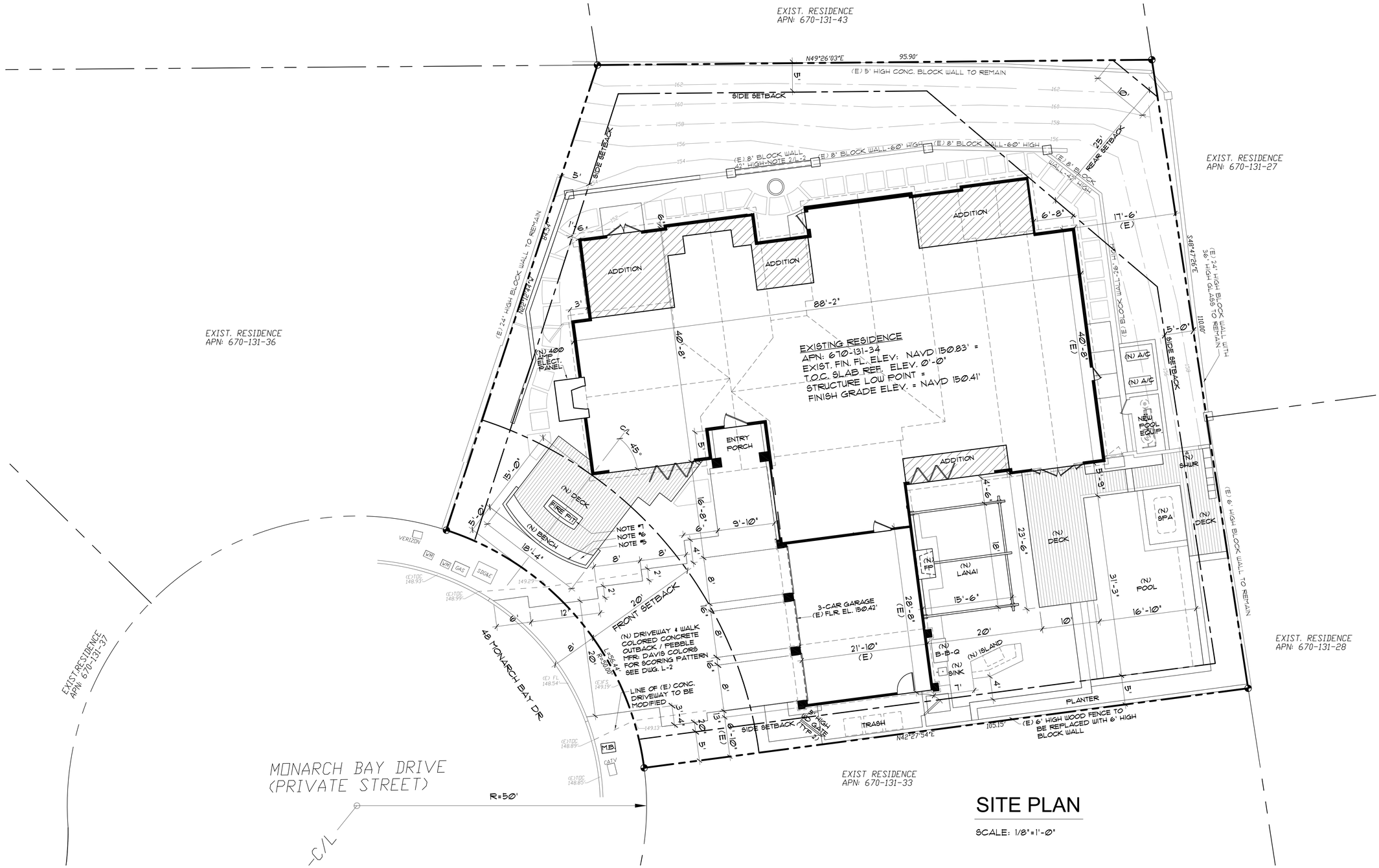


SITE PLAN

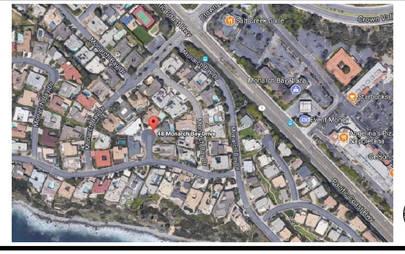
SCALE: 1/8"=1'-0"

NOTES

4. SEE LANDSCAPE SHEETS L-2 AND L-3 FOR HARDSCAPE CONSTRUCTION DETAILS AND MATERIALS.
5. (N) 16" HIGH CONCRETE SEAT.
6. (N) 28" HIGH CONCRETE BACKREST WALL.
7. (N) 16" HIGH CONCRETE FIREPIT.

1. CONNECT NEW DRAINS TO EXISTING DRAINAGE SYSTEM.
2. DRAINAGE AREA SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCH WITHIN THE FIRST 10 FEET.
3. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

VICINITY MAP



N

SITE INFORMATION

BUILDING AREA:

- HABITABLE (EXIST)	3,243 S.F.
- HABITABLE ADDITION	888 S.F.
- NEW HABITABLE TOTAL	4,131 S.F.
- NEW ENTRY PORCH	63 S.F.

SITE INFORMATION:

ZONING : RSF 4
LOT AREA : 11,500 S.F.

LEGAL DESCRIPTION:

TRACK 3839 LOT 36
ASSESOR PARCEL NO. : 670-131-34

PROJECT ADDRESS:

48 MONARCH BAY DR. DANA POINT, CA 92629

LEGEND

- CONTOUR LINES (9-FOOT CONTOUR INTERVAL)
- SETBACK LINE
- PROPERTY LINE
- ROOFLINE PROJECTION

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management
32221 Azores Rd., Dana Point, CA 92629
949-309-6691

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issued for	rev	date

seals and signatures

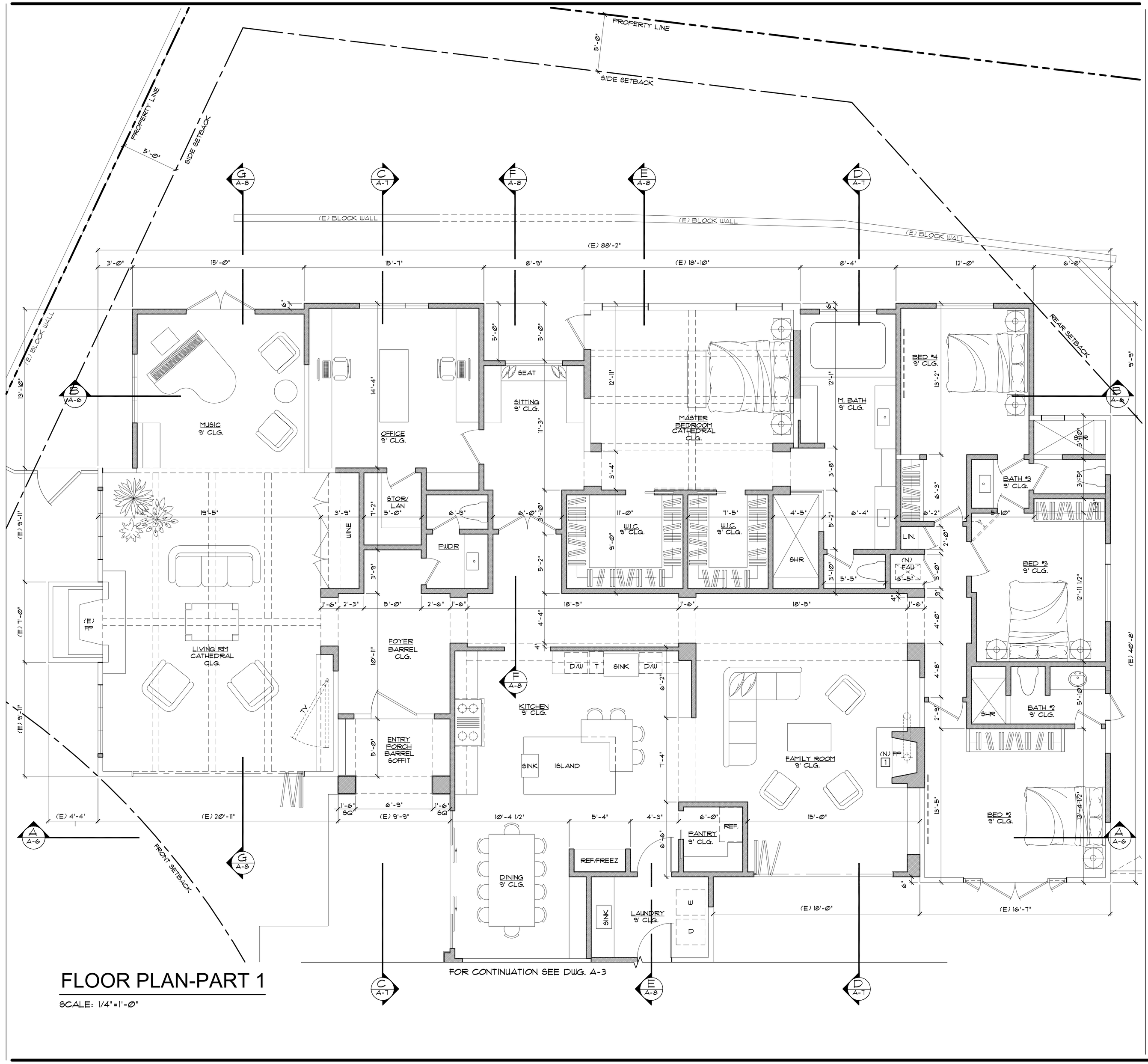
drawing title

SITE PLAN

scale 1/8"=1'-0"

date 10/23/2017

drawing number **A-1**



FLOOR PLAN-PART 1

SCALE: 1/4"=1'-0"

GENERAL NOTES:

KEY NOTES – □

1. DIRECT VENT FIREPLACE EXIT THRU SIDE WALL AND ROOF. MFR. BY MAJESTIC MODEL: TBD

FLOOR PLAN SYMBOLS

- OVERHEAD BEAM OR CABINET
- (E) WALL TO REMAIN
- (N) WALL
- B / A-4 — LETTER INDICATES BLDG SECTION; DIRECTION OF SECTION CUT; SHEET NUMBER WHERE SECTION IS DRAWN

