

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JUNE 26, 2017

TO: DANA POINT PLANNING COMMISSION

**FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
BELINDA DEINES, SENIOR PLANNER**

**SUBJECT: SITE DEVELOPMENT PERMITS SDP16-0001 AND SDP16-0002 TO
ALLOW THE CONSTRUCTION OF TWO DETACHED DWELLING UNITS
ON EACH OF TWO CONTIGUOUS SITES IN THE RESIDENTIAL
DUPLEX (RD-14) ZONING DISTRICT AT 34466 AND 34468 VIA VERDE**

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Site Development Permits SDP16-0001 and SDP16-0002.

REPRESENTATIVE: Haitham A. Hafeez, Civil Engineer

APPLICANT: Yaqout Investments, LLC

REQUEST: Approval of Site Development Permits 16-0001 and 16-0002 to allow the demolition of an existing single-family residence and the construction of two detached dwelling units on each of two contiguous sites in the Residential Duplex (RD-14) Zoning District.

LOCATION: 34466 and 34468 Via Verde (APN 691-401-10, 11)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on June 15, 2017, published within a newspaper of general circulation on June 15, 2017, and posted on June 23, 2017 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (b) (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of less than six dwelling units.

ITEM #2

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC for approval of a Site Development Permit (SDP).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The 19,050 square-foot project site is comprised of two adjacent residential lots, Lots 29 and 30, measuring 9,484 square feet and 9,566 square feet, respectively. Lot 30 currently contains an existing single-family residence. Lot 29 is effectively vacant, although a small portion of exterior hardscape on Lot 30 extends onto Lot 29. The project site is zoned as “Residential Duplex 14” (RD-14) which allows one residential dwelling unit for each 2,500 square feet of land area and has a General Plan designation of Residential 7-14 du/acre. The project site is not located within the City’s Coastal Overlay District (the California Coastal Zone).

On June 13, 2016, the Planning Commission conducted a public hearing for the proposed project. During public comment, neighbors expressed concerns related to view obstruction, onsite parking, and impacts to street parking. The Planning Commission voted 4-1 to table the project with direction to staff to work with the applicant on the architecture and parking (Supporting Document 2).

DISCUSSION: In response to the comments provided by the Planning Commission, the applicant has made changes to the architectural design and has provided additional guest parking spaces onsite. The architectural style has been modified from a traditional, Mediterranean-inspired style to a soft contemporary design.

With regard to neighborhood compatibility and design articulation, the applicant proposes reductions of approximately 1,979 square feet in overall floor area from the previous submittal. The number of bedrooms has been reduced from five to four bedrooms for each of the four dwelling units, and the amount of floor area has been reduced to address concerns related to mass and scale:

Table 1: Reduction in Floor Area

Unit	PC 6/13/16 1st Hearing Proposed Floor Area	PC 6/26/17 2nd Hearing Proposed Floor Area	Change in Floor Area
A-1	2,800 SF	2,545 SF	- 255 SF
B-1	2,800 SF	2,540 SF	- 260 SF
A-2	3,303 SF	2,577 SF	- 726 SF
B-2	3,303 SF	2,565 SF	- 738 SF

Furthermore, the applicant has provided a total of six uncovered guest parking spaces in addition to the required eight covered parking spaces for the four units.

The general development standards for this property are set forth in Zoning Code Chapter 9.09 (Residential Development Standards):

Table 2: Compliance with RD 14 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback	20 feet minimum	20'-2"	Yes
Side Setbacks	4 feet minimum	4'	Yes
Rear Setback	15 feet minimum	15'-1"	Yes
Height	24 feet maximum Less than 3:12 roof pitch	23'-7" 3:12 roof pitch	Yes
Lot Coverage	50% maximum	40%	Yes
Landscape Coverage	25% minimum	37.1%	Yes
Parking Required	4 two-car garages (8 covered parking spaces) minimum	8 covered parking spaces and 6 guest parking spaces	Yes

The City sent the previous plans for architectural peer review to the City's design consultant, SZFM Design Studio. The consultant provided a red-lined set of plans corresponding with the following recommendations:

- All four buildings have three well developed sides and one underdeveloped side (labelled "Side Elevation"). These side elevations are flat without any detail and need to be further refined to be on par with all other elevations.
- For all buildings, the large two-car garage doors should be divided into two individual garage doors. The top of Unit B-2's garage doors should align with the top of the building's other openings on the ground floor.
- A mixture of gable and hip roof types are used for all buildings. Modify as noted on the attached set for all buildings to have completely gable roofs.
- In these drawings, roof edge details appear clunky and do not accurately represent the style of roof tiles that the applicant specified (Capistrano by Eagle Roofing). Have the applicant provide roof edge details, and verify that they match the specified roof tiles and are both well thought-out and elegant.
- Throughout the project, windows that appear flush with the exterior walls are not desirable because they flatten the elevation. All windows should be recessed rather than aligned with the exterior walls.

In response to the peer review, the applicant has redesigned the proposed units from a traditional style to a contemporary design. Proposed exterior finishes include textured stucco, clay tile roofing, wood trellis patio covers and entry arbors, and stone veneer

columns. Additional articulation techniques such as wall offsets, wood overhang features, gabled roofing, and recessed windows have been applied to the project.

It should be noted on the architectural plans (Supporting Document 5) that the proposed wood trellis patio covers must be revised to meet setback requirements along the front and rear setbacks. The applicant intends to revise the proposed patio covers to meet the maximum allowable projections pursuant to DPMC Section 9.05.080(m) as redlined on the plan set. Compliance with front and rear setbacks for the wood trellis patio covers will be verified prior to building permit issuance.

The project is found to comply with all other applicable development standards of the Dana Point Zoning Code and no variances or other deviations are requested.

Site Development Permits SDP16-0001 and 16-0002

The subject application proposes the construction of two detached dwelling units on each of two contiguous sites and pursuant to DPZC Section 9.71.020 approval of a Site Development Permit is required. Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a Site Development Permit:

- 1. Compliance of the site design with development standards of this Code.*
- 2. Suitability of the site for the proposed use and development.*
- 3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
- 4. Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Staff's recommended findings to approve Site Development Permits 16-0001 and 16-0002 are set forth in the attached Draft Resolution.

CORRESPONDENCE: Staff has received letters (Supporting Document 6) and phone calls from the neighbors expressing concerns related to general design compatibility and enhancement, pursuant to Dana Point Municipal Code Section 9.05.130.

CONCLUSION: Staff finds the proposed project consistent with the policies and provisions of the Dana Point General Plan and Zoning Code. As the project has been found to comply with all standards of development and findings can be made for approval of the request, staff recommends the Planning Commission adopt the attached resolution, approving Site Development Permits SDP16-0001 and 16-0002.



Belinda Deines, Senior Planner



Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 17-06-26-xx

Supporting Documents

2. Planning Commission Minutes and Agenda Report – 6/13/16
3. Vicinity Map
4. Color Renderings
5. Architectural Plans
6. Written Correspondence

RESOLUTION NO. 17-06-26-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMITS SDP16-0001 AND 16-0002 TO ALLOW THE CONSTRUCTION OF TWO DETACHED DWELLING UNITS ON EACH OF TWO CONTIGUOUS SITES IN THE RESIDENTIAL DUPLEX (RD-14) ZONING DISTRICT AT 34466 AND 34468 VIA VERDE

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Haitham A. Hafeez (the "Applicant") has filed applications on behalf of Yaqout Investments, LLC ("Owner"), the Owner of real property commonly referred to as 34466 and 34468 Via Verde (APN's: 691-401-10 and 11) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Site Development Permit to allow the construction of two new, detached dwelling units on each of two contiguous sites; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the project is Categorically Exempt per Section 15303 (b) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of less than six dwelling units; and

WHEREAS, the Planning Commission did, on the 26th day of June, 2017 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Site Development Permits SDP16-0001 and 16-0002.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct and incorporated herein by this reference.

Findings:

- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves SDP16-0001 and SDP16-0002 subject to conditions:

1. That the site design is in compliance with the standards of the Dana Point Zoning Code in that all proposed development is permitted in the property's Residential Duplex 14 (RD-14) Zoning District, subject to approval of a SDP. The subject project has been reviewed by Planning and Building/Safety Divisions as well as the Public Works/Engineering Department and found to conform to all standards of development.
2. That the site is suitable for the proposed use and development in that the proposed project is a medium density residential development that complies with the intended use and density standard established by the property's RD-14 Zoning District.
3. That the project complies with all elements of the General Plan as well as applicable provisions of the City's Urban Design Guidelines in that the proposed residential development has been designed to complement existing residential development in the vicinity in both form and mass, and coupled with new or additional site landscaping, constitutes an overall enhancement of the subject property.
4. That the site and structural design are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, in that the proposed development conforms to the standards of the property's RD-14 Zoning District and is consistent with existing surrounding development in terms of size, mass and scale.

Conditions:

A. General:

1. Approval of this application allows the construction of two, new detached dwelling units on each of two contiguous sites at 34466 and 34468 Via Verde. Subsequent submittals shall be in substantial compliance with the plans presented to the Planning Commission and in compliance with applicable provisions of the Dana Point Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

The approved plans will be modified with regard to the proposed wood trellis patio covers to meet maximum allowable projections into the front and rear setbacks pursuant to DPMC Section 9.05.090(m) as redlined on the plan set. Compliance with front and rear setbacks for the wood trellis patio covers will be verified prior to building permit issuance.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The applicant shall be responsible for coordination with SDG&E, AT&T California and Cox Communication Services for the provision of electric, telephone and cable television services, including any existing or proposed easements.
9. The use of the public right of way for construction purposes shall not be allowed. An encroachment permit is required for all use of the public right-of-way.
10. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion control measures. The applicant shall maintain the erosion control devices until the final approval of all permits.
11. During the construction phase, all construction materials, wastes, grading or demolition debris, and stockpiles shall be properly managed to prevent transport into the streets, gutters, storm drains.

B. Prior to Issuance of a Grading Permit:

12. The applicant shall submit grading plans, in compliance with City standards, for review and approval by the City Engineer and/or Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
13. Any damaged to City owned street or property by the applicant's work shall be repaired per City Standards and as directed by the City Engineer.
14. Surety to guarantee the completion of the project grading and drainage improvements, including erosion control, up to 100% of the approved Engineer's cost estimate shall be posted to the satisfaction of the City Engineer and the City Attorney.
15. The applicant shall submit a geotechnical report in accordance with City standards. The applicant shall prepare a detailed geotechnical report for review and approval by the City Engineer.

16. The grading plans shall depict the size and location of existing and proposed gas, sewer and water and electrical conduit from the point of connection in the Public Right-of-Way to the building.
17. The easement agreement for the proposed shared driveway and any other shared uses will be evaluated prior to permit issuance by the City Engineer. All agreements and/or easements shall be submitted for review and approval.
18. The applicant shall maintain the proposed minimal amount of impervious area for compliance with the City's MS4 permit. Additional impervious area or revisions during the construction process may require the submittal of a Water Quality Management Plan (WQMP) for review and approval.

C. Prior to Issuance of a Building Permit:

19. The applicant shall apply for any Building Permits required to facilitate the grading activities, such as shoring or retaining wall construction. The review and approval of these applications shall be processed through the Building Department. All permits required to facilitate grading activities will be issued concurrently with the grading permit.
20. The applicant shall obtain a grading permit and complete rough grading (establishment of building pad) in accordance with the approved grading plans and reports.
21. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (per the City's standard Civil Engineer's Certification Template for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
22. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable

setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

23. The applicant shall submit a rough grade certification from the geotechnical professional for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical professional (per the City's standard Geotechnical Engineer's Certification Template for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plans and report.

D. Prior to Issuance of a Certificate of Use and Occupancy:

24. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
25. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
26. All work in the right-of-way shall be completed in conformance with the Improvement and Encroachment Permit conditions to the satisfaction of the City Engineer.
27. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
28. Any and all outstanding fees associated with any part of the entire project shall be paid.
29. All permanent BMP's and/or landscaping shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
30. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 26th day of June, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric A. Nelson, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department

**CITY OF DANA POINT
PLANNING COMMISSION
REGULAR MEETING MINUTES**

June 13, 2016
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Liane Schuller (Planner) provided a staff report and responded to questions of the Commission.

There were no requests to speak on this item.

Commissioner Murphy stated that the project made good use of the sloping topography. She added that the house is attractive with great detail and interest. She stated that it fits the space well.

Vice-Chairman Nelson stated that this is a great development on a tricky site.

Commissioner McKhann stated that the project is on a difficult site, but many people will get to enjoy the architecture of the project and he commended the designer.

Commissioner Dohner declined to comment.

Chairwoman O'Connor stated that she was glad for the step-backs between stories which added visual articulation. She added that the designer did a great job on a difficult site and stated that from the street the project appeared to be a two-story structure.

ACTION: Motion made (Murphy) and seconded (Dohner) to adopt Resolution No. 16-06-13-21 approving Site Development Permit SDP16-0013 to allow the construction of a new, three-story single-family dwelling on vacant land located in the Residential Single-Family (RSF-7) Zoning District at 33871 Calle La Primavera. Motion carried 5-0-0.

AYES: Dohner, McKhann, Murphy, O'Connor, Nelson
NOES: None
ABSENT: None
ABSTAIN: None

ITEM 8: Site Development Permits SDP16-0001 and SDP16-0002 to allow the construction of two detached dwelling units on each of two contiguous sites in the Residential Duplex (RD-14) zoning district at 34466 and 34468 Via Verde

Applicant: Haitham A. Hafveez

Location: 34466 and 34468 Via Verde (APN 691-401-10, 11)

Recommendation: That the Planning Commission adopt the attached Draft Resolution approving Site Development Permits SDP16-0001 and SDP16-0002.

**CITY OF DANA POINT
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Environmental: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Section 15303 (b) (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of less than six dwelling units.

Request: Approval of Site Development Permits 16-0001 and 16-0002 to allow the demolition of an existing single-family residence and the construction of two detached dwelling units on each of two contiguous sites in the Residential Duplex (RD-14) Zoning District.

Liane Schuller (Planner) provided a staff report and responded to questions of the Commission.

There were three (3) requests to speak on this item.

Chairwoman O'Connor opened the Public Hearing at 7:49 p.m.

Guadalupe Llopart (Resident) stated that she is concerned that her view will be obstructed by this project.

Penelope Wetton (Resident) declined to comment.

Rose Sparks (Resident) stated that she is concerned about the parking for this project. She added that there isn't any street parking currently. She added that the lot is for sale.

Haitham Hafveez (Applicant) stated that parking was discussed with staff. He added that the project is compliant with parking standards and it is similar to a neighboring property.

Chairwoman O'Connor closed the Public Hearing at 7:53 p.m.

Commissioner Dohner stated that he is concerned with parking and he does not see the property's parking situation as similar to the neighboring property.

Commissioner McKhann stated that he is sympathetic to the parking issues raised. He added that he does not favor the featureless elevations and would prefer to see more architectural features. He stated that a Condition of Approval should be added requiring the Applicant to submit a recorded copy of an easement prior to obtaining a building permit.

Chairwoman O'Connor stated that the density of the project is too high even though it complies with the code. She stated that the design is problematic.

**CITY OF DANA POINT
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Vice-Chairman Nelson stated that this is a difficult situation, but the Planning Commission must act based on the code.

Commissioner Murphy stated that the project is too dense. She added that while she agrees with Vice-Chairman Nelson, she is torn on her decision.

Commissioner McKhann asked the Commission if anyone else agrees with his architecture concerns.

Ursula Luna-Reynosa (Director) replied that the applicant can work with staff on design prior to issuing permits.

Jennifer Farrell (Deputy City Attorney) offered options to facilitate the discussion which included approval of the project with added conditions, deny the project, or continue or table the item in order for staff to further work with the applicant.

Commissioner Dohner stated that he is in favor of tabling the item.

Chairwoman O'Connor stated that the project is not suitable for the site.

Commissioner Murphy stated that she is in favor of tabling the item.

Chairwoman O'Connor agreed with tabling the item with direction to staff to work with the applicant on the architecture and parking.

Commissioner McKhann asked if the density should be addressed.

Ursula Luna-Reynosa (Director) clarified that the term "density" for the project applies to the number of units, not bedroom count, which complies with the code.

ACTION: Motion made (Murphy) and seconded (O'Connor) to table Site Development Permits SDP16-0001 and 16-0002 to allow the construction of two detached dwelling units on each of two contiguous sites in the Residential Duplex (RD-14) Zoning District at 34466 and 34468 Via Verde and directed staff to work with applicant to reevaluate design, parking and number of bedrooms within the project. Motion carried 4-1-0.

AYES: Dohner, McKhann, Murphy, O'Connor
NOES: Nelson
ABSENT: None
ABSTAIN: None

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JUNE 13, 2016

TO: DANA POINT PLANNING COMMISSION

**FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
LIANE SCHULLER, PLANNER**

**SUBJECT: SITE DEVELOPMENT PERMITS SDP16-0001 AND SDP16-0002 TO
ALLOW THE CONSTRUCTION OF TWO DETACHED DWELLING
UNITS ON EACH OF TWO CONTIGUOUS SITES IN THE RESIDENTIAL
DUPLEX (RD-14) ZONING DISTRICT AT 34466 AND 34468 VIA VERDE**

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Site Development Permits SDP16-0001 and SDP16-0002.

APPLICANT: Haitham A. Hafeez

OWNER: Yaqout Investments, LLC

REQUEST: Approval of Site Development Permits 16-0001 and 16-0002 to allow the demolition of an existing single-family residence and the construction of two detached dwelling units on each of two contiguous sites in the Residential Duplex (RD-14) Zoning District.

LOCATION: 34466 and 34468 Via Verde (APN 691-401-10, 11)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on June 2, 2016, published within a newspaper of general circulation on June 2, 2016, and posted on June 2, 2016 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (b) (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of less than six dwelling units.

ITEM #8

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC for approval of a Site Development Permit (SDP).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The 19,050 square-foot project site is comprised of two adjacent residential lots, Lots 29 and 30, measuring 9,484 square feet and 9,566 square feet, respectively. Lot 30 currently contains an existing single-family residence. Lot 29 is effectively vacant, although a small portion of exterior hardscape on Lot 30 extends onto Lot 29.

The project site is zoned as "Residential Duplex 14" (RD-14) which allows one residential dwelling unit for each 2,500 square feet of land area and has a General Plan designation of Residential 7-14 du/acre.

The project site is not located within the City's Coastal Overlay District (the California Coastal Zone).

DISCUSSION: The proposed scope of work includes the removal of all existing site improvements and the construction of two new, detached duplexes, one on each lot (for a total of four dwelling units). A common access driveway is proposed down the center of the project site, straddling the common property line. The common access driveway will require the recordation of an easement between the two lots, which is included as a condition of approval in the Draft Resolution (Attachment 1).

The general development standards for this property are set forth in Zoning Code Chapter 9.09 (Residential Development Standards). New development on this site is required to observe a 20'-0" front setback, 4'-0" side setbacks, and a 15'-0" rear setback. The proposed development complies with these setback requirements, as well as the specified height limit, parking, lot coverage, and open space requirements.

The proposed residential structures each feature an attached two-car garage and private backyard area. Each two-story dwelling unit has five bedrooms, and five and one-half bathrooms. The 2,800 square-foot units at the front of each lot (Units A-1 and B-1) are mirror images of one another. The rear units on each site (Unit A-2 and B-2) are also mirror-images of each other and are slightly larger at 3,303 square-feet each.

A two-car, attached garage is provided for each proposed dwelling unit, which complies with the parking standards set forth in Zoning Code Chapter 9.35 (two-car garage

required for detached homes with five bedrooms or less).

The project complies with the maximum allowed height limit of 28'-0", which is based upon the 6/12 roof slope proposed for each residential structure. Proposed exterior finishes include textured stucco and concrete roof tile. Decorative shutters and stone cladding are proposed to add architectural interest to the entry elevation of each structure. A color and materials sheet is attached for review (Attachment 4).

The proposed development is required to provide open space equal to 20% of the project site area. The project as designed provides 2,784 square feet of open space on Lot 29 and 2,818 square feet on Lot 30, for an overall open space area of 5,602 square feet. This exceeds the minimum requirement of 3,810 square feet, and meets the intent of the code to provide sufficient open areas for the use and enjoyment of the residents of the residential units. The provided open space includes landscaped areas within the side and rear yards, ground level patios and upper level deck areas.

The project is found to comply with all applicable development standards of the Dana Point Zoning Code and no variances or other deviations are requested.

Site Development Permits SDP16-0001 and 16-0002

The subject application proposes the construction of two detached dwelling units on each of two contiguous sites and pursuant to DPZC Section 9.71.020 approval of a Site Development Permit is required. Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a Site Development Permit:

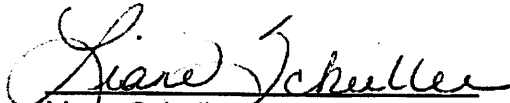
1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Staff's recommended findings to approve Site Development Permits 16-0001 and 16-0002 are set forth in the attached Draft Resolution.

CORRESPONDENCE: No correspondence related to the proposed project has been received to-date.

CONCLUSION: Staff finds the proposed project consistent with the policies and provisions of the Dana Point General Plan and Zoning Code. As the project has been found to comply with all standards of development and findings can be made for

approval of the request, staff recommends the Planning Commission adopt the attached resolution, approving Site Development Permits SDP16-0001 and 16-0002.


Liane Schuller
Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 16-06-13-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Color and Materials
5. Architectural Plans

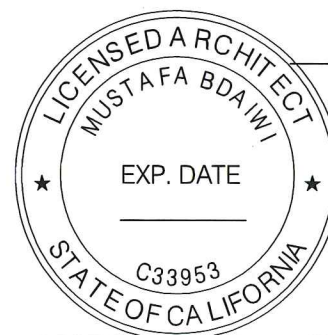


① COLORED MAIN ELEVATION
1/8" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714-673-6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

UNIT A-1

CLIENT NAME:

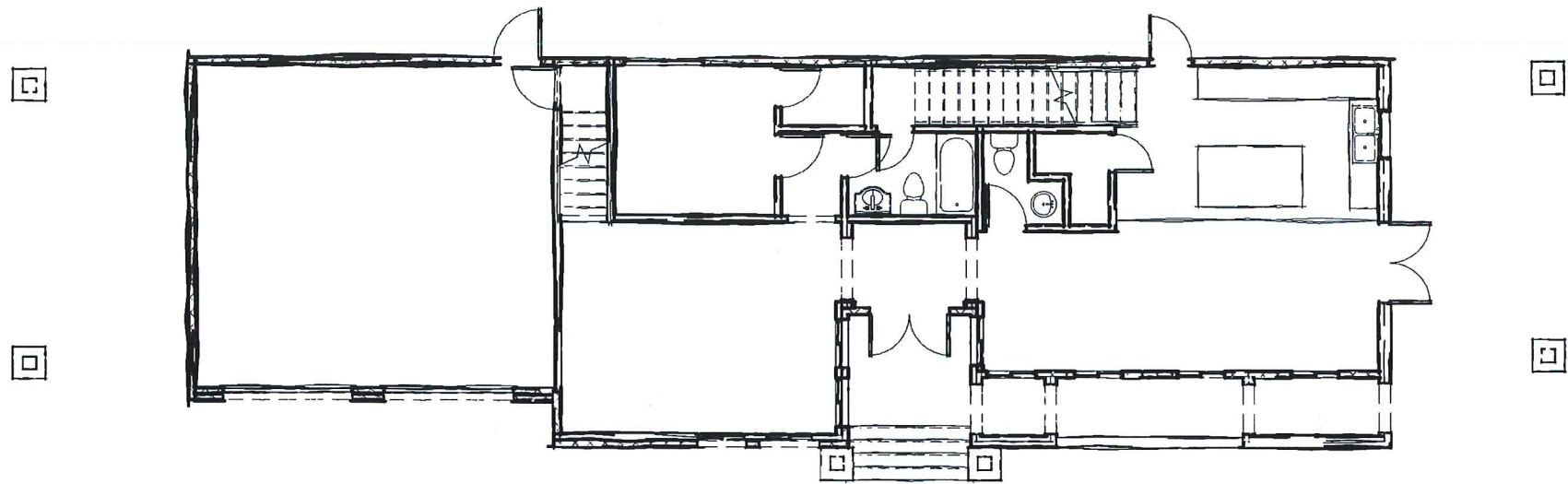
MAIN ELEVATION

CLIENT NAME:	YAQOUT
Project number	1516INVESTMENTS LLC.
Date	09/10/2016
Drawn by	Author

Scale 1/8" = 1'-0"



A COLORED BACK ELEVATION
1/8" = 1'-0"



B FIRST FLOOR PLAN
3/32" = 1'-0"

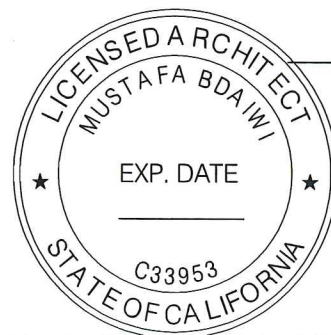


C SECOND FLOOR PLAN
3/32" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714-673-6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

UNIT A-1

CLIENT NAME:
FLOOR PLANS

CLIENT NAME: YAQOUT
Project number: 1516 INVESTMENTS LLC.
Date: 09/10/2016
Drawn by: Author

PRELIM-2

Scale As indicated

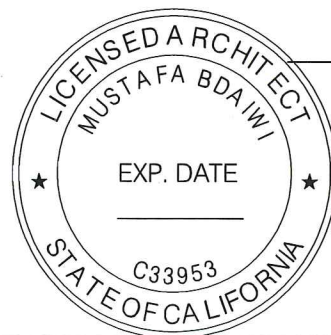


① COLORED MAIN ELEVATION
1/8" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714-673-6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

