

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:       OCTOBER 9, 2017**

**TO:         DANA POINT PLANNING COMMISSION**

**FROM:       COMMUNITY DEVELOPMENT DEPARTMENT  
              URSULA LUNA-REYNOSA, DIRECTOR  
              BELINDA DEINES, SENIOR PLANNER**

**SUBJECT:    COASTAL DEVELOPMENT PERMIT CDP17-0012 TO DEMOLISH AN  
              EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW  
              3,729 SQUARE-FOOT SINGLE-FAMILY DWELLING IN THE  
              RESIDENTIAL SINGLE FAMILY (RSF 4) ZONING DISTRICT AT 32611  
              SEA ISLAND DRIVE**

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**RECOMMENDATION:**     That the Planning Commission adopt the attached resolution  
                                  approving Coastal Development Permit CDP17-0012.

**APPLICANT:**           Tabby and Karim Abdollah, Property Owners

**REPRESENTATIVE:**     Carol Tink-Fox, Architect

**REQUEST:**            Approval of a Coastal Development Permit to allow demolition  
                                  of an existing single-family dwelling and construction of a new  
                                  single-family dwelling and attached three-car garage located  
                                  within the City's Coastal Overlay District (the California  
                                  Coastal Zone). The property is not located within the Appeals  
                                  Jurisdiction of the California Coastal Commission.

**LOCATION:**            32611 Sea Island Drive (APN 670-052-06)

**NOTICE:**             Notices of the Public Hearing were mailed to property owners  
                                  within a 500-foot radius and occupants within a 100-foot  
                                  radius on September 20, 2017, published within a newspaper  
                                  of general circulation on September 20, 2017, and posted on  
                                  September 20, 2017 at Dana Point City Hall, the Dana Point  
                                  and Capistrano Beach Branch Post Offices, as well as the  
                                  Dana Point Library.

**ENVIRONMENTAL:**     Pursuant to the California Environmental Quality Act (CEQA),  
                                  the project is found to be Categorically Exempt per Section  
                                  15303(a) (Class 3 – New Construction) in that the project  
                                  involves construction of one single-family dwelling in a  
                                  residential zone.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The project site is a 24,580 square-foot lot located within Monarch Bay Terrace, a built-out neighborhood of single-family residences (Supporting Document 2). Currently, the site is improved with an existing one-story, 2,660 square-foot single family residence and two-car garage, which are proposed to be demolished. The property is considered a through lot with frontage along Sea Island Drive and Caribbean Drive. The existing building pad is relatively flat along Sea Island Drive, and the rear half of the lot contains a steep slope with natural vegetation.

The property is zoned "Residential Single-Family 4" (RSF 4) and is located within the City's Coastal Overlay District (the California Coastal Zone). The subject site is located outside the Appeals Jurisdiction of the California Coastal Commission. Therefore, pursuant to DPZC Section 9.69.030(a), the Director of Community Development has the authority to administratively approve coastal development permits for individual single-family residences which are not located within the appeals area of the Coastal Overlay District.

On September 11, 2017, the Director of Community Development conducted a duly noticed public hearing and approved Administrative Coastal Development Permit CDP17-0012(A) for the proposed project. Pursuant to Dana Point Municipal Code Section 9.69.110 the permit does not become final and effective until first reported out to the Planning Commission. In response to the timely filing of an appeal prior to the Administrative Coastal Development Permit reporting to the Commission, the Director of Community Development is recommending that the Commission consider the project as a regular Coastal Development Permit and conduct a new (de novo) hearing.

**DISCUSSION:** The proposed scope of work includes demolition of the existing residence, and construction of a new one-story, 3,729 square-foot single-family residence and attached three-car garage. The total program consists of five bedrooms, five-and-a-half bathrooms, and an open concept kitchen, dining and living area. The existing pool, spa, and natural slope along the rear of the property will remain as-is.

Additional development standards for this property are set forth in the City's Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RSF-4 zone.

Table 1 summarizes applicable RSF-4 zoning designation development standards and the project's conformance with those requirements:

**Table 1: Compliance with RSF-4 Development Standards**

<b>Development Standard</b>	<b>Requirement</b>	<b>Proposed</b>	<b>Compliant with Standard</b>
Front Setback (Sea Island Drive)	20 feet minimum	20'-8"	Yes
Side Setbacks	5 feet minimum	9'-0"; 5'-3"	Yes
Front Setback (Caribbean Drive)	25 feet minimum	92'-7"	Yes
Height	24 feet maximum Less than 3:12 roof pitch 2 stories	14'-5/32" 0.25:12 roof pitch 1 story	Yes
Lot Coverage	45% maximum	19%	Yes
Landscape Coverage	25% minimum	25.6%	Yes
Parking Required	2 garage parking spaces minimum for five bedrooms	3 garage parking spaces	Yes

The neighborhood consists of single-story ranch-style homes that were originally built in the mid-1960s. Some homes have been renovated or reconstructed over the years, resulting in varied architectural styles throughout the area. The existing structure was built in 1965 and has not been identified as a historic resource. The proposed one-story design features sloped roof forms and variable exterior finishes which add interest and articulation which are compatible with neighboring properties. The proposed structure is proposed as a soft contemporary style with standing seam metal roofing, stone veneer, smooth stucco, and horizontal cement siding. New landscaping will be subject to compliance with DPZC Chapter 9.55 for Water Efficiency Landscape Requirements.

Staff has identified the following response to concerns raised by the neighbor as documented in written correspondence (Supporting Document 5):

- *Private Views* – the City's Zoning Code does not enforce protection of private views;
- *Landscape Area* – the project meets the minimum standards for landscape area as required in the City's Zoning Code;
- *Slope Stability* – prior to building permit issuance, the applicant is required to provide a geotechnical report, which will be reviewed and approved by City staff; and
- *Biological Impacts* – the rear slope of the property has not been identified as an environmentally sensitive area with high value habitat.

The project complies with all applicable development standards, including setbacks, parking, lot coverage, and height limits. No deviations are requested. The proposed project has been evaluated for general design compatibility and enhancement in compliance with DPZC Section 9.05.130.

Coastal Development Permit CDP17-0012

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, demolition and construction of a single-family residence on land located in the City's Coastal Overlay District requires approval of a Coastal Development Permit (CDP).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Recommended approval findings are set forth in the attached draft Resolution (Attachment 1).

**CORRESPONDENCE:** On May 25, 2017, the project received approval from the Monarch Bay Terrace Property Owners Association. The adjacent neighbor has filed an appeal letter expressing concerns related to private views, landscape area, slope stability, and biological impacts (Supporting Document 5).

**CONCLUSION:** Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance, and Local Coastal Program. As the project has been found to comply with all standards of development and City's design guidelines staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 17-0012 subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 17-10-09-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Architectural Plans
5. Written Correspondence

## **RESOLUTION NO. 17-10-09-XX**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP17-0012 TO DEMOLISH AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW SINGLE-FAMILY DWELLING LOCATED WITHIN THE RESIDENTIAL SINGLE FAMILY 4 (RSF-4) ZONE LOCATED AT 32611 SEA ISLAND DRIVE.**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Carol Tink-Fox, Architect, (the "Representative") has filed an application on behalf of Tabby and Karim Abdollah ("Applicant"), the owners of real property commonly referred to as 32611 Sea Island Drive (APN 670-052-06) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit to allow demolition of an existing single-family dwelling and construction of a new single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures); and

WHEREAS, the Planning Commission did, on the 9<sup>th</sup> day of October, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP17-0012.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP17-0012 subject to the following conditions of approval:

#### Findings:

Coastal Development Permit CDP17-0012

## ACTION DOCUMENT #1

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within an existing community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that it proposes the construction of one new single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**
5. That the project minimizes the alteration of natural landforms and will not

result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established area of residential uses with little disturbance of existing natural landforms proposed and; in that the proposed development will be constructed in conformance with applicable regulations for geological and erosional forces, flood, and fire, minimizing undue risks from these or other hazards.**

6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property).** There are no adopted specific plans that apply to the subject property.

Conditions:

General:

1. Approval of this application permits demolition of all existing site improvements and the construction of a new 3,729 square-foot single-family dwelling at 32611 Sea Island Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
1. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this



action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The project shall meet all water quality requirements.
7. A grading permit shall be obtained prior to any work including demolition activities.
8. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.
9. The Applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
10. The Applicant, Applicant's agent(s), or successor-in-interest, shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

**Prior to Issuance of a Grading Permit:**

11. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
12. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
13. The applicant shall submit a Hydrology and Hydraulic Study for the proposed sump pump. All drainage from the proposed pump shall be directed towards the street, through a dissipation system prior to outlet.
14. The applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

15. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
16. A performance bond shall be required for all grading activities up to 100% of the proposed improvements.
17. The applicant shall submit a separate Site Wall Plan, in compliance with City standards, for review and approval to the Building Division. The plan shall be in accordance with the current Building Division submittal guidelines.