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management

32221 Azores Rd., Dana Point, CA 92629

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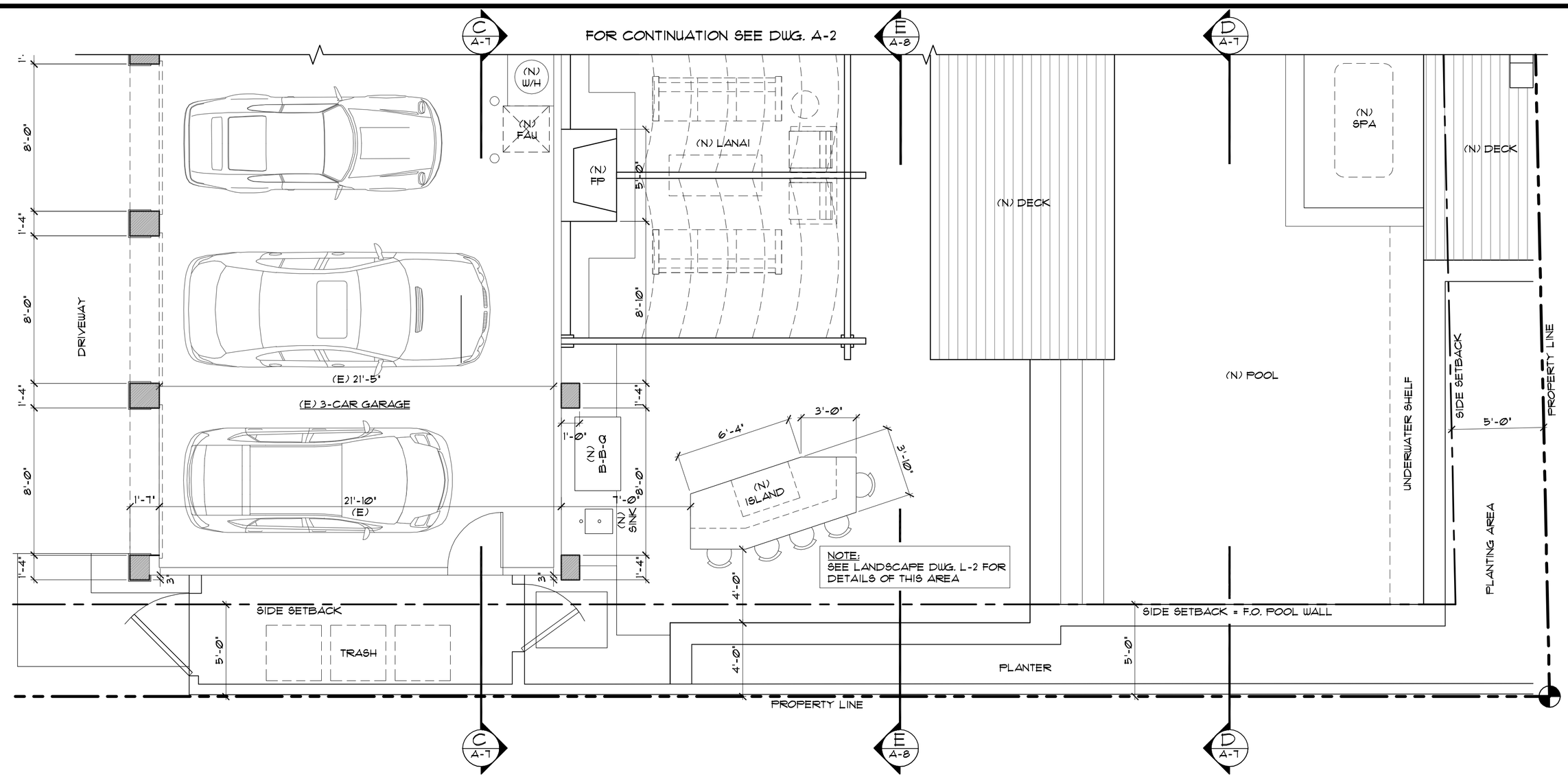
seals and signatures

drawing title

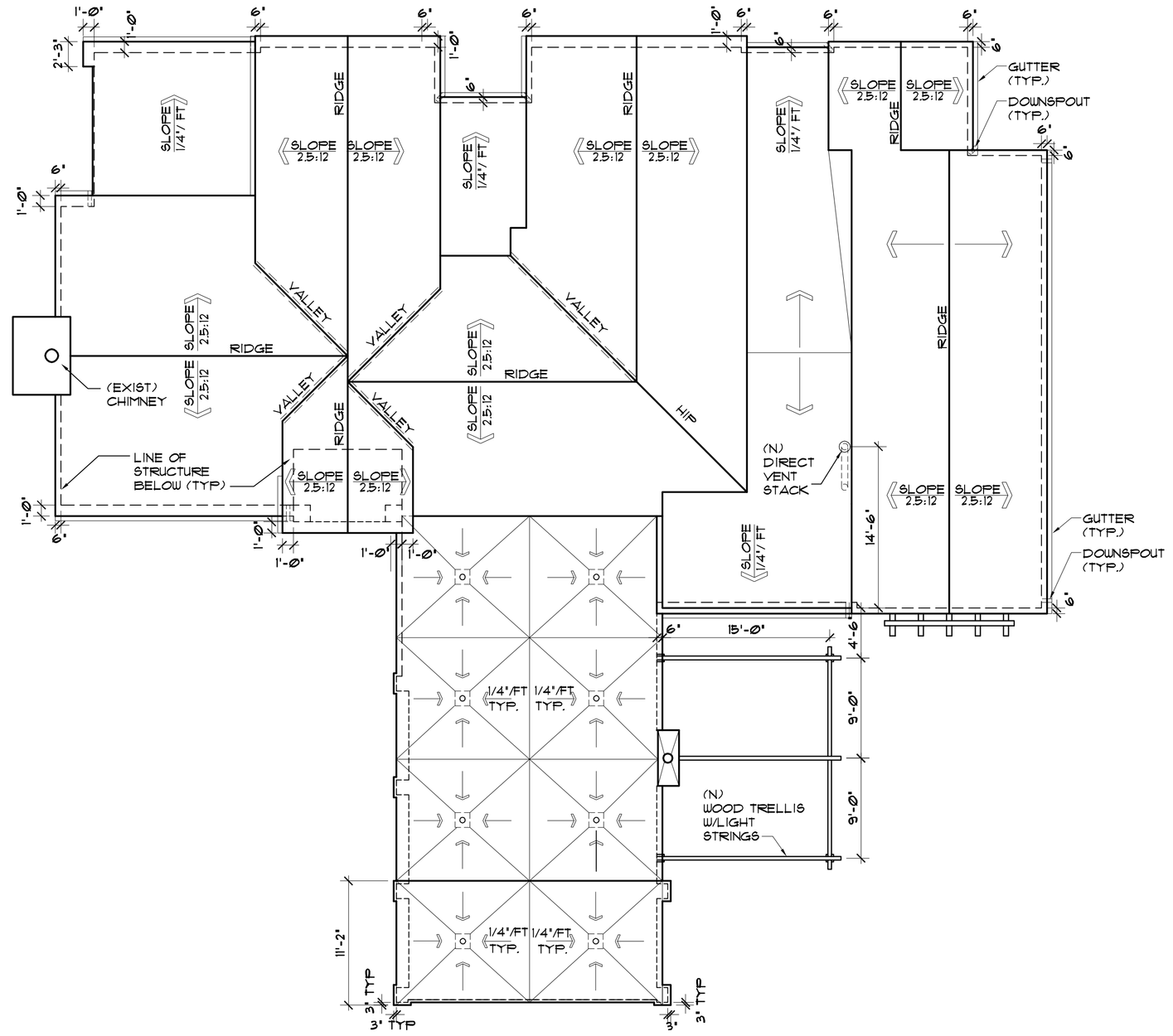
FLOOR PLAN PART-1

scale	1/4"=1'-0"
date	10/23/2017
drawing number	A-2



FLOOR PLAN-PART 2

SCALE: 1/4"=1'-0"



ROOF PLAN

SCALE: 1/8"=1'-0"

GENERAL NOTES:

KEY NOTES – □

FLOOR PLAN SYMBOLS

(E) WALL TO REMAIN

(N) WALL

B A-4 — LETTER INDICATES BLDG SECTION; DIRECTION OF SECTION CUT; SHEET NUMBER WHERE SECTION IS DRAWN

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

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construction - design - management

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seals and signatures

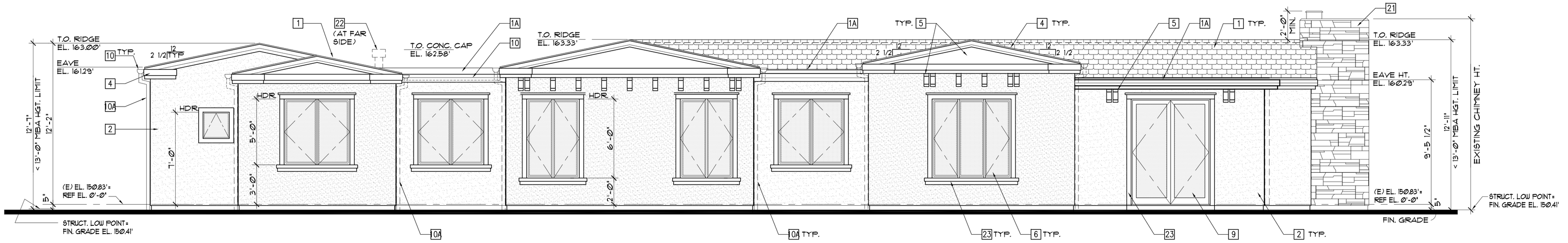
drawing title

ROOF PLAN AND FLOOR-PART 2

scale 1/4"=1'-0"

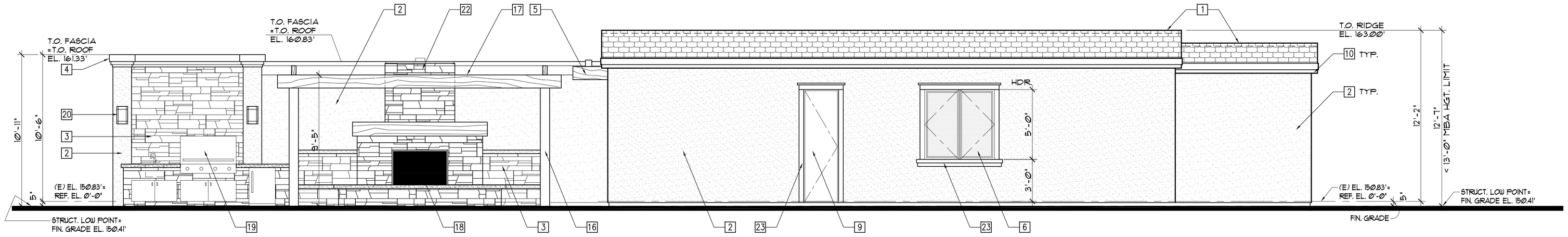
date 10/23/2017

drawing number **A-3**



NORTH ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

1. MAXIMUM BUILDING HEIGHT IS 28 FEET FOR ZONE RSF4 PER CITY OF DANA POINT RESIDENTIAL DEVELOPMENT STANDARDS SECTION 9.09.030.
2. MAXIMUM ROOF HEIGHT FOR THIS LOT ALLOWED BY MONARCH BAY ASSOCIATION STANDARDS IS 13 FEET ABOVE FINISH GRADE.
3. THE PROPOSED MAXIMUM ROOF HEIGHT OF 12'-11" FOR THIS PROJECT IS IN COMPLIANCE WITH THE CITY OF DANA POINT RESIDENTIAL DEVELOPMENT AND MONARCH BAY ASSOCIATION STANDARDS.

