

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JULY 24, 2017

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
SEAN NICHOLAS, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP17-0006 AND
ADMINISTRATIVE MODIFICATION OF STANDARDS AMS17-0003 FOR
AN ADDITION OF 159 SQUARE FEET TO A LEGAL NON-CONFORMING
SINGLE-FAMILY RESIDENCE LOCATED ON A COASTAL BLUFF LOT
AND REDUCTION OF A SIDE YARD SETBACK LOCATED AT 34861
DOHENY PLACE

RECOMMENDATION: That the Planning Commission adopt the attached draft resolution approving Coastal Development Permit CDP17-0006 and Administrative Modification of Standards AMS17-0003 (Action Document 1).

OWNER/APPLICANT: Robert Neal

**OWNER'S
REPRESENTATIVE:** Brian Wood, Designer

REQUEST: A request to add 159 square feet to a legal non-conforming single family residence on a coastal bluff lot and a reduced side yard setback.

LOCATION: 34861 Doheny Place (APN: 123-233-15)

NOTICE: Public Hearing notices were mailed to property owners within 500 feet, and to occupants within 100 feet of the site on July 13, 2017. The same notice was published in the Dana Point News on July 13, 2017, and notices were posted on July 13, 2017, at Dana Point City Hall, the Dana Point post office, the Capistrano Beach post office, and the Dana Point Library.

ENVIRONMENTAL: This project is categorically exempt (Class 1 - Section 15301 – Existing Facilities) from the provisions of the California Environmental Quality Act (CEQA) since the project involves a minor addition for an existing legal non-conforming single-family residence in a residential zone.

ISSUES:

1. Is the proposal consistent with the City's adopted General Plan/Local Coastal Program?
2. Is the proposal compatible with and an enhancement to the surrounding neighborhood and City?
3. Does the project satisfy all the findings required pursuant to the City's Zoning Code for approving a Coastal Development Permit and Administrative Modification of Standards?

BACKGROUND: The subject site is an 11,340 square foot coastal bluff lot developed in 1976. The residence is two-story with 4,107 square feet of living area and a 796 square foot four car attached garage. The site is surrounded by vacant lots to the east and south, a single family residence to the north, and Pacific Coast Highway to the west. The site is zoned Residential Single Family 3 (RSF 3), is in the appeals area of the Coastal Overlay, and is designated Residential 0-3.5 D.U./AC in the City's General Plan Land Use Map. The residence is legal non-conforming due to a five (5) foot setback on the southern side yard and the existing roof line exceeds the height limit.

The proposed project will result in a 159 square foot addition for a kitchen and master bedroom expansion. The applicant is requesting a reduction of the required eight (8) foot side yard setback reduced to five (5) feet to continue a legal non-conforming setback. The proposed addition and exterior improvements meet all other requirements, including height and coastal bluff setback as approved by the County of Orange. The property owner is proposing an internal remodel to incorporate the new addition into the home.

DISCUSSION: The proposed project requires a Coastal Development Permit due to its location in the coastal zone and an Administrative Modification of Standards to reduce the required side yard setback.

COASTAL DEVELOPMENT PERMIT:

The applicant's proposal is for an addition of 159 square feet to expand the kitchen and master bedroom directly above the kitchen. The addition will result in a 65 square foot addition to the first floor for the kitchen and 94 square feet to the second floor. The existing residence is legal non-conforming due to an existing 5 foot side yard setback on the same side as the proposed addition and the existing roof line being 30.33 feet tall. The new roof is proposed at a maximum height of 28 feet with a matching 6/12 roof pitch and conforms to the current height standards. The proposed project does not change the existing non-conforming portions of the structure.

The proposed addition will match the French Tudor architecture of the residence matching the exterior materials, colors, and roof elements. The residence has a 25 foot coastal

bluff setback and the project will maintain the setback as approved by the County of Orange. After the project is completed, the living space square footage will be 4,266 square feet. Plans have been provided as Supporting Document 4.

Table 1 summarizes applicable Residential Single Family 3 (RSF3) zoning designation development standards and the project's conformance with those requirements:

Table 1: Compliance with RSF3 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback	10 feet minimum	57 feet	Yes
Side Setbacks	8 feet minimum	8 feet (north side yard)	Yes
		5 feet (addition and south side yard)	No*
Rear Setback	25 feet minimum from edge of bluff	25 feet from edge of bluff	Yes
Height	28 feet maximum 6/12 roof pitch	30.33 feet (existing) 6/12 roof pitch	No**
		28 feet (addition) 6/12 roof pitch	Yes
Lot Coverage	35% maximum	33%	Yes
Landscape Coverage	25% minimum	26%	Yes
Parking Required	2 parking spaces	4 parking spaces	Yes

*The existing 5 foot setback is legal non-conforming and the applicant is requesting an AMS to maintain the reduced setback of 5 feet for the addition.

**Legal non-conforming roof height.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are*

no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).

- 4. Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
- 5. Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
- 6. Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
- 7. Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The required findings are articulated in the attached draft Resolution identified as Action Document 1.

Administrative Modification of Standard

To complete the proposed addition, the applicant is requesting a reduction in the side yard setback. On the first floor, there is an existing bay window with interior seating area that encroaches three (3) feet in the required 8 foot setback. Additionally, the existing garage and bedroom 4, as shown in Attachment 4, have an existing 5 foot setback. The applicant is proposing to maintain the existing encroachment of the bay window and "square off" the back corner of the building to allow for an expanded kitchen and increase master bedroom area above.

The existing residence is constructed to the 25 foot bluff setback as approved by the County of Orange in 1976. Due to the location of the structure onsite, no additional area can be added to the rear of the project site without impacting the sensitive coastal resource. Therefore, expansion into the side yard provides the only opportunity for additional square footage to the house while maintaining the existing 5 foot setback. If the 5 foot side yard setback is approved, it would be consistent with the setback of other homes in the neighborhood. All other portions of the proposed project, including heights, meets applicable City of Dana Point development standards.

Section 9.61.090 of the DPZC stipulates a minimum of four (4) findings to approve an Administrative Modification of Standards:

- 1. That there are practical difficulties or unnecessary hardships created by strict application of the Zoning Code due to physical characteristics of the property.*

2. *The administrative modification does not constitute a grant of special privileges which are not otherwise available to surrounding properties in similar conditions and will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity.*
3. *The administrative modification places suitable conditions on the property to protect the public health, safety, and welfare and surrounding properties.*
4. *For development within the coastal zone, that the administrative modification would not result in significant adverse impacts either individually or cumulatively to coastal access/recreation opportunities or coastal resources, and the development would be consistent with the policies of the Local Coastal Program certified land use plan.*

The required findings are articulated in the attached draft Resolution identified as Action Document A.

CORRESPONDENCE:

Staff has not received any correspondence on the proposed project.

CONCLUSION:

Based on the above analysis, Staff determines that the required findings can be made and recommends that the Planning Commission adopt a resolution approving Coastal Development Permit CDP17-0006 and Administrative Modification of Standards AMS17-0003 allowing for a 159 square foot addition and reduction of the side yard setback for an existing two-story, legal non-conforming single family residence.



Sean Nicholas, AICP
Senior Planner



Ursula Luna-Reynosa
Director of Community Development

ACTION DOCUMENT:

1. Draft Planning Commission Resolution 17-07-24-XX

SUPPORTING DOCUMENTS:

2. Vicinity Map
3. CEQA Exemption
4. Proposed plans

RESOLUTION NO. 17-07-24-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP17-0006 FOR AN ADDITION OF 159 SQUARE FEET TO A LEGAL NON-CONFORMING SINGLE FAMILY RESIDENCE LOCATED ON A COASTAL BLUFF LOT AND ADMINISTRATIVE MODIFICATION OF STANDARDS AMS17-0003 TO ALLOW FOR A REDUCTION OF SIDE A YARD SETBACK LOCATED AT 34861 DOHENY PLACE

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Robert Neal (the "Owner"), owns the real property commonly referred to as 34861 Doheny Place (APN: 123-233-15) (the "Property"); and

WHEREAS, the Owner caused to be filed a verified application for a Coastal Development Permit and Administrative Modification of Standards for an addition and internal remodel for a legal non-conforming structure; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 24th day of July, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, the proposed project qualifies as a Class 1 (Section 15301) exemption pursuant to the applicable provisions of the California Environmental Quality Act (CEQA) in that the project involves an addition and remodel that meets all applicable development standards, except for the requested reduced side yard to maintain an existing side yard, for an existing legal non-conforming single family residence in a residential zone; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP17-0006 and Administrative Modification of Standards AMD 17-0003.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A) That the above recitations are true and correct and incorporated herein by reference;

Findings:

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves a Coastal Development Permit CDP17-0006, subject to conditions:

- 1) That the proposed project is consistent with the Dana Point General Plan and Local Coastal Program, **in that the project is consistent with all goals and policies of the Residential 0-3.5 land use designation as it will remain a single family residence, maintain the approved coastal bluff setback, and the proposed addition is consistent with the neighborhood.**
- 2) That the proposed development is not located between the nearest public roadway and the sea or shoreline of any body of water, and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act, **in that the proposed development does not alter existing public access and public recreation areas in the vicinity.**
- 3) That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act), **in that the project qualifies for a Categorical Exemption Type 1 since the project involves a minor addition and remodel of an existing two-story, single family residence.**
- 4) That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources, **in that the proposed development is not immediately adjacent to any such resources and the proposed development is proposed in compliance with required coastal bluff setbacks on a currently developed site.**
- 5) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards, **in that the subject site is developed with a single family residence located within an established residential subdivision, and the proposed project is setback the required distance from the coastal bluff edge to ensure no impact on the resource. No grading or other alterations are proposed in the coastal bluff setback. The proposed addition will be constructed in conformance with applicable regulations for flood and**

fire hazards, minimizing undue risks from flood, fire or other hazards.

- 6) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas, **in that the proposed project will add to and enhance the existing residence and will not be visible from the public right-of-ways. All proposed materials are consistent with the existing structure and the residence will remain a two-story, single family residence.**
 - 7) That the proposed development will conform with the General Plan, Zoning Code, Local Coastal Program, or other applicable adopted plans and programs, **in that the proposed addition and remodel conforms with the City's regulations regarding development of single-family dwelling within the coastal zone and the development standards of the Residential Single Family 3 (RSF 3) Zoning District, and the Residential 0-3.5 DU/AC designation in the City's General Plan.**
- C) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Administrative Modification of Standards AMS17-0003, subject to conditions:
- 1) That there are practical difficulties or unnecessary hardships created by strict application of the Zoning Code due to physical characteristics of the property, **in that due to the location of the residence at the 25 foot coastal bluff setback line, and that no additional area can be added to the rear of the project site.**
 - 2) The administrative modification does not constitute a grant of special privileges which are not otherwise available to surrounding properties in similar conditions and will not be materially detrimental to the public welfare or to the property of other persons located in the vicinity, **in that the proposed scope of the administrative modification is minor as defined in the DPZC. The proposed deviation from Code would result in development onsite that is consistent and complimentary to existing development within the**

vicinity as well as consistent with the existing architecture and form. Development in the surrounding neighborhood is comprised of expanded and remodeled structures set back similar (non-conforming) distances from property lines. The subject request would accordingly not constitute the granting of a special privilege otherwise unavailable to surrounding properties in similar conditions and, would not be materially detrimental to the public welfare or to the property of other persons located in the vicinity.

