

**CITY OF DANA POINT
AGENDA REPORT**

DATE: MAY 22, 2017

TO: DANA POINT PLANNING COMMISSION
URSULA LUNA-REYNOSA, DIRECTOR
SEAN NICHOLAS, SENIOR PLANNER

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: REVIEW OF ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT CDP16-0022(A) TO PERMIT THE DEMOLITION OF AN EXISTING, SINGLE-FAMILY RESIDENCE AND THE CONSTRUCTION OF A NEW, SINGLE-STORY, SINGLE-FAMILY RESIDENCE.

RECOMMENDATION: That the Planning Commission receive and file the Director of Community Development's approval of Administrative Coastal Development Permit CDP16-0022(A)

APPLICANT: Brandon Architects

OWNER: Don and Kim Reiter

REQUEST: Coastal Development Permit CDP16-0022(A) to permit the demolition of an existing, single-family residence and the construction of a new, single-story, single-family residence.

LOCATION: 32591 Sea Island Drive (APN 670-052-05) (the "Property")

NOTICE: On January 23, 2017, a Notice of Application for an Administrative Coastal Development Permit was posted at the project site. There are no persons known to be of interest (as defined in Section 9.69.110 (c) (2) of the Dana Point Municipal Code), and public notices were sent to property owners within 500 feet of the project site, and residents within 100 feet of the project site.

ENVIRONMENTAL:

Pursuant to the authority and criteria contained in the California Environmental Quality Act (CEQA), the Community Development Department has analyzed the subject project. Staff finds the project is Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures).

ISSUES:

1. Does the project satisfy all the findings required pursuant to the City's Municipal Code for approval of an Administrative Coastal Development Permit?

BACKGROUND AND DISCUSSION:

The subject application proposes the demolition of an existing 2,724 square foot single-family residence and the construction of a new, 3,911 square foot, one story, single-family residence on land located within the Coastal Overlay District, but outside the Coastal Commission appeals jurisdiction.

The Property itself is a through-lot, fronting Sea Island Drive with Caribbean Drive at the rear. Most of the Property comprises a fairly steep slope (terminating at Caribbean Drive) and covered by landscaping. The Property is surrounded on all sides by existing, single-family residential development.

The proposed structure would be comprised of three bedrooms and various accessory rooms for a total 3,911 square feet of habitable space. The structure would be single-story, stand approximately 15 feet and 4 inches in height (as measured from the structure's proposed finished pad) and cover approximately 22 percent of the subject property. This scope-of-work and project location meet all criteria for application for an Administrative Coastal Development Permit CDP(A) as enumerated in Section 9.69.030(a) of the Dana Point Municipal Code. An Administrative Coastal Development Permit is appropriate because the Property is located outside of the California Coastal Commission appeals jurisdiction, the application is for a single family residence, and no other discretionary permits are required.

Coastal Development Permit CDP16-0011(A)

The subject application proposes the demolition of an existing single family dwelling and the construction of a new single family dwelling with attached two-car garage. The proposed development meets all applicable development standards, and has been approved by the Home Owners Association. Therefore, the proposed scope-of-work meets all criteria for application of an Administrative Coastal Development Permit CDP(A) and the provisions of Section 9.69.110 of the DPZC have been followed.

Section 9.69.070 of the DPZC stipulates a minimum of eight findings to approve a CDP, requiring that the project:

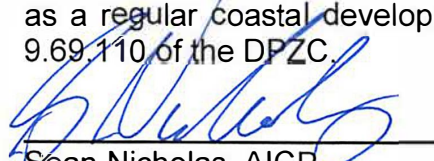
1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code;*
2. *Be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act;*

3. *Not adversely affect marine resources;*
4. *Not adversely affect recreational or visitor-serving facilities or coastal scenic resources;*
5. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources;*
6. *Minimize alterations of natural landforms;*
7. *Be visually compatible with the character of surrounding areas.*
8. *Be in conformance with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Supportive findings have been made for the conditionally approved administrative CDP and are detailed in the attached permit.

CONCLUSION:

As part of the conditional approval, the Community Development Director found that the subject project conforms to the development standards of the Municipal Code and Local Coastal Program. If one-third or more of the full membership of the Planning Commission so request, the issuance of an administrative coastal development permit shall not become effective, but shall, if the applicant wishes to pursue the application, be treated as a regular coastal development permit application subject to all provisions of Section 9.69.110 of the DPZC.


Sean Nicholas, AICP
Senior Planner


Ursula Luna-Reynosa, Director
Community Development Department

SUPPORTING DOCUMENTS:

1. Administrative Coastal Development Permit CDP16-0022(A)
2. Project Plans (architectural only)
3. Notice of CEQA Exemption

April 25, 2017

Don and Kim Reiter
23591 Sea Island Drive
Dana Point, CA 92629

ADMINISTRATIVE COASTAL DEVELOPMENT PERMIT CDP16-0022(A)

APPLICANT/ OWNER: Brandon Architects/ Don and Kim Reiter

LOCATION: 32591 Sea Island Drive (APN 670-052-05)

REQUEST: A request to permit the demolition of an existing, single-family residence and; the construction of a new, single-story, single-family residence.

ENVIRONMENTAL: The project is Categorically Exempt from the provisions set forth in the California Environmental Quality Act (CEQA) per Section 15303 (Class 3 – New Construction or Conversion of Small Structures).

DETERMINATION: The Community Development Director hereby
_____ APPROVES
_____ DENIES
the requested Administrative Coastal Development Permit described herein subject to the attached findings and applicable conditions.

Ursula Luna-Reynosa, Director
Community Development Department

Supporting Document #1

Administrative Coastal Development Permit (CDP16-0022(A))

Findings:

- 1) That the proposed development is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code **in that, the approval of an administrative coastal development permit is required for the construction of a new single family dwelling located inside of the coastal overlay boundary but outside of the coastal appeals jurisdiction. The proposed residence is single-story and meets all applicable development standards. The residence is proposed to be Cape Cod inspired architecture, and is 3 bedrooms with an attached two car garage. The structure in total is proposed to be 4,381 square feet.**
- 2) That the proposed development is located within the Coastal Overlay District and is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act **in that, any proposed development would not alter existing public access or public recreation areas in the vicinity.**
- 3) That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment **in that the subject project qualifies for a Class 3 Exemptions pursuant to Section 15303 (a) (New Construction or Conversion of Small Structures) as the project site is located in a single family residentially zoned area, and the site has an existing single family residence located on it.**
- 4) That the proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that, the subject project proposes demolition of an existing, and the construction of a new single-family residence located where no public accessway exists.**
- 5) That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that, the subject property is an already developed parcel containing no**

environmentally sensitive habitat (ESHA) and accordingly, the proposed improvements will not result in adverse impacts.

- 6) That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that, the subject site is an already developed property that is being constructed on existing foundation; and the proposed additions will be designed in conformance with applicable regulations for flood and fire hazards.**
- 7) That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and/or enhance visual quality **in that, the scale and architectural style of the proposed, new residence are consistent with other residential structures in the surrounding neighborhood. The residence proposed will only be one-story.**
- 8) That the proposed development will conform to the General Plan, Zoning Code, Local Coastal Program, applicable Specific Plan(s), or other, applicable adopted plans and programs **in that, the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable documents and subject to conditions of approval, been found consistent.**

Conditions:

General:

- 1) Approval of this application permits the demolition of an existing single family residence and construct a new single-story, single family residence with an attached garage on a previously developed lot located at 32591 Sea Island Drive.

Subsequent changes to the approved scope-of-work shall be in substantial compliance with those plans presented to the Community Development Director, and in compliance with applicable provisions of the City of Dana Point Local Coastal Program and the General Plan.
- 2) Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
- 3) The application is approved as a plan for the location and design of the

uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

- 4) Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
- 5) The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify and hold harmless the city shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions or proceedings against the City, its officers, employees, or agents arising out of or resulting from negligence of the applicant or the applicant's agents, employees or contractors. Applicant's duty to defend, indemnify and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

- 6) The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

- 7) The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
- 8) This resolution shall be copied in its entirety and placed directly onto a separate plan sheet behind the cover sheet of the development plans submitted to the City of Dana Point Building/Safety Division for plan check.
- 9) The construction site shall be posted with signage indicating that construction not commence before 7:00 AM and must cease by 8:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or Federal holidays.
- 10) The project shall meet all water quality requirements.
- 11) A grading permit shall be obtained prior to any work including demolition activities.
- 12) The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone, and cable television services.
- 13) The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
- 14) The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
- 15) A separate Encroachment Permit shall be required for all work in the street right-of-way. A separate submittal shall be required to the Public Works Department for the Encroachment Permit in accordance with City standards.
- 16) A separate permit for all retaining walls shall be required by the Building Department. A separate submittal shall be required in accordance with Building Department standards.
- 17) Building materials, unlicensed vehicles, portable toilets, and similar items shall not be placed in the public right-of-way.

At submittal for Building Plan Check:

- 18) Building plan check submittal shall include three sets of the following construction documents:
- a. *Building Plans*
 - b. *Energy calculations*
 - c. *Structural Calculations*
 - d. *Soils/Geology Report*
 - e. *Drainage Plan*

All documents prepared by a professional shall be wet-stamped and signed.

- 19) Fire Department review is required. Submit plans directly to the Orange County Fire Authority for their review and approval.
- 20) Undergrounding of all onsite utilities is required. An Approved SDG&E Work Order and Undergrounding Plan is required prior to permit issuance.
- 21) Minimum roofing classification is Class "A".

Fire-Sprinkler Requirements

- 22) Fire sprinkler system is required.

Foundation

- 23) Soils Report (1803): Submit a foundation and soils investigation report by a Registered Design Professional and conducted in conformance with CBC Section 1803.3 through 1803.5. The report shall comply with CBC Section 1803.6.
- 24) Foundation system to provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise. Use Type V cement, w/c ratio of 0.45, f'c of 4500 psi.

Construction Documents

- 25) Green Building: Plans shall show compliance & indicate method of verification of compliance with all CALGreen requirements. Third party or other methods shall demonstrate satisfactory conformance with mandatory measures.
- 26) Plans should clearly show all pool fencing & barriers.

Special Requirements

- 27) This project is in a Special Fire Protection Areas/Very High Fire Hazard Severity Zones. All buildings structures, and lands located within Special

Fire Protection Area/Very High Fire Hazard Severity Zones shall be in accordance with chapter 7A section 702A. Add a note that the structure is located in VHFHSZ (Very High Fire Hazard Severity Zone) and provide notes/specifications to comply with CBC Chapter 7A & the City of Dana Point Municipal Code.

- 28) Plans should show & indicate if there is an existing pool in the adjacent properties and show that the planters, BBQ, and other landscaping items do not create a stepping element to access the adjacent pool.

Prior to Issuance of a Grading Permit:

- 29) The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
- 30) The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
- 31) The applicant shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The landscape plan shall include planting and beautification of the property parkways at the surrounding sidewalk. The landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
- 32) The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
- 33) A performance bond shall be required for all grading activities up to 100% of the proposed improvements.

Prior to Issuance of a Building Permit:

- 34) Verification of all conditions of approval is required by all City Departments.
- 35) All approvals from outside Departments and Agencies are required.
- 36) "Rough Grad/Pad Certification" or "Grading Release Form" is required from City Engineer.


- 37)** All applicable supplemental/development impact fees shall be paid prior to building permit issuance.
- 38)** Separate review, approval and permits are required for fire sprinklers, demolition, swimming pools/spa, separate structures, retaining walls and site walls over 3 feet.
- 39)** The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
- 40)** The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
- 41)** The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
- 42)** An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

Prior to Final Inspections and/or Project Sign-off by City Staff and/or issuance of a Certificate of Occupancy:

- 43) Revised plans showing any changes must be submitted for review and approval prior to the commencement of construction.
- 44) Prior to commencement of framing, the applicant shall submit a Foundation Certification, by survey that the structure is constructed in compliance with the dimensions shown on plans approved by the City, including finish floor elevations and setbacks to property-lines. The City's standard "Line and Grade Certification" Form shall be obtained from the Project Planner, prepared by a licensed civil engineer/surveyor and shall be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval.
- 45) Prior to a release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of each structure complies with plans approved by the City. The City's standard "Height Certification" Form shall be obtained from the Project Planner, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.
- 46) The applicant shall contact the Planning Division to conduct an inspection of the completed project prior to contacting the Building/Safety Division for final project sign-off. In addition to completion of the approved project scope-of-work, at a minimum, all new landscaping proposed in the front one-half of the subject property shall be installed prior to calling for this inspection.
- 47) A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
- 48) A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
- 49) A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
- 50) An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
- 51) All permanent BMP's, including landscaping, shall be installed and

approved by either the project Landscape Architect or the Civil Engineer of Record.