**Prior to Issuance of a Building Permit:**

18. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan.
19. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
20. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
21. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of a grading and drainage plan (and soils report if required) in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
22. The Applicant, or Applicant's agent(s), shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
23. The Applicant, or Applicant's agent(s), shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard

Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.

24. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

**Prior to Final Approval of All Permits:**

25. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
26. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
27. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
28. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
29. All permanent best management practices, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
30. Public Works final approval will be required for all permits.
31. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall

include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 9<sup>th</sup> day of October, 2017 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

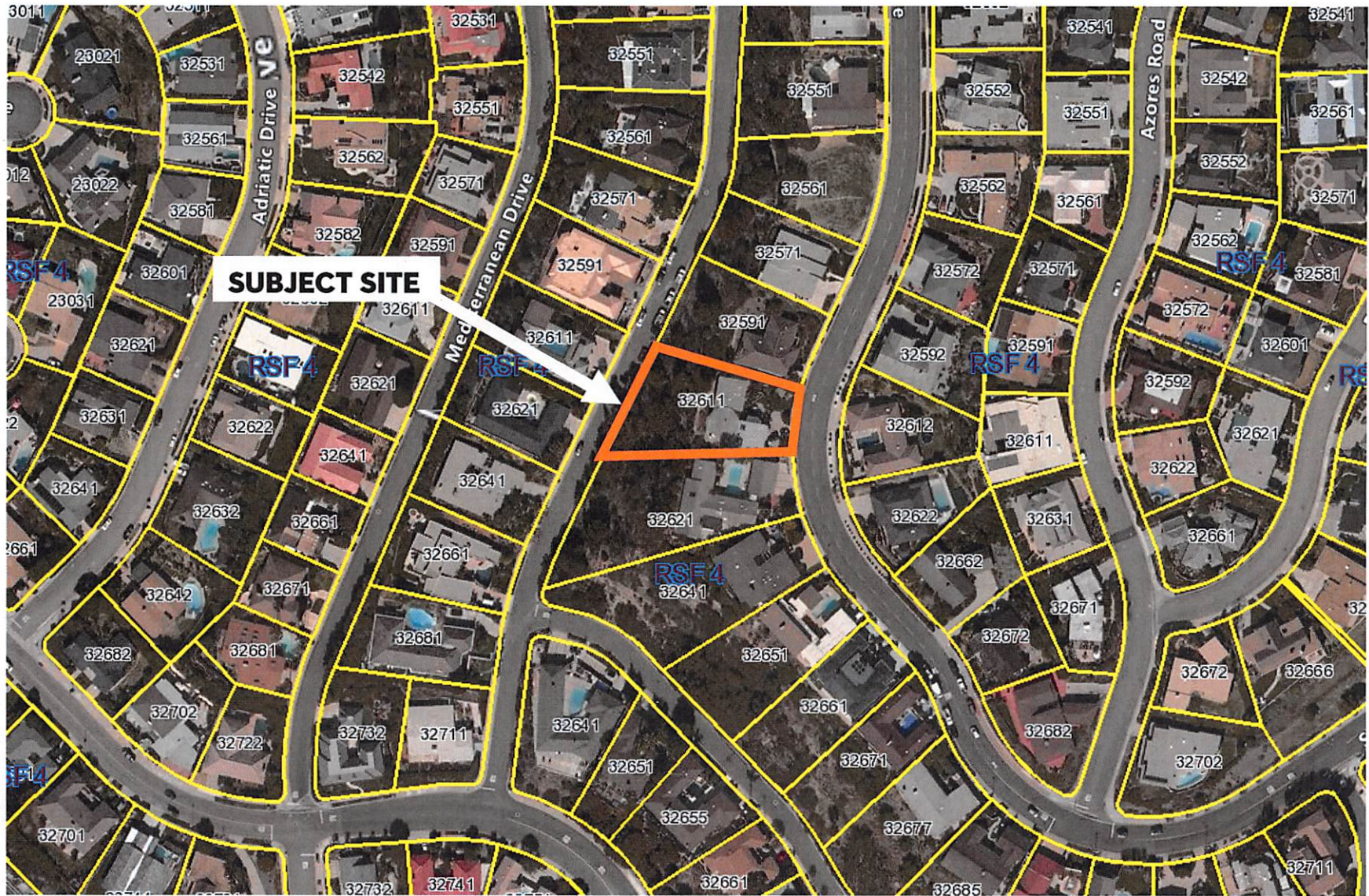
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Scott McKhann, Chairperson  
Planning Commission

ATTEST:

\_\_\_\_\_  
Ursula Luna-Reynosa, Director  
Community Development Department



### VICINITY MAP



## SUPPORTING DOCUMENT #2



Date: June 29, 2017

Job Number: 16-47

**Abdollahi Residence – Photographic Log of Existing Conditions**

32611 Sea Island Drive

Dana Point, CA 92626



#1 Front Elevation of Project Sit -- 32611 Sea Island Drive

## SUPPORTING DOCUMENT #3



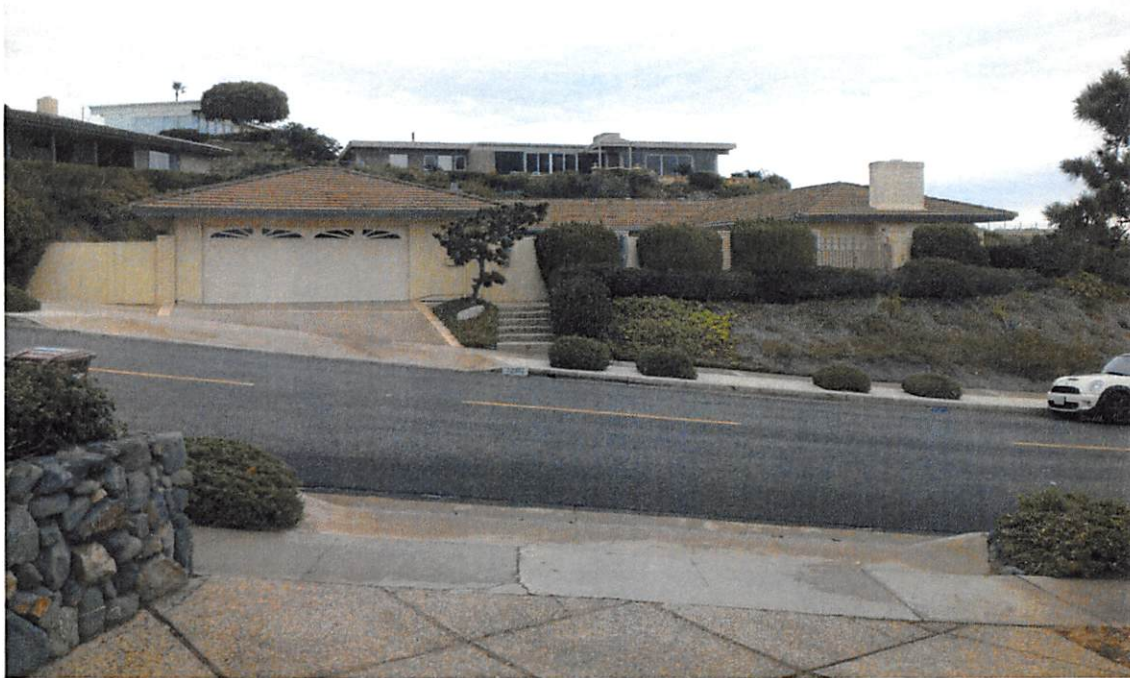


#2 Front Elevation of Left Property adjacent to the Project Site – 32621 Sea Island Drive



#3 Front Elevation of Right Property adjacent to the Project Site – 32591 Sea Island Drive  
(Prior to demolition)





#4 Front Elevation of Property Directly Across the Street from Subject Property – 32612 Sea Island Drive



#5 Front Elevation of Property Directly Across the Street from Subject Property – 32592 Sea Island Drive





#6 Rear Elevation of Project Site – 32611 Sea Island Drive



#6 Side Elevation of Left Property Adjacent to the Subject Property – 32621 Sea Island Drive





#8 Side Elevation of Right Property Adjacent to the Subject Property – 32591 Sea Island Drive  
*(The house that is visible is actually 2 lots up. The house next door has been recently demolished in order to construct a new house.)*





