

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JUNE 12, 2017

TO: DANA POINT PLANNING COMMISSION

**FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
BELINDA DEINES, SENIOR PLANNER**

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP16-0021 TO DEMOLISH AN EXISTING 3,482 SQUARE-FOOT SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW 6,754 SQUARE-FOOT SINGLE-FAMILY RESIDENCE AND ATTACHED FOUR-CAR GARAGE LOCATED WITHIN THE RESIDENTIAL SINGLE FAMILY 4 (RSF-4) ZONE LOCATED AT 421 MONARCH BAY DRIVE.

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP16-0021.

APPLICANT: Danielle and Scott Morrow, Property Owners

REPRESENTATIVE: Ryan McDaniel, Brandon Architects

REQUEST: Approval of a Coastal Development Permit to demolish an existing single-family dwelling and construct a new single-family dwelling and attached four-car garage located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 421 Monarch Bay Drive (APN 670-151-19)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on June 9, 2017, published within a newspaper of general circulation on June 9, 2017, and posted on June 9, 2017 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303(a) (Class 3 – New Construction) in that the project involves construction of one single-family dwelling in a residential zone.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is an 8,258 square-foot lot located within Monarch Bay Homeowners Association, which consists of a built-out neighborhood of single-family residences. Currently, the site is improved with an existing 3,482 square-foot single-family residence and attached garage, which are proposed to be demolished. The property is considered a through lot with frontage along Monarch Bay Drive and Pacific Coast Highway.

The property is zoned "Residential Single-Family 4" (RSF-4), and is located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The proposed scope of work includes demolition of the existing residence, and construction of a new five bedroom, 6,754 square-foot single-family residence and attached four-car garage in a tandem configuration. The total program consists of two levels of living area and a subterranean basement.

The existing residence was constructed under County jurisdiction. The property is located within Tract 4472, which is subject to special tract development standards in accordance with UV-5298 approved by the Orange County Planning Commission on February 19, 1964. The subject site is identified as Lot 40, which allows a 13'-0" front setback in lieu of the required 20'-0" and a porch projection not to exceed a maximum of 4'-0". The County granted a variance when the home was originally built, allowing reduced front setbacks along both street frontages. This variance runs in perpetuity with the property and applies to any new development on the site. Other prior entitlements associated with the existing residence include Coastal Development Permit 01-28, Site Development Permit 01-28 and Variance 01-11 to allow encroachments into the front setback on a nonconforming structure.

Additional development standards for this property are set forth in the City's Zoning Code Chapter 9.09 (Residential Development Standards) specifically for the RSF-4 zone.

Table 1 summarizes applicable RSF-4 zoning designation development standards and the project's conformance with those requirements:

Table 1: Compliance with RSF-4 Development Standards

Development Standard	Requirement	Proposed	Compliant with Standard
Front Setback (Monarch Bay Drive)	13 feet minimum	13'-8"	Yes
Side Setbacks	5 feet minimum	8'-9"; 28'-3"	Yes
Front Setback (Pacific Coast Highway)	13 feet minimum	13'-4"	Yes
Height	24 feet maximum (10 feet above basement finished pad) Less than 3:12 roof pitch	25.91 feet 0.75:12 roof pitch	Yes
Lot Coverage	45% maximum	40%	Yes
Landscape Coverage	25% minimum	37.1%	Yes
Parking Required	2 parking spaces minimum for five bedrooms	2 parking spaces (tandem spaces do not count toward required parking)	Yes

The proposed structure's architectural style is described as contemporary with Craftsman-inspired design features. The proposed roof consists of a combination of wood shingle, standing seam metal, gabled and flat roofing. The exterior finishes include white smooth stucco, reclaimed brick veneer, vertical tongue and groove siding, and wood shingle siding.

Proposed floor plans show that the basement level consists of living and storage area constructed entirely underground, including a bedroom, bathroom, play room, theater, storage, and powder room. The main level includes the living room, bedroom, laundry room, wine storage, office, and four-car tandem garage with a two-car garage appearance from street view. The second floor consists of a dining room, great room, kitchen, master suite, and two additional bedrooms. All three levels are accessed by interior stairs and an elevator.

The proposed landscape plan will be subject to compliance with DPZC Chapter 9.55, Water Efficient Landscape Standards and Requirements, based on the total rehabilitated landscape area provided onsite.

The project as designed complies with all applicable development standards, including setbacks, parking, lot coverage, landscape area, and height limits. No deviations are requested.

Coastal Development Permit CDP16-0021

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, demolition of a single-family dwelling and construction of a new single-family dwelling on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission requires approval of a Coastal Development Permit (CDP).

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 17-06-12-XX, attached to this report as Action Document 1.

CORRESPONDENCE: On November 2, 2016, the proposed project received approval from the Monarch Bay Association Architectural Control Committee. To date, no additional correspondence has been received regarding this project.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Zoning Code, and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 16-0021 subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 17-06-12-xx

Supporting Documents

2. Approval Letter from Monarch Bay Association
3. Vicinity Map
4. Site Photos
5. Architectural Plans

RESOLUTION NO. 17-06-12-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP16-0021 TO DEMOLISH AN EXISTING SINGLE-FAMILY DWELLING AND CONSTRUCT A NEW SINGLE-FAMILY DWELLING LOCATED WITHIN THE RESIDENTIAL SINGLE FAMILY 4 (RSF-4) ZONE LOCATED AT 421 MONARCH BAY DRIVE.

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Ryan McDaniel of Brandon Architects (the "Representative") has filed an application on behalf of Danielle and Scott Morrow ("Applicant"), the owners of real property commonly referred to as 421 Monarch Bay Drive (APN 670-151-19) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit to allow demolition of an existing single-family dwelling and construction of a new single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (Class 3 - New Construction or Conversion of Small Structures); and

WHEREAS, the Planning Commission did, on the 12th day of June, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP16-0021.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP16-0021 subject to the following conditions of approval:

Findings:

Coastal Development Permit CDP16-0021

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program Implementation Plan for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15303 (Class 3 – New Construction or Conversion of Small Structures) in that it proposes the construction of one new single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**
5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property**

located within an established area of residential uses with little to no natural landforms present and; in that the proposed development will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.

6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that the proposed project would construct a new single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and result in development of the property in a manner that is complementary to surrounding development in terms of mass, size and scale.
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs in that the subject project has been reviewed by Planning and Building/Safety Division staff as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program Implementation Plan for the subject property). There are no adopted specific plans that apply to the subject property.

Conditions:

General:

1. Approval of this application permits demolition of all existing site improvements and the construction of a new 6,754 square-foot single-family dwelling at 421 Monarch Bay Drive in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program Implementation Plan and Zoning Code.
1. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The project shall meet all water quality requirements.
7. A grading permit shall be obtained prior to any work including demolition

activities.

8. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.
9. The Applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
10. The Applicant, Applicant's agent(s), or successor-in-interest, shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.

Prior to Issuance of a Grading Permit:

11. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
12. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
13. The applicant shall submit an application for separate structures, including retaining walls. Retaining walls and other structures not supported by the building foundation require a separate submittal for review and approval to the Building Department. A separate permit submittal shall be made to the Building Department in accordance with the current submittal requirements.
14. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
15. A performance bond shall be required for all grading activities up to 100% of the proposed improvements.

Prior to Issuance of a Building Permit:

16. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan.
17. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
18. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
19. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of a grading and drainage plan (and soils report if required) in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
20. The Applicant, or Applicant's agent(s), shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
21. The Applicant, or Applicant's agent(s), shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
22. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement

monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

Prior to Final Approval of All Permits:

23. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
24. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
25. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
26. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
27. All permanent best management practices, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
28. Public Works final approval will be required for all permits.
29. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
30. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 12th day of June, 2017 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric Nelson, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



Monarch Bay Association

RECEIVED

DEC 21 2016

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

November 2, 2016

Scott and Danielle Morrow
421 Monarch Bay Drive
Monarch Beach, CA 92629

via e-mail

RE: 421 MONARCH BAY DRIVE
APPROVED NEW HOME CONSTRUCTION PLANS BY BRANDON ARCHITECTS
DATED 10/04/16

Dear Mr. and Mrs. Morrow,

Congratulations, your new home construction plans have been approved by the Monarch Bay Association Architectural Control Committee to include variances for height increases as well as footprint changes.

Prior to the commencement of construction, it will be required that you submit a construction deposit in the amount of \$25,000. Upon the successful completion of your home, you will receive a refund for the deposit minus road use fees pursuant to the attached schedule or common area damage that has not been corrected.

We are attaching the construction rules for your reference, although Monarch Development is well aware of and is always compliant of these rules. We wish the best with your project and look forward to seeing the final result.

Respectfully,

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

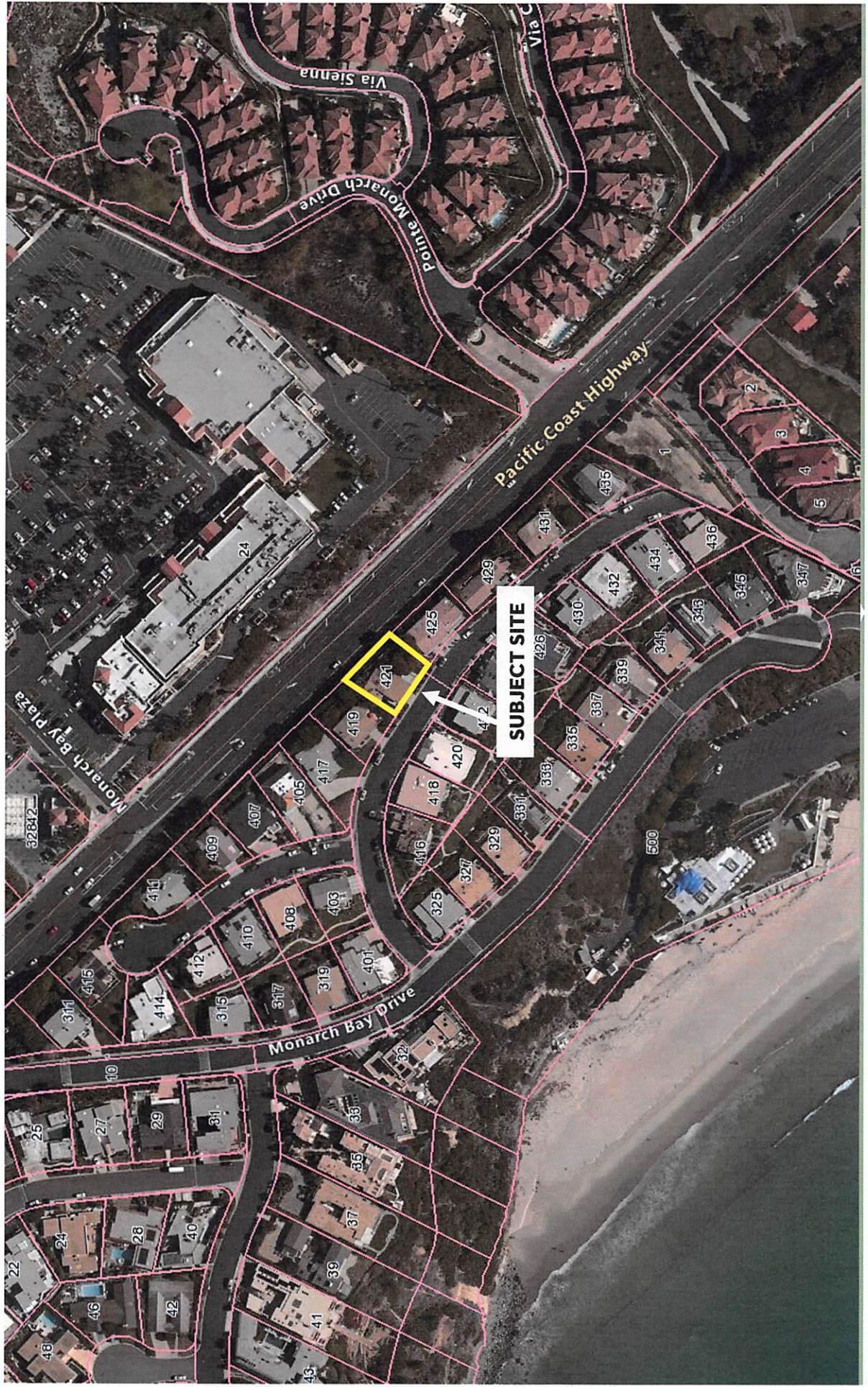
CC: Board
MB/421/arch/new home and variance approval/11.02.16

BUD16-2364

c/o Progressive Community Management • 27405 Puerta Real • Suite 300 •
Mission Viejo, CA 92691 (949) 582-7770 • Fax (949) 582-7796

VICINITY MAP

421 MONARCH BAY DRIVE





BRANDON ARCHITECTS

PHOTOS OF EXISTING CONDITIONS

421 MONARCH BAY DRIVE

DANA POINT, CA 92629



FRONT ELEVATION OF PROJECT SITE



REAR ELEVATION OF PROJECT SITE



FRONT ELEVATION OF THE PROPERTIES DIRECTLY ACROSS THE STREET FROM THE SUBJECT PROPERTY



FRONT ELEVATION AND SIDE ELEVATION OF THE PROPERTIES ADJACENT TO THE PROJECT SITE

421 MONARCH BAY DRIVE, DANA POINT, CA 92629



VICINITY MAP/ PROJECT DESCRIPTION

ANNOTATION LEGEND	10
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PROJECT STATISTICS	8
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SITE INFORMATION	5
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CODE REVIEW	3
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SHEET LIST	1
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PRECISE GRADING PLAN - CITY OF DANA POINT

TRACT NO. 4472 - LOT 40

421 MONARCH BAY DRIVE

STANDARD GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF PLANNED STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHITECT/GEOTECHNICAL ENGINEER. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY CITY GRADING SECTION, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
- AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL PRIOR TO PLACING FILL.
- FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER CCPW STANDARD PLAN NO. 1322.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6268). A PERMIT IS REQUIRED.
- ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
- STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO EXCAVATION.
- EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS.
- THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBSTANTIAL SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
- ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL. HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.

NOTES:

- RETAINING WALLS/BLOCK WALLS PER SEPARATE PLAN. FOR SIDEYARD RETAINING WALLS SEE SHEET X.
- ALL WALKWAYS, HARDSCAPE, STORM DRAIN EASEMENT AND LANDSCAPE PLANTER WALLS PER LANDSCAPE PLANS.
- SEE IMPROVEMENT PLAN TR 4472 DATED 7/22/1964 FOR STREET IMPROVEMENTS, SEWER, WATER, STORM DRAIN PIPES, CATCH BASINS.

- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROMISONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.
- GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.
 - ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
 - BY ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY COODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
 - STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.
- GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS, ACCORDING TO AQMD MEASURE F-4. HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.
- ASPHALT SECTIONS MUST BE PER CODE. PARKING LOTS = 3" A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR, PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON "M" VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF CCPW STANDARD PLAN NO. 1805.
- AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF CCPW STANDARD NO. 1804.
- ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.
- THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SHALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.
- PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.

EROSION CONTROL NOTES

- IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT AT PHONE NUMBER _____
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BASINS AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPAIND WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES AND THE PROPERTY OWNERS THAT DUMPING OF POLLUTANTS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, RESULTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
- SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.

UNDERGROUND SERVICE ALERT

Call: Toll FREE
1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG

"CAUTION": Remember that the USA Center notifies you of those utilities belonging to the center. There could be other utilities present at the work site. The caller will inform you of whom they will notify.

- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND THE RESULTING BASINS AND OTHER DEVICES, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
- BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPAIND WATERS CREATE A HAZARDOUS CONDITION.
- ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 1/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
- SHOULD GERMINATION OF HYDROSEEDS SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (50%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
- PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR HARMANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

WQMP NOTES

- ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE APPROVED WATER QUALITY MANAGEMENT PLAN (WQMP).

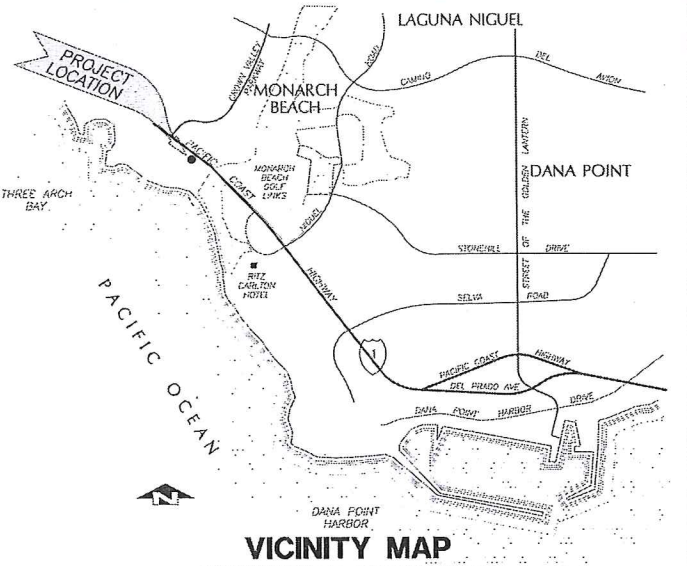
NOTICE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS AND IS RESPONSIBLE FOR THE PROTECTION OF OR ANY DAMAGE TO THESE LINES OR STRUCTURES.

ALL RETAINING WALLS SHOWN ON THESE PLANS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE CONSTRUCTED PER SEPARATE PERMIT.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.



SHEET INDEX

- SHEET 1.....TITLE SHEET
SHEET 2.....DETAILS & TYPICAL SECTION SHEET
SHEET 3.....PRECISE GRADING PLAN
SHEET 4.....EROSION CONTROL PLAN

EARTHWORK QUANTITIES

RAW VOLUME	CUT	FILL
	1,315 - CYS	54 - CYS
SUBTOTAL	LONG 1,315 - CYS	1,261 - CYS

LEGAL DESCRIPTION

LOT 40 OF TRACT NO. 4472, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 191, PAGES 11 THROUGH 14, INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDERS OF ORANGE COUNTY.

LEGEND OF ABBREVIATIONS & SYMBOLS

T.C.	TOP OF CURB	(100)	EXIST CONTOUR
F.L.	FINISH FLOOR ELEV.	(100)	PROP. CONTOUR
T.G.	TOP OF GRADE	---	PROPERTY LINE
R/W	RIGHT OF WAY	---	TRACT BOUNDARY LINE
G.B.	GRADE BREAK	---	DAYLIGHT LINE
F.G.	FINISH GRADE	2%	SHEET FLOW RATE
R.S.	ROUGH GRADE	---	CENTERLINE
F.S.	FINISH SURFACE	---	FLOURE HIGH POINT
INV.	INVERT OF DRAIN	---	FLOURE
BP.	BASEMENT PAD ELEVATION	---	SUBDRAIN
P.	PAD ELEVATION	---	TOP OF SLOPE
F.F.	FINISH FLOOR ELEV	---	TOE OF SLOPE
G.F.F.	GARAGE FINISH FLOOR	---	RETAINING WALL (PER SEPARATE PERMIT)
B.V.C.	BEGIN VERTICAL CURVE	---	FIRE HYDRANT
E.V.C.	END VERTICAL CURVE	---	STREET LIGHT
P.I.	POINT OF INTERSECTION	---	SOUND OR SCREEN WALL
E.P.	EDGE OF PAVEMENT	---	WATER METER
T.W.	TOP OF WALL ELEV.	---	CATCH BASIN & LOCAL DEPRESSION
T.F.	TOP OF FOOTING ELEV.	---	
D.F.	DEEPENED FOOTING	---	
L.	LENGTH	---	
D.W.	DRIVEWAY	---	
N.T.S.	NOT TO SCALE	---	
P.U.E.	PUBLIC UTILITY EASEMENT	---	

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN G.C.S. HORIZONTAL CONTROL STATION GPS NO. 7527 AND STATION GPS NO. 7550R1 BEING N21°19'52"E PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.

OWNER:	SCOTT & DANIELLE MORROW 31 VIA CONGO SAN CLEMENTE, CA 92673 (949) 533-5050	SOILS ENGINEER/GEOLOGIST:	GEOFIRM 801 GLENVIEW STREET, SUITE F LAGUNA BEACH, CA 92651 (949) 494-2122
--------	---	---------------------------	---

OWNER STATEMENT: I HAVE READ THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH THE EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.	
OWNER'S SIGNATURE	DATE
I HEREBY DECLARE THAT I AM THE GEOTECHNICAL ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT TITLED PRELIMINARY GEOLOGIC/GEOTECHNICAL INVESTIGATION/HOTEL VILLAGE SOUTH TRACT 16769, DANA POINT, CALIFORNIA, PROJECT NO. 275, DATED MAY 31, 2013 PREPARED BY SOILWORKS, INC. AND I UNDERSTAND THAT THE CHECK OF THE SOILS REPORTS, PLANS, AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITIES FOR PROJECT SOILS AND GEOTECHNICAL DESIGN. RELEVANT RECOMMENDATION BY PETRA ALSO APPLY.	
I HEREBY DECLARE THAT I AM THE GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT TITLED PRELIMINARY GEOLOGIC/GEOTECHNICAL INVESTIGATION/HOTEL VILLAGE SOUTH TRACT 16769, DANA POINT, CALIFORNIA, PROJECT NO. 275, DATED MAY 31, 2013 PREPARED BY SOILWORKS, INC. AND I UNDERSTAND THAT THE CHECK OF THE SOILS REPORTS, PLANS, AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITIES FOR PROJECT SOILS AND GEOTECHNICAL DESIGN. RELEVANT RECOMMENDATION BY PETRA ALSO APPLY.	
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.	
GERARDO D. PEREZ	R.C.E. 50392 EXP. 6/30/17

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/17

THIS PLAN IS SHOWN BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.



PLOTTED BY: Neil Delacruz DATE: Mar. 29, 2017 01:48:03 PM FILE: F:\0953\Engineering\Grd_Precise\Snt01.dwg

DESCRIPTION	APPROVED DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:
		ACAD FILE NO.	KC/KB	KC/KB	KC/GDP
		PROJECT NO.			DATE
			GERARDO D. PEREZ	R.C.E. NO. 50392	EXP. 06/30/17

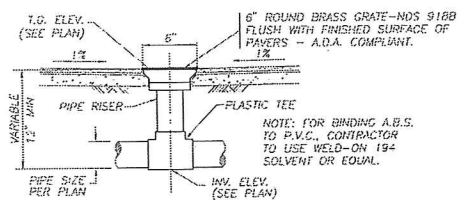
PLANS PREPARED BY:	HUNSAKER & ASSOCIATES
IRVINE, INC.	
PLANNING • ENGINEERING • SURVEYING	
PH 949 448-9070 • FX 949 584-0759	
Three Hughes • Irvine, CA 92618	

BENCHMARK
ORANGE COUNTY SURVEYOR BENCHMARK NO. 2-1013
ELEV. 77.395' MONUMENT/CONCRETE DISK 455MM DIAMETER
DESCRIBED BY GCS 2003 - FOUND 3-1/4" HIGH SPONDED DISK STAMPED "JUN 1978, SET IN THE SOUTHWEST CORNER OF A 5 FT BY 30 FT CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTHWEST CORNER OF THE CATCH BASIN. MONUMENT IS 455 MM DIAMETER AND 45 FT SOUTH-WEST OF THE CENTERLINE OF THE HIGHWAY. MONUMENT IS SET LEVEL WITH THE SURFACE.