KEY NOTES – □

15. HARDSCAPE: PLANTER WALLS - NATURAL STONE VENEER SPLIT FACE TRAVERTINE, COLOR: CREAM
16. 8 X 8 POLYMER HARDWOOD COLUMN WRAP BY AZEK. COLOR: MAHOGANY
17. BEAM WRAP W/ POLYMER HARDWOOD BY AZEK. COLOR: MAHOGANY
18. (N) DIRECT VENT FIREPLACE: MFR. MARTIN FIREPLACE, MODEL SB5400SS STAINLESS STEEL
19. (N) STAINLESS STEEL BUILT-IN BARBECUE UNIT
20. (N) EXTERIOR LIGHT FIXTURE:
21. EXISTING CHIMNEY WITH NEW NATURAL STONE VENNER.
22. (N) DIRECT VENT PIPE WITH GAS DIRECT TERMINATION CAP.
23. WINDOW SURROUND: SMOOTH PLASTER FINISH, COLOR: WHITE

9A EXTERIOR FOLDING DOORS: ALUMINUM CLAD WOOD, MFR: SIERRA PACIFIC, COLOR: BRONZE #024
10. GUTTERS: ALUMINUM ROUND, CUSTOM FABRICATED, MFR: RGS COLOR: TO MATCH ROOFING TILE
10A DOWNSPOUTS: ALUMINUM ROUND, CUSTOM FABRICATED, MFR: RGS COLOR: WHITE CONNECT TO EXISTING DRAINAGE SYSTEM.
11. DECKS: POLYMER HARDWOOD, VINTAGE COLLECTION MFR: AZEK, COLOR: MAHOGANY.
12. GARDEN WALLS: 8" THICK CONCRETE BLOCK COLOR: TO MATCH SMOOTH PLASTER WALLS.
13. GATES: POLYMER HARDWOOD MFR: AZEK, COLOR: MAHOGANY
14. DRIVEWAY: CONCRETE, COLORS: OUTBACK/PEBBLE, MFR: DAVIS

3. WALLS-ACCENT: NATURAL STONE VENEER, SPLIT FACE TRAVERTINE, COLOR: CREAM
4. FASCIA TRIM: PAINTED WOOD, MFR: DUNN-EDWARDS COLOR: WHITE DEW 380
5. WOOD TRIM: PAINTED WOOD, MFR: DUNN-EDWARDS COLOR: DEW 380
6. WINDOWS: ALUMINUM CLADDED WOOD, CASEMENT TYPE U.N.O. MFR: SIERRA PACIFIC, COLOR: BRONZE #024
7. GARAGE DOORS: STEEL, POLYSTRYRENE INSULATED MFR: AMARRR CLASSICA COLLECTION, COLOR: WHITE
8. ENTRY DOOR: WOOD, CUSTOM BUILT, MAHOGANY, CLEAR FINISH
9. EXTERIOR DOORS: ALUMINUM CLAD WOOD, MFR: SIERRA PACIFIC, COLOR: BRONZE #024

1. ROOF (GABLE): CLASS "A" LIGHTWEIGHT CONCRETE TILES TYPE: 'BEL-AIR', OVER 1X3 ELEVATED BATTEN SYSTEM BY EAGLE ROOFING PRODUCTS (1APMO-UES ER#1300) / OVER CLASS "A" TORCH APPLIED 3-PLY MODIFIED BITUMEN MEMBRANE RUBEROID® APP BY GAF (UL-ER 1306-02) CONCRETE TILE COLOR: #287 BROWN GRAY RANGE

1A ROOF (FLAT): CLASS "A" TORCH APPLIED 3-PLY MODIFIED BITUMEN MEMBRANE RUBEROID® APP SYSTEM BY GAF (UL-ER 1306-02), ELIGIBLE FOR 20-YEAR 'NDL" MANUFATURER WARRANTY. CAP SHEET COLOR: GRANULE TO MATCH CONCRETE ROOFING TILE.

2. WALLS-FIELD: SMOOTH PLASTER, FINISH: SANTA BARBARA, COLOR: #50 CRYSTAL WHITE, MFR: LA HABRA

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management
32221 Azores Rd., Dana Point, CA 92629
949-309-6691

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issued for	rev	date

seals and signatures

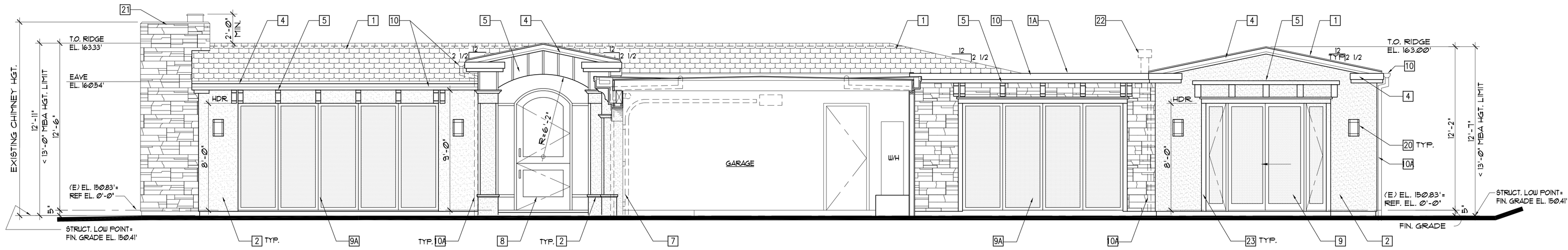
drawing title

EXTERIOR ELEVATIONS

scale: AS NOTED

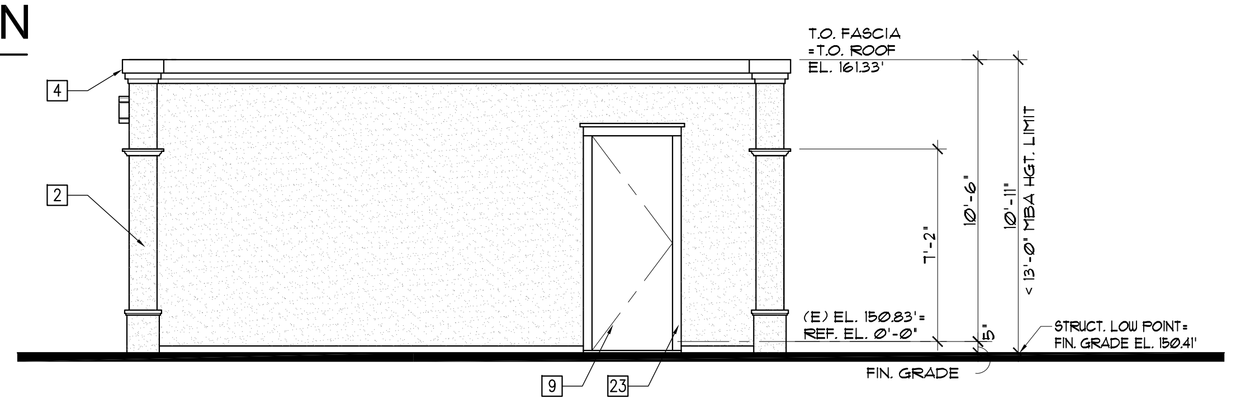
date: 10/23/2017

drawing number: **A-4**



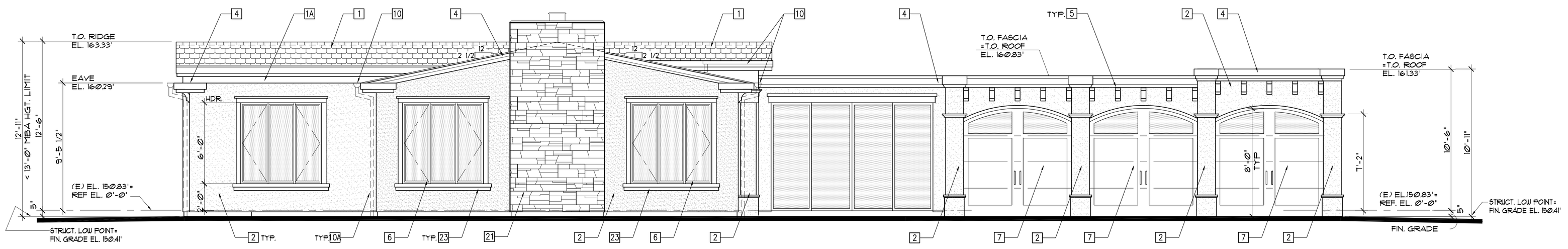
SOUTH ELEVATION / SECTION

SCALE: 1/4"=1'-0"



GARAGE - SOUTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

1. MAXIMUM BUILDING HEIGHT IS 28 FEET FOR ZONE RSF4 PER CITY OF DANA POINT RESIDENTIAL DEVELOPMENT STANDARDS SECTION 9.09.030.
2. MAXIMUM ROOF HEIGHT FOR THIS LOT ALLOWED BY MONARCH BAY ASSOCIATION STANDARDS IS 13 FEET ABOVE FINISH GRADE.
3. THE PROPOSED MAXIMUM ROOF HEIGHT OF 12'-11" FOR THIS PROJECT IS IN COMPLIANCE WITH THE CITY OF DANA POINT RESIDENTIAL DEVELOPMENT AND MONARCH BAY ASSOCIATION STANDARDS.

15. HARDSCAPE: PLANTER WALLS - NATURAL STONE VENEER SPLIT FACE TRAVERTINE, COLOR: CREAM
16. 8 X 8 POLYMER HARDWOOD COLUMN WRAP BY AZEK. COLOR: MAHOGANY
17. BEAM WRAP W/ POLYMER HARDWOOD BY AZEK. COLOR: MAHOGANY
18. (N) DIRECT VENT FIREPLACE: MFR. MARTIN FIREPLACE, MODEL SB540DSS STAINLESS STEEL
19. (N) STAINLESS STEEL BUILT-IN BARBECUE UNIT
20. (N) EXTERIOR LIGHT FIXTURE.
21. EXISTING CHIMNEY WITH NEW NATURAL STONE VENNER.
22. (N) DIRECT VENT PIPE WITH GAS DIRECT TERMINATION CAP.
23. WINDOW SURROUND: SMOOTH PLASTER FINISH, COLOR: WHITE

9A EXTERIOR FOLDING DOORS: ALUMINUM CLAD WOOD, MFR: SIERRA PACIFIC, COLOR: BRONZE #024
10. GUTTERS: ALUMINUM ROUND, CUSTOM FABRICATED, MFR: RGS COLOR: TO MATCH ROOFING TILE
10A DOWNSPOUTS: ALUMINUM ROUND, CUSTOM FABRICATED, MFR: RGS COLOR: WHITE CONNECT TO EXISTING DRAINAGE SYSTEM.
11. DECKS: POLYMER HARDWOOD, VINTAGE COLLECTION MFR: AZEK, COLOR: MAHOGANY.
12. GARDEN WALLS: 8" THICK CONCRETE BLOCK COLOR: TO MATCH SMOOTH PLASTER WALLS.
13. GATES: POLYMER HARDWOOD MFR: AZEK, COLOR: MAHOGANY
14. DRIVEWAY: CONCRETE, COLORS: OUTBACK/PEBBLE, MFR: DAVIS

3. WALLS-ACCENT: NATURAL STONE VENEER, SPLIT FACE TRAVERTINE, COLOR: CREAM
4. FASCIA TRIM: PAINTED WOOD, MFR: DUNN-EDWARDS COLOR: WHITE DEW 380
5. WOOD TRIM: PAINTED WOOD, MFR: DUNN-EDWARDS COLOR: DEW 380
6. WINDOWS: ALUMINUM CLADDED WOOD, CASEMENT TYPE U.N.O. MFR: SIERRA PACIFIC, COLOR: BRONZE #024
7. GARAGE DOORS: STEEL, POLYSTRYRENE INSULATED MFR: AMARRR CLASSICA COLLECTION, COLOR: WHITE
8. ENTRY DOOR: WOOD, CUSTOM BUILT, MAHOGANY, CLEAR FINISH
9. EXTERIOR DOORS: ALUMINUM CLAD WOOD, MFR: SIERRA PACIFIC, COLOR: BRONZE #024