UNIT A-2

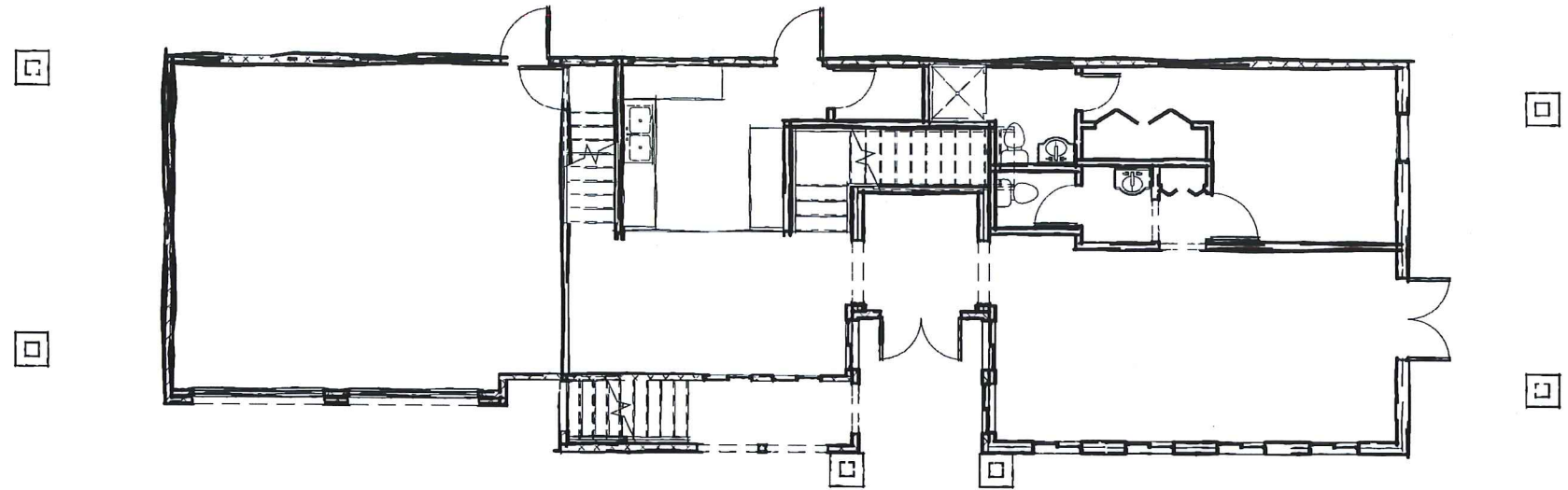
CLIENT NAME:
MAIN ELEVATION

CLIENT NAME: YAQOUT
Project number: 1516INVESTMENTS LLC.
Date: 09/10/2016 PRELIM-1
Drawn by: Author

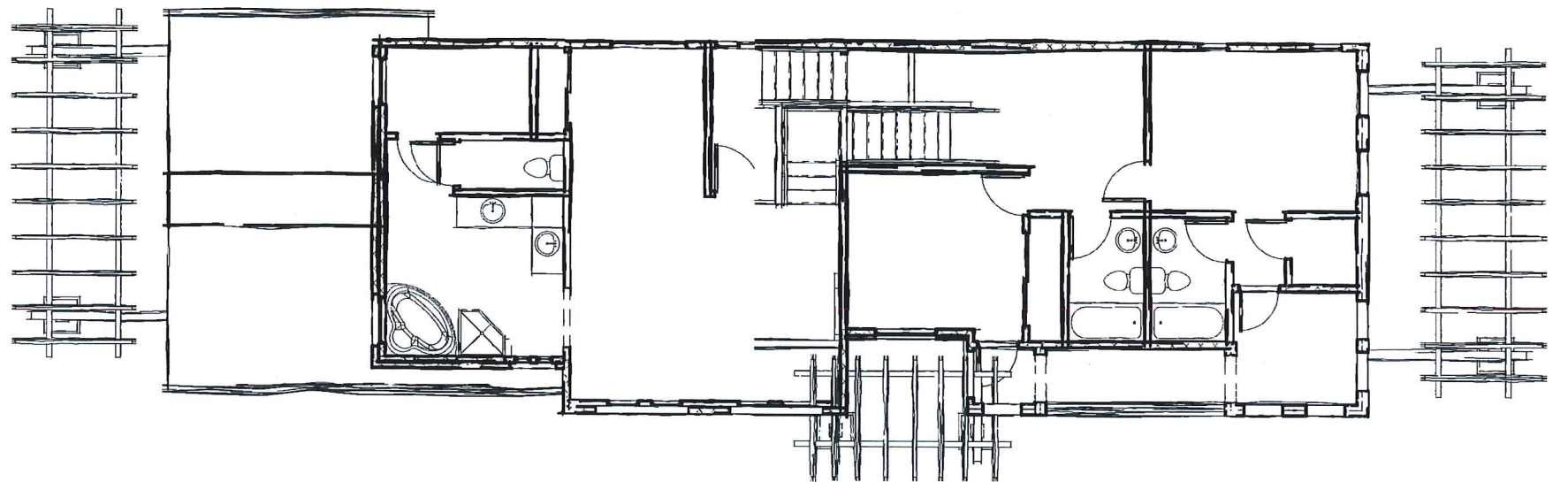
Scale 1/8" = 1'-0"



A COLORED BACK ELEVATION
1/8" = 1'-0"



B FIRST FLOOR PLAN
3/32" = 1'-0"

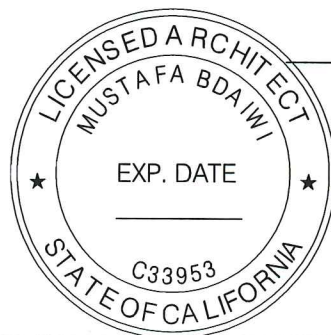


C SECOND FLOOR PLAN
3/32" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714-673-6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

UNIT A-2

CLIENT NAME:
FLOOR PLANS

CLIENT NAME: YAQOUT
Project number: 1516INVESTMENTS LLC.
Date: 09/10/2016
Drawn by: Author

Scale: As indicated

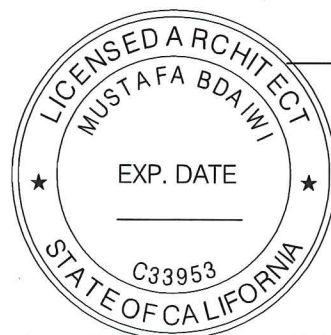


1 COLORED MAIN ELEVATION
1/8" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714-673-6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

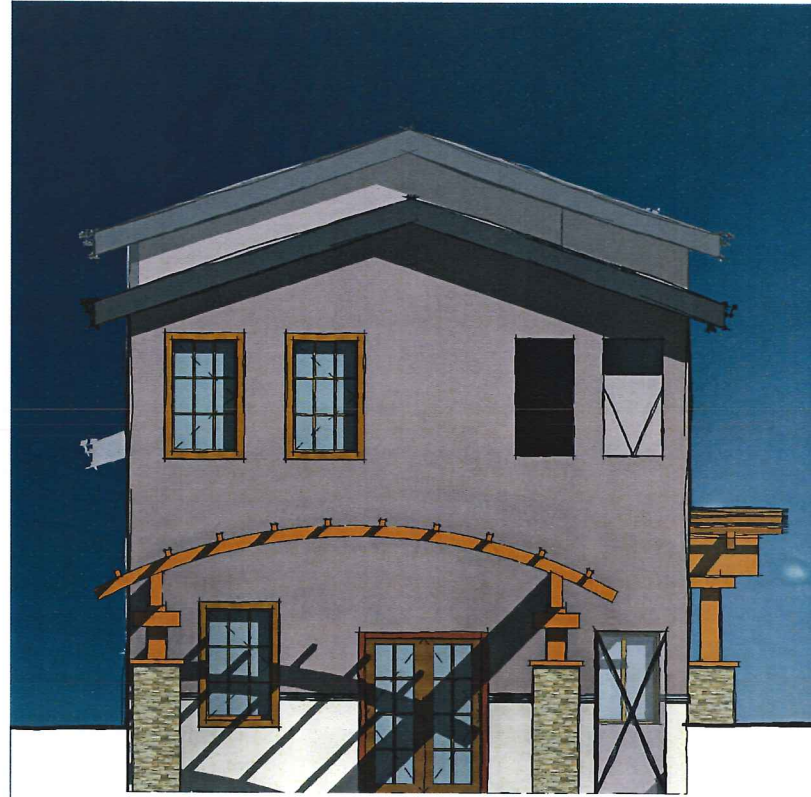
UNIT B-1

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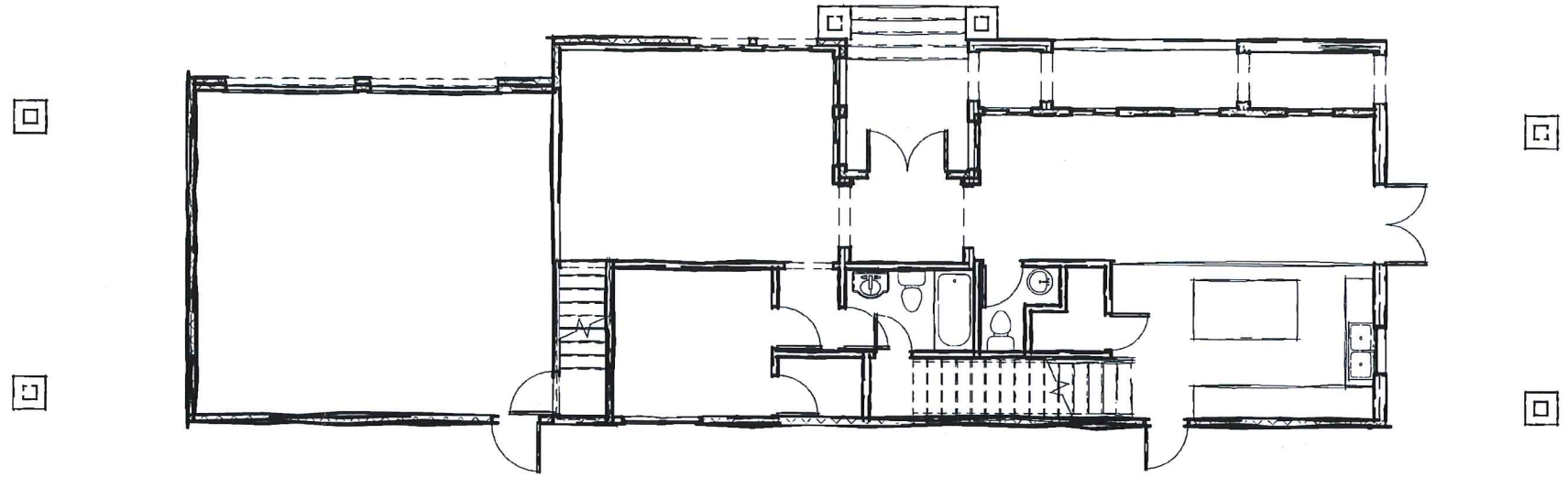
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CLIENT NAME: YAQOUT
Project number: 1516INVESTMENTS LLC.
Date: 09/10/2016 PRELIM-1
Drawn by: Author

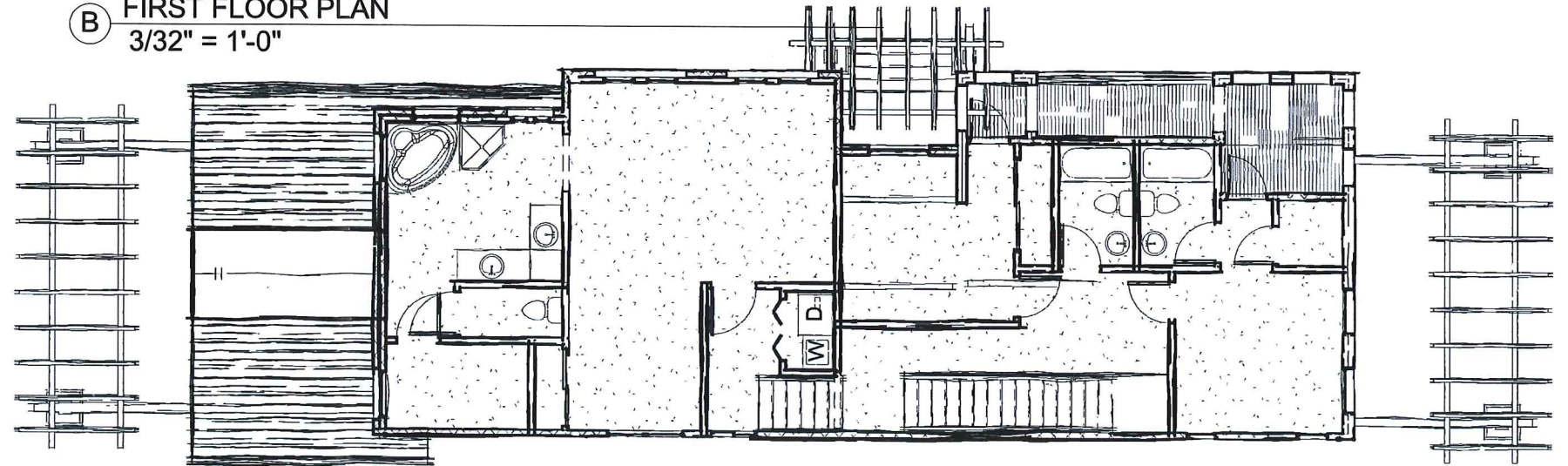
Scale 1/8" = 1'-0"



(A) COLORED BACK ELEVATION
1/8" = 1'-0"



(B) FIRST FLOOR PLAN
3/32" = 1'-0"

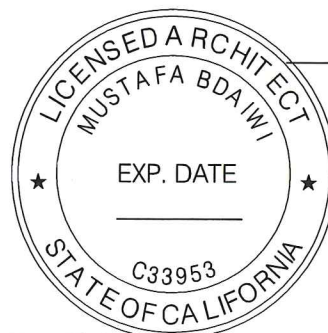


(C) SECOND FLOOR PLAN
3/32" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714-673-6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

UNIT B-1

CLIENT NAME:
FLOOR PLANS

CLIENT NAME: **YAQOUT**
Project number: **1516INVESTMENTS LLC.**
Date: **09/10/2016** **PRELIM-2**
Drawn by: **Author**

Scale: **As indicated**

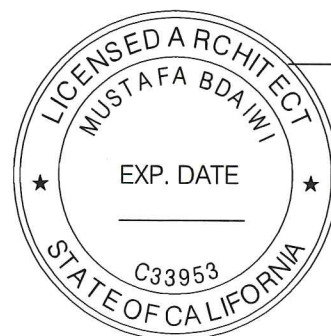


① COLORED MAIN ELEVATION
1/8" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714-673-6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

UNIT B-2

CLIENT NAME:

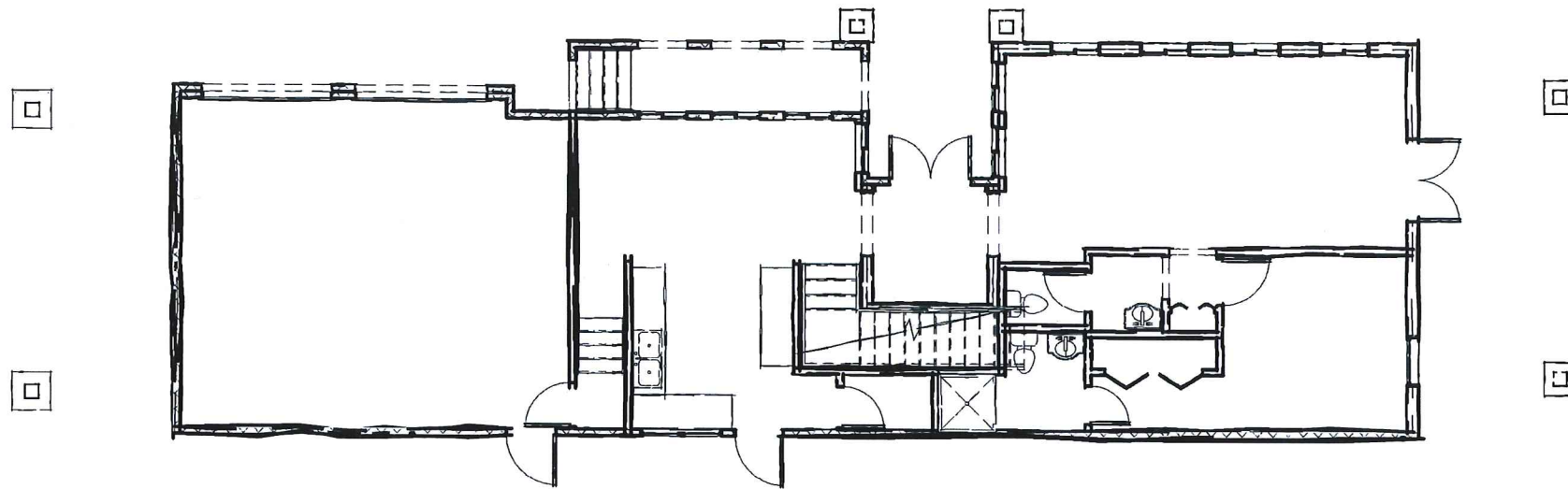
MAIN ELEVATION

CLIENT NAME: YAQOUT
Project number: 1516INVESTMENTS LLC.
Date: 09/10/2016
Drawn by: Author

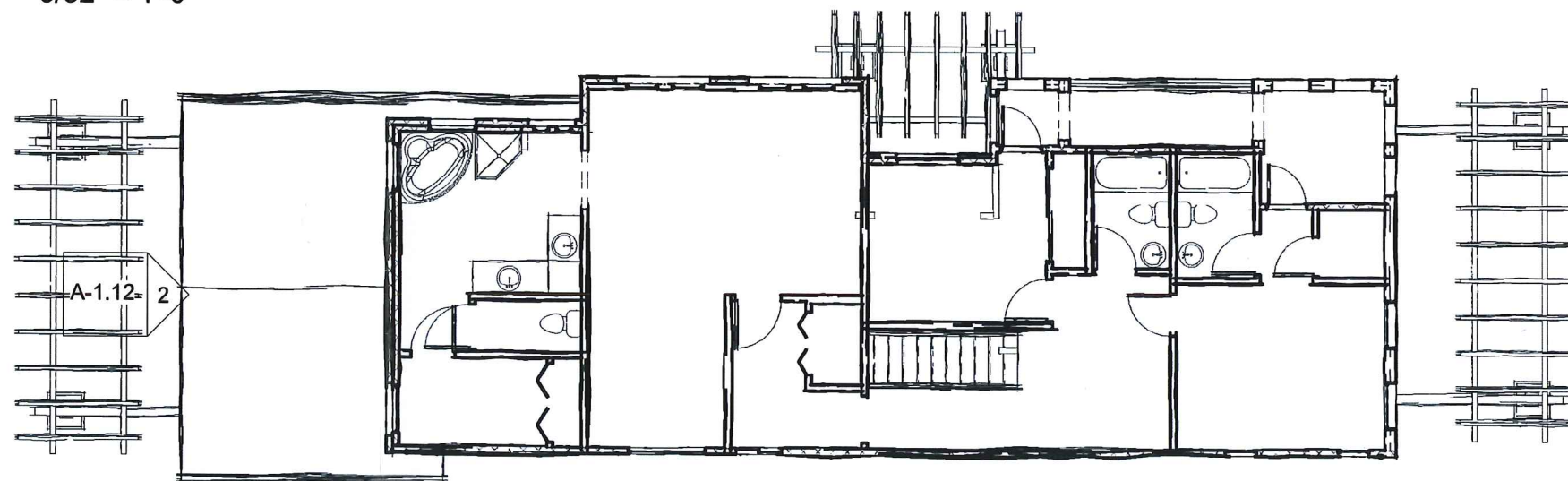
Scale 1/8" = 1'-0"



(A) COLORED BACK ELEVATION
1/8" = 1'-0"



(B) FIRST LEVEL Copy 1
3/32" = 1'-0"

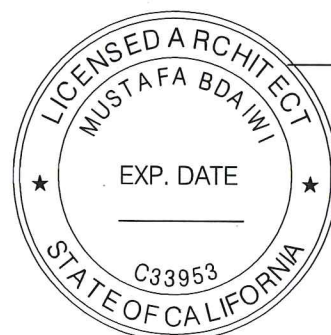


(C) SECOND FLOOR PLAN
3/32" = 1'-0"



1431 WARNER AVE
SUITE "B"
TUSTIN, CA 92780

TEL. 714.673.6611
FAX. 714-673-6614



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34466 Via Verda
Dana Point, CA 92624

UNIT B-2

CLIENT NAME:

FLOOR PLANS

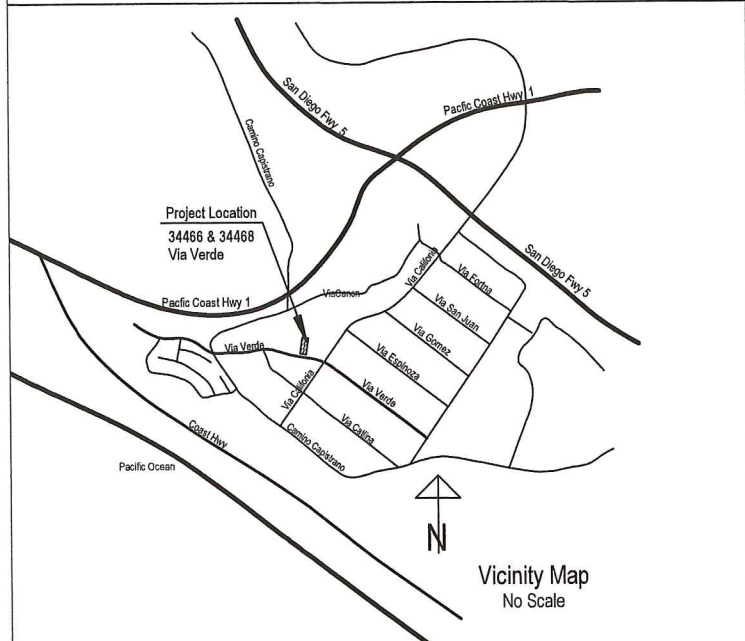
CLIENT NAME: YAQOUT
Project number: 1516INVESTMENTS LLC.
Date: 09/10/2016
Drawn by: Author

Scale As indicated

Proposed Construction of Detached Two-Story Duplex

at
34466 Via Verde, Dana Point, APN 691-401-10
&
34468 Via Verde, Dana Point, APN 691-401-11

Site Plan & Cover Sheet



Sheet Index:

A-0.01	Site Plan and Cover Sheet
A-1.0 to A-1.3	Unit A-1 Architectural Plans
A-1.4 to A-1.6	Unit A-2 Architectural Plans
A-1.7 to A-1.9	Unit B-1 Architectural Plans
A-1.11 to A-1.13	Unit B-2 Architectural Plans
A-02.0	Open Space Plan
G-01.0	Grading Plan
G-02.0	Site Profile
G-03.0	Site Section
L-1, L-2	Landscape Plan
L-3, L-4	Irrigation Plan

Site Analysis	
34466 Via Verde, Lot 29	34468 Via Verde, Lot 30
Zone RD14	Zone RD14
Occupancy Type R3/U	Occupancy Type R3/U
Construction Type V-B	Construction Type V-B
Fire Sprinklered Yes	Fire Sprinklered Yes
Total dwelling Units 2	Total dwelling Units 2
APN 691-401-10	APN 691-401-11
Lot area 9484 sq ft	Lot area 9566 sq ft
Building footprint Unit A-1 1516 sq ft	Building footprint Unit B-1 1550 sq ft
Building footprint Unit A-2 1818 sq ft	Building footprint Unit B-2 1609 sq ft
Total Building footprint 3124 sq ft	Total Building footprint 3159 sq ft
Lot Coverage % 32.9%	Lot Coverage % 33.0%
Max Allowable Lot Coverage % 50%	Max Allowable Lot Coverage % 50%
Total landscape area 3778 sq ft	Total landscape area 3825 sq ft
Landscape % 39.8%	Landscape % 39.9%
Total pervious pavement area 2582 sq ft	Total pervious pavement area 2582 sq ft
Total impervious area 3124 sq ft	Total impervious area 3156 sq ft

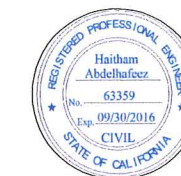
Scope of Work:
Lot 29:
- Construction of New Detached Two-Story Residential Duplex
Lot 30:
- Demolition of existing one-story single family house
- Removal of existing driveway
- Construction of New Detached Two-Story Residential Duplex

Legal Description
Lots 29 and 30 in Block 7 of Tract no. 735, in the City of Dana Point, County of Orange, State of California, as per map thereof, recorded in Book 22, Pages 21 to 28 inclusive of miscellaneous maps, records of Orange County

All work shall conform to the:
2013 California Building Code (CBC)
2013 California Residential Code (CRC)
2013 California Mechanical Code (CMC)
2013 California Electrical Code (CEC)
2013 California Plumbing Code (CPC)
2013 California Green Building Standards (CGBS)
2013 California Energy Efficiency Standards (CEES)
City of Dana Point Municipal Code