**ABDOLLAHI RESIDENCE**  
 32611 SEA ISLAND DR  
 DANA POINT, CA

**RENDERING**  
 NOT TO SCALE



**RECEIVED**

**OCT 02 2017**

**CITY OF DANA POINT  
 COMMUNITY DEVELOPMENT  
 DEPARTMENT**

**SUPPORTING DOCUMENT #4**





**ABDOLLAHI RESIDENCE**  
32611 SEA ISLAND DR  
DANA POINT, CA

**RENDERING**  
NOT TO SCALE

**STRATOS FORM**  
ARCHITECTS / INTERIORS

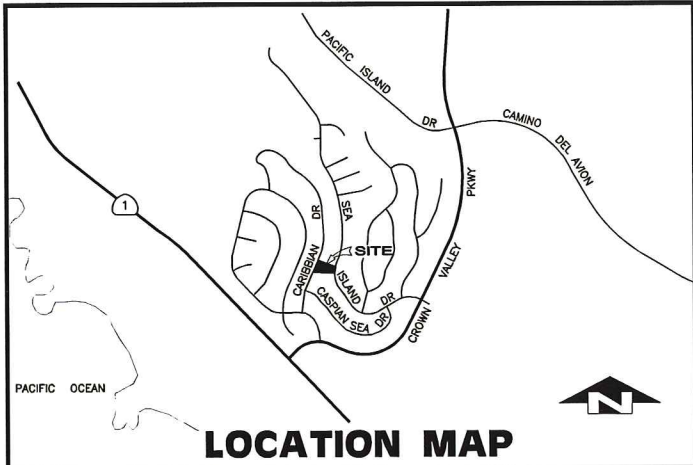
170 HUNTER QUINN STREET  
DANFORTH, ONTARIO M1N 1H1  
TEL: 416-298-8077  
WWW.STRATOSFORM.COM



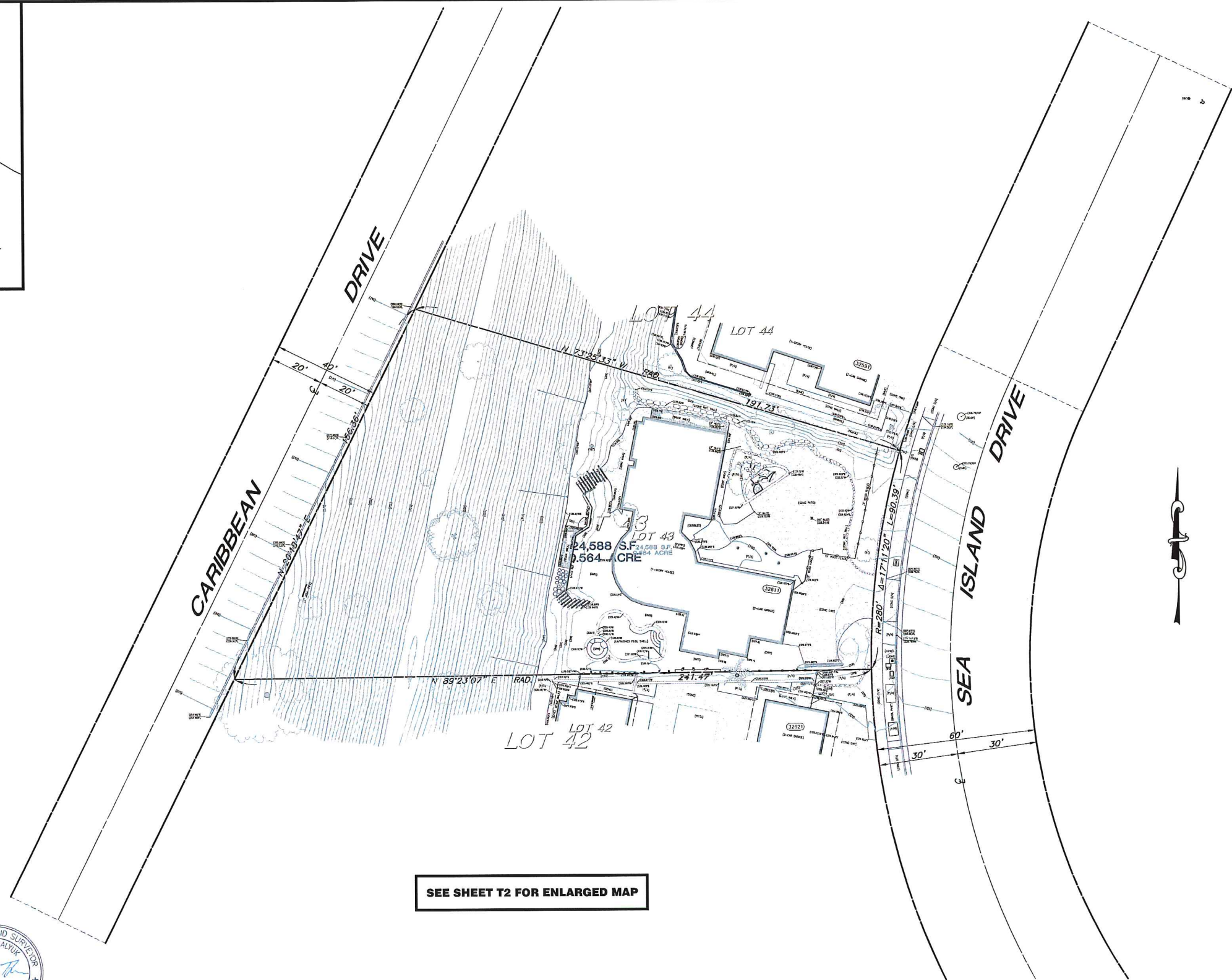
4/21/17



PLOT DATE: 28 SEP 2017



- LEGEND
- A.C. - ASPHALT CONCRETE
  - A.P.W.A. - AMERICAN PUBLIC WORKS ASSOCIATION
  - A.U. - ARCHITECTURAL UNIT
  - B.C. - BEGIN CURVE
  - B.F.S. - BASEMENT FINISH FLOOR ELEVATION
  - B.F.S. - BASEMENT FINISH SURFACE ELEVATION
  - B.M. - BENCH MARK
  - B.O.E. - BOTTOM OF EAVE ELEVATION
  - B.O.F. - BOTTOM OF FOOTING ELEVATION
  - B.O.S. - BOTTOM OF SLOPE ELEVATION
  - B.V.C. - BEGIN VERTICAL CURVE
  - B.S. - BACK OF WALL ELEVATION
  - C.B. - CATCH BASIN
  - C.I.P. - CAST IRON PIPE
  - C.I. - CEMENT LINE
  - C.L.F. - CHAIN LINK FENCE
  - C.R. - CROWN
  - C.O. - CONCRETE
  - C.O.C. - CONCRETE
  - C.O.C. - CONCRETE
  - D.A. - DRIVEWAY APPROACH
  - D.L. - DRAINAGE LINE
  - D.S.C.O. - DOWN SPOUT CLEAN-OUT
  - D.W. - DRAINAGE
  - E.C. - END CURVE
  - E.V.C. - END VERTICAL CURVE
  - E.V. - EXISTING
  - F.F. - FINISH FLOOR ELEVATION
  - F.H. - FIRE HYDRANT
  - F.L. - FINISH ELEVATION
  - F.S. - FINISHED SURFACE ELEVATION
  - F.N. - FOUNDATION
  - G.B. - GRADE BREAK
  - G.F.S. - GARAGE FINISH SURFACE ELEVATION
  - G.M. - GAS METER
  - H.L. - HOUSE LATERAL
  - H.P. - HIGH POINT ELEVATION
  - H.V. - HAZARD ELEVATION
  - I.P. - LOW POINT ELEVATION
  - M.B. - MAIL BOX
  - M.S. - MANHOLE
  - M.D.C. - MIDDLE OF CURVE
  - M.W. - OVERHEAD WIRE(S)
  - P.A. - PLANTER AREA
  - P.B. - PULL BOX
  - P.W. - PARKWAY
  - P.A. - PROPERTY LINE
  - P.A. - POWER POLE
  - P.R.C. - POINT OF REVERSE CURVE
  - P.M.T. - PAVED
  - R.D. - ROAD DRAIN
  - R.L. - RAILROAD LINE
  - R.T. - RIGHT-OF-WAY
  - R.W.M. - RECLAIMED WATER METER
  - S.D.M.H. - STORM DRAIN MANHOLE
  - S.D. - SUB-GRAND ELEVATION
  - S.M.H. - SEWER MANHOLE
  - S.S. - SANITARY SEWER
  - S.T. - STATION
  - S.L.P. - STREET LIGHT PULL BOX
  - S.L. - STREET LIGHT
  - S.W. - SIDEWALK
  - T.A. - TRASH AREA
  - T.B.M. - TOP OF BERM ELEVATION
  - T.C. - TOP OF CURB ELEVATION
  - T.F. - TOP OF FOOTING ELEVATION
  - T.G. - TOP OF GRADE ELEVATION
  - T.O.C. - TOP OF CHIMNEY ELEVATION
  - T.O.S. - TOP OF GLASS ELEVATION
  - T.P. - TOP OF PLASTER ELEVATION
  - T.R.P. - TOP OF ROOF PARAPET ELEVATION
  - T.S. - TOP OF WALL ELEVATION
  - T.V. - TOP OF VERTICAL CURVE
  - V.C. - VERTICAL CURVE
  - V.P. - VERTICAL POINT
  - W.H. - WATER HEATER
  - W.M. - WINDMILL
  - W.M. - WATER METER



SEE SHEET T2 FOR ENLARGED MAP



REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK
				1"=20'	N/A	R.G.	Y.T.	RG Consultants, Inc.	OCS BM "314-45-46"
				ACAD FILE NO.				CIVIL ENGINEERING • SURVEYING	ELEV. = 270.289 FT NAVD83 / 1991 OCS ADJ.
				PROJECT NO.				34 GEORGETOWN	FD. 3-34" OCS BM DISK IN TOP OF A 6" CONIC POST.
					DEC. 15, 2016			IRVINE • CALIFORNIA • 92612	MON IS LOCATED IN CAL. MEDIUM ALONG GROWN VALLEY
					DATE			PHONE (949) 509-0809	PROV. 155 W/11 ALONG THE MEDIUM FROM ITS ELY END
								FAX (949) 509-0801	AT THE BIT OF SEA ISLAND DR. 3' W/11 FROM ELY CURB
									ALONG MEDIUM & 11.7 ELY OF THE W/11 CURB ALONG
									MEDIUM. MON IS SET LEVEL WITH SW.