32591 SEA ISLAND DRIVE, DANA POINT, CA 92629

SHEET #		DRAWING TITLE		PROJECT NAME REITER RESIDENCE					
T-1.0		TITLE SHEET		STATUS CDP					
A-0.0		ARCHITECTURAL SITE PLAN		<div>BRANDON ARCHITECTS</div> <div>151 Kaimue Drive Suite G-1 Costa Mesa, CA 92628 714.754.4040 www.brandonarchitects.com</div> <div></div>					
1		TITLE SHEET (REFERENCE ONLY)							
2		PRECISE GRADING PLAN (REFERENCE ONLY)							
L-1		LANDSCAPE PLAN (REFERENCE ONLY)							
A-1.0		3-DIMENSIONAL VIEWS							
A-2.0		FLOOR PLAN							
A-3.0		ROOF PLAN							
A-4.0		EXTERIOR ELEVATIONS & MATERIAL SCHEDULE							
A-5.0		BUILDING SECTIONS							
A-5.1		BUILDING SECTIONS							
SUR		TOPOGRAPHIC SURVEY							
						OWNER INFORMATION: DON & KIM REITER 32591 SEA ISLAND DRIVE DANA POINT, CA 92629			
						<div>REITER RESIDENCE</div> <div>32591 SEA ISLAND DRIVE DANA POINT, CA 92629</div>			
								DOCUMENT VALID UPON	
								ORIGINAL SIGNATURE	
								<div>TITLE SHEET</div> <div>This document is the property of BRANDON ARCHITECTS. It contains confidential information and is not to be duplicated, altered or utilized in any way by any other party without the expressed authorization of BRANDON ARCHITECTS. Any unauthorized use of this document may result in legal action against the user. BRANDON ARCHITECTS expressly disclaims all liability for any errors or omissions in this document and its contents. The user assumes full responsibility for the accuracy and completeness of the information provided herein.</div>	
				REVISIONS					
				NO. REVISION DATE					
				JOB NO. 32591-2017					
				DATE 03/16/17					
				SHEET NO.					
T-1.0									

SHEET LIST

Supporting Document #2

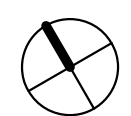
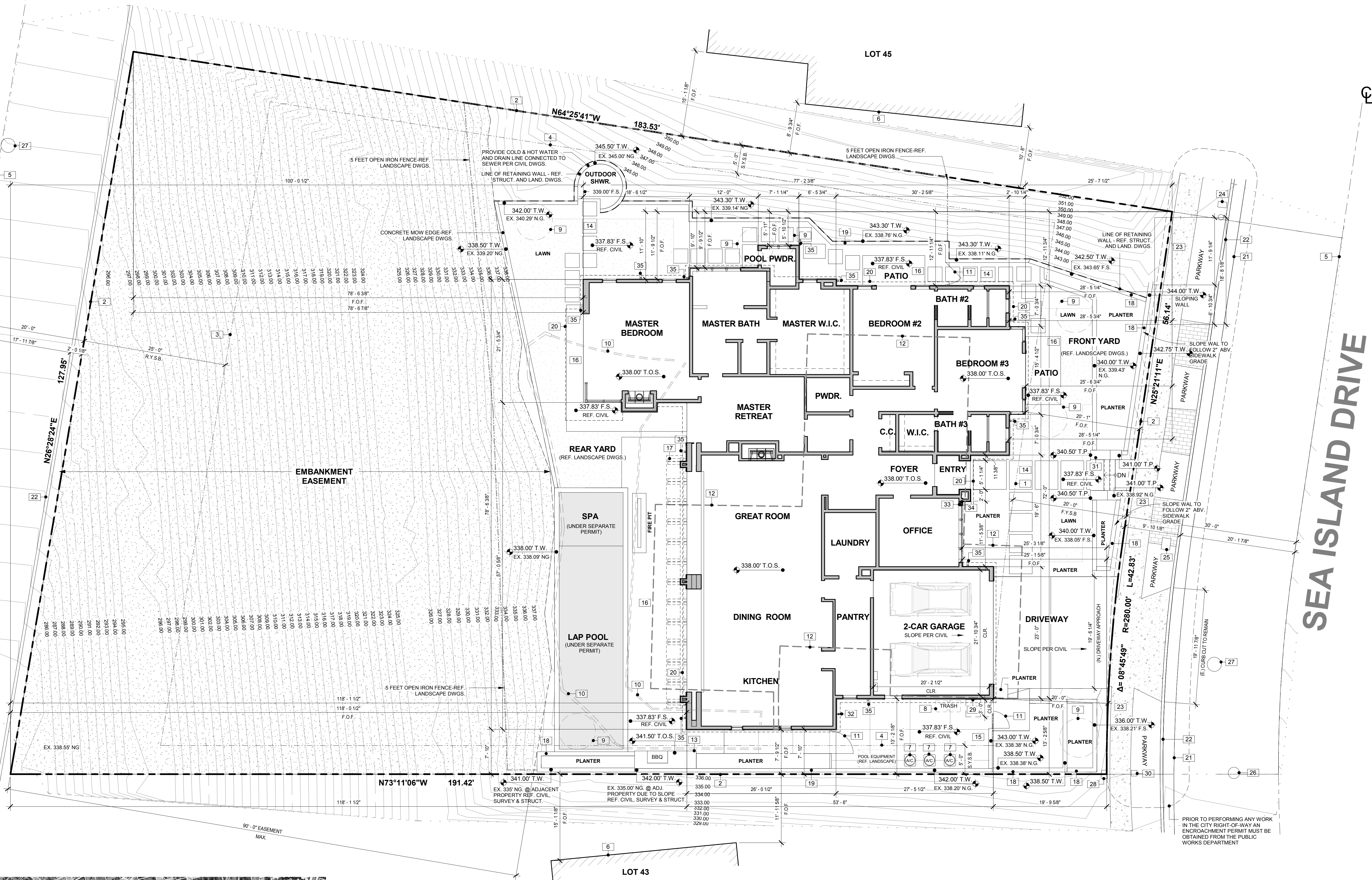
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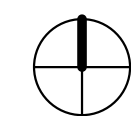
VICINITY MAP

CARIBBEAN DRIVE

SEA ISLAND DRIVE



TRUE NORTH



PROJECT NORTH

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

- NOTE:**
SEE SHEET A-4 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).
- DIMENSION NOTE:**
ALL DIMENSIONS ARE TO FACE OF SHEATHINGS (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.), TYP. UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO BE ROUNDED TO THE NEAREST 1/8". CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS. DO NOT SCALE PLANS.
- LANDSCAPE NOTES:**
1. ENCROACHMENT PERMIT REQ'D. FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W.
2. IF APPLICABLE, REF. PRELIMINARY LANDSCAPE PLAN, FOR ALL HARDSCAPE & PLANTING AREAS WITH RESPECTIVE HEIGHTS AND MATERIALS.
- NOTE:**
THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- NOTE:**
ANY EASEMENT DESCRIBED IN GRANT OF EASEMENT DOCUMENT SHOULD BE SHOWN ON THE SITE PLAN AND TOPOGRAPHIC SURVEY.
- NOTE:**
UTILITY SERVICE TO BE UNDERGROUND WHEN THE PROPERTY IS DEVELOPED WITH A NEW OR RELOCATED MAIN BUILDING OR ALTERATIONS EXCEED 50% OF VALUE AND/OR AREA OF THE EXISTING BUILDING. UTILITY SERVICE TO BE UNDERGROUND WHEN THE PROPERTY IS DEVELOPED WITH A NEW OR RELOCATED MAIN BUILDING OR ALTERATIONS EXCEED 50% OF VALUE AND/OR AREA OF THE EXISTING BUILDING.

KEYNOTE LEGEND		
1	FRONT YARD SETBACK	
2	PROPERTY LINE	
3	REAR YARD SETBACK	
4	SIDE YARD SETBACK	
5	CENTERLINE OF STREET	
6	EXISTING STRUCTURE - NOT A PART	
7	A/C CONDENSER UNITS SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D.	
8	TRASH LOCATION, KEEP CLR. 30" MIN. - SCREEN FROM STREET AS NEEDED	
9	(E) ON-SITE TREE TO BE REMOVED	
10	EXISTING WALL - TO BE REMOVED	
11	(A) GATE - PER LANDSCAPE ARCHITECT/DESIGNER (MAX. 6' HT. ABOVE NATURAL GRADE)	
12	OUTLINE OF EXISTING STRUCTURE TO BE REMOVED	
13	PROVIDE GAS & ELEC. FOR BBQ PER OWNER	
14	HARDSCAPE - STONE PAVING (AS SELECTED)	
15	HARDSCAPE - COLORED & SCORED CONCRETE (AS SELECTED) PER LAND. ARCHITECT/DESIGNER	
16	HARDSCAPE - STONE/TILE PAVING OVER CONCRETE SLAB (AS SELECTED) PER LAND. ARCHITECT/DESIGNER	
17	STONE FINISH ON LANDSCAPE WALL, MAX. 42" ABV. N.G. - COLOR AS SEL. ARCH. TO APPV. - REF. LANDSCAPE DWGS.	
18	STUCCO FINISH ON CMU SITE WALL, MAX. 6' ABV. N.G. - COLOR AS SEL. ARCH. TO APPV. - REF. LANDSCAPE DWGS.	
19	CMU PLASTER W/ STONE FINISH & DECORATIVE STONE CAP - REF. LANDSCAPE DWGS.	
20	OUTLINE OF OVERHANGS, DECKS OR EAVES ABV.	
21	GUTTER	
22	CURB	
23	(E) SIDEWALK - NOT A PART	
24	(E) WATER METER LOCATION (REF. CIVIL DWGS. & SURVEY)	
25	(E) GAS METER LOCATION (REF. SURVEY & CIVIL DWGS.)	
26	(E) SEWER M.H. (REF. SURVEY & CIVIL DWGS.)	
27	(E) ELECT. MANHOLE (REF. CIVIL & SURVEY DWGS.)	
28	(E) TELEPHONE PULL BOX (REF. CIVIL & SURVEY DWGS.)	
29	(E) ELECTRICAL SERVICE AND MAIN SERVICE PANEL - 300 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) HANG MIN. 51" ABV. FLOOD PLAIN.	
30	(E) TELEPHONE BOX (REF. CIVIL & SURVEY DWGS.)	
31	CMU PLASTER W/ STONE FINISH & DECORATIVE STONE CAP - REF. LANDSCAPE DWGS.	
32	HOSE BIB - NO SHOWER HEAD, COLD WATER & FOOT WASH ONLY. RECESSED BRASS, VERIFY LOCN. & FIXTURE W/ OWNER	
33	GRASS LINE - IN WALL FROM ABV. (REF. CIVIL DWGS. & DETAILS)	
34	OVERFLOW DRAINLINE - IN WALL FROM ABOVE, TERMINATE ABV. EXT. PLATWORK	
35	DOWNSPOUT - KYNAR FINISH TO MATCH METAL ROOFING, SHAPE AS SEL. (ARCH. TO APPROVE)	

PROJECT NAME
REITER RESIDENCE

STATUS
CDP

BRANDON ARCHITECTS

OWNER INFORMATION:
DON & KIM REITER
32591 SEA ISLAND DRIVE
DANA POINT, CA 92629

REITER RESIDENCE

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

ARCHITECTURAL SITE PLAN

REVISIONS

NO. REVISION DATE

JOB NO.
32591-2017

DATE
03/16/17

SHEET NO.

A-0.0

151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

PRECISE GRADING PLAN

32591 SEA ISLAND DRIVE, DANA POINT, CA 92629

SHEET INDEX

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TOPOGRAPHIC SURVEY	6

STANDARD GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY RDMD STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
- ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY RDMD STANDARD PLAN NO. 1322.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRINGS FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
- THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 10-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 10-2 OR APPROVED EQUIVALENT.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
- ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 9.01.420.
- ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
- ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-493-6287 OR 714-493-6288). A PERMIT IS REQUIRED.
- ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
- STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
- EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C4D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C4D APPLICATION MUST BE APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAIL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 9.01.280 OF THE GRADING CODE).
- THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
- SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
- ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

STANDARD GRADING NOTES (continued)

- APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING. GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.
 - ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
 - ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
 - STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.

GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

- ASPHALT SECTIONS MUST BE PER CODE. PARKING LOTS = 3 A/C OVER 10' (COMM.) 12' (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON R VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.
- ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDMD STANDARD PLAN NO. 1805.
- AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDMD STANDARD NO. 1804.
- ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.
- THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.
- THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.
- THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
- THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.
- PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.
- IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.
- SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8071 OF THE BUSINESS AND PROFESSIONAL CODE.

NOTICE TO CONTRACTOR

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6103 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

DZNE, INC (DZN ENGINEERING)
166 MATISSE CIRCLE
ALISO VIEJO, CA 92656
(949) 305-8420

BY: RONIE L. DEMA-ALA, PE RCE 54061 EXP: 31 DEC 15 DATE

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
				ACAD FILE NO.	CC	MS	RD		005 30-45-20	
				PROJECT NO.			DATE C 54061	dzn engineering	ELEV. 270.284 FT	
					RONIE L. DEMA-ALA, P.E.		R.C.E. NO.		DATUM NAVD88	CITY PLANNING DEPARTMENT

EROSION CONTROL

- IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT _____ TDD AT PHONE NUMBER _____ TDD
- ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.
- TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.
- MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.
- AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.
- CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.
- SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.
- THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASIN AND THE DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.
- BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 3/4 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.
- SHOULD GERMINATION OF HYDROSEEDDED SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90%) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.
- PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

SOILS AND GEOLOGIST'S CERTIFICATION

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERING REPORT ENTITLED:

GEOTECHNICAL INVESTIGATION
REPORT NO: 20160510-1
DATE: MAY 25, 2016

I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITIES FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

BY: ROBERT J. MCCARTHY GE 2440 EXP 3-31-18
SIGNATURE
PETER G. ANDERSON CEG 2596 EXP 4-30-17
SIGNATURE

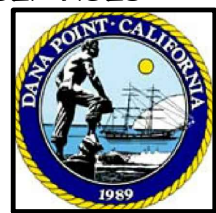
OWNER'S STATEMENT

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH THE EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

SIGNATURE DATE

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
32591 SEA ISLAND DRIVE,
DANA POINT, CA 92629

MATTHEW V. SINAGORI, CITY ENGINEER
RCE #54239 EXP. 06/30/15



THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN ASSUMPTIONS, OR ACCURACY.

CONSTRUCTION NOTES

1	INSTALL 6" PLANTER DRAIN 1/4" ATRIUM GRATE, NDS 80 OR EQUAL	30 EA
2	INSTALL 6" SQUARE GRATE 4 ADAPTER, NDS 640 OR EQUAL	8 EA
3	CONSTRUCT INFILTRATION PIT PER CITY OF DANA POINT STANDARD DRAWING S-14	1 EA
4	INSTALL 4" DRAIN PIPE, SDR 35 PVC OR EQUAL	445 LF
5	INSTALL 6" CHANNEL DRAIN, NDS 864 WITH TRAFFIC RATED GRATE, NDS 816 OR EQUAL	36 LF
6	NEW CMU LANDSCAPE WALL (MAX 6'-0" ABV N.G.) PER LANDSCAPE PLAN; UNDER SEPARATE PERMIT.	215 LF
7	NEW SITE WALLS (MAX 42" ABV N.G.) PER STRUCTURAL PLAN AND DETAILS.	270 LF
8	CONNECT ROOF DOWNSPOUTS TO STORM DRAIN SYSTEM. (TERMINATE ABOVE FLATWORKS)	7 EA
9	CONSTRUCT CONC. FLATWORK ON GRADE.	1,375 SF
10	CONSTRUCT 6" THICK DRIVEWAY	460 SF
11	INSTALL 4" PERFORATED SUBDRAIN BEHIND RETAINING WALL PER SOILS REPORT RECOMMENDATION	115 LF
12	NOT USED	---
13	CONSTRUCT 3" CURB OUTLET PER CITY OF DANA POINT STANDARD DRAWING S-9A	1 EA
14	NOT USED	---

JOB ADDRESS

32591 SEA ISLAND DRIVE,
DANA POINT, CA 92629

OWNER

DON AND KIM REITER
32591 SEA ISLAND DRIVE,
DANA POINT, CA 92629
TEL: 209.222.1421
KSR28AOL.COM
CONTACT: DON REITER

ARCHITECT

BRANDON ARCHITECTS
3001 RED HILL AVE, BLDG 1 STE 102
COSTA MESA, CA 92626
TEL: 714.754.4040
WWW.BRANDONARCHITECTS.COM
CONTACT: CHRISTOPHER BRANDON

SOILS ENGINEER/GEOLOGIST

R. MCCARTHY CONSULTING, INC.
23 CORPORATE PLAZA, SUITE 150,
NEWPORT BEACH, CA 92660
TEL: 949.629.2594

EARTHWORK QUANTITY

ITEM	DESCRIPTION	QTY
1	CUT	850 CY
2	FILL	0.00 CY
3	NET EXPORT	850 CY
4	OVER EXCAVATION (3 FT)	444 CY

THE ESTIMATE OF QUANTITIES AS SHOWN HEREON ARE PROVIDED ONLY FOR THE PURPOSE OF SATISFYING PLAN INFORMATION REQUIREMENTS. THE CONTRACTOR SHALL PERFORM AN INDEPENDENT ESTIMATE OF ALL QUANTITIES AS A BASIS FOR HIS BIDS AND CONTRACTS.