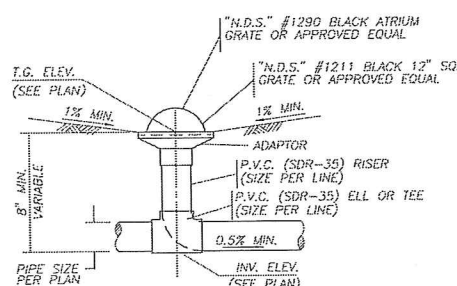
APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENTS OF THE DANA POINT MUNICIPAL CODE.
CITY PLANNING DEPARTMENT
DATE

PLAN SET A
APPROVAL AUTHORITY
DATE: 12/21/2016

TRACT 4472, LOT 40 - 421 MONARCH BAY DRIVE WQMP

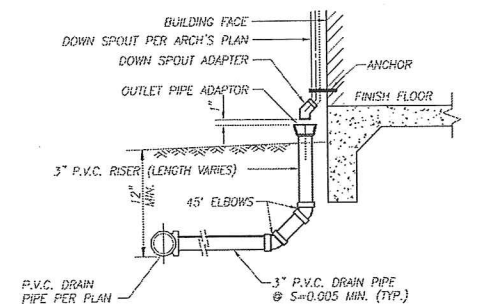


51 6" ROUND DECK DRAIN
NOT TO SCALE



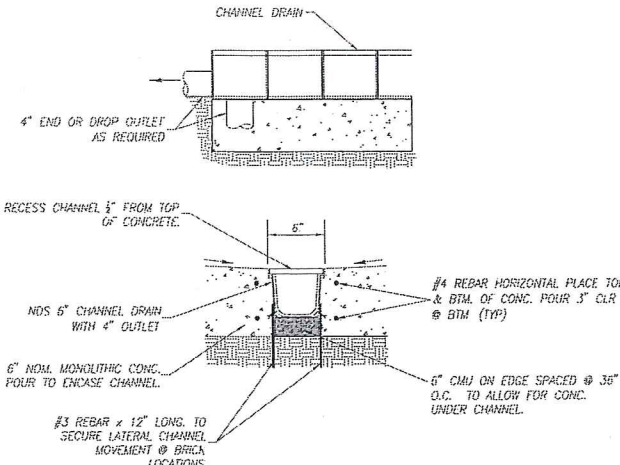
- NOTES:
1. ALL FITTINGS BY: NATIONAL DIVERSIFIED SALES INC. (OR EQUAL)
2550 AZURITE CIRCLE
NEWBERRY PARK, CA 91320
 2. REFER TO FINISH GRADING FOR ELEVATIONS
 3. DO NOT GLUE GRATE OR RISER TO PIPE
 4. GLUE: "I.P.S. WELD ON" #773 SOLVENT (MEDIUM BODIED FAST SET FOR ABS PIPE THRU 4" Ø)

52 12" SQUARE INLET DETAIL
NOT TO SCALE

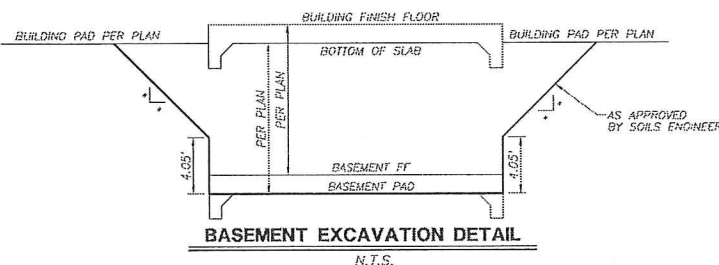


- NOTE:
- LOCATION OF DOWN SPOUTS AND PIPE CONNECTIONS TO AREA DRAIN SYSTEM TO BE DETERMINED IN FIELD BY BUILDER AND PER ARCHITECT'S PLAN
- DO NOT GLUE GRATE OR RISER TO PIPE.
- (NEED TO BE ABLE TO REMOVE FOR MAINTENANCE PURPOSES.)

53 DOWN SPOUT CONNECTION
NOT TO SCALE



56 6" TRENCH DRAIN
NOT TO SCALE



CONSTRUCTION NOTES / ESTIMATE OF QUANTITIES

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONSTRUCT ENHANCED DRIVEWAY PER DETAILS ON SEPARATE LANDSCAPE PLAN	X	EA
2	CONSTRUCT PLANTING PER DETAILS ON SEPARATE LANDSCAPE PLAN	X	EA
3	SAWCUT AND REMOVE EXIST. DRIVEWAY APPROX	X	EA
4	SAWCUT AND REMOVE CONFLICTING PORTIONS OF CURB, GUTTER, AND SIDEWALK	X	EA
5	CONSTRUCT 21" WIDE RESIDENTIAL DRIVEWAY APPROX PER CHARGE COUNTY STD 1209 AND CITY STD. 5-12	X	LF
6	SAWCUT, REMOVE & REPLACE PAVEMENT FOR CURB CONSTRUCTION PER DETAIL ON SHEET 2	X	LF
7	INSTALL 6" CURB, GUTTER AND SIDEWALK PER CHARGE COUNTY STD 120-2-05 (TYPE A2-6) AND CITY STD 5-13	X	LF
51	INSTALL 6" DECK DRAIN PER DETAILS ON SHEET 2	X	EA
52	INSTALL 12" ATRIUM GRATE DRAIN PER DETAILS ON SHEET 2	X	EA
53	CONNECT ROOF DRAIN DOWNSPOUT TO AREA DRAIN SYSTEM PER DETAIL ON SHEET 2.	X	EA
54	INSTALL 4" PVC SDR 35 DRAIN PIPE	X	EA
55	INSTALL TEMPORARY END CAP FOR FUTURE SUBDRAIN/SUMP PUMP OUTLET CONNECTION	X	EA
56	INSTALL 6" WIDE TRENCH DRAIN WITH SLOPING BOTTOM. TRAFFIC GRATE PER LANDSCAPE ARCH	X	EA
57	OUTLET PIPE TO JOIN AREA DRAIN SYSTEM.	X	EA
58	CONNECT TO EXISTING CURB CORE	X	EA
59	CORE DRILL AND INSTALL UNDERPAVEMENT DRAIN WITH CLEANOUT/DRAIN PER DETAIL ON SHEET 2	X	EA
EROSION CONTROL NOTES			
70	INSTALL FIBER ROLLS PER DETAIL ON SHEET 4	X	LF
71	INSTALL AREA DRAIN GRAVELBAG PER DETAIL ON SHEET 4	X	EA



DESCRIPTION	APPROVED DATE	SCALE	DESIGNED	DRAWN	CHECKED	PLANS PREPARED BY	BENCHMARK	APPROVED BY THE CITY OF DANA POINT
		1/2"=1'	KC/KB	KC/KB	KC/GDP	HUNSAKER & ASSOCIATES IRVINE, INC. PLANNING • ENGINEERING • SURVEYING P.O. BOX 563-070 • P.O. BOX 563-075 Three Pugas • Irvine, CA 92618	ORANGE COUNTY SURVEYOR BENCHMARK NO. 2-1317 ELEV. 77.535' - HANDED/2004 OCS ADJUSTMENT RECORDED BY OCS 2003 - TYPED 3-1/4" INCH BENCHMARK STAMPED "OCS 1991" SET IN THE SOUTHWEST CORNER OF A 3 FT. BY 3 FT. CONCRETE CURB BENCH. MONUMENT IS LOCATED ALONG THE SOUTHWEST CORNER OF THE INTERSECTION OF HIGHWAY 555 WEST TOWARDLY ALONG FROM THE INTERSECTION OF HIGHWAY 555 TO THE BOTTOM OF A CONCRETE CURB 48-48 FT. SOUTHWEST OF THE CENTERLINE OF PUL. MONUMENT IS SET LEVEL WITH THE SIDEWALK.	THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT
		ACAD FILE NO.						APPROVED BY THE CITY OF DANA POINT CITY PLANNING DEPARTMENT
		PROJECT NO.						DATE
			GERARDO D. PEREZ	R.D. No. 50392	EXP. 06/30/17			

PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629	APPROVED BY THE CITY OF DANA POINT CITY PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT	DATE
MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/17		
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN ASSUMPTIONS OR ASSURANCE.		

CITY OF DANA POINT	PERMIT NO. ENGXX-XXXX
DETAILS	CONTRACT NO. XX-XXX (X)
MORROW RESIDENCE LOT 40, TRACT 4472 421 MONARCH BAY DRIVE DANA POINT, CA 92629	2 OF 5 SHEETS

(PUBLIC STREET)
PACIFIC COAST HIGHWAY

- ### LEGEND

LOT LINE

50'

25'

25'

7'

36'

7'

18'

18'

2.1 MAX

2.0%

2.0%

2.1 MAX

2.1 MAX

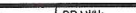
2.1 MAX

6" CURB & GUTTER

MONARCH BAY DRIVE

6" CURB & GUTTER

3 OF 5 SHEETS

<div style="border: 1px solid black; padding: 2px; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;"> <div style="width: 10px; height: 10px; background-color: black;"></div> </div>	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:
					KC/KB	KC/KB	KC/GDP
				ACAD FILE NO.			
				PROJECT NO.			
					GERARDO D. PEREZ	R.C. No. 50392	EXP. 06/30/17

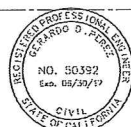
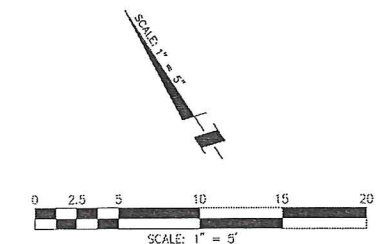
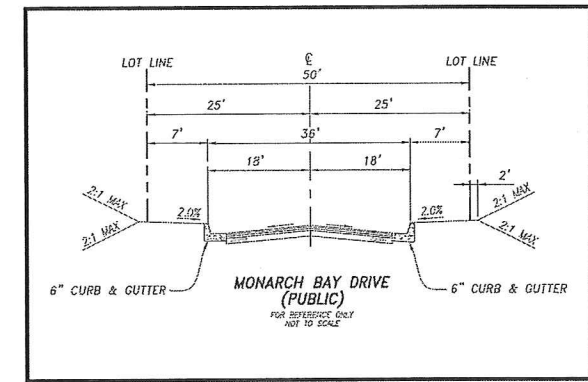
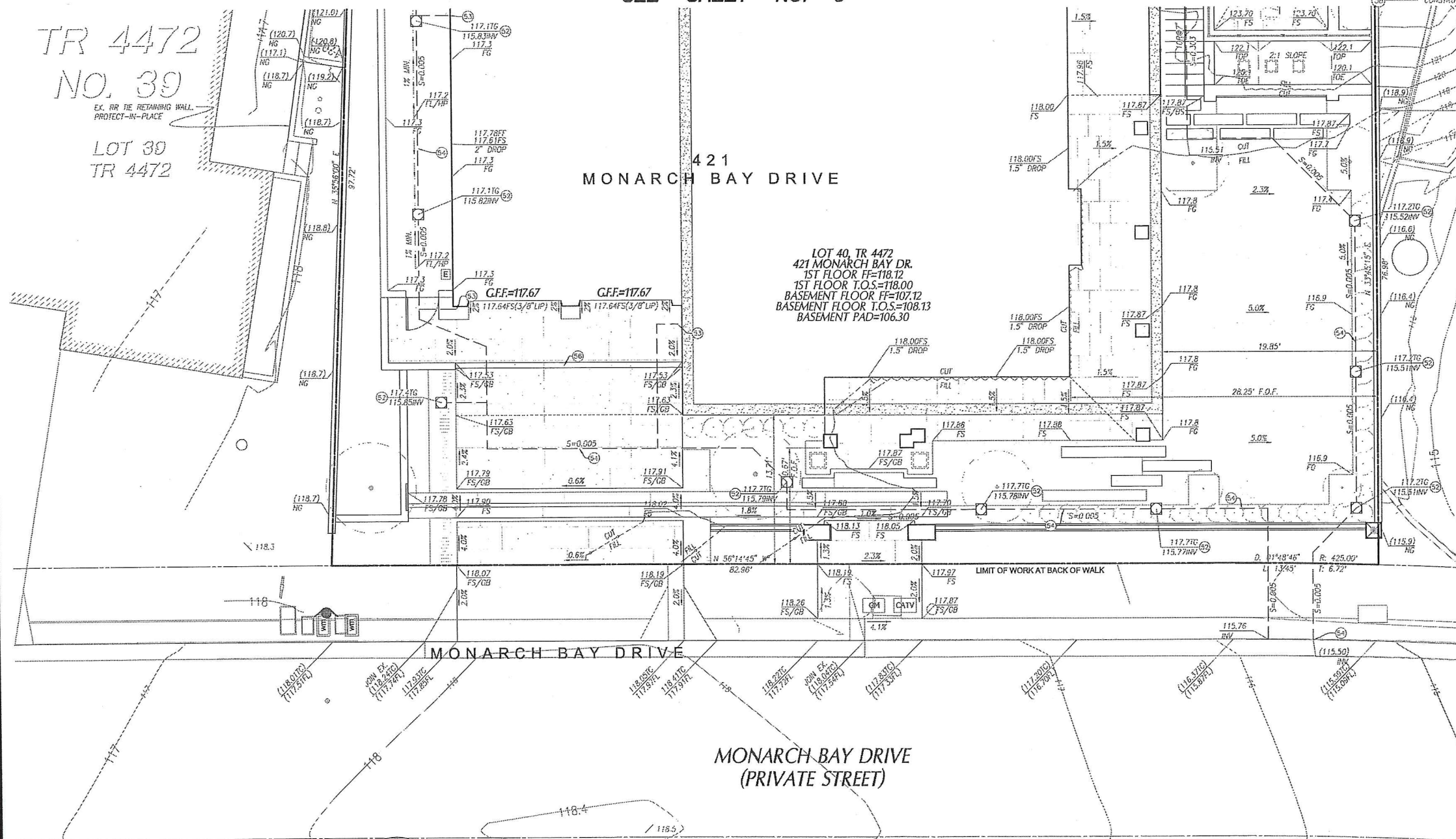
CONSTRUCTION NOTES





1. CONSTRUCT ENHANCED ONSITE DRIVEWAY PER DETAILS ON SEPARATE LANDSCAPE PLAN
2. CONSTRUCT FLATWORK PER DETAILS ON SEPARATE LANDSCAPE PLANS
3. SAWCUT AND REMOVE EXIST. DRIVEWAY APRON
4. SAWCUT AND REMOVE CONFLICTING PORTIONS OF CURB, GUTTER, AND SIDEWALK
5. CONSTRUCT 21" WIDE RESIDENTIAL DRIVEWAY APPROACH PER ORANGE COUNTY STD 1209 AND CITY STD. 5-12
6. SAWCUT, REMOVE & REPLACE PAVEMENT FOR CURB CONSTRUCTION PER DETAIL ON SHEET 2
7. INSTALL 6" CURB, GUTTER AND SIDEWALK PER ORANGE COUNTY STD 120-2-06 (TYPE A2-B) AND CITY STD. 5-13
8. INSTALL 6" DECK DRAIN PER DETAILS ON SHEET 2
9. INSTALL 12" ATRIUM GRATE DRAIN PER DETAILS ON SHEET 2
10. CONNECT ROOF DRAIN DOWNSPOUT TO AREA DRAIN SYSTEM PER DETAIL ON SHEET 2
11. INSTALL 4" PVC SDR 35 DRAIN PIPE
12. INSTALL TEMPORARY END CAP FOR FUTURE SUBDRAIN/SUMP PUMP OUTLET CONNECTION
13. INSTALL 6" WIDE TRENCH DRAIN WITH SLOPING BOTTOM, TRAFFIC GRATE PER LANDSCAPE ARCH. OUTLET PIPE TO JOIN AREA DRAIN SYSTEM
14. CONNECT TO EXISTING CURB CORE
15. CONSTRUCT CURB CORE

LEGEND

T.C.	TOP OF CURB	100'	EXIST. CONTOUR
F.L.	FLOWLINE ELEV.	---	PROPERTY LINE
G.B.	GRADE BREAK	2%	SHEET FLOW RATE
F.G.	FINISHED GRADE	---	FLOWLINE
R.G.	ROUGH GRADE	---	CENTERLINE
F.S.	FINISHED SURFACE	---	TOP OF SLOPE
INV.	INVERT OF DRAIN	---	TOE OF SLOPE
T.W.	TOP OF WALL ELEV.	---	6" BLOCK WALL
N.T.S.	NOT TO SCALE	---	LOW WALL
T.B.	TOP OF BERM	---	PERMIT LIMITS
PA	PLANTER/LANDSCAPE AREA	---	GAS METER
TS	TOP OF STEP	---	ELECTRICAL SWITCH GEAR
BS	BOTTOM OF STEP	---	BASEMENT LIMITS
R	RIDGE LINE	---	STEM WALL
DF	DEEPENED FOOTING	---	
FF	FINISHED FLOOR ELEV.	---	
P	PAD ELEVATION	---	
GFF	GARAGE FINISHED FLOOR ELEV.	---	
GPAD	GARAGE PAD ELEVATION	---	
TSW	TOP OF STEM WALL	---	
AC	AC PAD	---	

SEE SHEET NO. 3

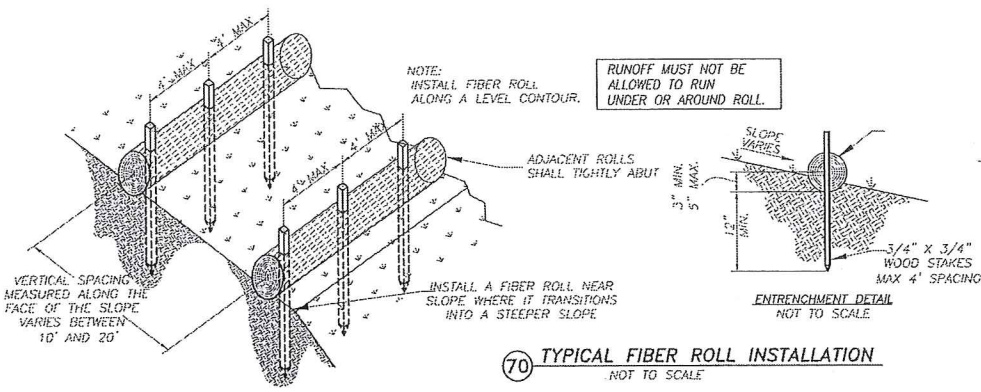


	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT	33282 GOLDEN LANTERN DANA POINT, CA 92629		PRECISE GRADING PLAN MORROW RESIDENCE LOT 40, TRACT 4472 421 MONARCH BAY DRIVE DANA POINT, CA 92629	CONTRACT NO. XX-XXX (X)	
					KC/KB	KC/KB	KC/GDP	HUNSAKER & ASSOCIATES	ORANGE COUNTY SURVEYOR BENCHMARK NO. J-1313 ELEV. 77.53' - MONARCH/2004 OCS ADJUSTMENT DESIGNED BY OCS 2003 - ROUND 3-2/4" 1/2" BENCHMARK BOX STAMPED 'JULY 1978', SET IN THE SOUTHWESTERN CORNER OF A 3 FT. BY 30 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTHWESTERN SIDE OF PACIFIC COAST HIGHWAY, 0.55 MILES NORTHERLY ALONG FROM THE CENTERLINE OF ROAD. ROAD TO THE BOTTOM OF A CORNELL GRADE AND 48 FT. SOUTHWESTERLY OF THE CENTERLINE OF POOL. MONUMENT IS SET WITH THE SIDEWALK.	THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:					
				ACAD FILE NO.				DATE			MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/17				DATE
				PROJECT NO.	GERARDO D. PEREZ	R.C.P. No. 50392	EXP. 06/30/17	IRVINE, INC. PLANNING & ENGINEERING & SURVEYING 17600 360-1000 • P.O. BOX 360-0799 Irvine, CA 92618		CITY PLANNING DEPARTMENT	DATE				4 OF 5 SHEETS

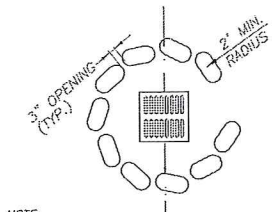
PLAN SET: A
DATE: 12/21/2016
MORROW RESIDENCE
PLAN CONTROL
TR 7742
NO. 41
LOT 40 - 421 MONARCH BAY DRIVE PGP
KCD: 4160-1X
DOC

LEGEND

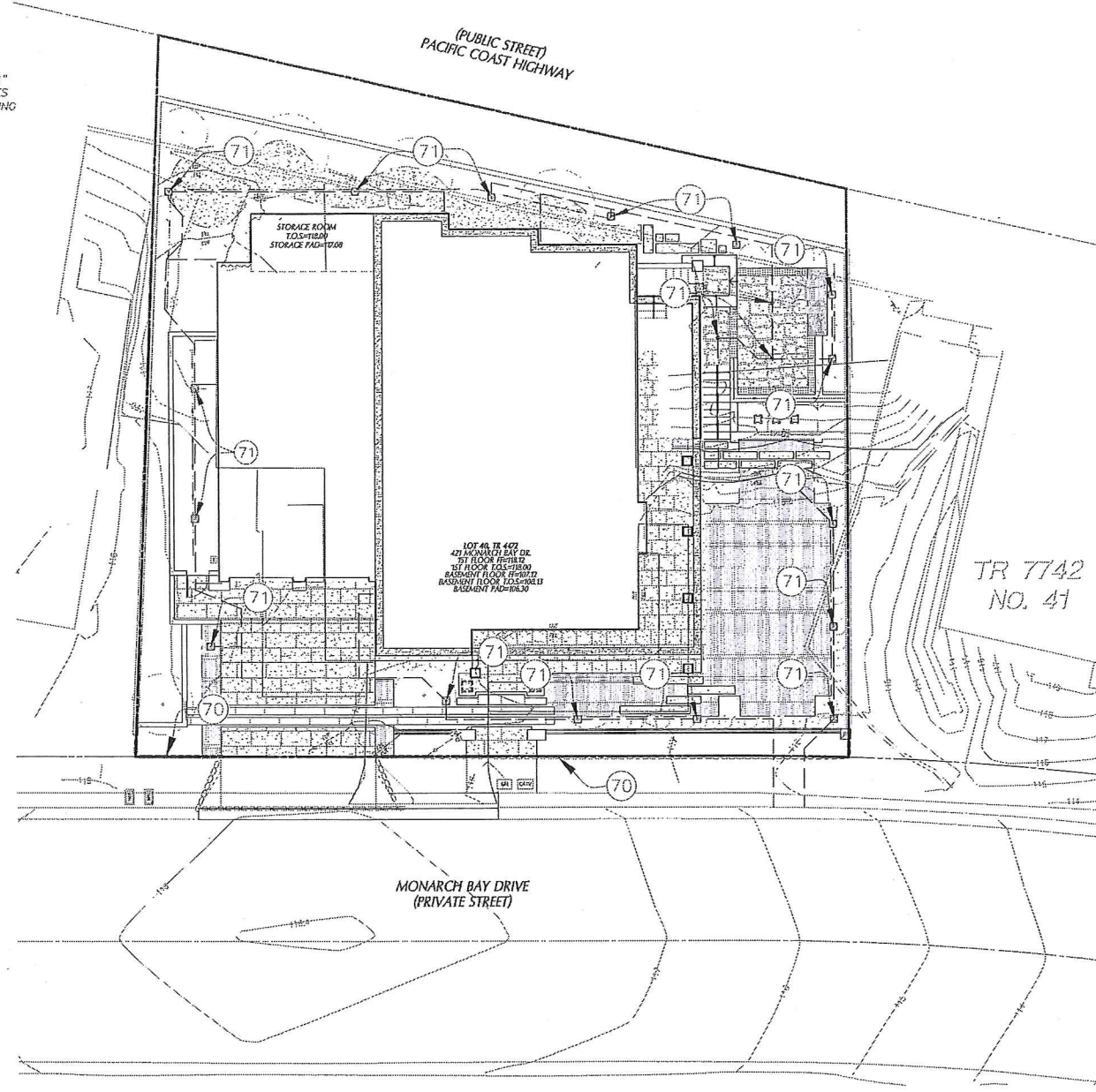
T.C.	TOP OF CURB	100	EXIST. CONTOUR
F.L.	FLOWLINE ELEV.	---	PROPERTY LINE
G.B.	GRADE BREAK	25	SHEET FLOW RATE
F.G.	FINISHED GRADE	---	FLOWLINE
R.G.	ROUGH GRADE	---	CENTERLINE
F.S.	FINISHED SURFACE	---	TOP OF SLOPE
W.V.	WVERT OF DRAIN	---	TOE OF SLOPE
T.W.	TOP OF WALL ELEV.	---	6" BLOCK WALL
N.T.S.	NOT TO SCALE	---	LOW WALL
T.B.	TOP OF BERM	---	PERMIT LIMITS
PA	PLANTER/LANDSCAPE AREA	---	GAS METER
TS	TOP OF STEP	---	ELECTRICAL SWITCH GEAR
BS	BOTTOM OF STEP	---	BASEMENT LIMITS
R	RIDGE LINE	---	SICM WALL
DF	DEEPENED FLOORING	---	
FF	FINISHED FLOOR ELEV.	---	
P	PAD ELEVATION	---	
GFF	GARAGE FINISHED FLOOR ELEV.	---	
GPAD	GARAGE PAD ELEVATION	---	
TSW	TOP OF STEM WALL	---	
AC	AC PAD	---	



70 TYPICAL FIBER ROLL INSTALLATION
NOT TO SCALE



71 AREA DRAIN GRAVELBAG DETAIL, SE-10
NOT TO SCALE



EROSION CONTROL NOTES

- 70 INSTALL FIBER ROLL PER DETAIL HEREON
- 71 INSTALL AREA DRAIN GRAVELBAG PER DETAIL HEREON



DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT
				KC/KB	KC/KB	KC/GDP	HUNSAKER & ASSOCIATES IRVINE, INC. PLANNING • ENGINEERING • SURVEYING 7741 (949) 263-1020 • FAX (949) 263-0709 Three Hughes • Irvine, CA 92618	GRANITE SURVEY SURVEYOR BENCHMARK NO. 3-1213 ELEV. 71.55' NAVD83/CGD4 GCS ADJUSTMENT DESIGNED BY GCS 2003 - FOUND 3-3/4" HIG BROOKED DICK STAMPED "M313 1978". SET IN THE SOUTHWESTERLY CORNER OF A 5 FT. BY 30 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTHWESTERLY SIDE OF PACIFIC COAST HIGHWAY, 0.55 VARS NORTHERLY ALONG POB FROM THE CENTERLINE OF HIGHWAY. ROAD TO THE BOTTOM OF A DOWNSLOPE GRADE AND 16 FT. SOUTHWESTERLY OF THE CENTERLINE OF POB. MONUMENT IS SET LEVEL WITH THE SURFACE.	THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT DATE
ACAD FILE NO.									
PROJECT NO.									

