOR. F.M.C. FN. FND. F.O. F.O.C. F.O.H.C. F.O.M. F.O.S. FRDR. F.R.P. FTG.	FORCED AIR UNIT FLOOR DRAIN FIXED GLASS FINISHED GRADE FINISH FINISH FLOOR FLOOR JOIST FLUSH FLUORESCENT FLOOR MATERIAL CHANGE FIELD NAILING FOUNDATION FACE OF FINISHED OPENING FACE OF CONCRETE, CURB FREE OF HEART CENTER FACE OF MASONRY FACE OF STUDS FRENCH DOOR FIBERGLASS REINF. POLYESTER FOOTING	(N) NG. N.I.C. NOM. N.T.S.	NEW NATURAL GRADE NOT IN CONTRACT NOMINAL NOT TO SCALE	O/ O.A. OBS. OC or O/C O.H. OPG. OSA. O.S.B.	OVER OVERALL OBSCURE ON CENTER OVERHEAD OPENING OUTSIDE AIR ORIENTED STRAND BOARD	T. T#B T.C. TEMP'G.L. T#G TJ T.M.C. T.O.C. T.O.M. T.O.P. T.O.S. T.O.W. TV	TREAD TOP & BOTTOM TRASH COMPACTOR TEMPERED GLASS TONGUE & GROOVE TRUSS JOIST TIME CLOCK TOP OF CURB TOP OF MASONRY TOP OF PARAPET TOP OF SLAB TOP OF WALL TELEVISION
D. DBL. D.F. DIA or Ø DIAG. DIM. DISP. D.F. DR. DRP. D.S. DTL. DIJ. DWG. DWR	DRYER DOUBLE DOUGLAS FIR DIAMETER DIAGONAL DIMENSION DISPOSAL DEEP DOOR DROP DOWNSPOUT DETAIL DISHWASHER DRAWING DRAWER	H.B. H.C. H.D. HDR. HDW. HGT. HNGR. HTR.	HOSE BIBB HOLLOW CORE HOLD DOWN ANCHOR HEADER HARDWARE HEIGHT HANGER HEATER	P.B. P.C. P.C. PCE. PH. PLT. PLAS. PLYWD. PNLG. POL. PPG. PR. PRE-FAB PSF. PSI P.T.D.F. PVC	PUSH BUTTON PORTLAND CEMENT PULL CHAIN PIECE PHONE PLATE PLASTER PLYWOOD PANELING POLISHED POLISHED PLATE GLASS PAIR PRE-FABRICATED POUNDS/SQUARE FOOT POUNDS/SQUARE INCH PRESSURE TREATED DOUGLAS FIR POLY VINYL CHLORIDE	R. RAD. R.A.G. RECFT. REF. REFER. REINF. RE/S REQ'D REV. REV. R.J. RM RO. RO-IN R.O.	RISER RADIAL/RADIUS RETURN AIR GRILLE RECEPTACLE REFRIGERATOR REFERENCE REINFORCING RE-SAWN REQUIRED REVERSE REVISION/REVISE ROOF JOIST ROOM ROUGH ROUGH-IN ROUGH OPENING	U. UNFIN. UN.O. VAN. VEN. VERT. V.G. V.B. V.P.	URINAL UNFINISHED UNLESS NOTED OTHERWISE VANITY VENEER VERTICAL VERTICAL GRAIN VAPOR BARRIER VAPORPROOF
(E) EA. ELECT. ELEV. EN. EQ.	EXISTING EACH ELECTRICAL ELEVATION EDGE NAILING EQUAL	INSUL. INT. JAL.	INSULATION INTERIOR JALOUSIE	L. LAM. LAMPLAS. L.F. LL. L.T. LUM. LVR.	LAVATORY LAMINATED LAMINATED PLASTIC LINEAR FEET/FOOT LOG LIGHTER LAUNDRY TRAY LUMINOUS LOUVER			W. W/ W.C. WD. WDW. WH. W.I.C. W/O W.P. W.P. W/R WT.	WASHER WITH WATER CLOSET WOOD WINDOW WATER HEATER WALK-IN CLOSET WITHOUT WEATHER PROOF WORK POINT WARDROBE WEIGHT