PROJECT DATA

SITE ACREAGE = 0.48 AC
EXISTING IMPERVIOUS AREA = 0.096 AC
PROPOSED IMPERVIOUS AREA = 0.144 AC (30%)

BENCHMARK

BENCHMARK NO: 30-45-20

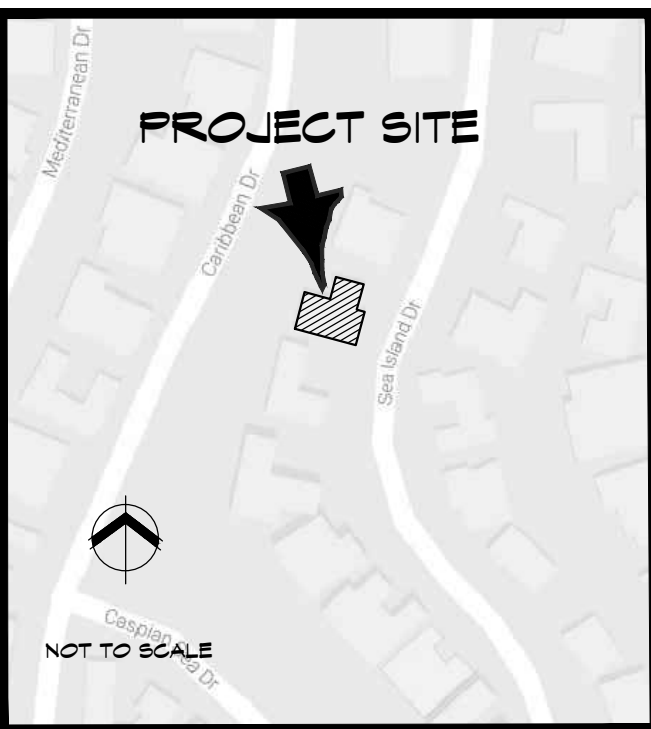
MONUMENT IS BROKEN IN HALF AND MISSING HALF DESCRIBED BY 005 2009 - FOUND 3 3/4" 005 ALUMINUM BENCHMARK DISK STAMPED "30-45-20", SET IN THE TOP OF A 6 IN. BY 6 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE CENTERLINE MEDIAN ALONG GROWN VALLEY PARKWAY, 165 FT. NORTHERLY ALONG THE MEDIAN FROM ITS SOUTHERLY END AT THE INTERSECTION OF SEA ISLAND DRIVE, 3 FT. WESTERLY FROM THE EASTERLY CURB ALONG THE MEDIAN AND 112 FT. EASTERLY OF THE WESTERLY CURB ALONG THE MEDIAN. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 270.284 FEET (NAVD88), YEAR LEVELED: 1991

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SEA ISLAND DRIVE PER M.M. 155/38-42.

VICINITYMAP



LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 44 OF TRACT NO. 4269, AS SHOWN ON A MAP RECORDED IN BOOK 155, PAGES 38 TO 42, INCLUSIVE OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN 670-052-05



CITY OF DANA POINT

PRECISE GRADING PLAN FOR:
LOT 44 TRACT 4269
TITLE SHEET

1

CONTRACT NO.
ENG17-0036

1 OF 6 SHEETS



LANDSCAPE ARCHITECTURAL PLANS FOR

DON AND KIM REITER
32501 SEA ISLAND DR.
DANA POINT, CA 92660

PH. 203-222-1421, 203-246-7544
kg202@aol.com

PRELIMINARY
PLAN

DATE: 3-16-17
DRAWN BY: D.P.

SHEET NO.

OF -

20271 ACACIA ST., SUITE 120
NEWPORT BEACH, CA 92660
TEL. (949) 251-0888
FAX. (949) 251-0889

LANDSCAPE ARCHITECTURE

DAVID A. PEDERSEN • INC.

GRADING LEGEND & SYMBOLS

	PROPOSED STORM DRAIN LINE (1% MIN SLOPE)	FG	FINISHED GRADE
	PROPOSED PERFORATED FRENCH DRAIN	FS	FINISHED SURFACE
	PROPOSED SQUARE GRATE	DS	DOWNSPOUT
	PROPOSED PLANTER DRAIN	INV	INVERT ELEVATION
	PROPOSED ROOF DOWN SPOUT	TOS	TOP OF SLAB
	PROPOSED MAIN OUTLET CATCH BASIN	TG	TOP OF GRATE (DRAIN INLET)
	EXISTING GRADE	FL	FLOW LINE
	PROPOSED RETAINING WALL	EL	EXISTING GRADE
	PROPOSED SITE PLANTER WALL	RG	ROUGH GRADE PAD ELEVATION
	PROPOSED SIDE PROPERTY WALL	FE	UNDERSURFACE GEO-GRID ELEV.
	PROPOSED DRAIN FLOW	FF	FINISHED FLOOR ELEVATION
		TS	TOP OF STEP ELEVATION
		BS	BOTTOM OF STEP ELEVATION
		HP	HIGH POINT ELEVATION

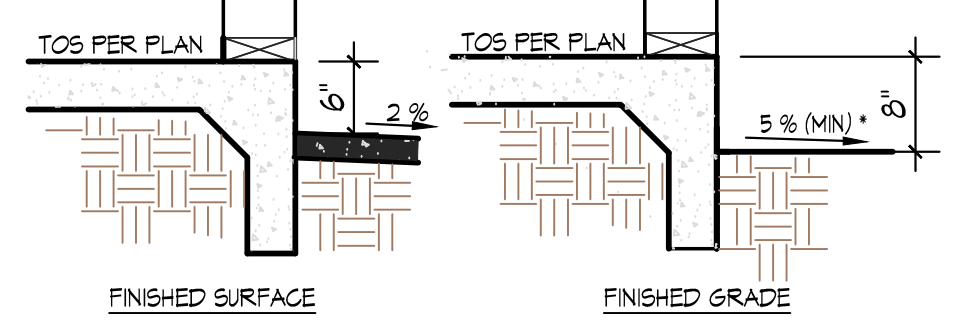
* NOT ALL SYMBOLS USED

GENERAL NOTES:

- ALL EXISTING TOPOGRAPHY AND PROPOSED GRADES SHOULD BE FIELD VERIFIED.
- NO UTILITY SEARCH WAS CONDUCTED. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT UTILITIES OR STRUCTURES FOUND ON THE SITE AND TO NOTIFY OWNER/ENGINEER IMMEDIATELY TO RESOLVE ANY CONFLICTS OR ISSUES WITH PROPOSED GRADING DESIGN.

- GRADING AND/OR LANDSCAPE CONTRACTOR SHALL GRADE ALL AREAS TO POSITIVE DRAIN (2% MIN) AND SHALL EXERCISE CARE IN CONSTRUCTION OF MOUNDS AND SNALES SO PONDING WILL NOT OCCUR.

- UNLESS OTHERWISE NOTED, FINISHED FLOOR ELEVATION MUST BE ABOVE ADJACENT FINISHED GRADE OR SURFACE AS SHOWN BELOW.

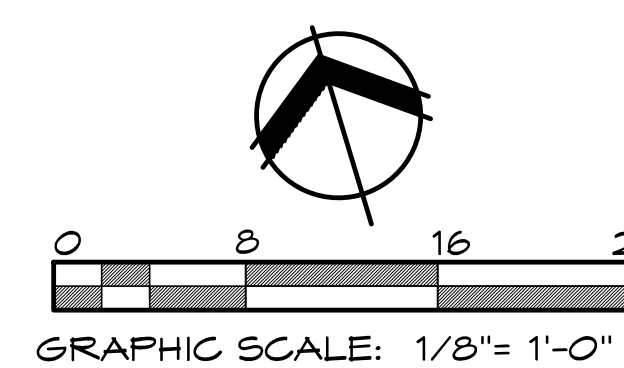


* FOR GRADES LOCATED WITHIN 10 FT OF BUILDING FOUNDATION PER CBC 1204.3

- COMPLY WITH MINIMUM SLOPE AT FOLLOWING AREAS:
EARTH 1.0 %
CONCRETE 0.5 %
CONCRETE IN PAVED AREA 0.5 %
ASPHALT 1.0 %
- PAD ELEVATION IS ASSUMED TO BE BASED ON ARCHITECTURAL FLOOR PLAN WITH AT LEAST 5" THICK SLAB OVER 2" SAND OVER 4" GRAVEL. REFER TO APPROVED SOILS REPORT AND STRUCTURAL FOUNDATION PLANS FOR RECOMMENDATIONS.

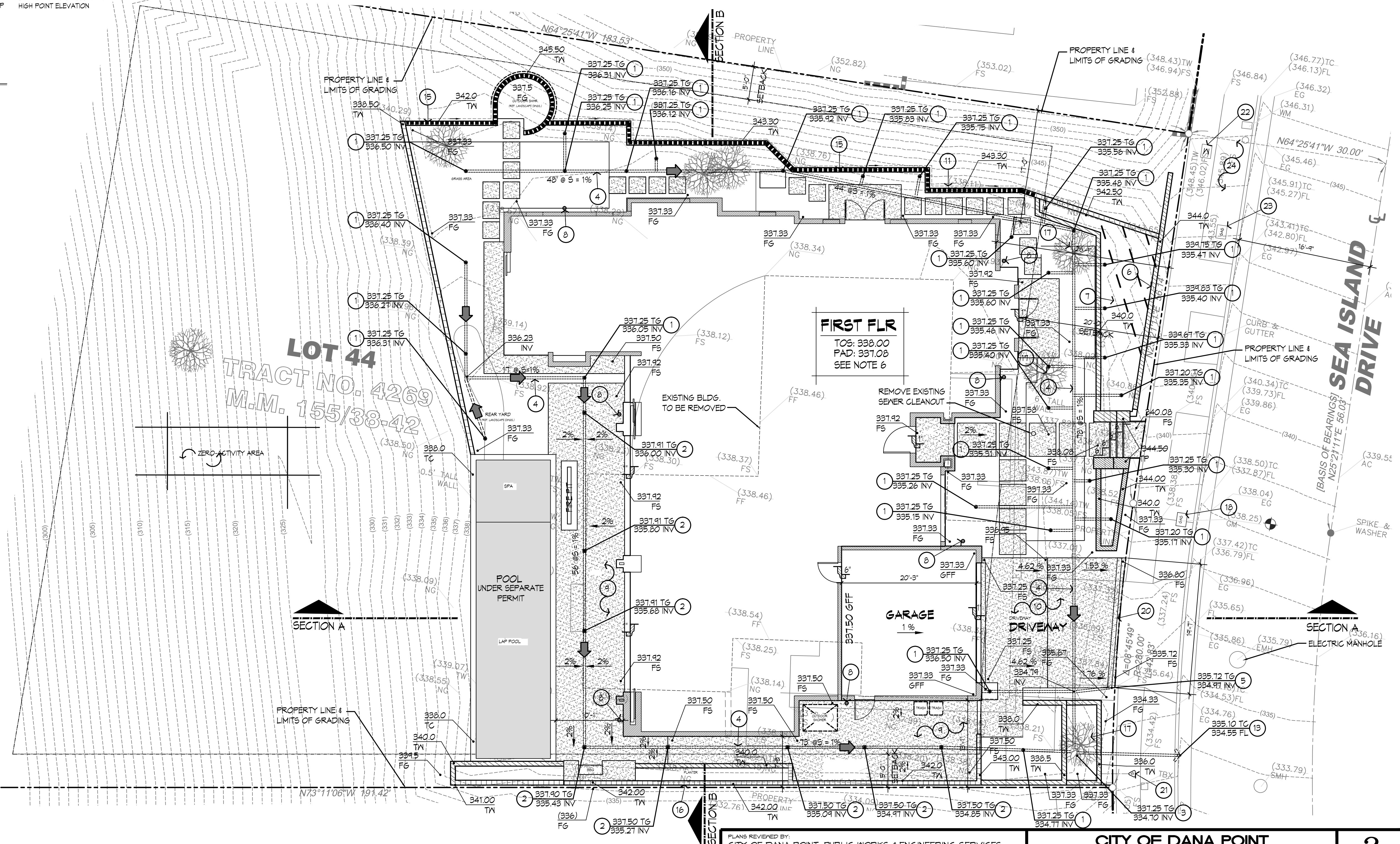
SURVEY NOTES:

- TOPOGRAPHIC SURVEY SHOWN ON GRADING PLAN SET FOR REFERENCE PURPOSES ONLY.
- TOPOGRAPHIC SURVEY PREPARED BY:
APEX LAND SURVEYING, INC.
8512 OXLEY CIRCLE, HUNTINGTON BEACH,
CALIFORNIA 92646
TEL: (714) 488-5006 FAX: (714) 333-4440