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/17

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DATE

CITY OF DANA POINT

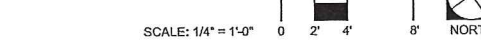
PRECISE GRADING PLAN

MORROW RESIDENCE
LOT 40, TRACT 4472
421 MONARCH BAY DRIVE
DANA POINT, CA 92629

PERMIT NO.
ENGXX-XXXX

CONTRACT NO.
XX-XXX (X)

5 OF 5 SHEETS



LC.1

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
3. CONTRACTOR SHALL OBTAIN A CURRENT STRUCTURAL SOILS REPORT. THIS SOILS REPORT SHALL SUPERSEDE THE RECOMMENDATIONS AND DETAILS SHOWN ON THESE PLANS AND SPECIFICATIONS.
4. THE LOCATION OF FEATURES TO BE CONSTRUCTED, NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. VERIFY ALL SUCH CONDITIONS WITH OWNER'S REPRESENTATIVE.
5. ALL CURVE-TO-CURVE AND CURVE-TO-TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH, AND UNIFORM.
6. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS INDICATED ON THE IRRIGATION PLANS WITH PAVING CONTRACTOR.
7. ALL FORMS AND ALIGNMENT OF HARDSCAPE ITEMS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING. (CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO THE INSPECTION.)

1. THE CONTRACTOR SHALL GROUT ALL CELLS WITH STEEL REINFORCING SOLID. IF RETAINING SOIL GROUT ALL CELLS SOLID.
2. THE CONTRACTOR SHALL CONSTRUCT WALLS PLUMB AND TRUE, STEP FOOTINGS IN EVEN BLOCK INCREMENTS.
3. THE CONTRACTOR SHALL ALLOW FOR ADJOINING CONSTRUCTION.
4. ALL FOOTINGS SHALL BE POURED ON UNDISTURBED NATURAL SOIL ON COMPACTED FILL, PREPARE PER STRUCTURAL SOILS REPORT.
5. ALL FREESTANDING WALLS SHALL HAVE A MINIMUM OF 40 BAR DIAMETERS OVERLAP AT SPLICES. ALL RETAINING WALL SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO VERTICAL BARS UNLESS OTHERWISE NOTED.
7. REFER TO FINISH SCHEDULE FOR ALL WALL FINISHES.

PAVER SHALL BE CLEAN AND FREE FROM FOREIGN MATERIALS BEFORE INSTALLATION.

INSTALLATION SHOULD START FROM A CORNER OR STRAIGHT EDGE AND PROCEED FORWARD OVER THE UNDISTURBED SAND LAYING COURSE.

PAVING WORK SHALL BE PLUMB, LEVEL, AND TRUE TO LINE GRADE; SHALL BE INSTALLED PROPERLY COINCIDE AND ALIGN, WITH ADJACENT WORK AND ELEVATIONS.

PAVING STONES SHOULD BE INSTALLED HAND TIGHT ON THE UNDISTURBED SAND LAYING COURSE. STRING LINES SHOULD BE USED TO HOLD PATTERN LINES TRUE.

GAPS BETWEEN THE EDGE OF THE PAVER SURFACE SHALL BE FILLED WITH STANDARD PAVERS OR WITH PAVERS CUT TO FIT. CUT PAVERS SHOULD BE NO SMALLER THAN ONE THIRD THE SIZE OF FULL PAVERS. CARE SHOULD BE TAKEN WHEN ESTABLISHING THE LAYING PATTERN TO INSURE THAT LESS THAN ONE THIRD PAVERS ARE MINIMIZED.

PAVERS ARE SET INTO THE SAND LAYING COURSE BY ROLLER OR PLATE VIBRATOR CAPABLE OF 3,000 TO 5,000 COMPACTION FORCE. VIBRATION SHOULD BE CONDUCTED IN CROSSING PATHS UNTIL THE PAVEMENT SURFACE IS SMOOTH AND REQUIRED ELEVATION IS ACHIEVED. GAPS BETWEEN PAVERS SHOULD AT THIS POINT SHOULD BE FILLED TO ABOUT TWO THIRDS OF THE PAVERS FULL HEIGHT. GAPS BETWEEN EDGES SHOULD BE NO MORE THAN 3/16" WIDE AFTER VIBRATION. GAPS GREATER THAN 3/16" SUGGEST THAT LESS THAN SATISFACTORY INTERLOCK WILL BE ACHIEVED. PAVERS WITHIN THREE FEET OF UNRESTRAINED EDGES MUST NOT BE COMPACTED.

ONCE PAVERS ARE VIBRATED INTO PLACE, CLEAN, DRY SAND SHALL BE BROOMED OVER THE PAVEMENT SURFACE AND VIBRATED ONCE MORE INTO THE REMAINING UNFILLED GAPS BETWEEN PAVERS TO THE HEIGHT OF THE JOINT BEVEL. SURPLUS SAND SHOULD BE SWEEPED FROM THE PAVEMENT SURFACE AND DISPOSED OF.

THE COMPLETED PAVING STONE INSTALLATION SHOULD BE WASHED DOWN AND CLEANED TO PROVIDE A CLEAN FINISHED WORKMANLIKE INSTALLATION.

THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF, AND COORDINATE, THE FOLLOWING INSPECTIONS (BUT NOT LIMITED TO):

1. PRE-JOB CONFERENCE.
2. AT COMPLETION OF FINISH GRADING.
3. LAYOUT OF SHOVEL CUTS BUT PRIOR TO INSTALLATION - IF REQUIRED.
4. LAYOUT OF PAVING BUT PRIOR TO INSTALLATION.
5. LAYOUT OF WALLS AND PILASTERS BUT PRIOR TO INSTALLATION.
6. DURING ENTIRE IRRIGATION INSTALLATION TO VERIFY AND INSPECT THE FOLLOWING (BUT NOT LIMITED TO):
 - a. POINT OF CONNECTIONS
 - b. BACKFLOW PREVENTION DEVICES
 - c. TRENCHING FOR PIPES
 - d. ELECTRICAL CONNECTIONS
 - e. CONTROL VALVES
 - f. COVERAGE
7. AT DELIVERY OF ALL PLANT MATERIALS TO THE SITE.
8. WHEN TREES AND SHRUBS ARE SPACED FOR PLANTING BUT BEFORE HOLES ARE EXCAVATED.
9. AT PRE-MAINTENANCE INSPECTION.
10. AT FINAL INSPECTION.

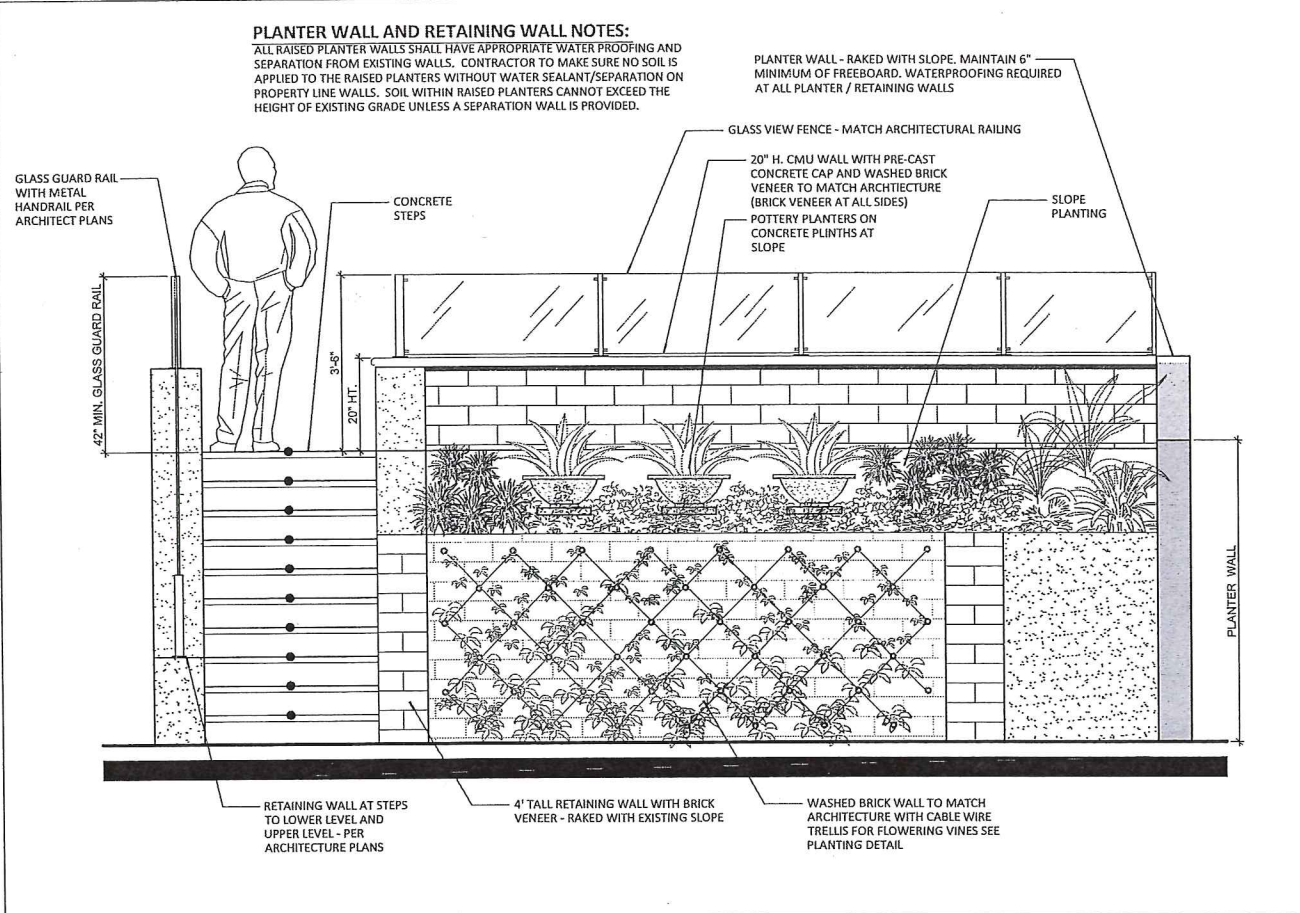
1. THE CONTRACTOR SHALL VERIFY WITH PROJECT STRUCTURAL SOILS ENGINEER THE NEED FOR REINFORCING, BASE MATERIALS, PRESATURATION, AND OTHER REQUIREMENTS FOR PAVING AREAS.
2. ALL CONCRETE PAVING SECTIONS SHALL BE A MINIMUM OF 4" THICK UNLESS OTHERWISE NOTED.
3. PAVING AND CONCRETE CONTRACTOR(S) SHALL COORDINATE HIS WORK WITH ELECTRICIAN, DRAIN LINE CONTRACTOR AND IRRIGATION CONTRACTOR FOR SLEEVING, PIPING, AND CONDUIT UNDER ALL PAVING AS REQUIRED.
4. THE CONTRACTOR SHALL HOLD FINISH GRADE (1") INCH BELOW FINISH SURFACE.
5. THE CONTRACTOR SHALL SLOPE ALL FINISH SURFACE AREAS A MINIMUM OF ONE PERCENT, UNLESS NOTED OTHERWISE.
6. ALL WALKS SHALL HAVE CROSS FALL OF ONE PERCENT MINIMUM.
7. REFER TO FINISH SCHEDULE FOR CONCRETE FINISH.
8. ALL WALK INTERSECTIONS SHALL BE 90 DEGREES UNLESS NOTED OTHERWISE.
9. ALL RADII AT WALK INTERSECTIONS SHALL BE 36" UNLESS NOTED OTHERWISE.
10. FULL DEPTH EXPANSION JOINTS ARE TO BE SPACED AT MAXIMUM 20' ON CENTER., SCORE LINES TO BE MAXIMUM 10' ON CENTER
11. ALL FORMS AND ALIGNMENT OF PAVING SHALL BE INSPECTED AND CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO INSPECTION.
12. REFER TO PRECISE GRADING PLAN FOR FINISH GRADES AND DRAINAGE.

1. MAKE ALL CONNECTIONS PERMANENTLY SECURE. PROVIDE FRAMING DEVICES FOR ALL ROUGH FRAMING WHERE NECESSARY TO MAKE WORK RIGID. CONCEAL FASTENINGS IN FINISH WORK.
2. DO NOT SPLIT WOOD MEMBERS; PRE-DRILL WHEN NECESSARY. PROVIDE DRILLED HOLES FOR ALL BOLTS, WOOD SCREWS, AND THREADED FASTENERS.
3. THE CONTRACTOR SHALL PAINT ALL STRAPS, BRACKETS, HANGERS, ETC. TO MATCH WOOD FINISH UNLESS OTHERWISE NOTED.
4. ALL BOLTS SHALL BE CADMIUM-PLATED, GALVANIZED, OR PRIMERED.
5. ALL CONSTRUCTION SHALL BE PLUMB AND TRUE.
6. THE CONTRACTOR SHALL USE FINISH NAILS, INCLUDING BEAMS ON EXPOSED WOOD SURFACES AND COUNTERSINK HEADS 3MM.

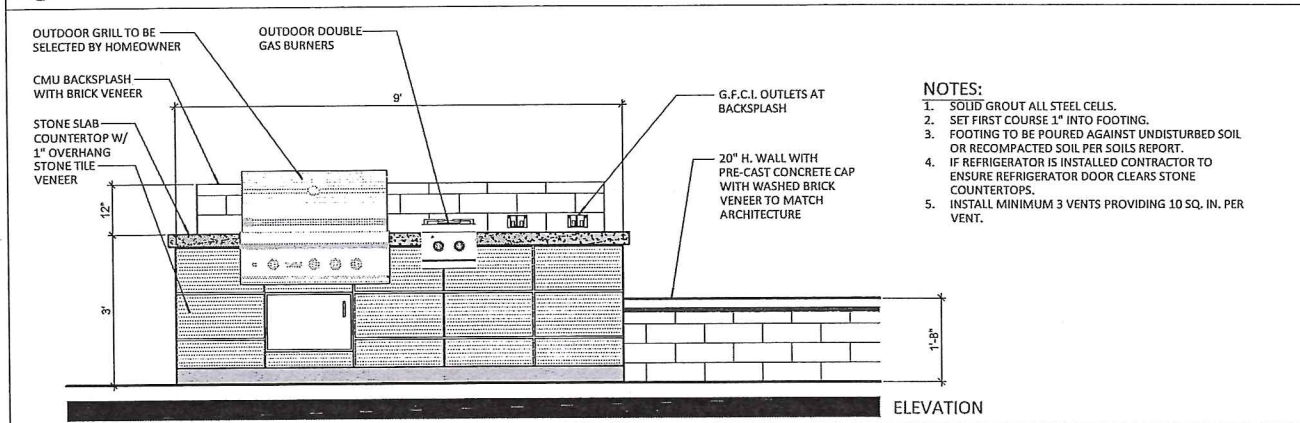
CALLOUT	ITEM	MANUFACTURER/SUPPLIER	COLOR	FINISH	COMMENTS
MASONRY					
	BRICK VENEER				
1.1	BRICK VENEER: MATCH ARCHITECTURE PRE-CAST CONCRETE CAP: <i>VALORI SERIES</i> 2" SQUARE	MATCH ARCHITECTURE <i>AVAIL THRU: THOMPSON'S BUILDING SUPPLY OR EQUAL</i>	MATCH ARCHITECTURE GRIS	WASHED BRICK TO MATCH ARCHITECTURE OLD WORLD	INSTALL PER MANUFACTURER'S RECOMMENDATIONS INSTALL CAP WITH 1" MINIMUM OVERHANG AT BOTH SIDES
1.2	STONE VENEER/CAP: TRAVERTINE	<i>QDI STONE</i> OR EQUAL	T.B.S.	T.B.S.	12" MAX. HT.
1.3	STUCCO FINISH STUCCO CAP / SQUARE STONE INLAY ACCENT	PER CONTRACTOR <i>QDI STONE</i> OR EQUAL	T.B.S. T.B.S.	SANTA BARBARA SMOOTH T.B.S.	
1.5	PRE-CAST CONCRETE CAP: <i>VALORI SERIES</i> 2" SQUARE BRICK VENEER	<i>AVAIL THRU: THOMPSON'S BUILDING SUPPLY OR EQUAL</i> PER CONTRACTOR	GRIS MATCH ARCHITECTURE	OLD WORLD WASHED BRICK TO MATCH ARCHITECTURE	INSTALL CAP WITH 1" MINIMUM OVERHANG AT BOTH SIDES - CUT AS REQUIRED.
1.6	OUTDOOR KITCHEN: STONE COUNTERTOP ACCENT STONE VENEER/TILE AT BACKSPLASH STUCCO FINISH OUTDOOR APPLIANCES /ACCESS DOORS	<i>QDI STONE</i> OR EQUAL <i>QDI STONE</i> OR EQUAL PER CONTRACTOR	T.B.S. T.B.S. T.B.S.	T.B.S. T.B.S. SANTA BARBARA SMOOTH	
1.7	CMU RETAINING WALL AT REAR YARD PERIMETER. CMU BLOCK (MATCH EXISTING) 6" x 2" x 16" CAP	ANGELUS	ANGELUS OAK #201 BLOCK ANGELUS OAK #201 CAP	SPLIT FACE	INSTALL PER STRUCTURAL ENGINEER SPECIFICATIONS.
FLATWORK					
2.0	24" x 24" CUT BLUESTONE	<i>WEST COAST BUILDING MATERIALS 714.619.6230 OR EQUAL</i>	CUT BLUESTONE	THERMALED / CUT	INSTALL IMPREGNATING SEALER PER MANUFACTURER'S SPECIFICATIONS. <u>PATTERN:</u> RUNNING BOND
2.1	STONE PAVERS SIZES VARY	<i>QDI STONE</i> OR EQUAL	T.B.S.	T.B.S.	INSTALL IMPREGNATING SEALER PER MANUFACTURER'S SPECIFICATIONS. <u>PATTERN:</u> RANDOM
2.2	PEDESTRIAN POURED IN PLACE LINEAR CONCRETE STEPPER PADS	SCOFIELD / DAVIS	T.B.S.	TOPCAST RETARDER -03	TOPCAST ACID ETCH-03 AVAIL THRU: GRACIE CONSTRUCTION <u>PATTERN:</u> PER PLAN
2.3	VEHICULAR POURED IN PLACE LINEAR CONCRETE STEPPER PADS	SCOFIELD / DAVIS	T.B.S.	TOPCAST RETARDER -03	TOPCAST ACID ETCH-03 AVAIL THRU: GRACIE CONSTRUCTION <u>PATTERN:</u> PER PLAN
2.4	VEHICULAR BLUESTONE STONE PAVER: 8 x 16"	<i>WEST COAST BUILDING MATERIALS 714.619.6230 OR EQUAL</i>	FULL RANGE BLUESTONE	NATURAL CLEFT	SUB-BASE PER GEO-TECHNICAL SOILS REPORT <u>PATTERN:</u> RUNNING BOND
2.5	CONCRETE STEPS	SCOFIELD / DAVIS	T.B.S.	TOPCAST RETARDER -03	TOPCAST ACID ETCH-03 AVAIL THRU: GRACIE CONSTRUCTION <u>PATTERN:</u> PER PLAN
2.6	1/4" THICK STEEL HEADER	PER CONTRACTOR	UNPAINTED / WEATHERED	STANDARD	INSTALL PER MANUFACTURER'S SPECIFICATIONS
2.7	PEA GRAVEL ¾" MINUS	<i>SOUTHWEST BOULDER AND STONE.: 760-451-3333 OR EQUAL</i>	NATURAL GRAY	ROUGH / ANGULAR	INSTALL WEED BARRIER - SEE DETAIL
WOOD / METAL / GLASS					
3.0	DECORATIVE WOOD FENCE INSTALLED ON LOW WALL PAINTED TO MATCH ARCHITECTURAL TRIM	T.B.S.	MATCH ARCHITECTURAL TRIM	MATCH ARCHITECTURAL TRIM	MATCH ARCHITECTURAL TRIM CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION / INSTALLATION
3.1	GLASS RAIL AT STEPS	MATCH ARCHITECTURE	MATCH ARCHITECTURE	MATCH ARCHITECTURE	MATCH ARCHITECTURE
3.2	42" H. GLASS FENCE (INSTALLED ON RETAINING WALL / LOW WALL)	MATCH ARCHITECTURE	MATCH ARCHITECTURE	MATCH ARCHITECTURE	MATCH ARCHITECTURE CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION / INSTALLATION
SITE FURNISHINGS					
5.0	POTTERY	TO BE SELECTED BY HOMEOWNER			

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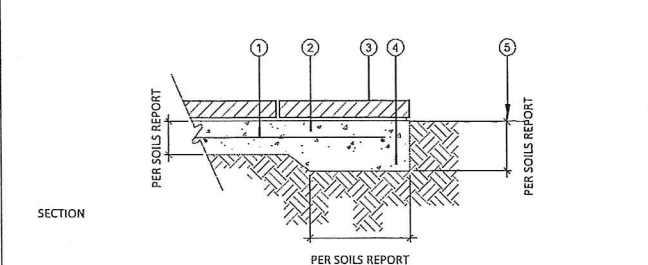
FINISH SCHEDULE