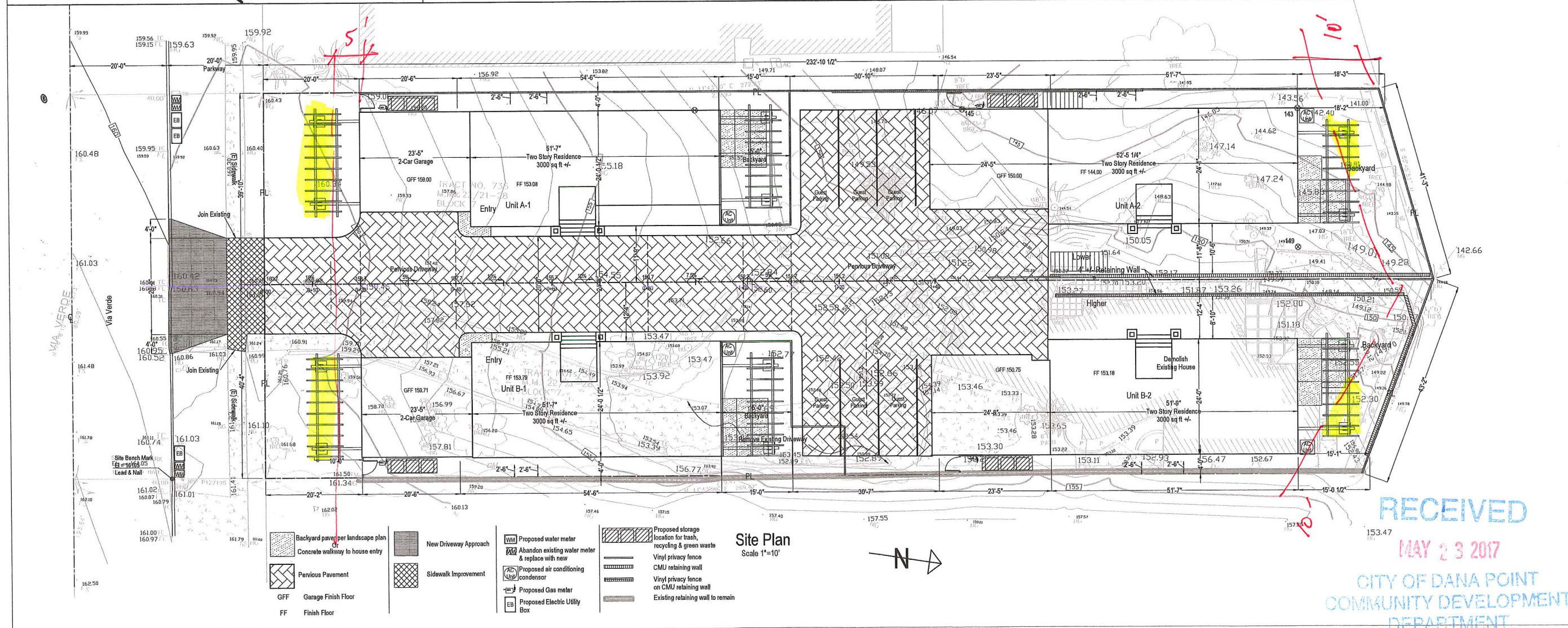
New House Construction
Project Address:
34466 Via Verde
Dana Point, CA 92624

Owner:
Yaqout Investments, LLC
17200 Newhope St. # 228A
Fountain Valley, CA 92708



Haitham A. Hafeez

www.HafeezConsulting.com
1451 S. Hacienda St
Anaheim, CA 92804
Project Engineer:
Haitham A. Hafeez, P.E.
Tel (714) 225 - 4565
Fax (714) 917 - 2977
engineer@hafeezconsulting.com



RECEIVED

MAY 23 2017

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

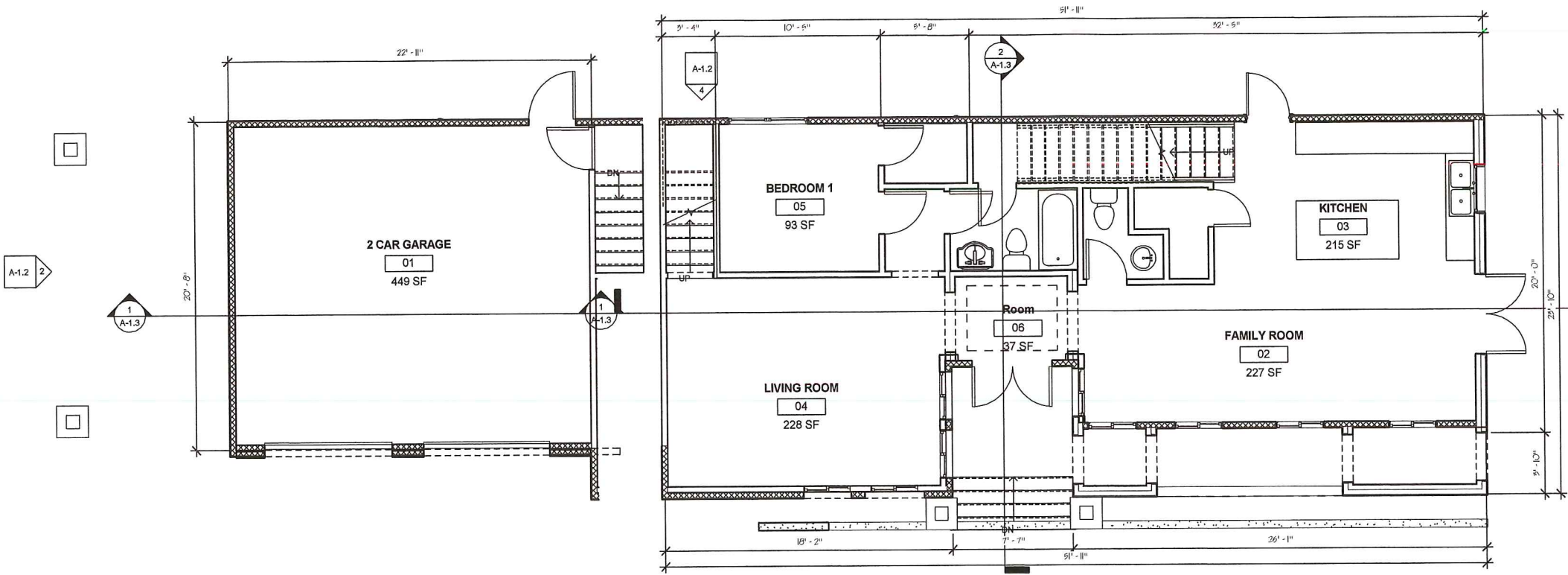
Revisions	
03/04/16	Per Site Development Review
04/06/16	Per Site Development Review
10/05/16	Per Site Development Review
01/17/17	Per Site Development Review
05/08/17	Per Site Development Review

Scale: 1/4" = 1' UNO
Original Date: 01/04/2016
Sheet No.

A-0.01

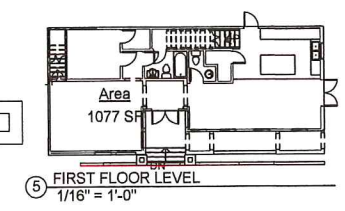


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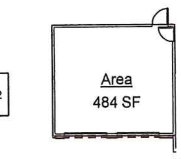


2 GARAGE LEVEL
1/4" = 1'-0"

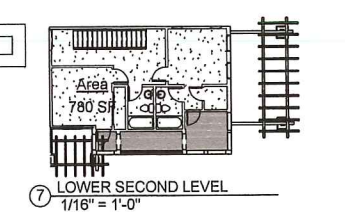
1 FIRST LEVEL
1/4" = 1'-0"



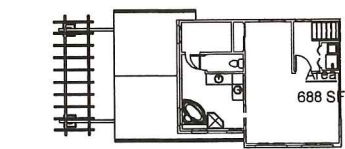
5 FIRST FLOOR LEVEL
1/16" = 1'-0"



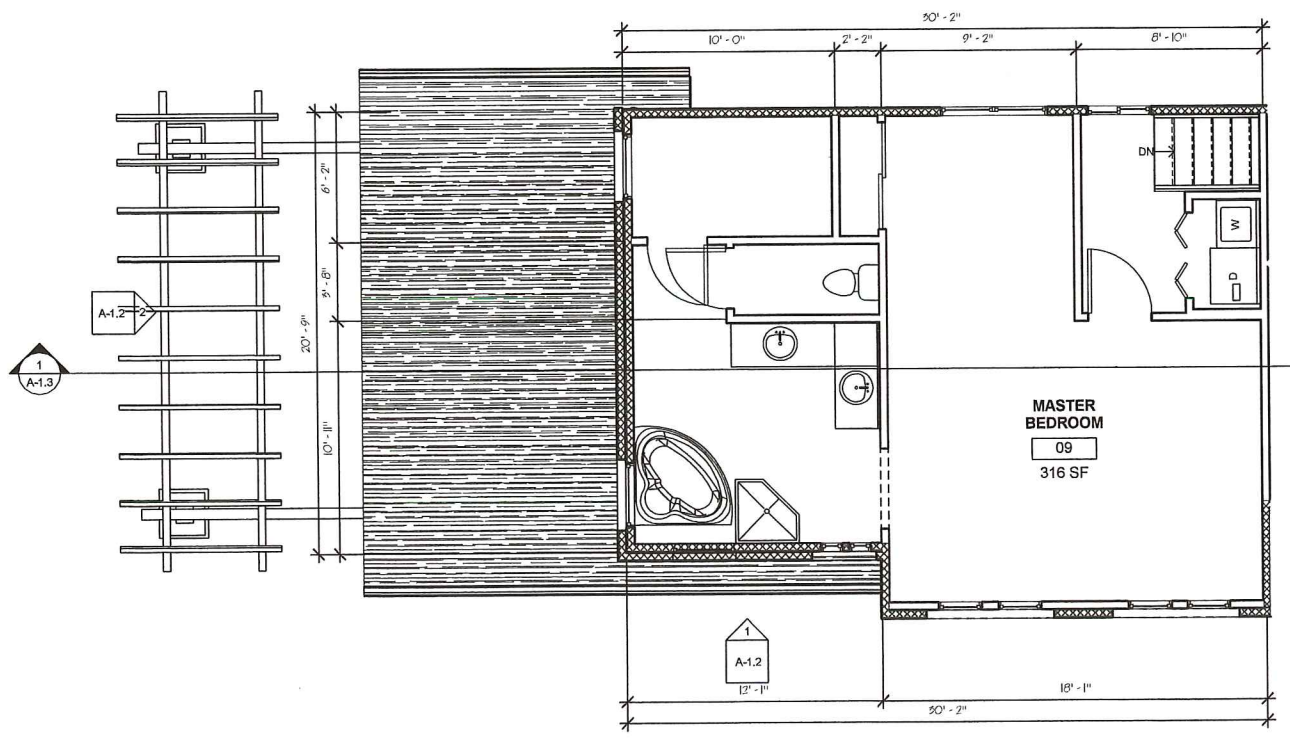
6 GARAGE LEVEL
1/16" = 1'-0"



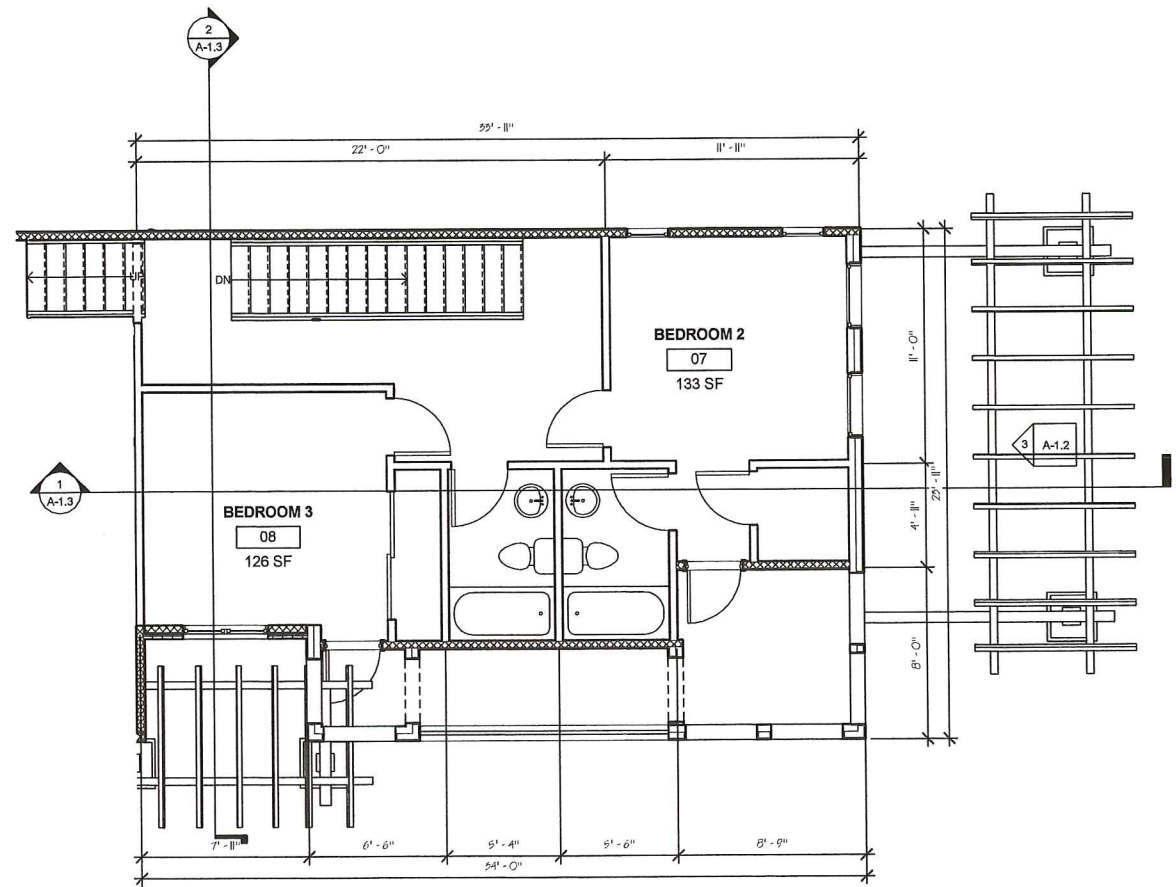
7 LOWER SECOND LEVEL
1/16" = 1'-0"



8 SECOND FLOOR LEVEL
1/16" = 1'-0"



4 SECOND FLOOR LEVEL
1/4" = 1'-0"



3 LOWER SECOND LEVEL
1/4" = 1'-0"

Client:	
Project number:	19161
Date:	09/10/2016
Author:	Author
Checker:	Checker

No.	Description	Date

YACOUB INVESTMENTS LLC.
UNIT A-1
34466 Via Verda
Dana Point, CA 92624
NEW FLOOR PLANS

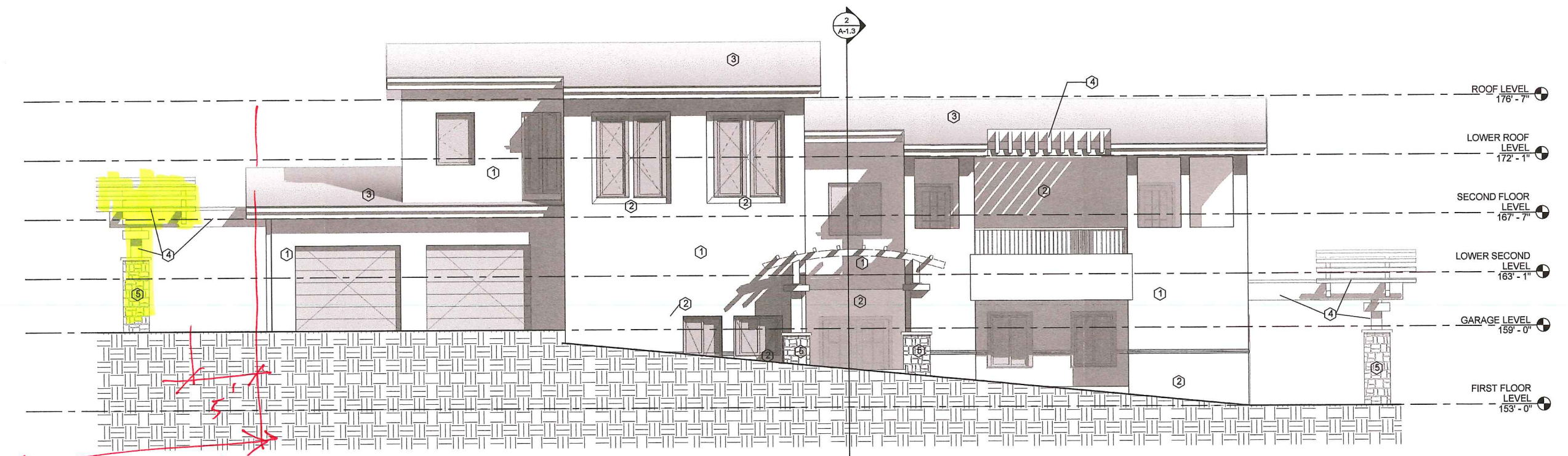


1491 Warner Ave
Suite B
Irvine, California 92715
TEL: 714.472.6681 FAX:
714.472.6681

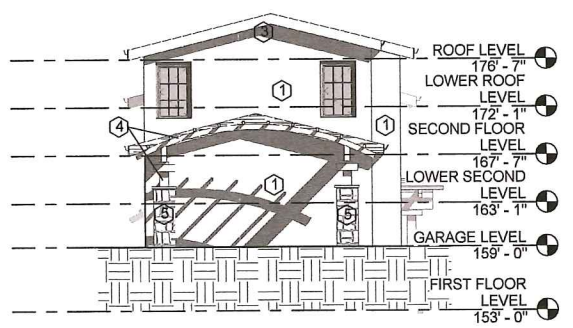
A-1.0



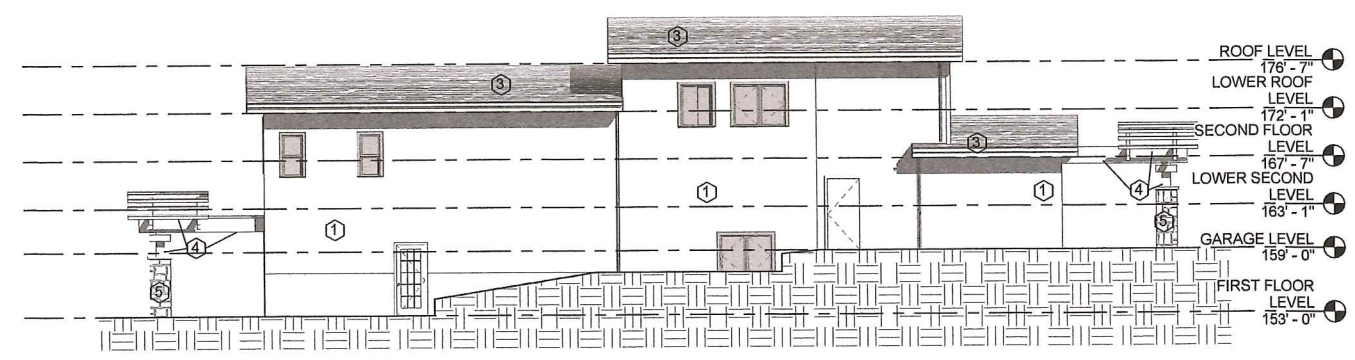
MUSTAFA BDAWI ARCHITECT
5/9/2017 3:55:07 PM



① MAIN ELEVATION
1/4" = 1'-0"
20' front



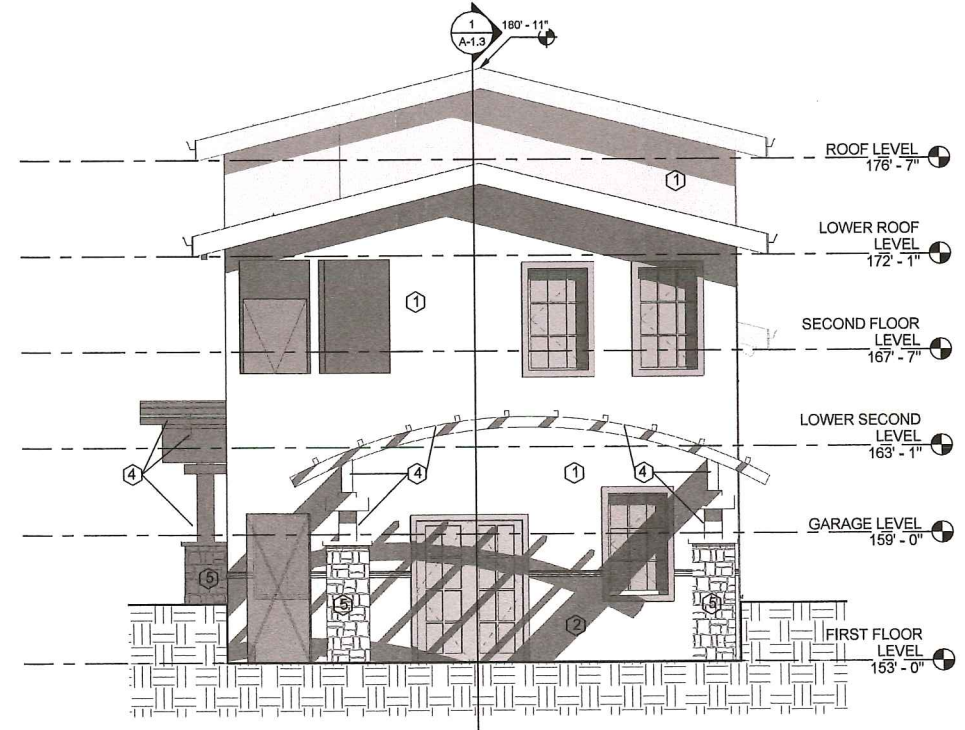
② STREET ELEVATION
1/8" = 1'-0"



④ SIDE ELEVATION
1/8" = 1'-0"

ELEVATION Note

Label	Description
1	NEW STUCCO P-124 IVORY POWDER (A Base)
2	NEW STUCCO P-120 MOROCCAN SAND (B Base)
3	NEW ROOF CLY TILE LIGHT WEIGHT (EAGLE CAPISTRANO)
4	WOOD TRELLIS (WALNUT)
5	TUSCANY SCABAS LEDGE PANEL STONE VENEER



③ BACK ELEVATION
1/4" = 1'-0"

Contract Address	19161
Phone	09/10/2016
Project number	Adher
Date	Checker
Planned by	
Checked by	

No.	Description	Date

YAOQUIT INVESTMENTS LLC.
 UNIT A-1
 34466 Via Verda
 Dana Point, CA 92624
 ELEVATIONS

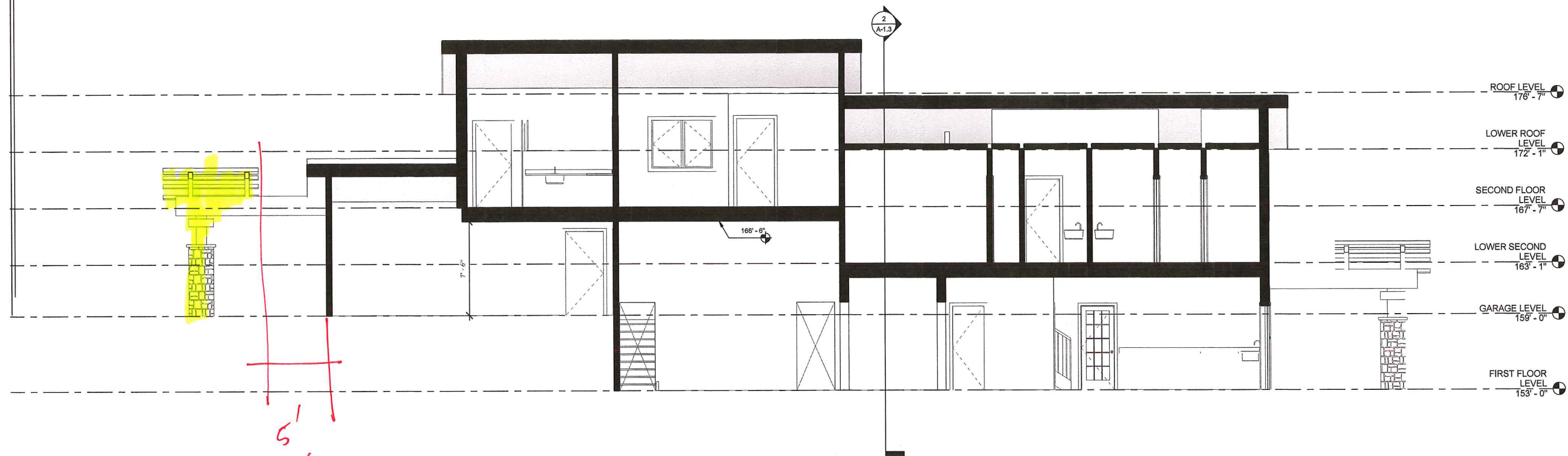


1418 Warner Ave
Suite B
Tustin, California 92780
TEL: 714.673.4488 FAX: 714.673.6041

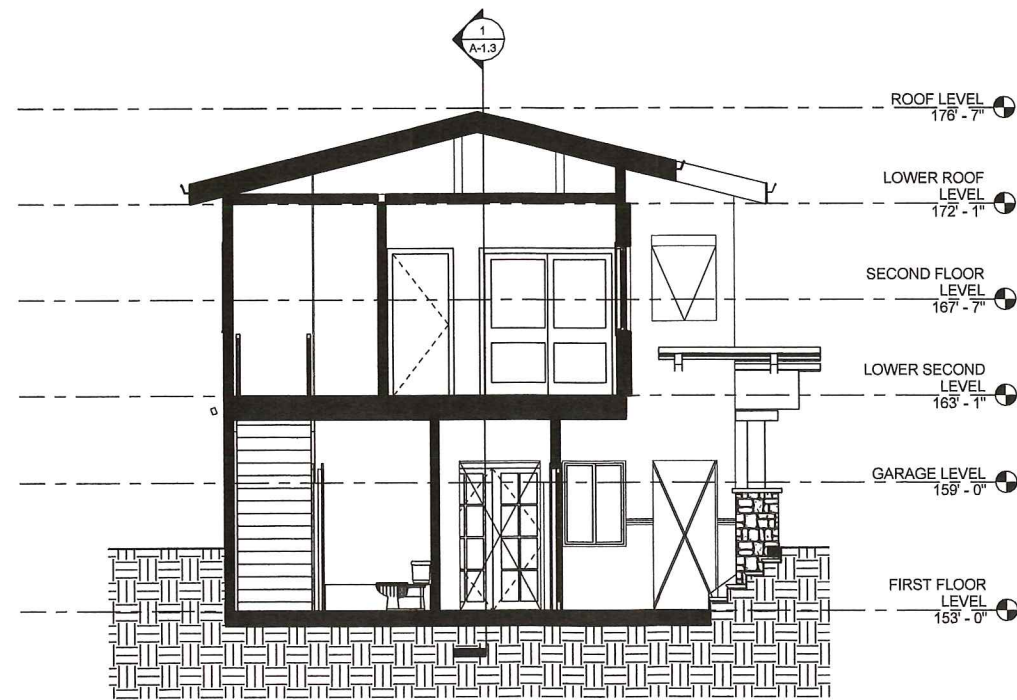
A-1.2



MUSTAFA BADAWI ARCHITECT
5/8/2017 3:55:13 PM



1 SECTION 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

Contact Address Phone email	Contact Address Phone email	Contact Address Phone email	Contact Address Phone email
Project number 19161			
Date 09/10/2016			
Prepared by Author			
Checked by Checker			