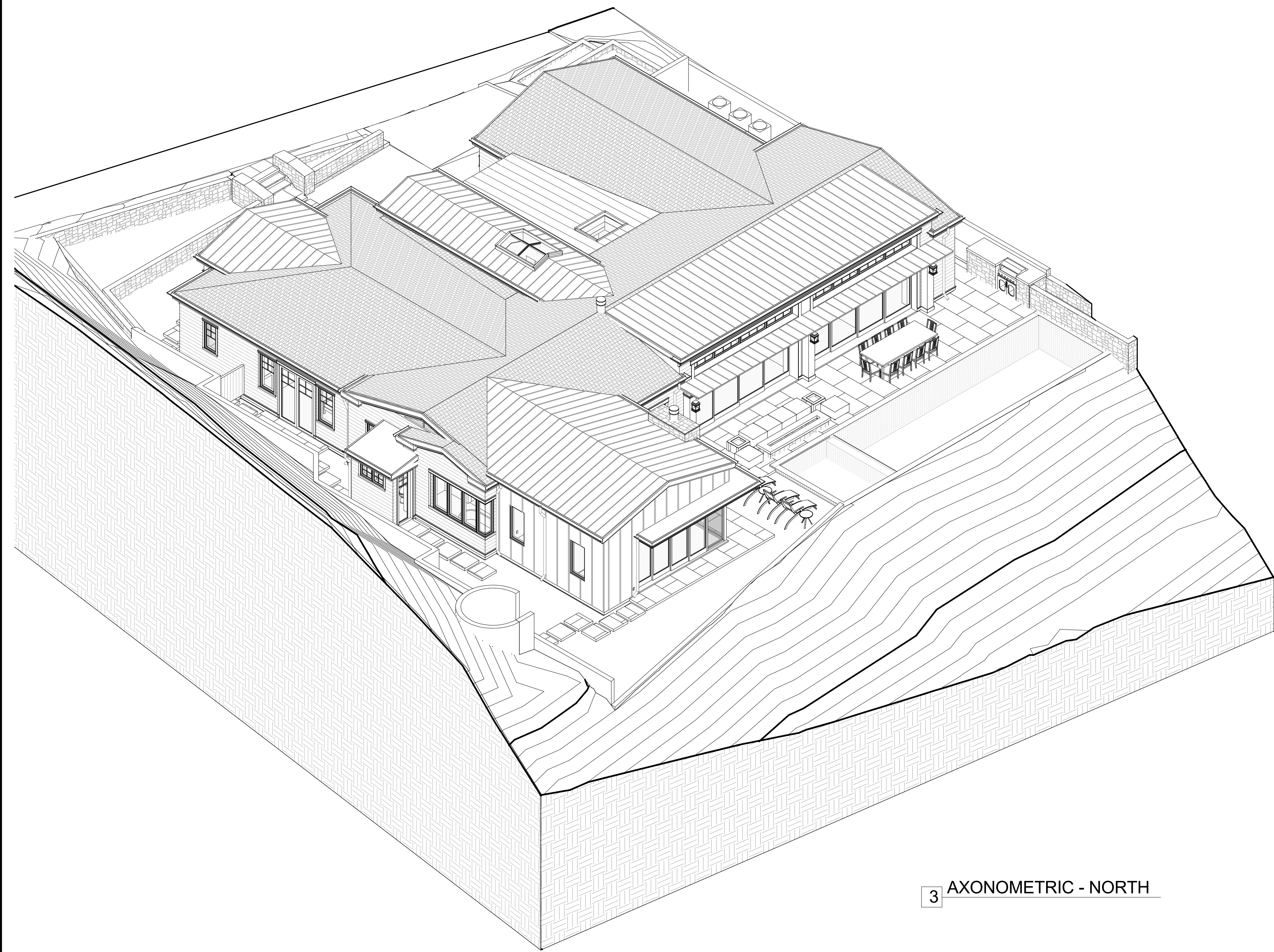


CONSTRUCTION NOTES:

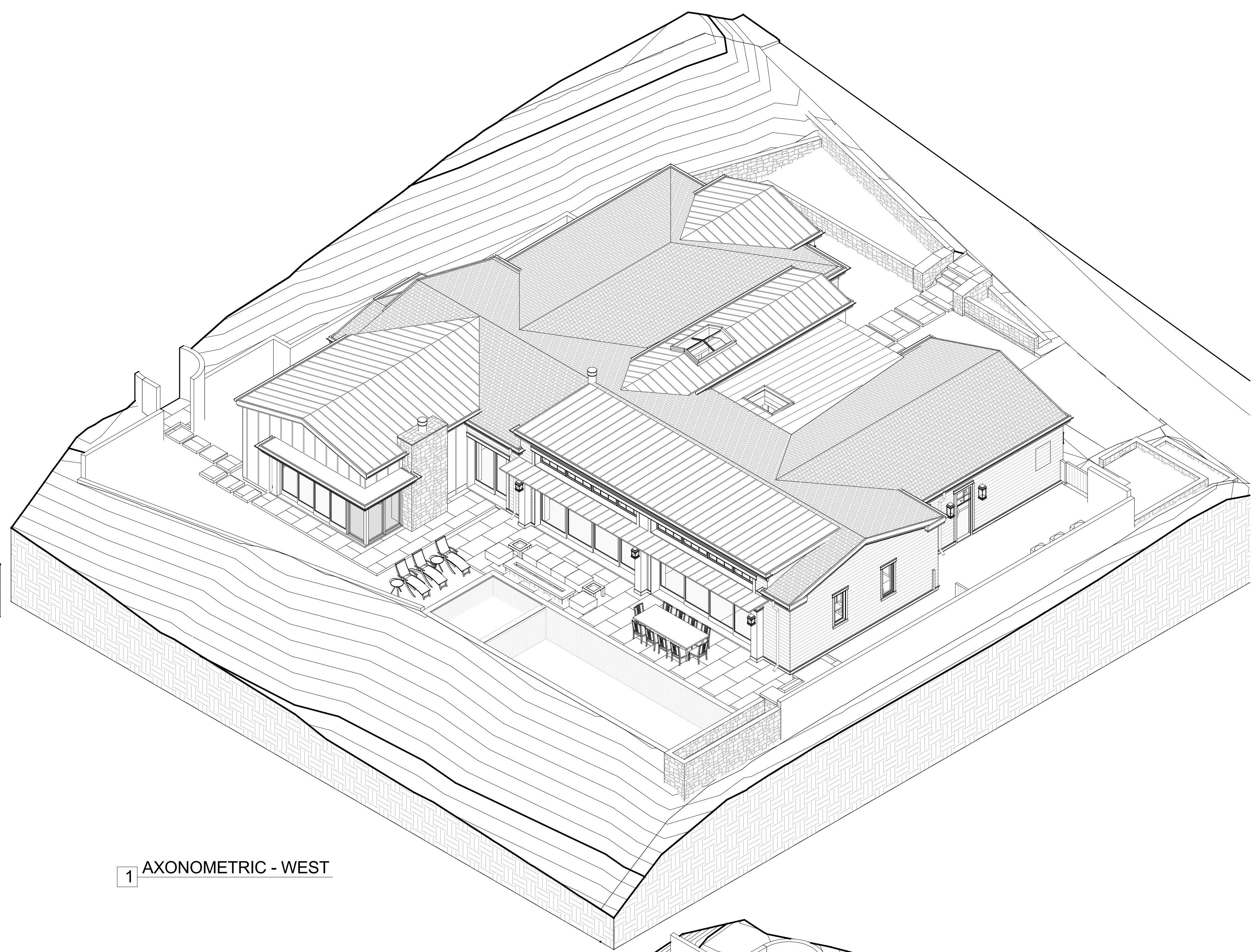
- INSTALL 6" PLANTER DRAIN W/ ATRUM GRATE, NDS 80 OR EQUAL.
- INSTALL 6" SQUARE GRATE + ADAPTER, NDS 640 OR EQUAL.
- CONSTRUCT INFILTRATION PIT PER CITY OF DANA POINT STANDARD DRAWING S-14.
- INSTALL 4" DRAIN PIPE, SDR 35 PVC OR EQUAL.
- INSTALL 6" CHANNEL DRAIN, NDS 864 WITH TRAFFIC RATED GRATE, NDS 816 OR EQUAL.
- NEW CMU LANDSCAPE WALL (MAX 6'-0" ABV N.G.) PER LANDSCAPE PLAN, UNDER SEPARATE PERMIT.
- NEW SITE WALLS (MAX 42" ABV N.G.) PER STRUCTURAL PLAN AND DETAILS.
- CONNECT ROOF DOWNSPOUTS TO STORM DRAIN SYSTEM. (TERMINATE ABOVE FLATWORKS).
- CONSTRUCT CONC. FLATWORK ON GRADE.
- CONSTRUCT 6" THICK DRIVEWAY.
- INSTALL 4" PERFORATED SUBDRAIN BEHIND RETAINING WALL PER SOILS REPORT RECOMMENDATION.
- NOT USED.
- CONSTRUCT 3" CURB OUTLET PER CITY OF DANA POINT STANDARD DRAWING S-9A.
- NOT USED.
- CONSTRUCT RETAINING WALLS UNDER SEPARATE PERMIT.
- CONSTRUCT SIDE PROPERTY WALLS PER LANDSCAPE PLAN.
- REMOVE ALL EXISTING ON-SITE TREES AND LANDSCAPE ELEMENTS.
- REMOVE EXISTING GAS METER AND INSTALL NEW GAS METER (FIELD LOCATE NEW LOCATION).
- NOT USED.
- EXISTING DRIVEWAY APPROACH TO REMAIN (PROTECT-IN-PLACE).
- CONSTRUCT NEW 4" SEWER LATERAL W/ SEWER BACKWATER VALVE AND CLEAN-OUT WITH TRAFFIC BOX AND LID.
- CONSTRUCT NEW 1" DOMESTIC WATER SERVICE.
- INSTALL NEW GAS METER AND SERVICE PER GAS COMPANY STANDARD DRAWINGS.
- EXISTING PUBLIC WORK FEATURES (SIDEWALK, CURB & GUTTER) PROTECT-IN-PLACE.
- NOT USED.
- NOT USED.



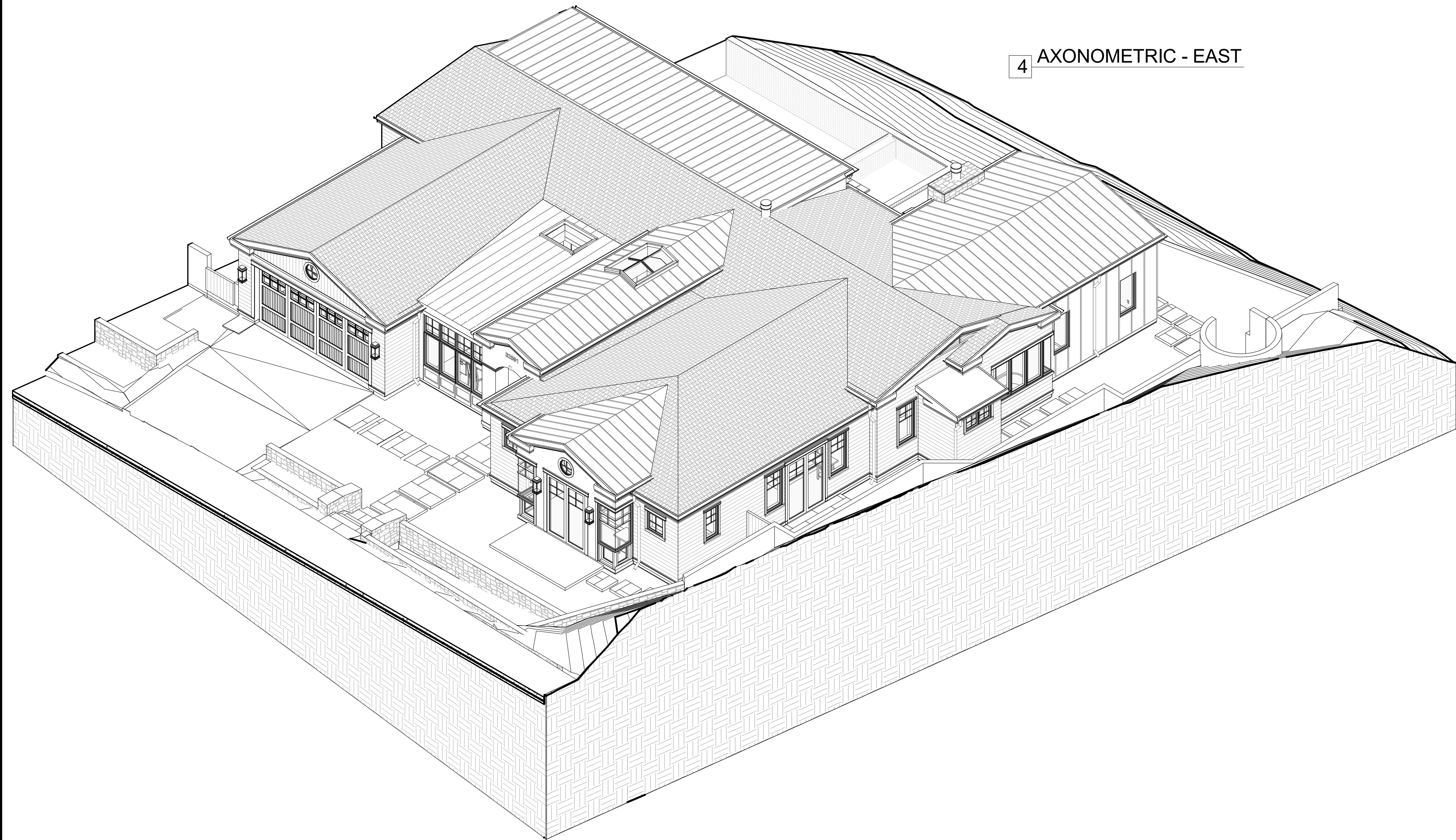
REVISION				DESCRIPTION				APPROVED				DATE			
ACAD FILE NO.				DESIGNED: CC				DRAWN: MS				CHECKED: RD			
PROJECT NO.				DATE: C 54067				DATE: C 54067				DATE: C 54067			
RONE L. DEMALA, P.E.				R.C.E. NO.				PLANS PREPARED BY:				BENCHMARK			
OCS 3U-45-80				ELEV. 270.284 FT				DATING NAVD88				APPROVED BY THE CITY OF DANA POINT			
CITY PLANNING DEPARTMENT				DATE				CITY OF DANA POINT				PRECISE GRADING PLAN FOR:			
LOT 44 TRACT 4269				PRECISE GRADING PLAN				CONTRACT NO.				EN611-0036			
2 OF 6 SHEETS				ORIGINAL SCALE:				2				2 OF 6 SHEETS			