(H) ACCENT WALL AT RETAINING WALL Scale: 3/4"=1'-0"

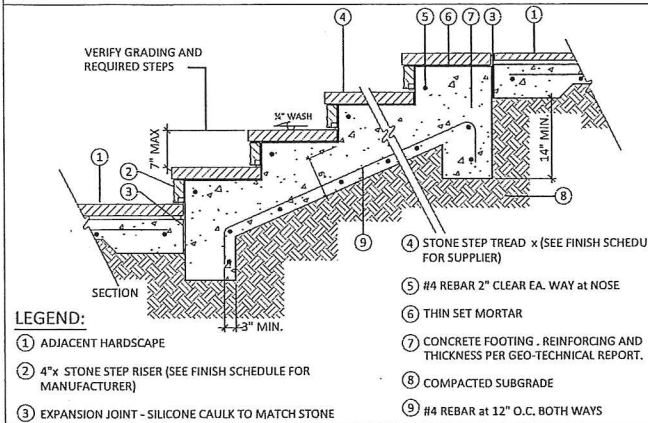


(I) OUTDOOR GRILL WITH STONE COUNTERTOP Scale: 3/4"=1'-0"

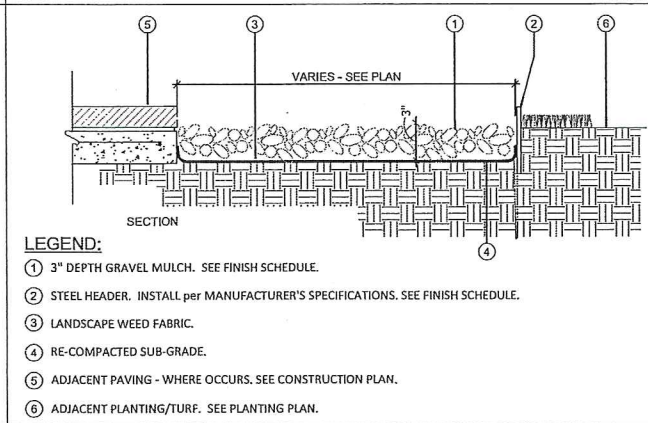


- LEGEND:**
- REINFORCING PER GEO-TECHNICAL REPORT - CONTINUOUS AND CENTERED IN SLAB - SIZE AND SPACING PER STRUCTURAL ENGINEER.
 - VEHICULAR CONCRETE BASE.
 - VEHICULAR STONE PAVING OVER THINSET. SEE FINISH SCHEDULE.
 - COMPACTED SUB-GRADE. PER SOILS REPORT.
 - FINISH GRADE

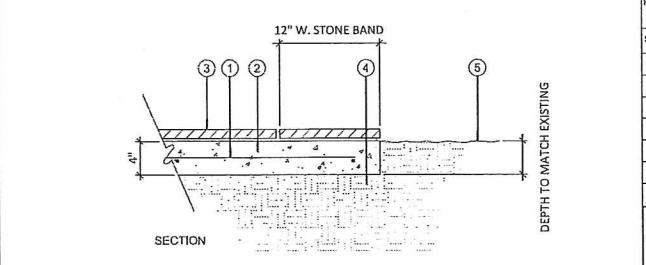
(E) VEHICULAR STONE PAVING Scale: 1 1/2"=1'-0"



(F) STONE STEPS Scale: 1"=1'-0"

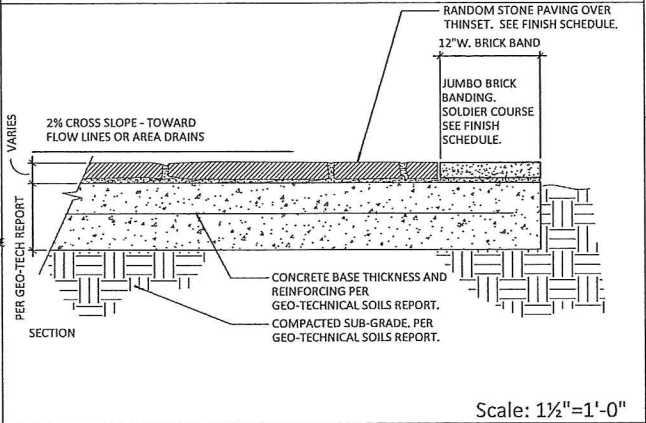


(G) COBBLE MULCH Scale: N.T.S.

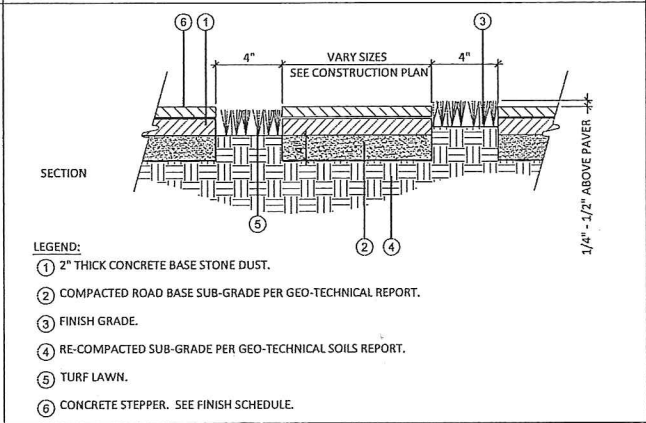


- LEGEND:**
- STEEL REBAR PER GEO-TECHNICAL SOILS REPORT.
 - EXISTING CONCRETE BASE. THICKNESS AND REINFORCING PER GEO-TECHNICAL SOILS REPORT.
 - STONE PAVING OVER THINSET. SEE FINISH SCHEDULE.
 - COMPACTED SUB-GRADE. PER GEO-TECHNICAL SOILS REPORT.
 - FINISH GRADE

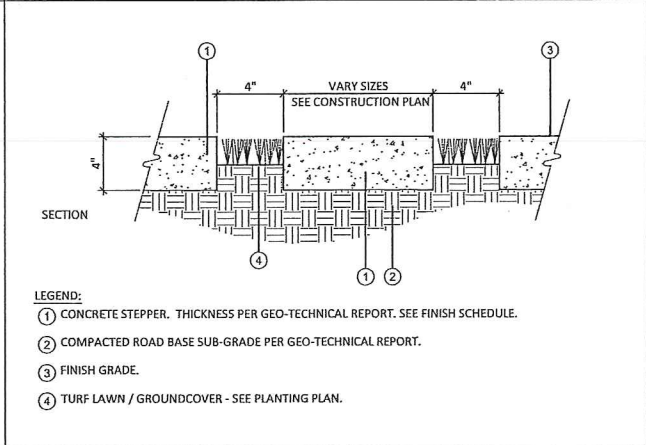
(A) PEDESTRIAN STONE PAVING Scale: 1 1/2"=1'-0"



(B) STONE PAVING AT DINING TERRACE Scale: 1 1/2"=1'-0"



(C) CONCRETE STEPPER Scale: 1 1/2"=1'-0"



(D) VEHICULAR CONCRETE STEPPER Scale: 1 1/2"=1'-0"

PROJECT NAME
MORROW RESIDENCE

STATUS
1/25/2017 2nd HOA
2/19/2017 3rd HOA

LANDSCAPE DESIGN:
Jesse Williams
959-227-8060
daydreamdesign.net

OWNER INFORMATION:

MORROW RESIDENCE
421 MONARCH BAY DRIVE

Stamp:
LINDSEY LANDSCAPE ARCHITECTS
LISA L. LINDSEY
Landscape Architect
1/25/2017
STATE OF CALIFORNIA

LANDSCAPE CONSTRUCTION DETAILS

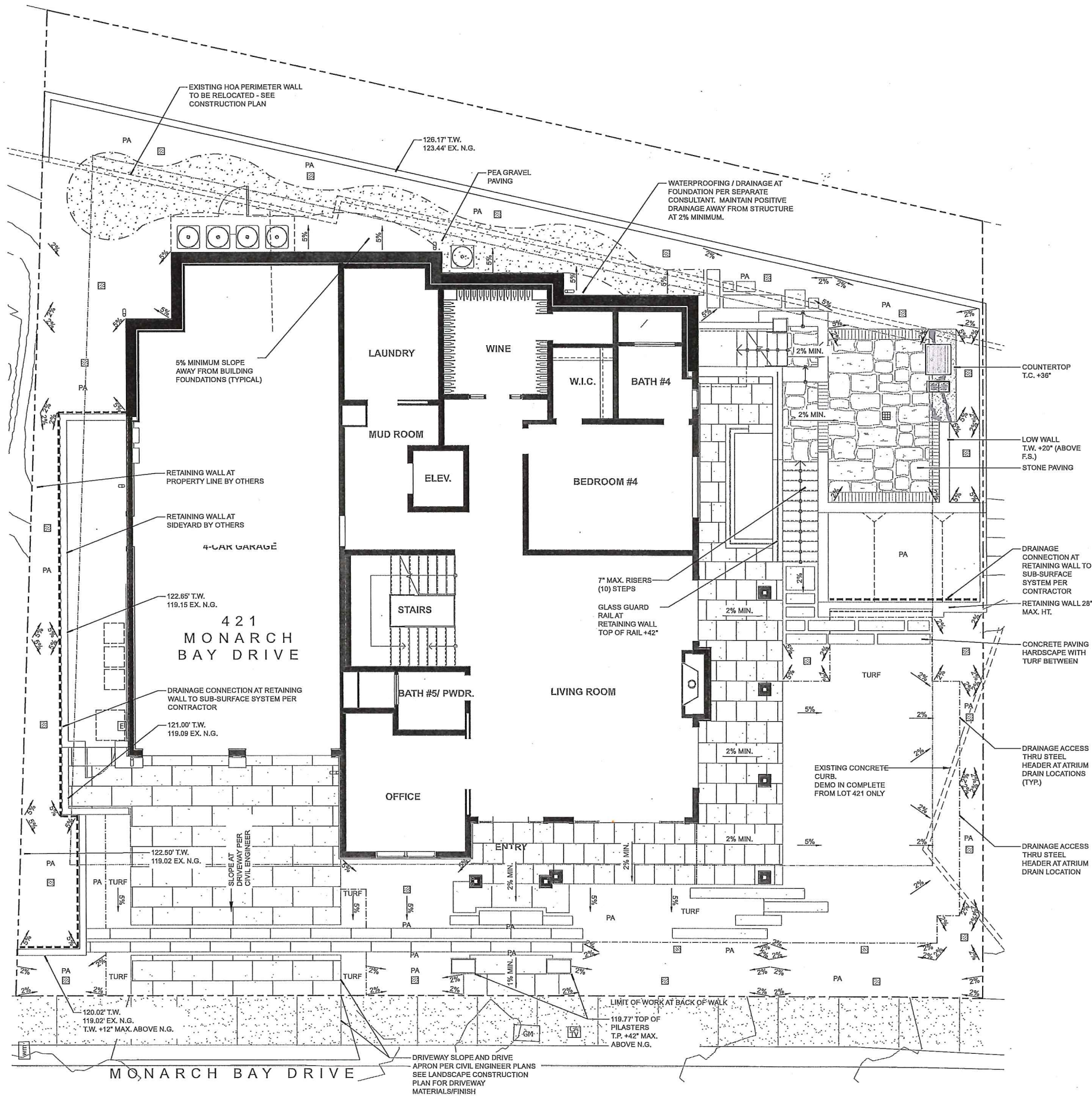
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REVISIONS

NO.	DESCRIPTION	DATE

JOB NO.
DATE February 2, 2017
SHEET NO.
LC.3

A. GENERAL NOTES	
1.	BIDDING: IT SHALL BE THE OWNER'S RESPONSIBILITY IN INVITING AND OBTAINING BIDS, SETTING ITS PROVISIONS AND INSTRUCTIONS TO BIDDERS, SECURING THEIR BONDS AND WORKERS COMPENSATION INSURANCE CERTIFICATES, ETC. TO FULLY ENSURE THE QUALITY AND TIMELY COMPLETION OF THE PROJECT.
2.	SCOPE OF WORK : CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO FURNISH AND INSTALL ALL ELEMENTS AS SHOWN ON THE DRAWING AND SPECIFIED HEREIN.
3.	PLAN VERIFICATION : THE DRAWING AND SPECIFICATIONS REPRESENT THE FINAL CONSTRUCTION PRODUCT. THESE DOCUMENTS MAY CONTAIN ERRORS, OMISSIONS, CONTRADICTIONS, ETC. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS THOROUGHLY AND SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY UPON ANY SUCH DISCREPANCY. GOVERNING CODES AND ORDINANCES SHALL THEN APPLY.
4.	LICENSE: THE CONTRACTOR SHALL BE A CALIFORNIA LICENSED CONTRACTOR.
5.	UNIFORM BUILDING CODE : ALL CONSTRUCTION WITHIN THESE DRAWINGS SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE GOVERNING CODES AND ORDINANCES.
6.	FIELD VERIFICATION: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. OWNER AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
7.	DIMENSIONS: ALL SCALE DIMENSIONS ARE APPROXIMATE. WRITTEN DIMENSIONS ON DETAILS AND PLANS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
8.	METHODS OF CONSTRUCTION : THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, MEANS, SEQUENCES, PROCEDURES AND TECHNIQUES. THE LANDSCAPE ARCHITECTURAL FIRM IS NOT LIABLE FOR CONSTRUCTION METHODS.
9.	UTILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, ELECTRICAL CABLES, CONDUITS, AND IRRIGATION LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH IMPROVEMENTS.
10.	PERMITS AND INSPECTIONS : THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED.
11.	SHOP DRAWINGS : SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR THE CLARIFICATION OF ALL DESIGN CONCEPT DETAILS, IF REQUIRED BY OWNER OR GOVERNING AUTHORITY.
12.	LIABLE FOR DAMAGE : THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS OPERATIONS TO UTILITIES, PLANTING, CONSTRUCTION, PERSONS, PROPERTY, ETC. AND SHALL PROVIDE PROTECTIVE MEANS TO GUARD AGAINST DAMAGE.
13.	LIABLE FOR ENCROACHMENT : THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SETBACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.
14.	SITE MAINTENANCE : CONTRACTOR SHALL KEEP THE PROJECT SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS. ALL DEBRIS SHALL BE REMOVED FROM SITE PER LOCAL CODE AND ORDINANCES.
15.	SAFETY: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS DURING CONSTRUCTION.
16.	MATERIALS: ALL MATERIALS AND EQUIPMENT SPECIFIED IN THESE DRAWINGS SHALL BE NEW AND IN PERFECT CONDITION WHERE INSTALLED. CONTRACTOR SHALL ALLOW AT LEAST 6-8 WEEKS FROM TIME OF PLACEMENT OF ORDER UNTIL DELIVERY ON ANY SPECIFIED ITEM UNLESS OTHERWISE NOTED ON PLANS.
17.	SUBSTITUTIONS: DESIGN, MATERIAL, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON DRAWINGS MAY BE CONSIDERED FOR USE. APPROVAL FOR SUBSTITUTIONS SHALL BE OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
18.	GARANTEE: ALL WORK PERFORMED BY CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE TIME OF COMPLETION AS DIRECTED BY OWNER, OR UNLESS OTHERWISE SPECIFIED HEREIN.
B. FIELD OBSERVATIONS	
1.	REQUIRED FIELD OBSERVATION WORK : THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE 'FULL' CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE MISINTERPRETATION OF THE INTENT OF THE DESIGN. UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS BEFORE THEY BECOME COSTLY MISTAKES BUILT INTO THE PROJECT, THEREFORE, IN THE EVENT THAT PROFESSIONAL DESIGN ASSOCIATES IS OTHERWISE PRECLUDED FROM COMPLETING THE FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND PROFESSIONAL DESIGN ASSOCIATES AND THEIR CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS.
2.	FIELD OBSERVATION COORDINATION : THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT). THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF THESE PHASES OF WORK IS AT THE CONTRACTOR'S RISK, WITH ANY REQUIRED CHANGES OR MODIFICATIONS TO BE AT CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.
C. DRAINAGE NOTES	
1.	SCOPE OF WORK : CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES FOR THE INSTALLATION OF A SUBSURFACE DRAINAGE SYSTEM.
2.	LICENSE: THE DRAINAGE CONTRACTOR SHALL BE A C-27 LICENSED LANDSCAPE CONTRACTOR OR LICENSED PER APPROPRIATE LOCAL CODES.
3.	UNIFORM BUILDING CODE : ALL DRAINAGE CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE GOVERNING AGENCIES.
4.	APPROVALS / CERTIFICATIONS : THE CONTRACTOR SHALL INITIATE AND COORDINATE THROUGH THE OWNER ALL REQUIRED AGENCY APPROVALS. CONTRACTOR SHALL COOPERATE WITH THE OWNER AND OWNER'S ENGINEER FOR LINE AND GRADE INSPECTION.
5.	FIELD VERIFICATION: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. OWNER AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
6.	UTILITIES: CONTRACTOR SHALL LOCATE AND TAKE ALL PRECAUTIONS NECESSARY TO PREVENT UNDERMINING AND DAMAGE TO EXISTING UTILITIES.
COORDINATION	CONTRACTOR SHALL COORDINATE WITH APPROPRIATE TRADES TO LOCATE PIPE (IRRIGATION, EXISTING DRAINAGE, ELECTRICAL, ETC.) INFILING WITH DRAIN AND DRAIN LINES LOCATIONS BEFORE STARTING WORK.
8.	TRENCHING: PIPE TRENCH SHALL BE EXCAVATED STRAIGHT AND TRUE TO GRADE. IN GENERAL, THE TRENCH WIDTH SHOULD NOT EXCEED THE DIAMETER OF THE PIPE PLUS TWO FEET. TRENCH BOTTOM SHALL BE GRADED AND PREPARED TO PROVIDE A FIRM AND UNIFORM BEING SURFACE THROUGHOUT ENTIRE LENGTH OF PIPE.
9.	SUBGRADE: ALL SUBGRADE STABILIZERS FOR SUBSURFACE DRAINAGE SYSTEM SHALL BE PER STRUCTURAL SOILS REPORT.
10.	SWALES: SWALE LINE SHALL HAVE A 2% MINIMUM PITCH CONTINUALLY TO THE DRAIN INLET TO THE CATCH BASIN OR DISCHARGE POINT. SWALES SHALL HAVE A GENTILE UNIFORM CROSS PITCH WITHOUT ANY UNEVEN OR ABRUPT TRANSITIONS.
11.	DRAINS: DRAIN INLETS OR CATCH BASIN SHALL BE LOCATED AT SWALE LOW POINTS. ALL AREA DRAINS, CATCH BASINS, ETC. SHALL CONFORM TO ALL SPECIFICATIONS AND RECOMMENDED INSTALLATION PROCEDURES OF MANUFACTURER.
12.	DRAIN LINES : ALL DRAIN LINES SHALL BE 64" (UNLESS OTHERWISE SPECIFIED BY OWNER) SDR35, OR APPROVED BY LANDSCAPE ARCHITECT NON-PERFORATED TUBING, SOLVENT WELD ALL CONNECTIONS. ALL DRAIN LINES ON SLOPES TO BE SCHEDULE 40 PVC OR APPROVED LANDSCAPE ARCHITECT. ALL DRAINAGE PIPE SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS. ALL CHANGES IN DIRECTION IN THE DRAIN LINE SHALL BE WITH 45° ANGLE FITTINGS. INSTALL DRAIN LINE 12" BELOW FINISH GRADE MINIMUM, EXCEPT WHERE DRAIN LINES DAYLIGHT AT CURB. INVERT OF CURB DRAINS SHALL BE LOCATED MINIMUM OF 1" ABOVE CUTTER FLOW LINE, AND SHALL HAVE A MINIMUM CLEARANCE OF 2" TOP OF CURB AND TERMINATE AT LEAST 1" BACK OF CURB FACE. DRAIN LINES SHALL BE INSTALLED WITH A 1% SLOPE FROM THE DRAIN INLET TO THE DRAIN OUTLET.
13.	CONNECTIONS: ALL SUBSURFACE AND SURFACE DRAINAGE SYSTEMS SHALL BE CONTAINED WITHIN THE PROPERTY IT SERVES. ALL DRAIN INLETS SHALL BE CONNECTED TO A CENTRALIZED SYSTEM WITH DRAIN OUTLET WHICH EXISTS AT CURB FACE OR CONNECTS INTO STORM DRAIN SYSTEM PER CIVIL ENGINEER.
14.	BACKFILLING: ALL BACKFILLING SHALL BE DONE IN ACCORDANCE WITH STRUCTURAL SOILS REPORT.
15.	INSTALLATION UPKEEP : INTERIOR OF PIPE SHALL BE THOROUGHLY CLEANED OF ALL FOREIGN MATTER PRIOR TO, DURING AND AFTER INSTALLATION. CONTRACTOR SHALL MAINTAIN THE PROJECT SITE THROUGHOUT THE PROGRESS OF THE WORK IN A REASONABLE, DRY WORKABLE CONDITION FREE OF SURFACE WATER.
16.	DEFECTS: ALL DEFECTS IN DRAINAGE SYSTEM SHALL BE CORRECTED THROUGH THE GUARANTEE PERIOD SPECIFIED HEREIN AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
D. MASONRY NOTES	
1.	SCOPE OF WORK : CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TO CONSTRUCT MASONRY STRUCTURES INDICATED ON THESE PLANS.
2.	PLAN VERIFICATION : THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS ON ALL DRAWINGS.
3.	LICENSE: THE MASONRY CONTRACTOR SHALL BE A C-29 CALIFORNIA LICENSED MASONRY CONTRACTOR, OR A C-27 LICENSED LANDSCAPE CONTRACTOR IF MASONRY IS APPURTENANT TO LANDSCAPE WORK.
4.	UNIFORM BUILDING CODE : ALL MASONRY CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE, MASONRY DESIGN MANUAL AND ALL APPLICABLE GOVERNING AGENCIES.
5.	FIELD VERIFICATION: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. OWNER AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
6.	PLASTER FINISH : ALL PLASTER FINISHES, TEXTURES AND COLORS SHALL MATCH REFERENCED ARCHITECTURE OR AS DIRECTED BY OWNER. CONTRACTOR SHALL SUPPLY A 2' x 2' SAMPLE OF ALL PLASTER FINISHES FOR OWNER'S APPROVAL.
7.	SOIL PREPARATION : ALL EXCAVATION, GRADING, COMPACTION, ETC. SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE STRUCTURAL SOILS REPORT. ALL SOIL MODIFICATIONS SHALL BE UNDER THE DIRECTION OF A SOILS ENGINEER.
8.	ROCK AND SAND SPECIFICATIONS : SAND AND AGGREGATE FOR MASONRY SHALL BE CLEAN AND ACCEPABLE.
9.	WATER : WATER FOR CONCRETE SHALL BE CLEAN AND FREE FROM DELETERIOUS SUBSTANCES.
10.	CEMENT: CEMENT SHALL BE PORTLAND CEMENT TO CONFORMING TO CURRENT REQUIREMENTS OF ASTM C-150, TYPE I OR TYPE II.
11.	CONCRETE BLOCK : MASONRY UNITS SHALL BE TYPE II UNITS CONFORMING TO ASTM C-90 AND MEETING THE REQUIREMENTS OF THE QUALITY CONTROL STANDARDS OF THE CONCRETE MASONRY ASSOCIATION OF CALIFORNIA. SIZE, TEXTURE & COLOR SHALL BE SHOWN ON DRAWINGS.
12.	EXECUTION: LAY MASONRY IN STRAIGHT COURSES IN RUNNING BOND, TRUE TO PLANE AND PLUMB WITHIN 1/8" IN 10 FEET. FACES OF MASONRY UNITS SHALL BE ALL IN ONE PLANE. MAKE HORIZONTAL AND VERTICAL MORTAR JOINTS 3/8" THICK. TOOL ALL JOINTS FLUSH. CUT UNITS WITH MASONRY SAW.
13.	MORTAR: MORTAR SHALL BE TYPE 'S' AND CONFORM TO ASTM C-270. UNIFORMLY MIX IN THE RATIO 1 PART PORTLAND CEMENT TO 1/2 PART HYDRATED LIME OT 3 PART SAND. MORTAR TO MATCH COLOR OF BLOCK OR PER PLAN.
14.	GROUT: GROUT SHALL BE A FLUID CONSISTENCY AND MIXED IN THE RATIO BY VOLUME, 1 PART CEMENT, 3 PARTS SAND, OR 1 PART CEMENT, 3 PARTS SAND, 2 PARTS PEAGRAVEL. GROUT SHALL ATTAIN A MINIMUM COMPRESSION STRENGTH OF 2,000 P.S.I. @ 28 DAYS.
15.	COMPRESSIVE STRENGTH OF CONCRETE : ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2,000 P.S.I. AT 28 DAYS OR PER STRUCTURAL ENGINEER'S RECOMMENDATIONS WITH A SLUMP NOT TO EXCEED 4" CONFORMING WITH ASTM C-39. CONCRETE SHALL CONSIST OF A MINIMUM 5 SACK PORTLAND CEMENTSAND/GRVEL MIX, CONFORMING WITH ASTM C-150.
16.	MASONRY REINFORCING STEEL : STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 EXCEPT THAT 1/4" TIES MAY BE PLAIN BARS. WIRE REINFORCEMENT SHALL CONFORM TO ASTM A-82.
17.	REBAR: ACCURATELY PLACE REINFORCING STEEL AS SHOWN ON THE DRAWINGS OR PER