- 3) The administrative modification places suitable conditions on the property to protect the public health, safety, and welfare and surrounding properties, **in that the subject application has been reviewed for conformance with the standards of the Dana Point Municipal Code by Planning, Public Works/Engineering, and Building/Safety Division staff and found to comply with standards as relate to approval of an AMS. Following discretionary approval, structural and civil plans will be submitted for review by the City. Standard conditions of approval, adherence to best management practices (BMPs) during construction and inspection by Building/Safety Division staff as construction progresses will all ensure that the final project adequately protects the public health, safety, and welfare of the property owner as well as surrounding properties.**
- 4) If located in the Coastal Zone, that the administrative modification would not result in significant adverse impacts either individually or cumulatively to coastal access/recreation opportunities or coastal resources, and the development would be consistent with the policies of the Local Coastal Program certified land use plan, **in that the subject property is located within the City's Coastal Overlay District (the CA Coastal Zone) but no existing or proposed coastal access/recreation areas or coastal resources would be adversely impacted with implementation of the subject project. The Dana Point Zoning Code has been adopted and certified as the Local Coastal Program (LCP) for the City and, as all findings can be made for approval of the AMS, the project is consistent with the policies of the LCP.**

A. General:

1. Approval of this application is to allow for an addition of 159 square feet, exterior improvements, and internal remodel of a legal non-conforming two-story, single family residence at 34861 Doheny Place. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan/Local Coastal Program, and the Dana Point Zoning Code.
2. This discretionary permit(s) will become void two (2) years following the effective date of the approval if the privileges authorized are not implemented or utilized or, if construction work is involved, such work is not commenced within such two (2) year time period or; the Director of Community Development or the Planning Commission, as applicable grants an extension of time. Such time extensions shall be requested in writing by the applicant or authorized agent prior to the expiration of the initial two-year approval period, or any subsequently approved time extensions.
3. The application is approved for the location and design of the uses, structures, features, and materials, shown on the approved plans. Any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plans, they may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Owner or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its

advisory agencies, appeal boards, or legislative body concerning the project. Owner's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Owner or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Owner or the Owner's agents, employees, or contractors. Owner's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Owner shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Owner, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The Owner and Owner's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety and Engineering Division for plan check for Building and Grading Permits.
8. The Owner and Owner's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. The construction site shall be posted with signage indicating that construction shall not commence before 7 a.m. and must cease by 8 p.m., Monday through Saturday, and no construction activity is permitted on Sundays or Federal holidays.
10. The project shall meet all water quality requirements.
11. The project shall meet all water quality requirements including Low

Impact Development (LID) implementation.

12. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television services.
13. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion control measures of a type, size and location as approved by the Director of Public Works. The erosion control measures shall be constructed to the satisfaction of the Director of Public Works prior to and during all construction activities. The applicant shall maintain the erosion control devices until the final approval of all permits.
14. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.
15. The applicant shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
16. The 25' bluff edge setback shall be clearly shown on all plans submitted for review and approval.
17. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the 25' bluff edge setback. Review of the submitted plans indicates that all work associated with the proposed building addition/remodel will be supported by the existing foundation system of the residence, which is shown behind the indicated 25' bluff edge setback line. All design professionals should evaluate the existing foundation system for the existing structure as it relates to the proposed kitchen/bedroom addition at the seaward side of the residence in order to verify that new foundation elements will not be required as part of the proposed construction.

18. Separate review, approval, and permits are required for:
 - Separate Structures
 - Retaining walls
 - Shoring walls
 - Fire sprinklers
 - Demolition of Structures
 - Swimming Pool/Spa
 - Site Walls over 3'

B. Prior to Issuance of a Building Permit or release on certain related inspections, the applicant shall meet the following conditions:

19. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
20. All plans submitted shall reflect the determined Bluff Edge and all associated setbacks, as shown on the "Response to Review Letter from the City of Dana Point, Community Development Department Regarding the Planned Improvement for 34861 Doheny Place..." report dated May 23, 2017 by Petra Geosciences, Inc.
21. Building plan check submittal shall include the following construction documents as applicable:
 - Building Plans (4 sets)
 - Energy Calculations (2 sets)
 - Structural Calculations (2 sets)
 - Soils/Geology Report (3 sets)

All documents prepared by a registered-design-professional shall be wet-stamped & signed.
22. Verification of all conditions of approval is required by all City Departments.
23. All approvals from outside Departments and Agencies (i.e. Fire Department) is/are required.
24. All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
25. Building(s) shall comply with the 2016 editions of the Building Code and all local amendments.

26. Minimum roofing classification is Class "A".
27. Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.
28. Separate review, approval, and permits are required for:
 - Separate Structures
 - Retaining Walls
 - Site Walls over 3 ft.
 - Fire Sprinklers
 - Demolition of Structures
29. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP17-0006 and AMS17-0003. The City's standard "Setback Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
30. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP17-0006 and AMS17-0003. The City's standard "Height Certification" form shall be prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

C. Prior to the issuance of a certificate of occupancy, the applicant shall meet the following:

31. The applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.
32. All landscaping and/or structural best management practices

(BMPs) shall be constructed and installed in conformance with approved plans and specifications.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 24th day of July, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

_____, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Director of Community Development



Vicinity Map

34861 Doheny Place; Coastal Development Permit CDP17-0006
and Administrative Modification of Standards AMS17-0003



**CITY OF DANA POINT
NOTICE OF EXEMPTION**

Date: July 25, 2017

To: County Clerk-Recorder
County of Orange
12 Civic Center Plaza, Room 106
P.O. Box 238
Santa Ana, CA 92702
Attn: EIR Clerk

From: City of Dana Point
Community Development Department
33282 Golden Lantern, Suite No. 209
Dana Point, California 92629

Project Title: Coastal Development Permit CDP17-0006/Administrative Modification of Standards AMS17-0003

Project Location:

The project is located at 34861 Doheny Place within the Residential Single Family 3 (RSF3) zoning designation. Legal description being Lot 15, of Block 3, of Tract 920, Assessor's Parcel Number 123-233-15.

Description of Nature, Purpose, and Beneficiaries of Project:

A request to add 159 square feet to a legal non-conforming single family residence on a coastal bluff lot and a reduced side yard setback located at 34861 Doheny Place in the RSF3 zoning designation within the Coastal Zone.

Name of Public Agency Approving Project: City of Dana Point

Project Applicant: Brian Wood, 18731 Vale Avenue, Sana Ana, CA, 92705, (714) 803-9533

Exempt Status: (Check One)

Statutory Exemption

☐ Section:

☐ Ministerial (Sec. 21080(b)(1); 15268):

☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))

☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))

☒ X_Categorical Exemption: Class: 1 Section: 15301

☐ Exempt: Sections:

Reason Why Project is Exempt:

The project includes a minor addition to an existing two-story, single family residence. The proposed addition, other than the requested three foot encroachment, meets all applicable development standards including lot coverage, setbacks from the coastal bluff, and heights. The residence will remain a two-story, single family residence following the proposed improvements.

Lead Agency Contact Person:

Sean Nicholas, AICP, Senior Planner
City of Dana Point
32282 Golden Lantern
Dana Point, CA, 92629

Signature: _____ Date: _____ Title: _____

☐ Signed by Lead Agency ☐ Signed by Applicant

NEAL RESIDENCE

34861 Doheny Place
Capistrano Beach, CA 92624

Addition & Remodel

Property Owner

Robert & Bernarda Neal
34861 Doheny Place
Capistrano Beach, CA
92624-1715
(949) 253-7920

Scope of Work

Lower Level:
Kitchen addition (65 s.f.) and remodel.

Upper Level:
Master bedroom addition (94 s.f.) to match footprint of addition below.

No new foundations are proposed as a part of this project.

All site drainage shall be in accordance with the 2016 California Building Code and the Dana Point Municipal Code.

Sheet Index

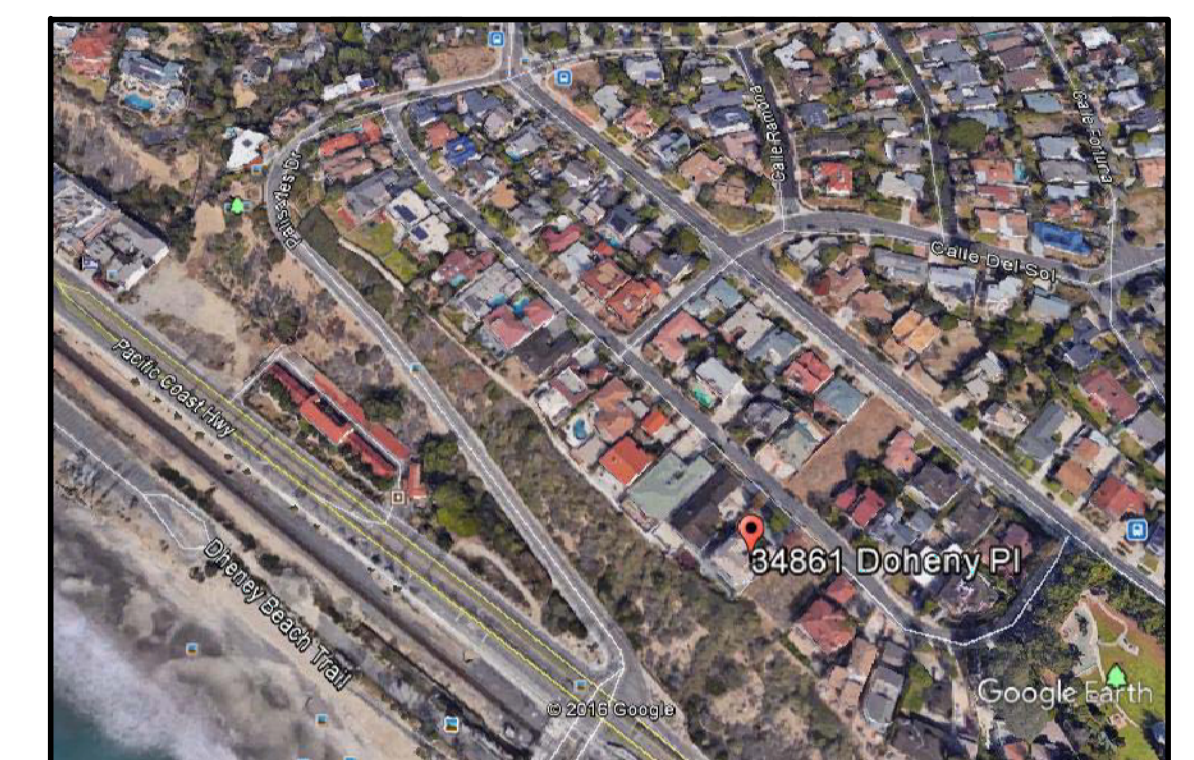
Architectural	
CS	Cover Sheet
SP	Site Plan
SU	Site Survey
A1.0	Lower Level Floor Plan
A2.0	Upper Level Floor Plan
A3.0	Roof Plan
A4.0	Existing / Proposed Rear Elevation
A5.0	Existing / Proposed Left Elevation
A6.0	Existing Front & Right Elevations
A7.0	Existing Site / Foundation Details
A8.0	Existing Foundation Plan
A9.0	Existing Foundation Details

Consultants

DESIGNER:	SURVEYOR:
B. Geoffrey Wood Design & Consulting 18731 Vale Avenue North Tustin, CA 92705 (714) 803-9533 designbgwood@aol.com Contact: Brian Wood	RDM Surveying 23016 Lake Forrester Drive Laguna Hills, CA 92653 (949) 858-2924 Contact: Ron Miedema

STRUCTURAL:	GEOTECHNICAL:
TMM Engineering, Inc. 31645 So. Coast Highway Laguna Beach, CA 92651 (949) 499-6254 Contact: Tarek Moktar	Petra Geosciences, Inc. 3198 Airport ZLoop Drive, Suite A2 Costa Mesa, CA 92626 (714) 549-8921 Contact: Robert Ruff

Vicinity Map



Project Data

Legal Description	
Lot:	15
Block:	3
Tract:	920

Zoning	
Zoning Designation	RSF 3
Type of Construction	V-B / Non sprinklered
Occupancy Group	R-3 / U-1
Setbacks:	
Front:	10 ft.
Side:	8 ft.
Rear:	25/40 ft.