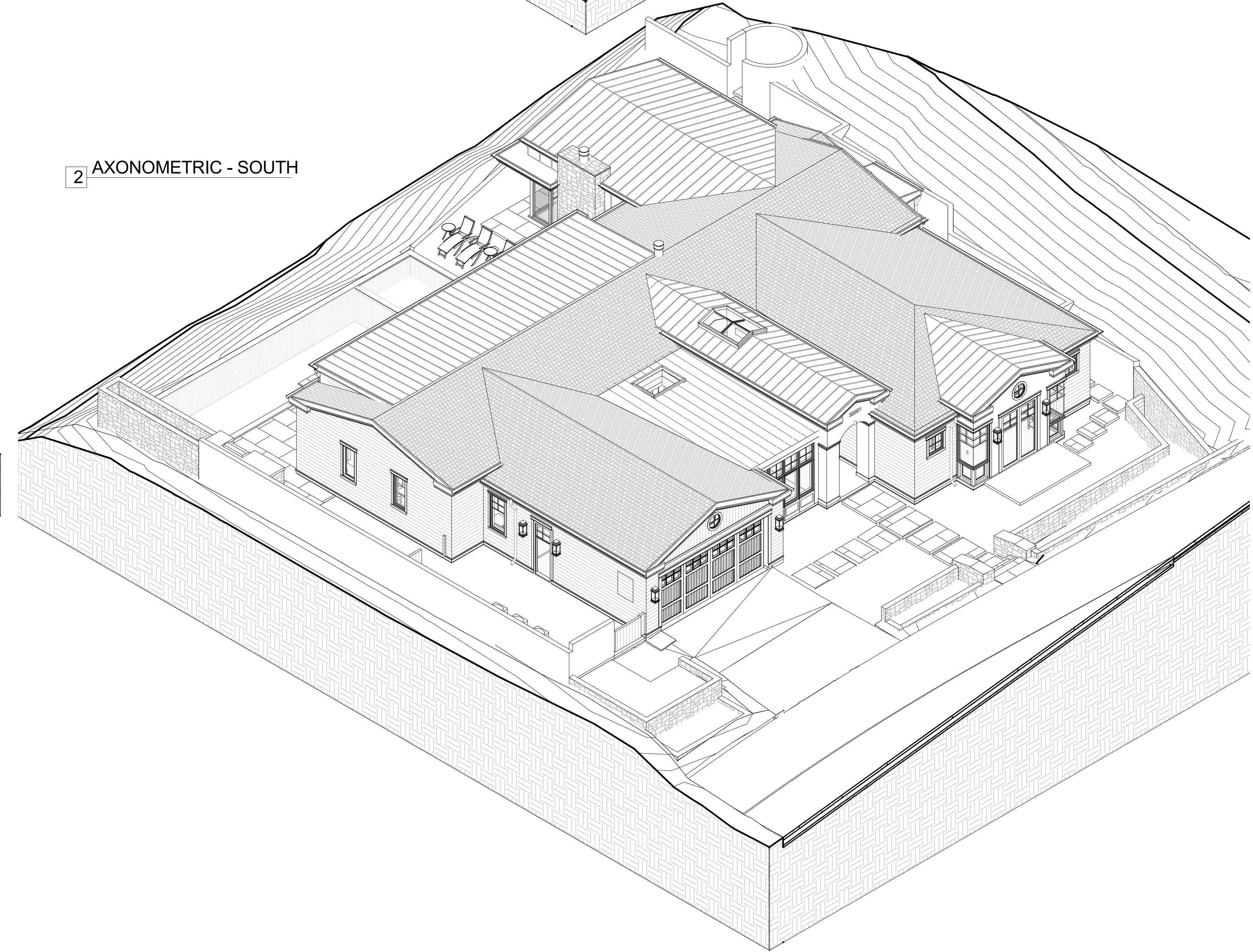
3 AXONOMETRIC - NORTH



1 AXONOMETRIC - WEST

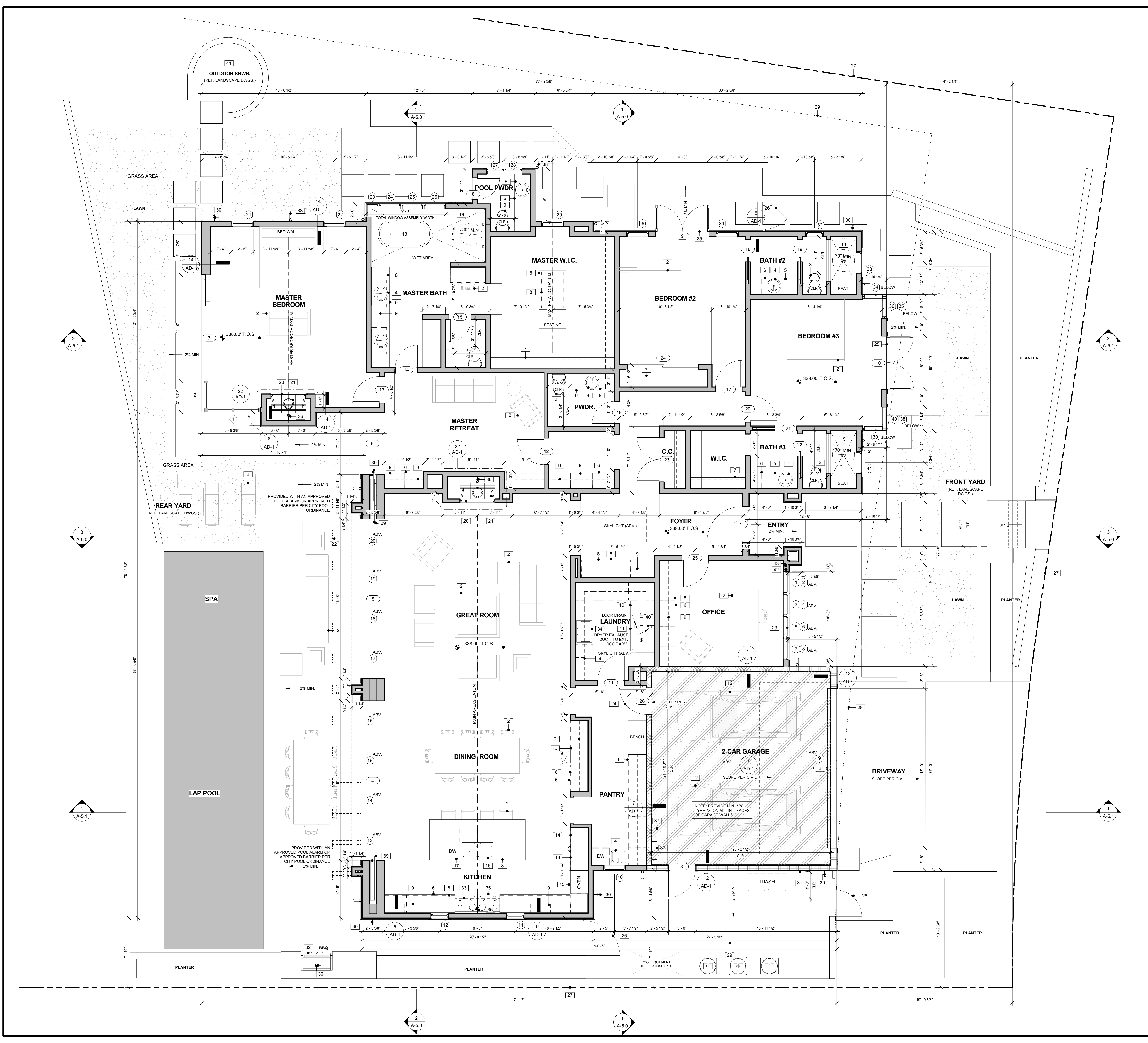


4 AXONOMETRIC - EAST



2 AXONOMETRIC - SOUTH

PROJECT NAME REITER RESIDENCE	
STATUS CDP	
BRANDON ARCHITECTS 151 Kilimius Drive, Suite G-1 Costa Mesa, CA 92626 714.754.4040 www.brandonarchitects.com	
OWNER INFORMATION: DON & KIM REITER 32591 SEA ISLAND DRIVE DANA POINT, CA 92629	
REITER RESIDENCE 32591 SEA ISLAND DRIVE DANA POINT, CA 92629	
DOCUMENT VALID UPON	
ORIGINAL SIGNATURE	
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REVISIONS NO. REVISION DATE	
JOB NO. 32591-2017	
DATE 03/16/17	
SHEET NO. A-1.0	



MECHANICAL VENTILATION NOTE:

1. PROVIDE WHOLE BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2-2013 SECTION 4, WITH EXCEPTION THAT NATURAL VENTILATION THROUGH DOORS AND WINDOWS IS NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE-BUILDING MECHANICAL VENTILATION (BES 1520). FOR CONTINUOUS WHOLE-BUILDING MECHANICAL VENTILATION, MIN. REQUIRED RATE OF VENTILATION IS 1 CFM FOR EACH 100 S.F. OF CONDITIONED FLOOR AREA PLUS 1.5 CFM FOR EACH OCCUPANT (ONE OCCUPANT PER BEDROOM +1). VENTILATION TO BE PROVIDED BY EXHAUST AIR, SUPPLY AIR OR COMBINED EXHAUST AND SUPPLY AIR.
2. PROVIDE IN KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM (PART OF WHOLE-BUILDING MECHANICAL VENTILATION).
3. DRYER VENT TO BE SMOOTH WALL METAL WITHOUT SORELY CONNECTIONS. CMC 504.3.1.1

CALCULATIONS:
UNIT: 3.911 S.F.
(0.033911 S.F. + 17 SCFM x OCC. (BED +1)) =
117.33 CFM + (7.5 x 4) = 147.33 CFM REQ'D

KEYNOTE LEGEND

1. A/C CONDENSER UNITS SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D.
2. FURNISHINGS - AS SELECTED
3. TOILET - MIN. 24" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL. GREEN NOTES FOR FLOW RATE INFO.
4. SINK - AS SELECTED (VERIFY COUNTER OR WALL MOUNT FIXTURES W/ OWNER)
5. BASE CABINET - SINK UNIT BUILT-IN, FINISH AS SEL.
6. COUNTERTOP - AS SELECTED
7. SHELF AND POLE - BUILT-IN, FINISH AS SEL.
8. BASE CABINET - BUILT-IN, FINISH AS SEL.
9. UPPER CABINET - BUILT-IN, FINISH AS SEL.
10. DRYER - DRYER VENT 14" MAX. LENGTH (CMC 504.3.2) PROVIDE GAS STUB-OUT & POWER
11. WASHER - PROVIDE HOOK-UPS & POWER
12. VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
13. PROVIDE POWER FOR BUILT-IN APPLIANCE/EQUIPMENT
14. REFRIGERATOR - VERIFY APPLIANCE W/ OWNER
15. DOUBLE OVEN - AS SELECTED
16. KITCHEN SINK - AS SELECTED
17. DISHWASHER - AS SELECTED
18. BATHTUB - AS SELECTED (VERIFY LOCN. OF FIXTURES W/ OWNER)
19. SHOWER - HOT/POW. PAN. PROVIDE TILE W/ CEMENT BACKING MIN. 72 HIGH; NET AREA 7.1 S.F. MIN.; 30" DIA. CIRCLE MIN. (CRC 411.7)
20. FIREPLACE - PREFABRICATED, GAS ONLY, ASTERIA MODEL GEORGIAN 90" (DTL. 22/AD-1) (FACTORY BUILT, PREPARED, CHIMNEY, AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MFGOR. INSTALLATION INSTRUCTIONS. DIRECT VENT GAS APPLIANCE MUST COMPLY W/ THE CALIFORNIA GREEN CODE REQUIREMENT AND MUST COMPLY WITH ANSI Z21.50.)
21. EXTERIOR COMBUSTION AIR DUCTS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED ACCORDING TO THE F.P. MFGOR'S INSTRS. (CRC R1005)
22. TRELLIS ABV. REF. ROOF PLAN SHEET A-3.0 FOR MORE INFO
23. WINDOW TO MEET EGRESS REQ'TS. - REF. WINDOW NOTE #4 ON SCHEDULE
24. 1-3/8" MIN. SOLID CORE DOOR, SELF CLOSING & SELF LATCHING (R302.5.1)
25. 1-1/2" MAX. STEP AT OUTSIDING DOORS (R011.3.1)
26. (N) GATE - PER LANDSCAPE ARCHITECT/DESIGNER (MAX. 6' HT. ABOVE NATURAL GRADE)
27. PROPERTY LINE
28. FRONT YARD SETBACK
29. SIDE YARD SETBACK
30. HOSE BIB - NO SHOWER HEAD, COLD WATER & FOOT WASH ONLY, RECESSED BRASS, VERIFY LOCN. & FIXTURE W/ OWNER
31. (N) ELECTRICAL SERVICE AND MAIN SERVICE PANEL, 200 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) HANG MIN. 5'1" ABV. FLOOR PL. W/.
32. BBQ BUILT-IN BBQ - LOCATION PER LANDSCAPE DESIGNER
33. KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM, 3 SONES OF INTERMITTENT OPERATION - INSTALL & PROVIDE POWER PER MFGOR'S INSTRS. SHALL COMPLY WITH THE 2016 TITLE 24 AND ASHRAE 62.2 STANDARDS. VENT TO EXTERIOR
34. LAUNDRY SINK - AS SEL.
35. RANGE - VERIFY APPLIANCE W/ OWNER - PROVIDE HOOD CAPABLE OF 100 CFM MIN. (VERIFY W/ MFGOR.)
36. PROVIDE GAS & ELEC. FOR BBQ PER OWNER
37. WATER HEATER - TANK - SIZE PER T-24 REPORT REF. DTL. 104-D
38. DOWNSPOUT - KYNAR FINISH TO MATCH METAL ROOFING, SHAPE AS SEL. (ARCH. TO APPROVE)
39. DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH AN APPROVED POOL ALARM OR APPROVED BARRIER PER CITY POOL ORDINANCE
40. CLOTHES DRYER MOISTURE EXHAUST DUCT MIN. 4" DIAMETER TO THE OUTSIDE, EQUIPPED WITH A BACK-DRAFT DAMPER, DUCT LENGTH IS LIMITED TO 14' WITH 2 ELBOWS. DRYER VENT TO BE SMOOTH WALL METAL WITHOUT SORELY CONNECTIONS
41. OUTDOOR SHOWER, PROVIDE COLD & HOT WATER AND DRAIN LINE CONNECTED TO SEWER PER CIVIL DWGS.
42. DRAIN LINE - IN WALL FROM ABV. (REF. CIVIL DWGS. & DETAILS)
43. OVERFLOW DRAINAGE - IN WALL FROM ABOVE, TERMINATE ABV. EXT. FLATWORK

BUILDING AREA SCHEDULE

Name	AREA	COMMENTS
LIVING SPACE	3911 SF	
GARAGE	470 SF	
GRAND TOTAL	4381 SF	

FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE:
THE STRUCTURE IS LOCATED IN VHFHSZ (VERY HIGH FIRE HAZARD SEVERITY ZONE)

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.)
TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

STAIRWAY NOTE:
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE PER CRC R303.6

ROUGH FRAMING:
ALL EXTERIOR WALL TO BE FRAMED WITH 2 X 6 STUDS
SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8"
ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD

PLUMBING NOTE:
ALL PLUMBING FIXTURES SHALL BE COMPLYING WITH THE MAXIMUM FLOW RATES AS NOTED IN THE CONSTRUCTION MINIMUM REQUIREMENTS

*HERS VERIFICATION REQUIRED- REFERENCE T-24.1

FIRE RATED CEILING ASS'Y. REF. DTL. 7/AD-1

EXT. FIRE RATED PARTITION REF. DTL. 12/AD-1

INT. FIRE RATED PARTITION REF. DTL. 7/AD-1

NEW WALL - 2 x 6 STUDS @ 16" O.C.