GRADING SYMBOLS LEGEND					
FG	FINISH GRADE		6" CATCH BASIN	BW	BOTTOM OF WALL
FS	FINISH SURFACE			EXT'G	EXISTING
HP	HIGH POINT	TP	TOP POST		DIRECTION OF FLOW
IN	INVERT	BP	BOTTOM POST		GRADE BREAK
NG	NATURAL GRADE				
PA	PLANTING AREA	S	EXISTING SEWER CLENOUT		PLANTER AREA DRAIN, 4" ATRIUM GRATE
TP	TOP OF PILASTER				
TS	TOP OF STEP	W	EXISTING WATER METER		HARDSCAPE DRAIN 3" METAL GRATE
TW	TOP OF WALL				
BW	BOTTOM OF WALL	RE	RIM ELEVATION		DRAIN LINE AT RETAINING WALL
TW	TOP OF WALL				

- WATER QUALITY BEST MANAGEMENT PRACTICES (B.M.P.)**
1. PLANTING AREAS AND VINE POCKETS INCORPORATED INTO THE HARDSCAPE LAYOUT- SEE PLAN. HARDSCAPE PAVING DRAINS TO LANDSCAPE AREAS WHEREVER POSSIBLE.
 2. SURFACE DRAINAGE DIRECTED INTO LANDSCAPE AREAS ON THE PROPERTY TO RETAIN SIGNIFICANT AMOUNTS OF WATER RUNOFF ON-SITE. RESIDENTIAL GUTTER DOWNSPOUTS DAYLIGHT OR FLOW INTO LANDSCAPED AREAS WHEREVER POSSIBLE.
 3. USE OF LOW WATER CONSUMPTION PLANTS AND PROPER IRRIGATION TECHNIQUES TAKING INTO CONSIDERATION SUN AND SHADE EXPOSURES AND SOIL TYPES.
 4. ROOF DOWNSPOUTS TO FLOW TO PERMEABLE AREA

NOTE TO CONTRACTOR:

- CONTRACTOR SHALL VERIFY EXISTING DRAIN LINE LOCATION AND ADEQUATE DRAINAGE TO OUTFALL.
- CONNECTION TO EXISTING DRAINLINE per CONTRACTOR.

SLOPE GRADIENTS NOTE:

- HARDSCAPE PAVING: MINIMUM 2% SLOPE AWAY FROM BUILDING
- PLANTED AREAS: MINIMUM 5% SLOPE AWAY FROM BUILDING

EXISTING DRAIN LINE NOTE:

CONNECT ALL NEW DRAIN INLETS TO THE EXISTING DRAIN LINES INSTALLED BY THE BUILDER. TYPICAL.

GENERAL GRADING NOTE:

THE GRADE ADJACENT TO THE PROPERTY LINES MUST REMAIN AT EXISTING GRADE (ORIGINAL PAD) FOR THREE (3') FEET CLEAR.

PLANTER WALL AND LANDSCAPE RETAINING WALL NOTES:

ALL RAISED PLANTER WALLS SHALL HAVE APPROPRIATE WATER PROOFING AND SEPARATION FROM EXISTING WALLS. CONTRACTOR TO MAKE SURE NO SOIL IS APPLIED TO THE RAISED PLANTERS WITHOUT WATER SEALANT/SEPARATION ON PROPERTY LINE WALLS. SOIL WITHIN RAISED PLANTERS CANNOT EXCEED THE HEIGHT OF EXISTING GRADE UNLESS A SEPARATION WALL IS PROVIDED.

PROJECT NAME
MORROW RESIDENCE

STATUS
1/25/2017 2nd HOA
2/18/2017 3rd HOA
5/12/2017 PERMIT

LANDSCAPE DESIGN:

Jesse Williams
949-237-8080
daydreamsdesign.net

OWNER INFORMATION:

Stamp:

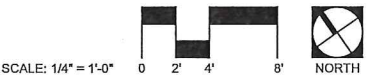
LANDSCAPE GRADING & DRAINAGE PLAN
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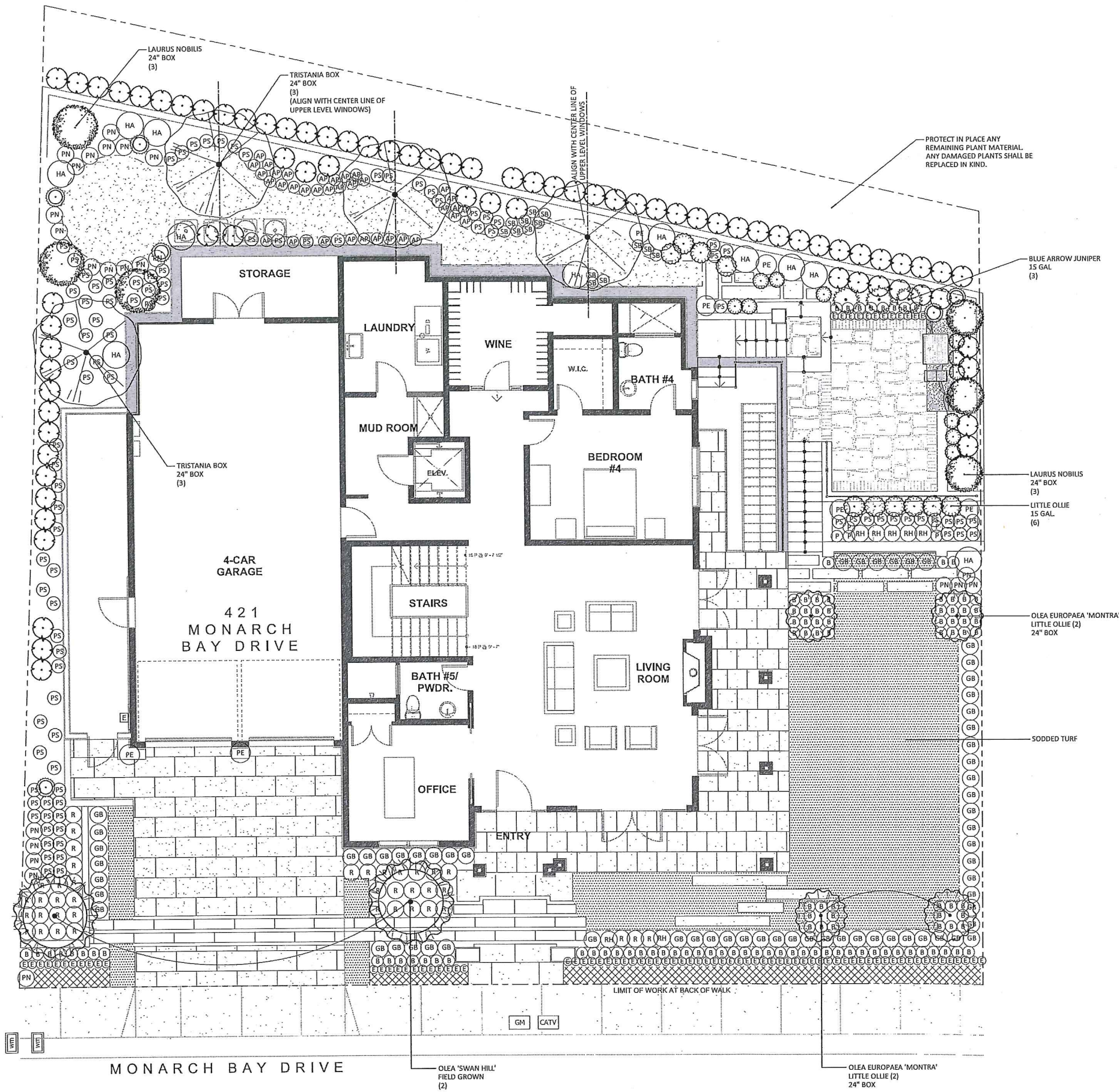
REVISIONS

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JOB NO.
DATE
MAY 12, 2017
SHEET NO.

LG.1





TREE LEGEND:				
SYMBOL	NAME	SIZE	QTY.	COMMENTS
	CUPRESSUS SEMPERVIRENS 'MONSHEL'	15 GAL.	5	
	JUNIPERUS SCOPULORUM 'BLUE ARROW'	15 GAL.	3	
	LAURUS NOBILIS SWEET BAY	24" BOX	3	LOW BRANCHING
	OLEA EUROPAEA 'MONTRA'	35" BOX / 15 GAL.	4	STANDARD
	OLEA EUROPAEA 'SWAN HILL'	FIELD GROWN	2	HIGH BRANCHING
	PRUNUS CAROLINIANA 'COMPACTA'	15 gal	77	AS HEDGE
	TRISTANIA CONFERTA BRISBANE BOX	24" BOX	4	LOW BRANCHING

SHRUB LEGEND:			
SYMBOL	NAME	SIZE	COMMENTS
	ASPIDISTRA PEDATUM	5 GAL.	
	BUXUS 'SOLEWOOD'	5 GAL.	18" O.C. - HEDGE
	DYMONDIA 'SILVER CARPET'	FLATS	8" O.C. - GROUND COVER APPROX. 70 SQ. FT.
	EUCALYPTUS 'MICRO VARIEGATUS'	5 GAL.	12" O.C. - HEDGE AT 12" HIGH
	HYDRANGEA ANOMALA PETIOLARIS	1 GAL.	
	HYDRANGEA ARBORESCENS 'ANNABELLE'	15 GAL.	
	PELLAEA ROTUNDFOLIA	1 GAL.	
	PITTOSPORUM CRASSIFOLIUM 'NANA'	6 GAL.	
	PITTOSPORUM T. 'GOLF BALL'	5 GAL.	
	PITTOSPORUM TOBIRA 'SHIMA'	5 GAL.	
	PODOCARPUS ELONGATUS 'MONNAL'	15 GAL.	
	ROSA x HYBRIDA 'ICEBERG'	5 GAL.	PINK FLOWER
	ROSA x 'NADAMEL'	5 GAL.	
	STACHYS BYZANTINA 'LAMB'S EAR'	1 GAL.	
SODDED TURF:			
	SODDED TURF	APPROX. 725 SQ. FT.	

MULCH NOTE:
ALL SHRUB AREAS TO RECEIVE BARK MULCH:
3/4" - 1" FOREST FLOOR BARK MULCH (3" THICK)
AVAILABLE THROUGH AGUINAGA FERTILIZER COMPANY (949) 786-9558.
or APPROVED EQUAL - SUBMIT SAMPLES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

QUANTITIES NOTE:
IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

GENERAL LANDSCAPE NOTES:
• ALL TREES CLOSER THAN 4' TO STRUCTURES ARE TO HAVE ROOT BARRIERS.
• ALL TREES FIFTEEN GALLON AND LARGER ARE TO BE STAKED WITH TWO 2" DIAMETER LODGE POLES.
• ALL PLANTER AREAS TO HAVE GROUND COVER AND/OR WOOD MULCH.
• ALL PLANTS ARE NON-INVASIVE AND LOW WATER CONSUMPTIVE VARIETIES FOR THEIR PROPOSED GROWING CONDITIONS. THESE PLANTS ARE DROUGHT TOLERANT AND USED FOR THEIR DEEP ROOT SYSTEMS WHICH STABILIZES SOIL AND MINIMIZE EROSION IMPACTS.

PROJECT NAME
MORROW RESIDENCE

STATUS
1/25/2017 2nd HOA
2/18/2017 3rd HOA

LANDSCAPE DESIGN:

Jesse Williams
949-217-8068
jdaydreamdesign.net

OWNER INFORMATION:

MORROW RESIDENCE

421 MONARCH BAY DRIVE

Stamp:

PLANTING PLAN

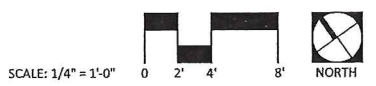
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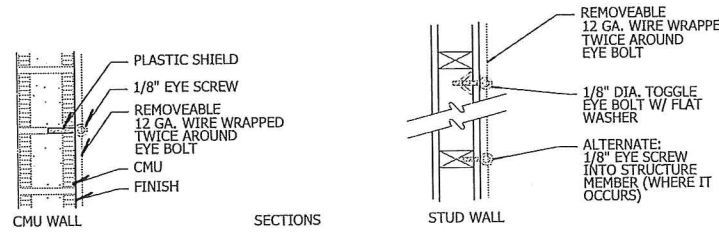
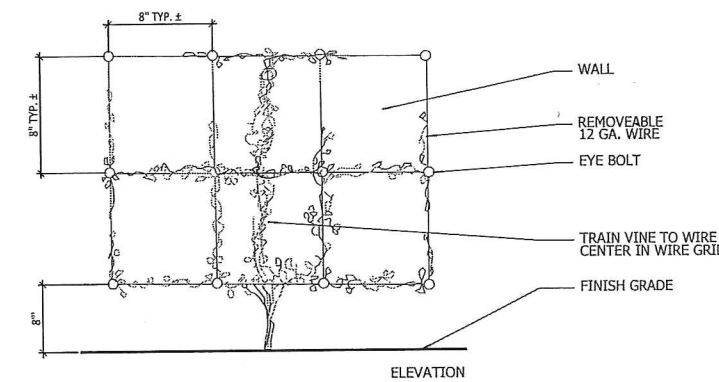
JOB NO.

DATE February 2, 2017

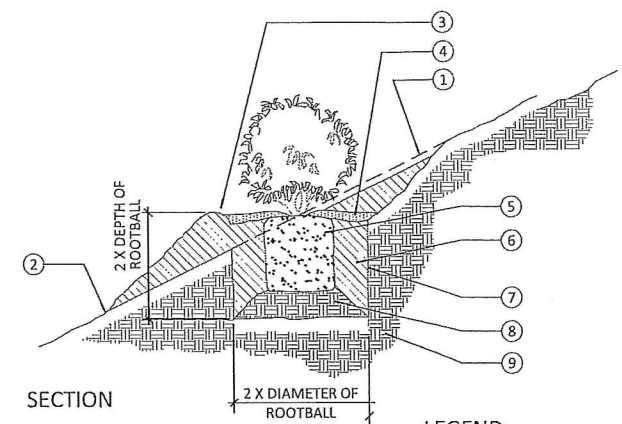
SHEET NO.

LP.1

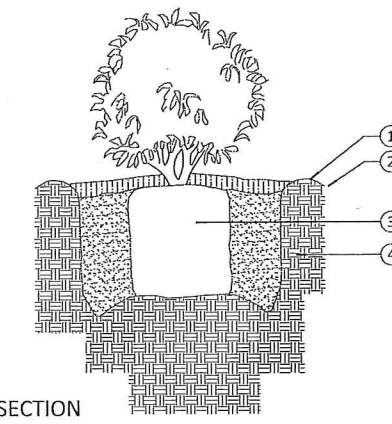




SPECIAL NOTE:
TO PROVIDE ACCESS TO COMMON H.O.A. WALL FOR REPAIRS
OR PAINTING REMOVE WIRE FROM EYE BOLTS AND LAY ON GROUND.



NOTE:
REFER TO SPECIFICATIONS FOR MULCH,
PLANT PIT and AMENDMENT
REQUIREMENTS.



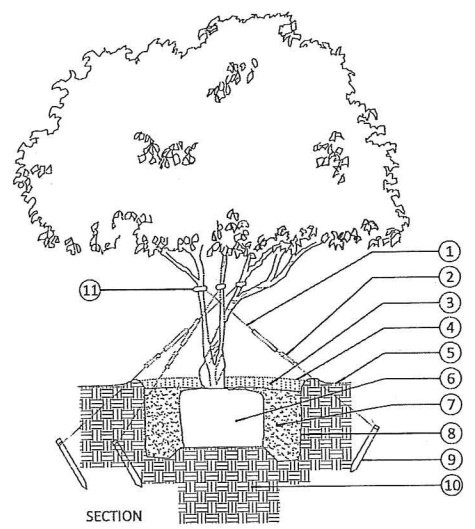
- LEGEND:
- 1 WATER BASIN FORMED BY 3" HIGH BERM
 - 2 FINISH GRADE (ROOT BALL 1/2" ABOVE FINISH GRADE AFTER SETTLEMENT)
 - 3 ROOTBALL
 - 4 BACKFILL MIX SHALL CONSIST OF 75% NATIVE SOIL, 25% TYPE 1 SOIL AMENDMENT

NOTE:
1. PLANT HOLE SHALL BE LARGER IF NECESSARY TO PERMIT HANDLING and PLANTING without INJURY or BREAKAGE of the ROOT BALL and ROOT SYSTEM
2. PLANT HOLE SIZE SHALL BE TWICE THE CONTAINER DIAMETER
3. NITROLIZED WOOD SHAVINGS

E VINE PLANTING ON ACCENT WALL Scale: N.T.S.

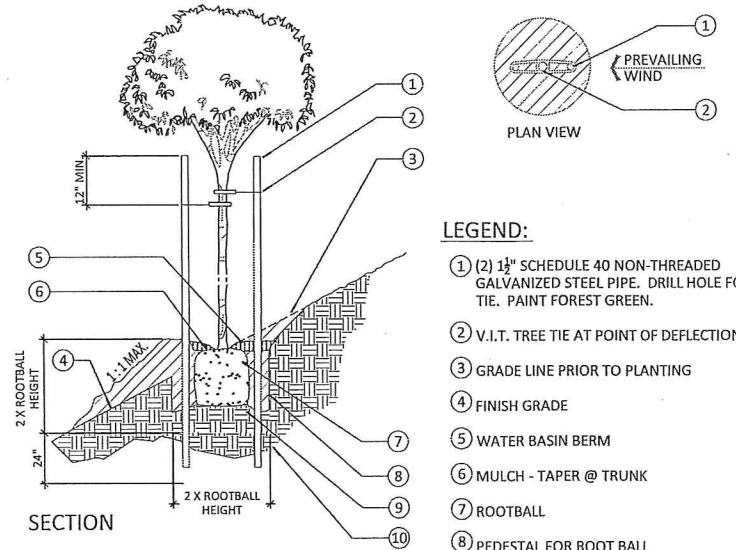
C SHRUB PLANTING ON SLOPE Scale: N.T.S.

A SHRUB PLANTING Scale: N.T.S.



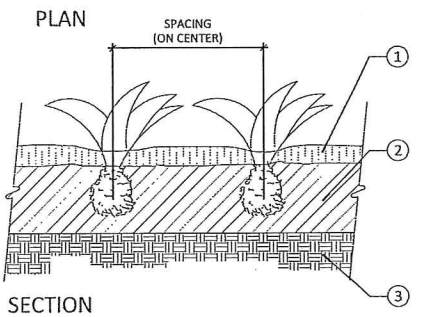
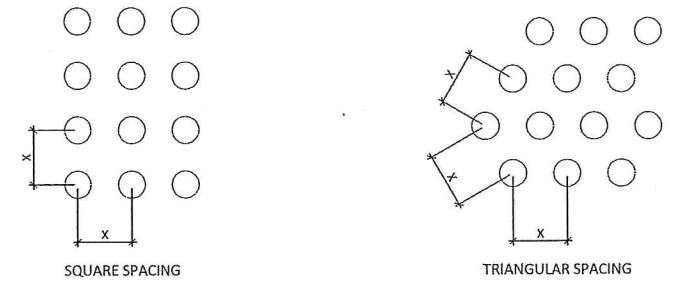
- LEGEND:
- 1 STEEL WIRE - FLAG W/ 3/8" WHITE PVC/ABS TUBE
 - 2 STEEL TURNBUCKLE - 1 PER GUY WIRE
 - 3 MULCH
 - 4 TEMPORARY WATER BASIN BERM REMOVE PRIOR TO HYDROSEEDING OR SODDING
 - 5 FINISH GRADE
 - 6 ROOT BALL
 - 7 AMENDED BACKFILL
 - 8 ROUGHENED
 - 9 CABLE ANCHOR
 - 10 SUBGRADE
 - 11 TREE TIE

(36" BOX & LARGER)



- LEGEND:
- 1 (2) 1 1/2" SCHEDULE 40 NON-THREADED GALVANIZED STEEL PIPE. DRILL HOLE FOR WIRE TIE. PAINT FOREST GREEN.
 - 2 V.I.T. TREE TIE AT POINT OF DEFLECTION
 - 3 GRADE LINE PRIOR TO PLANTING
 - 4 FINISH GRADE
 - 5 WATER BASIN BERM
 - 6 MULCH - TAPER @ TRUNK
 - 7 ROOTBALL
 - 8 PEDESTAL FOR ROOT BALL
 - 9 ROUGHENED PIT SIDES
 - 10 SUBGRADE

NOTES:
1. REFER TO SPECIFICATIONS FOR MULCH, PLANT PIT and AMENDMENT REQUIREMENTS.
2. TOP OF STAKES SHALL NOT COME IN CONTACT W/ BRANCHES.



- LEGEND:
- 1 MULCH
 - 2 PREPARED PLANT SOIL
 - 3 SUBGRADE

NOTES:
1. REFER TO SPECS FOR PREPARED PLANT SOIL DEPTH & PREPARATION
REFER TO PLANS FOR SQUARE OR
2. TRIANGULAR SPACING

F TREE GUYING Scale: N.T.S.

D TREE PLANTING ON SLOPE Scale: N.T.S.

B GROUNDCOVER PLANTING Scale: N.T.S.

PROJECT NAME
MORROW RESIDENCE

STATUS
1/25/2017 2nd HOA

LANDSCAPE DESIGN:

Jesse Williams
949.237.8060
jesseliwilliamsdesign.net

OWNER INFORMATION:

Stamp:

PLANTING DETAILS
These drawings were prepared by the undersigned and are to be used in accordance with the California Landscape Architecture Act. The undersigned is not responsible for any errors or omissions in these drawings. These drawings are not to be used for any other purpose without the written consent of the undersigned. The undersigned is not responsible for any errors or omissions in these drawings. These drawings are not to be used for any other purpose without the written consent of the undersigned.