Area Calculations	
Lower Level (e):	2,116 s.f.
Lower Level (n)	65 s.f.
Upper Level (e):	1,991 s.f.
Upper Level (n):	94 s.f.
Total Habitable (+ 4%):	4,266

Garage (e):	796 s.f.
Lower Level Deck (e):	537 s.f.
Upper Level Deck (e):	598 s.f.

Lot Area:	11,340 s.f.
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Lot Coverage:	
11,340 x 35% = 3,969 (max.)	3,785 s.f. (33%)

Landscape Coverage:	
11,340 x 25% = 2,835 (min.)	2,979 s.f. (26%)

DESIGNED BY:
BRIAN G. WOOD
18731 Vale Avenue
Santa Ana, CA 92705
TELEPHONE: (714) 803-9533

NEAL RESIDENCE
REMODEL

OWNER:
Robert & Bernarda Neal
34861 Doheny Place
Capistrano Beach, CA 92624-1715
(949) 253-7920

BUILDER:

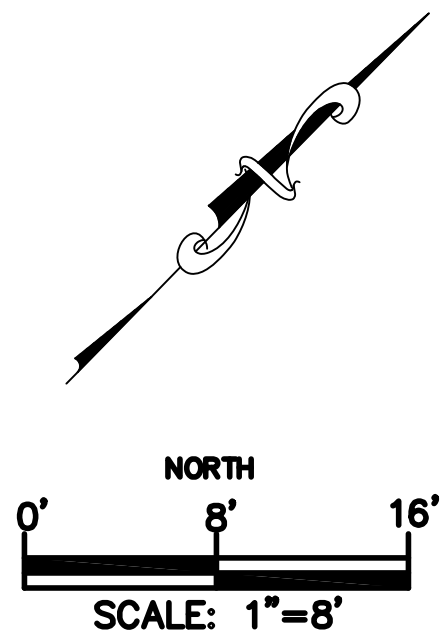
REVISIONS:

SHEET TITLE:
COVER SHEET

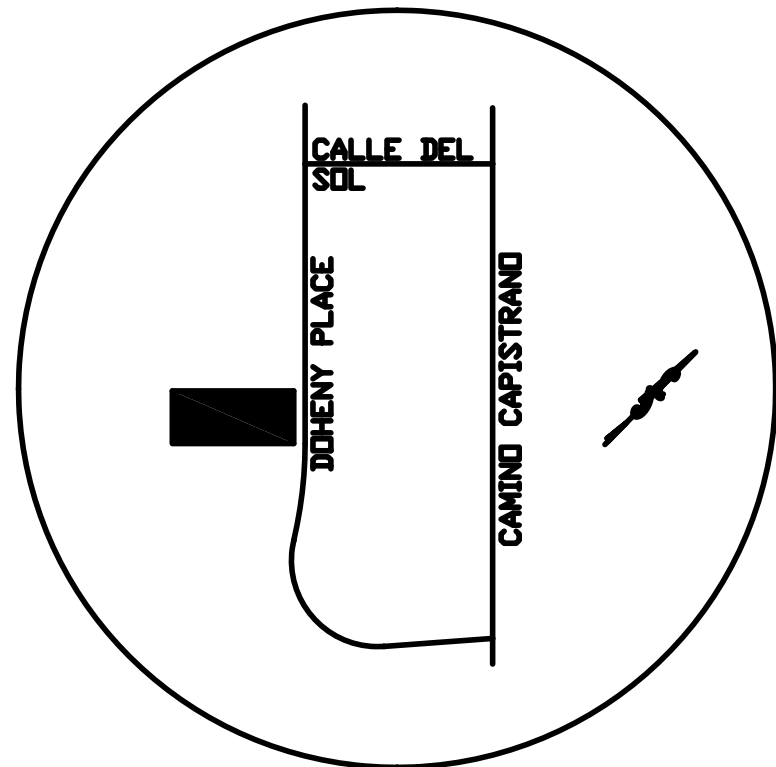
SHEET NUMBER:

CS

PLOT REFERENCE DATE: 06-05-17

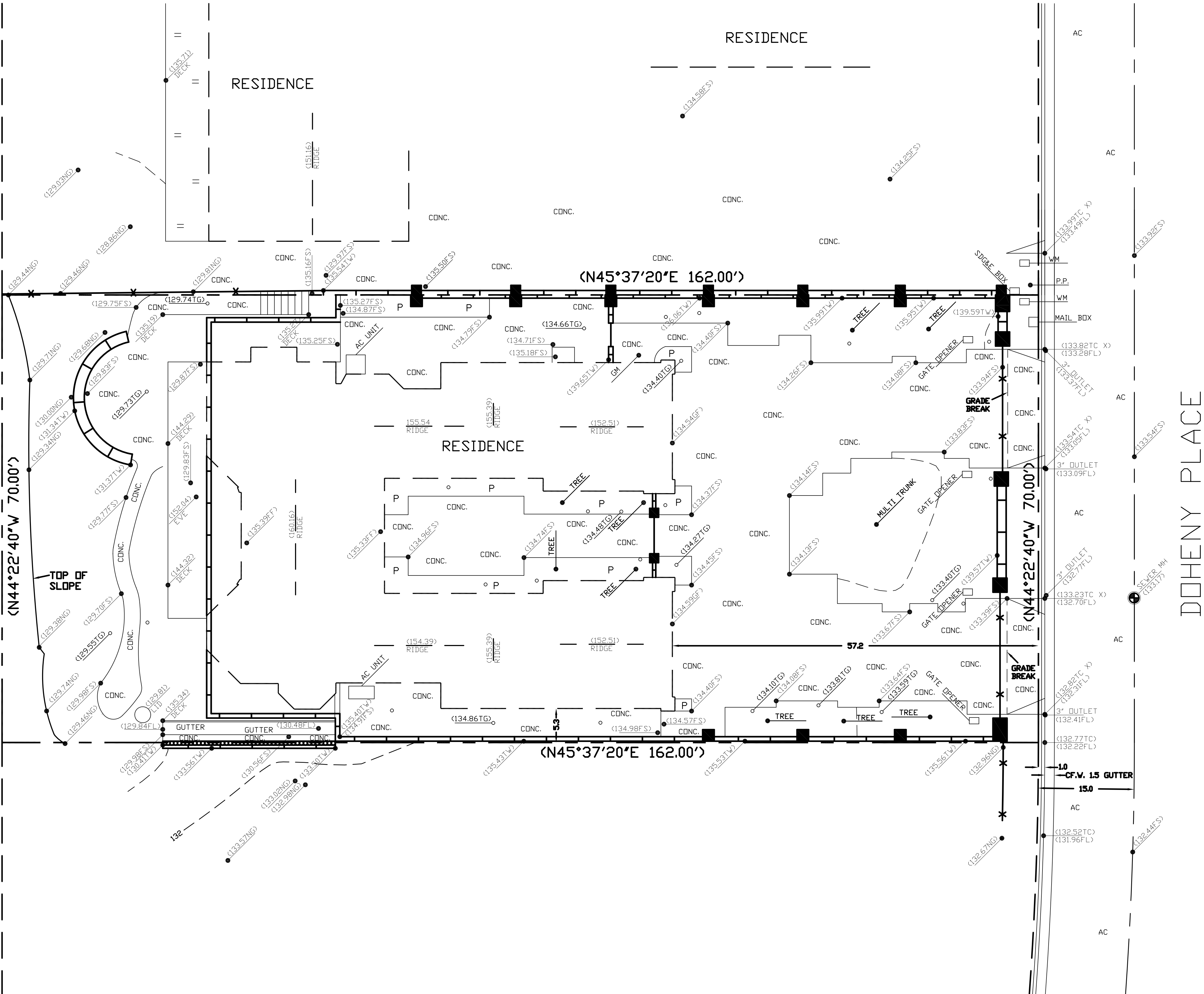


NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.



VICINITY MAP

LEGEND	
	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
=	DECK
#	BRICK
	WALL
=====	BUILDING
- - - - -	PROPERTY LINE
- x - x -	FENCE
+	BENCH MARK
N.G.	NATURAL GRADE
P.P.	POWER POLE
WM	WATER METER
F.F.	FINISH FLOOR
C.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
P	PLANTER
A.C.	ASPHALT
T.G.	TOP-GRADE



RdM SURVEYING INC. RON MIEDEMA L.S. 4653 23016 LAKE FOREST DR. #409 LAGUNA HILLS, CA 92653 (949) 858-2924 OFFICE (949) 858-3438 FAX RDMSURVEYING@COX.NET	TOPOGRAPHIC SURVEY		OWNER: ROBERT AND BERNI NEAL	LEGAL DESCRIPTION: LOT 3 OF TRACT MAP NO. 920	BENCH MARK: SEWER MH ELEVATION= 133.17	ADDRESS OF PROJECT: 34861 DOHENY PLACE DANA POINT, CA
	JOB: 59-76	DATE: 10/26/16				

DESIGNED BY:
BRIAN G. WOOD
18731 Vida Avenue
Santa Ana, CA 92705
TELEPHONE: (714) 863-9533

NEAL RESIDENCE
REMODEL

OWNER:
Robert & Berni Neal
34861 Doheny Place
Capistrano Beach, CA 92624-1715
(949) 253-7920

BUILDER:

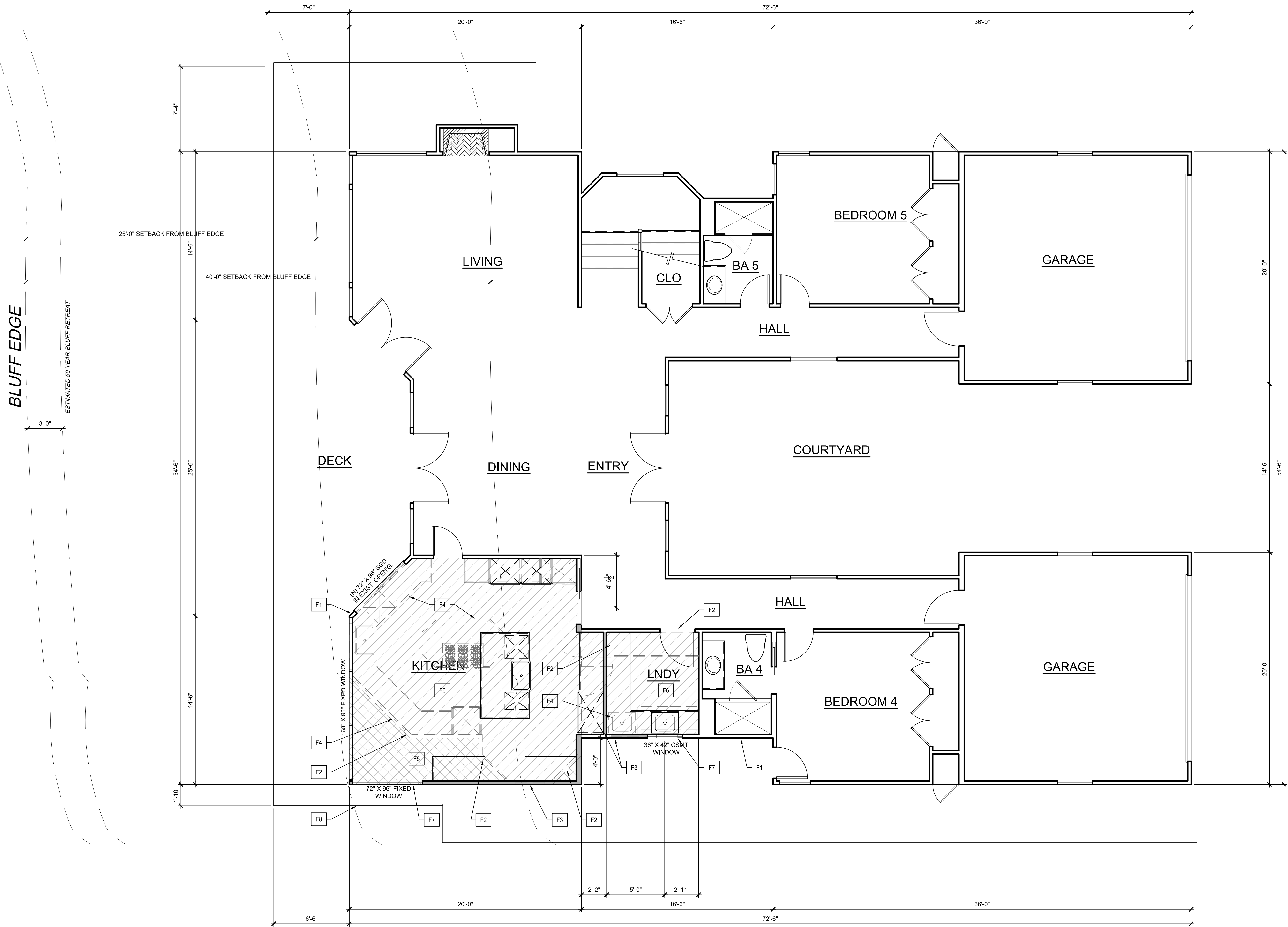
REVISIONS:

SHEET TITLE:
SURVEY

SHEET NUMBER:

SU

PLOT REFERENCE DATE: 06-05-17



ENTRY LEVEL (EXISTING / PROPOSED)

ENTRY LEVEL TO REMAIN UNCHANGED EXCEPT AS NOTED

SCALE 1/4" = 1'-0"

PLAN NOTES

XX SYMBOL

FLOOR PLAN

- F1. EXISTING WALLS TO REMAIN (CLEAR)
- F2. EXISTING WALLS TO BE REMOVED (HATCHED)
- F3. NEW STUD WALLS (SHADED)
- F4. EXISTING APPLIANCES, WINDOWS, CABINETS, ETC. TO BE REMOVED
- F5. HABITABLE FLOOR AREA ADDED (CROSS HATCHED)
- F6. EXISTING AREA TO BE REMODELED, AREA INCLUDED IN OVERALL SCOPE OF WORK (HATCHED)
- F7. NEW EXTERIOR DOOR / WINDOW (SEE PLAN) (HATCHED)
- F8. EXISTING GLASS GUARDRAIL

ROOF PLAN

- R1. NEW ROOF AREA ADDED (CROSS HATCHED)
- R2. NEW CALIFORNIA FRAMED ROOF OVER EXISTING (HATCHED)

ELEVATION

- E1. NEW ROOF COVERING TO MATCH EXISTING
- E2. NEW EXTERIOR PLASTER (FINISH TBD)
- E3. NEW EXTERIOR DOOR / WINDOW
- E4. NEW WOOD FASCIA TO MATCH EXISTING
- E5. EXISTING TO BE REMOVED PER PLAN

GENERAL NOTES:

NO NEW PERMITTED FOUNDATIONS WILL BE ALLOWED WITHIN THE BLUFF EDGE SETBACK

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(949) 253-7920

BUILDER:

REVISIONS:

SHEET TITLE:

ENTRY LEVEL
FLOOR PLAN

SHEET NUMBER:

A1.0

PLOT REFERENCE DATE: 06-05-17

BLUFF EDGE

ESTIMATED 50 YEAR BLUFF RETREAT

3'-0"



UPPER LEVEL (EXISTING / PROPOSED)

UPPER LEVEL TO REMAIN UNCHANGED EXCEPT AS NOTED

SCALE 1/4" = 1'-0"

PLAN NOTES

XX SYMBOL

FLOOR PLAN

- F1. EXISTING WALLS TO REMAIN (CLEAR)
- F2. EXISTING WALLS TO BE REMOVED (HATCHED)
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- E5. EXISTING TO BE REMOVED PER PLAN

GENERAL NOTES:

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DESIGNED BY:

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(949) 253-7920

BUILDER:

REVISIONS:

SHEET TITLE:

UPPER LEVEL
FLOOR PLAN

SHEET NUMBER:

A2.0

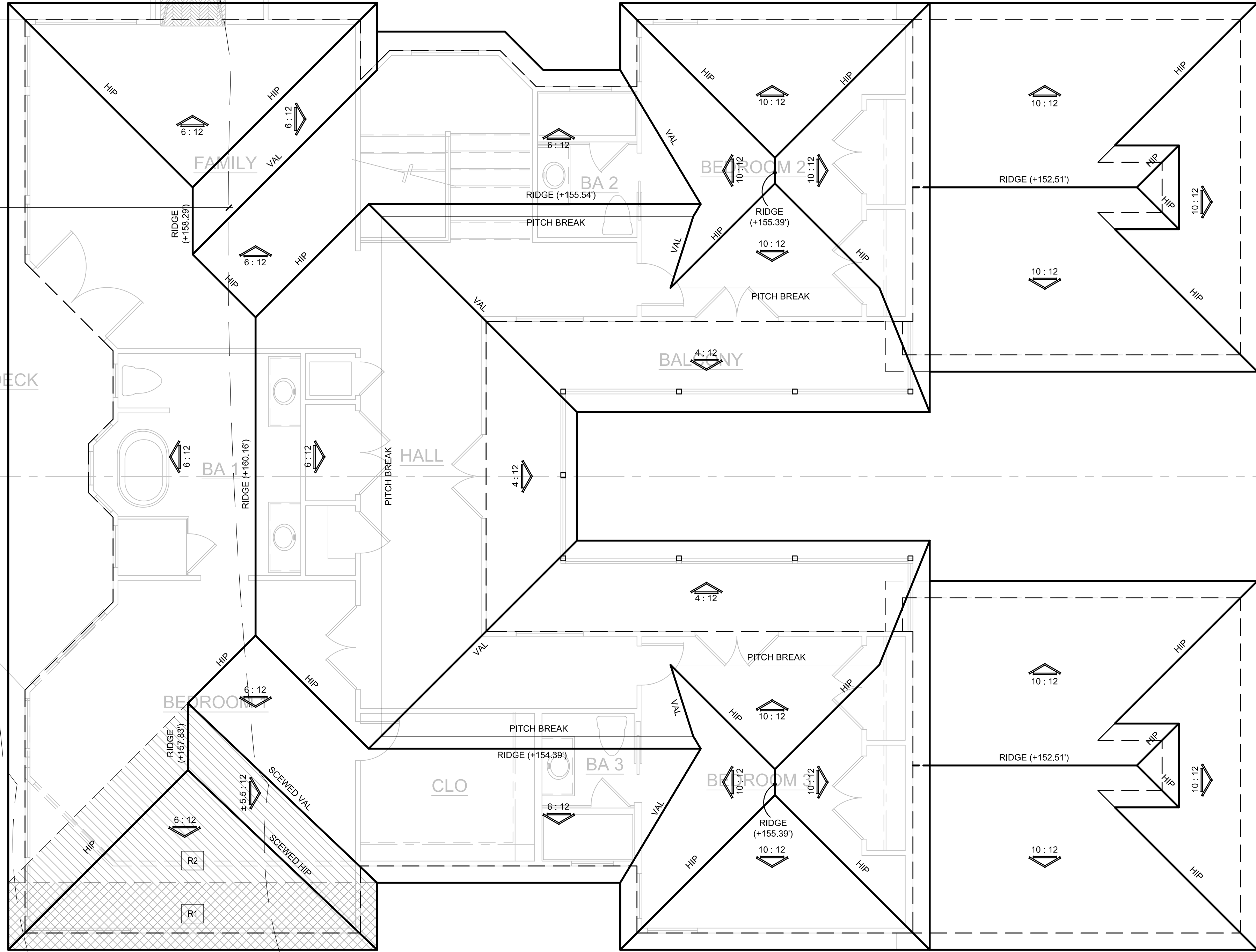
PLOT REFERENCE DATE: 06-05-17

BLUFF EDGE

3'-0"
ESTIMATED 50 YEAR BLUFF RETREAT

25'-0" SETBACK FROM BLUFF EDGE

40'-0" SETBACK FROM BLUFF EDGE



ROOF PLAN

ROOF TO REMAIN UNCHANGED EXCEPT AS NOTED

SCALE 1/4" = 1'-0"

PLAN NOTES

XX SYMBOL

FLOOR PLAN

- F1. EXISTING WALLS TO REMAIN (CLEAR)
- F2. EXISTING WALLS TO BE REMOVED (HATCHED)
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ELEVATION

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- E4. NEW WOOD FASCIA TO MATCH EXISTING
- E5. EXISTING TO BE REMOVED PER PLAN

GENERAL NOTES:

NO NEW PERMITTED FOUNDATIONS WILL BE ALLOWED WITHIN THE BLUFF EDGE SETBACK

DESIGNED BY:
BRIAN G. WOOD
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NEAL RESIDENCE
REMODEL

OWNER:
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(949) 253-7920

BUILDER:

REVISIONS:

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:

A3.0

PLOT REFERENCE DATE: 06-05-17

PLAN NOTES

XX SYMBOL

FLOOR PLAN

- F1. EXISTING WALLS TO REMAIN (CLEAR)
- F2. EXISTING WALLS TO BE REMOVED (HATCHED)
- F3. NEW STUD WALLS (SHADED)
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- F7. NEW EXTERIOR DOOR / WINDOW (SEE PLAN) (HATCHED)
- F8. EXISTING GLASS GUARDRAIL