KEY NOTES — □

1. ROOF (GABLE): CLASS "A" LIGHTWEIGHT CONCRETE TILES TYPE: "BEL-AIR", OVER 1X3 ELEVATED BATTEN SYSTEM BY EAGLE ROOFING PRODUCTS (1APMO-UES ER#1900) / OVER CLASS "A" TORCH APPLIED 3-PLY MODIFIED BITUMEN MEMBRANE RUBEROID® APP BY GAF (UL-ER 1306-02) CONCRETE TILE COLOR: #287 BROWN GRAY RANGE
1A ROOF (FLAT): CLASS "A" TORCH APPLIED 3-PLY MODIFIED BITUMEN MEMBRANE RUBEROID® APP SYSTEM BY GAF (UL-ER 1306-02), ELIGIBLE FOR 20-YEAR 'NDL' MANUFATURER WARRANTY. CAP SHEET COLOR: GRANULE TO MATCH CONCRETE ROOFING TILE.
2. WALLS-FIELD: SMOOTH PLASTER, FINISH: SANTA BARBARA, COLOR: #50 CRYSTAL WHITE, MFR: LA HABRA

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

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949-309-6691

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issued for	rev	date

seals and signatures

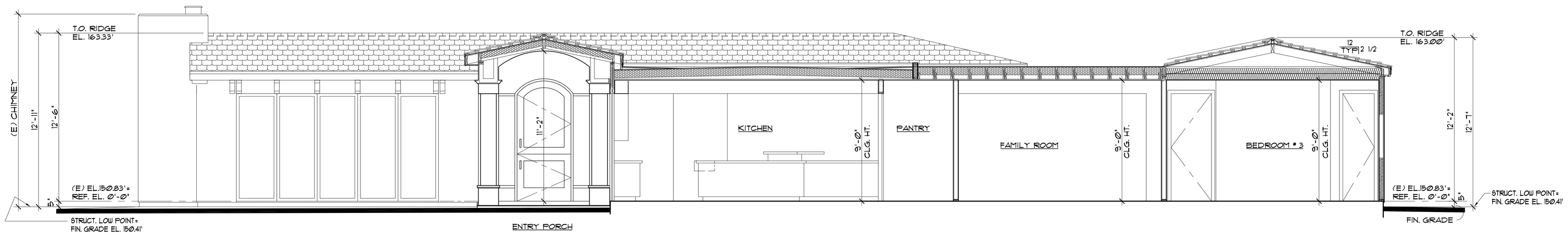
drawing title

EXTERIOR ELEVATIONS

scale: AS NOTED

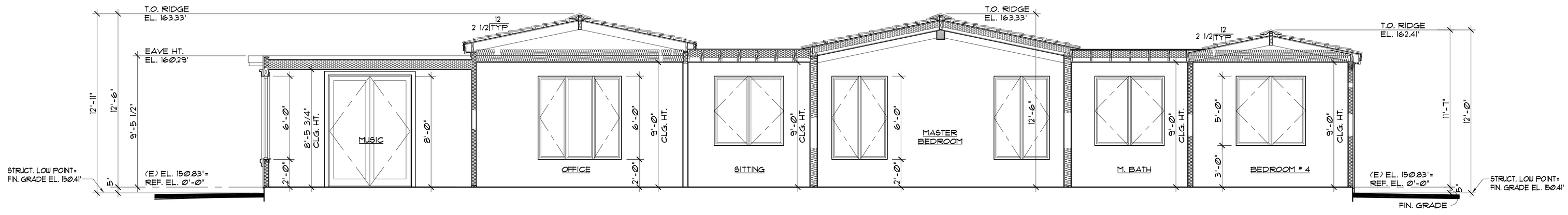
date: 10/23/2017

drawing number: **A-5**



SECTION - A

SCALE: 1/4"=1'-0"



SECTION - B

SCALE: 1/4"=1'-0"

KEY NOTES — □

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seals and signatures

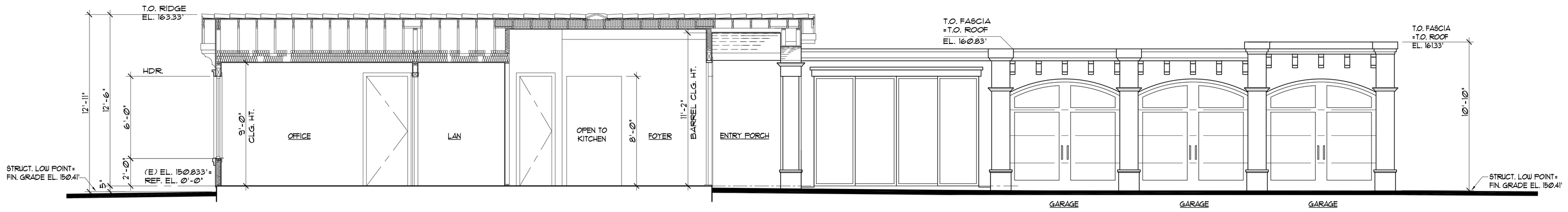
drawing title

BUILDING SECTIONS

scale: AS NOTED

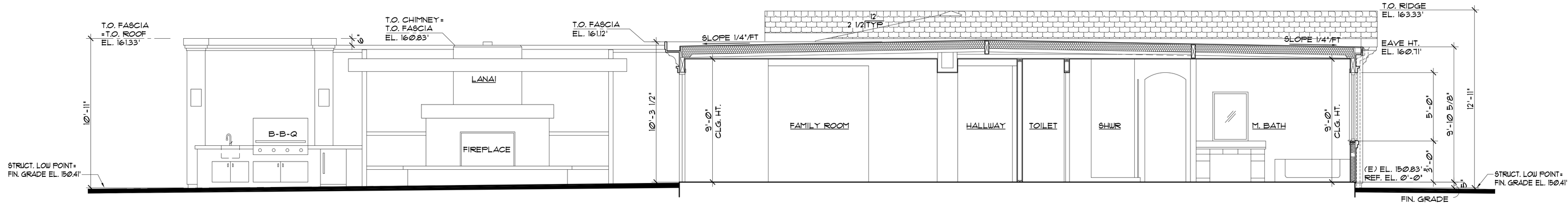
date: 10/23/2017

drawing number: **A-6**



SECTION - C

SCALE: 1/4"=1'-0"



SECTION - D

SCALE: 1/4"=1'-0"

KEY NOTES — □

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management

32221 Azores Rd., Dana Point, CA 92629

949-309-6691

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issued for	rev	date

seals and signatures

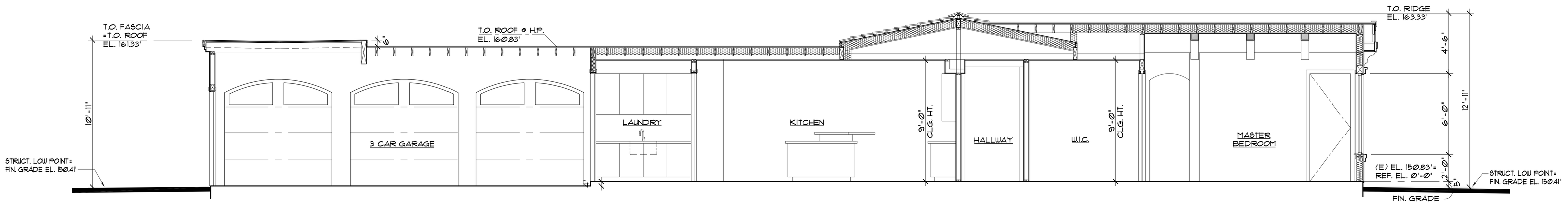
drawing title

BUILDING SECTIONS

scale: AS NOTED

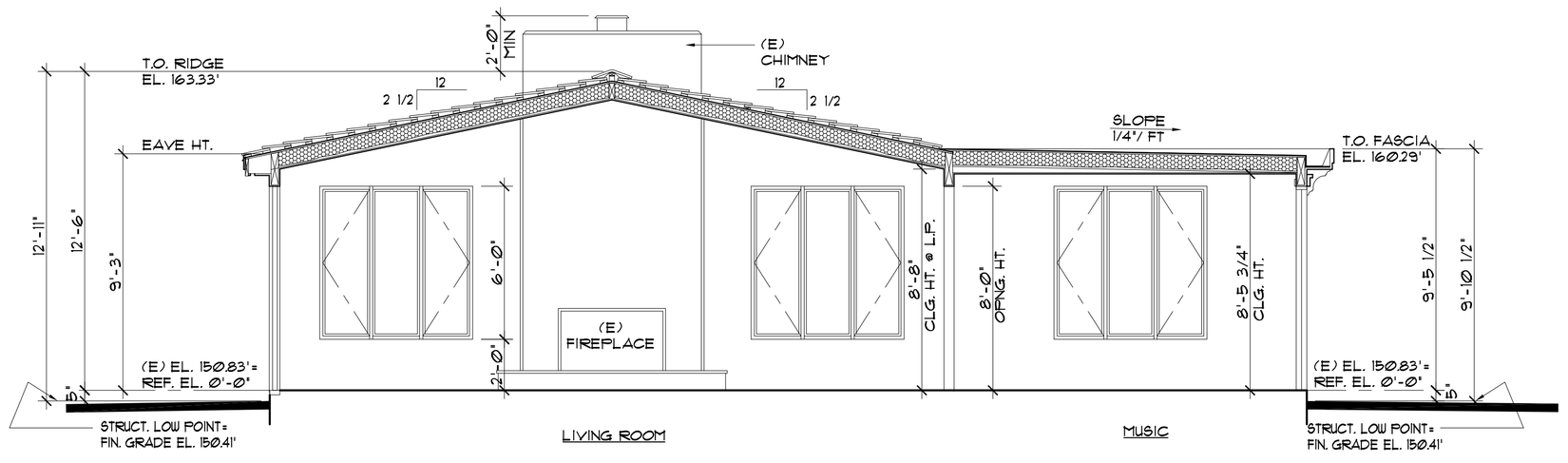
date: 10/23/2017

drawing number: **A-7**



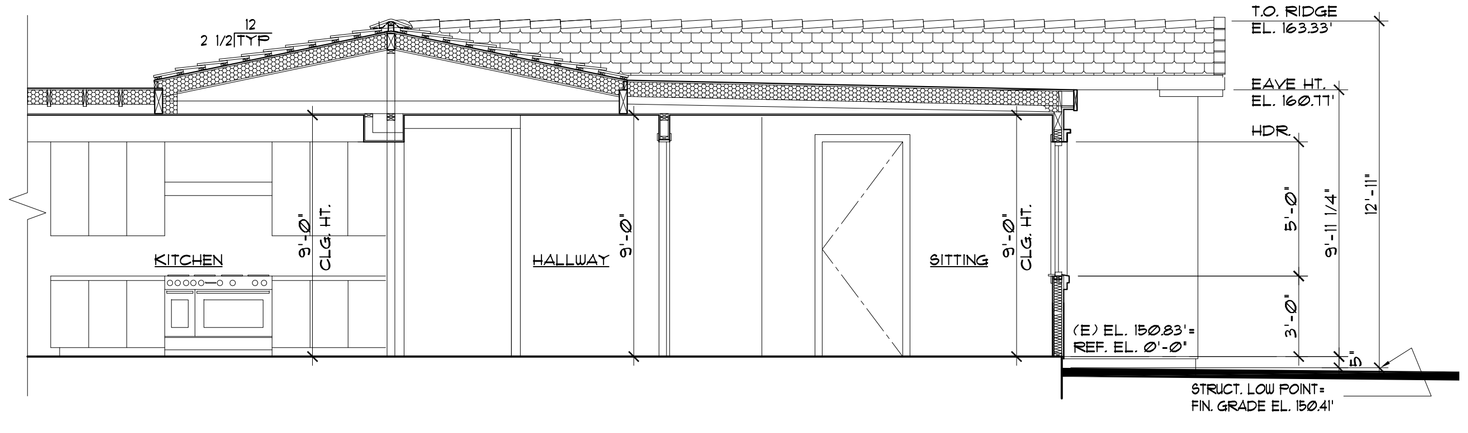
SECTION - E

SCALE: 1/4"=1'-0"