NEW WALL - 2 x 4 STUDS @ 16" O.C.

WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C.

CONCRETE RETAINING WALL - REF. STRUCTURAL

CONCRETE MASONRY WALL - 6" CMU U.N.O.

DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED STUD @ 16" O.C.

WINDOW - REFERENCE SCHEDULE

DOOR - REFERENCE SCHEDULE

CABINET - BUILT-IN CASEWORK

COLUMN - REF. STRUCTURAL DWGS.

FURNITURE - FOR PRESENTATION PURPOSES ONLY

FIREPLACE - PREFAB GAS-ONLY APPLIANCE

PLUMBING FIXTURE - SINK (AS SELECTED)

PLUMBING FIXTURE - TOILET (AS SELECTED)

LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS

DOOR TAG - REFERENCE SHEET A-7.0

WINDOW TAG - REFERENCE SHEET A-7.0

WALL TAG - REFERENCE SHEET A-7.0

KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHT.

PLAN LEGEND

PROJECT NAME

REITER RESIDENCE

STATUS
CDP

BRANDON ARCHITECTS
151 Kalmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com



OWNER INFORMATION:
DON & KIM REITER
32591 SEA ISLAND DRIVE
DANA POINT, CA 92629

REITER RESIDENCE

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FLOOR PLAN

REVISIONS
NO. REVISION DATE

COLUMN - REF. STRUCTURAL DWGS.

FURNITURE - FOR PRESENTATION PURPOSES ONLY

FIREPLACE - PREFAB GAS-ONLY APPLIANCE

PLUMBING FIXTURE - SINK (AS SELECTED)

PLUMBING FIXTURE - TOILET (AS SELECTED)

LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS

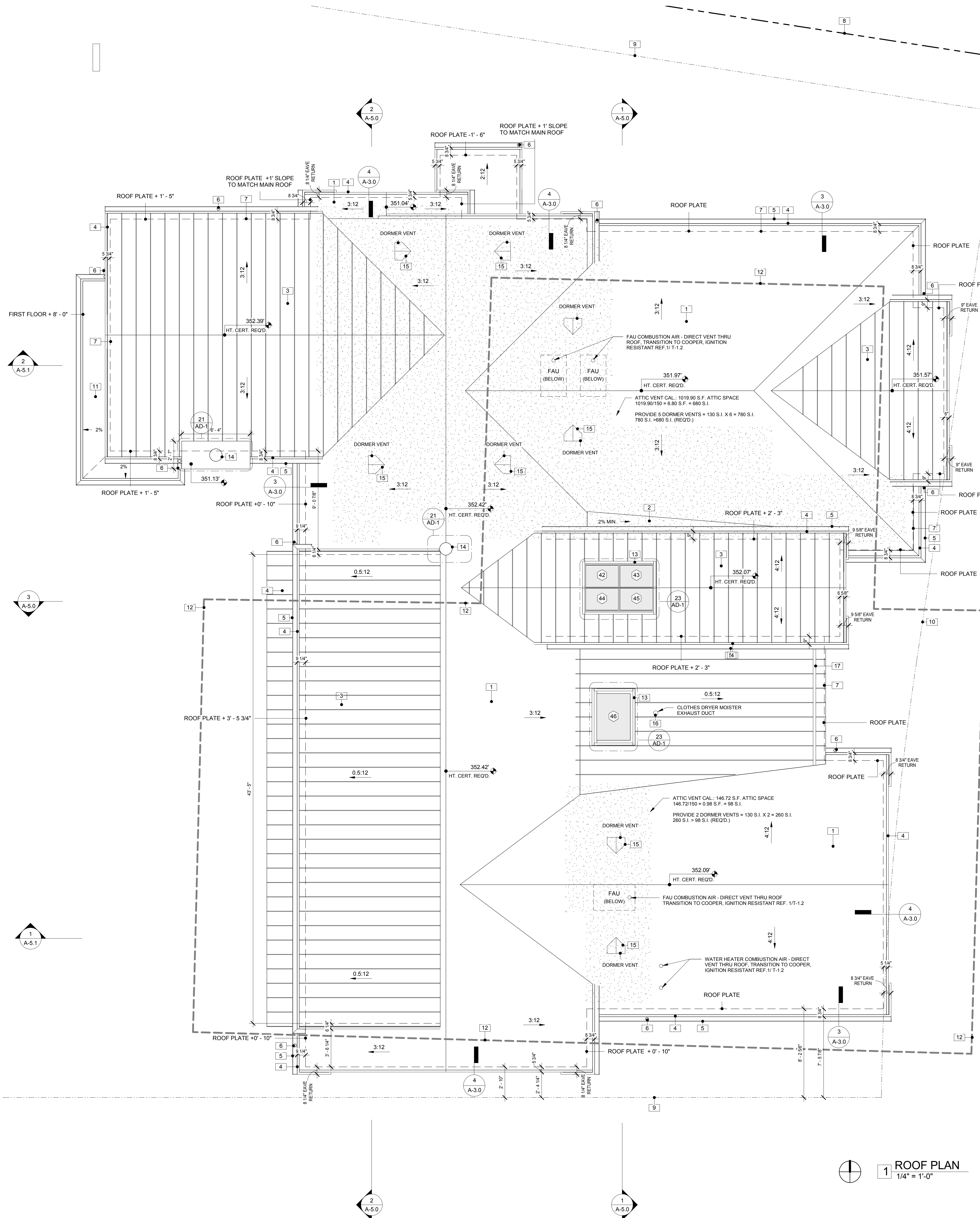
DOOR TAG - REFERENCE SHEET A-7.0

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WALL TAG - REFERENCE SHEET A-7.0

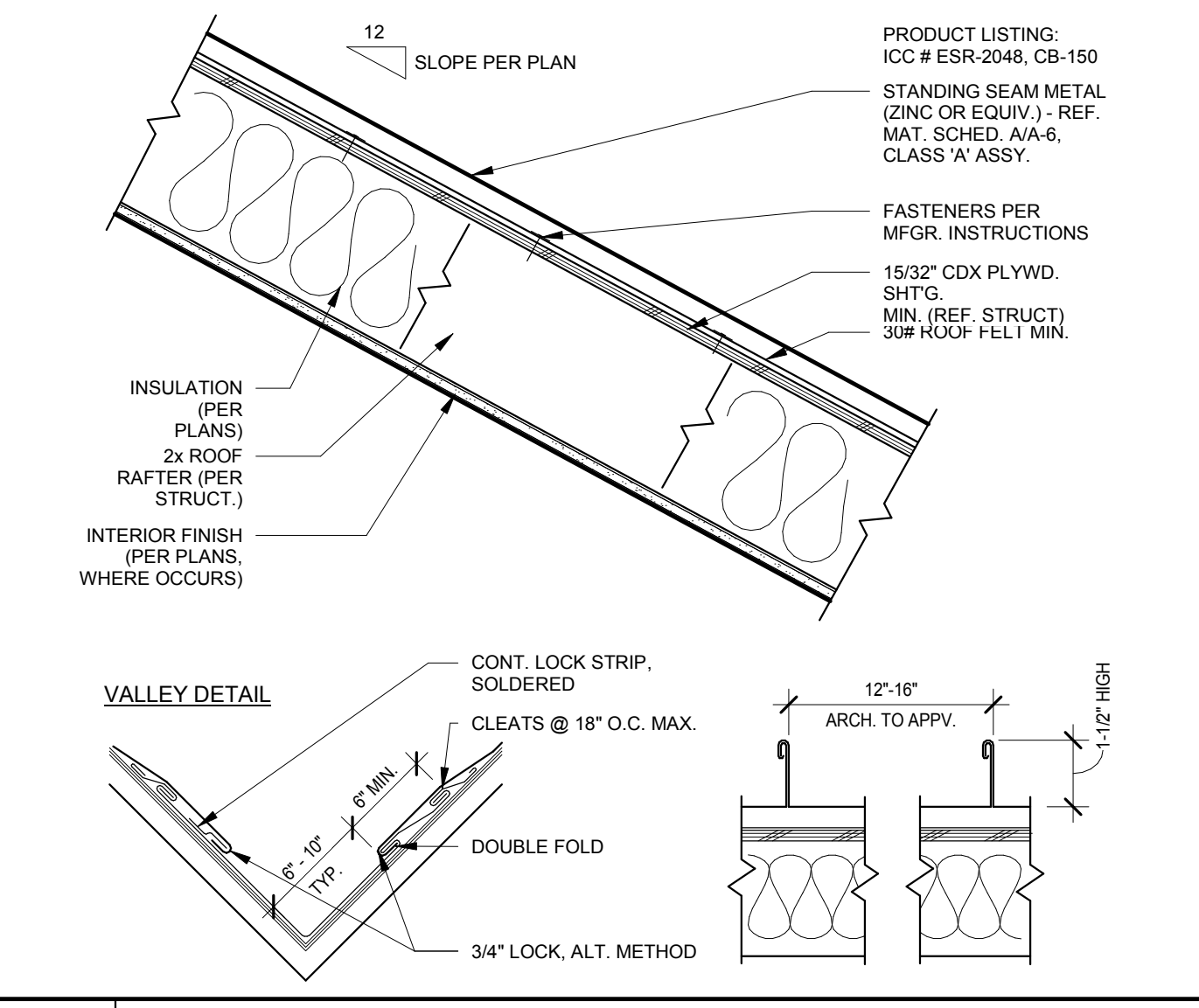
KEYNOTE TAG - REFERENCE KEYNOTE LEGEND THIS SHT.

A-2.0



KEYNOTE LEGEND

1	NATURAL STONE-SLATE ROOFING - (REF. DTL. 2/A-3.0 AND MATERIAL SCHEDULE A-4.0)
2	CRICKET - SLOPE 2% MIN.
3	STANDING SEAM METAL ROOFING - REF. MATERIAL SCHEDULE A-4.0
4	WOOD ROOF FASCIA - EAVE AS DIMENSIONED (REF. DTL. 3, 4/A-3.0 & MAT. SCHED. A/A-4.0)
5	GUTTER PER MAT. SCHED. ON SHEET A-4.0. SHAPE AS SELECTED PER EAVE DETAILS. ARCH. TO APPV. PROFILE
6	DOWNSPOUT - POLYMER FINISH TO MATCH METAL ROOFING. SHAPE AS SEL. (ARCH. TO APPROVE)
7	LINE OF EXTERIOR WALL BELOW
8	PROPERTY LINE
9	SIDE YARD SETBACK
10	FRONT YARD SETBACK
11	CLASS 'A' FLAT 'COOL' ROOFING - TPO MEMBRANE - REF. MATERIAL SCHEDULE A/A-4.0
12	(E) LEAVES OUTLINE - TO BE DISOUBLED
13	CUSTOM SKYLIGHT - FLAT FIXED CURB-MOUNTED. SIZE PER WDW. SCHEDULE. ARCH. TO APPV. SHOP DWGS. METAL FRAMED AND TEMPERED GLASS - 'ACRILIGHT' (REF. DTL. 23AD-1) ESR-2415 REF. 1/1-1.2 FOR MANDATORY FIRE HAZARD ZONE CONSTRUCTION REQ'TS.
14	CHIMNEY CAP/SPARK ARRESTOR - (DTL. 21AD-1) (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. B.L.T. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFG. INST. INSTRUCTIONS. CMC 602.4.2.4)
15	ATTIC VENTS SHALL BE ASTM E2886 LISTED, OR PROTECTED WITH A CORROSION RESISTIVE AND NON-COMBUSTIBLE MATERIAL HAVING 1/16" - 1/8" OPENINGS. CBC 708A. REF. 1-1.2 FOR MANDATORY FIRE HAZARD ZONE CONSTRUCTION REQUIREMENTS.
16	CLOTHES DRYER MOISTURE EXHAUST DUCT - MIN. 4" DIAMETER TO THE OUTSIDE. EQUIPPED WITH A BACK-DRAFT DAMPER. DUCT LENGTH IS LIMITED TO 14' WITH 2 ELBOWS. DRYER VENT TO BE SMOOTH WALL METAL WITHOUT SCREW CONNECTIONS.
17	CONCEALED GUTTER SLOPE 2% MIN. TO NEAREST IN WALL DRAIN - PROVIDE CONTINUOUS WATERPROOFING - FLASH AND CNTRL. FLASH WITH ROOF MEMBRANE



1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED W/ CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIM. OF 1/16" MIN. AND 1/4" MAX. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQ'TS. OF CRC R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR.