No.	Description	Date

YAQOUB INVESTMENTS LLC.	UNIT A-1	34466 Via Verda Dana Point, CA 92624	SECTIONS
-------------------------	----------	---	----------

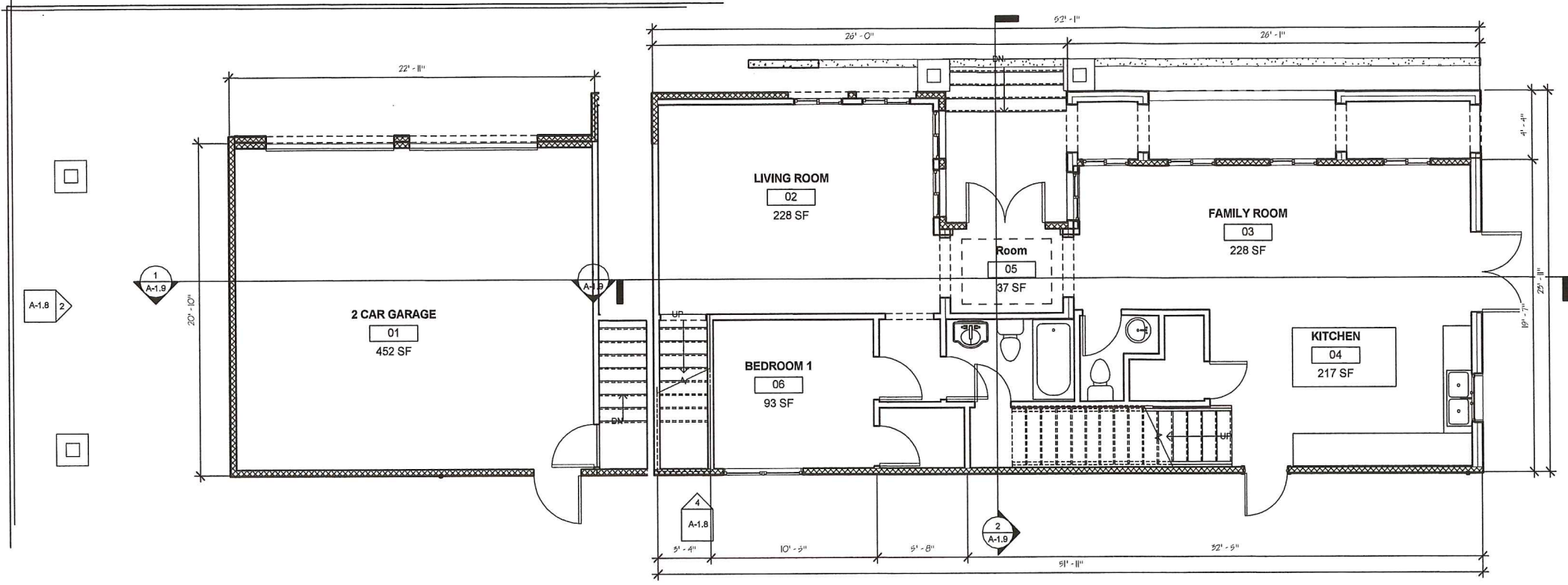


149 Warner Ave
Tulip
Irvine, California 92710
TEL: 714.679.4611 FAX:
714.679.4614

A-1.3

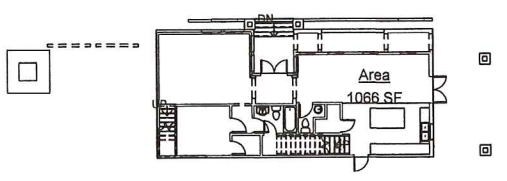


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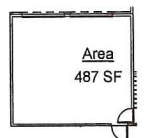


① FIRST LEVEL
1/4" = 1'-0"

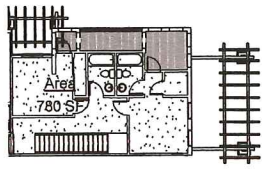
② GARAGE LEVEL
1/4" = 1'-0"



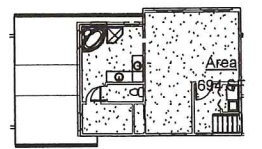
⑤ FIRST FLOOR LEVEL
1/16" = 1'-0"



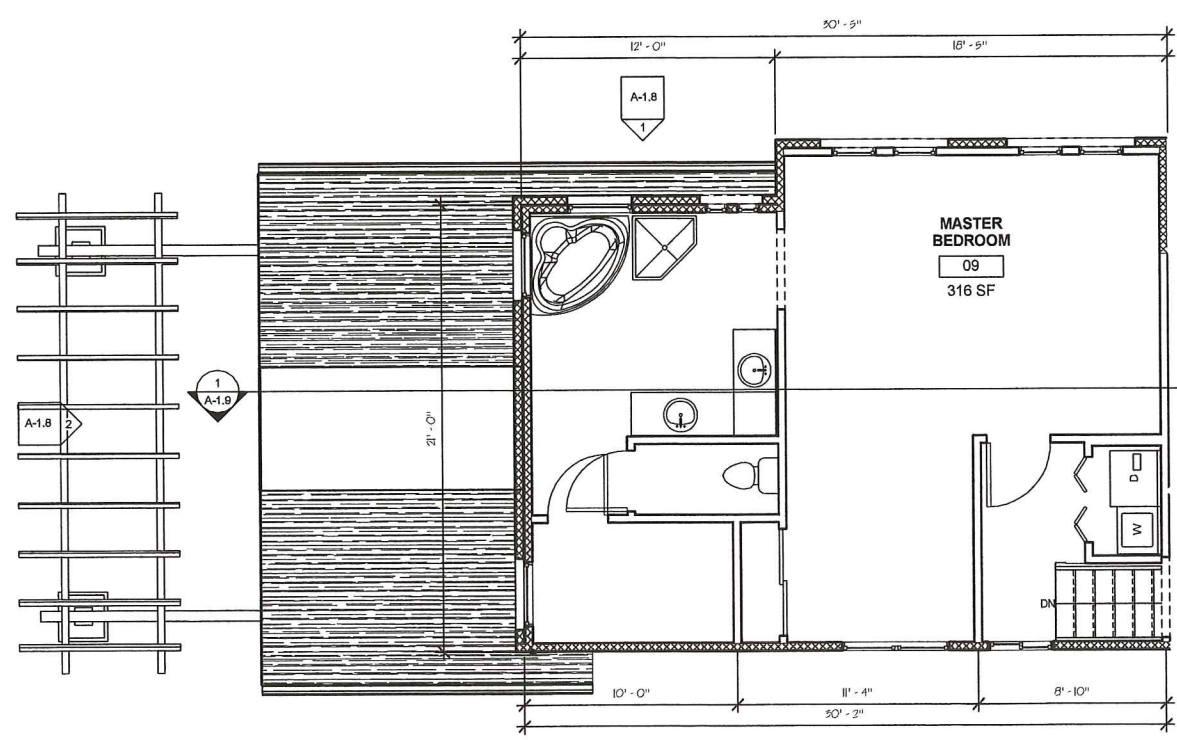
⑥ GARAGE LEVEL
1/16" = 1'-0"



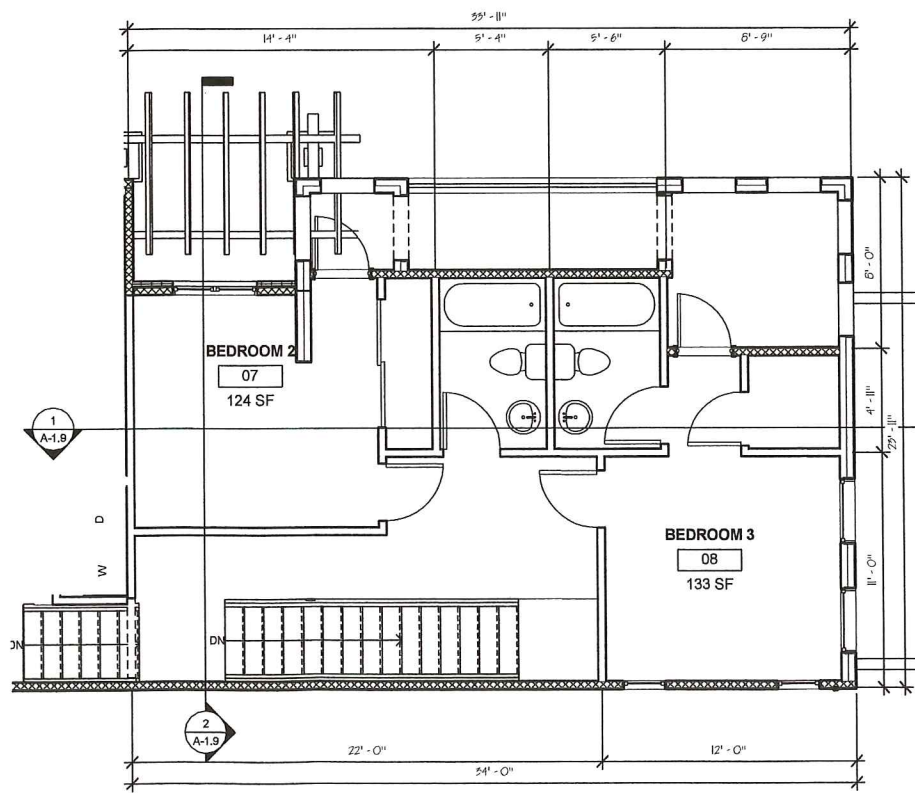
⑦ LOWER SECOND LEVEL
1/16" = 1'-0"



⑧ SECOND FLOOR LEVEL
1/16" = 1'-0"



④ SECOND FLOOR LEVEL
1/4" = 1'-0"



③ LOWER SECOND LEVEL
1/4" = 1'-0"

Contract Address	15161
Project number	15161
Date	09/10/2016
Drawn by	Ahler
Checked by	Checker

No.	Description	Date

YAQOUT INVESTMENTS LLC.

UNIT B-1

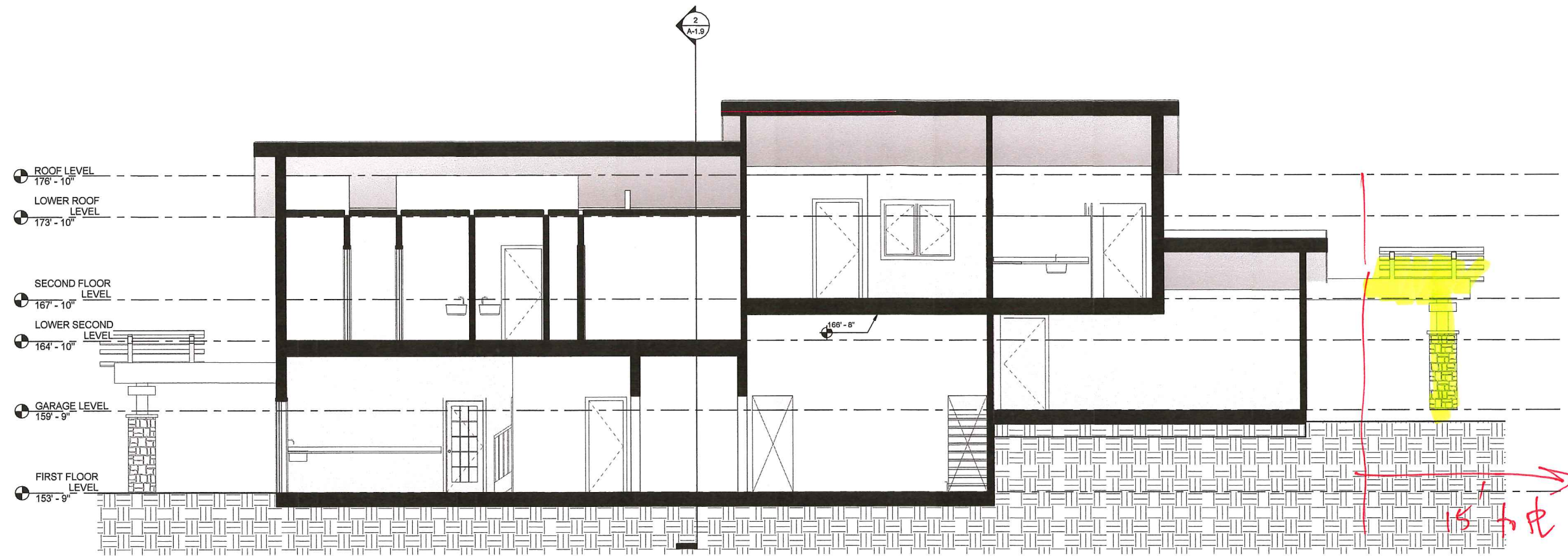
34466 Via Verda
Dana Point, CA 92624

NEW FLOOR PLANS



148 Warner Ave
Suite B
Tustin, California 92780
Tel: 714-975-6611 Fax:
714-975-6611

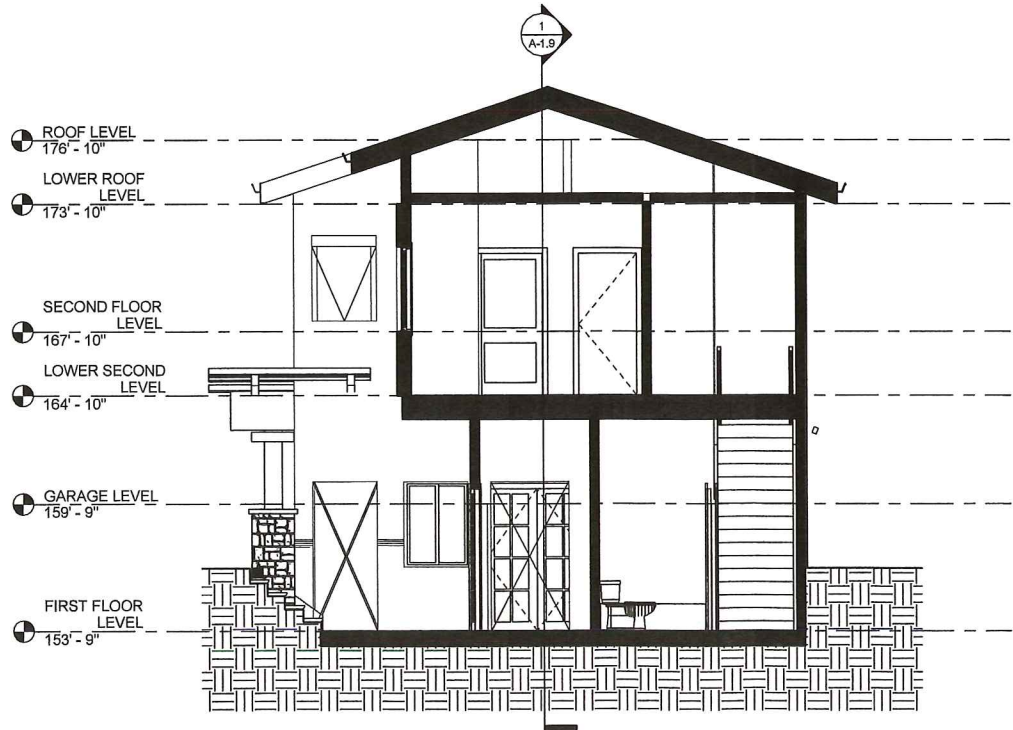
A-1.7



SECTION 1
1/4" = 1'-0"

Client	Project number	19161
Address	Date	09/10/2016
Phone	Drawn by	Ashraf
Fax	Checked by	Checker
City		
State		
Country		

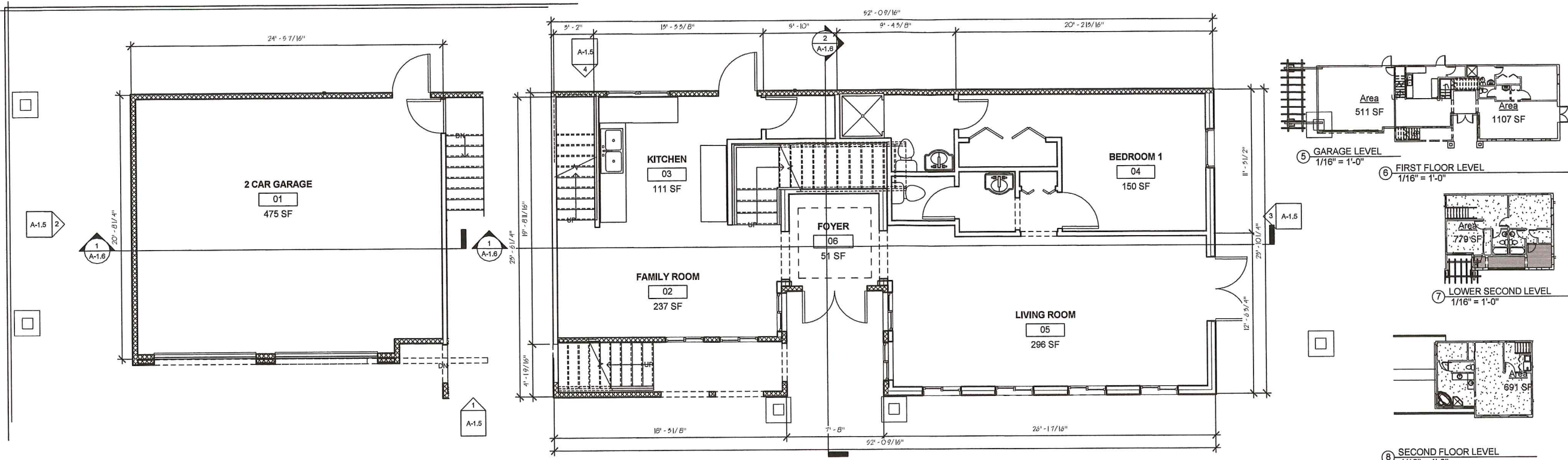
No.	Description	Date



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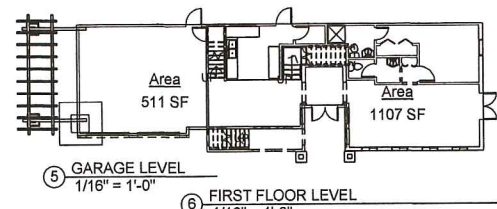
YACQUI INVESTMENTS LLC.
UNIT B-1
34466 Via Verda
Dana Point, CA 92624
Scale: 1/4" = 1'-0"
SECTIONS





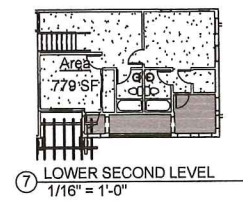
② GARAGE LEVEL
1/4" = 1'-0"

① FIRST LEVEL
1/4" = 1'-0"

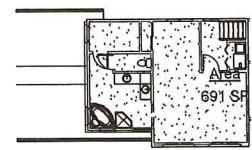


⑤ GARAGE LEVEL
1/16" = 1'-0"

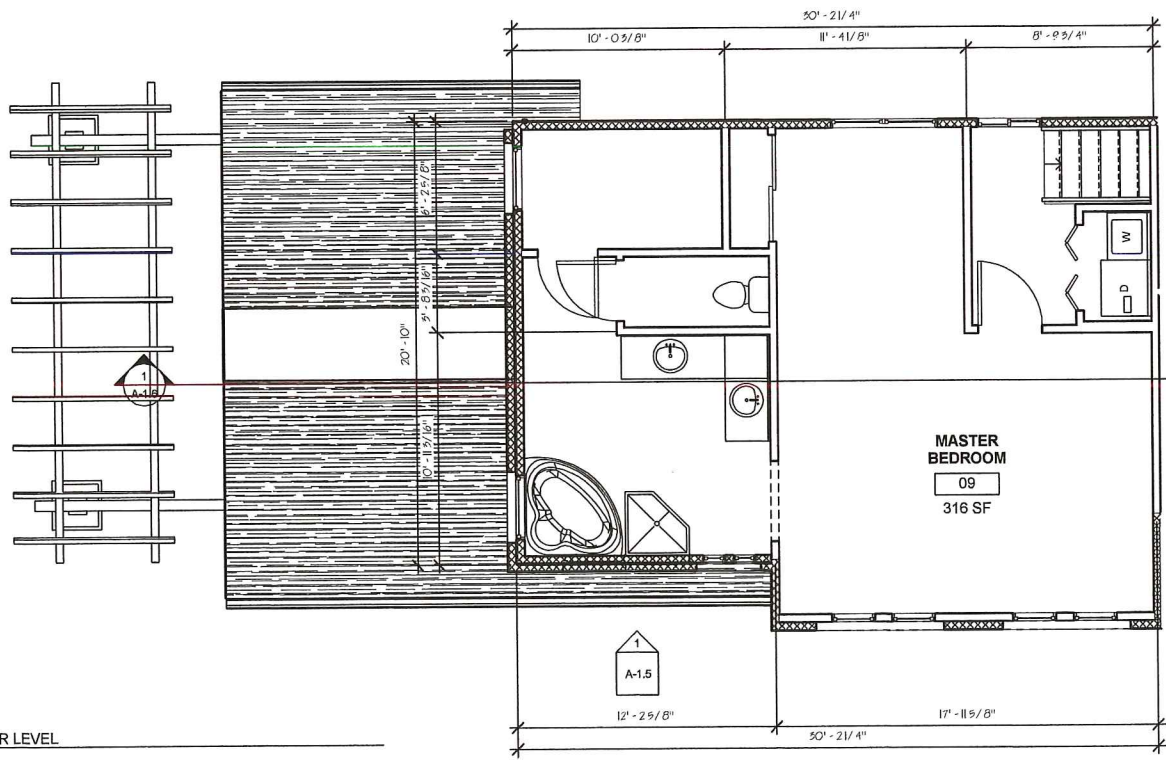
⑥ FIRST FLOOR LEVEL
1/16" = 1'-0"



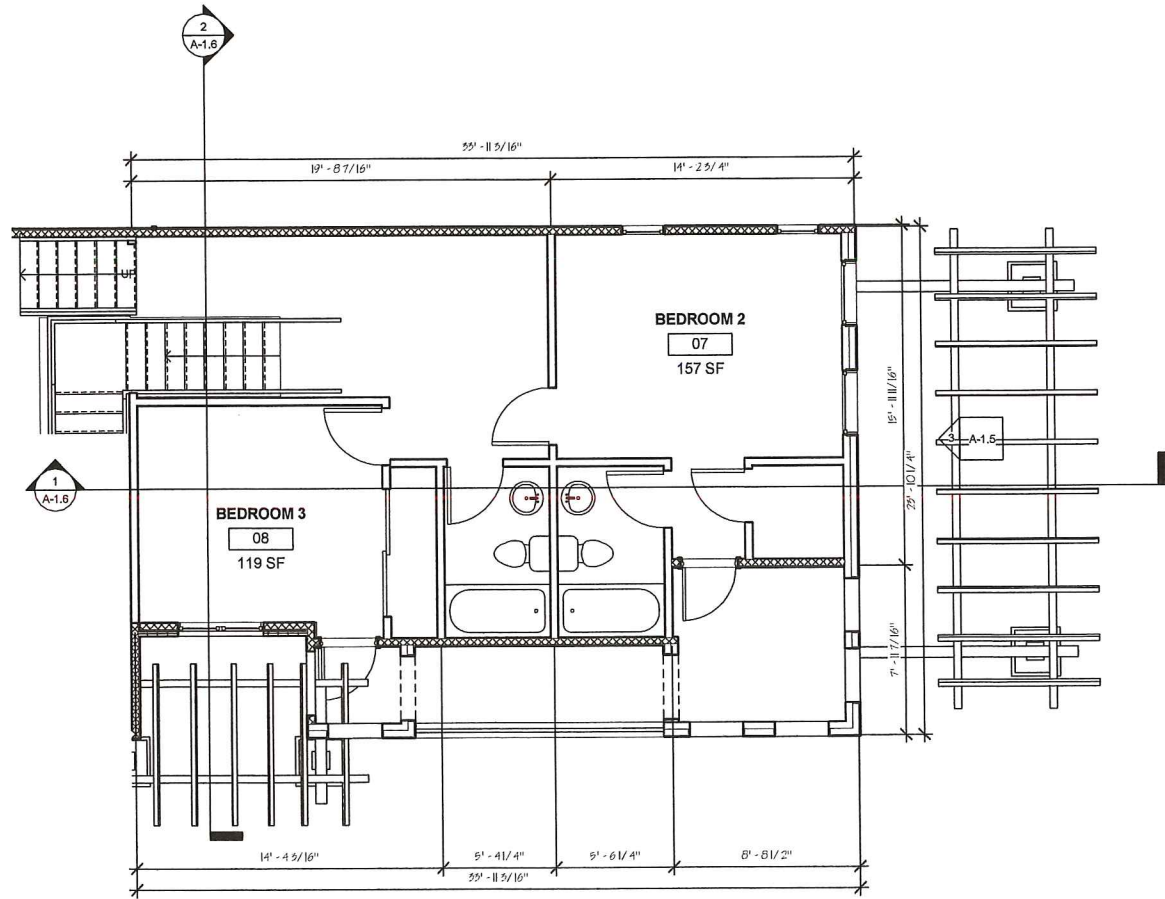
⑦ LOWER SECOND LEVEL
1/16" = 1'-0"