CITY OF DANA POINT

**TOPOGRAPHIC SURVEY**

**32611 SEA ISLAND DRIVE**

**LOT 43, TRACT 4269, M.M. 155/38-42**

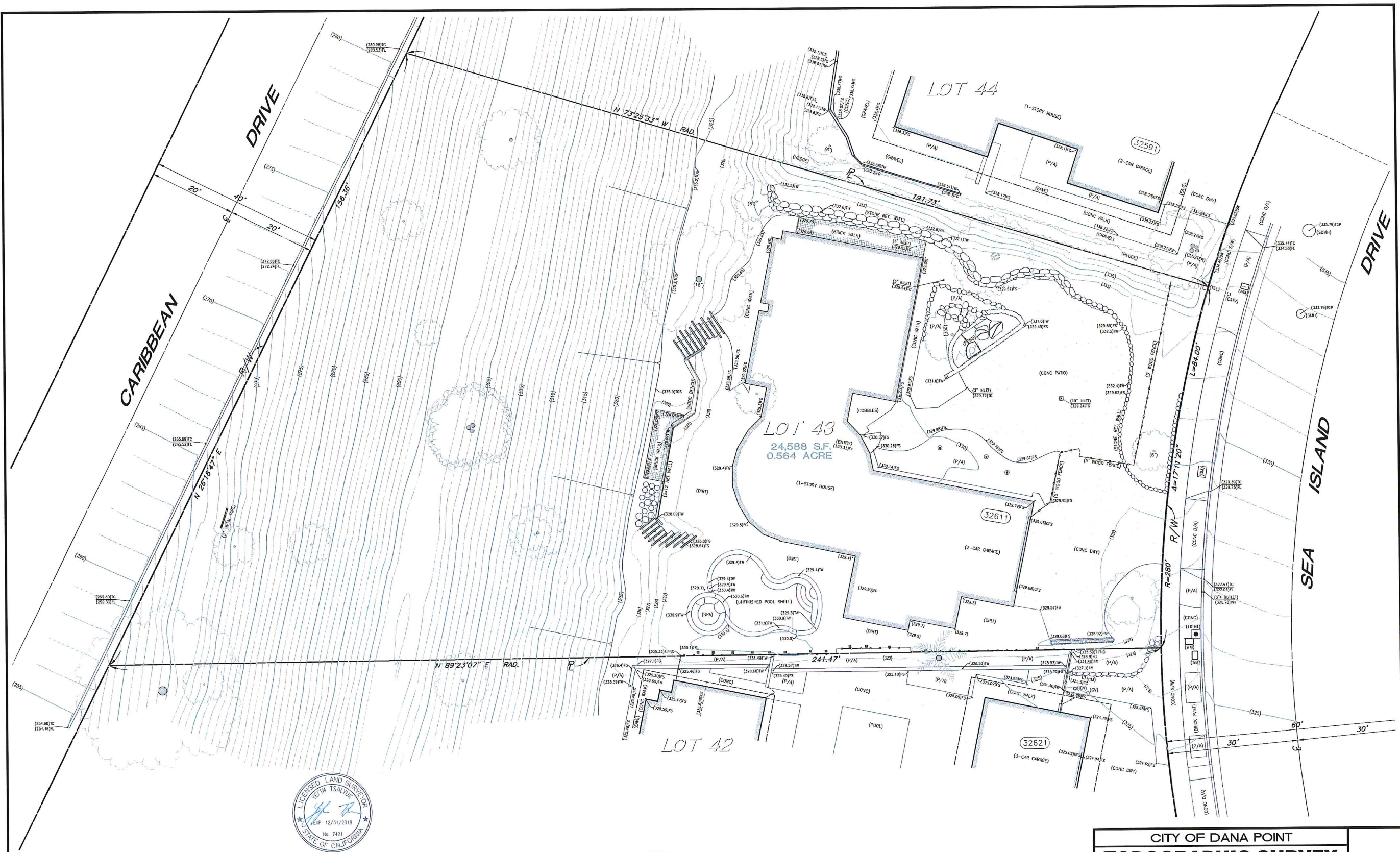
**A.P.N. 670-052-06**

**T1**

LAST UPDATED: DEC. 10, 2016 , PLOT DATE: DEC. 10, 2016 P:\RGA FILES\RGA-JOB\32611\JN16805-Topo-T1.dwg

ORIGINAL SCALE: 1"=20'





REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK
				1"=10'	N/A	R.G.	Y.T.	RG Consultants, Inc.	OCS BM "3U-45-80"
				ACAD FILE NO.				CIVIL ENGINEERING • SURVEYING	ELEV = 270.280 FT NAVD83 / 1991 OCS ADJ.
				PROJECT NO.				34 GEORGETOWN	FD 3-34" OCS BM DISK IN TOP OF 6"X6" CONC POST.
					YEFIM TSALYUK			IRVINE • CALIFORNIA • 92612	MON IS LOCATED IN CAL NEEDAN ALONG GROVING VALLEY
								PHONE (949) 509-0909	PROV 180 WLY ALONG THE NEEDAN FROM ITS ELY END
								FAX (949) 509-0901	AT THE RT OF SEA ISLAND DR. 3' WLY FROM ELY CURB
									ALONG NEEDAN & 112 ELY OF THE WLY CURB ALONG
									MEDIAN. MON IS SET LEVEL WITH SW.