SECTION - G

SCALE: 1/4"=1'-0"



SECTION - F

SCALE: 1/4"=1'-0"

KEY NOTES — ☐

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management
32221 Azores Rd., Dana Point, CA 92629
949-309-6691

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issued for	rev	date

seals and signatures

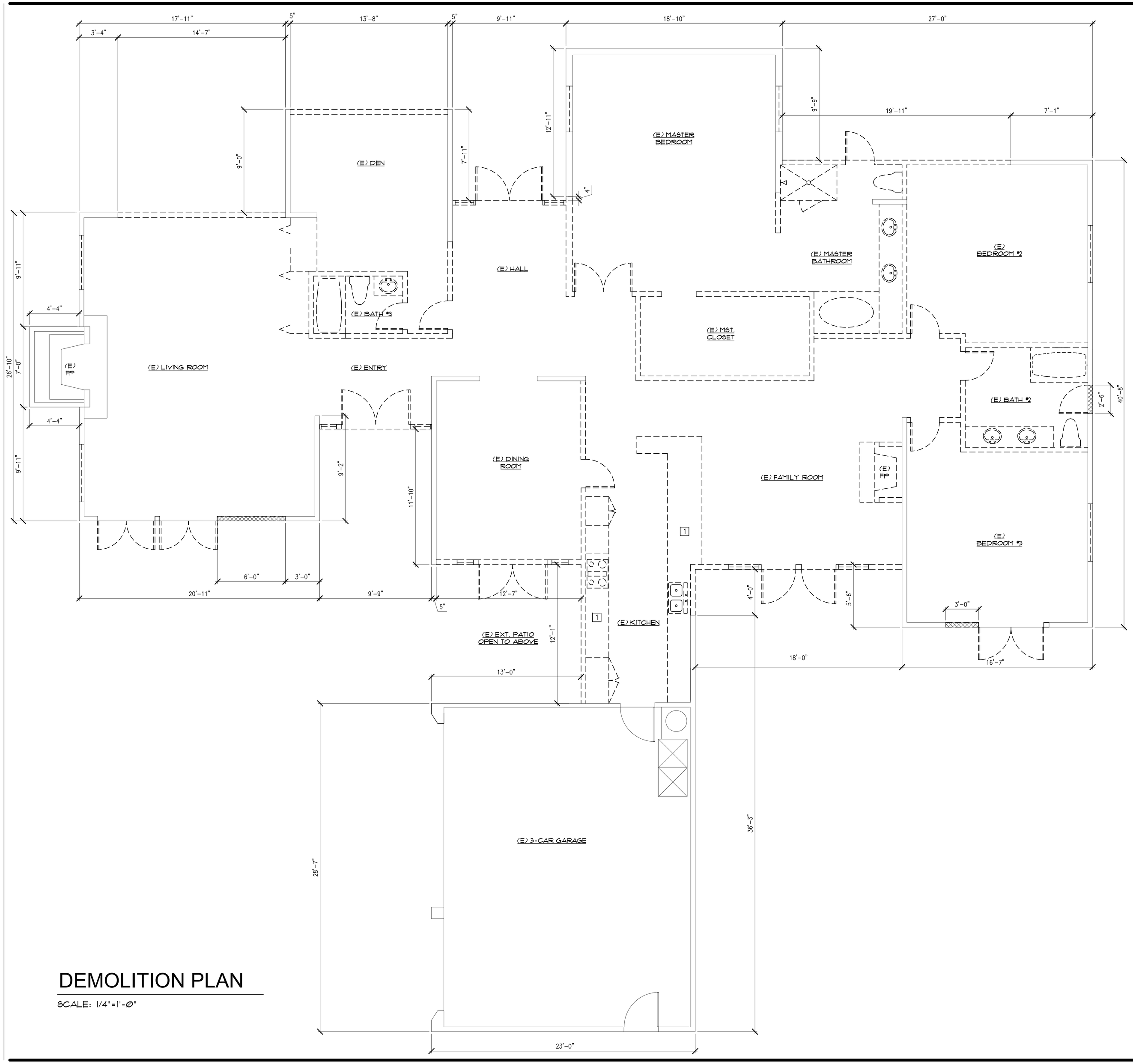
drawing title

BUILDING SECTIONS

scale: AS NOTED

date: 10/23/2017

drawing number: **A-8**



DEMOLITION PLAN

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. TOTAL LINEAR LENGTH OF ALL WALLS: 670'-0"
   A. EXTERIOR: 427'-11"
   B. INTERIOR: 242'-1"
2. LENGTH OF WALL TO BE REMOVED: 288'-8"
   A. EXTERIOR: 114'-10"
   B. INTERIOR: 183'-10"
   PERCENTAGE OF TOTAL WALLS: 44.5%
3. WALLS TO BE RECONSTRUCTED: 11'-6"
   A. EXTERIOR: 11'-6"
   B. INTERIOR: 0'-0"
   PERCENTAGE OF TOTAL WALLS: 1.7%
4. LENGTH OF WALL TO REMAIN: 384'-4"
   A. EXTERIOR: 313'-1"
   B. INTERIOR: 71'-3"
   PERCENTAGE OF TOTAL WALLS: 57.4%

DEMO KEY NOTES: —☐

1. KITCHEN COUNTERTOP, SINK, OVEN RANGE AND CABINETS TO BE REMOVED.

FLOOR PLAN SYMBOLS

(E) WALL TO REMAIN
(E) TO BE REMOVED
(E) WALL RECONSTRUCTED

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management
32221 Azores Rd., Dana Point, CA 92629
949-309-6691

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issued for	rev	date

seals and signatures

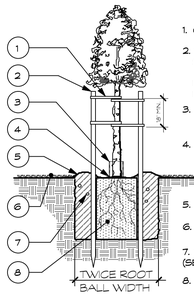
drawing title

DEMOLITION PLAN

scale 1/4"=1'-0"

date 10/23/2017

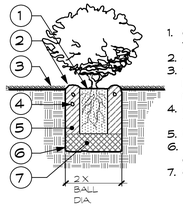
drawing number **D-1**



1. CLINCH TIE OR EQUAL (4 REQ'D)
2. 10' LODGE POLE STAKES, STAKE SHALL CLEAR ROOT BALL BY 2'. TREATED W/ COPPER NAPTHANATE, PLACE AT RIGHT ANGLES TO PREVAILING WINDS.
3. VENTILATED TRUNK GUARD IN TURF AREAS
4. TOP OF ROOT BALL TO BE 1 1/2" ABOVE FINISH GRADE.
5. 4" HIGH WATERING BERM.
6. 2" THICK MULCH LAYER, PER SPEC.
7. FERTILIZER & MYCORRHIZAE TABS (SEE SPECS.)
8. ROUGHEN SURFACE OF ROOT BALL PRIOR TO PLANTING.

TREE PLANTING DETAIL

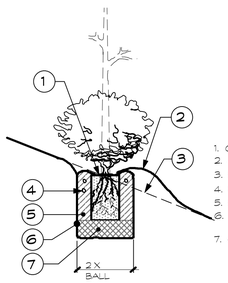
NOTE: ALL TREES PLANTED WITHIN FIVE FEET OF HARDSCAPE SHALL HAVE A ROOT BARRIER DEVICE INSTALLED ADJACENT TO HARDSCAPE AREA.



1. CROWN OF PLANT TO BE 1" ABOVE FINISH GRADE
2. 4" HIGH TEMPORARY BASIN.
3. 2" THICK SHREDDED MULCH DO NOT USE BARK CHIPS WHERE PLAN CALLS FOR MULCH COVER.
4. FERTILIZER AND MYCORRHIZAE TABS (SEE SPECS.)
5. BACKFILL MIX (SEE SPECS.)
6. DIG HOLE A MIN. OF 1 1/2 X THE DEPTH OF THE PLANT CONTAINER
7. COMPACTED BACKFILL PER SPEC.

NOTE: UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOT BALL WITH WATER FROM HOSE. DO NOT CRACK ROOT BALL.

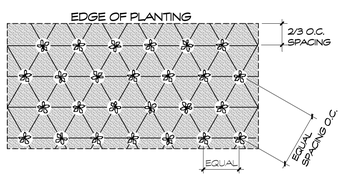
SHRUB PLANTING DETAIL



1. CROWN OF PLANT.
2. 4" HIGH TEMPORARY BASIN.
3. EXISTING GRADE
4. PLANTING TABS (SEE SPECS.)
5. BACKFILL MIX (SEE SPECS.)
6. DIG HOLE A MIN. OF 1 1/2 X THE DEPTH OF THE PLANT CONTAINER
7. COMPACTED BACKFILL PER SPEC.

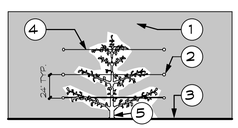
NOTE: UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOT BALL WITH WATER FROM HOSE. DO NOT CRACK ROOT BALL. CONTRACTOR SHALL PROVIDE EROSION CONTROL WHEN SPECIFIED.

SLOPE PLANTING DETAIL



NOTE: ALL MASS PLANTED SHRUBS AND GROUND COVER SHALL BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE INDICATED ON PLANS. SEE LEGEND FOR SPACING REQUIREMENTS. MULCH ALL PLANTING AREAS PER SPEC.

GROUND COVER AND SHRUB SPACING



ELEVATION

LEGEND
1. WALL
2. EYEBOLTS: 3/8" DIA. EYEBOLTS IN LEAD SHIELDS, PROVIDE 6.
3. FINISH GRADE
4. 12 GA. GALV. WIRE: SECURE VINE TO WIRE WITH NURSERYMANS TAPE.
5. ANGLE TRUNK OF VINE BACK TO WALL AND REMOVE STAKE & TIE.

NOTE: WHEN PLANTING SEVERAL VINES ON ONE WALL, WIRE TRELLIS SHALL BE CONTINUOUS.

VINE DETAIL
NON-ADHERING TYPE

THE FOLLOWING IS A COMPUTERIZED COUNT OF ALL SHRUBS. CONTRACTOR SHALL VERIFY THE FOLLOWING PLANT TOTALS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE TOTALS LISTED HERE ON.