REVISIONS

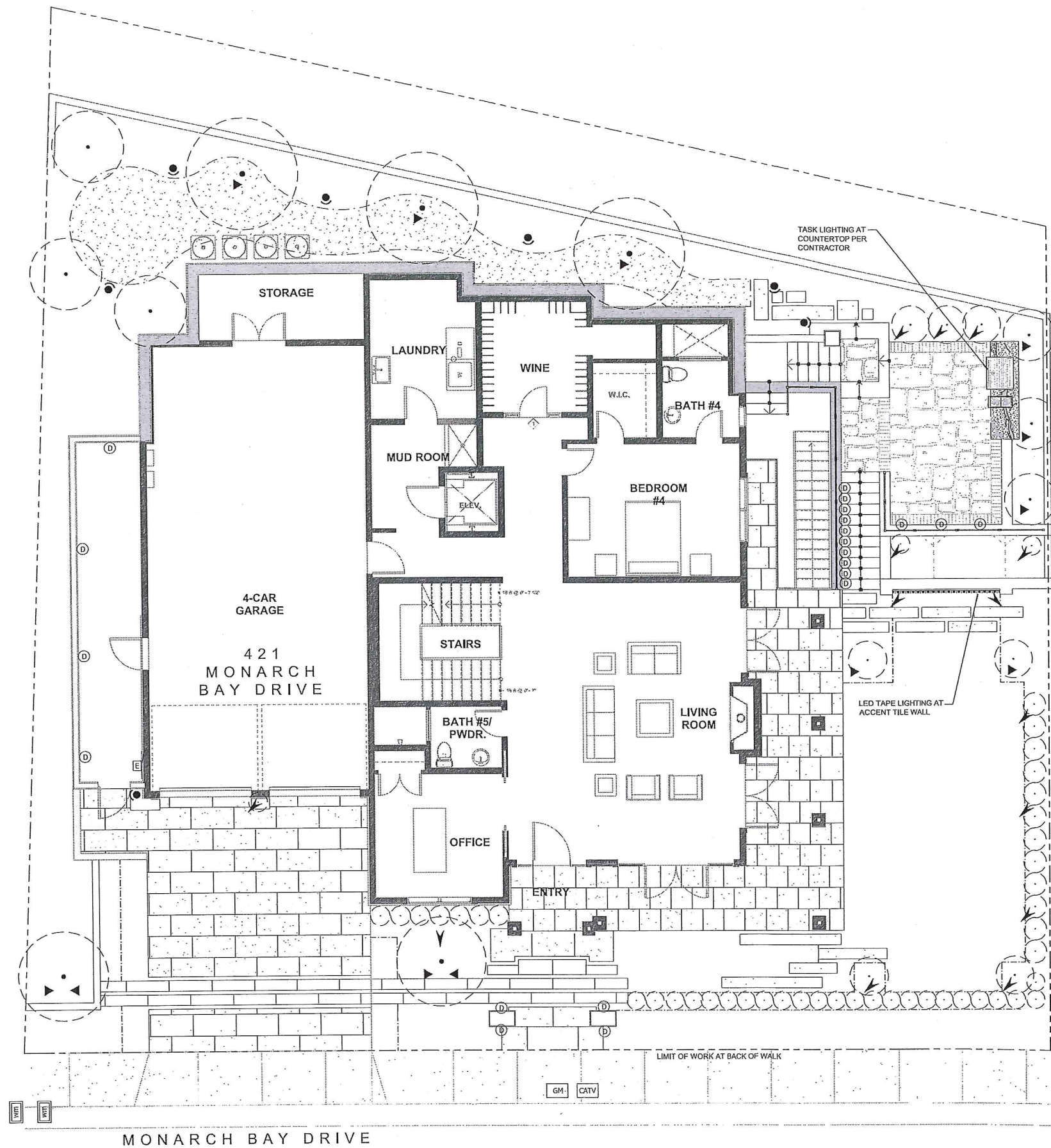
JOB NO.

DATE January 25, 2017

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LP.2

A. GENERAL NOTES		B. FIELD OBSERVATIONS		C. LANDSCAPE GRADING NOTES		D. SLOPE PLANTING NOTES		E. MAINTENANCE NOTES (CONTINUED)	
1. BIDDING: IT SHALL BE THE OWNER'S RESPONSIBILITY IN INVITING AND OBTAINING BIDS, SETTING ITS PROVISIONS AND INSTRUCTIONS TO BIDDERS, SECURING THEIR BONDS AND WORKERS COMPENSATION INSURANCE CERTIFICATES, ETC. TO FULLY ENSURE THE QUALITY AND TIMELY COMPLETION OF THE PROJECT.		1. REQUIRED FIELD OBSERVATION WORK : THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE FULL CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE MISINTERPRETATION OF THE INTENT OF THE DESIGN. ANY UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS CAN BECOME COSTLY MISTAKES BUILT INTO THE PROJECT. THEREFORE, IN THE EVENT THAT PROFESSIONAL DESIGN ASSOCIATES IS OTHERWISE PRECLUDED FROM COMPLETING THE FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND PROFESSIONAL DESIGN ASSOCIATES AND TO THEIR CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS.		1. SITE PREPARATION : THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, DEBRIS, AND OTHER EXTRANEOUS MATERIALS FROM THE JOB SITE PRIOR TO PROCEEDING WITH ANY WORK.		1. GENERAL: THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS PRESCRIBED PER SOIL AGRONOMY REPORT. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDINGLY TO THE ANALYSIS.		14. TURF FERTILIZER : FERTILIZE ALL TURF AREAS WITH COMMERCIAL FERTILIZER, 16-8-8 MINIMUM ANALYSIS, AT THE RATE OF TEN (10) POUNDS PER 1000 SQ. FT. OF AREA.	
2. SCOPE OF WORK : CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE LANDSCAPE GRADING PER THE DRAWINGS AND SPECIFIED WITHIN.		2. FIELD OBSERVATION COORDINATION : THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT). THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF ANY REQUIRED CHANGES OR MODIFICATIONS TO BE AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY-EIGHT (48) HOURS IN ADVANCE.		2. SOIL PREPARATION : ALL SOIL PREPARATION SHALL BE INSTALLED AS PER THE SOIL AGRONOMY REPORT TO BE PROVIDED AND PAID FOR BY THE OWNER. SOILS REPORT SHALL CONSIDER ALL SOIL AMENDMENT RECOMMENDATIONS. THE REPORT SHALL BE IMMEDIATELY FORWARDED TO THE LANDSCAPE ARCHITECT UPON COMPLETION.		2. SLOPE TEXTURING (CUT SLOPES) : THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.		15. MOWING : MOW ALL TURF AREAS BEFORE THEY REACH A HEIGHT OF THREE INCHES WITH MOWER SET AT TWO INCHES. MAINTAIN ALL TURF AREAS AT A TWO INCH HEIGHT THROUGHOUT THE MAINTENANCE PERIOD.	
3. PLAN VERIFICATION : THESE DOCUMENTS MAY CONTAIN ERRORS, OMISSIONS, CONTRADICTIONS, ETC. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS THOROUGHLY AND SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY UPON ANY SUCH DISCOVERY OF DISCREPANCY. GOVERNING CODES SHALL THEN APPLY.		3. CLOSING OF NOT INSPECTED WORK : THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF THE WORK TO BE COVERED OR ENCLOSED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE CONSULTING ENGINEER OR AUTHORIZED REPRESENTATIVE AND/OR GOVERNMENTAL AUTHORITY HAVING JURISDICTION OVER THE WORK. SHOULD ANY OF THE WORK BE ENCLOSED OR COVERED BEFORE SUCH INSPECTION AND TEST, HE SHALL UNCOVER HIS WORK AT HIS OWN EXPENSE. AFTER IT HAS BEEN INSPECTED, TESTED AND APPROVED, THE CONTRACTOR SHALL MAKE ALL REPAIRS NECESSARY TO THE OWNER'S SATISFACTION.		3. SOIL AMENDMENTS : THE SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. THE OWNER SHALL PROVIDE FOR A SOILS AGRONOMY REPORT FROM AN APPROVED SOILS LABORATORY AND/OR AN ADDITIONAL SPECIFICATION PROVIDED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS.		3. SLOPE TEXTURING (FILL SLOPES) : THESE SURFACES SHALL BE COMPACTED AND FINISHED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPES. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.		16. RE-HYDROSEEDING : THE CONTRACTOR SHALL RE-HYDROSEED ALL HYDROSEEDED AREAS ERODED OR NON-GERMINATING AT THE END OF EACH THIRTY DAYS.	
4. LICENSE: THE CONTRACTOR SHALL BE A C-27 CALIFORNIA STATE LICENSED LANDSCAPE CONTRACTOR.		4. COMPLETION: WORK SHALL BE COMPLETED UPON FINAL APPROVAL BY OWNER AND LANDSCAPE ARCHITECT. A FINAL INSPECTION SHALL BE HELD UPON THE COMPLETION OF THE WORK PROVIDING THE CONTRACTOR HAS COMPLETED THE INSTALLATION OF ALL PHASES OF THE CONTRACT AND CONFORMED TO ALL REQUIREMENTS OF THESE SPECIFICATIONS.		4. CULTIVATION DEPTH: ALL LANDSCAPE AREAS SHALL BE CULTIVATED TO A DEPTH OF 6".		4. WEED ERADICATION PROCEDURES : A. MANUALLY REMOVE ALL EXISTING VEGETATION AND DISPOSE OF IT OFF-SITE IN A SUITABLE AND LAWFUL MANNER. B. FERTILIZE ALL PLANTING AREAS WITH FERTILIZER BASED ON SOIL LAB'S RECOMMENDATIONS. (SEE PLANTING DETAIL SHEET). ADD ANY AND ALL SOIL AMENDMENTS AS REQUIRED, PER THE SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE CHEMICALS.		17. CLEAN UP : DURING THE COURSE OF THE MAINTENANCE WORK, THE CONTRACTOR SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE AND SHALL MAINTAIN THE PREMISES IN A NEAT AND CLEAN CONDITION AT ALL TIMES.	
5. ORDINANCES AND REGULATIONS : ALL LANDSCAPE PLANTING WITHIN THESE DRAWINGS AND SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES (LOCAL, COUNTY & STATE).		5. JOB SITE MEETINGS AND REQUIRED INSPECTIONS : A. PRE-JOB MEETING ON SITE - PRIOR TO COMMENCEMENT OF WORK B. DURING SOIL PREPARATION C. AT COMPLETION OF SOIL PREPARATION D. COMPLETION OF WEED CONTROL E. PLANT MATERIAL INSPECTION F. GRADING CHECK PRIOR TO GROUND COVER G. PROGRESS/INSTALLATION INSPECTION H. COMPLETION OF PLANTING I. 30, 60, & 90-DAY MAINTENANCE INSPECTIONS		5. AMENDMENT MIX : INCORPORATE THE FOLLOWING SOIL AMENDMENTS, OR PER SOILS REPORT, IN THE UPPER 6" OF ALL TILLING OR DIGGING UNTIL ALL POCKETS AND LAYERS OF SOIL AND SOIL CONDITIONS ARE ELIMINATED. REDWOOD SHAVINGS 6 YARDS PER 1000 SQ. FT. COMMERCIAL FERTILIZER 20 LBS. PER 1000 SQ. FT. GYPSUM 100 LBS. PER 1000 SQ. FT.		5. WATERING: WATER ALL PLANTING AREAS THOROUGHLY AND CONTINUOUSLY FOR THREE (3) CONSECUTIVE DAYS TO SATURATE UPPER LAYERS OF SOIL PRIOR TO PLANTING.		18. FINAL INSPECTION : WILL BE HELD AT THE END OF THE 90-DAY MAINTENANCE PERIOD.	
6. PERMITS AND INSPECTIONS : THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED.		6. REJECTION OF PLANT MATERIAL : THE OWNER OR LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL REGARDED AS UNSUITABLE AT ANY TIME AT NO ADDITIONAL COST TO THE OWNER.		6. FINISH GRADE : FINISH GRADES SHALL BE THOSE INDICATED ON THE DRAWINGS OR AS MAY BE CONTROLLED BY EXISTING INSTALLATIONS. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM. STRAIGHT LEVELS BETWEEN POINTS WHERE ELEVATIONS ARE DETERMINED. FINISH GRADES SHALL BE SMOOTH AND EVEN OF A UNIFORM PLANE WITH AN ABRUPT CHANGES IN THE SURFACE. MINOR MODELING OF THE GROUND SURFACE MAY BE REQUIRED. GRADES SHALL PROVIDE FOR THE NATURAL RUN-OFF OF WATER WITHOUT LOW SPOTS OR POCKETS. FLOW LINES SHALL BE SET BY INSTRUMENT AND SHALL BE THE MAXIMUM GRADIENT POSSIBLE.		6. DISCONTINUE WATERING PROCESS FOR TWO (2) DAYS, THEN APPLY "ROUND-UP" TO THE SLOPES PER THE PEST CONTROL AND WEEDS RECOMMENDATIONS. NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION OF CONTACT WEED KILLER.		POST INSTALLATION MAINTENANCE GUIDELINES A SCHEDULE FOR ONGOING MAINTENANCE SHALL BE PREPARED AND SHOWN ON THE PLANTING PLAN USING THE FOLLOWING GUIDELINES.	
7. FIELD VERIFICATION : CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY UPON ANY DISCOVERY OF DISCREPANCIES. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.		7. HANDLING/STORAGE : ALL PLANTS SHALL BE HANDLED AND STORED SO THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, SUN, WIND BURN, VANDALISM OR ANY OTHER INJURY.		7. FINISH GRADE AT TURF AREAS : FINISH GRADE OF ALL TURF AREAS SHALL BE ONE INCH BELOW THE GRADE OF ADJACENT WALKS, PAVEMENTS, CURBS, ETC.		7. DEFECTS: ALL DEFECTS IN SLOPE PLANTING SHALL BE CORRECTED THROUGH THE GUARANTEE PERIOD SPECIFIED HEREIN AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.		A. ANY ALTERATIONS TO THE LANDSCAPE MUST BE APPROVED BY THE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT.	
8. LIABLE FOR ENCRoACHMENT : THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCRoACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SET-BACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.		8. TREE TAGGING: ALL SPECIMEN TREES CALLED OUT ON PLAN TO BE TAGGED SHALL BE SELECTED BY LANDSCAPE ARCHITECT.		8. FINISH GRADE AT SHRUB AREAS : FINISH GRADE OF ALL SHRUBBERY AND GROUND COVER AREAS SHALL BE TWO INCHES BELOW THE GRADE OF ADJACENT WALKS, PAVEMENTS, CURBS, ETC., EXCEPT WHERE WATER FLOWS ACROSS SAME.		8. PLANTING: PLANT TREES AND SHRUBS AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED BY LANDSCAPE ARCHITECT. INSTALL AGRI-FORM PLANTING TABLETS AS CALLED FOR IN LEGEND. PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS TWO (2) TIMES WIDER AND TWO (2) TIMES DEEPER THAN THE CONTAINER. THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS REPORT AND THOSE SPECIFIED ON THE PLANTING DETAIL SHEET, WITH THE SITE SOIL, PRIOR TO BACKFILLING OF PLANTING PITS.		B. CONTROL ALL HARMFUL DISEASES AND PESTS. ALL CHEMICAL APPLICATIONS MUST BE PER STATE LICENSED ADVISORS AND APPLICATIONS.	
9. METHODS OF CONSTRUCTION : THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, MEANS, SEQUENCES, PROCEDURES AND TECHNIQUES. THE LANDSCAPE ARCHITECTURAL FIRM IS NOT LIABLE FOR CONSTRUCTION METHODS.		9. ROOT BARRIERS: CONTRACTOR SHALL INSTALL APPROVED ROOT BARRIERS ON ALL TREES WITHIN FIVE (5) FEET OF HARDSCAPE, STRUCTURES, ETC.		9. BACKFILL MIXTURE : BACKFILL TO BOTTOM OF ROOT BALL WITH PREPARED BACKFILL MIXTURE, TAP FIRMLY, SET PLANT IN CENTER OF PIT IN A VERTICAL POSITION, CROWN LEVEL WITH FINISH GRADE. BACKFILL BALANCE OF PIT WITH THE FOLLOWING PREPARED MIXTURE OR PER SOILS REPORT: 10 PARTS TOP SOIL 5 PARTS REDWOOD SHAVINGS 14 LB BONE MEAL AGRIFORM PLANT TABLETS, 1 PER GALLON, 2 PER 5 GALLON, 4 PER 15 GALLON, AND 6 PER BOX FOR SPECIMENS LARGER THAN 15 GALLON.		9. WATERING: WATER ALL PLANTING AREAS THOROUGHLY AND CONTINUOUSLY FOR THREE (3) CONSECUTIVE DAYS TO SATURATE UPPER LAYERS OF SOIL PRIOR TO PLANTING.		C. PRUNING SHALL BE DONE TO KEEP PLANTS WITHIN SPECIAL LIMITATIONS. REMOVAL OF DEADWOOD, CROSS-BRANCHING, ETC., PER INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS (ISA). PLANTS SHALL NEVER BE SHEARED UNLESS SPECIFIED OR IN THE CONTRACTOR'S OWN EXPENSES. NEVER ALLOW APPROVED PLANT TREES ARE TO BE ALLOWED TO GROW TO THE DESIGNED SIZE TO PROVIDE MAXIMUM SHADING OF PAVED AREAS.</	



LOW VOLTAGE LIGHTING SCOPE OF WORK:

THE SUPPLY AND INSTALLATION OF A 12 VOLT LANDSCAPE LIGHTING SYSTEM WHICH INCLUDES THE FIXTURES SPECIFIED ON LIGHTING LEGEND AS WELL AS THE INSTALLATION OF LOW VOLTAGE TRANSFORMERS AND DIRECT BURIAL CABLE NECESSARY TO COMPLETE LAYOUT AS SHOWN. THIS LIGHTING PLAN IS DIAGRAMMATIC AND IS INTENDED TO SHOW GENERAL FIXTURE LOCATIONS AND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR NECESSARY LINE (120V) AND LOW VOLTAGE (12V) WORK TO COMPLETE THE LIGHTING DESIGN AS SHOWN.

STANDARDS

ALL WORK PERFORMED IS TO COMPLY WITH THE UNIFORM BUILDING CODE, CALIFORNIA ELECTRICAL CODE TITLE 8, AND ALL LOCAL CODES AND ORDINANCES. CONTRACTOR SHALL POSSESS ALL NECESSARY LICENSES TO COMPLETE DESCRIBED WORK AND SHALL CARRY GENERAL LIABILITY AND WORKMEN'S COMPENSATION INSURANCE. CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS TO COMPLETE WORK DESCRIBED.

INSTALLATION

A CONTRACTOR SHALL VERIFY SITE MEASUREMENTS, GRADES, EXISTING CHASE LINE SLEEVES, EXISTING PLANT LOCATIONS AND EXISTING UTILITIES, EQUIPMENT AND SWITCHING CONTROLS. CONTRACTOR IS TO PROVIDE ALL NECESSARY COMPONENTS AND ACCESSORIES TO COMPLETE INSTALLATION AS SPECIFIED.

1. DIRECT BURIAL CABLE TO BE CIRCUITED AND SIZED TO PROVIDE A MINIMUM OF 10.5 VOLTS AND A MAXIMUM OF 11.5 VOLTS TO ALL LIGHTING FIXTURES. REFER TO FIX LUMINAIRE'S "CIRCUITING GUIDELINES" INCLUDED WITH THE TRANSFORMER. MINIMUM UNDERGROUND LOW VOLTAGE CABLE SIZE IS 12-GAUGE MULTI-STRAND DIRECT BURIAL. INSTALL CABLE ALONG THE EDGE OF HARDSCAPE AND MOWSTRIPS WHENEVER POSSIBLE. MINIMUM CABLE DEPTH IS 8". CONTRACTOR IS TO INSTALL 1" PVC CHASE LINE SLEEVES WITH SWEEP CORNERS FOR ANY CABLE RUN UNDER HARDSCAPE OR DIFFICULT TO ACCESS AREAS SUCH AS AT GRADE DECKS AND HIGH IMPACT AREAS SUCH AS COLOR PLANTERS THAT RECEIVE SEASONAL COLOR CHANGES. LEAVE 24" LOOPS AT ALL FIXTURE LOCATIONS FOR FINAL ADJUSTMENT. ALL WIRE JUNCTIONS SHALL BE WATERPROOFED WITH FIX LUMINAIRE'S LITESPICE C-100™ CONNECTORS OR APPROVED EQUAL. ONLY FULLY ENCAPSULATED WATERPROOF CONNECTORS RATED FOR DIRECT BURIAL WILL BE ACCEPTED. BLACK-TAPED CONNECTIONS WILL BE REJECTED.

2. FIXTURE LOCATION VERIFY EXACT LOCATION WITH LANDSCAPE DESIGNER OR OWNER'S AGENT BEFORE COMMENCING INSTALLATION. ALL FIXTURES SHALL BE IN A NEW, UNUSED CONDITION. EQUIPMENT SHALL BE THE TYPE SPECIFIED - THERE WILL BE NO SUBSTITUTIONS WITHOUT PRIOR APPROVAL FROM LANDSCAPE DESIGNER OR OWNER'S AGENT. INSTALL ALL EQUIPMENT AS PER MANUFACTURER'S SPECIFICATIONS AND DETAILS.

3. TRANSFORMERS TRANSFORMERS TO BE INSTALLED INCONSPICUOUSLY USING PLANT MATERIAL OR SITE FEATURES TO OBSOURE A DIRECT VIEW OF THEIR LOCATIONS. AVOID LOCATIONS THAT ARE EASILY ACCESSIBLE TO CHILDREN OR THAT ARE IN A DIRECT PATH OF IRRIGATION WATER. INSTALL TRANSFORMERS 12" OFF FINISH GRADE AND LEVEL. ALL WIRES LEADING TO OR FROM TRANSFORMER SHALL BE IN CONDUIT SLEEVE THAT IS FIRMLY AFFIXED TO MOUNTING SURFACE. ALL JUNCTION BOXES AND OTHER EQUIPMENT SHALL BE UL APPROVED FOR WET LOCATION. PAINT TRANSFORMERS AND ANY NECESSARY JUNCTION BOXES OR CONDUIT TO MATCH THE SURFACE ON WHICH THEY ARE MOUNTED. INSTALL TRANSFORMERS ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCAL CODES. ALL EXPOSED METAL PARTS INCLUDING TRANSFORMERS SHALL BE PERMANENTLY GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

4. TREE LIGHTING VERIFY EXACT FIXTURE LOCATION PRIOR TO INSTALLATION. TREE CABLE SHALL BE 14-16 GAUGE BROWN OR BLACK LOW VOLTAGE TWO-CONDUCTOR. RUN 12 GAUGE CABLE ONLY IF 14 GAUGE WILL NOT PROVIDE FIXTURES WITH THE 10.5 VOLT MINIMUM. INSTALL CABLE ON THE SIDE OPPOSITE PRIMARY VIEW WITH NYLON C-CLIPS AND A SINGLE STAINLESS SCREW. DO NOT USE STAPLES, AS THE TREE WILL EXPAND, CUTTING INTO CABLE. LEAVE A SLIGHT SLACK IN TREE CABLE TO ALLOW FOR EXPANSION OF THE TREE. MAKE CONNECTIONS IN FIX MINI J-BOXES USING THE INCLUDED YELLOW WIRE NUTS. IF NO MINI J-BOX IS USED, MOUNT THE CONNECTION SO THAT THE WIRE NUTS ARE POINTED UP, PREVENTING ANY WATER FROM COLLECTING IN THEM. LIGHTLY SPRAY PAINT WIRE AND CONNECTION TO MATCH TREE COLOR - TYPICALLY KRYLON PRIMER GRAY OR FLAT BLACK.

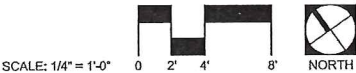
5. TESTING CONTRACTOR SHALL COORDINATE A CONVENIENT TIME IN THE EVENING TO TEST AND AIM ALL EQUIPMENT TO THE SATISFACTION OF THE LANDSCAPE DESIGNER OR OWNER'S AGENT.