CITY OF DANA POINT

TOPOGRAPHIC SURVEY

32611 SEA ISLAND DRIVE

LOT 43, TRACT 4269, M.M. 155/38-42

A.P.N. 670-052-06

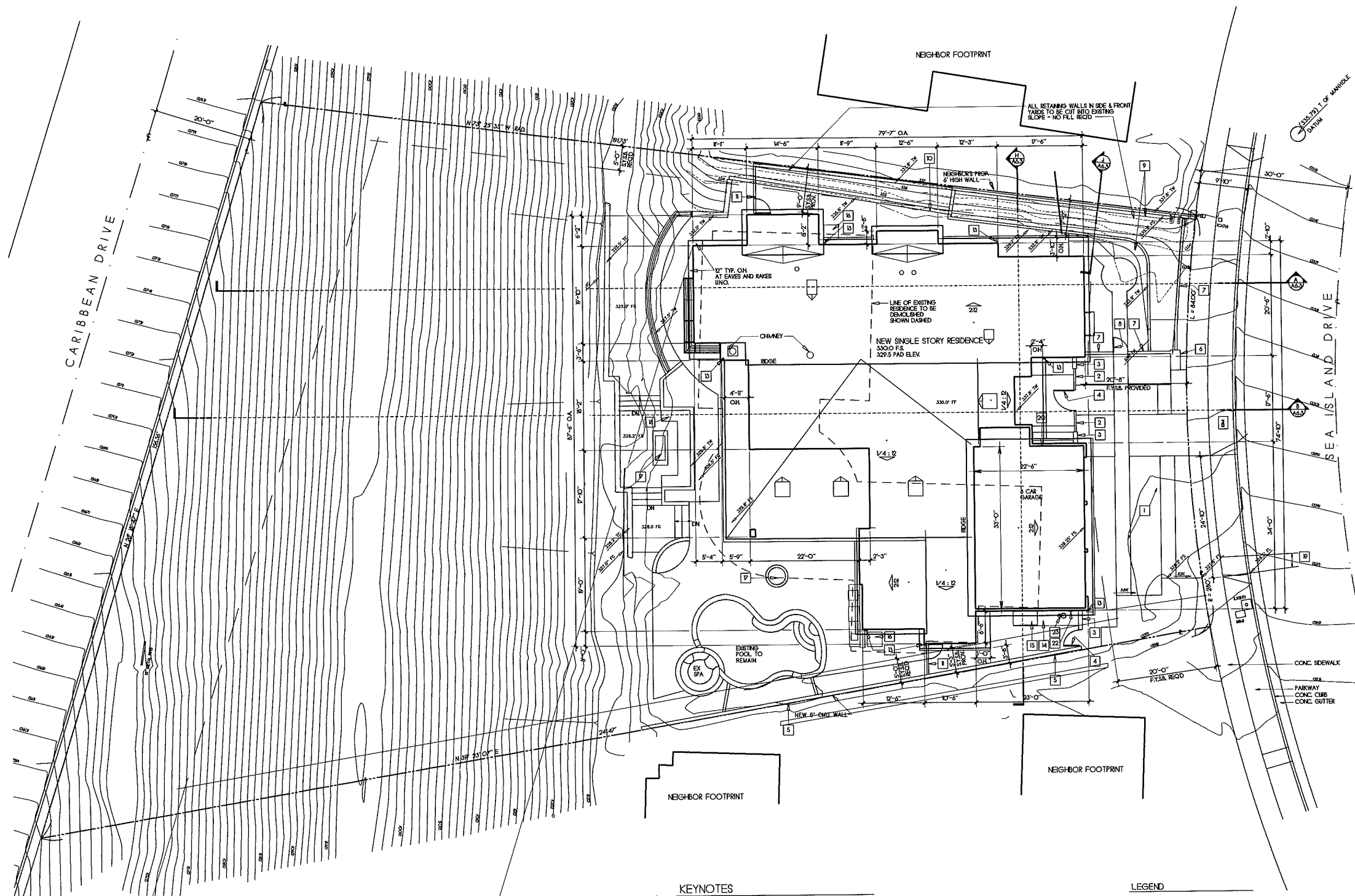
T2

LAST UPDATED: DEC. 10, 2016 • PLOT DATE: DEC. 10, 2016 P:\RCA FILES\RCA-JOB\5\2016\JN1605-Topo-12.dwg

ORIGINAL SCALE: 6" = 1" INCHES 2' 1" 3' 4'



PLOT DATE: 14 SEP 2017



KEYNOTES

- 1 CONCRETE DRIVEWAY - SEE GRADING PLAN
- 2 6 FT. HIGH WOOD & GLASS FENCE - SEE ELEV. SHT A51
- 3 6 FT. CMU WALL WITH STONE CLADDING - SEE ELEV. SHT A51
- 4 6 FT. HIGH WOOD & GLASS GATE - SEE ELEV. SHT A51
- 5 6 FT. HIGH CMU WALL - PLASTERED
- 6 48" HIGH CMU COLUMN WITH STONE CLADDING LIGHT FIXTURE AND ADDRESS NUMBERS
- 7 42" HIGH CMU WALL - PLASTERED
- 8 42" HIGH WOOD GATE
- 9 30" HIGH CMU RETAINING WALL - PLASTERED SEE GRADING PLAN
- 10 5 FT. HIGH CMU RETAINING WALL - PLASTERED
- 11 6 FT. HIGH WOOD FENCE & GATE POOL BARRIER
- 12 6 FT. HIGH TUBULAR STEEL FENCE POOL BARRIER
- 13 DOWNPOUT - TIE TO UNDERGROUND DRAINAGE SYSTEM - SEE GRADING PLAN
- 14 POOL EQUIP. - BY OTHERS
- 15 TRASH AREA
- 16 AIR CONDITIONING UNIT CONTRACTOR TO PROVIDE SOUND TEST DATA
- 17 GAS FIRE PIT - SEE LANDSCAPE PLANS
- 18 BUILT-IN BENCH - SEE LANDSCAPE PLANS
- 19 WIDEN DRIVE APRON
- 20 WATER WALL - SEE ELEV. SHT A52
- 21 30" HIGH CMU RETAINING WALL - PLASTERED SEE GRADING PLAN
- 22 ELEC METER - 200 AMP'S VERIFY LOCATION WITH UTILITY COMPANY
- 23 GAS METER VERIFY LOCATION WITH UTILITY COMPANY
- 24 6' HIGH WROUGHT IRON FENCE HELD TO A POINT ON THE SLOPE TO ALLOW THE TOP OF THE FENCE ELEV. TO BE 325'

LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- N3 NATURAL GRADE
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SURFACE
- TS TOP OF SLOPE
- TC TOP OF CURB
- TG TOP OF GATE
- TP TOP OF POLE
- TW TOP OF WALL
- TOE TOP OF SLOPE
- TF TOP OF FENCE
- LP TOP OF GUTTER
- BW BACK OF WALK
- BM BENCHMARK
- TBM TEMPORARY BENCHMARK
- EXISTING CONTOUR TO BE REMOVED



SITE PLAN  
SCALE: 3/32" = 1'-0"

**STRATOS FORM**

**ARCHITECTURE / INTERIORS**

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ORANGE, CALIFORNIA 92666  
TEL: 714 628-0777  
FAX: 714 628-0797

NICK FOX, ARCHITECT  
CAROL TINK-FOX, ARCHITECT

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A NEW RESIDENCE FOR:  
**KARIM & TABBY ABDOLLAHI**  
3261 SEA ISLAND DRIVE  
DANA POINT, CA 92629

PROFESSIONAL SEAL

SITE PLAN

FILE NAME: 14-47\_Site

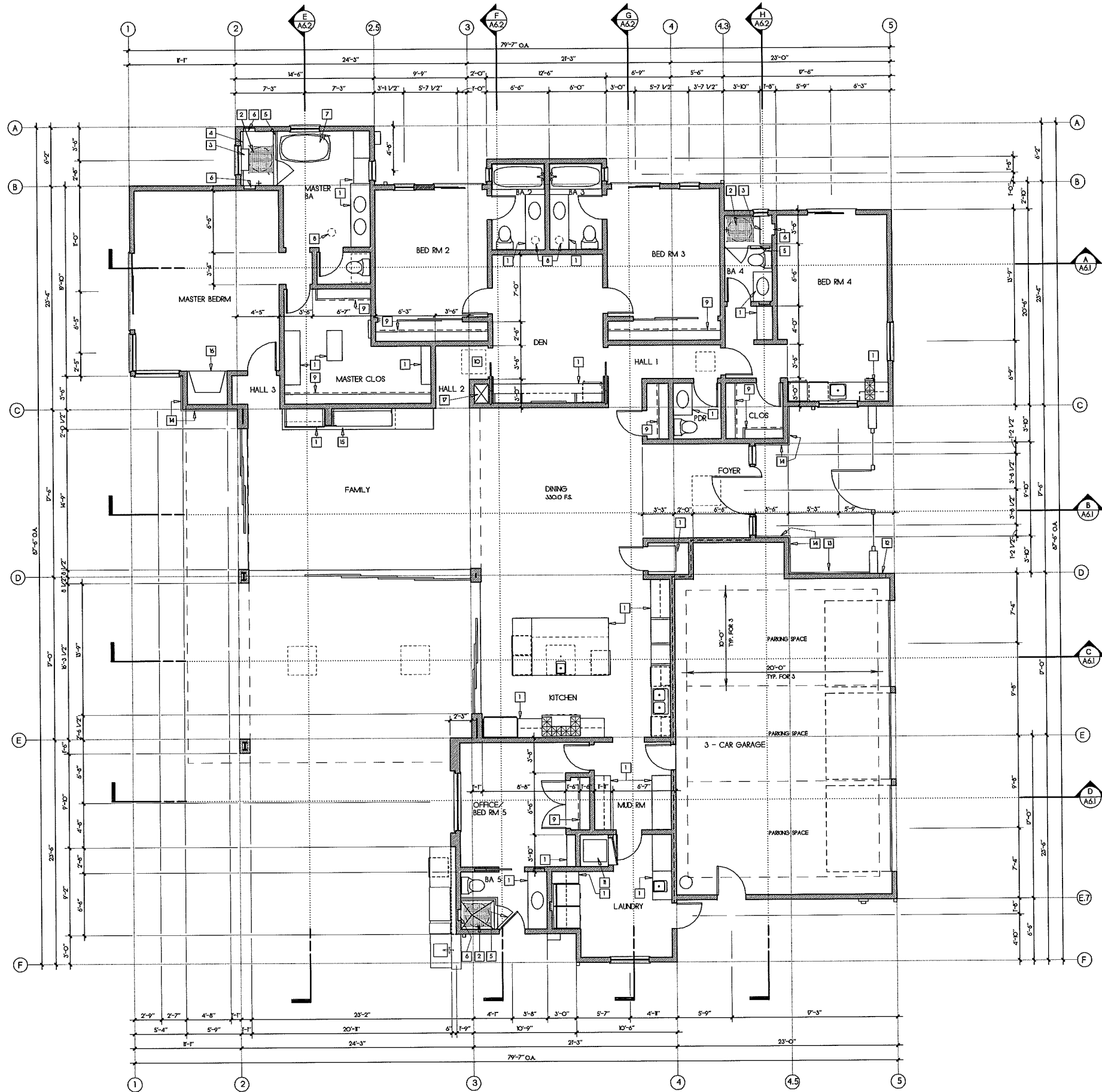
MILESTONES

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SHEET

**A1**



# KEYNOTES

- 1. MULT-IN CABINETS
- 2. NET SHOWER AREA NOT LESS THAN 1024 SQ. IN WITH A MIN DIAMETER CIRCLE OF 30"
- 3. TILED SEAT
- 4. LINEAR DRAIN
- 5. 1/2" THICK TEMPERED GLASS SHOWER ENCLOSURE
- 6. SHAMPOO NICHE
- 7. FREESTANDING BATH TUB
- 8. VELUX SUN TUNNEL - SEE SPECIFICATIONS
- 9. SHELF AND POLE
- 10. ATTIC ACCESS PANEL 30" X 30"
- 11. 18" HIGH PLATFORM UNDER FAU FOR RETURN AIR PLenum
- 12. MAIL SLOT THROUGH WALL
- 13. STONE FOUNTAIN W/PUMP IN GARAGE
- 14. STONE CLADDING - SEE SPECIFICATIONS
- 15. FIREPLACE 1 - SEE SPECIFICATIONS
- 16. FIREPLACE 2 - SEE SPECIFICATIONS
- 17. DUCT CHASE TO LOW RETURN AIR