⑧ SECOND FLOOR LEVEL
1/16" = 1'-0"



④ SECOND FLOOR LEVEL
1/4" = 1'-0"



③ LOWER SECOND LEVEL
1/4" = 1'-0"



MUSTAFA BDAWI ARCHITECT
5/6/2017 3:39:53 PM

Project number	15161
Date	09/10/2016
Drawn by	Ashar
Checked by	Checker

No.	Description	Date

YACOLIT INVESTMENTS LLC.
UNIT A-2
34466 Via Verda
Dana Point, CA 92624
NEW FLOOR PLANS

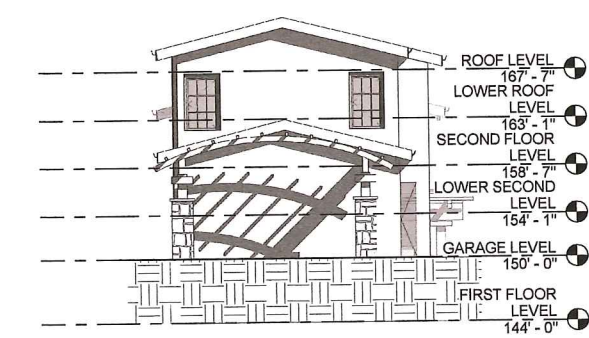


1418 Warner Ave
Suite D
Tustin, California 92780
TEL: 714-677-2611 FAX:
714-677-6941

A-1.4



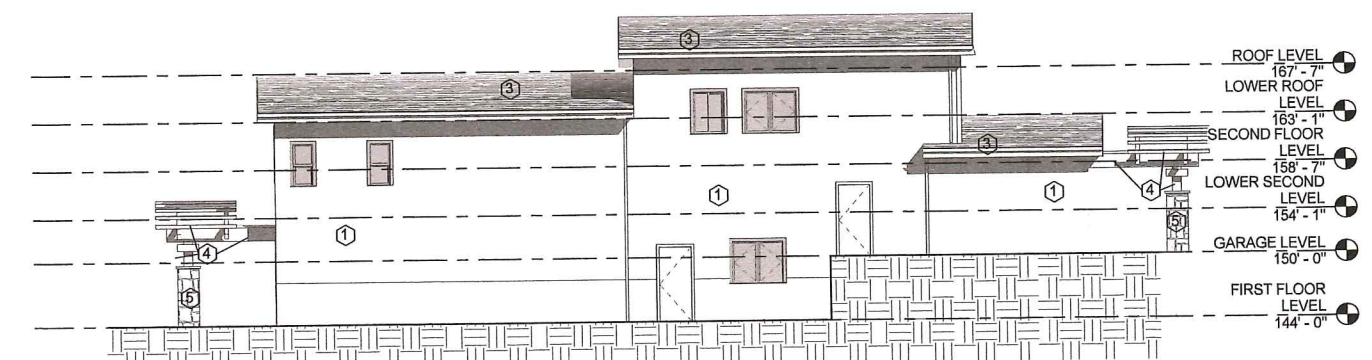
1 MAIN ELEVATION
1/4" = 1'-0"



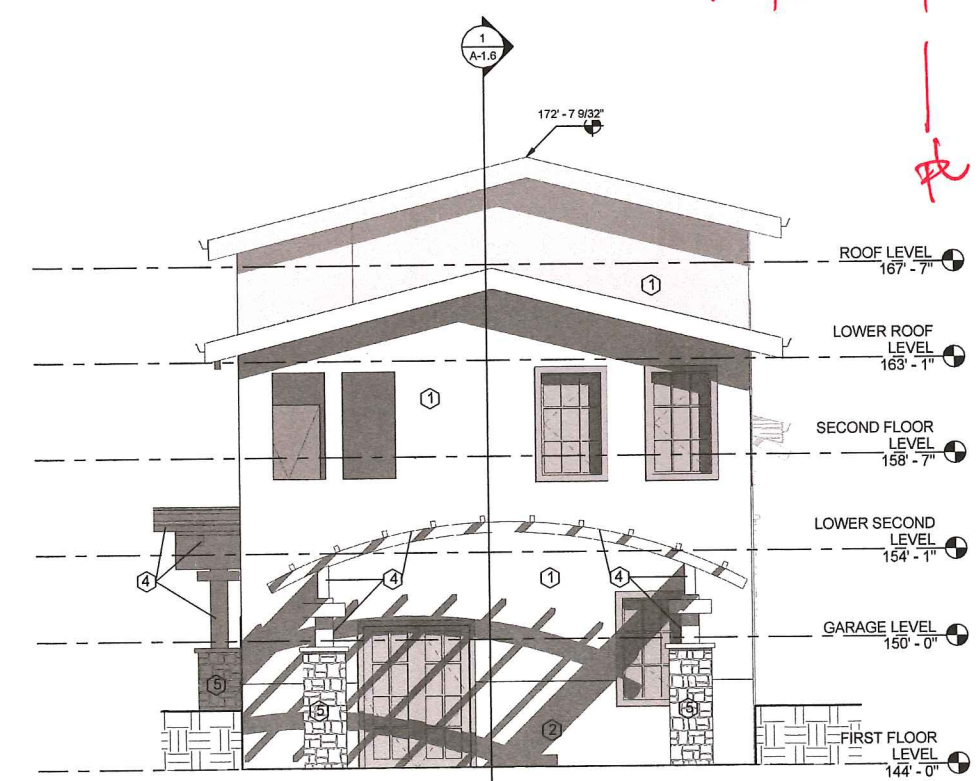
2 STREET ELEVATION
1/8" = 1'-0"

ELEVATION Note

Label	Description
1	NEW STUCCO P-124 IVORY POWDER (A Base)
2	NEW STUCCO P-1210 MOROCCAN SAND (B Base)
3	NEW ROOF CLY TILE LIGHT WEIGHT (EAGLE CAPESTRANO)
4	WOOD TRELLIS (WALNUT)
5	TUSCANY SCABAS LEDGE PANEL STONE VENEER



4 SIDE ELEVATION
1/8" = 1'-0"



3 BACK ELEVATION
1/4" = 1'-0"

Consultant			
Address			
Phone			
e-mail			
Consultant			
Address			
Phone			
e-mail			
Consultant			
Address			
Phone			
e-mail			
Project number		19161	
Date		09/10/2016	
Prepared by		Author	
Checked by		Checker	
No.	Description	Date	
YACOLT INVESTMENTS LLC.		UNIT A-2	
34466 Via Verda			
Dana Point, CA 92624			
		ELEVATIONS	

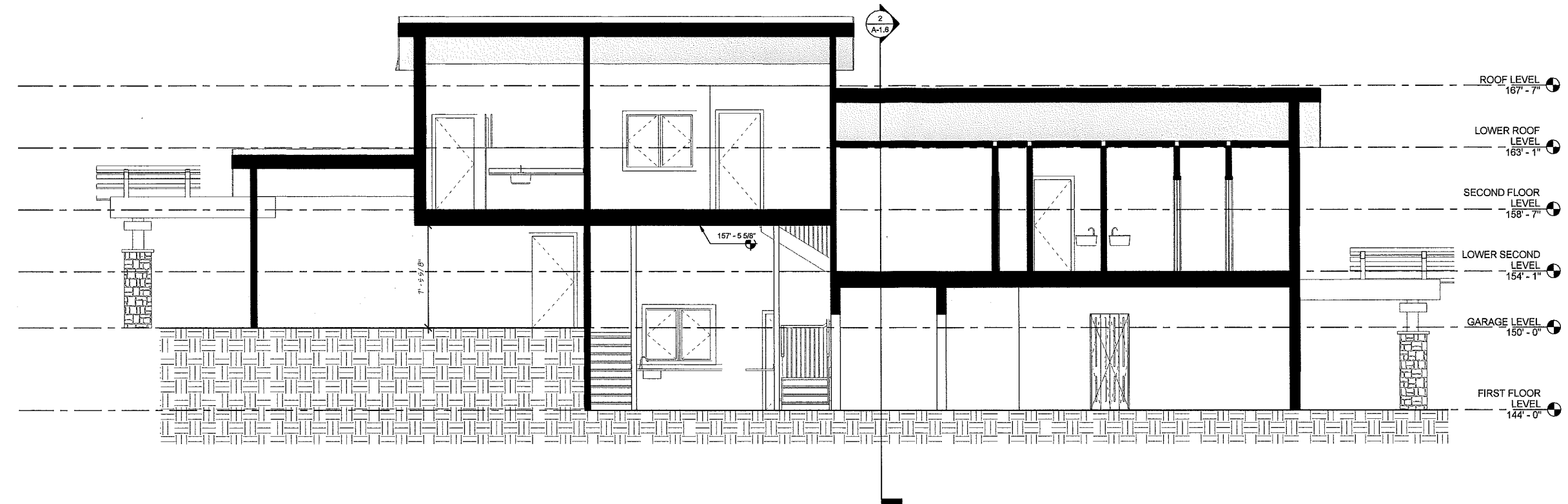


1431 Wilshire Ave
Suite 8
Los Angeles, CA 90017
Tel: 310-477-6644 FAX: 310-477-6604

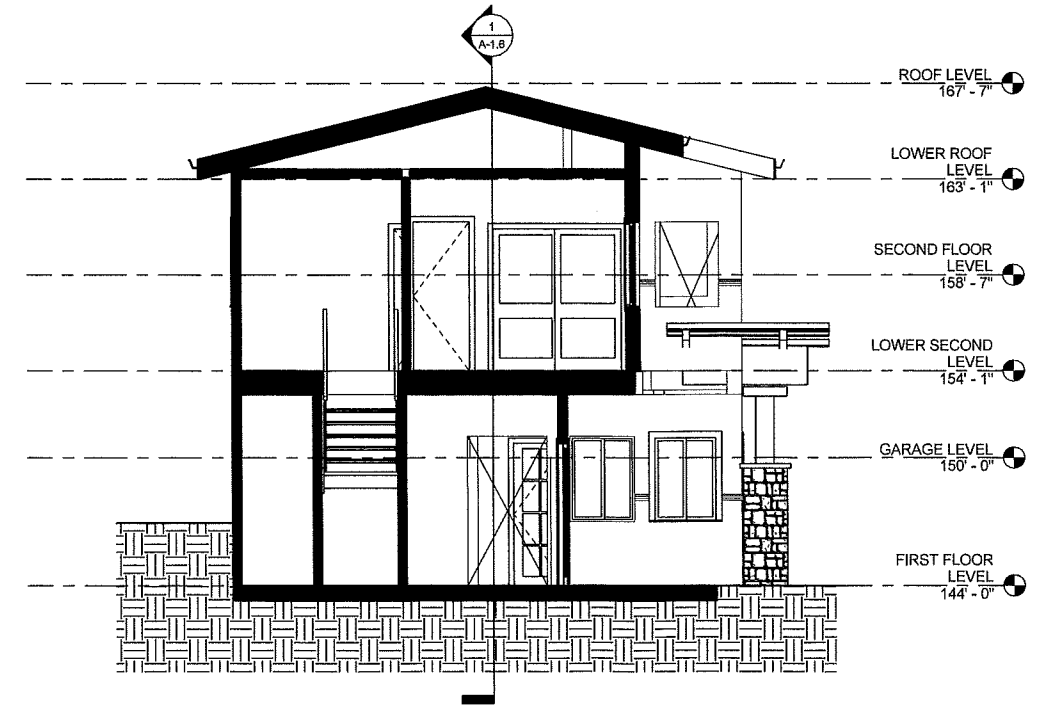
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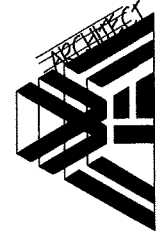


1 Detail 0
1/4" = 1'-0"



2 Section 1
1/4" = 1'-0"

Contract Address	Project number	19161
Contractor	Date	09/10/2016
Project	Prepared by	Author
Address	Checked by	Checker
City		
State		
Zip		
Contract Address		
Contractor		
Project		
Address		
City		
State		
Zip		
Contract Address		
Contractor		
Project		
Address		
City		
State		
Zip		



YAQOUT INVESTMENTS LLC.

UNIT A-2

34466 Via Verda
Dana Point, CA 92624

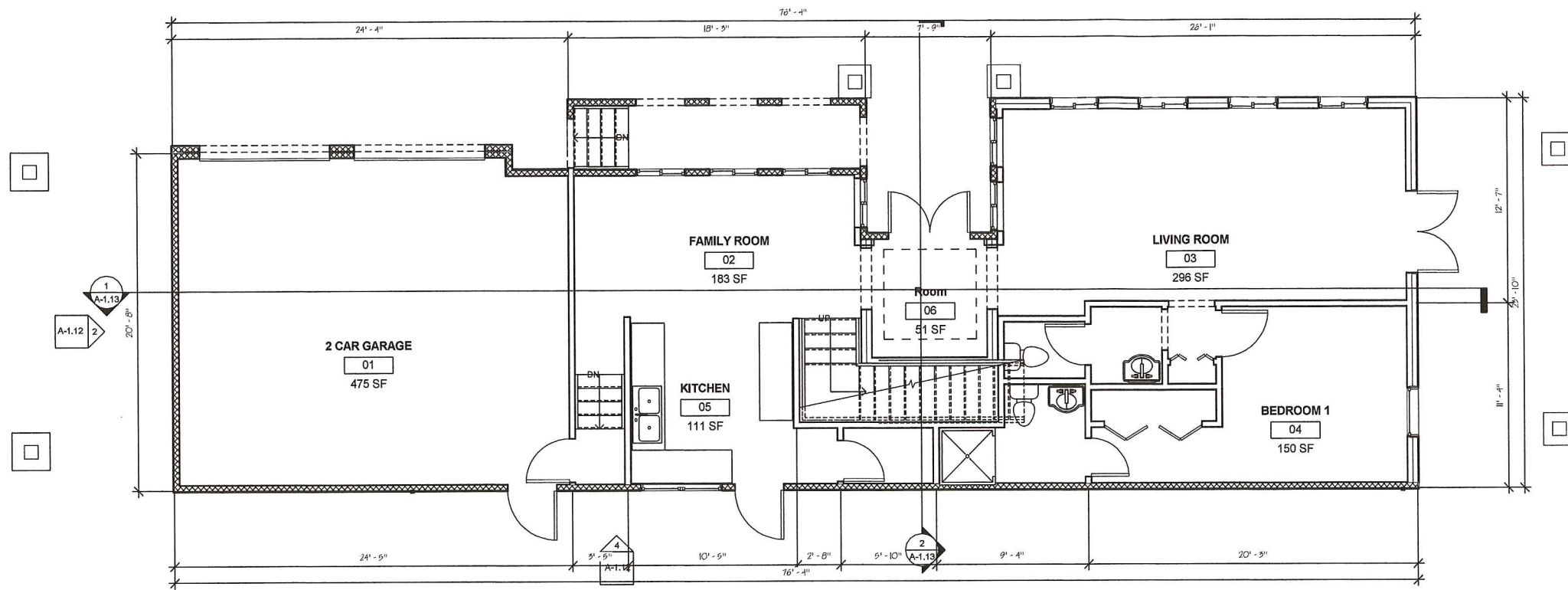
SECTIONS

Scale 1/4" = 1'-0"

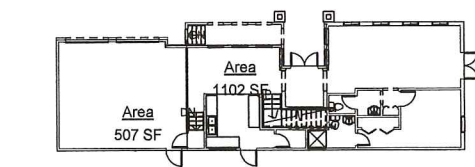
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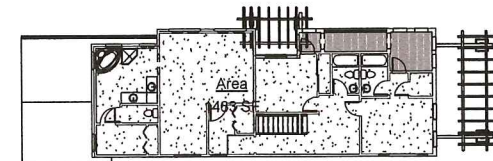
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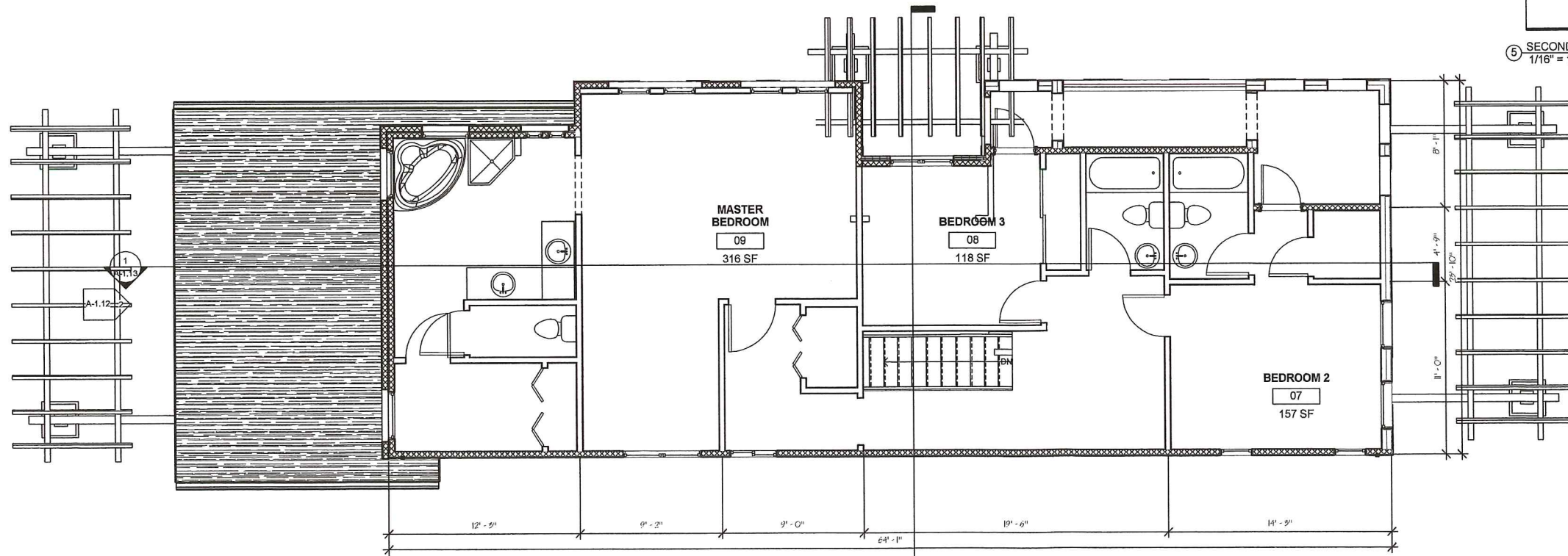
1 FIRST LEVEL
1/4" = 1'-0"



4 FIRST FLOOR LEVEL
1/16" = 1'-0"



5 SECOND LEVEL
1/16" = 1'-0"



3 SECOND LEVEL
1/4" = 1'-0"

Client: _____
Address: _____
Phone: _____
Contractor: _____
Address: _____
Phone: _____
Contractor: _____
Address: _____
Phone: _____
Contractor: _____
Address: _____
Phone: _____
Contractor: _____
Address: _____
Phone: _____

Project number: 15161
Date: 09/10/2016
Drawn by: AUBER
Checked by: CHECKER

No.	Description	Date

YAOQUIT INVESTMENTS LLC.
UNIT B-2
34466 Via Verda
Dana Point, CA 92624
NEW FLOOR PLANS



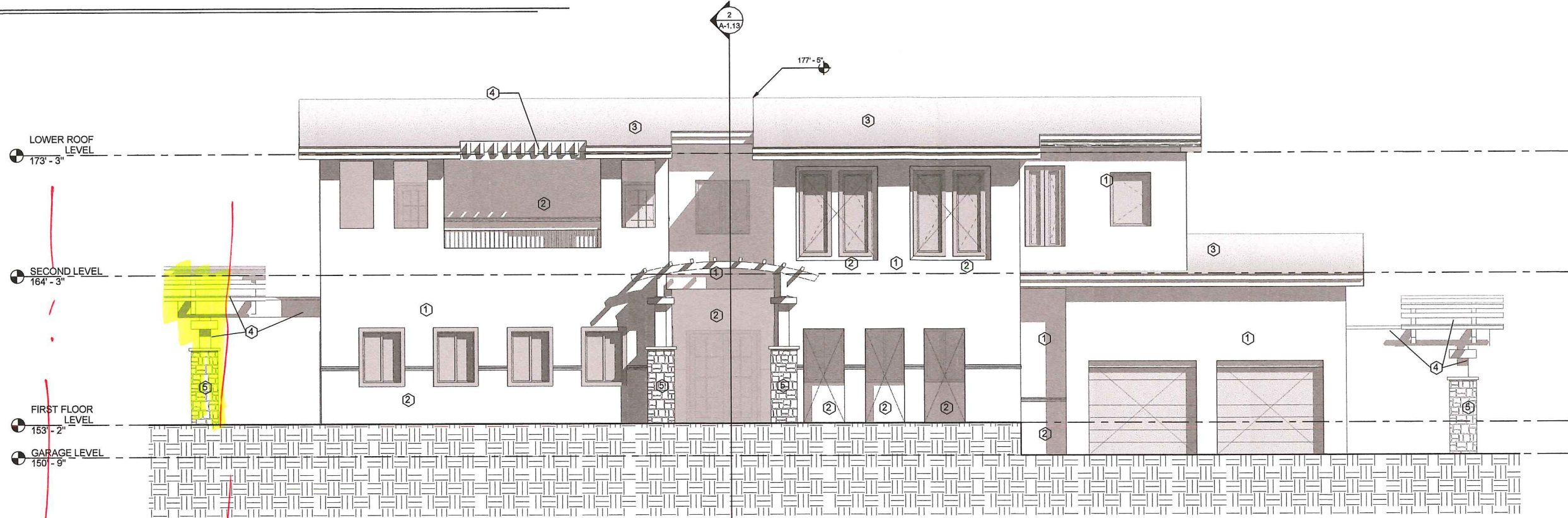
145 Warner Ave
Suite B
Irvine, California 92714
TEL: 714-672-6611 FAX: 714-672-6611

A-1.11

Scale: As indicated

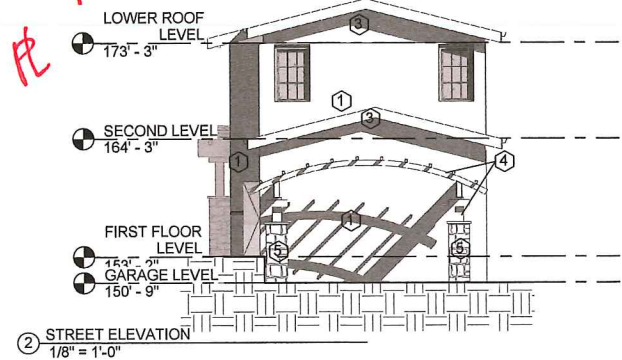


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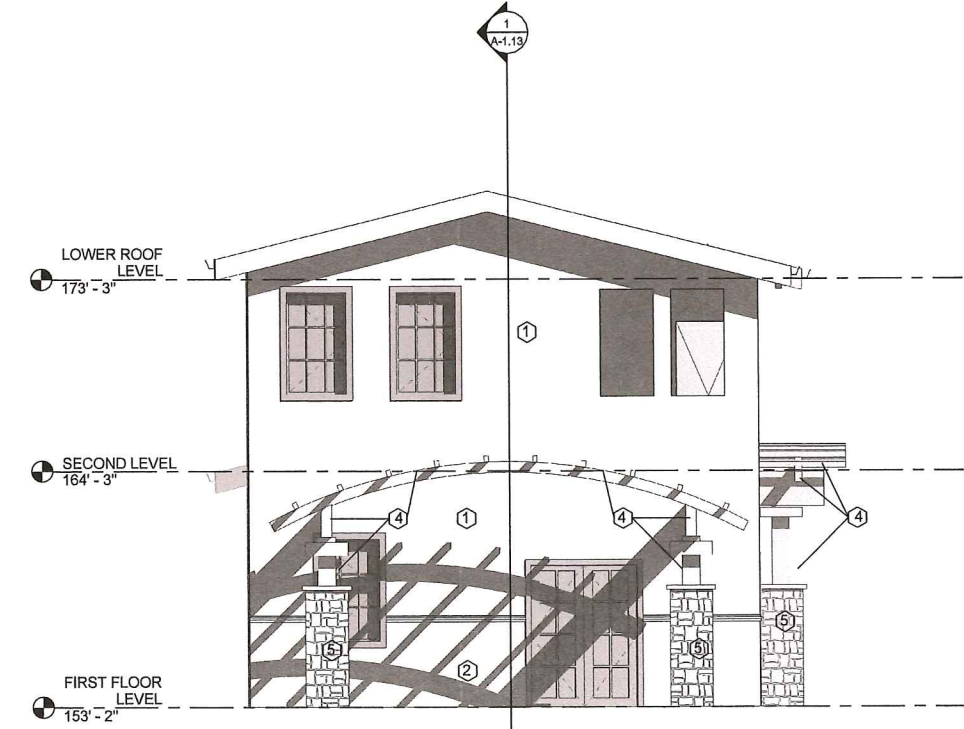
① MAIN ELEVATION
1/4" = 1'-0"