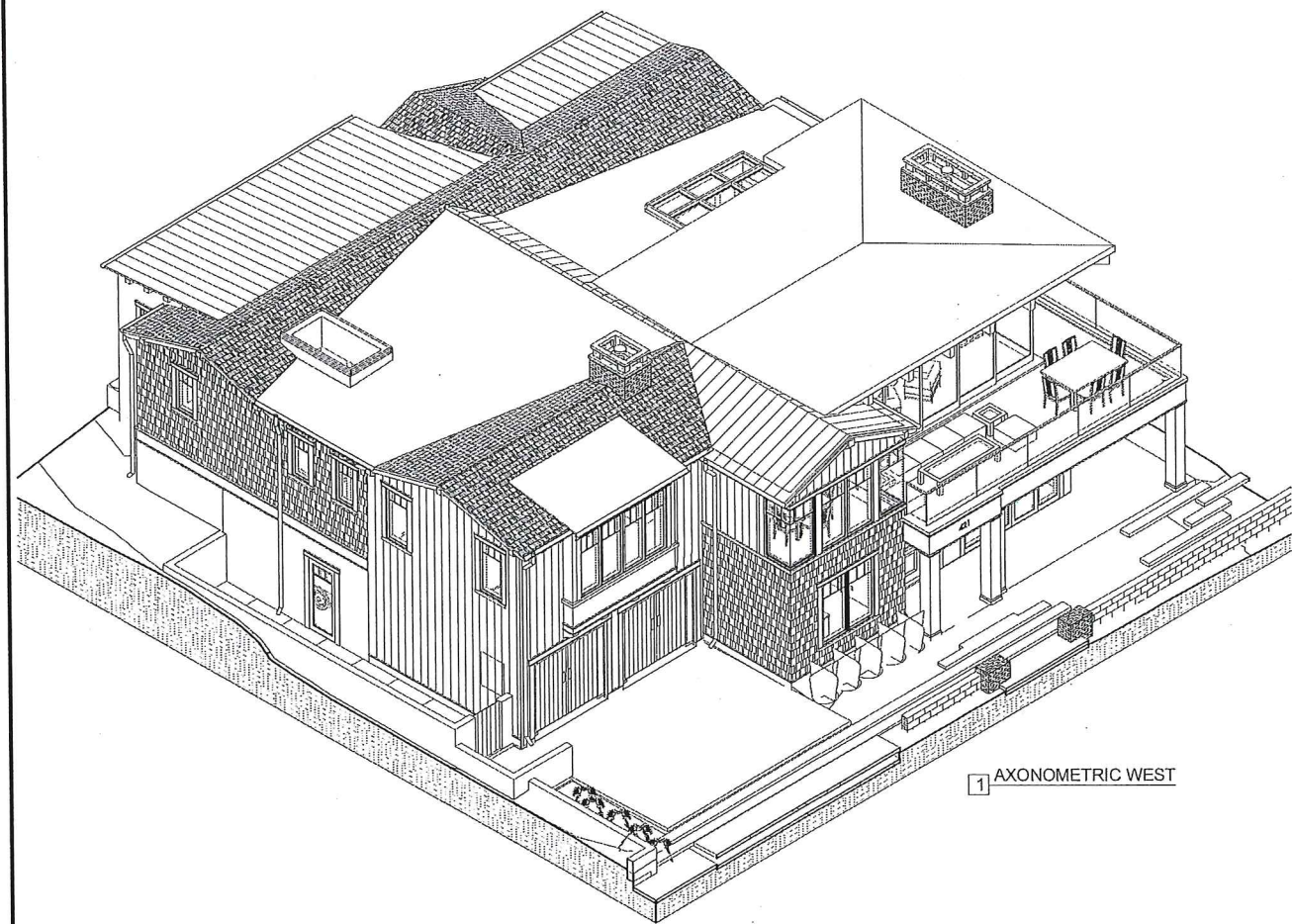
6. GUARANTEE UPON COMPLETION AND ACCEPTANCE OF THE DESCRIBED WORK, THE CONTRACTOR SHALL PROVIDE A GUARANTEE FOR ALL WORKMANSHIP FOR THE PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. ALL WARRANTY SERVICE WORK SHALL BE PERFORMED AT NO COST TO OWNER AND BE DONE ON SITE WHEN POSSIBLE.

LV LIGHTING LEGEND

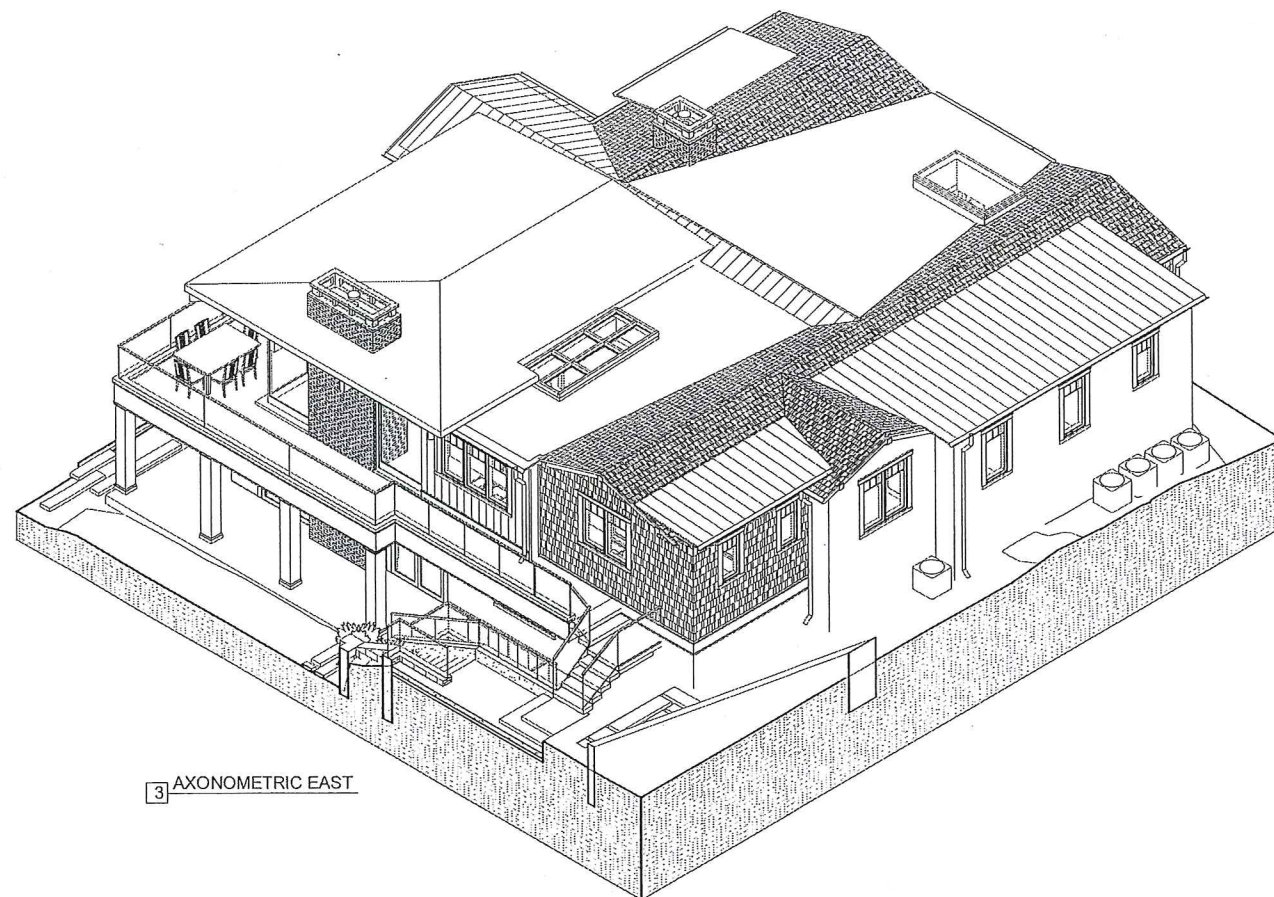
LIGHT	SYMBOL	DESCRIPTION
DIRECTIONAL UP-LIGHT- FOR TREES	◀	12V LED UPLIGHT, WARM WHITE- SPIKE MOUNT, BRUSHED ALUMINUM FINISH
LED TAPE LIGHT	—	12V LED TAPE LIGHT UNDER STEP TREADS BY "LIGHTCRAFT"
DIRECTIONAL UPLIGHT- SHRUB ACCENT	▲	SMALLER VERSION OF TREE UPLIGHT, WARM WHITE- BRUSHED ALUMINUM FINISH
AREA LIGHT / PATHLIGHT	●	12V LED SPIKE MOUNT AREA LIGHT, WARM WHITE- BRUSHED ALUMINUM FINISH
WALL LIGHT AT STEPS / RETAINING WALL / PILASTER	Ⓚ	12V LED RECESSED, WARM WHITE- BRUSHED ALUMINUM OR SIMILAR
PATH LIGHT	○	12V LED RECESSED, WARM WHITE- BRUSHED ALUMINUM OR SIMILAR
TREE/SHRUB LOCATION	○	

PROJECT NAME MORROW RESIDENCE	
STATUS	
1/25/2017	2nd HOA
2/18/2017	3rd HOA
LANDSCAPE DESIGN: Jesse Williams 949-737-8868 drapchamdesign.net	
OWNER INFORMATION:	
MORROW RESIDENCE 421 MONARCH BAY DRIVE	
Stamp: 	
LOW VOLTAGE LANDSCAPE LIGHTING PLAN <small>This document is the property of DRAPCHAM ARCHITECTS. It contains confidential information and is not to be distributed, copied, or otherwise used without the written consent of DRAPCHAM ARCHITECTS. It is to be used only for the project and site specified herein. Any use of this document for any other project or site is strictly prohibited. This document is not to be used as a basis for any legal action or as evidence in any court of law. It is to be used only for the project and site specified herein. Any use of this document for any other project or site is strictly prohibited.</small>	
REVISIONS	
JOB NO.	
DATE February 2, 2017	
SHEET NO.	
LL.1	

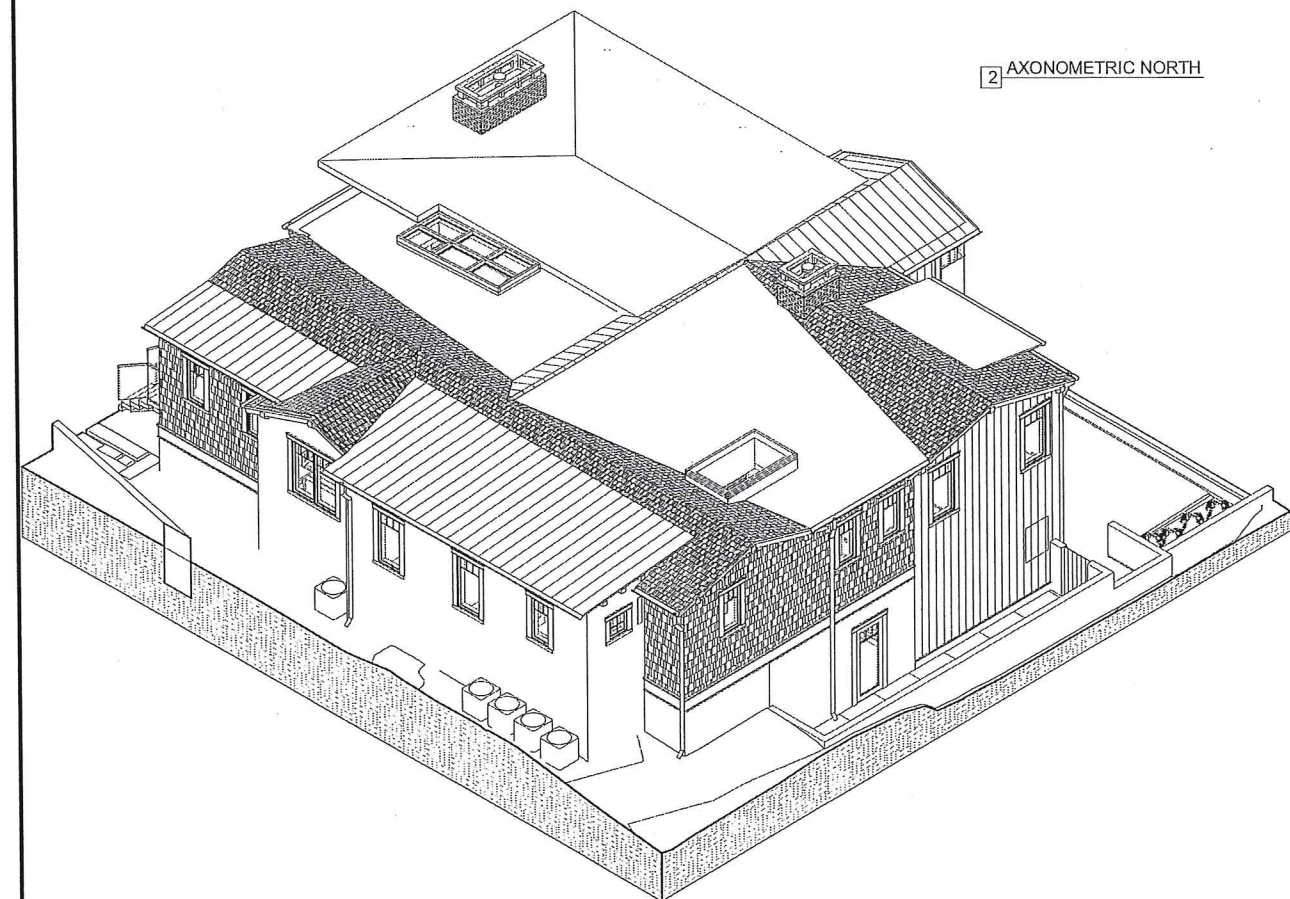




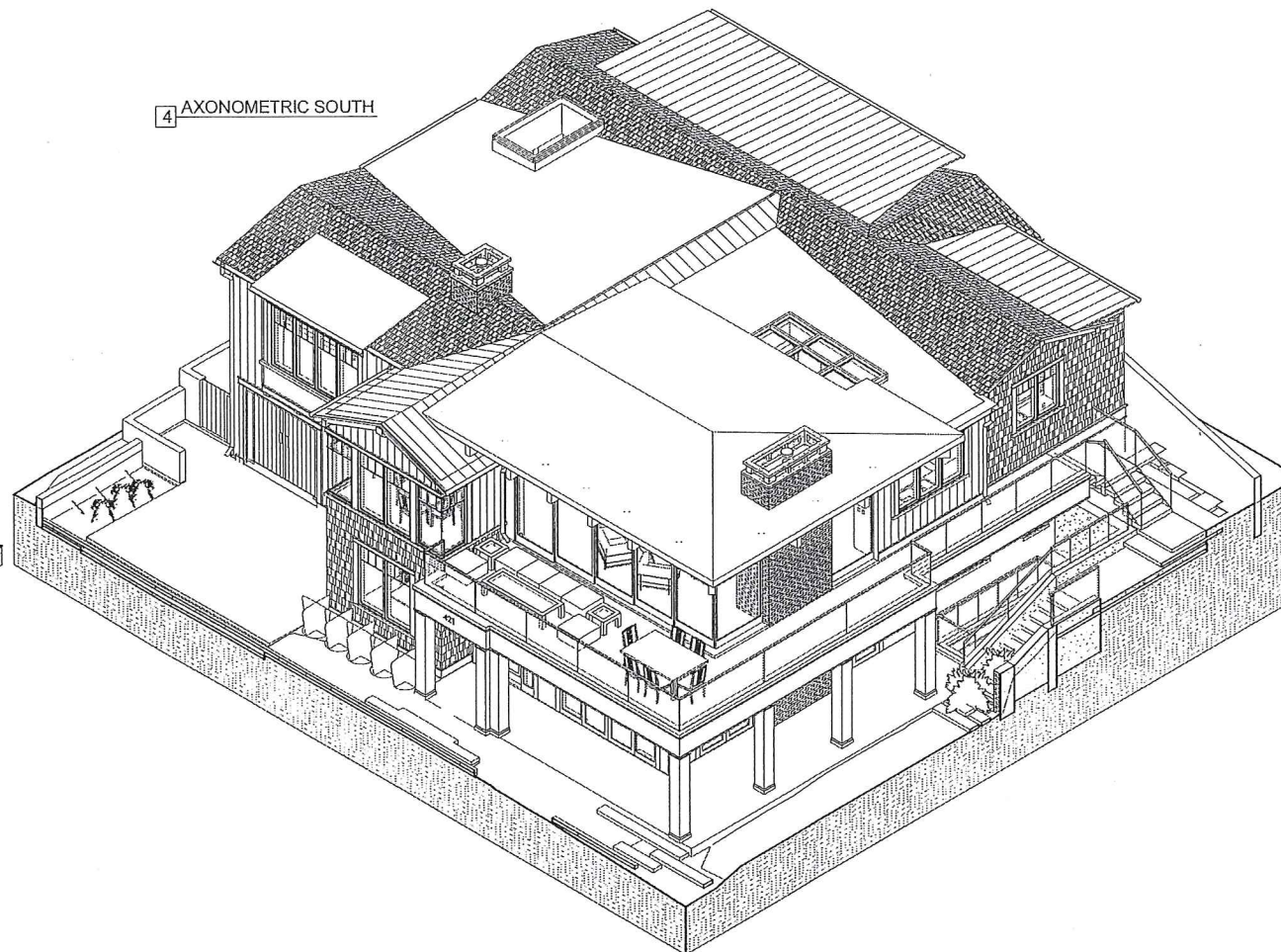
1 AXONOMETRIC WEST



3 AXONOMETRIC EAST

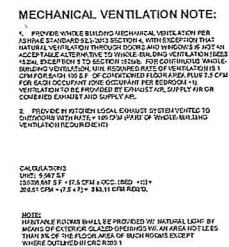


2 AXONOMETRIC NORTH



4 AXONOMETRIC SOUTH

PROJECT NAME MORROW RESIDENCE	
STATUS CDP	
BRANDON ARCHITECTS JAMES BRANDON ARCHITECTS, INC. 1000 14th St. Suite 1000 San Francisco, CA 94103 P: 415.398.1100 F: 415.398.1101	
OWNER INFORMATION: SCOTT MORROW 31 VIA CONDADO SAN CLEMENTE, CA 92673 P: 949.533.5550	
MORROW RESIDENCE 421 MONARCH BAY DRIVE DANA POINT, CA 92629	
DOCUMENT VALID UPON	
ORIGINAL SIGNATURE	
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REVISIONS	NO. REVISION DATE
JOB NO. BA16-421	
DATE 4/10/2017	
SHEET NO.	
A-1.0	



NAME	AREA	COMMENTS
FIRST FLOOR LIVING	1786 SF	
SECOND FLOOR LIVING	2805 SF	
TOTAL LIVING	4571 SF	
BASEMENT LIVING	2183 SF	
TOTAL SUBTERRANEAN	2183 SF	
GARAGE	963 SF	
TOTAL GARAGE	963 SF	
GRAND TOTAL	7737 SF	

OUTDOOR AREA SCHEDULE		
NAME	AREA	COMMENTS
OUTDOOR PATIO	369 SF	UNCOVERED
DECK	489 SF	PARTIALLY COVERED
EGRESS STAIR	45 SF	PARTIAL COVERED
SIDE YARD	195 SF	UNCOVERED
FRONT PATIO	487 SF	PARTIAL COVERED
GRAND TOTAL	1584 SF	

LOT COVERAGE = 3,303 S.F. / 8,258 S.F. = 40% COVERAGE

KEYNOTE LEGEND

1	ADVERTISING - 1% CASH FLOW
2	FINANCIAL SERVICES - 1% CASH FLOW
3	TECHNOLOGY - 1% CASH FLOW
4	CONSUMER - 1% CASH FLOW
5	INDUSTRY - 1% CASH FLOW
6	FINANCIAL SERVICES - 1% CASH FLOW
7	TECHNOLOGY - 1% CASH FLOW
8	CONSUMER - 1% CASH FLOW
9	INDUSTRY - 1% CASH FLOW
10	FINANCIAL SERVICES - 1% CASH FLOW
11	TECHNOLOGY - 1% CASH FLOW
12	CONSUMER - 1% CASH FLOW
13	INDUSTRY - 1% CASH FLOW
14	FINANCIAL SERVICES - 1% CASH FLOW
15	TECHNOLOGY - 1% CASH FLOW
16	CONSUMER - 1% CASH FLOW
17	INDUSTRY - 1% CASH FLOW
18	FINANCIAL SERVICES - 1% CASH FLOW
19	TECHNOLOGY - 1% CASH FLOW
20	CONSUMER - 1% CASH FLOW
21	INDUSTRY - 1% CASH FLOW
22	FINANCIAL SERVICES - 1% CASH FLOW
23	TECHNOLOGY - 1% CASH FLOW
24	CONSUMER - 1% CASH FLOW
25	INDUSTRY - 1% CASH FLOW
26	FINANCIAL SERVICES - 1% CASH FLOW
27	TECHNOLOGY - 1% CASH FLOW
28	CONSUMER - 1% CASH FLOW
29	INDUSTRY - 1% CASH FLOW
30	FINANCIAL SERVICES - 1% CASH FLOW
31	TECHNOLOGY - 1% CASH FLOW
32	CONSUMER - 1% CASH FLOW
33	INDUSTRY - 1% CASH FLOW
34	FINANCIAL SERVICES - 1% CASH FLOW
35	TECHNOLOGY - 1% CASH FLOW
36	CONSUMER - 1% CASH FLOW
37	INDUSTRY - 1% CASH FLOW
38	FINANCIAL SERVICES - 1% CASH FLOW
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40	CONSUMER - 1% CASH FLOW
41	INDUSTRY - 1% CASH FLOW
42	FINANCIAL SERVICES - 1% CASH FLOW
43	TECHNOLOGY - 1% CASH FLOW
44	CONSUMER - 1% CASH FLOW
45	INDUSTRY - 1% CASH FLOW
46	FINANCIAL SERVICES - 1% CASH FLOW
47	TECHNOLOGY - 1% CASH FLOW
48	CONSUMER - 1% CASH FLOW
49	INDUSTRY - 1% CASH FLOW
50	FINANCIAL SERVICES - 1% CASH FLOW
51	TECHNOLOGY - 1% CASH FLOW
52	CONSUMER - 1% CASH FLOW
53	INDUSTRY - 1% CASH FLOW
54	FINANCIAL SERVICES - 1% CASH FLOW
55	TECHNOLOGY - 1% CASH FLOW
56	CONSUMER - 1% CASH FLOW
57	INDUSTRY - 1% CASH FLOW
58	FINANCIAL SERVICES - 1% CASH FLOW
59	TECHNOLOGY - 1% CASH FLOW
60	CONSUMER - 1% CASH FLOW
61	INDUSTRY - 1% CASH FLOW
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63	TECHNOLOGY - 1% CASH FLOW
64	CONSUMER - 1% CASH FLOW
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66	FINANCIAL SERVICES - 1% CASH FLOW
67	TECHNOLOGY - 1% CASH FLOW
68	CONSUMER - 1% CASH FLOW
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83	TECHNOLOGY - 1% CASH FLOW
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87	TECHNOLOGY - 1% CASH FLOW
88	CONSUMER - 1% CASH FLOW
89	INDUSTRY - 1% CASH FLOW
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91	TECHNOLOGY - 1% CASH FLOW
92	CONSUMER - 1% CASH FLOW
93	INDUSTRY - 1% CASH FLOW
94	FINANCIAL SERVICES - 1% CASH FLOW
95	TECHNOLOGY - 1% CASH FLOW
96	CONSUMER - 1% CASH FLOW
97	INDUSTRY - 1% CASH FLOW
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99	TECHNOLOGY - 1% CASH FLOW
100	CONSUMER - 1% CASH FLOW






















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BASEMENT FLOOR PLAN
 1/4" = 1'-0"

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.