# WALL LEGEND

- 2 x 6 STUDS @ 16" O.C.
- FIRE-RATED DWELLING/GARAGE SEPARATION
  - 2 x 6 WOOD STUDS AT 16" O.C. WITH ONE LAYER OF 5/8" TYPE 'X' GYPSUM DRYWALL ON GARAGE SIDE, APPLIED VERTICALLY OR AT RIGHT ANGLES TO STUDS ATTACH WITH 40 COUSERS OR WALLBOARD NAILS AT 7" O.C. EDGES AND INTERMEDIATE STUDS ARE TYPED ALL EDGES
  - ONE LAYER OF 1/2" GYPSUM DRYWALL ON THE DWELLING SIDE
- NON-COMBUSTIBLE STUDS (AT FIREPLACE)
  - 3 1/2" X 20 GA METAL STUDS AT 16" O.C.
- CMU BLOCK WALL - SEE STRUCTURAL DRAWINGS



# FLOOR PLAN

SCALE: 3/16" = 1'-0"



# STRATOS FORM



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RICK FOX, ARCHITECT  
CAROL TINKER, ARCHITECT

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A NEW RESIDENCE FOR:  
**KARIM & TABBY ABDOLLAHI**

32611 SEA ISLAND DRIVE  
DANA POINT, CA 92629

PROFESSIONAL SEAL

FLOOR PLAN

FILE NAME: W-47\_FLOOR

WILESTONE:

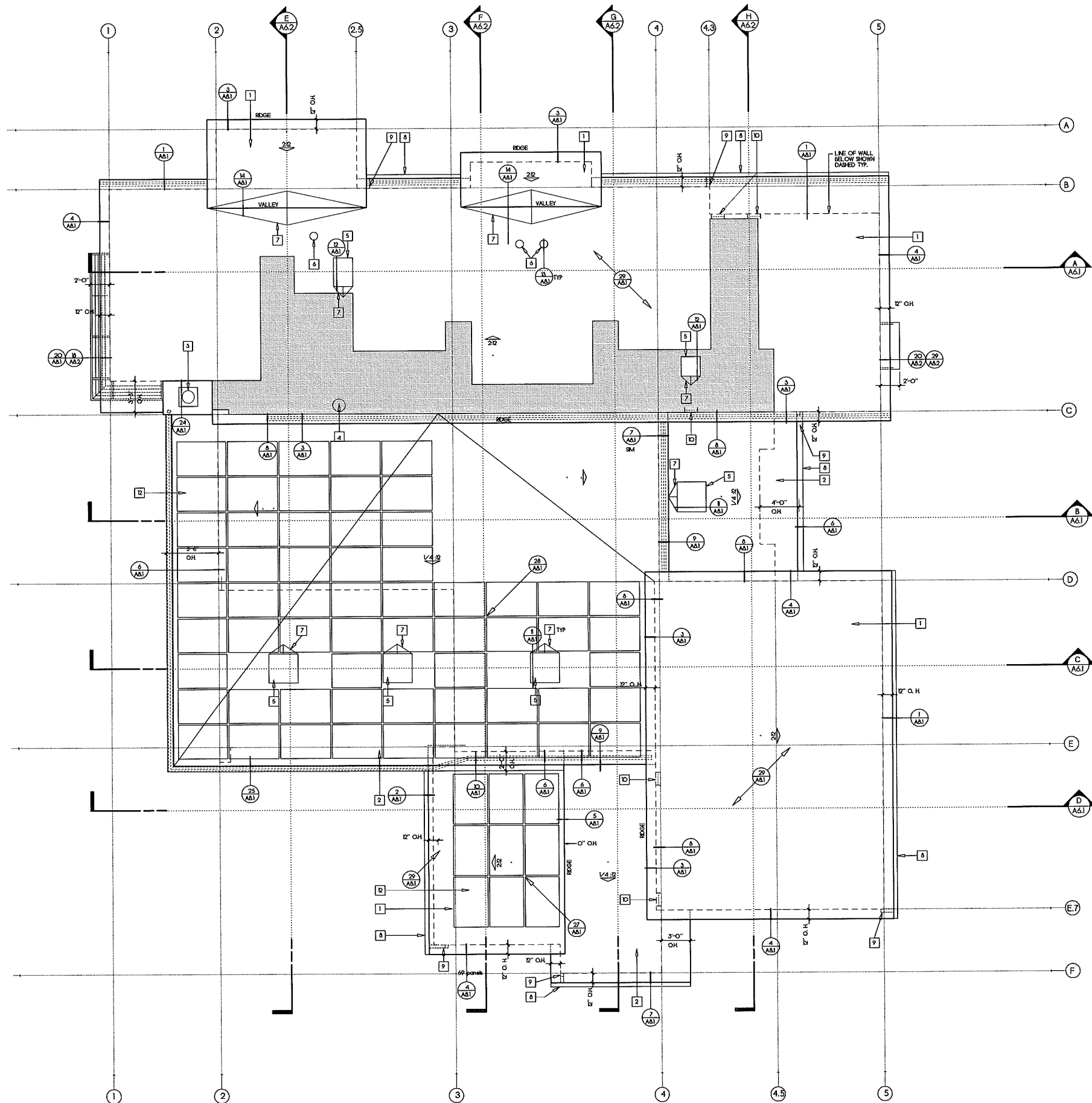
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SHEET

A2.1

PLOT DATE 28 SEP 2017



#### KEYNOTES

- 1 STANDING SEAM METAL ROOFING - CLASS 'A' SEE SPECIFICATIONS
- 2 MULTI-PLY BUILT UP ROOFING - CLASS 'A' SEE SPECIFICATIONS
- 3 CHIMNEY WITH BRICK
- 4 CHIMNEY VENT
- 5 VELUX SKYLIGHT - SEE WINDOW SCHEDULE
- 6 VELUX SUN TUNNEL - SEE SPECIFICATIONS
- 7 PLYWOOD CRICKET AND FLASHING
- 8 SHEET METAL GUTTER - COLOR TO MATCH ROOFING
- 9 SHEET METAL DOWNPOUT - COLOR TO MATCH ADJ. SURFACE
- 10 1/2 X 6 GALVANIZED METAL EAVE VENT W/ 1/8" WIRE MESH SCREEN
- 11 CONTINUOUS ALUM. SOFFIT VENT BY FRY REGLET FCS - 100 - V 300 WITH 1/8" X 1" VENT SLOTS
- 12 PHOTOVOLTAIC PANELS BY OTHERS

#### ATTIC VENTILATION CALCULATIONS

ATTIC AREA SHOWN SHADED  
AREA = 468 SF  
+ 300 SF  
= 768 SF  
225 SQ. IN. REQ'D VENTILATION  
VENTILATION PROVIDED 597 SQ. IN.  
(1) 1/2 X 6 EAVE VENTS AT 44 SQ. IN. EA. = 132 SQ. IN.  
52 FT. OF SOFFIT VENT AT 5 SQ. IN. PLF = 265 SQ. IN.