10'
to rear pt

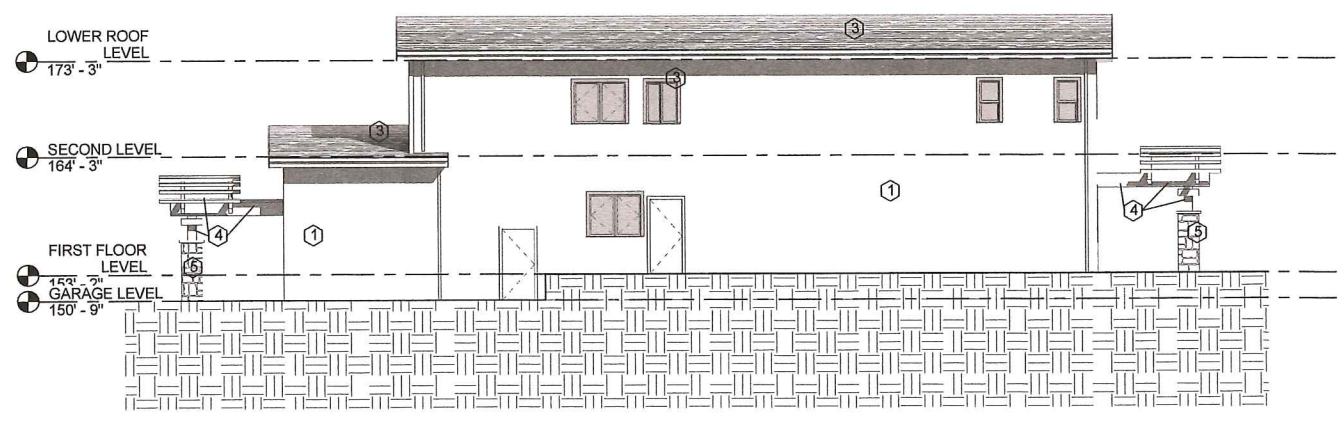


② STREET ELEVATION
1/8" = 1'-0"

Label	Description
1	NEW STUCCO P-124 IVORY POWDER (A Base)
2	NEW STUCCO P-120 MOROCCAN SAND (B Base)
3	NEW ROOF CLY TILE LIGHT WEIGHT (EAGLE CAPISTRANO)
4	WOOD TRELLIS (WALNUT)
5	ROOF VENT SEE VENT CALC. FOR SIZE



③ BACK ELEVATION
1/4" = 1'-0"



④ SIDE ELEVATION
1/8" = 1'-0"

Contract	Project number
Address	15161
Owner	Date 09/10/2016
Architect	Drawn by Author
Engineer	Checked by Checker

No.	Description	Date

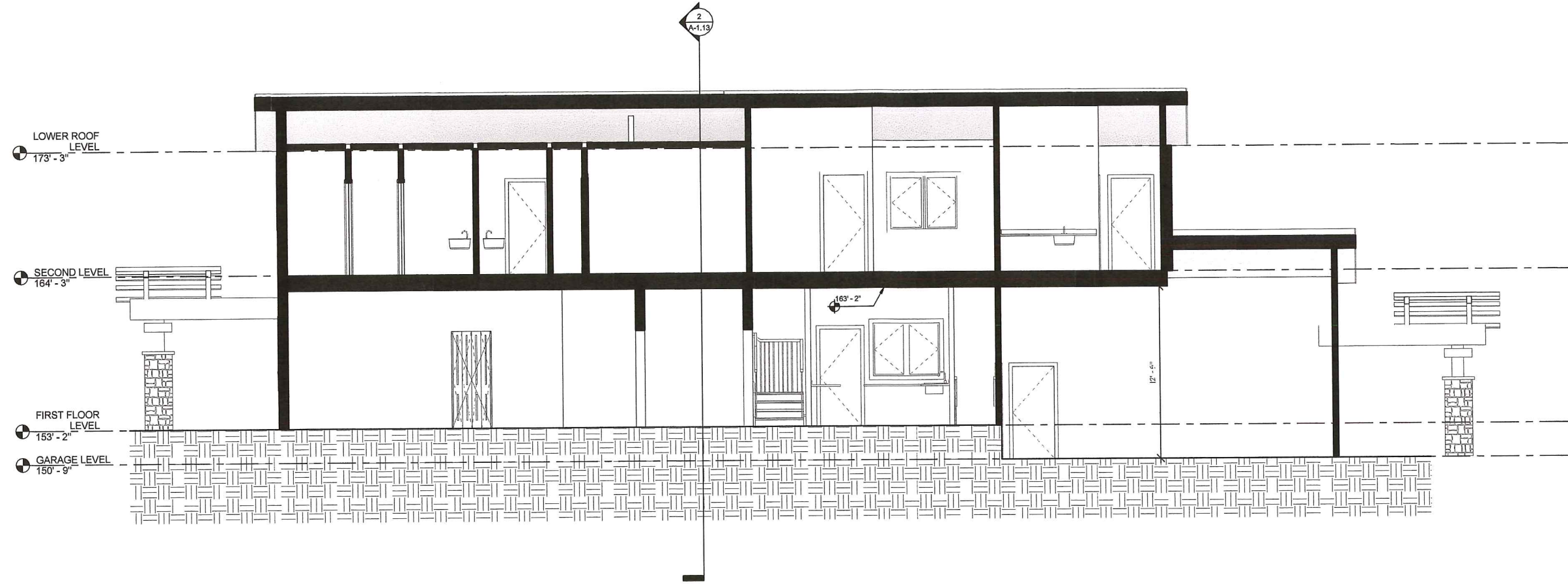
YACQUIT INVESTMENTS LLC,
UNIT B-2
34466 Via Verda
Dana Point, CA 92624
ELEVATIONS



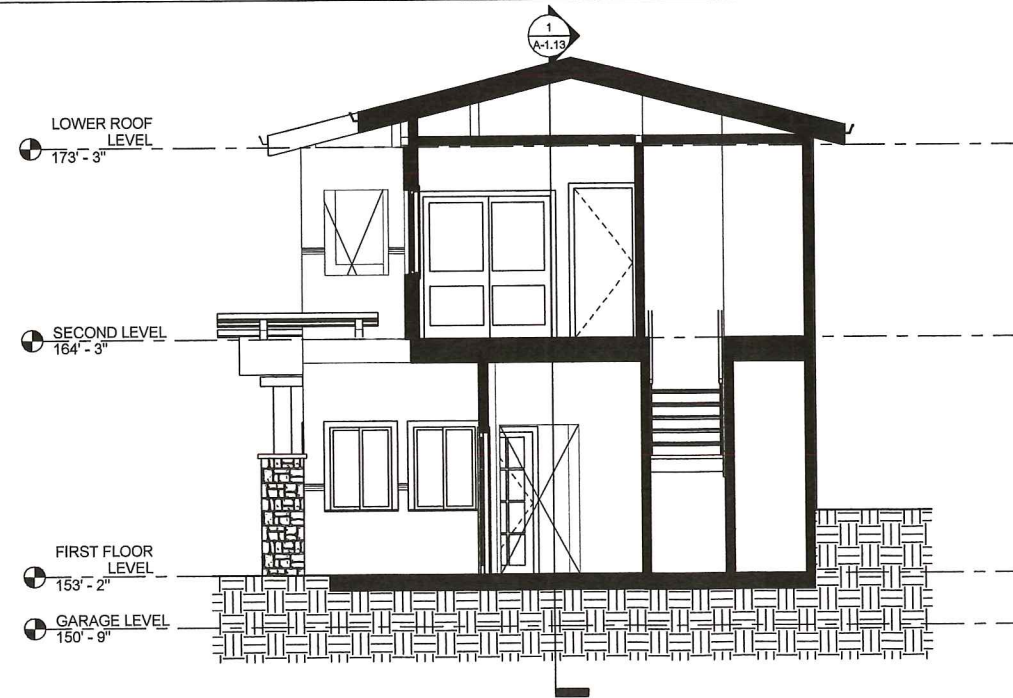
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MUSTAFA B. DAWAI ARCHITECT
 SB2017 4:05:36 PM



① Section 1.0
 1/4" = 1'-0"



② Section 2.0
 1/4" = 1'-0"

Consultant	Project	Client	Project	Client	Project	Client
Address	Address	Address	Address	Address	Address	Address
Phone	Phone	Phone	Phone	Phone	Phone	Phone
e-mail	e-mail	e-mail	e-mail	e-mail	e-mail	e-mail
Project number 15161						
Date 09/10/2016						
Prepared by Author						
Checked by Checker						

No.	Description	Date

YACOUT INVESTMENTS LLC.
 UNIT B-2
 34466 Via Verda
 Dana Point, CA 92624
 SECTIONS



1438 Warner Ave
 Suite 8
 Torrey Pines, California 92760
 TEL: 714.675.2600 FAX:
 714.675.2604

A-1.13

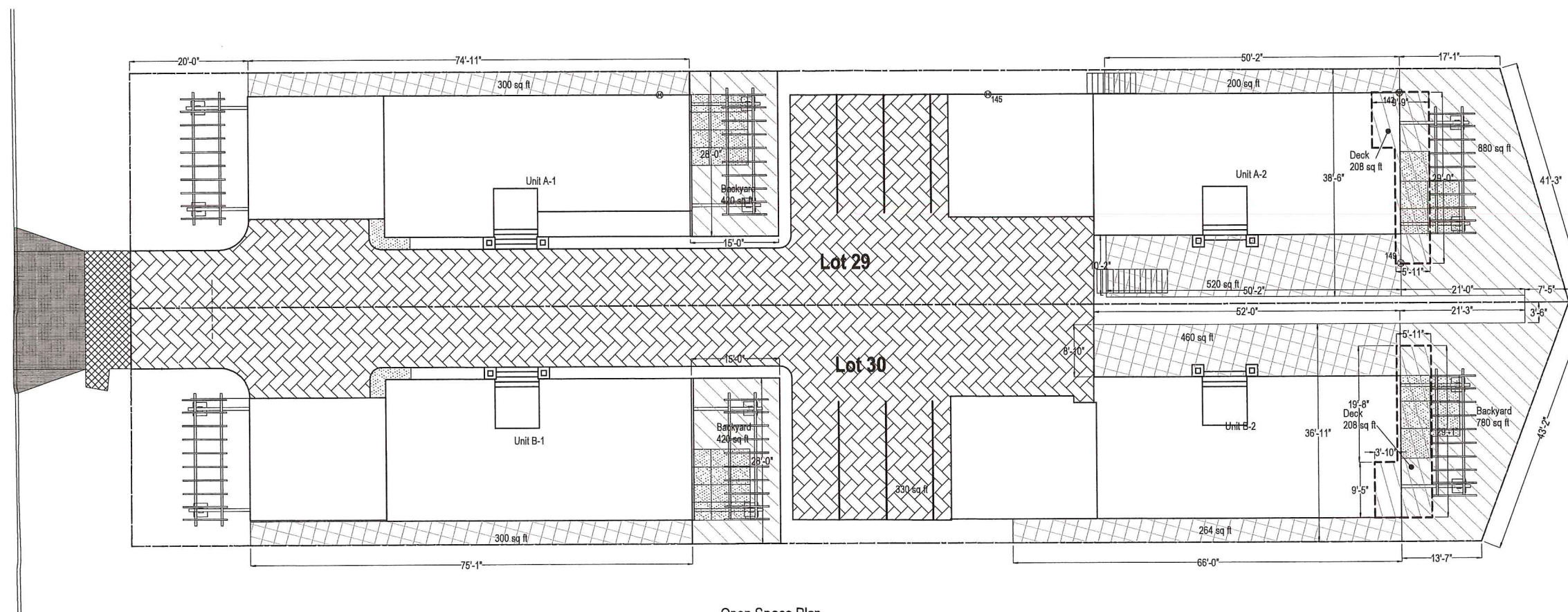
New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



Hailham A. Hafeez

www.Hafeez Consulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Hailham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com



Open Space Plan



Open Space area calculations (all values in ft²)

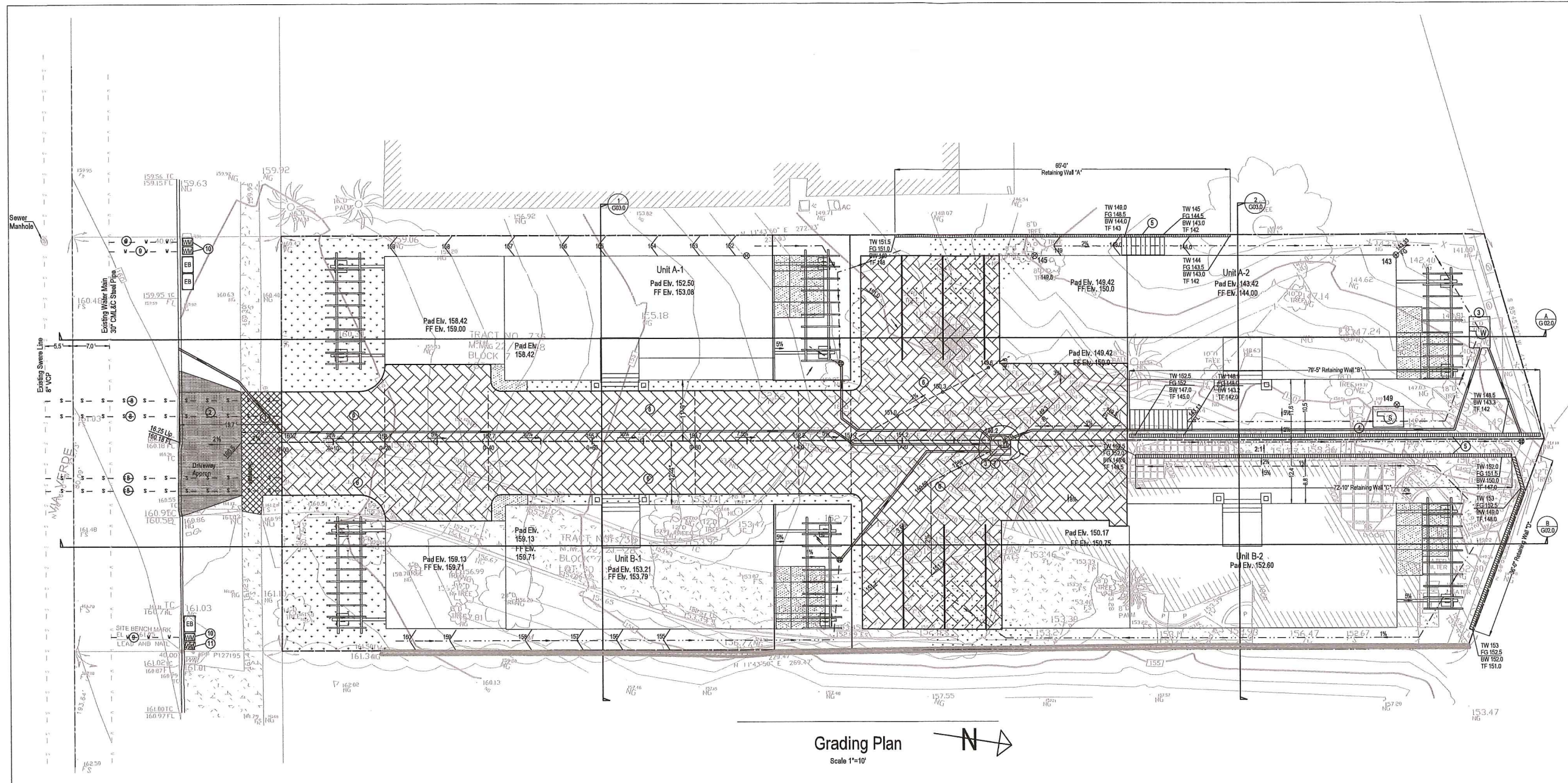
Lot 29							
Unit	Backyard	Deck	Front	sideyard	sideyard	subtotals	
A-1	420	0	0	300		720	
A-2	880	0	0	200	520	1600	
						Grand Total Lot 29	2320
						Required Open space area	1897
Provided Open Space > Required .. OK							

Lot 30							
Unit	Backyard	Deck	Front	sideyard	sideyard	subtotals	
B-1	420	0	0	300		720	
B-2	780	0	0	460	264	1504	
						Grand Total Lot 29	2224
						Required Open space area	1913
Provided Open Space > Required .. OK							

Revisions		
△	03/04/16	Per Site Development Review
△	04/08/16	Per Site Development Review
△	10/05/16	Per Site Development Review
△	01/17/17	Per Site Development Review

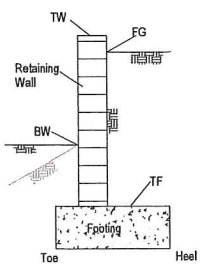
Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016

Sheet No.



- Legend:**
- Existing Contour
 - Proposed Contour
 - Spot Elevation
 - Concrete
 - Pad Proposed Pad Elevation
 - FS Proposed Finished Surface
 - FG Proposed Finished Ground
 - FF Proposed Finished Floor
 - INV Invert of Pipe
 - TG Top of Grate
 - PL Property Line
 - TF Top of Footing
 - HP High Point
 - GB Grade Break
 - Grading Limit
 - Landscape
 - Downspout
 - Temp Cut Temporary Slope Cutback
 - Overexcavation Limits
 - CMU Retaining Wall
 - Pervious Pavement
 - Flow Path & Direction
 - PVC Pipe
 - Property Line
 - Water Pump
 - Sewer Pump
 - New Driveway Apron
 - Sidewalk Improvement
 - Surface Drain Inlet

Grading Plan
Scale 1"=10'



Typical Retaining Wall Detail

Earthwork Quantity Estimate

Lot	Cut	Fill	Export	Import
29	320 cy	55 cy		
30	90 cy	50 cy		
Total for project	410 cy	105 cy	305 cy	0

Pavement Quantity Estimate

Pavement type	Lot 29	Lot 30	Project total
Pervious	2110 ft ²	2110 ft ²	4220 ft ²
Impervious	0.0 ft ²	0.0 ft ²	0.0 ft ²

Grading Construction Notes:

- 1 Construct 4" sidewalk
- 2 Construct 4" concrete driveway approach
- 3 Construct duplex pump system
- 4 Construct sewer pump system per separate permit
- 5 Construct retaining wall per separate permit
- 6 Construct pervious pavement driveway
- 7 Construct 48"x48" grate inlet
- 8 Construct new sewer lateral
- 9 Construct new water lateral
- 10 Install new water meter
- 11 Abandon existing water meter and replace with new

South Coast Water District Notes:

- All existing water services currently serving the property shall be abandoned at the main and replaced with new services prior to issuance of occupancy certificate, and per SCWD Stds W-1 and W-2.
- Pressure regulator for static pressure 80 psi of higher per CPC and CBC.
- Owner/ developer shall submit projected peak hour water demands and fire flow requirements to SCWD prior to issuance of grading permits. This information will be used to determine the adequacy of the existing water system to serve the development. Any and all required system capacity upgrades shall be the responsibility of the owner/developer and at his expense.
- Separate services and meters shall be installed to each building premise.
- Dedicated irrigation meters shall be installed for landscape areas exceeding 2500 sf.
- Separate services shall be installed for domestic and fire usage. Combination fire/domestic services are only allowed on Residential 13D fire sprinkler systems requiring 2-inch diameter or smaller services and meters.
- Owner/developer shall submit projected sewer peak flows to SCWD prior to issuance of grading permit. This information will be used to determine the adequacy of the existing system to serve the development. Any and all required capacity upgrades shall be the responsibility of the owner/developer and at his expense.
- Prior to issuance of building permits, if existing sewer laterals serving the property are determined to be substandard per SCWD requirements, then owner/developer shall replace per current SCWD standards at his expense.
- Prior to issuance of grading permit, owner/ developer shall perform a fire flow test to determine the adequacy of the existing water system to meet the required fire flow demand. All required fire flow upgrades shall be at owner/ developer's expense.

New House Construction
Project Address:
34466 Via Verde
Dana Point, CA 92624

Owner:
Yaqout Investments, LLC
17200 Newhope St. # 228A
Fountain Valley, CA 92708



www.Hafeez Consulting.com
1451 S. Hacienda St
Anaheim, CA 92804
Project Engineer:
Haitham A. Hafeez, P.E.
Tel (714) 225 - 4565
Fax (714) 917 - 2977
engineer@hafeezconsulting.com

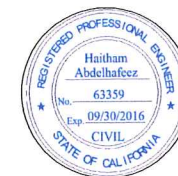
Revisions	
03/04/16	Per Site Development Review
04/06/16	Per Site Development Review
10/05/16	Per Site Development Review
01/17/17	Per Site Development Review

Scale: 1/4" = 1' UNO
Original Date: 01/04/2016
Sheet No. G01.0

Grading Plan

New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708



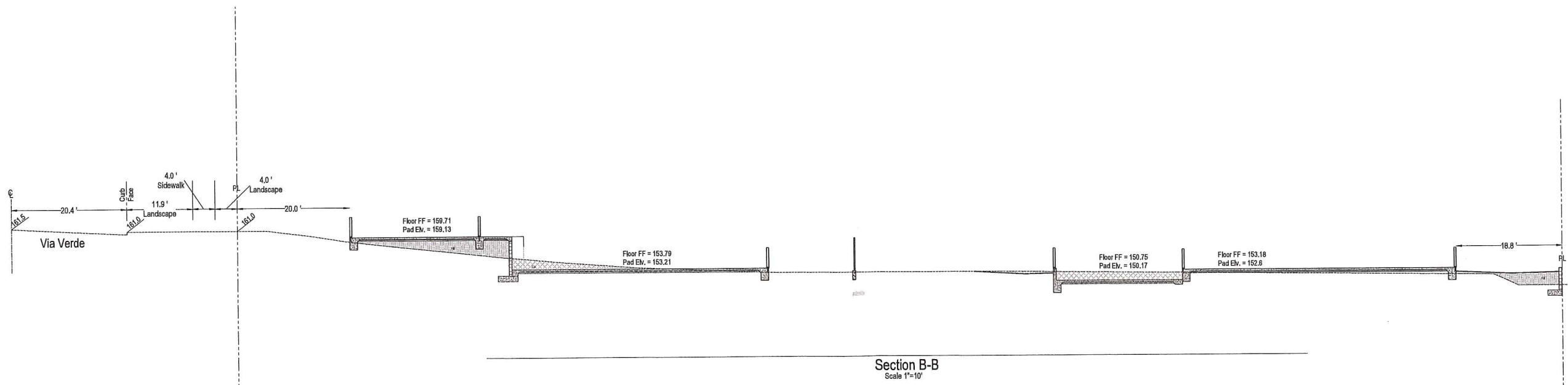
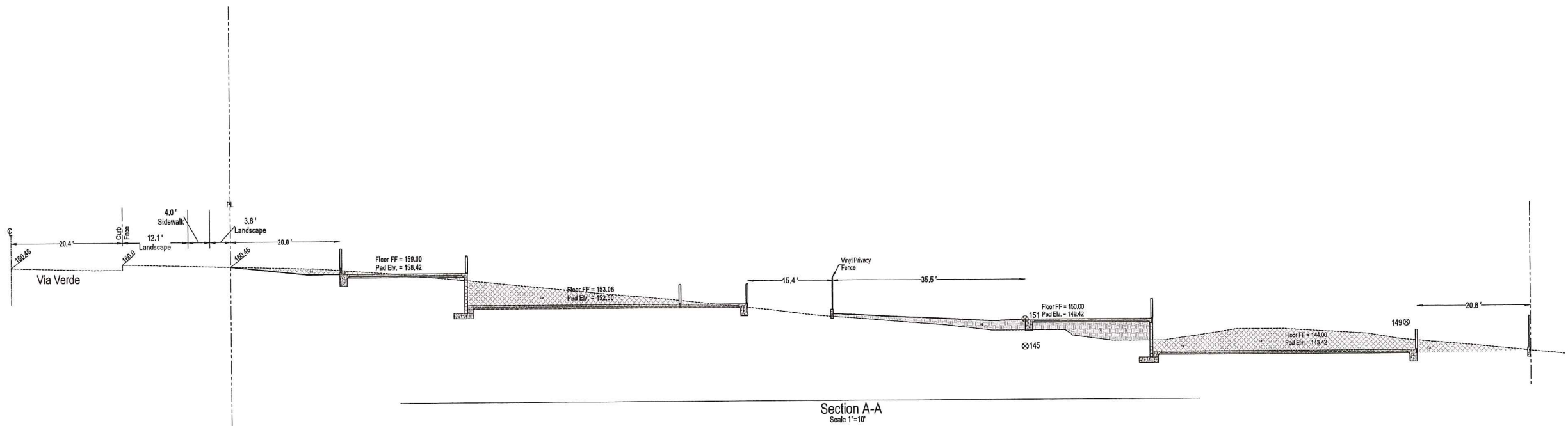
Haitham A. Hafeez

www.Hafeez Consulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com

Revisions	
▲	03/04/16 Per Site Development Review
▲	04/06/16 Per Site Development Review
▲	10/05/16 Per Site Development Review
▲	01/17/17 Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016