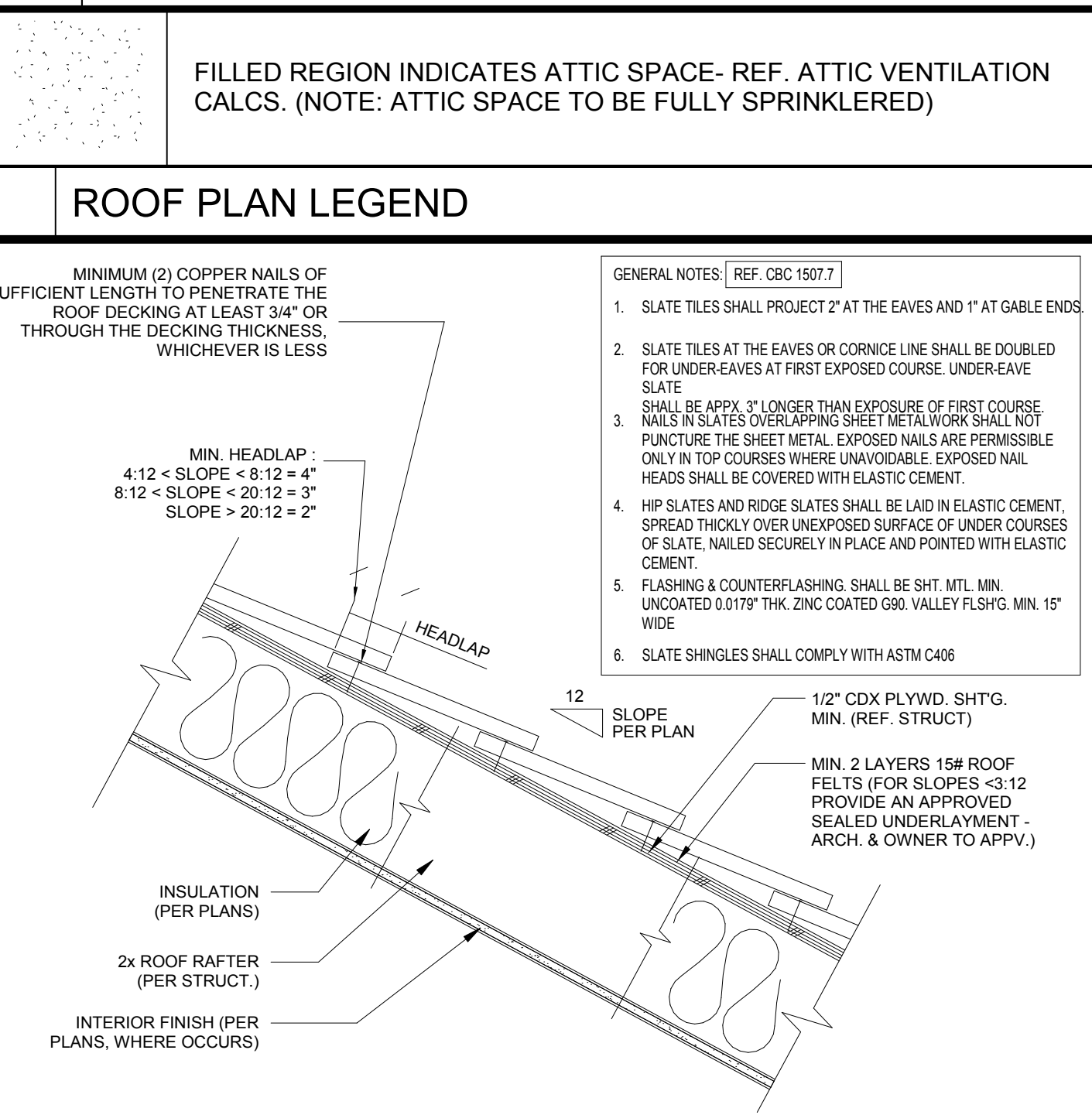
2. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 IF ONE OR MORE OF THE FOLLOWING ARE MET: 1. IN CLIMATE ZONES 14 & 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. 2. AT LEAST 40% AND MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST OF THE SPACE SHALL BE PERMITTED.

3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF A 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHTG. AND AT THE LOCATION OF THE VENT.

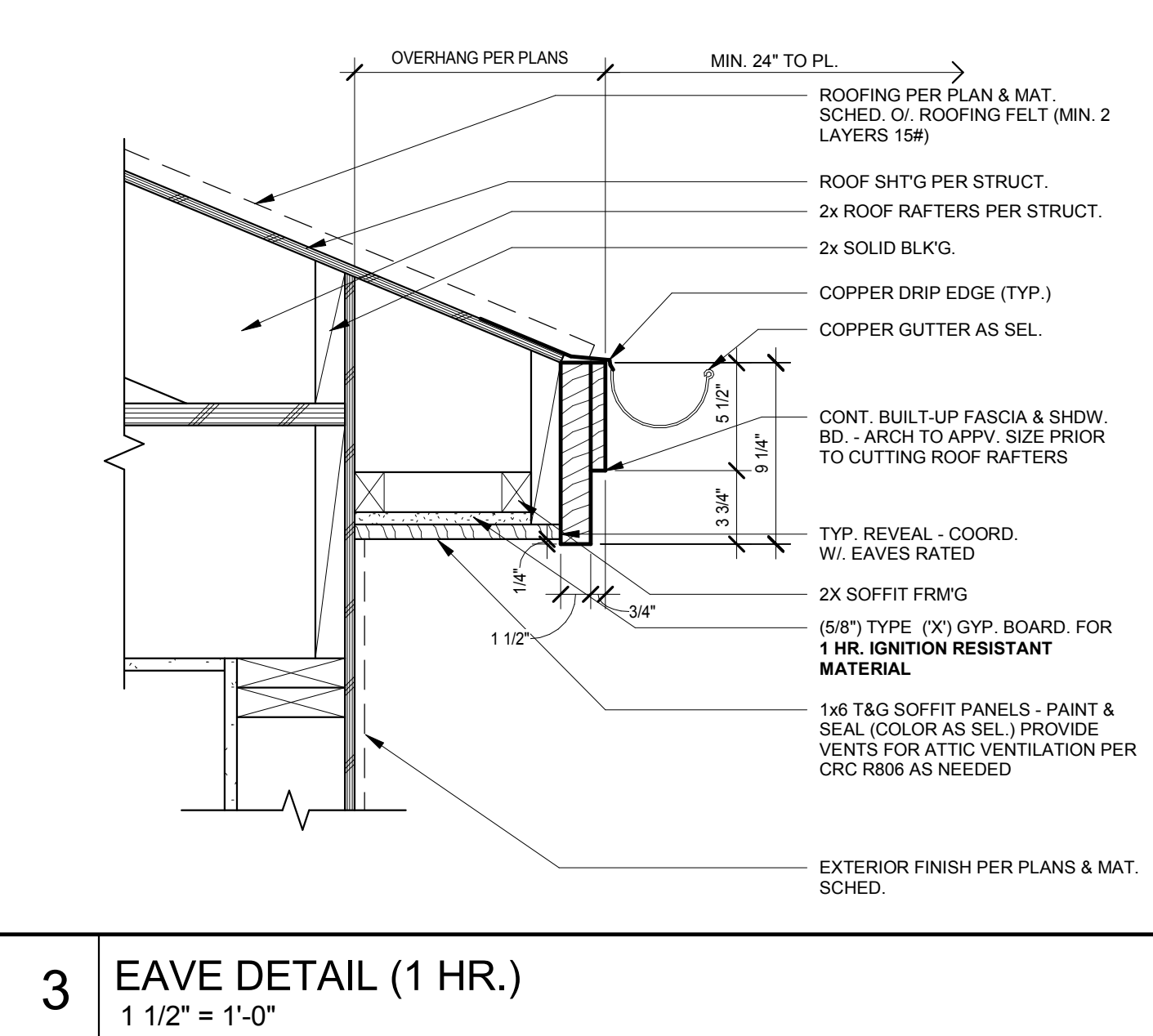
4. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFRG.'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN ROOF SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R903. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/ THE REQ'TS. OF SECTION R703.1.

5. UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED RAFTER ASSEMBLIES (SPACES BETWEEN CEILINGS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS/RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET: 1. THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE. 2. NO INTERIOR GLASS VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASSEMBLY. 3. WHERE WOOD SHINGLES OR SHAKES ARE USED, A MIN. 1/4" VENTED AIR SPACE SEPARATES THE SHINGLES OR SHAKES AND THE ROOFING UNDERLAYMENT ABOVE THE STRUCTURAL SHTG. 4. IN CALIFORNIA CLIMATE ZONES 14 & 16, ANY AIR-IMPERMEABLE INSULATION SHALL BE A CLASS II VAPOR RETARDER, OR SHALL HAVE A CLASS III VAPOR RETARDER COATING OR COVERING IN DIRECT CONTACT W/ THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 6, FIG. 100.1A) 5. EITHER ITEMS 5.1, 5.2 OR 5.3 SHALL BE MET, DEPENDING ON THE AIR PERMEABILITY OF THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHTG. (NO INSULATION SHALL BE REQ'D. WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES, OR ANY OTHER ROOFING SYSTEM USING BATTENS AND NO CONT. UNDERLAYMENT IS INSTALLED. A CONT. LAYER SHALL BE CONSIDERED AS SHTG., ROOFING PAPER OR ANY CONT. LAYER WHICH HAS A PERM RATE OF NO MORE THAN ONE PERM UNDER THE DRY CUP METHOD.) 5.1. AIR-IMPERMEABLE INSULATION ONLY. INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHTG. 5.2. AIR-PERMEABLE INSULATION ONLY. IN ADDITION TO THE AIR-PERMEABLE INSULATION INSTALLED DIRECTLY BELOW THE STRUCTURAL SHTG., RIDGE BOARD OR SHEET INSULATION W/ AN R-VALUE OR R-4 SHALL BE INSTALLED DIRECTLY ABOVE THE STRUCTURAL ROOF SHTG. FOR CONDENSATION CONTROL. 5.3. AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION. THE AIR-IMPERMEABLE INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE STRUCTURAL ROOF SHTG. FOR CONDENSATION CONTROL. THE AIR-PERMEABLE INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION. 5.4. WHERE PRE-FORMED INSULATION BOARD IS USED AS THE AIR-IMPERMEABLE INSULATION LAYER, IT SHALL BE SEALED AT THE PERIMETER OF EACH INDIVIDUAL SHEET INTERIOR SURFACE TO FORM A CONT. LAYER.

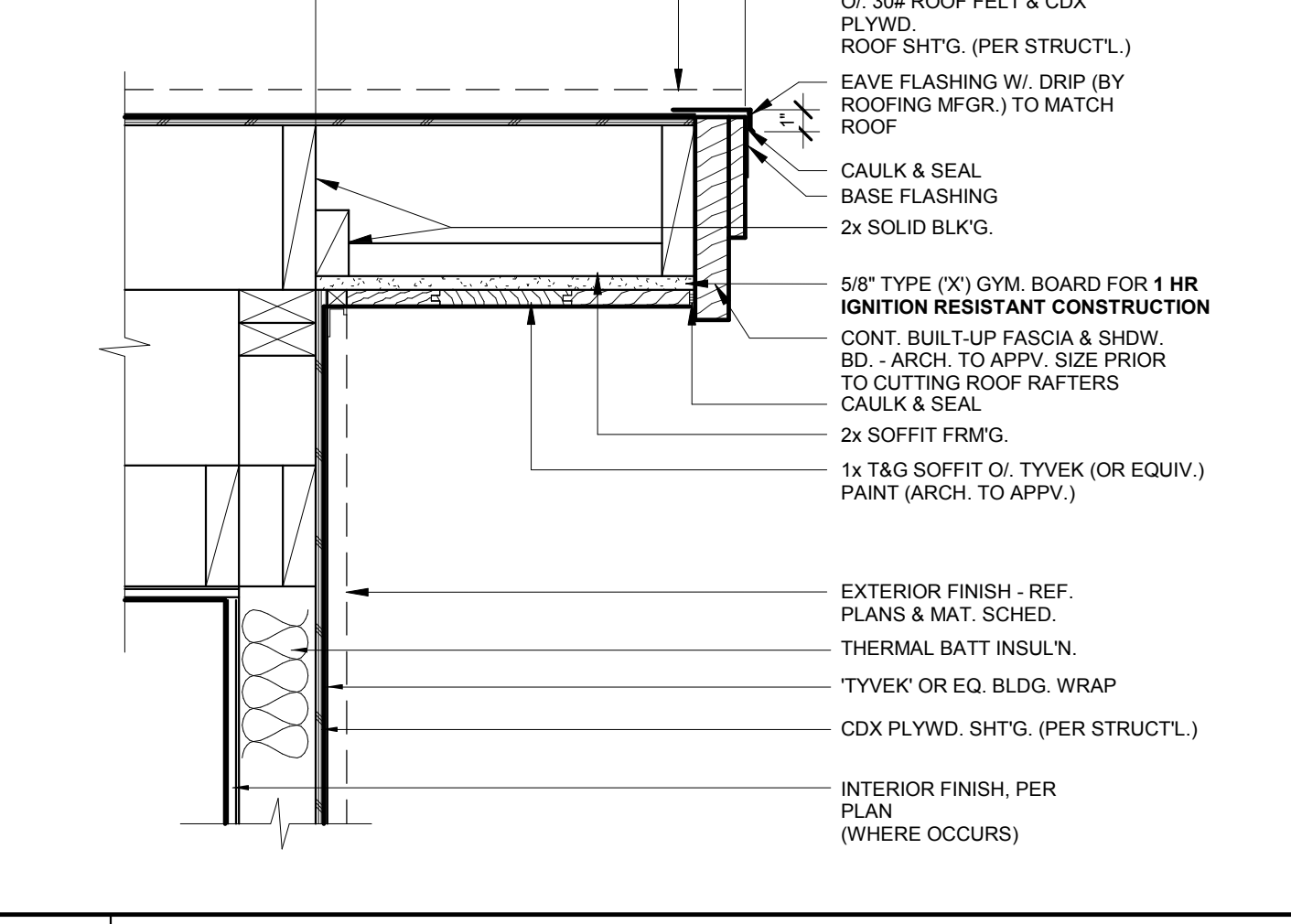
A ROOF VENTILATION NOTES: (CRC R806)