ROOF PLAN

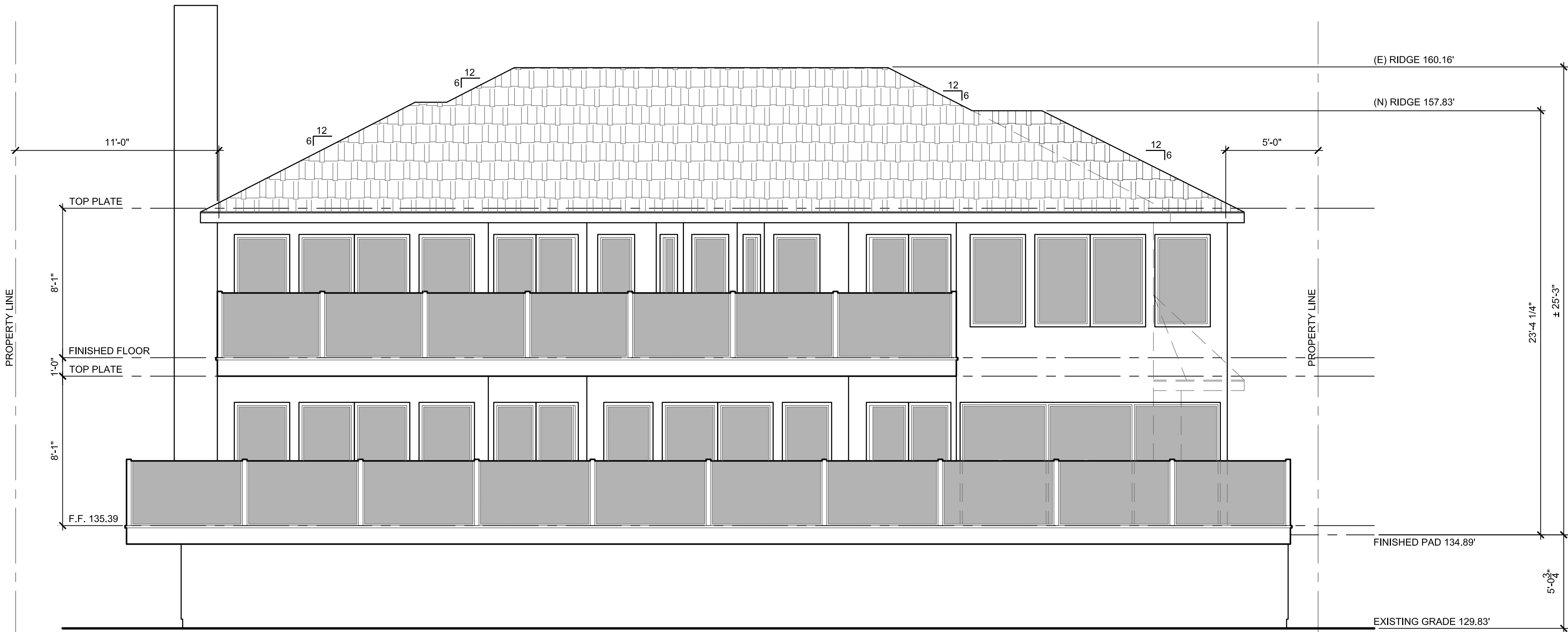
- R1. NEW ROOF AREA ADDED (CROSS HATCHED)
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ELEVATION

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- E3. NEW EXTERIOR DOOR / WINDOW
- E4. NEW WOOD FASCIA TO MATCH EXISTING
- E5. EXISTING TO BE REMOVED PER PLAN

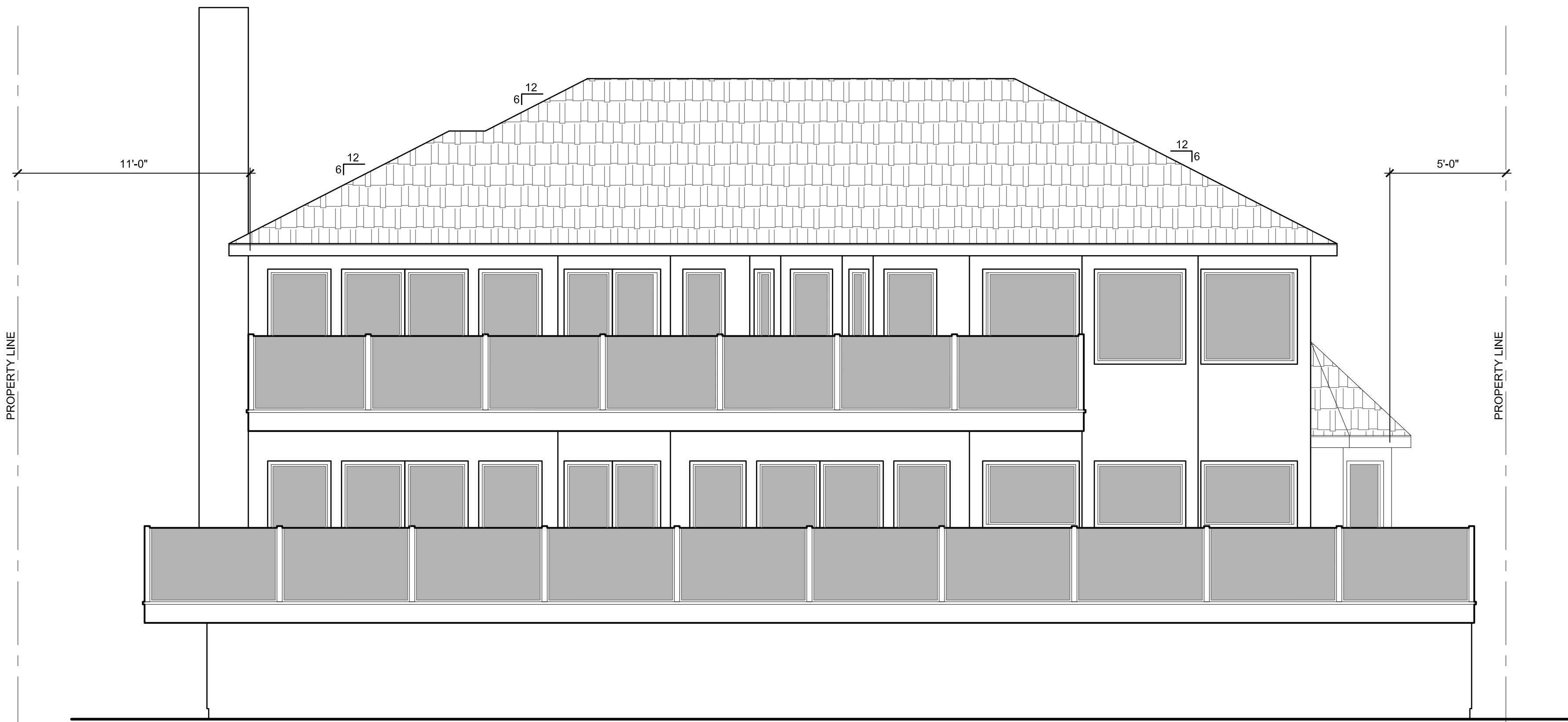
GENERAL NOTES:

NO NEW PERMITTED FOUNDATIONS WILL BE ALLOWED WITHIN THE BLUFF EDGE SETBACK



REAR ELEVATION (PROPOSED)

SCALE 1/4" = 1'-0"



REAR ELEVATION (EXISTING)

SCALE 1/4" = 1'-0"

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OWNER:

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(949) 253-7920

BUILDER:

REVISIONS:

SHEET TITLE:

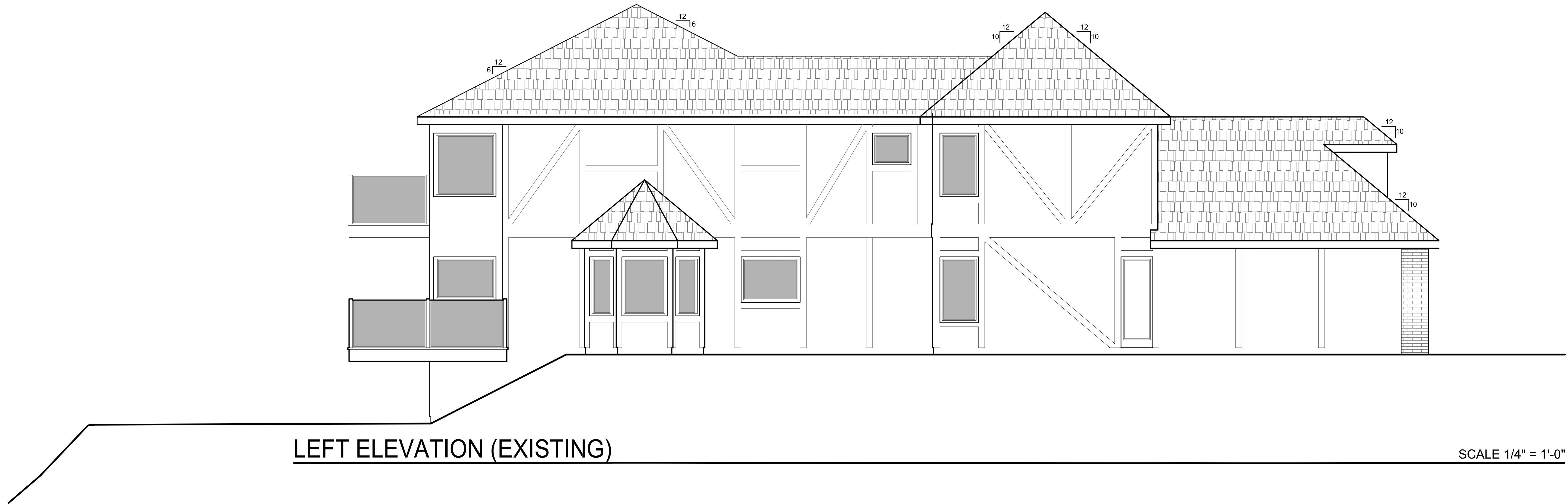
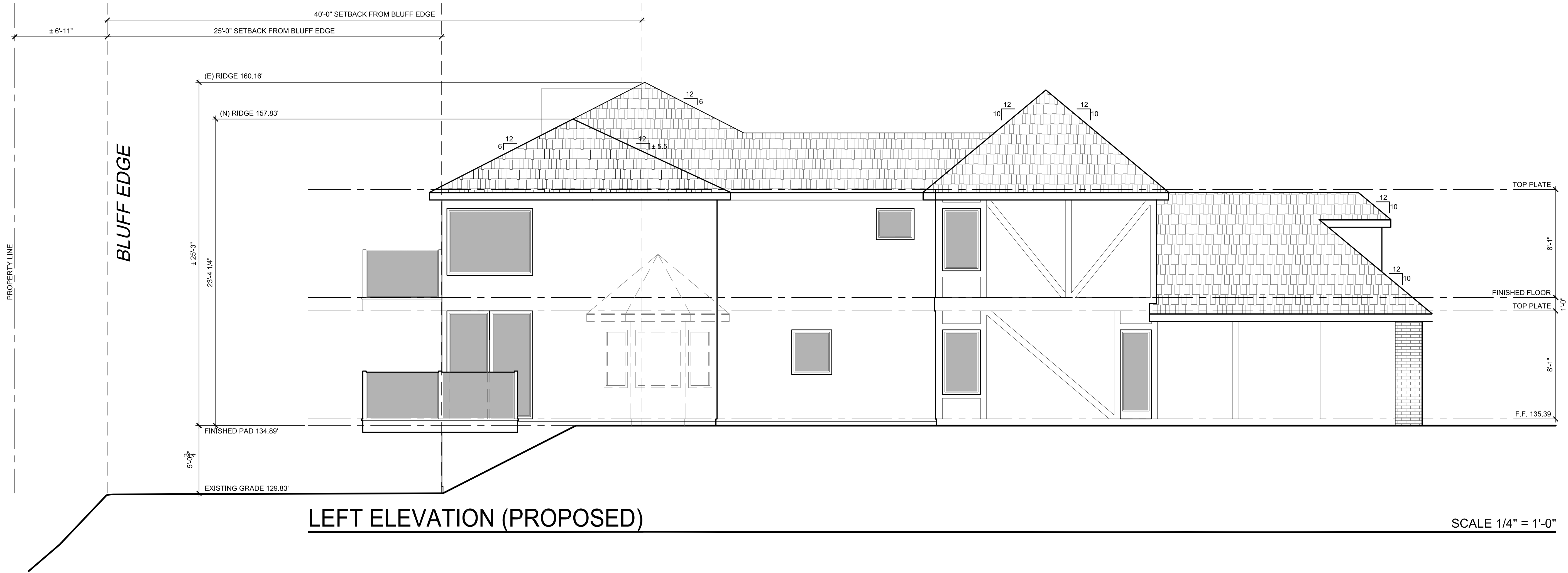
REAR ELEVATIONS