Sheet No.
 G02.0



Site Section

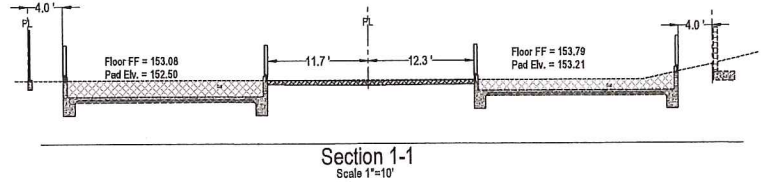
New House Construction
 Project Address:
 34466 Via Verde
 Dana Point, CA 92624

Owner:
 Yaqout Investments, LLC
 17200 Newhope St. # 228A
 Fountain Valley, CA 92708

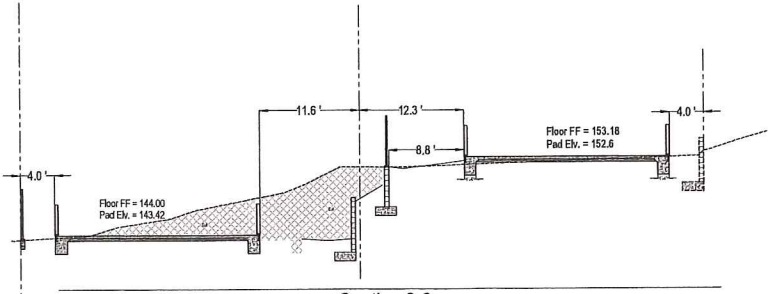


Haitham A. Hafeez

www.Hafeez Consulting.com
 1451 S. Hacienda St
 Anaheim, CA 92804
 Project Engineer:
 Haitham A. Hafeez, P.E.
 Tel (714) 225 - 4565
 Fax (714) 917 - 2977
 engineer@hafeezconsulting.com



Section 1-1
 Scale 1"=10'



Section 2-2
 Scale 1"=10'

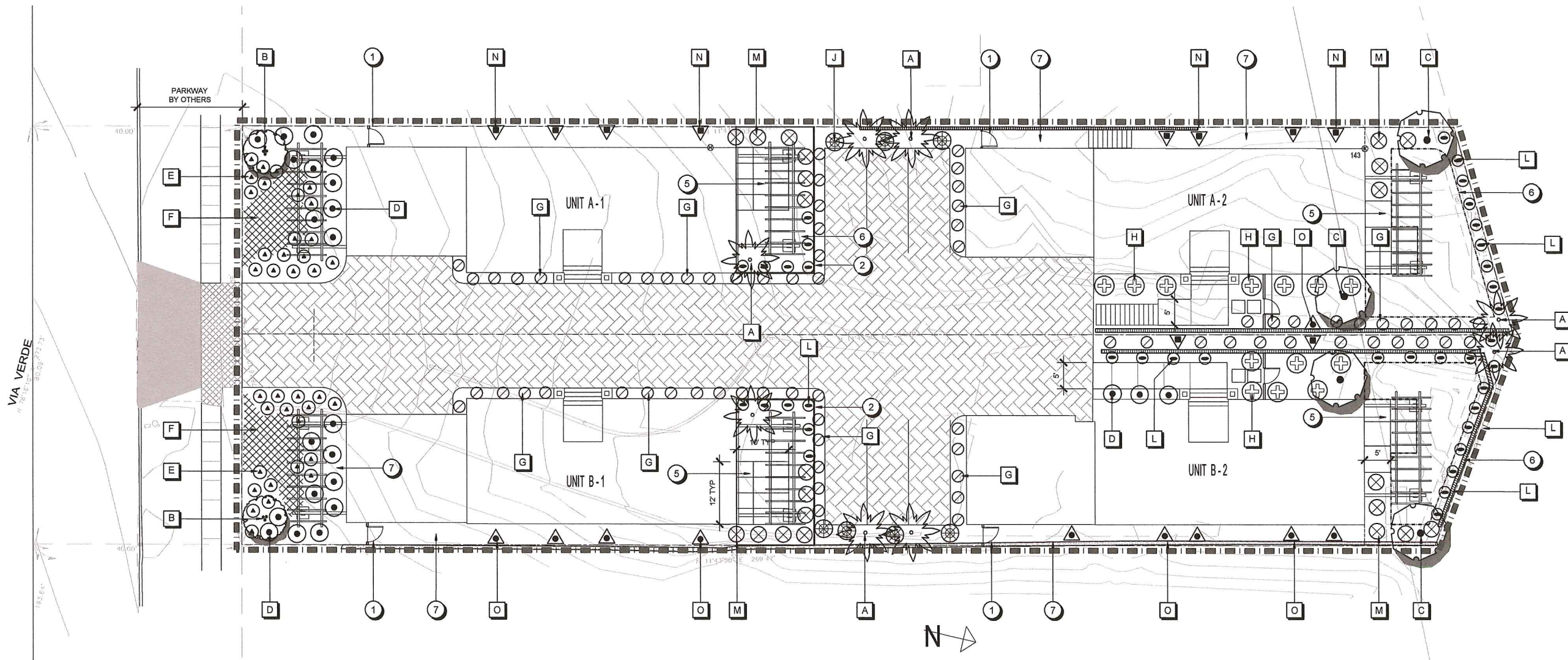
Revisions		
△	03/04/16	Per Site Development Review
△	04/08/16	Per Site Development Review
△	10/05/16	Per Site Development Review
△	01/17/17	Per Site Development Review

Scale: 1/4" = 1' UNO
 Original Date: 01/04/2016

Sheet No.
 G03.0



Edward F. Doll
 LANDSCAPE ARCHITECTURE AND PLANNING
 CA LIC #3419
 4151 Belvedere Street Irvine, CA 92604
 949-246-7549 edoll@ccs.net



SITE LANDSCAPE CONSTRUCTION ITEMS

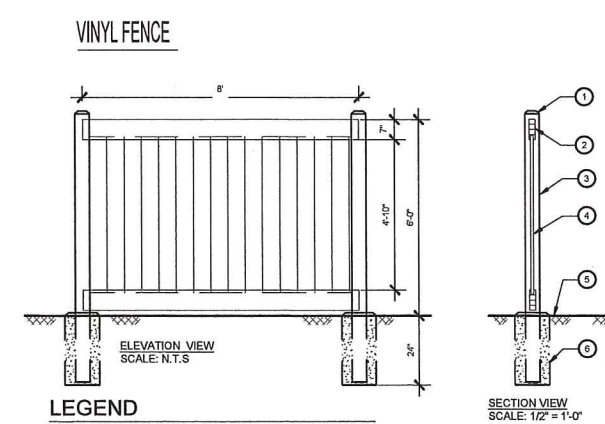
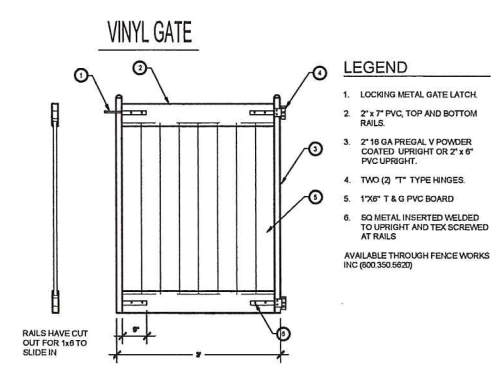
ITEM	DESCRIPTION
1.	PROPOSED SIDE YARD VINYL FENCE AND SWING GATE
2.	PROPOSED REAR YARD VINYL FENCE.
3.	PROPOSED CONCRETE CURB. SEE ENGINEER'S PLANS.
4.	PROPOSED 4' WIDE CONCRETE ENTRY SIDEWALK WITH NATURAL GREY BROOM FINISH.
5.	PROPOSED REAR YARD CONCRETE PATIO NATURAL GREY BROOM FINISH WITH SCORE LINES.
6.	PERIMETER ARCHITECTURAL WALLS.
7.	ALL PLANTER BEDS TO RECEIVE 3" OF NATURALIZED FIR BARK MULCH

SITE LANDSCAPE TREES - SEE QUANTITIES ON PLAN PER EACH RESIDENCE

A.	ARCHONTOPHOENIX CUNNINGHAMIANA - KING PALM	15 GAL SINGLE TRUNK
B.	OLEA EUROPEA - SWAN HILL OLIVE	15 GAL STANDARD TRUNK
C.	TRISTANIA CONFERTA - BRISBANE BOX	15 GAL STANDARD TRUNK

SITE LANDSCAPE SHRUBS - SEE QUANTITIES ON PLAN PER EACH RESIDENCE

ITEM	DESCRIPTION	QUANTITY
D.	DIETES VEGETA - JOHNSONII FORTNIGHT LILY	5 GAL
E.	ALOE BAINESII - ALOE	1 GAL
F.	FESTUCA OVINA - BLIE SHEEP FESCUE	1 GAL @ 18" O.C.
G.	JUNIPERUS CHINENSIS - SEA GREEN JUNIPER	5 GAL
H.	PHOENIX ROEBELII - PIGMY DATE PALM	5 GAL
I.	AGAVE FILIFERA - AGAVE	1 GAL
J.	STRELITZIA REGINAE - BIRD OF PARADISE	5 GAL
K.	DELOSPERMUM ALBA - ICE PLANT	1 GAL @ 18" O.C.
L.	HEBE CUPRESSOIDES NANA - HEBE NANA	1 GAL
M.	PITTIOSPORUM TOBIRA VERIEGATA - PITTIOSPORUM	1 GAL
N.	TECOMARIACAPENSIS - CAPE HONEYSUCKLE	5 GAL
O.	TRECHELOSPERMUM JASMINOIDES - STAR JASMINE	5 GAL



DATE	REVISION

OWNER:
YAQOUT
 17200 NEWHOPE STREET # 228A
 FOUNTAIN VALLEY, CA 92708

PROJECT:
LANDSCAPE PLANS
 PM 12100
 34466 VIA VERDE
 DANA POINT, CA 92624

DRAWING TITLE:
CONSTRUCTION PLANTING PLAN

DESIGNED	ED
DRAWN	EZ
CHECKED	ED
DATE	01/23/2017
JOB NO.	
CAD FILE	CL.dwg
SHEET NUMBER	L-1
	1 OF 4 SHEETS



Edward F. Doll
 LANDSCAPE ARCHITECTURE AND PLANNING
 CA LIC #3419
 4151 Belvedere Street Irvine, CA 92604
 949-246-7549 edoll@cox.net

DATE	REVISION

OWNER:
YAQOUT
 17200 NEWHOPE STREET # 228A
 FOUNTAIN VALLEY, CA 92708

PROJECT:
LANDSCAPE PLANS
 PM 12100
 34466 VIA VERDE
 DANA POINT, CA 92624

DRAWING TITLE: CONSTRUCTION & PLANTING DETAILS	
DESIGNED	ED
DRAWN	EZ
CHECKED	ED
DATE	01/23/2017
JOB NO.	
CAD FILE	LD.dwg

SHEET NUMBER
L-2
 2 OF 4 SHEETS

LEGEND

1. FINISH GRADE
2. 1/4" RADIUS ALL EDGES
3. CONCRETE PAVING
4. TOOLED SCORE JOINT - SEE DETAIL, THIS SHEET
5. REINFORCING STEEL - REFER TO SOILS REPORT
6. EXPANSION JOINT - SEE DETAIL, THIS SHEET
7. SUB-BASE MATERIAL - REFER TO SOILS REPORT, TYP.
8. COMPACTED SUB-GRADE - REFER TO SOILS REPORT
9. 1-1/2" IN TURF, 2" IN PLANTING BEDS

NOTES:
 - REFER TO SOIL'S ENGINEER'S REPORT FOR MINIMUM THICKNESS OF CONCRETE AND SIZE / DEPTH OF REINFORCING STEEL.

SECTION VIEW
 SCALE: 1" = 1'-0"

1 CONCRETE PAVING

SCORE JOINT-SECTION VIEW
 SCALE: 1" = 1'-0"

EXPANSION JOINT-SECTION VIEW
 SCALE: 1" = 1'-0"

LEGEND

1. POLYSTYRENE JOINT CAP OVER EXPANSION BOARD. REMOVE TOP OF JOINT CAP PRIOR TO CAULKING. (SEE NOTE)
2. 3/8" WIDE FULL DEPTH ASPHALT SATURATED FIBER EXPANSION BOARD
3. CONCRETE PAVING - REFER TO FINISH SCHEDULE FOR COLOR, FINISH AND/OR PATTERN - REFER TO SOILS REPORT FOR THICKNESS
4. 1/4" RADIUS - ALL EDGES
5. 3/4" DEEP X 3/8" WIDE (MAX.) SCORE JOINT OR SAWCUT WITH 1/4" RADIUS EDGES WHERE OCCURS SEE CONSTRUCTION PLAN
6. REINFORCING STEEL - REFER TO SOILS REPORT FOR REQUIREMENTS
7. AGGREGATE SUB-BASE - REFER TO SOILS REPORT FOR DEPTH REQUIREMENTS
8. FINISH GRADE
9. COMPACTED SUBGRADE - REFER TO SOILS REPORT FOR REQUIREMENTS
10. 1" MINIMUM, 2" AT TURF AREAS

NOTE:
 - APPLY 1/2" DEEP JOINT SEALANT (CAULKING) INTO GROOVE. SAND IN WITH #60 SILICA SAND. MATCH COLOR OF PAVING

2 CONCRETE JOINTS

ELEVATION VIEW
 SCALE: 3/4" = 1'-0"

SECTION VIEW
 SCALE: 3/4" = 1'-0"

LEGEND

1. 2"x7" OR 1-1/2"x5-1/2" PVC TOP AND BOTTOM RAILS MANUFACTURE: FENCEWORKS, INC. COLOR: 'TAN'
2. 1"x6" T&G PVC BOARD
3. 5"x5" VINYL POST WITH DOMED CAP
4. FINISH GRADE, TYP.
5. CONCRETE FOOTING
6. COMPACTED SUB-GRADE - REFER TO SOILS REPORT

NOTES:
 - INSTALL PER MANUFACTURER'S INSTRUCTION. RAILS HAVE CUT OUT FOR 1" x 6" TO SLIDE IN.
 - REFER TO STRUCTURAL ENGINEER'S FOR ALL INFORMATION PERTAINING TO REINFORCEMENT, FOOTING SIZE, AND COVER.

3 6' HIGH VINYL PRIVACY FENCE

4 VINYL GATE

ELEVATION VIEW
 SCALE: 3/4" = 1'-0"

SECTION VIEW
 SCALE: 3/4" = 1'-0"

LEGEND

1. 2"x7" OR 1-1/2"x5-1/2" PVC TOP AND BOTTOM RAILS MANUFACTURE: FENCEWORKS, INC. COLOR: 'TAN'
2. 1"x6" T&G PVC BOARD
3. 5"x5" VINYL POST WITH DOMED CAP
4. FINISH GRADE, TYP.
5. ADJACENT VINYL FENCING - REFER TO DETAIL, THIS SHEET
6. T-HINGE
7. LATCH
8. SQUARE METAL INSERT WELDED TO UPRIGHT AND HEX SCREWED AT RAILS
9. 2" 16GA. PREGALV POWDER COATED UPRIGHT OR 2"x6" PVC UPRIGHT

NOTES:
 - INSTALL PER MANF.'S INSTRUCTION.
 - RAILS HAVE CUT OUT FOR 1" x 6" TO SLIDE IN.

5 VINE PLANTING ON FENCE/WALL

ELEVATION VIEW
 NOT TO SCALE

LEGEND

1. APPLY A ONE INCH (1") DIAMETER AMOUNT OF G.E. SILICON ADHESIVE TO VINE TAB AND ATTACH TO WALL. SECURE VINE TO EACH VINE TAB
2. ESPALIER OR VINE (SEE PLANTING PLAN FOR SIZE)
3. FENCE OR WALL

6 SHRUB PLANTING

SECTION VIEW
 NOT TO SCALE

LEGEND

1. 1, 5, OR 15 GALLON SHRUB
2. 2" LAYER OF MULCH
3. 3" WATER BASIN
4. FINISH GRADE
5. AMENDED SOIL FOR PLANTING - SEE SOILS REPORT
6. PLANT PIT EXCAVATION
7. PLANTING TABLETS - SEE SCHEDULE FOR QTY.
8. ROOTBALL
9. NATIVE SUBGRADE

6 SHRUB PLANTING NOT TO SCALE

7 PALM PLANTING WITH DRAINAGE

SECTION VIEW
 NOT TO SCALE

LEGEND

1. 4" DIA. VERTICAL PERFORATED DRAIN PIPE. CONNECT TO PIPE AT BASE OF PIT AND CAP AT SURFACE. SURROUND PIPE WITH FILTER FABRIC. ALL PALM SUB-DRAINS SHALL CONNECT TO ON SITE DRAIN SYSTEM.
2. TOP OF ROOT BALL TO BE 1" ABOVE FINISH GRADE
3. 3" HIGH BASIN. FOR ALL TREES PLANTED IN LAWN, RAKE OUT PRIOR TO LAWN PLANTING.
4. FINISH GRADE
5. MEDIUM GRADE PLASTER SAND BACKFILL, WATER-JETTED INTO HOLE FOR MAXIMUM STABILITY.
6. 4" DIA. FLEXIBLE PERFORATED DRAIN PIPE ENCIRCLING BASE OF PLANTING PIT. CONNECT TO VERTICAL PIPE. SURROUND PIPE WITH FILTER FABRIC.
7. NATIVE SUBGRADE

NOTES:
 - ALL PALM TREES ARE TO BE BOXED (UNLESS OTHERWISE NOTED ON PLAN). CONTRACTOR SHALL HAVE A SOIL AGRONOMIST PREPARE A DETAILED SOIL ANALYSIS AT TREE PLANTING LOCATIONS AND INSTALL ALL PALMS FOLLOWING THE RECOMMENDATIONS OF THE REPORT.
 - APPLY 'OSMOCOTE' SLOW-RELEASE FERTILIZER ON SURFACE OF PLANTING PIT PER MANUFACTURER'S DIRECTION.

7 PALM PLANTING WITH DRAINAGE

SECTION VIEW
 NOT TO SCALE

LEGEND

1. (1) 8" 'ARBOR GUARD' FOR EACH TREE IN TURF BY DEEP ROOT CORP. (714) 898-0563.
2. TOP OF ROOT BALL TO BE 1" ABOVE FINISH GRADE.
3. 3" HIGH WATER BASIN - SEE SPECIFICATIONS
4. FINISH GRADE
5. BACKFILL MIX - SEE SOILS REPORT.
6. PLANTING TABLET - SEE SCHEDULE FOR QTY.
7. ROOTBALL
8. NATIVE SUBGRADE
9. 4" DIA. FLEXIBLE PERFORATED DRAIN PIPE ENCIRCLING BASE OF PLANTING PIT. CONNECT TO VERTICAL PIPE. SURROUND PIPE WITH FILTER FABRIC.
10. 4" DIA. VERTICAL PERFORATED DRAIN PIPE. CONNECT TO PIPE AT BASE OF PIT AND CAP AT SURFACE. SURROUND PIPE WITH FILTER FABRIC.
11. 2" LAYER OF MULCH

8 TREE PLANTING SCALE: NOTED



Edward F. Doll
 LANDSCAPE ARCHITECTURE AND PLANNING
 CA LIC #3419
 4151 Belvedere Street Irvine, CA 92604
 949-246-7549 edoll@cox.net

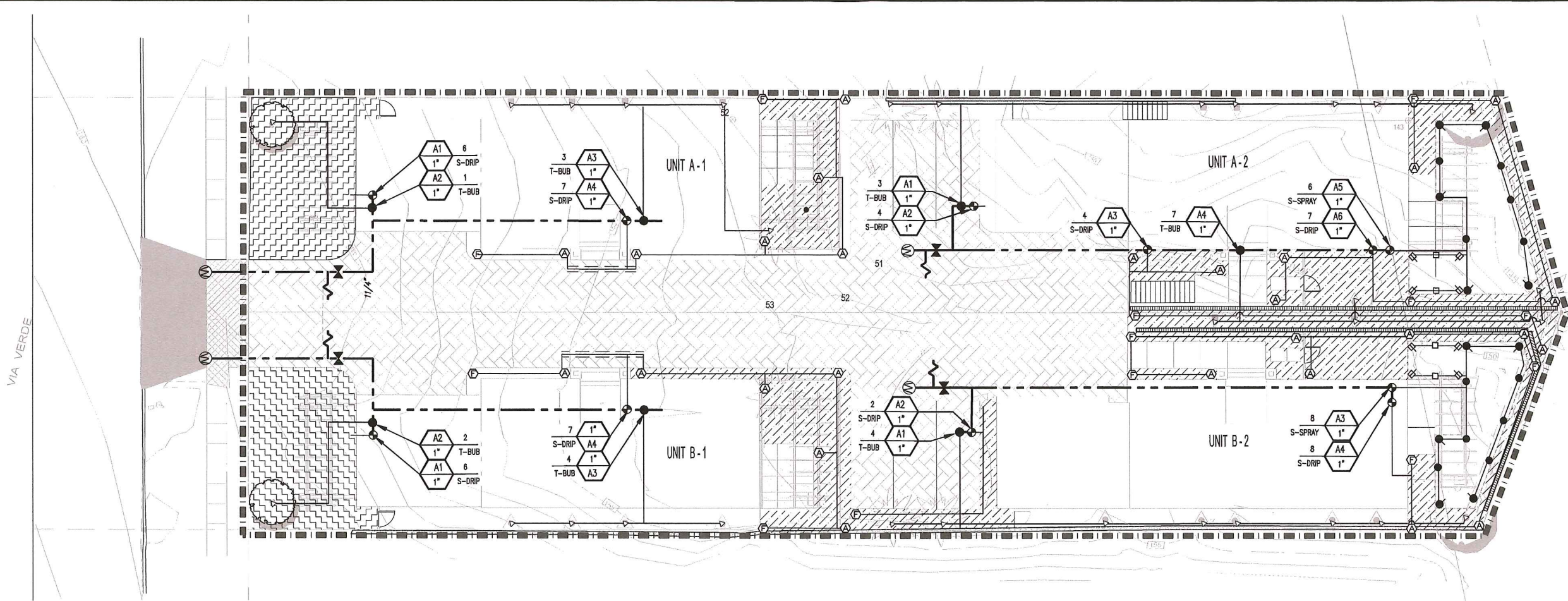
REVISION	DATE

OWNER:
YAQOUT
 17200 NEWHOPE STREET # 228A
 FOUNTAIN VALLEY, CA 92708

PROJECT:
LANDSCAPE PLANS
 PM 12100
 34466 VIA VERDE
 DANA POINT, CA 92624

DRAWING TITLE:
IRRIGATION LAYOUT PLAN

DESIGNED	ED
DRAWN	EZ
CHECKED	ED
DATE	01/23/2017
JOB NO.	
CAD FILE	CL.dwg
SHEET NUMBER	L-3
3 OF 4 SHEETS	



IRRIGATION MATERIAL LEGEND

SYMBOL	MANUFACT.	MODEL NO. / DESCRIPTION	GPM	PSI	RADIUS	PRECIP. RATE
☒	RAIN BIRD	1806-SAM-PRS POP-UP 4-VAN Q / H NOZZLES	.29, .45, .88	30	4" VAN	5.78
●	RAIN BIRD	1812-SAM-PRS POP-UP MPR-8Q / H / F NOZZLES	.28, .52, 1.05	30	8"	1.58

TREE BUBBLERS :

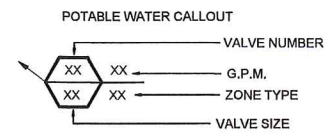
△	TORO	570Z-6P-COM-FB25PC - 6" POP-UP BUBBLER HEAD, EACH SYMBOL REPRESENTS TWO (2) BUBBLERS PER TREE, PLACE BUBBLERS AT EDGE OF ROOTBALL ON OPPOSITE SIDES OF TREE TYPICAL.
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SUB-SURFACE DRIP - SHRUB AREAS

	TORO	RGP-418-01 DL2000 DRIP TUBING W/ 0.5 GPH EMITTERS 18" ON CENTER, INSTALL TUBING ROWS A MAXIMUM OF 16"-18" APART IN SHRUB AREAS. ALL TUBING SHALL BE INSTALLED 2" BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (5) FEET ON CENTER; VERIFY THE LAYOUT AND SPACING IN THE FIELD PRIOR TO STARTING WORK
	TORO	CA-710 COMPRESSION FITTING FOR CONNECTION BETWEEN PVC LATERAL LINES AND DRIP TUBING
	TORO	RGP-212-01 DL2000 DRIP TUBING W/ 0.5 GPH EMITTERS 12" ON CENTER, INSTALL TUBING AS SHOWN. ALL TUBING SHALL BE INSTALLED 2" BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (5) FEET ON CENTER; VERIFY THE LAYOUT AND SPACING IN THE FIELD PRIOR TO STARTING WORK
NO SYMBOL	TORO	ALL CONNECTIONS BETWEEN DRIP TUBING SHALL BE MADE USING DL-2000 "LOC-EZE" FITTINGS
	TORO	PROVIDE A FCH-H AUTOMATIC FLUSH VALVE AT END/MIDDLE OF DRIPLINE 3/4" PCV FLUSH MANIFOLD LINE, INSTALL FLUSH VALVE INSIDE A SEPERATE VALVE BOX, ONE AT THE END OF TUBING RUNS IN EACH DIRECTION. INSTALL MIN. ONE FLUSH VALVE PER 1000' OF TUBING IN EACH DIRECTION ON DRIPLINE FLUSH MANIFOLD, INSTALL 18" FROM PAVING. INSTALL ALL FLUSH EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
	TORO	YD-500-34 AIR/VACUUM RELIEF VALVE INSTALLED WITH A FT-050 COMBINATION TEE AND A 3/4" X 1/2" REDUCER BUSHING, INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER, MIN. 1 ARV PER 500' OF DRIPLINE. USING AIR RELIEF LATERAL, CONNECT AIR RELIEF VALVE TO ALL DRIPLINE LATERALS WITHIN THE ELEVATED AREA. MULTIPLE ARV'S SHALL BE REQUIRED PER RCV WITHIN UNDULATING AREAS, VERIFY QUANTITY PRIOR TO STARTING WORK, INSTALL VALVE BOX 18" FROM PAVING AND AT HIGH POINTS OF PLANTER AREA. INSTALL ALL AIR VACUUM RELIEF EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
	P.O.C.	DOMESTIC WATER METER FOR FUTURE RESIDENCE, EXISTING PER CIVIL DRAWINGS
	WILKINS	500HLR 1.25" PRESSURE REGULATOR (REQUIRED IF HOSE PRESSURE EXCEEDS 85PSI)
	WATTS	1.25" - B-6080-SS-SH FULL PORT BRONZE VALVE, STAINLESS STEEL BALL
	TORO	(LOW FLOW VALVE RANGE .25 - 8.0 GPM) (MED FLOW VALVE RANGE 2.0 - 20.0 GPM) SEE PLAN FOR VALVE SIZE - DZK-EZF-075-LF (3/4" VALVE) OR DZK-EZF-1-MF (1" VALVE) PLASTIC ANTI-SIPHON TYPE CONTROL VALVE, WITH MESH WYE FILTER AND PRESSURE REGULATOR. INSTALL BOTH ON THE DOWNSTREAM SIDE OF EACH DRIP RCV IN A VALVE BOX.
	TORO	EZF-29-03 REMOTE CONTROL VALVE.
	TORO	SLOPE CONDITIONS REQUIRE ASV IF DRIP EMITTERS, SPRAY HEADS OR BUBBLERS ARE ABOVE THE 12" ZONE BELOW THE IRRIGATION VALVE. CONTRACTOR TO INSTALL A CHAMPION 3/4-Inch Vacuum Breaker - model # 262-075Y AT 12 ABOVE HIGHEST EMISSION DEVICE ON THE SYSTEM.
	AS APPROVED	PVC PIPE 3/4" - 2" SCH. 40 AS LATERAL LINES 12" BELOW GRADE
	AS APPROVED	PVC PIPE 1.5" CL. 315 AS MAINLINES 18" BELOW GRADE
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED PLACE BELOW ALL PAVING, HARDSCAPE, ETC., AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE.