#### ROOF PLAN

SCALE 3/16" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

#### STRATOS FORM



ARCHITECTURE / INTERIORS  
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TEL: 714 628-0777  
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RICK FOX, ARCHITECT  
CAROL TINKER, FOX, ARCHITECT

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2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL EXISTING UTILITIES.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND FOR THE PROTECTION OF ALL EXISTING UTILITIES.  
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A NEW RESIDENCE FOR:  
**KARIMI & TABBY ABDOLLAHI**  
32811 SEA ISLAND DRIVE  
DANA POINT, CA 92629

PROFESSIONAL SEAL

ROOF PLAN

FILE NAME: 16-47\_ROOF

MILESTONES

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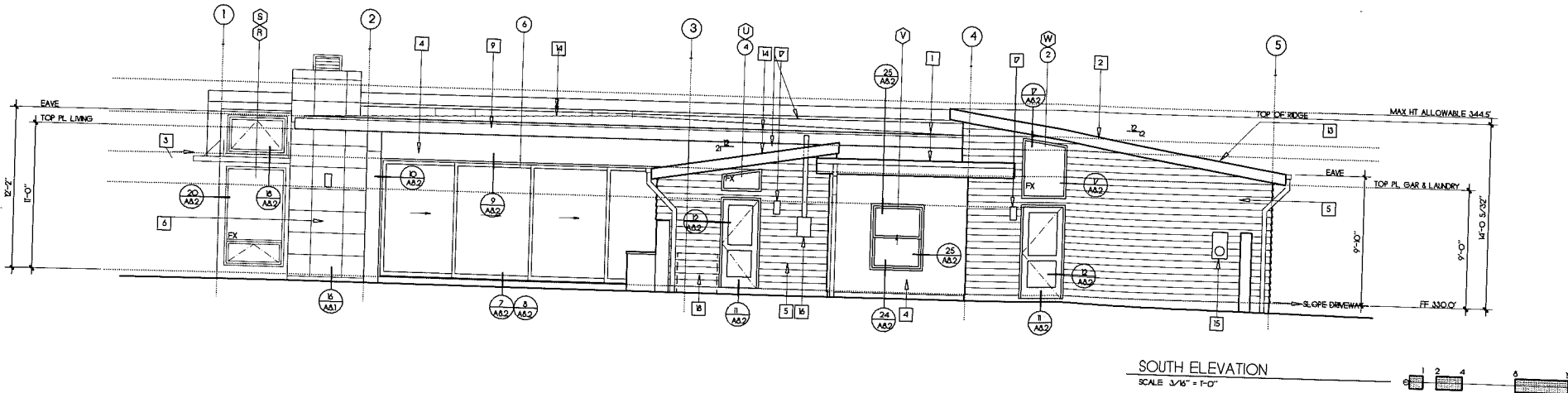
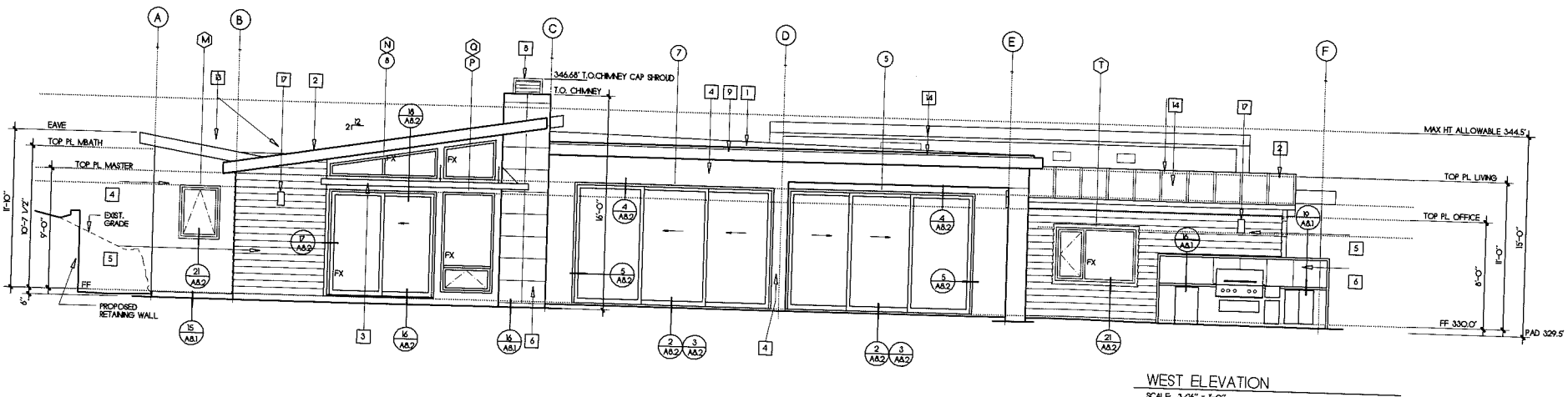
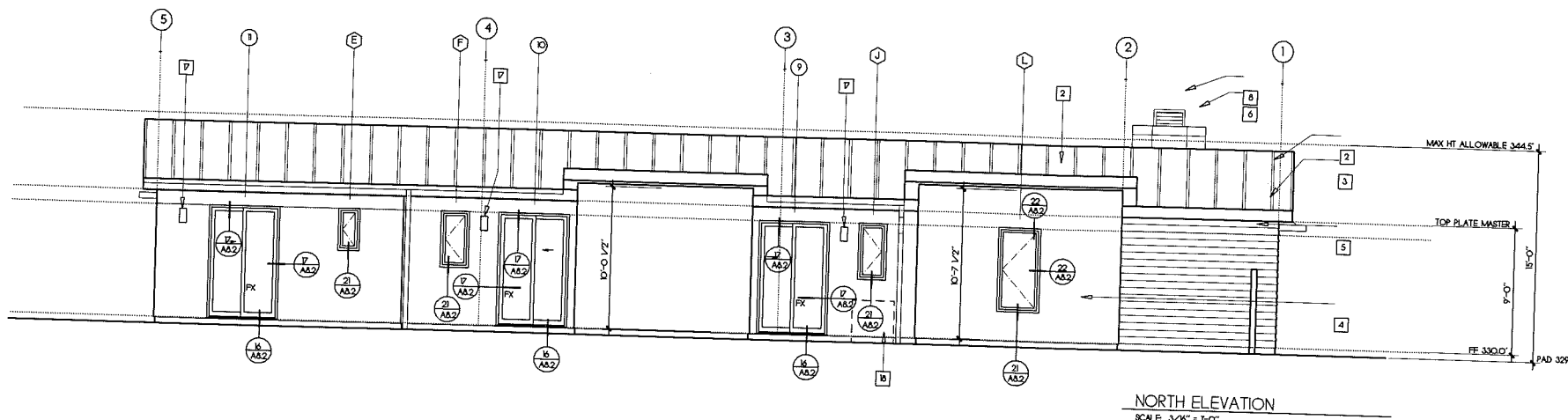
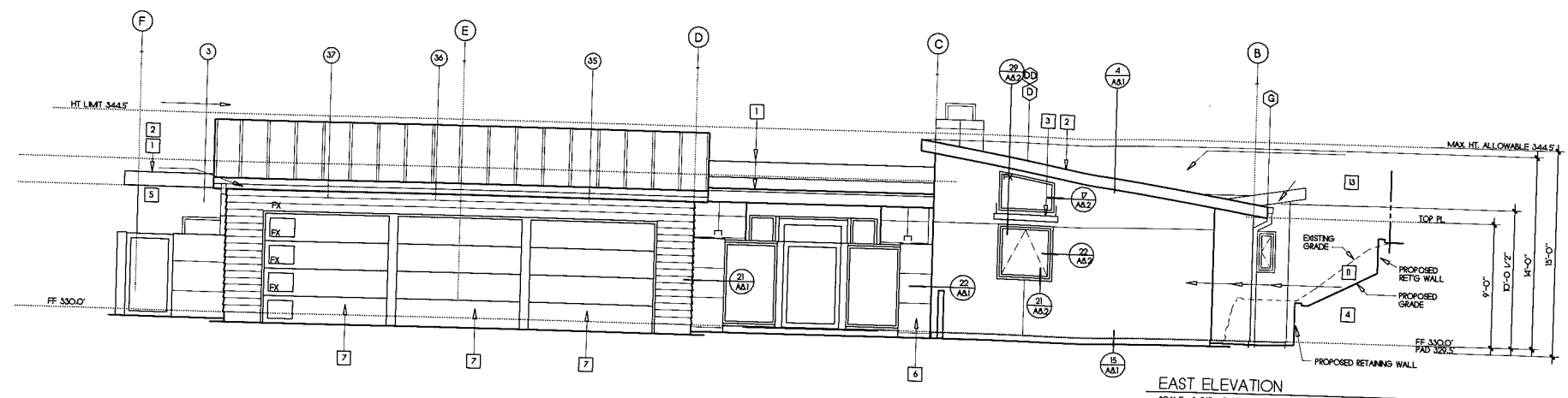
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### ELEVATION KEYNOTES