WATER USE / SHRUBS

SYMBOL	QUANTITY	% USED
AGA-ATT	2	LOW
CIT-SUN	57	LOW
COT-SPE	4	LOW
CRA-OVA	45	LOW
CYP-PAP	7	MOD
ELA-DEC	21	LOW
EUP-MIL	8	LOW
FEI-SEL	3	LOW
FUR-MAC	2	LOW
GER-SID	20	LOW
HEM-HYB	13	LOW
HES-PAR	3	LOW
KAL-BEH	10	LOW
LAN-DWF	48	LOW
LIR-GIG	9	MOD
MIS-SIN	42	LOW
MUH-RIG	200	LOW
NAN-COM	13	LOW
NAN-HAR	12	LOW
OLE-DWF	17	LOW
RAP-MIN	56	LOW
SEN-MAN	75	LOW
		TOTALS
		MOD 6%
		LOW 94%

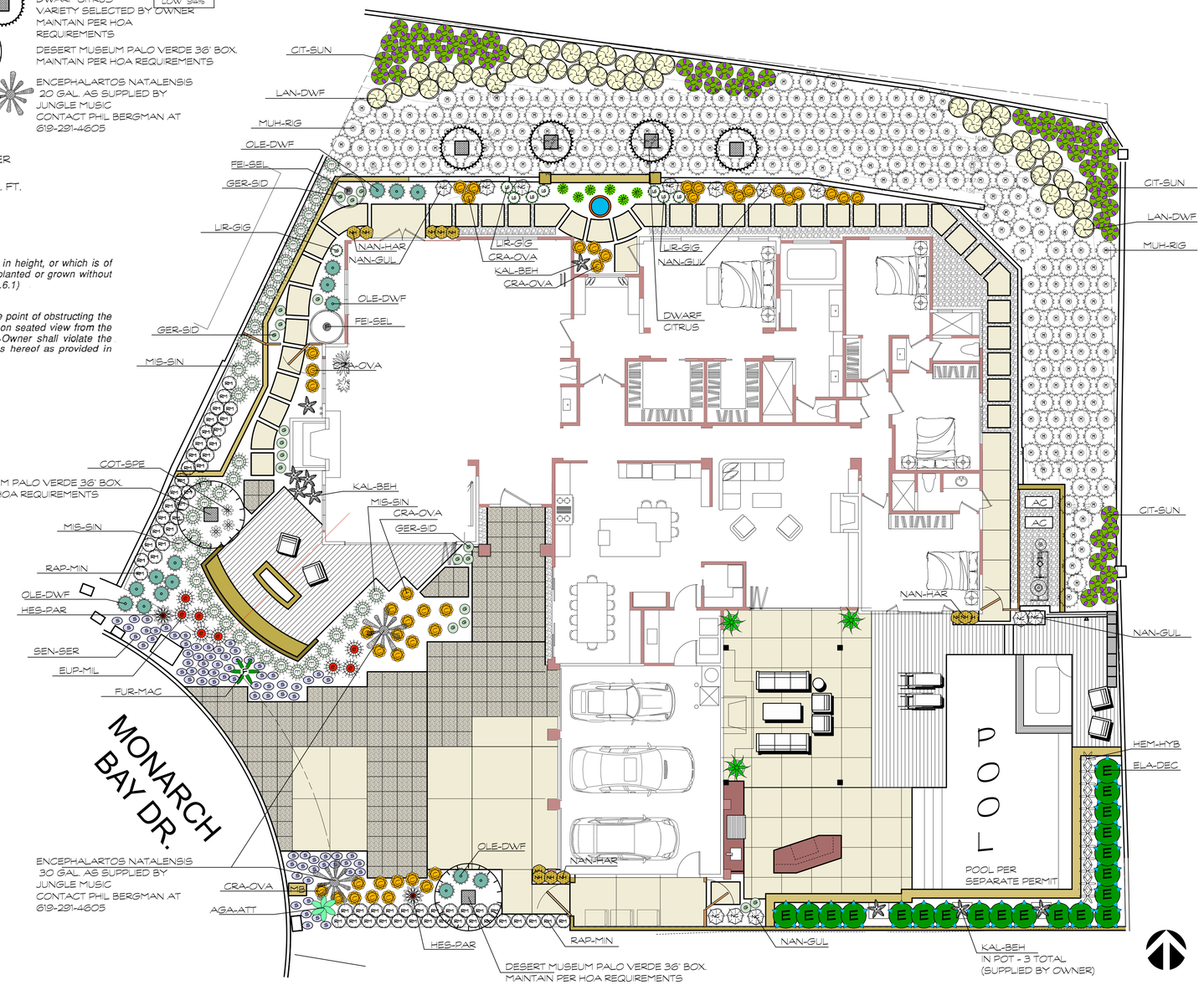
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
AGA-ATT	AGAVE ATTENUATA NOVA	FOXTAIL AGAVE	15 GAL.	SUCCULENT W/ BLUE-GRAY FLESHY LEAVES W/ NO SPINES TO 4 FT. DROUGHT RESISTANT.
CIT-SUN	CISTUS X 'SUNSET	SUNSET ROCKROSE	FIVE GAL.	COMPACT, EVERGREEN SHRUB TO 3' X 4' WITH ATTRACTIVE GRAY GREEN FOLIAGE. BRIGHT ROSE FLOWERS.
COT-SPE	COTYLEDON SPECIES	LONG FINGERS	FIVE GAL.	WHITE CHALKY LEAVES LIKE LONG, CYLINDRICAL FINGERS HELD UPRIGHT FROM STEM. 2 FT. HIGH AND WIDE W/ SOFT PASTEL ORANGE, HANG
CRA-OVA	CRASSULA OVATA HUMMELS SUNSET	SUNSET CRASSULA	FIVE GAL.	GOLDEN YELLOW SMALL SUCCULENT TO 20 INCHES.
CYP-PAP	CYPERUS PAPYRUS	EGYPTIAN PAPYRUS	FIVE GAL.	TALL REED LIKE STEMS TO 7 FT. TOPPED W/ 8" UMBLE OF LACY THREAD LIKE GRASS.
ELA-DEC	ELAEOCARPUS DECIPENS MONROE/LITTLE EMPEROR	JAPANESE BLUEBERRY	24" BOX	UPRIGHT EVERGREEN SHUB TO 8 FT. WITH GLOSSY GREEN FOLIAGE THAT TURNS BRIGHT RED BEFORE DROPPING.
EUP-MIL	EUPHORBIA MILLI	CROWN OF THORNS	FIVE GAL.	SLENDER, THORNY, SLIGHTLY METALLIC COLORED STEMS BEARING RED BRACK FLOWERS FOR MOST OF THE YEAR.
FEI-SEL	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	24" BOX	FAST GROWING EVERGREEN SHRUB / TREE W/ WHITE FLOWERS AND GRAY-GREEN FOLIAGE, EDIBLE FRUIT (MULTI TRUNK).
FUR-MAC	FURCRAEA MACDOUGALII	FURCRAEA	24" BOX.	AGAVE RELATED LARGE ROSETT FORMING SUCCULENT THAT HAS 6 FT. LONG DARK GREEN STIFFLY UPRIGHT GROWING LEAVES
GER-SID	GERANIUM SIDOIDES	CRIMSON & GREY GERANIUM	ONE GAL.	DENSE GROUND COVER TO 12" W/ ROSE-PINK BLOSSOMS, FULL SUN SOFT BLUE GREY FOLIAGE.
HEM-HYB	HEMEROCALLIS HYBRID	DAYLILY	ONE GAL.	CLUMPING SLENDER ARCHING LEAVES TO 2 FT. W/ CLUSTERS OF TALL STEMMED LILY LIKE FLOWERS.
HES-PAR	HESPERALOE PARVIFLORA	RED CORAL YUCCA	FIVE GAL.	3 FT. STEMLESS SUCCULENT WITH CLUMPS OF ARCHING GRASS-LIKE BLUE-GREEN LEAVES W/ WHITE FRAYING FIBERS, RED FLOWER ST
KAL-BEH	KALANCHOE BAHARENSIS	ZIG-ZAG FELT PLANT	15 GAL.	SRIKING LARGE SUCCULENT W/ HUGE, SCALLOPED LEAVES COVERED W/ FINE BUFF COLLORED FELT ON ZIG-ZAGGING BRANCHES.
LAN-MON	LANTANA MONTEVIDENSIS	TRAILING LANTANA	ONE GAL.	LOW MOUNDING GROUNDCOVER W/ PROFUSE LAVENDER FLOWERS FULL SUN.
LIR-GIG	LIROPE GIGANTEA	GIANT LILY TURF	FIVE GAL.	PERENNIAL TO 2 FT. OF GRASSLIKE APPEARANCE W/ PURPLE FLOWER SPIKES.
MIS-SIN	MISCANTHUS SINENSIS 'YAKU JIMA'	DWARF MAIDEN GRASS	FIVE GAL.	ORNAMENTAL GRASS TO 4 FT.
MUH-RIG	MUHLENBERGIA RIGENS	DEER GRASS	ONE GAL.	CALIF. NATIVE BUNCH GRASS TO 3 FT. W/ NARROW GRAY-GREEN LEAVES AND LONG SILVER-GRAY FLOWER ABOVE PLANT.
NAN-GUL	NANDINA GULF STREEM	GULF STREEM NANDINA	FIVE GAL.	FEATHERY FOLIAGE ON ERECT CANES COMPACT TO 3' , RED FALL COLOR, WHITE FLOWER FOLLOWED BY BERRIES.
NAN-HAR	NANDINA D. HARBOR DWF.	DWF. NANDINA	FIVE GAL.	FEATHERY FOLIAGE LOW GROWING GROUND COVER TO 18" SPREADS BY RUNNERS.
OLE-DWF	OLEA EUROPAEA MONTRA	LITTLE OLLIE DWF OLIVE	15 GAL.	DWARF OLIVE WITH BLUE GREEN FOLIAGE TAKES PRUNING WELL.
RAP-MIN	RAPHIOLEPIS UMBELLATUS 'MINOR'	DWARF YEDDA HAWTHORNE	15 GAL.	SLOW GROWING COMPACT UPRIGHT SHRUB TO 4 FT. W/ WHITE FLOWER CLUSTERS.
SEN-SER	SENECIO SERPENS	PUNK PICKLE	ONE GAL.	SUCCULENT PERENNIAL WITH LIGHT BLUISH GRAY LEAVES, MASS PLANT AS GROUND COVER.

DWARF CITRUS
VARIETY SELECTED BY OWNER
MAINTAIN PER HOA REQUIREMENTS

DESERT MUSEUM PALO VERDE 36" BOX.
MAINTAIN PER HOA REQUIREMENTS

ENCEPHALARTOS NATALENSIS
20 GAL. AS SUPPLIED BY
JUNGLE MUSIC
CONTACT PHIL BERGMAN AT
619-291-4605

CALCULATED LANDSCAPE AREA
INCLUDING POOL AND OTHER WATER
FEATURES BUT EXCLUDING
HARDSCAPE SURFACE IS 4,890 SQ. FT.