SHEET NUMBER:

A4.0

PLOT REFERENCE DATE:

06-05-17



PLAN NOTES

XX SYMBOL

FLOOR PLAN

- F1. EXISTING WALLS TO REMAIN (CLEAR)
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ROOF PLAN

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R2. NEW CALIFORNIA FRAMED ROOF OVER EXISTING (HATCHED)
ELEVATION
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E2. NEW EXTERIOR PLASTER (FINISH TBD)
E3. NEW EXTERIOR DOOR / WINDOW
E4. NEW WOOD FASCIA TO MATCH EXISTING
E5. EXISTING TO BE REMOVED PER PLAN

GENERAL NOTES:

NO NEW PERMITTED FOUNDATIONS WILL BE ALLOWED WITHIN THE BLUFF EDGE SETBACK

DESIGNED BY:
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NEAL RESIDENCE
REMODEL

OWNER:
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Capistrano Beach, CA 92624-1715
(949) 253-7920

BUILDER:

REVISIONS:

SHEET TITLE:
LEFT ELEVATIONS

SHEET NUMBER:

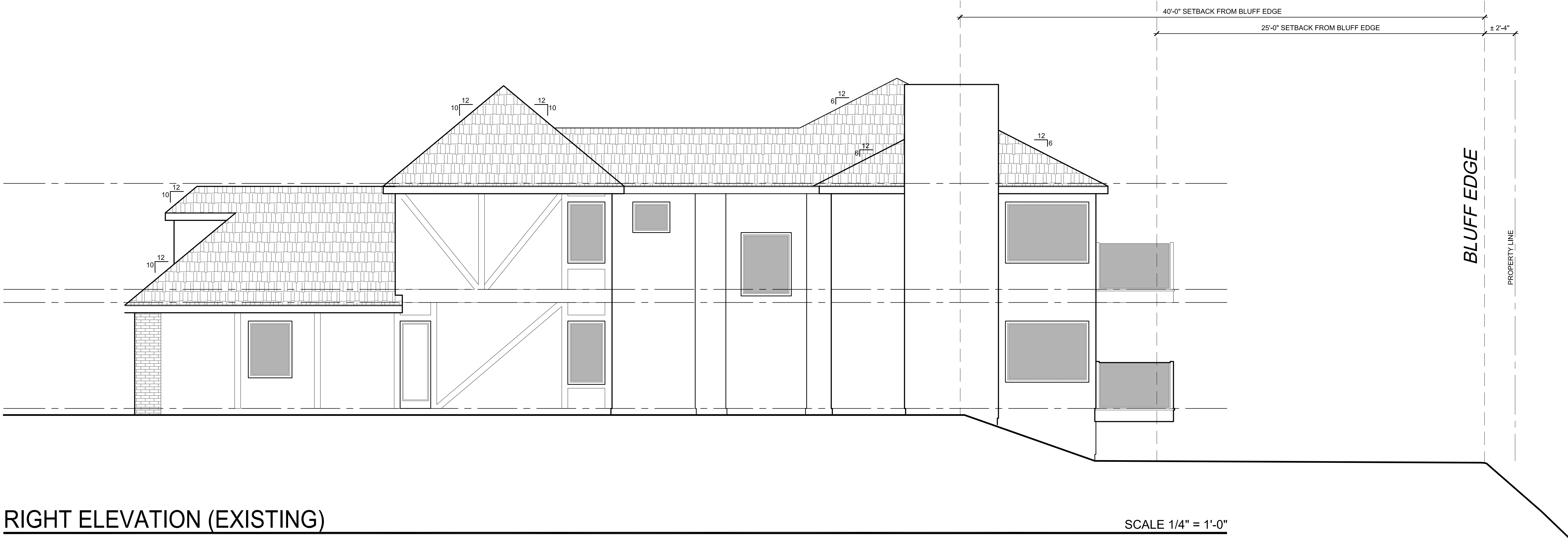
A5.0

PLOT REFERENCE DATE: 06-05-17



FRONT ELEVATION (EXISTING)
FRONT ELEVATION TO REMAIN UNCHANGED

SCALE 1/4" = 1'-0"



RIGHT ELEVATION (EXISTING)
FRONT ELEVATION TO REMAIN UNCHANGED

SCALE 1/4" = 1'-0"

PLAN NOTES

XX SYMBOL

FLOOR PLAN

- F1. EXISTING WALLS TO REMAIN (CLEAR)
- F2. EXISTING WALLS TO BE REMOVED (HATCHED)
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GENERAL NOTES:

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DESIGNED BY:

BRIAN G. WOOD

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TELEPHONE: (714) 863-9533

OWNER:

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Capistrano Beach, CA 92624-1715

(949) 253-7920

BUILDER:

REVISIONS:

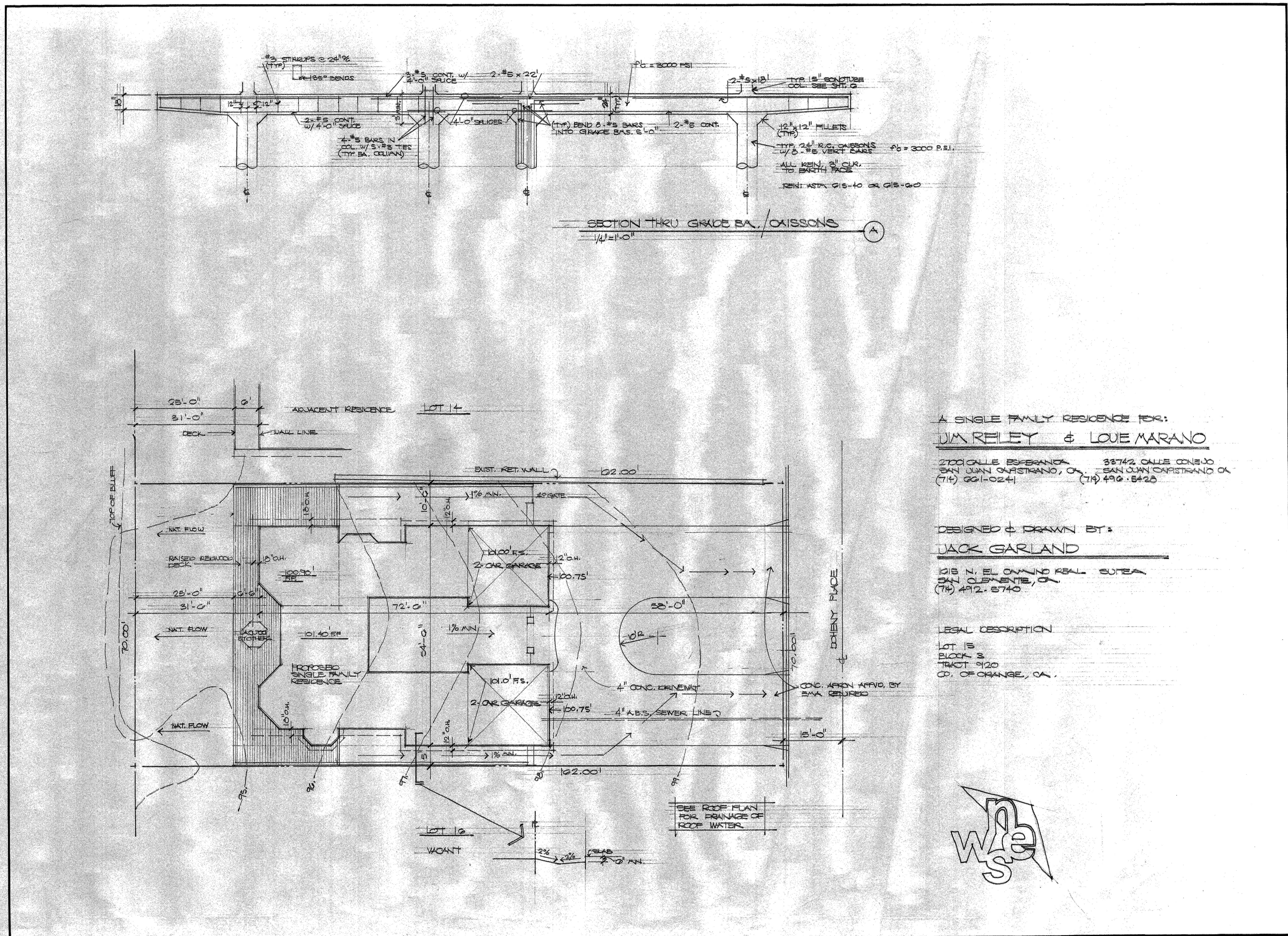
SHEET TITLE:

FRONT & RIGHT
ELEVATIONS

SHEET NUMBER:

A6.0

PLOT REFERENCE DATE: 06-05-17



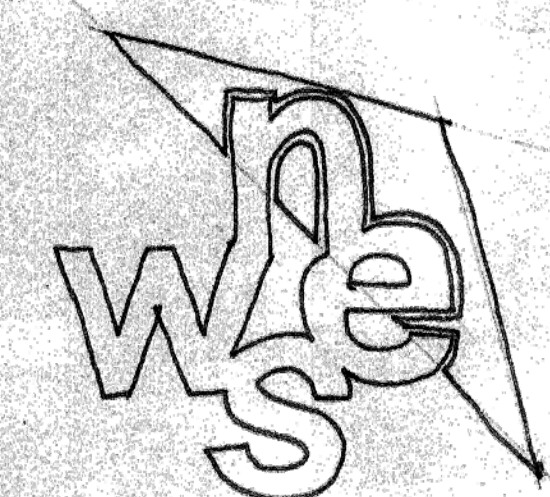
REVISIONS	BY
11.20.79	

DATE	10.25.79
SCALE	1"=10'-0"
DRAWN	J. GARLAND
JOB	7920
SHEET	1
OF	9 SHEETS

A SINGLE FAMILY RESIDENCE FOR:
DIM REILEY & LOUE MARANO
2700 CALLE ESPERANZA SAN JUAN CAPISTRANO, CA (714) 991-0241
33742 CALLE CONEJO SAN JUAN CAPISTRANO CA (714) 496-5420

DESIGNED & DRAWN BY:
JACK GARLAND
1015 N. EL CAMINO REAL SUITE 7 SAN CLEMENTE, CA (714) 492-3740

LEGAL DESCRIPTION
LOT 15
BLOCK 3
TRACT 9120
CO. OF ORANGE, CA.