- 1 MULTI - PLY BUILT UP ROOFING SEE SPECIFICATIONS SECTION 07 31 13
- 2 METAL ROOFING PANELS SEE SPECIFICATIONS SECTION 07 41 13
- 3 METAL AWNING - PAINTED
- 4 EXTERIOR CEMENT PLASTER - SMOOTH TROWEL SEE SPECIFICATIONS SECTION 09 24 00
- 5 FIBER CEMENT SIDING SEE SPECIFICATIONS SECTION 07 46 46
- 6 STONE ANDERED VENEER SEE SPECIFICATIONS SECTION 04 40 10
- 7 GARAGE DOOR
- 8 CHIMNEY FLUE
- 9 SHEET METAL GUTTER
- 10 SHEET METAL DOWNSPOUT
- 11 PLASTER EXPANSION SCREED
- 12 PLASTER WEEP SCREED
- 13 WOOD FASCIA - PAINTED
- 14 ROOF MOUNTED PHOTOVOLTAIC PANELS - SEE ROOF PLAN
- 15 ELEC. METER
- 16 WALL MOUNTED TANKLESS WATER HEATER
- 17 LIGHT FIXTURE - SEE MEP
- 18 AIR CONDITIONING CONDENSER

### STRATOS FORM



ARCHITECTURE / INTERIORS  
MEMBERS OF THE ASSOCIATION OF ARCHITECTS

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RECK FOX, ARCHITECT  
CATOL TINK-FOX, ARCHITECT

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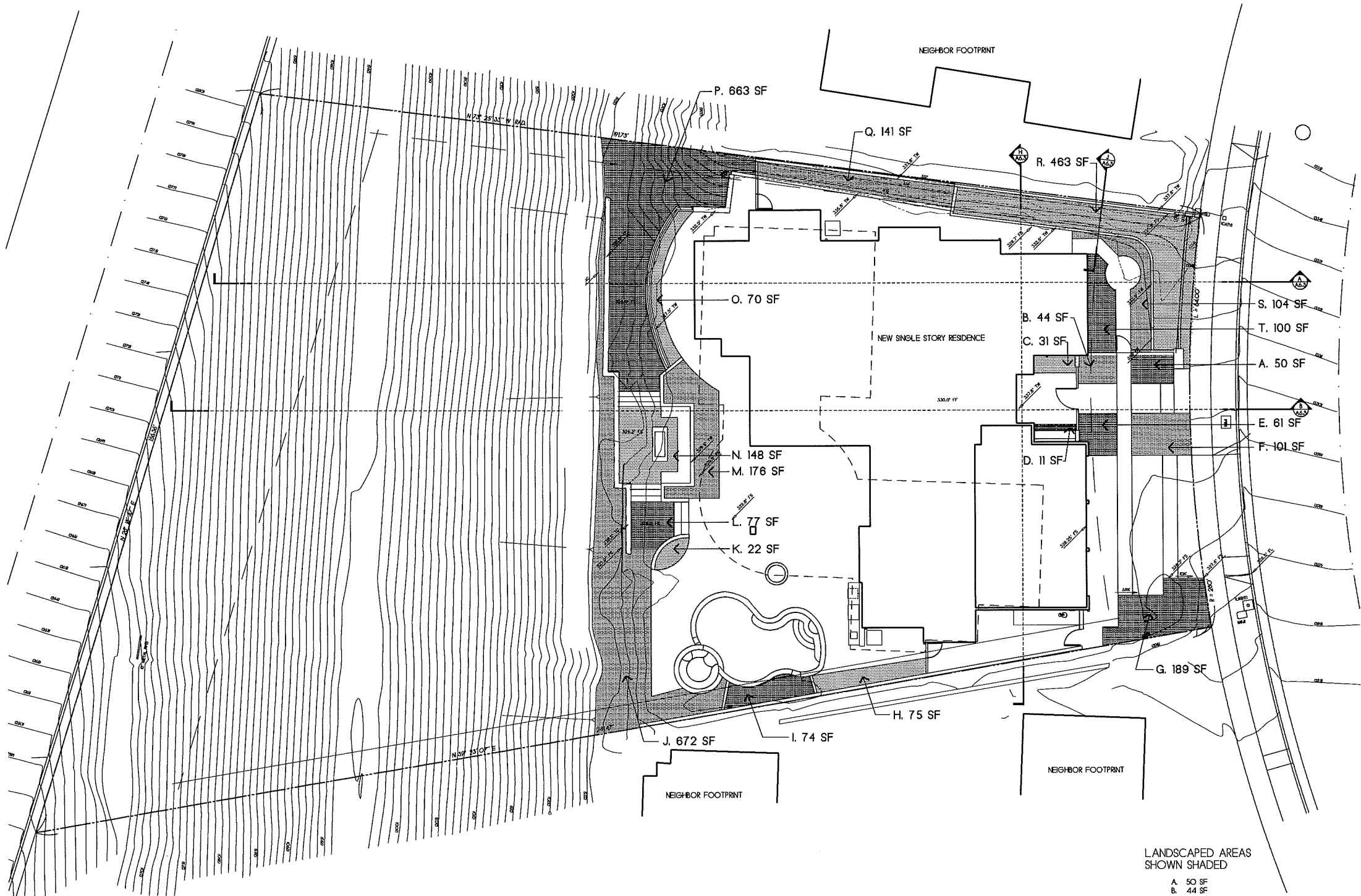
NEW RESIDENCE FOR:  
**KARIM & TABBY ABDOLLAHI**  
32611 SEA ISLAND DRIVE  
DANA POINT, CA 92629

PROFESSIONAL SEAL

OVERALL EXTERIOR  
ELEVATIONS  
FILE NAME: 18-07\_ELEV CA  
DATE: 08/15/2018

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LANDSCAPED AREAS  
SHOWN SHADED

- A. 50 SF
- B. 44 SF
- C. 31 SF
- D. 11 SF
- E. 61 SF
- F. 101 SF
- G. 189 SF
- H. 75 SF
- I. 74 SF
- J. 672 SF
- K. 22 SF
- L. 77 SF
- M. 176 SF
- N. 148 SF
- O. 70 SF
- P. 663 SF
- Q. 141 SF
- R. 463 SF
- S. 104 SF
- T. 100 SF

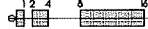
3,277 SF

NOTE: DIFFERENT SHADES IN THIS DIAGRAM  
ARE USED TO DISTINGUISH SEPARATE  
AREAS USED IN THE CALCULATION



LANDSCAPE CALCULATION PLAN

SCALE: 3/32" = 1'-0"



STRATOS FORM



ARCHITECTURE / INTERIORS

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RICK FOX, ARCHITECT  
CAROL TINK-FOX, ARCHITECT

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A NEW RESIDENCE FOR:  
KARIMI & TABBY ABDOLLAHI

32611 SEA ISLAND DRIVE  
DANA POINT, CA 92629

PROFESSIONAL SEAL

SITE PLAN

FILE NAME: 04-07\_01a

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RECEIVED

SEP 19 2017

September 17, 2017

To: Dana Point Planning Commission

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Attn: Director of Community Development

From: Kim and Don Reiter

32591 Sea Island Drive, Dana Point

Re: Appeal of New Home at 32611 Sea Island Drive

This letter is to appeal the approval of the proposed new home construction at 32611 Sea Island Drive.

We, Kim and Don Reiter, as direct adjacent neighbors, object to the scope of this proposed new construction. This project, by significantly increasing the height, mass and footprint of the new structure, will adversely impact the views of this scenic area from the street and from several adjacent properties in the neighborhood.

Our efforts, along with those of at least one other impacted neighbor (there may be others that we are unaware of), to approach our neighbor and propose acceptable alternatives to lessen the extreme view blockages as currently planned have been ignored and rebuffed by the owners of this property.

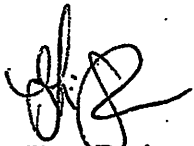
As a side note, we purchased our property on Sea Island Drive in late 2015 and as incoming Dana Point residents paying substantial property taxes, we anticipate our property value to be negatively effected if this proposed home is approved.

We appeal to the Dana Point Planning Commission to mitigate the adverse impact on views noted above, by denying approval of this project as currently proposed.

SUPPORTING DOCUMENT #5

We appreciate your consideration in this matter.

Sincerely,

A handwritten signature in black ink, appearing to be 'Kim Reiter', with a stylized, cursive script.

Kim Reiter

A handwritten signature in black ink, appearing to be 'Don Reiter', with a stylized, cursive script.

Don Reiter



**Belinda Deines**

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**From:** dsreiter06@aol.com  
**Sent:** Sunday, August 06, 2017 8:49 AM  
**To:** Belinda Deines  
**Subject:** Proposed New Home at 32611 Sea Island Drive

Ms. Deines,

This is to record our objection to the scope of the proposed new house construction at 32611 Sea Island Drive. We are neighbors to this property.

The proposed new construction will significantly increase the height, mass, and footprint of the new structure compared to the existing house, which raises three concerns:

- (1) the negative impact on public access to the view from the street and from adjacent properties in the neighborhood
- (2) the reduction in existing landscape and planted areas
- (3) the reduced setback from the bluff impacting slope stability and native wildlife

Please notify us by mail and/or email at the addresses noted below regarding any and all public hearings and correspondences so that we can participate and further voice these concerns.

Thank you for your assistance.

Don and Kim Reiter  
32591 Sea Island Drive  
Dana Point

email: dsreiter06@aol.com