8.0 LANDSCAPE DESIGN CRITERIA

8.1 Allowed Height
No tree, bush, shrub, hedge or other planting over three feet in height, or which is of the type which may grow to over three feet in height shall be planted or grown without prior approval of a landscape plan by the ACC. (Bylaws 12.12.6.1)

8.2 View Obstruction
No owner shall permit any tree or other planting to grow to the point of obstructing the view from any other Lot, obstruction being defined as impact on seated view from the affected neighbor's lowest living level. In the event that any Owner shall violate the provisions hereof, the Association may enforce the provisions hereof as provided in paragraph 12.15.2. (Bylaws 12.12.6.2)

DAVID A. PEDERSEN, INC.
LANDSCAPE ARCHITECTURE
20271 ACACIA ST., SUITE 120
NEWPORT BEACH, CA 92660
TEL: (949) 251-8999
FAX: (949) 251-0899

LANDSCAPE ARCHITECTURAL PLANS FOR
TRACY AND VALERIE PRICE
48 MONARCH BAY DR. • DANA PT, CA 92629
URSULA CRUP, CRUP CONSTRUCTION, INC. 949-309-6621

PLANTING PLAN

DATE: 10-20-17
DRAWN BY: D.P.

SHEET NO.
L- 8
OF - 9

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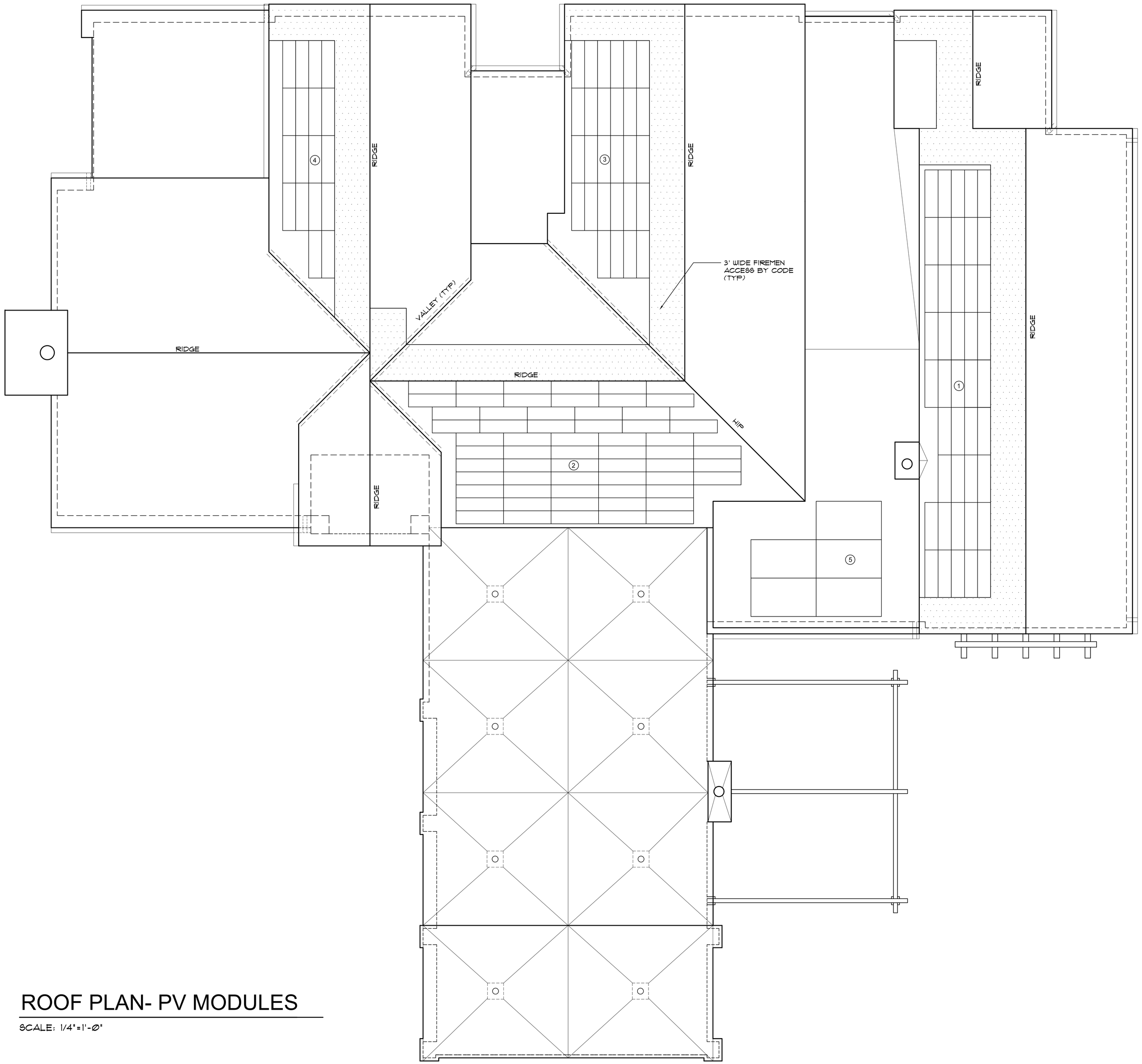

ROOF PLAN- PV MODULES

SCALE: 1/4"=1'-0"

GENERAL NOTES:

PV MODULE ARRAY CALCS.

PV MODULE ARRAY AREA - ◯

1. APPOLLO TILE II: 43 MODULES @ 60W/EA = 2,580 W
2. APPOLLO TILE II: 60 MODULES @ 60W/EA = 3,600 W
3. APPOLLO TILE II: 28 MODULES @ 60W/EA = 1,680 W
4. APPOLLO TILE II: 18 MODULES @ 60W/EA = 1,080 W
6. SOLSTICE MODULE: 5 UNITS @ 300W/EA = 1,500 W

TOTAL : 10,440 W
OR : 10.44 KW

BASIS OF DESIGN PV MODULES BY : "CertainTeed" SAINT-GOBAIN

SOLAR PLAN SYMBOLS

3' WIDE FIRE DEPT ACCESS PATHWAY

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management

32221 Azores Rd., Dana Point, CA 92629

949-309-6691

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issued for	rev	date

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drawing title

ROOF PLAN PV MODULES

scale 1/4"=1'-0"

date 10/23/2017

drawing number **PV-1**

ABBREVIATIONS

A.B.	ANCHOR BOLT
ABV.	ABOVE
A/C	AIR CONDITIONING
ACOUS.	ACOUSTICAL
ADJ.	ADJACENT
ADJ.	ADJUSTABLE
ALUM.	ALUMINUM
ALT.	ALTERNATE
AMP.	AMPERAGE
AVG.	AVERAGE
BD.	BOARD
BLDG.	BUILDING
BLK'G.	BLOCKING
BLT-IN	BUILT-IN
BM.	BEAM
B.N.	BOUNDARY NAILING
BRG.	BEARING
B.S.	BAR SINK
CABT.	CABINET
CALC.	CALCULATIONS
C.H.C.	CEILING HEIGHT CHANGE
C.I.	CAST IRON
C.I.P.	CAST-IN-PLACE
C.J.	CEILING JOIST
CLG.	CEILING
C.L.	CENTER LINE
CLR.	CLEAR
CNTR.	CENTER, COUNTER
CNTRTP.	COUNTER TOP
C.O.	CASED OPENING
CONC.	CONCRETE
CONTS.	CONTINUOUS
CPT.	CARPET
C.R.	CURTAIN ROD
CSMT	CASEMENT
C.T.	CERAMIC TILE
CULT.	CULTURED
D.	DRYER
DBL.	DOUBLE
D.F.	DOUGLAS FIR
DIA or Ø	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DISP.	DISPOSAL
DP.	DEEP
DR.	DOOR
DRP.	DROP
D.S.	DOWNSPOUT
DTL.	DETAIL
D.W.	DISHWASHER
DWG.	DRAWING
DWR.	DRAWER
(E)	EXISTING
EA.	EACH
ELECT.	ELECTRICAL
ELEV.	ELEVATION
E.N.	EDGE NAILING
EQ.	EQUAL
EXH.	EXHAUST
EXT.	EXTERIOR
EXIST.	EXISTING
E.W.	EACH WAY
FAU	FORCED AIR UNIT
F.D.	FLOOR DRAIN
F.G.	FIXED GLASS
F.G.	FINISHED GRADE
FIN.	FINISH
FIN FLR.	FINISH FLOOR
F.J.	FLOOR JOIST
FL.	FLUSH
FLUOR.	FLUORESCENT
F.M.C.	FLOOR MATERIAL CHANGE
F.N.	FIELD NAILING
FND.	FOUNDATION
F.O.	FACE OF, FINISHED OPENING
F.O.C.	FACE OF CONCRETE CURB
F.O.H.C.	FREE OF HEART CENTER
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUDS
FRDR.	FRENCH DOOR
F.R.P.	FIBERGLASS REINF. POLYESTER
FTG.	FOOTING
GA.	GAUGE
GALV.	GALVANIZED
G.D.	GARBAGE DISPOSAL
G.D.O.	GARBAGE DOOR OPERATOR
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER
G.I.	GALVANIZED IRON
GL.	GLASS
GRD.	GRADE
GRND.	GROUND
GYP.	GYPSUM
GYP BD.	GYPSUM BOARD
GLB.	GLUED LAMINATED BEAM
G.T.	GIRDER TRUSS
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
H.D.	HOLD DOWN ANCHOR
HDR.	HEADER
HDW.	HARDWARE
HGT.	HEIGHT
HNGR.	HANGER
HTR.	HEATER
INSUL.	INSULATION
INT.	INTERIOR
JAL.	JALOUSIE
L.	LAVATORY
LAM.	LAMINATED
LAMPLAS.	LAMINATED PLASTIC
L.F.	LINEAR FEET/FOOT
L.L.	LOG LIGHTER
L.T.	LAUNDRY TRAY
LUM.	LUMINOUS
LVR.	LOUVER
MAR.	MARBLE
MAS.	MASONRY
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MBA	MONARCH BAY ASSOCIATION
M.C.	MEDICINE CABINET
MFR.	MANUFACTURER
MIN.	MINIMUM
MIR.	MIRROR
M-L.	MICRO LAM
M.O.	MASONRY OPENING
MTD.	MOUNTED
MTL.	METAL
(N)	NEW
N.G.	NATURAL GRADE
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O/	OVER
O.A.	OVERALL
OBS.	OBSCURE
OC or O/C	ON CENTER
O.H.	OVERHEAD
OPG.	OPENING
OSA.	OUTSIDE AIR
O.S.B.	ORIENTED STRAND BOARD
P.B.	PUSH BUTTON
P.C.	PORTLAND CEMENT
P.C.	PULL CHAIN
PCE.	PIECE
PH.	PHONE
PLT.	PLATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PNLG.	PANELING
POL.	POLISHED
PPG.	POLISHED PLATE GLASS
PR.	PAIR
PRE-FAB	PRE-FABRICATED
PSF.	POUNDS/SQUARE FOOT
PSI	POUNDS/SQUARE INCH
P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
PVC	POLY VINYL CHLORIDE
R.	RISER
RAD.	RADIAL/RADIUS
R.A.G.	RETURN AIR GRILLE
RECPT.	RECEPTACLE
REF.	REFRIGERATOR
REFER.	REFERENCE
REINF.	REINFORCING
RE/S	RE-SAWN
REQ'D	REQUIRED
REV.	REVERSE
REV.	REVISION/REVISE
RJ.	ROOF JOIST
RM	ROOM
RO.	ROUGH
RO-IN	ROUGH-IN
R.O.	ROUGH OPENING
R.R.	ROOF RAFTER
RWD.	REDWOOD
RO/S	ROUGH SAWN
S.	SINK
S.C.	SOLID CORE
SCH.	SCHEDULE
SCRND.	SCREENED
SEC.	SECOND
SECT.	SECTION
S.F.	SQUARE FOOT
SEL.	SELECT
SEL.STR.	SELECT STRUCTURAL
SER.	SERVICE
S.H.	SINGLE HUNG
SHT.	SHEET
SHTHG.	SHEATHING
SHWR.	SHOWER
SL.	SLIDING
SPL.	SPLASH
SPN.	SILL PLATE NAILING
S&P	SHELF & POLE
S.S.	SERVICE SINK
SST	STAINLESS STEEL
STD.	STANDARD
S.V.	SHEET VINYL
STRUCT.	STRUCTURAL
SW.	SWITCH
T.	TREAD
T&B	TOP & BOTTOM
T.C.	TRASH COMPACTOR
TEMP.GL.	TEMPERED GLASS
T&G	TONGUE & GROOVE
TJ	TRUSS JOIST
TM.C.	TIME CLOCK
T.O.C.	TOP OF CURB
T.O.M.	TOP OF MASONRY
T.O.P.	TOP OF PARAPET
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TV	TELEVISION
U.	URINAL
UNFIN.	UNFINISHED
U.N.O.	UNLESS NOTED OTHERWISE
VAN.	VANITY
VEN.	VENEER
VERT.	VERTICAL
V.G.	VERTICAL GRAIN
V.B.	VAPOR BARRIER
V.P.	VAPORPROOF
W.	WASHER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
WDW.	WINDOW
W.H.	WATER HEATER
W.I.C.	WALK-IN CLOSET
W/O	WITHOUT
W.P.	WEATHER PROOF
W.P.	WORK POINT
W/R	WARDROBE
WT.	WEIGHT