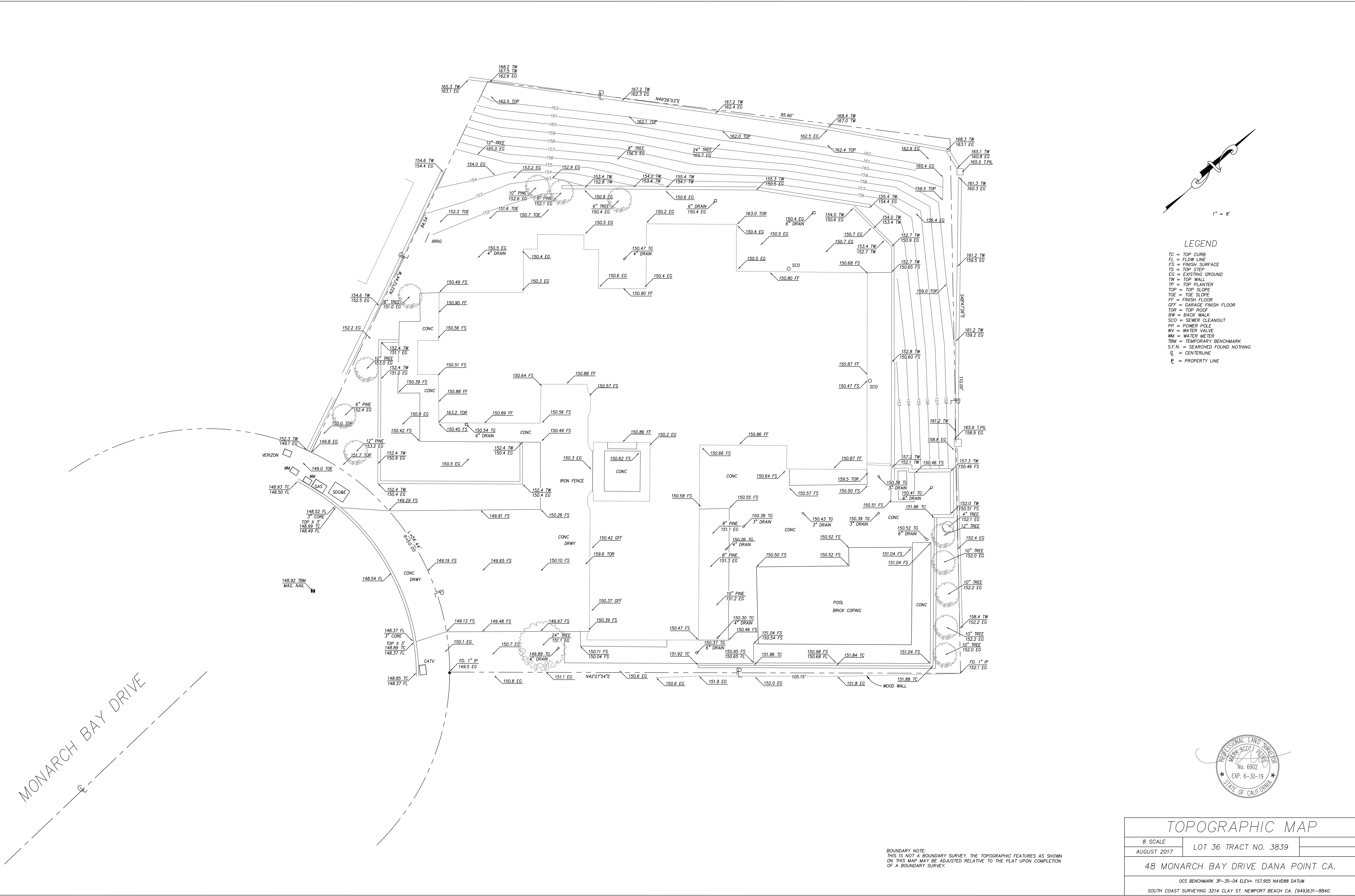
PROJECT INFORMATION	
LEGAL DESCRIPTION	
TRACK 3839 LOT 36 ASSESOR PARCEL NO. : 670-131-34	
BUILDING ADDRESS	
48 MONARCH BAY DR., DANA POINT CA 92629	
OWNER	
TRACY & VALERIE PRICE 48 MONARCH BAY DR., DANA POINT, CA 92629 949-399-1320	
PROJECT TEAM:	
ARCHITECTURAL DESIGN: URSULA CRUPI ASSOC. AIA / 949-309-6691 JERRY M. ROZYCKI R.A. / 530-413-1083	
BUILDING CODE DATA LEGEND:	
SINGLE FAMILY RESIDENCE NUMBER OF STORIES: 1 SPRINKLERS: THE EXISTING BUILDING IS NOT PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM AUTOMATIC SPRINKLER SYSTEM IS REQUIRED. OCCUPANCY: R-3 CONSTRUCTION TYPE: V-B YEAR BUILT: 1972	
PROJECT SHALL COMPLY WITH 2016 CRC, CMC, CFC, CEC, CGBSC, CEES, AND THE CITY OF DANA POINT LOCAL ORDINANCES	
EXISTING FLOOR AREA:	
- HABITABLE : 3243 S.F. - GARAGE : 647 S.F. BLDG. TOTAL: 3,890 S.F.	
ADDITIONS AREA:	
- HABITABLE : 888 S.F. - ENTRY PORCH : 63 S.F.	
NEW BUILDING AREA:	
- HABITABLE : 4131 S.F. - GARAGE : 647 S.F. BLDG. TOTAL: 4,778 S.F.	
BEDROOMS:	
- (E) BEDROOMS : 3 - (E) OFFICE/BEDROOM : 1 - (N) BEDROOMS : 1 TOTAL : 5	
BATHROOMS:	
- (E) BATHROOMS : 3 - (N) BATHROOMS : 1 TOTAL : 4	
SITE INFORMATION	
ZONING : R#F 4 LOT AREA : 11,500 S.F. LOT COVERAGE - EXISTING: 3,890 S.F. / 11,500 S.F. = 34%  LOT COVERAGE - PROPOSED: 4,778 S.F. / 11,500 S.F. = 41.54% (45% MAX.)  LANDSCAPE COVERAGE - PROPOSED: 4,890 S.F. / 11,500 S.F. = 42.52% (25% MIN.)	