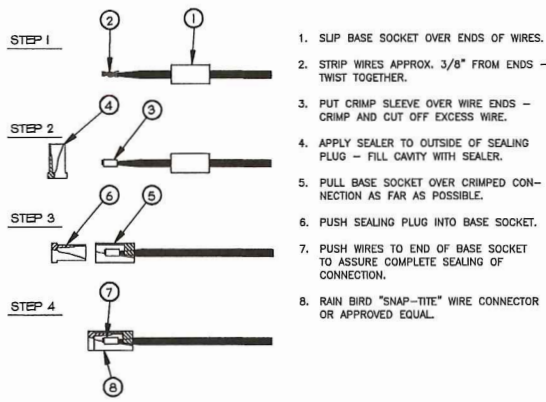
IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. SUMMERS / MURPHY & PARTNERS INC. RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.

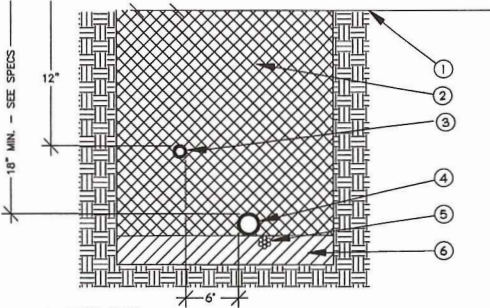


PIPE SIZING CHART		
0 TO 5	GPM	3/4" SCH 40 PVC PIPE
5 TO 10	GPM	1" SCH 40 PVC PIPE
10 TO 15	GPM	1-1/4" SCH 40 PVC PIPE
15 TO 25	GPM	1-1/2" SCH 40 PVC PIPE

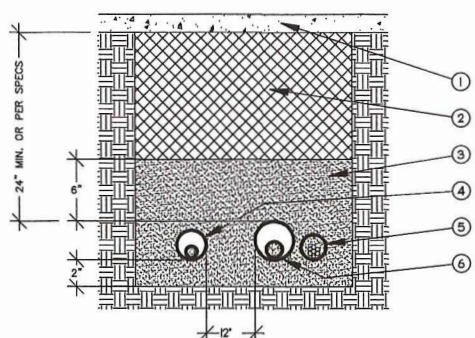
NOTE:
 CONTRACTOR SHALL SIZE ALL LATERAL LINES PER PIPE SIZING CHART, IN NO INSTANCE SHALL PIPE SIZE EXCEED DESIGNATED GPM RANGE.



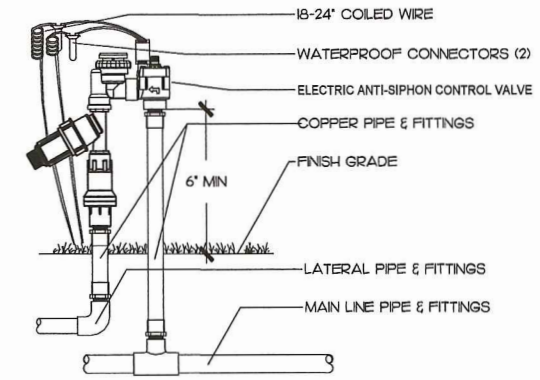
1. SLIP BASE SOCKET OVER ENDS OF WIRES.
2. STRIP WIRES APPROX. 3/8" FROM ENDS - TWIST TOGETHER.
3. PUT CRIMP SLEEVE OVER WIRE ENDS - CRIMP AND CUT OFF EXCESS WIRE.
4. APPLY SEALER TO OUTSIDE OF SEALING PLUG - FILL CAVITY WITH SEALER.
5. PULL BASE SOCKET OVER CRIMPED CONNECTION AS FAR AS POSSIBLE.
6. PUSH SEALING PLUG INTO BASE SOCKET.
7. PUSH WIRES TO END OF BASE SOCKET TO ASSURE COMPLETE SEALING OF CONNECTION.
8. RAIN BIRD "SNAP-TITE" WIRE CONNECTOR OR APPROVED EQUAL.



1. FINISH GRADE
 2. CLEAN BACKFILL - 90% COMPACTION REQUIRED - SEE SPECS
 3. NON-PRESSURE LATERAL LINE PER LEGEND
 4. PRESSURE SUPPLY LINE PER LEGEND
 5. CONTROL WIRES - INSTALL BELOW PRESSURE SUPPLY LINE
 6. PROVIDE 2" OF CLEAN SAND BELOW PRESSURE MAINLINE
- NOTES:
BUNDLE AND TAPE WIRES AT 12" O.C. PITTAIL AND LOOP CONTROL WIRES AT ALL 90 DEGREE CHANGES IN DIRECTION. SPLICING OF WIRE RUNS IS NOT ALLOWED UNLESS APPROVED BY THE CITY. 35" MIN. COVER IS REQUIRED FOR RECLAIMED WATER MAINLINE (WHERE APPLICABLE). INSTALL 1"x1" THURST AT ALL CHANGES IN DIRECTION OF PRESSURE MAINLINE AND AT ALL TERMINAL POINTS OF MAINLINE.



1. HARDSCAPE (TYPICAL)
 2. CLEAN BACKFILL - 90% COMPACTION REQUIRED - SEE SPECS
 3. SAND (TYPICAL)
 4. NON-PRESSURE LATERAL LINE / SLEEVE (SIZE PER CHART)
 5. CONTROL WIRE SLEEVE ADJACENT TO MAINLINE SLEEVE (SIZE PER CHART)
 6. PRESSURE SUPPLY LINE / SLEEVE (SIZE PER CHART)
- NOTES:
ALL SLEEVES TO BE SCH 40 PVC. SIZE ALL SLEEVES PER SLEEVING CHART ON PLANS. EXTEND SLEEVES 12" BEYOND EDGE OF HARDSCAPE ON BOTH ENDS.



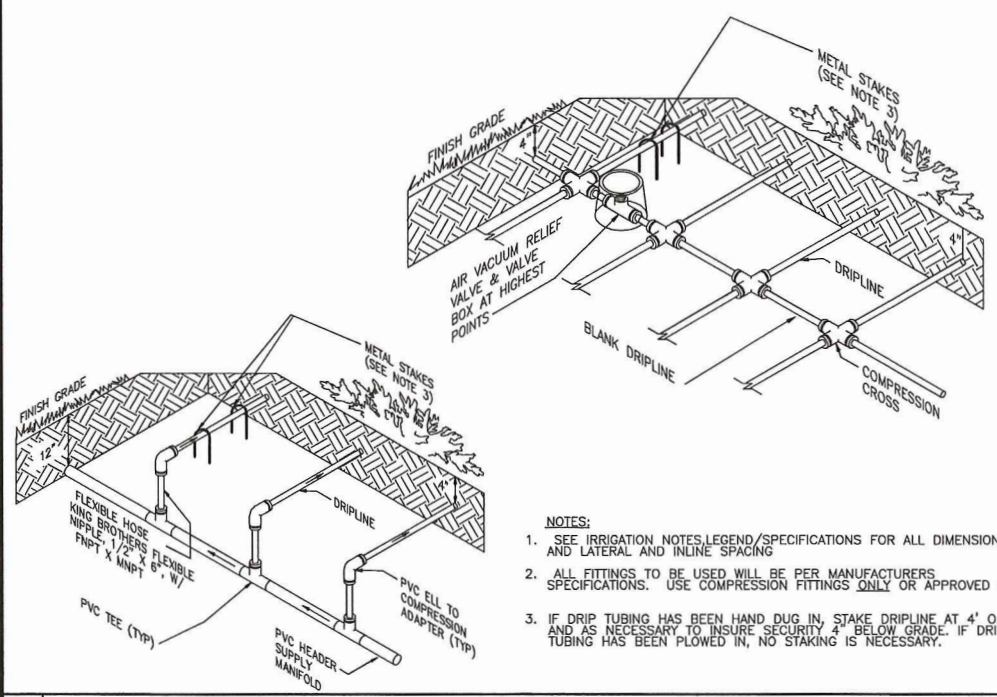
NOTE
ANTI-SIPHON VALVES SHOULD BE INSTALLED 6-12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.

1 WIRE CONNECTION

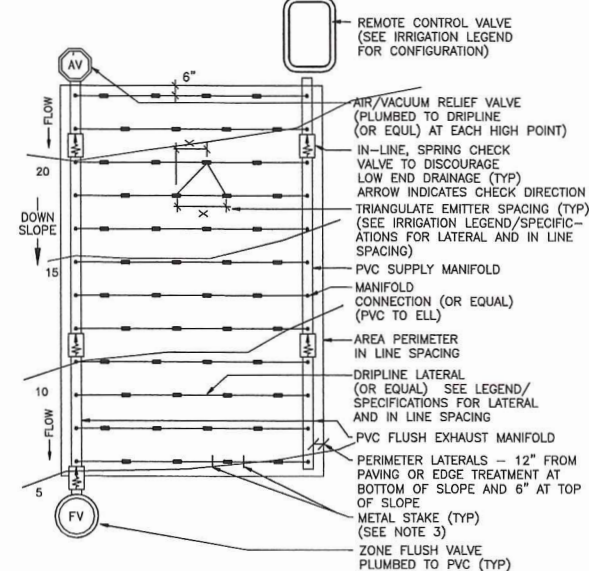
2 PIPE INSTALLATION

3 SLEEVE INSTALLATION

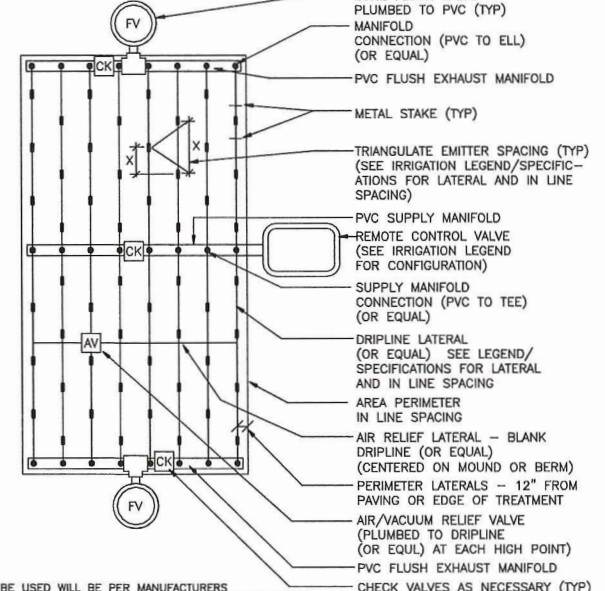
4 DRIP ANTI-SIPHON VALVE



- NOTES:
1. SEE IRRIGATION NOTES, LEGEND/SPECIFICATIONS FOR ALL DIMENSIONS AND LATERAL AND INLINE SPACING
 2. ALL FITTINGS TO BE USED WILL BE PER MANUFACTURERS SPECIFICATIONS. USE COMPRESSION FITTINGS ONLY OR APPROVED EQUAL
 3. IF DRIP TUBING HAS BEEN HAND DUG IN, STAKE DRIPLINE AT 4' O.C. AND AS NECESSARY TO INSURE SECURITY 2" BELOW GRADE. IF DRIP TUBING HAS BEEN PLOWED IN, NO STAKING IS NECESSARY.



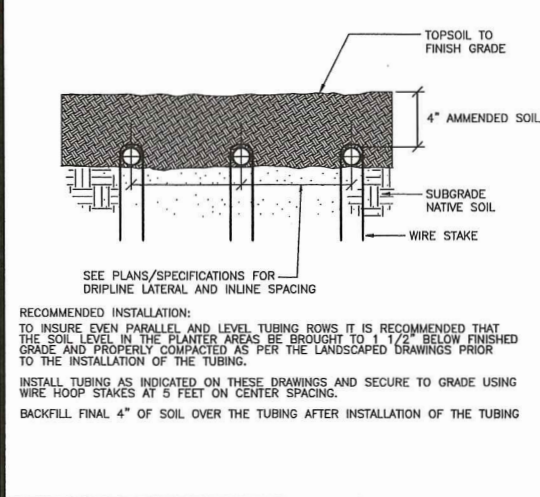
- NOTES:
1. SEE IRRIGATION NOTES, LEGEND/SPECIFICATIONS FOR ADDITIONAL INFORMATION
 2. IF DRIP TUBING HAS BEEN HAND DUG IN, STAKE DRIPLINE AT 4' O.C. AND AS NECESSARY TO INSURE SECURITY 4" BELOW GRADE. IF DRIP TUBING HAS BEEN PLOWED IN, NO STAKING IS NECESSARY.



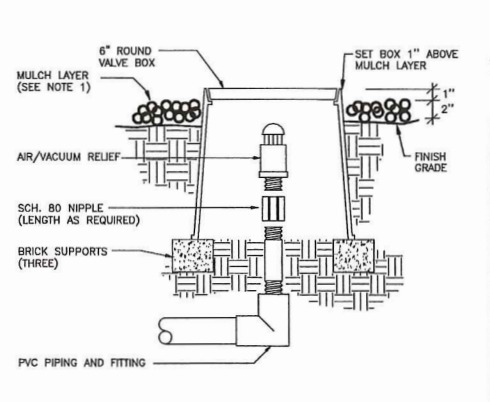
3. ALL FITTINGS TO BE USED WILL BE PER MANUFACTURERS SPECIFICATIONS USE COMPRESSION FITTINGS ONLY OR APPROVED EQUAL
4. RUN TUBING PARALLEL TO SLOPE IN THE UPPER 2/3rds OF THE SLOPE. SPACE TUBING AT 14"-16" IN THE LOWER 1/3 OF THE SLOPE. INCREASE DISTANCE BETWEEN ROWS BY 25% OR APPROXIMATELY 22"-1/2"
5. INSTALL CHECK VALVES IN SUPPLY AND FLUSH MANIFOLD LINE AS DETAILED / AS REQUIRED TO DETER DRAIN DOWN.

5 SUB-GRADE DRIP LINE CONNECTIONS

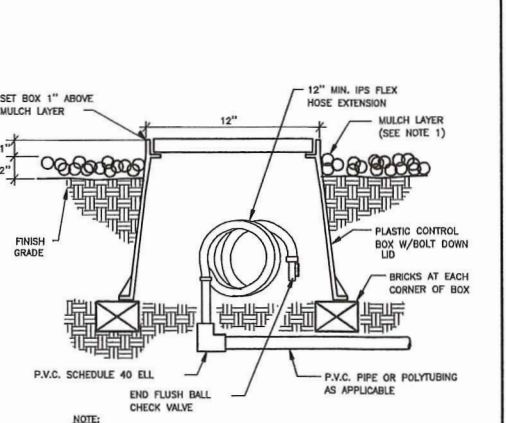
6 SUB-GRADE DRIP LINE



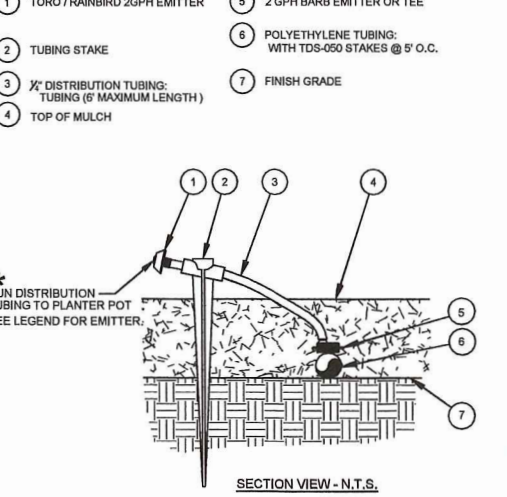
RECOMMENDED INSTALLATION:
TO INSURE EVEN PARALLEL AND LEVEL TUBING ROWS IT IS RECOMMENDED THAT THE SOIL LEVEL IN THE PLANTER AREAS BE BROUGHT TO 1 1/2" BELOW FINISHED GRADE AND PROPERLY COMPACTED AS PER THE LANDSCAPED DRAWINGS PRIOR TO THE INSTALLATION OF THE TUBING.
INSTALL TUBING AS INDICATED ON THESE DRAWINGS AND SECURE TO GRADE USING WIRE HOOP STAKES AT 5 FEET ON CENTER SPACING.
BACKFILL FINAL 4" OF SOIL OVER THE TUBING AFTER INSTALLATION OF THE TUBING



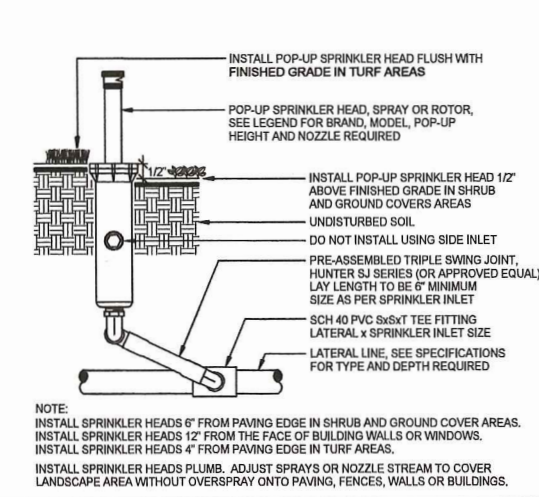
- NOTES:
1. 2" DEEP LAYER MULCH MATERIAL AS PER SPECIFICATIONS.
 2. AIR VACUUM RELIEF VALVE CANNOT BE CONNECTED LOWER THAN DRIPLINE LATERALS.



- NOTE:
1. 2" DEEP LAYER MULCH MATERIAL AS PER SPECIFICATIONS.



* RUN DISTRIBUTION TUBING TO PLANTER POT SEE LEGEND FOR EMITTER.



NOTE:
INSTALL SPRINKLER HEADS 6" FROM PAVING EDGE IN SHRUB AND GROUND COVER AREAS. INSTALL SPRINKLER HEADS 12" FROM THE FACE OF BUILDING WALLS OR WINDOWS. INSTALL SPRINKLER HEADS 4" FROM PAVING EDGE IN TURF AREAS.
INSTALL SPRINKLER HEADS PLUMB. ADJUST SPRAYS OR NOZZLE STREAM TO COVER LANDSCAPE AREA WITHOUT OVERSPRAY ONTO PAVING, FENCES, WALLS OR BUILDINGS.

7 DRIPLINE CONNECTION (SECTION)

8 DRIP AIR RELIEF VALVE

9 DRIP FLUSH VALVE

10 DRIP LINE CONNECTION

11 POP-UP BUBBLER



Edward F. Doll
LANDSCAPE ARCHITECTURE AND PLANNING
CA LIC #3419
4151 Balvedere Street Irvine, CA 92604
949-246-7549 edoll@cox.net

REVISION	DATE

OWNER:
YAQOUT
17200 NEWHOPE STREET # 228A
FOUNTAIN VALLEY, CA 92708

PROJECT:
LANDSCAPE PLANS
PM 12100
34466 VIA VERDE
DANA POINT, CA 92624

DRAWING TITLE: IRRIGATION DETAILS	
DESIGNED	ED
DRAWN	EZ
CHECKED	ED
DATE	01/23/2017
JOB NO.	
CAD FILE	CL.dwg
SHEET NUMBER L-4	
4 OF 4 SHEETS	

June 17, 2007

Planning Commissioners
City of Dana Point

RECEIVED
CITY OF DANA POINT
COMMUNITY DEVELOPMENT DEPT

2016 JUN 19 P 2:09

Regarding Via Verde project to be heard June 26

Commissioners,

This project was tabled last June with issues regarding density, parking and appearance. Although there have been changes made, some of the same issues remain. The surrounding Neighborhood contains single family homes and duplexes with 2-3 bedrooms and similar number of baths. The 2 duplexes next to the project contain 3 bedrooms and are each contained in one building, upper and lower levels. The occupants are all adults, presumably because the homes are built on a slope with little area for children to play. The proposed project contains 4 separate units each with 4 bedrooms and 4 ½ baths. Municipal code 9.05.130 indicates designs should be compatible with and compliment and enhance surrounding properties.

One would surmise the duplexes would be occupied by families because of the number of beds and baths but assume purchase price or rent would be very expensive for a less than family friendly location. Whether it is the current intent or not I have concerns that these units could become a group home complex. If this were the case the 4 units with 4 bedrooms each could involve as many as 32 new occupants contained on 2 narrow, steep lots. Parking for guests and visitors is already an issue on this section of Via Verde.

Currently our neighborhood contains retired folks, single women, small families and single parents. This project does not seem like one which will "compliment and enhance the surrounding properties" as written in Municipal Code 9.05.130.



Rose Sparks, R.Ph.
34463 Via Verde

RECEIVED
CITY OF DANA POINT
COMMUNITY DEVELOPMENT DEPT

2016 JUN 19 P 2:09

June 17, 2007

City of Dana Point
Planning Commission

RE: PUBLIC NOTICE, Site Development Permits SDP-16-0001 and SDP16-0002

Planning Commission:

We have been residents at 34460 Via Verde since 1985 when there were only a few homes on the block. Over the years, additional residences were built, both duplexes and single family homes. These buildings were constructed responsibly, keeping in mind the integrity of the neighborhood and the limited street parking. Effort was made to provide suitable and aesthetic yard space and a reasonable building footprint in proportion to lot size.

Although the proposed project may meet legal building requirements, I question why the City of Dana Point would approve permits for the last 2 remaining lots on the block, 34466 and 34468 Via Verde, when the proposed plan clearly crosses the line of GENERAL DESIGN COMPATIBILITY AND ENHANCEMENT. The project does not comply with both item b, MASSING AND BULK, and item d) SCALE AND PROPORTION, as outlined in Title 9 Zoning, Chapter 9.05.130.



Kathryn Brooks



James DeBolske



Mary DeBolske

Residents at:
34460 Via Verde
Capistrano Beach, CA

[Title 9 ZONING](#)

[Chapter 9.05 GENERAL DEVELOPMENT STANDARDS](#)

9.05.130 General Design Compatibility and Enhancement.

Any new building or structure, any addition to an existing building or structure, and the installation or construction of any site improvements shall be designed to create a unified functional and comprehensive site plan with an integrated architectural theme that is compatible with and will compliment and enhance the subject and surrounding properties, as determined by the Director of Community Development.

The factors used to evaluate design compatibility and enhancement shall include, but not be limited to:

- (a) Architectural style and detailing;
- (b) Massing and bulk;
- (c) Color and materials; and
- (d) Scale and proportion.

The design of all development projects including, but not limited to, architecture, and landscaping should consider the applicable direction provided by the Urban Design Guidelines. (Added by Ord. 93-16, 11/23/93; amended by Ord. 94-09, 5/24/94; Ord. 94-21, 12/13/94)

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