STAIRWAY NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1
FOOT CANDLE PER CRC R303.6

ROUGH FRAMING:
ALL EXTERIOR WALL TO BE FRAMED WITH 2 X 8 STUDS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD

	FIRE RATED CEILING ASS'Y, REF. DTL. 7/AD-1
	EXT. FIRE RATED PARTITION REF. DTL. 5/AD-1
	INT. FIRE RATED PARTITION REF. DTL. 7/AD-1
	NEW WALL - 2 x 6 STUDS @ 16" O.C.
	NEW WALL - 2 x 4 STUDS @ 16" O.C.
	WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C.
	CONCRETE RETAINING WALL - REF. STRUCTURAL
	CONCRETE MASONRY WALL - 5" CMU U.N.O.
	DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.
	WINDOW - REFERENCE SCHEDULE
	DOOR - REFERENCE SCHEDULE
	CABINET - BUILT IN CASEWORK
	COLUMN - REF. STRUCTURAL DWGS.
	FURNITURE - FOR PRESENTATION PURPOSES ONLY
	FIREPLACE - PREFAB GAS-ONLY APPLIANCE
	PLUMBING FIXTURE - SINK (AS SELECTED)
	PLUMBING FIXTURE - TOILET (AS SELECTED)
	LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS
	DOOR TAG - REFERENCE SHEET A-8
	WINDOW TAG - REFERENCE SHEET A-8
	KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS

PLAN LEGEND

PROJECT NAME	MORROW RESIDENCE
STATUS	CDP

BRANDON ARCHITECTS

10000 Highway 100, Suite 100, Dallas, TX 75243
 214.444.1010 | www.brandonarchitects.com

OWNER INFORMATION:
SCOTT MORROW
31 VIA CONOCIDO
SAN CLEMENTE, CA 92673
P: 949.533.5050

MORROW RESIDENCE

DOCUMENT VAUD UPON

BASEMENT FLOOR PLAN

ORIGINAL SIGNATURE

BASEMENT FLOOR PLAN

REVISIONS	
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NO.	REVISION	DATE
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JOB NO. _____

BA16-421

DATE 4/10/2017

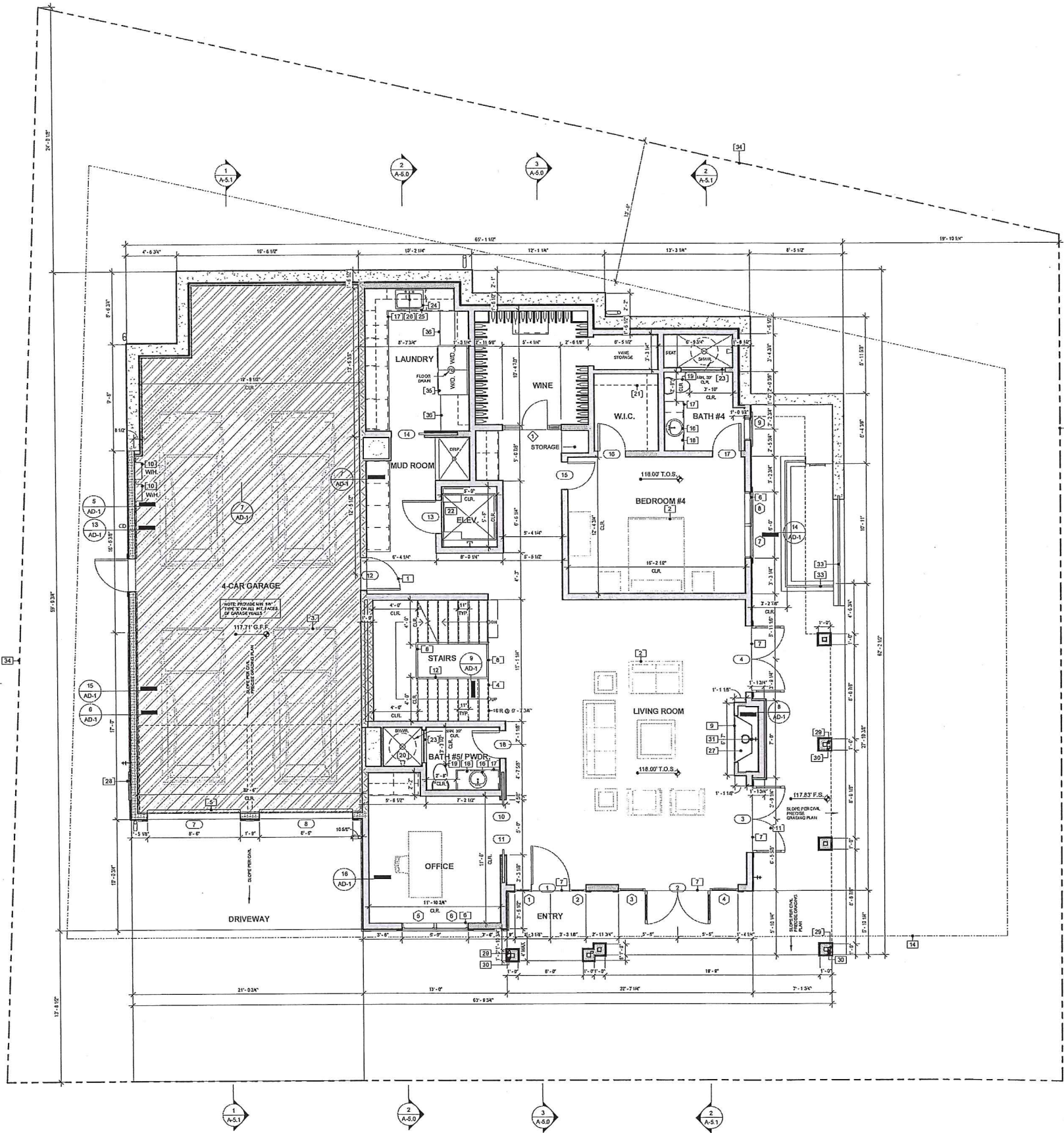
SHEET NO.

1 2 3

SLT A-20

A-2.0

100



1 FIRST FLOOR PLAN
1/4" = 1'-0"

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8". CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.

STAIRWAY NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE PER SQ. FOOT.

ROUGH FRAMING:
ALL EXTERIOR WALL TO BE FRAMED WITH 2 X 8 STUDS
SECOND AND THIRD FLOOR PL-WOOD TO BE 1-1/2"
ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD

- PLAN LEGEND**
- FIRE RATED CEILING ASS'Y. REF. DTL. 7/A-1
 - EXT. FIRE RATED PARTITION REF. DTL. 5/A-1
 - INT. FIRE RATED PARTITION REF. DTL. 7/A-1
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 - WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C.
 - CONCRETE RETAINING WALL - REF. STRUCTURAL
 - CONCRETE MASONRY WALL - 6" CMU U.N.O.
 - DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.
 - WINDOW - REFERENCE SCHEDULE
 - DOOR - REFERENCE SCHEDULE
 - CABINET - BUILT IN CASEWORK
 - COLUMN - REF. STRUCTURAL DWGS.
 - FURNITURE - FOR PRESENTATION PURPOSES ONLY
 - FIREPLACE - PREFAB GAS-ONLY APPLIANCE
 - PLUMBING FIXTURE - SINK (AS SELECTED)
 - PLUMBING FIXTURE - TOILET (AS SELECTED)
 - LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS
 - DOOR TAG - REFERENCE SHEET A-8
 - WINDOW TAG - REFERENCE SHEET A-8
 - KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHT.

A PLAN LEGEND

MECHANICAL VENTILATION NOTE:

- PROVIDE WHOLE BUILDING MECHANICAL VENTILATION SYSTEM WITH EXHAUST FLOW RATE OF 1.0 CFM PER SQUARE FOOT OF FLOOR AREA. PROVIDE EXHAUST FLOW RATE OF 1.0 CFM PER SQUARE FOOT OF FLOOR AREA. PROVIDE EXHAUST FLOW RATE OF 1.0 CFM PER SQUARE FOOT OF FLOOR AREA. PROVIDE EXHAUST FLOW RATE OF 1.0 CFM PER SQUARE FOOT OF FLOOR AREA.
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CALCULATIONS:
UNIT: METRIC
FLOOR AREA = 3,393 S.F. / 8,258 S.F. = 40% COVERAGE

BUILDING AREA SCHEDULE		
NAME	AREA	COMMENTS
FIRST FLOOR LIVING	1765 SF	
SECOND FLOOR LIVING	2805 SF	
TOTAL LIVING	4570 SF	
BASEMENT LIVING	2183 SF	
TOTAL SUBTERRANEAN	2183 SF	
GARAGE	983 SF	
TOTAL GARAGE	983 SF	
GRAND TOTAL	7737 SF	

OUTDOOR AREA SCHEDULE		
NAME	AREA	COMMENTS
OUTDOOR PATIO	330 SF	UNCOVERED
DECK	480 SF	PARTIALLY COVERED
EGRESS STAIR	45 SF	PARTIALLY COVERED
SIDE YARD	195 SF	UNCOVERED
FRONT PATIO	487 SF	PARTIALLY COVERED
GRAND TOTAL	1584 SF	

- KEYNOTE LEGEND**
1. 1/2" MIN. THICK CONCRETE SLAB ON GRADE WITH 4" MIN. TYP. REINFORCING BARS AT 18" O.C. MIN. SPACING.
 2. 1/2" MIN. THICK CONCRETE SLAB ON GRADE WITH 4" MIN. TYP. REINFORCING BARS AT 18" O.C. MIN. SPACING.
 3. 1/2" MIN. THICK CONCRETE SLAB ON GRADE WITH 4" MIN. TYP. REINFORCING BARS AT 18" O.C. MIN. SPACING.
 4. 1/2" MIN. THICK CONCRETE SLAB ON GRADE WITH 4" MIN. TYP. REINFORCING BARS AT 18" O.C. MIN. SPACING.
 5. 1/2" MIN. THICK CONCRETE SLAB ON GRADE WITH 4" MIN. TYP. REINFORCING BARS AT 18" O.C. MIN. SPACING.
 6. 1/2" MIN. THICK CONCRETE SLAB ON GRADE WITH 4" MIN. TYP. REINFORCING BARS AT 18" O.C. MIN. SPACING.
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 34. 1/2" MIN. THICK CONCRETE SLAB ON GRADE WITH 4" MIN. TYP. REINFORCING BARS AT 18" O.C. MIN. SPACING.

PROJECT NAME
MORROW RESIDENCE

STATUS
CDP

BRANDON ARCHITECTS

SCOTT MORROW
31 VIA CONCORDIO
DANA POINT, CA 92629
P: 949.533.6526

OWNER INFORMATION
SCOTT MORROW
31 VIA CONCORDIO
DANA POINT, CA 92629
P: 949.533.6526

MORROW RESIDENCE

421 MONARCH BAY DRIVE
DANA POINT, CA 92629

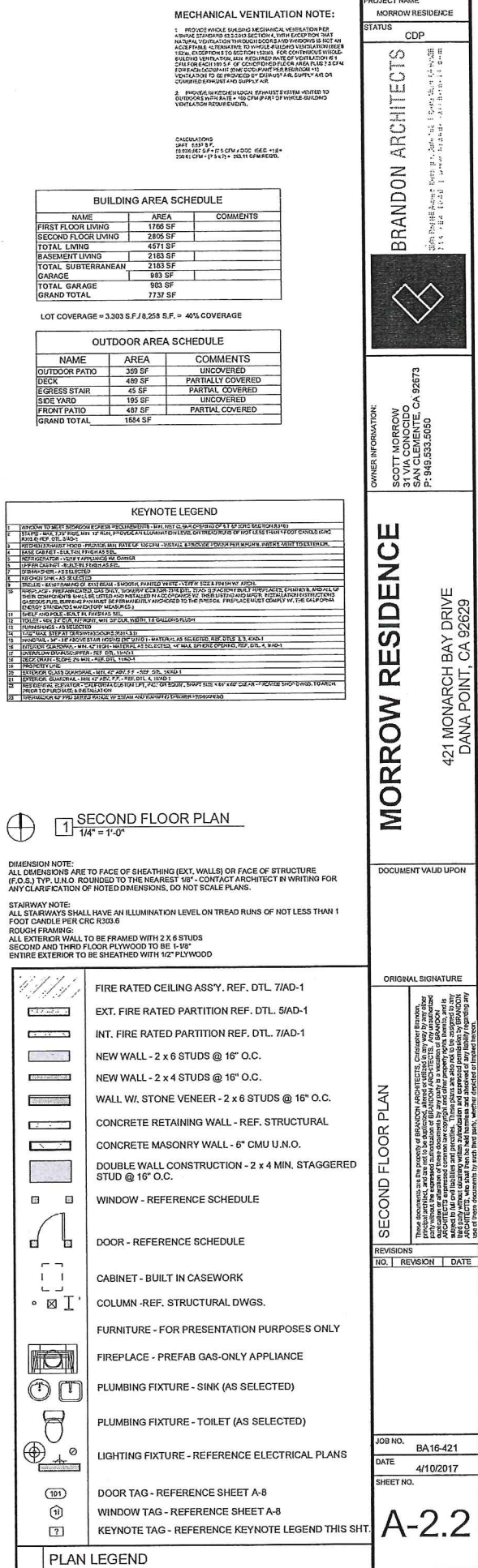
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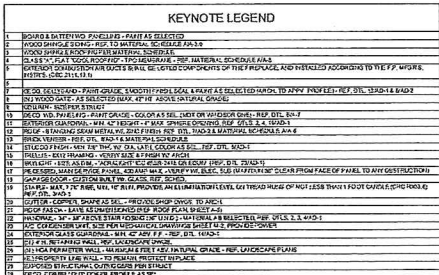
ORIGINAL SIGNATURE

REVISIONS
NO. | REVISION | DATE

JOB NO. BA16-421
DATE 4/10/2017
SHEET NO.

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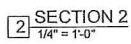



















NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.

A	MATERIAL SCHEDULE
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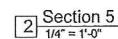
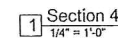
NOTE: REF. ROOF PLAN (A-3) FOR ALL PLATE HTS. & RIDGE HTS.

PROJECT NAME MORROW RESIDENCE								
STATUS CDP								
<div>BRANDON ARCHITECTS</div> <div>Jordan Hirschbach, Principal, AIA, LEED AP, NCARB, ASLA Jill Lund, Lead Designer, Interior Design</div>								
<div>OWNER INFORMATION:</div> <div>SCOTT MORROW 31 VIA CONOCITO SAN CLEMENTE, CA 92673 P: 949.533.0500</div>								
<div>MORROW RESIDENCE</div> <div>421 MONARCH BAY DRIVE DANA POINT, CA 92629</div>								
DOCUMENT VALID UPON								
ORIGINAL SIGNATURE								
<div>EXTERIOR ELEVATIONS & MATERIAL SCHEDULE</div> <div>These documents are the property of BRANDON ARCHITECTS, Copyrighted Material. No part may be reproduced without written permission from BRANDON ARCHITECTS. This document contains confidential information and is intended solely for the use of the individual or entity named herein. It is loaned to you and it, its contents, and all rights therein remain the property of BRANDON ARCHITECTS. If you are not the named addressee, please do not disseminate, distribute, copy, reproduce, or otherwise use this document. If you are the named addressee, you agree to keep this document confidential and to return it to BRANDON ARCHITECTS upon request. If you have received this document in error, please notify BRANDON ARCHITECTS immediately by email at jordan@brandonarchitects.com or by phone at 949.533.0500.</div>								
REVISIONS								
<table><thead><tr><th>NO.</th><th>REVISION</th><th>DATE</th></tr></thead><tbody></tbody></table>						NO.	REVISION	DATE
NO.	REVISION	DATE						
JOB NO. BA16-421								
DATE 4/10/2017								
SHEET NO. <div>A-4.0</div>								

[illegible]

	SECTION INDICATOR
	CALL-OUT TAG
	ELEVATION INDICATOR
	REVISION FLAG
	STAIR TAG (NO. OF RISER & HEIGHT)
	WALL TAG
	DOOR TAG - REF. SHEET A-8
	WINDOW TAG - REF. SHEET A-8
	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET
<h2>A ANNOTATION LEGEND</h2>	
	1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SYS.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL
<h2>B SEPARATION LEGEND</h2>	

[illegible]



INSULATION SCHEDULE:	
EXTERIOR WALL:	
2 x 4 CONST. =	R-13 MIN.
2 x 6 CONST. OR LARGER =	R-19
RAISED FLOOR.	R-30 MIN.
ROOF:	R-30
(REF. T-24 REPORT FOR MORE INFORMATION)	
NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME	

FIRE-BLOCKING & DRAFT-STOP NOTE

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL DIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURSED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 4-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION, FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER, FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CONCRETE FIBER BOARD, BATS OR SLAMPEETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND TRANSMISSION CONTROL SHALL HAVE FIVE BLOCKS OF BATT OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFTSTOPP

FLOOR-CEILING ASSEMBLIES.

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTACH.

DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANHOLE, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 3/4" THICK GYPSUM BOARD, 3/4" THICK WOOD STRUCTURAL PANEL, 5/8" THICK 2-M PARTICLE BOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

[illegible]

 SECTION INDICATOR

CALL-OUT TAG

ELEVATION INDICATOR

20 R @ 7 1/2" REVISION FLAG
STAIR TAG (NO. OF RISER & HEIGHT)

101 DOOR TAG - REF. SHEET A-8

11	WINDOW TAG - REF. SHEET A-8
?	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET

A	ANNOTATION LEGEND

1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1

EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1

INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.

NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.

WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
CONCRETE RETAINING WALL - REF. STRUCTURAL

B		SEPARATION LEGEND
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MORROW RESIDENCE

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

5

REVISIONS	
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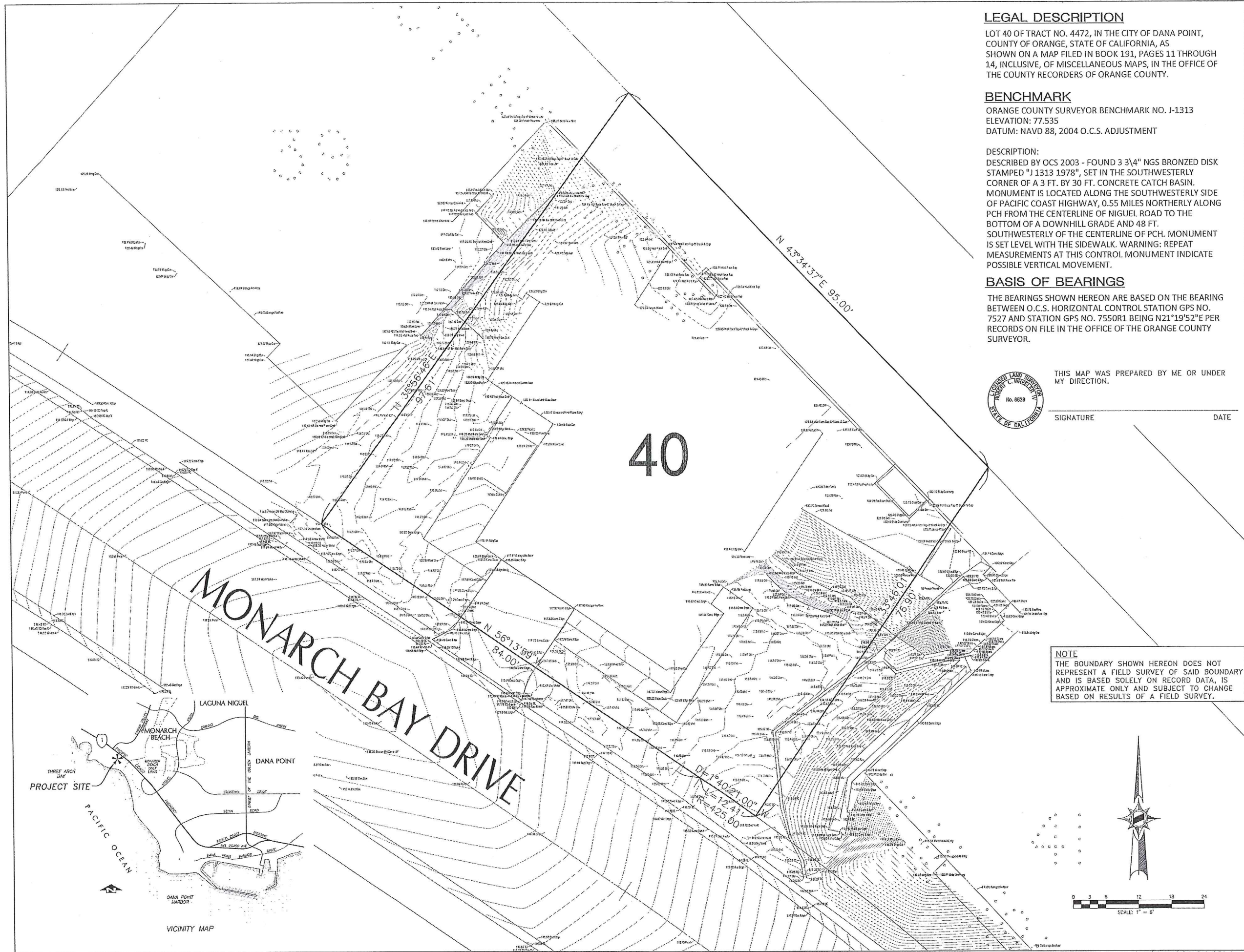
NO	REVISION	DATE
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JOB NO. 84-10-104

BA 16-421
DATE

DATE 4/10/2017

A-5.1



LEGAL DESCRIPTION
LOT 40 OF TRACT NO. 4472, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 191, PAGES 11 THROUGH 14, INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDERS OF ORANGE COUNTY.

BENCHMARK
ORANGE COUNTY SURVEYOR BENCHMARK NO. J-1313
ELEVATION: 77.535
DATUM: NAVD 88, 2004 O.C.S. ADJUSTMENT

DESCRIPTION:
DESCRIBED BY OCS 2003 - FOUND 3 3/4" NGS BRONZED DISK STAMPED "J 1313 1978", SET IN THE SOUTHWESTERLY CORNER OF A 3 FT. BY 30 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED ALONG THE SOUTHWESTERLY SIDE OF PACIFIC COAST HIGHWAY, 0.55 MILES NORTHERLY ALONG PCH FROM THE CENTERLINE OF NIGUEL ROAD TO THE BOTTOM OF A DOWNHILL GRADE AND 48 FT. SOUTHWESTERLY OF THE CENTERLINE OF PCH. MONUMENT IS SET LEVEL WITH THE SIDEWALK. WARNING: REPEAT MEASUREMENTS AT THIS CONTROL MONUMENT INDICATE POSSIBLE VERTICAL MOVEMENT.

BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION GPS NO. 7527 AND STATION GPS NO. 7550R1 BEING N21°19'52"E PER RECORDS ON FILE IN THE OFFICE OF THE ORANGE COUNTY SURVEYOR.



THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

SIGNATURE _____ DATE _____

NOTE
THE BOUNDARY SHOWN HEREON DOES NOT REPRESENT A FIELD SURVEY OF SAID BOUNDARY AND IS BASED SOLELY ON RECORD DATA, IS APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED ON RESULTS OF A FIELD SURVEY.

PREPARED BY:
HUNSAKER & ASSOCIATES
SURVEYING
PLANNING
ENGINEERING
DESIGN
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Beverly Hills, CA 90210
(310) 274-1000

TOPOGRAPHIC MAP
LOT 40
TRACT 4472
DANA POINT, CALIFORNIA

SHEET
1 OF 1