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A-4	EXTERIOR ELEVATIONS
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A-6	BUILDING SECTIONS
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A-8	BUILDING SECTIONS
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	LANDSCAPE
L-8	PLANTING PLAN
SUBMITTAL REQUIREMENTS:	
a. PLANNING FINAL REQUIRED. b. SETBACK CERTIFICATION REQUIRED. c. BUILDING HEIGHT CERTIFICATION REQUIRED.	
SCOPE	
1. ADDTION OF 888 SQ. FT. TO EXISTING RESIDENCE. 2. EXTERIOR AND INTERIOR REMODEL OF EXISTING RESIDENCE. 3. REMOVAL OF OLD ROOF AND RE-STRUCTURE OF NEW ROOF TO ALLOWABLE MAX. 13 FEET ABOVE FINISHED GRADE. 4. REMOVAL OF OLD AND CONSTRUCTION OF NEW SWIMMING POOL WITH SPA. 5. CONSTRUCTION OF POOL EQUIPMENT ENCLOSURE WITH NEW POOL EQUIPMENT. 6. REMOVAL OF OLD AND INSTALLATION OF NEW LANDSCAPE. 7. BUILD MISCELLANEOUS HARDSCAPE ITEMS: OUTDOOR FIREPLACE, BBQ, 2 DECKS, FIREPIT WITH BENCH AND ISLAND. 8. UPGRADE (E) 200 AMP PANEL TO NEW 400 AMP ELECTRICAL PANEL.	