PROJECT INFORMATION

LEGAL DESCRIPTION

TRACK 3839 LOT 36
ASSESOR PARCEL NO. : 670-131-34

BUILDING ADDRESS

48 MONARCH BAY DR, DANA POINT CA 92629

OWNER

TRACY & VALERIE PRICE
48 MONARCH BAY DR, DANA POINT, CA 92629
949-939-7320

PROJECT TEAM:

ARCHITECTURAL DESIGN:

URSULA CRUPI ASSOC. AIA / 949-309-6691
JERRY M. ROZYCKI R.A. / 530-413-1083

BUILDING CODE DATA LEGEND:

SINGLE FAMILY RESIDENCE
NUMBER OF STORIES: 1
SPRINKLERS: THE EXISTING BUILDING IS NOT PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM AUTOMATIC SPRINKLER SYSTEM IS REQUIRED.
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
YEAR BUILT: 1972

PROJECT SHALL COMPLY WITH 2016 CRC, CMC, CPC, CEC, CGBSC, CEES, AND THE CITY OF DANA POINT LOCAL ORDINANCES

EXISTING FLOOR AREA:

- HABITABLE :	3,243 S.F.
- GARAGE :	647 S.F.
BLDG. TOTAL:	3,890 S.F.

ADDITIONS AREA:

- HABITABLE :	888 S.F.
- ENTRY PORCH :	63 S.F.

NEW BUILDING AREA:

- HABITABLE :	4,131 S.F.
- GARAGE :	647 S.F.
BLDG. TOTAL:	4,778 S.F.

BEDROOMS:

- (E) BEDROOMS :	3
- (E) OFFICE/BEDROOM :	1
- (N) BEDROOMS :	1
TOTAL :	5

BATHROOMS:

- (E) BATHROOMS :	3
- (N) BATHROOMS :	1
TOTAL :	4

SITE INFORMATION

ZONING : R6F 4
LOT AREA : 11,500 S.F.

LOT COVERAGE - EXISTING:
3,890 S.F. / 11,500 S.F. = 34%

LOT COVERAGE - PROPOSED:
4,778 S.F. / 11,500 S.F. = 41.54% (45% MAX.)

LANDSCAPE COVERAGE - PROPOSED:
4,890 S.F. / 11,500 S.F. = 42.52% (25% MIN.)

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SHT. NO	DESCRIPTION
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	TOPOGRAPHIC MAP
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	LANDSCAPE
L-8	PLANTING PLAN

SUBMITTAL REQUIREMENTS:

a. PLANNING FINAL REQUIRED.
b. SETBACK CERTIFICATION REQUIRED.
c. BUILDING HEIGHT CERTIFICATION REQUIRED.

SCOPE

1. ADDTION OF 888 SQ. FT. TO EXISTING RESIDENCE.
2. EXTERIOR AND INTERIOR REMODEL OF EXISTING RESIDENCE.
3. REMOVAL OF OLD ROOF AND RE-STRUCTURE OF NEW ROOF TO ALLOWABLE MAX. 13 FEET ABOVE FINISHED GRADE.
4. REMOVAL OF OLD AND CONSTRUCTION OF NEW SWIMMING POOL WITH SPA.
5. CONSTRUCTION OF POOL EQUIPMENT ENCLOSURE WITH NEW POOL EQUIPMENT.
6. REMOVAL OF OLD AND INSTALLATION OF NEW LANDSCAPE.
7. BUILD MISCELLANEOUS HARDSCAPE ITEMS: OUTDOOR FIREPLACE, BBQ, 2 DECKS, FIREPIT WITH BENCH AND ISLAND.
8. UPGRADE (E) 200 AMP PANEL TO NEW 400 AMP ELECTRICAL PANEL.

PRICE RESIDENCE

REMODEL AND ADDITION

PRICE RESIDENCE

48 Monarch Bay Dr. Dana Point, CA 92629

CRUPI CONSTRUCTION INC.

construction - design - management
32221 Azores Rd., Dana Point, CA 92629
949-309-6691

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issued for	rev	date

seals and signatures

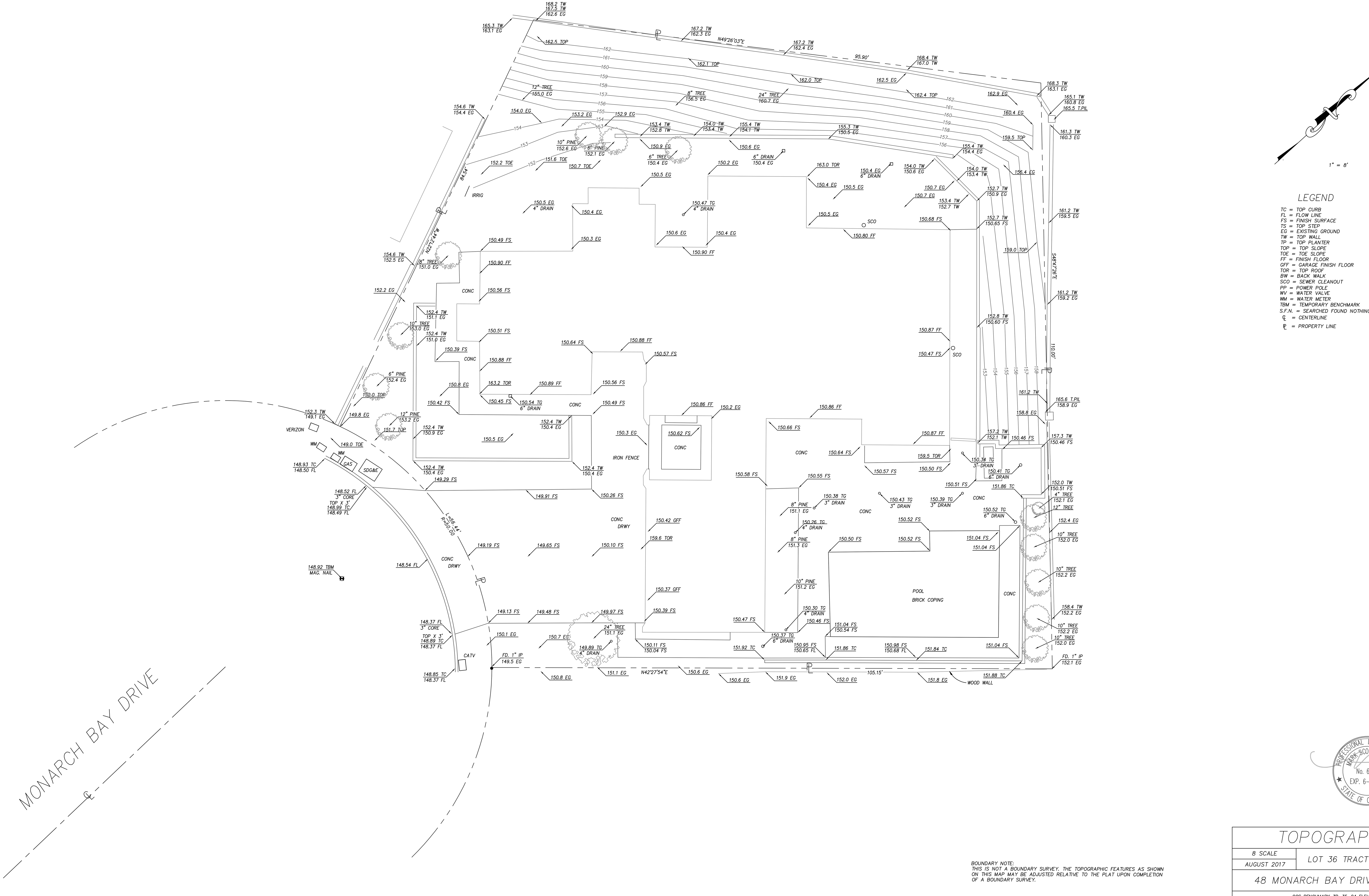
drawing title

TITLE SHEET

scale NONE

date 10/23/2017

drawing number **T-1**



LEGEND

TC = TOP CURB
FL = FLOW LINE
FS = FINISH SURFACE
TS = TOP STEP
EG = EXISTING GROUND
TW = TOP WALL
TP = TOP PLANTER
TOP = TOP SLOPE
TOE = TOE SLOPE
FF = FINISH FLOOR
GFF = GARAGE FINISH FLOOR
TOR = TOP ROOF
BW = BACK WALK
SCO = SEWER CLEANOUT
PP = POWER POLE
WV = WATER VALVE
WM = WATER METER
TBM = TEMPORARY BENCHMARK
S.F.N. = SEARCHED FOUND NOTHING
℄ = CENTERLINE
P = PROPERTY LINE

BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAT UPON COMPLETION OF A BOUNDARY SURVEY.

PROFESSIONAL LAND SURVEYOR
MARK SCOTT PUBLIC
No. 6902
EXP. 6-30-19
STATE OF CALIFORNIA

TOPOGRAPHIC MAP

8 SCALE	LOT 36 TRACT NO. 3839
AUGUST 2017	

48 MONARCH BAY DRIVE DANA POINT CA.

OCS BENCHMARK 3P-35-04 ELEV= 157.955 NAVD88 DATUM

SOUTH COAST SURVEYING 3214 CLAY ST. NEWPORT BEACH CA. (949)631-8840

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