DESIGNED BY:
BRIAN G. WOOD
18731 Vida Avenue
Santa Ana, CA 92705
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NEAL RESIDENCE
REMODEL

OWNER:
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34561 Delaney Place
Capistrano Beach, CA 92624-1715
(949) 253-7920

BUILDER:

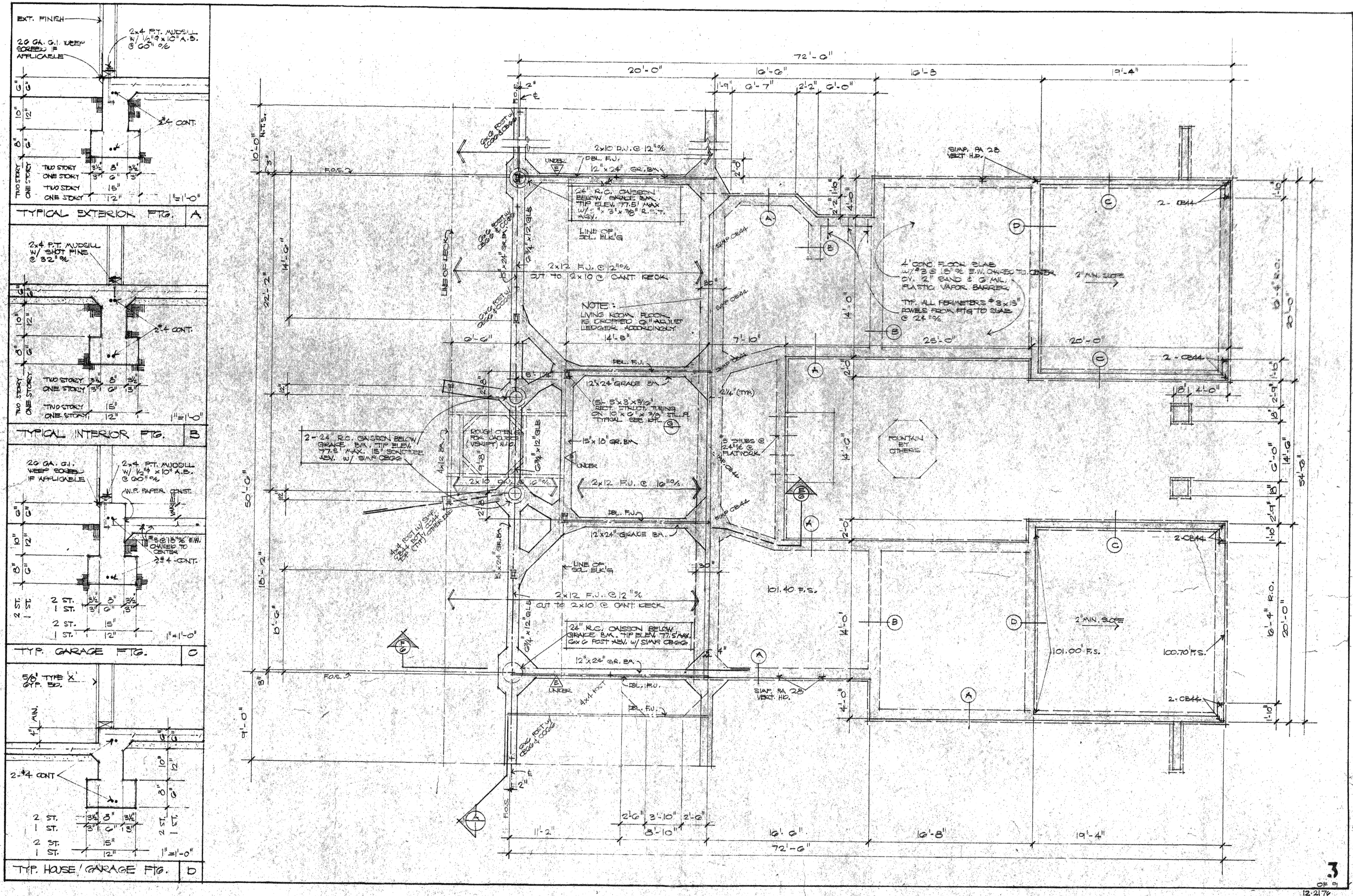
REVISIONS:

SHEET TITLE:
EXISTING DETAILS
SITE PLAN

PLOT NUMBER:

A7.0

PLOT REFERENCE DATE: 06-05-17



DESIGNED BY:
BRIAN G. WOOD
18731 Via Avenue
Santa Ana, CA 92705
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NEAL RESIDENCE REMODEL

OWNER:
Robert & Bernadette Neal
34651 Delaney Place
Capistrano Beach, CA 92624-1715
(949) 253-7920

BUILDER:

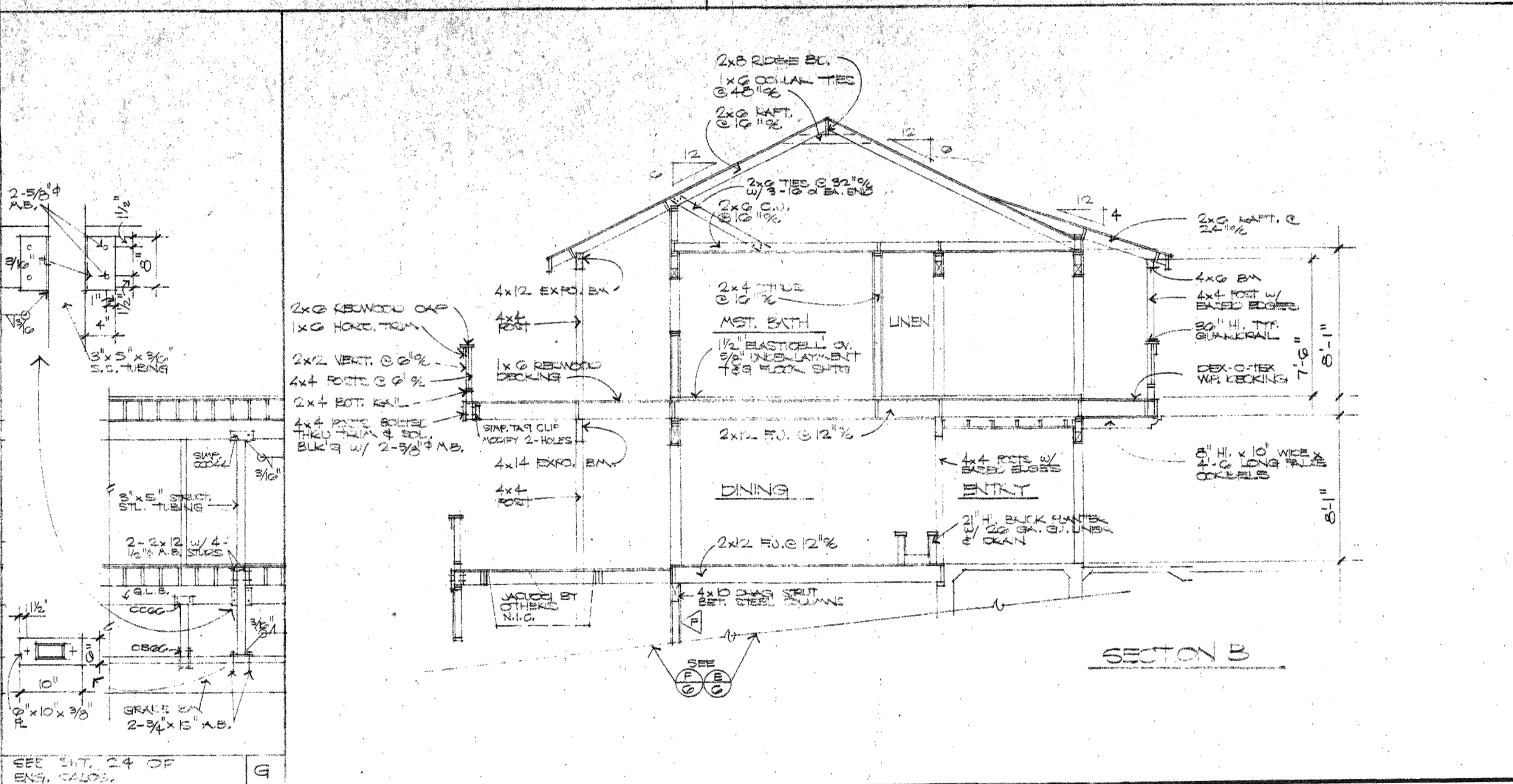
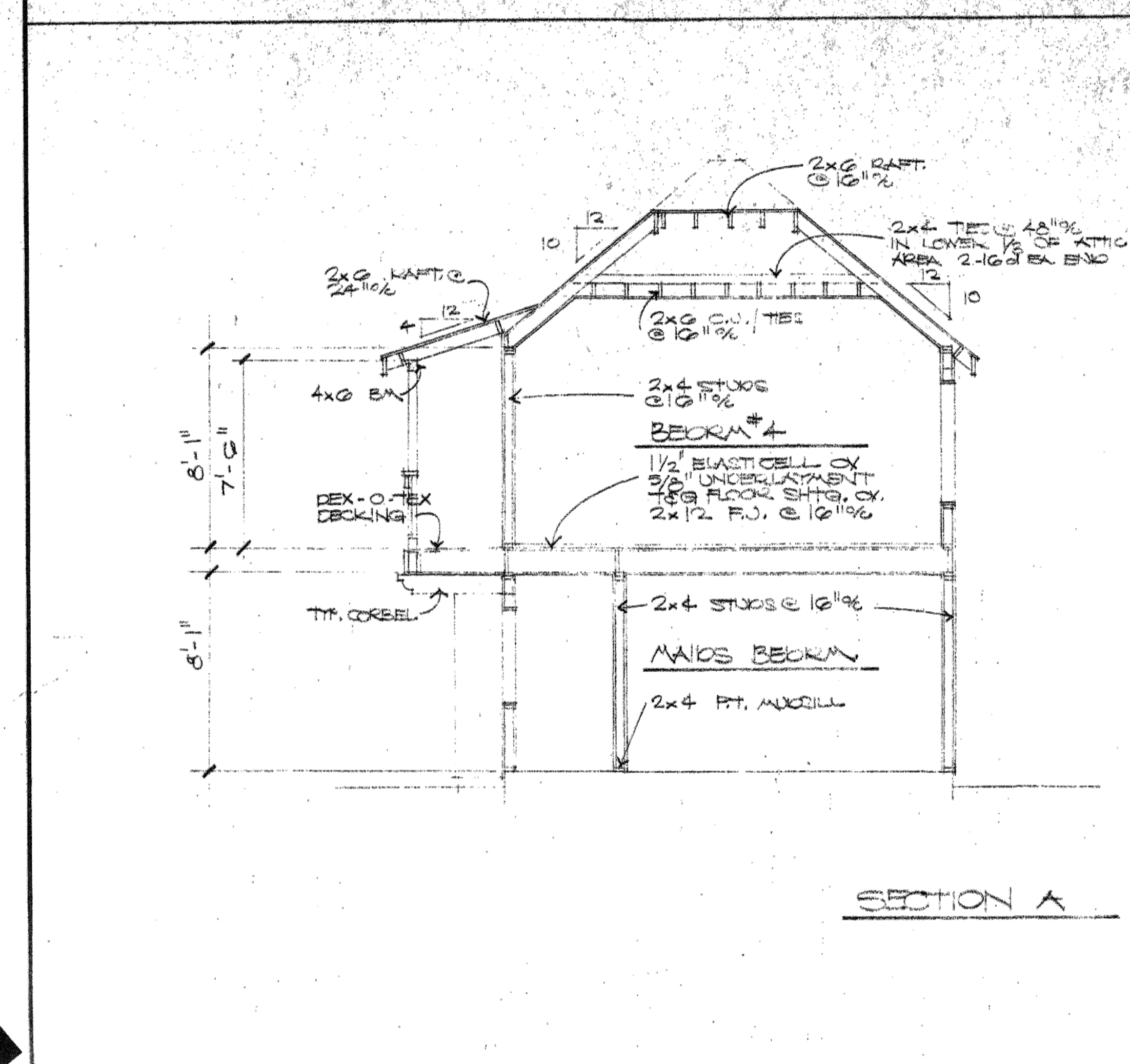
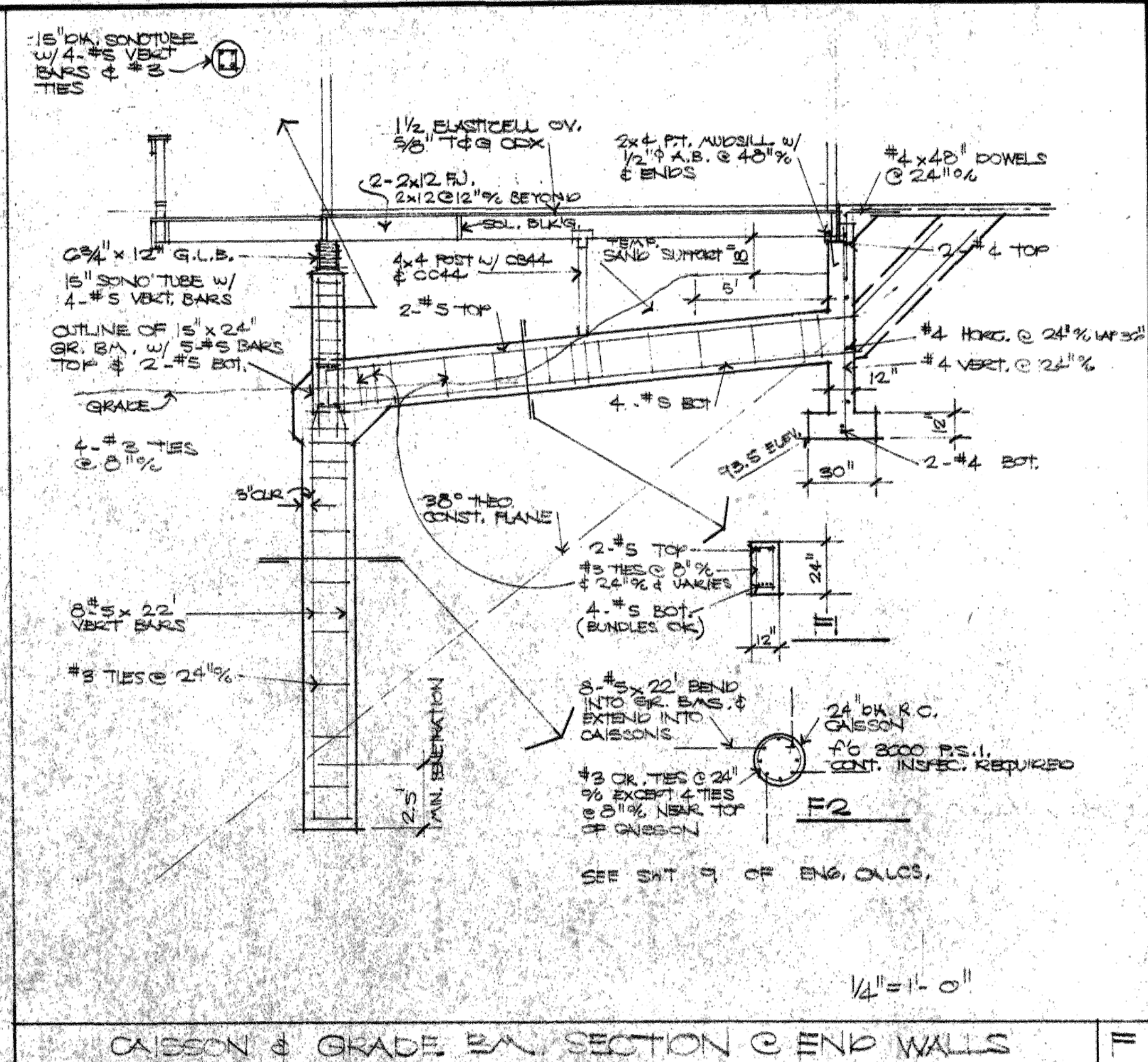
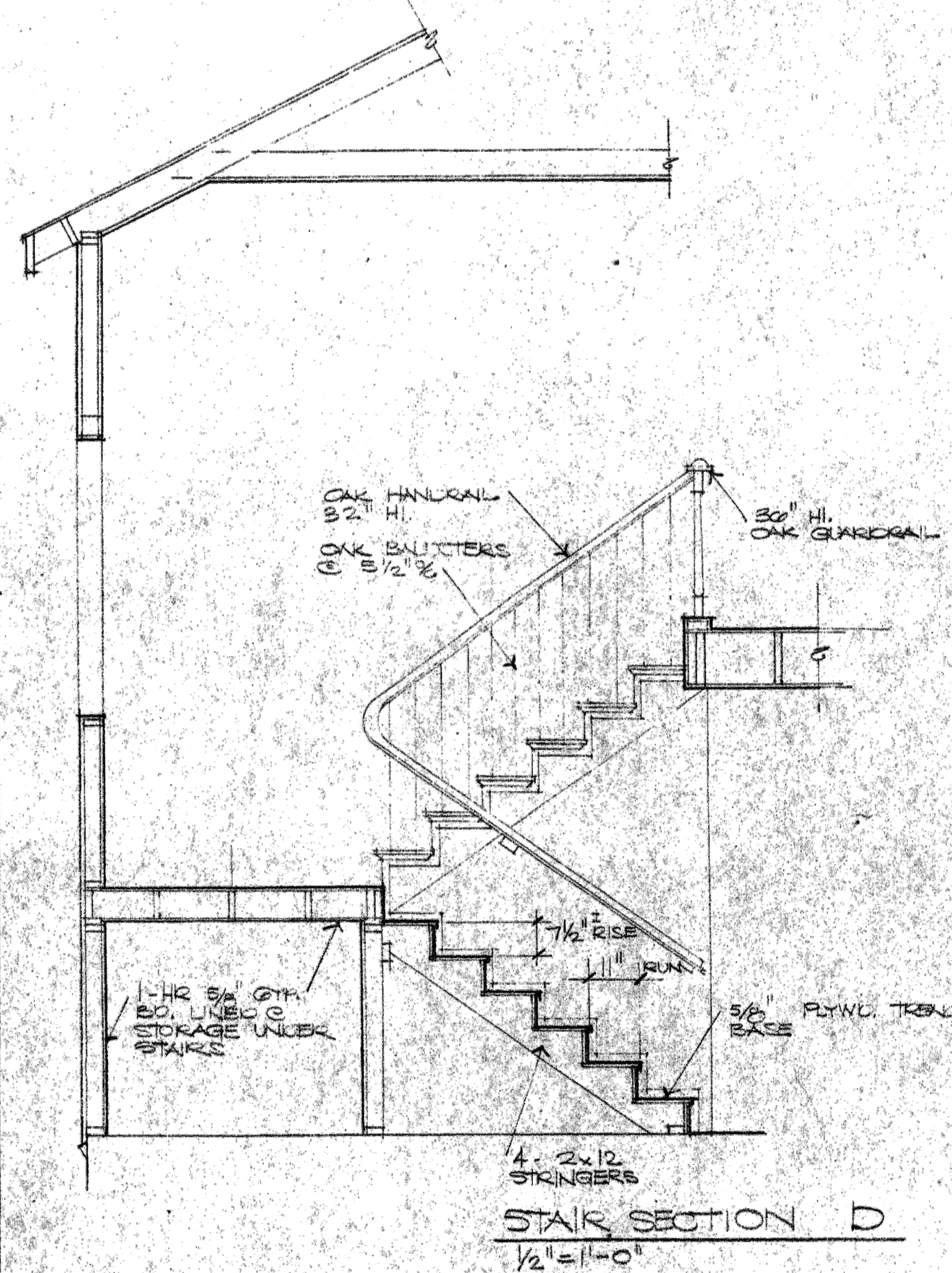
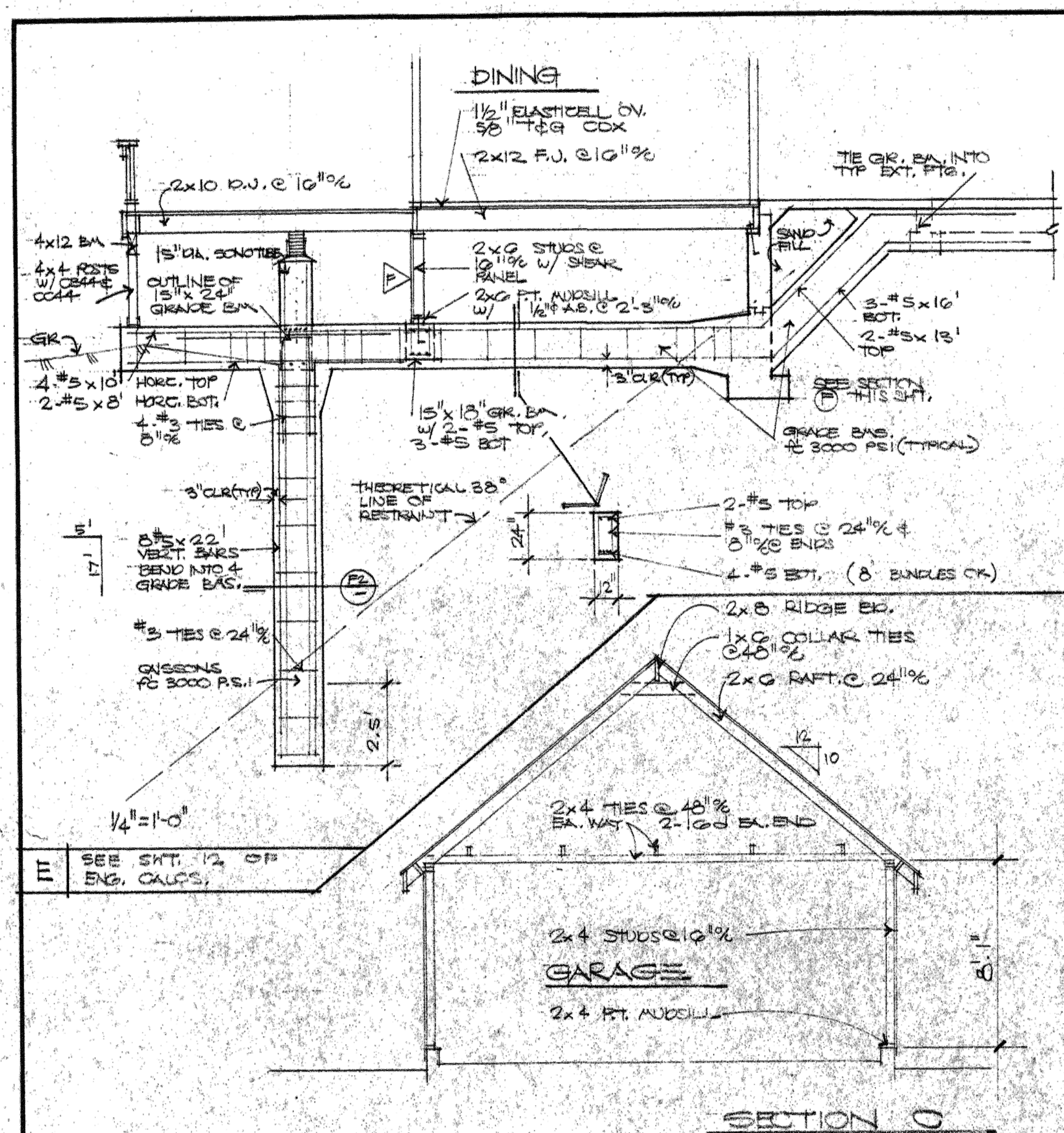
REVISIONS:

SHEET TITLE:
EXISTING
FOUNDATION

SHEET NUMBER:

A8.0

PLOT REFERENCE DATE: 06-05-17



REVISIONS	BY

DATE
SCALE
DRAWN
JOB
7720
SHEET
6