PRICE RESIDENCE	
48 Monarch Bay Dr. Dana Point, CA 92629	
construction - design - management 32221 Azores Rd., Dana Point, CA 92629 949-309-6691	
The drawings and other documents prepared for this project are for use on the project only and may not be used for any of the following: 1) on any other projects. 2) for additions to this project. 3) for the completion of this project by others, unless otherwise expressly agreed on by the Crupi Construction and Architect in writing. The drawings and other documents prepared for this project are the exclusive property of the Crupi Construction and Architect, and may not be used, duplicated, copied, transferred, assigned, sold, or hypothecated without the express written permission of the Crup Construction and Architect.	
issued for	rev date
seals and signatures	
drawing title	
TITLE SHEET	
scale	NONE
date	10/23/2017
drawing number	T-1

PRICE RESIDENCE

REMODEL AND ADDITION



- LEGEND
- TC = TOP CURB
  - FL = FLOW LINE
  - FS = FINISH SURFACE
  - TS = TOP STEP
  - EG = EXISTING GROUND
  - TW = TOP WALL
  - TP = TOP PLANTER
  - TOP = TOP SLOPE
  - TOE = TOE SLOPE
  - FF = FINISH FLOOR
  - GFF = GARAGE FINISH FLOOR
  - TOR = TOP ROOF
  - BW = BACK WALK
  - SCO = SEWER CLEANOUT
  - PP = POWER POLE
  - WV = WATER VALVE
  - WM = WATER METER
  - TBM = TEMPORARY BENCHMARK
  - S.F.N. = SEARCHED FOUND NOTHING
  - CL = CENTERLINE
  - CL = PROPERTY LINE



## TOPOGRAPHIC MAP

8 SCALE	LOT 36 TRACT NO. 3839
AUGUST 2017	

48 MONARCH BAY DRIVE DANA POINT CA.

OCS BENCHMARK 3P-35-04 ELEV= 157.955 NAVD88 DATUM  
SOUTH COAST SURVEYING 3214 CLAY ST. NEWPORT BEACH CA. (949)631-8840

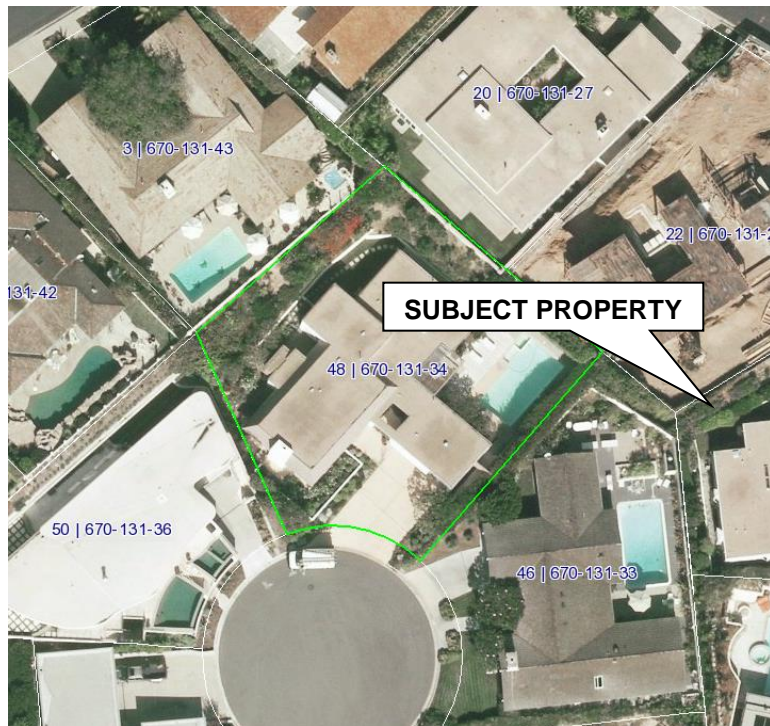
BOUNDARY NOTE:  
THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN  
ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAT UPON COMPLETION  
OF A BOUNDARY SURVEY.





City of Dana Point  
**CDP17-0046/ SDP17-0046)**  
**Danny Giometti, Associate Planner**  
Community Development Department  
33282 Golden Lantern (Danny Giometti, City Planner)  
Dana Point, CA 92629-1805

## VICINITY MAP



**Project :** *CDP17-0046/ SDP17-0046 (M)*

**Applicants/Owner:** *Crupi Construction/ Tracy and Valerie Price*

**Location:** *48 Monarch Bay Drive (APN: 670-131-34)*