2 SLATE TILE ROOFING
1 1/2" = 1'-0"



3 EAVE DETAIL (1 HR.)
1 1/2" = 1'-0"



4 RAKE DETAIL (1 HR.)
1 1/2" = 1'-0"



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REITER RESIDENCE

STATUS
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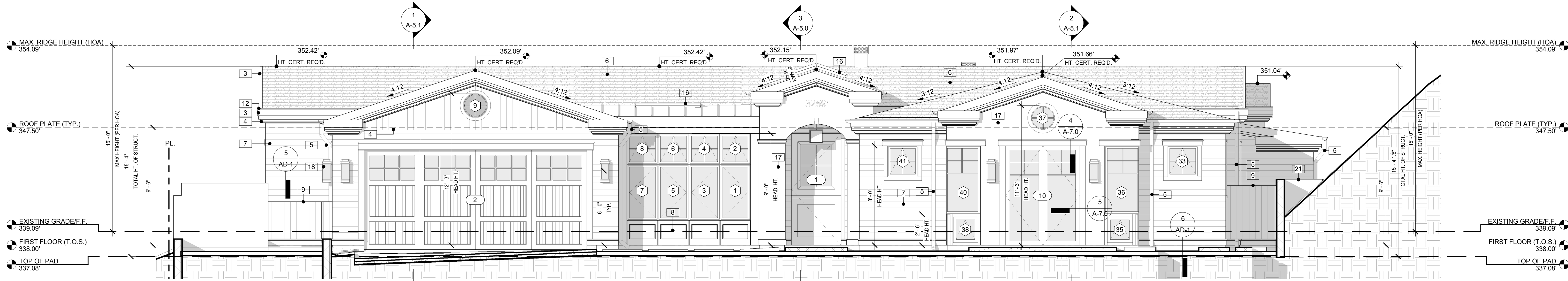
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ROOF PLAN

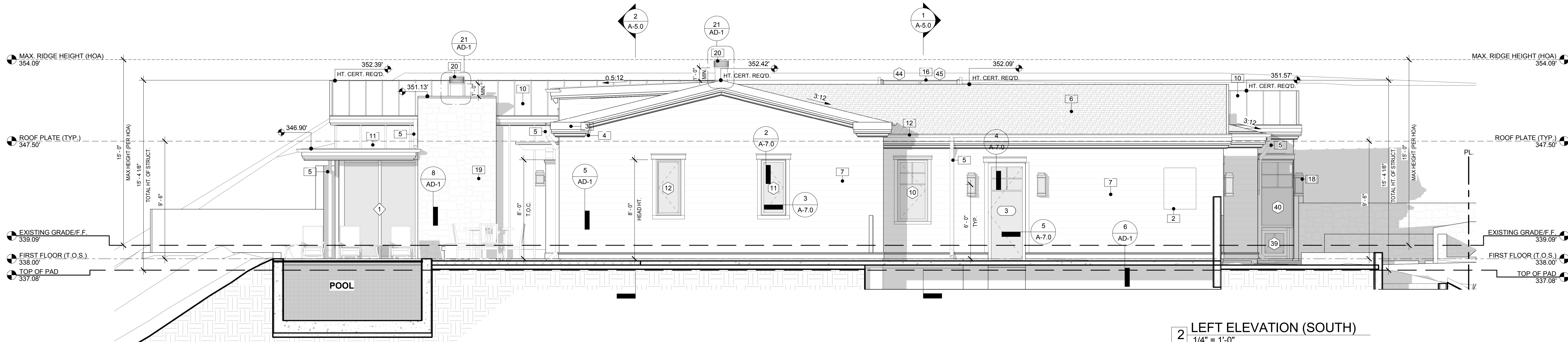
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NO. | REVISION | DATE

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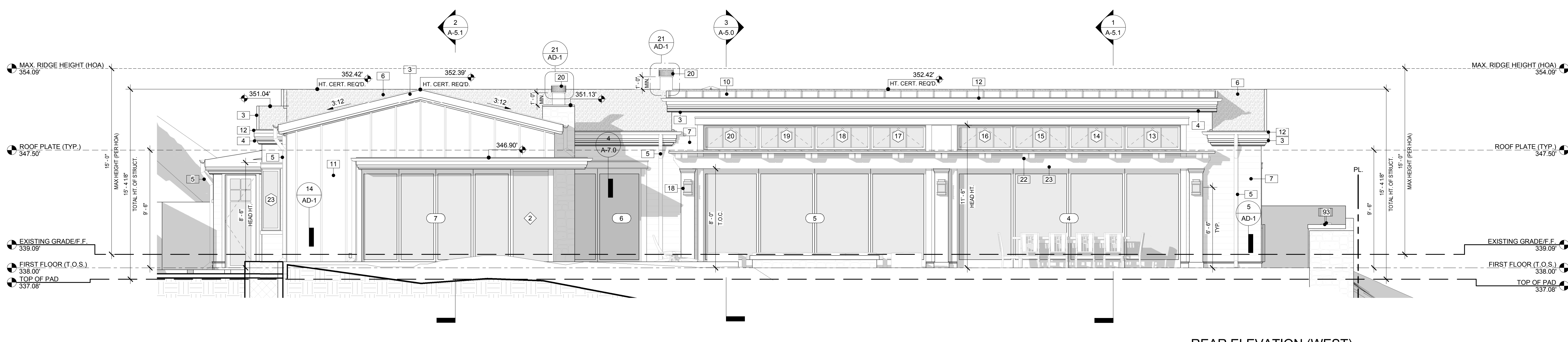
A-3.0



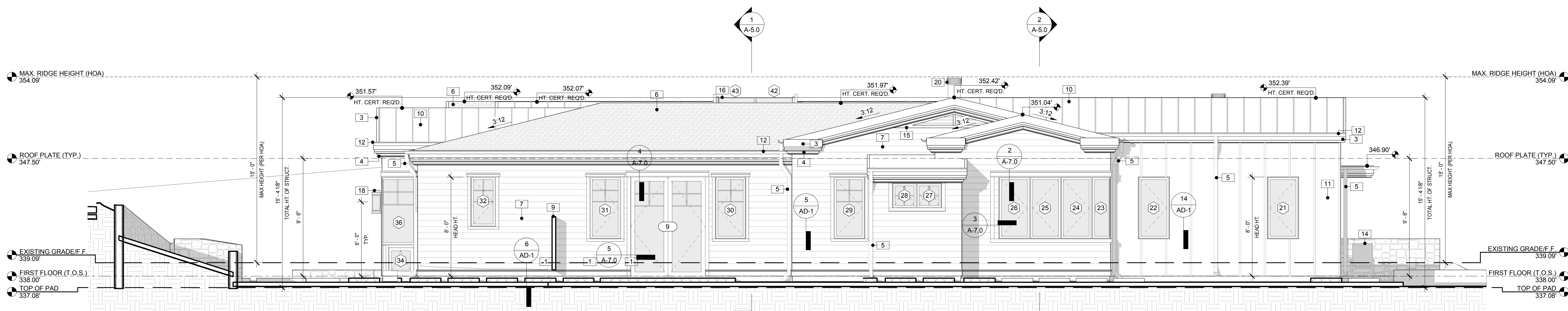
1 FRONT ELEVATION (EAST)
1/4" = 1'-0"



2 LEFT ELEVATION (SOUTH)
1/4" = 1'-0"



3 REAR ELEVATION (WEST)
1/4" = 1'-0"



4 RIGHT ELEVATION (NORTH)
1/4" = 1'-0"

WINDOWS & DOORS:
AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: 3450 LAKESIDE CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNAN
PHONE: 949-872-3319
FAX: 206-696-2150
EMAIL: JYOUNAN@ASSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3250 LAKEPORT BLVD. P.O. BOX 1328; KLAMATH FALLS, OREGON 97601
PHONE: 541-885-7412 OR 800-535-3956
FAX: 541-884-3331
WEB: WWW.JELD-WEN.COM

ALUMINUM WOOD LIFT-N-SLIDE DOORS
MANUFACTURER: PACIFIC ARCHITECTURAL MILLWORKS
PRODUCT: SLIDE & SEAL DOORS
ADDRESS: 1435 W. PIONEER ST. BREA, CA 92821
PHONE: 562-905-3200
FAX: 562-904-9794
WEB: WWW.PACMILLWORK.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: WESTERN WINDOW SYSTEMS
PRODUCT: SERIES 600 & STOREFRONT SYSTEMS
ADDRESS: 8621 S. 26TH ST., PHOENIX, AZ 85040
PHONE: 877-268-1300
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

CEMENT BASED WOOD SIDING:
MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS, INC.
ADDRESS: 10801 ELM AVENUE
FONTANA, CA 92337
P: 951-684-1500

COLOR: PAINTED DURN EDWARDS: WHITE
APPLICATION: SHIPLAP 4"X6"18"
CODE: ICC# NER-405

EXTERIOR STONE VENEER
SUPPLIER: KRC ROCK, NATURAL STONE & BOULDER SUPPLY
700 N. TWIN OAKS VALLEY RD.
SAN MARCOS, CA 92069
P: 760-744-1036

STONE TYPE: TBD
COLOR: TBD
APPLICATION: TBD

THICKNESS: 1" - 1.5" NOMINAL
WEIGHT: <10 PSF.

METAL ROOFING: (CLASS 'A')
MANUFACTURER: CUSTOM BUILT METALS
13940 MAGNOLIA AVE.
CHINO, CA 91710
P: 951-684-1500

PRODUCT: STANDING SEAM METAL ROOFING, CB-150 (NON-REFLECTIVE)
COLOR: TBD

NOTES: USE CONTINUOUS 16" PANS - VERIFY W/ ARCH. SIZE & LOC'N. OF SEAMS (NO TRANSVERSE SEAMS) REF. DTL 1A/4.
WEIGHT: APPX. 2 PSF.

CODE: ICC # ESR-2048, CB-150

SLATE ROOFING:
PRODUCT: SLATE, NATURAL STONE
SUPPLIER: TBD
COLOR: DARK GRAY, TO BE APPROVED BY ARCH. & OWNER
APPLICATION: CLOSED VALLEY W/ MITERED HIP CUTS, 16 GAUGE COPPER FLASHING, STAGGERED COURSES

CODE: CLASS 'A' ASSEMBLY
WEIGHT: APPX. 12 PSF

FLAT COOL ROOFING:
PRODUCT: TPO MEMBRANE
MFG: GAF, EVERGUARD - WWW.GAF.COM
COLOR: ENERGY GRAY 322 (COOL COLOR TECH.)
APPLICATION: REF. DTL 4 & 5A/4 (INSTALL PER MFG.)

CODE: ICC-CLASS A ASSEMBLY (ICC# ESR-1597)
UL LISTING-TGUR1306 TPO FULLY ADHERED CLASS A

BOARD & BATTEN SIDING:
PRODUCT: WOOD WINDSOR 1 OR EQUIV.
MANUFACTURER: TBD
COLOR: COLOR AS SEL. (ARCH. TO APPV.)
APPLICATION: PER DTL 13AD-1

GUTTERS:
MATERIAL: METAL - COPPER/ALUM. PAINTED KYNAR
SHAPE: HALF ROUNDSQUARE (5") (VERIFY W/ ARCH.)

GARAGE DOORS:
SUPPLIER: RANCH HOUSE DOORS
WWW.RANCHHOUSEDOORS.COM
STYLE: CUSTOM

WATERPROOF DECK MEMBRANE:
TUFFLEX POLYMERS
10880 FORLAR AVE.
FONTANA, CA
P: 951-340-2015
WWW.TUFFLEXPOLYMERS.COM

CODE: ICC # ESR-2505

FLASHING & WEATHERSTRIPPING:
PROVIDE MIN. 24 GAUGE METAL (16 OZ) SHEETING (TO MATCH) FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

NOTE: FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.
NOTE: REF. ROOF PLAN (A-3.0) FOR ALL PLATE HTS. & RIDGE HTS.

A MATERIAL SCHEDULE

KEYNOTE LEGEND		
1	1" AC CONDENSER UNITS SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D.	
2	(N) ELECTRICAL SERVICE AND MAIN SERVICE PANEL, 200 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) HANG MIN. 31" ABV. FLOOR PLUMB.	
3	WOOD ROOF FASCIA - LEAVE AS DIMENSIONED (REF. DTL 3, 4A-3.0 & MAT SCHED. A/4-4.0)	
4	CROWN MOULDING, SEAL AND PAINT AS SEL. - ARCH. TO APPV. PROFILE	
5	DOWNSPOUT - KYNAR FINISH TO MATCH METAL ROOFING, SHAPE AS SEL. (ARCH. TO APPROVE)	
6	NATURAL STONE-SLATE ROOFING - REF. DTL 2A-3.0 & MATERIAL SCHEDULE A-4.0	
7	CEMENT BASED WOOD SIDING - REF. MATERIAL SCHEDULE A-4.0 REF. DTL 15AD-1	
8	DECOR. WOOD PANELING - PAINT GRADE - COLOR AS SEL.	
9	IN-LAITE - PER LANDSCAPE ARCHITECT/DESIGNER (MAX. 6" HT. ABOVE NATURAL GRADE)	
10	STANDING SEAM METAL ROOFING - REF. MATERIAL SCHEDULE A-4.0	
11	BOARD & BATTEN WOOD SIDING - REF. MAT. SCHED. A-4.0	
12	GUTTER PER MAT. SCHED. ON SHEET A-4.0 - SHAPE AS SELECTED PER EAVE DETAILS - ARCH. TO APPV. PROFILE	
13	BBO BUILT-IN BBQ - LOCATION PER LANDSCAPE DESIGNER	
14	FURNISHINGS - AS SELECTED	
15	CUSTOM GABLE VENT. - WD. LOUVERS TO BE PAINTED WHITE - PROVIDE WIRE MESH PER ATTIC VENT NOTE ON ATTIC SIDE - ARCH. TO APPV. SIZE & LOC'N.	
16	CUSTOM SLOUGHT - FLAT, FIXED CURB-MOUNTED, SIZE PER WIDW. SCHEDULE, ARCH. TO APPV. SHOP DWGS.	
17	METAL FRAMED AND TEMPLERED GLASS - 'ACRALIGHT' (REF. DTL 23AD-1) ESR-2415 REF. 1/1-1.2 FOR MANDATORY FIRE HAZARD ZONE CONSTRUCTION REGS.	
18	STUCCO FINISH - MIN. 7/8" THK. W/ DIA. LATH, COLOR AS SEL.	
19	EXTERIOR LIGHTING - TO BE HIGH EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #33	
20	STONE VENEER - REF. DTL 13AD-1 & MATERIAL SCHEDULE	
21	CHIMNEY CAP/SPARK ARRESTOR - DTL 21AD-1 (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFG. INST.	
22	LANDS WALLS - REF. ARCH. SITE PLAN FOR ALL WALL HTS. (MAX. 6" ABV. NG.)	
23	TRELLIS MEMBER 6X6 SHAPED TAIL ARCH. TO APPV.	
24	TRELLIS MEMBER 6X12 SHAPED TAIL ARCH. TO APPV.	

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ORIGINAL SIGNATURE

EXTERIOR ELEVATIONS & MATERIAL SCHEDULE

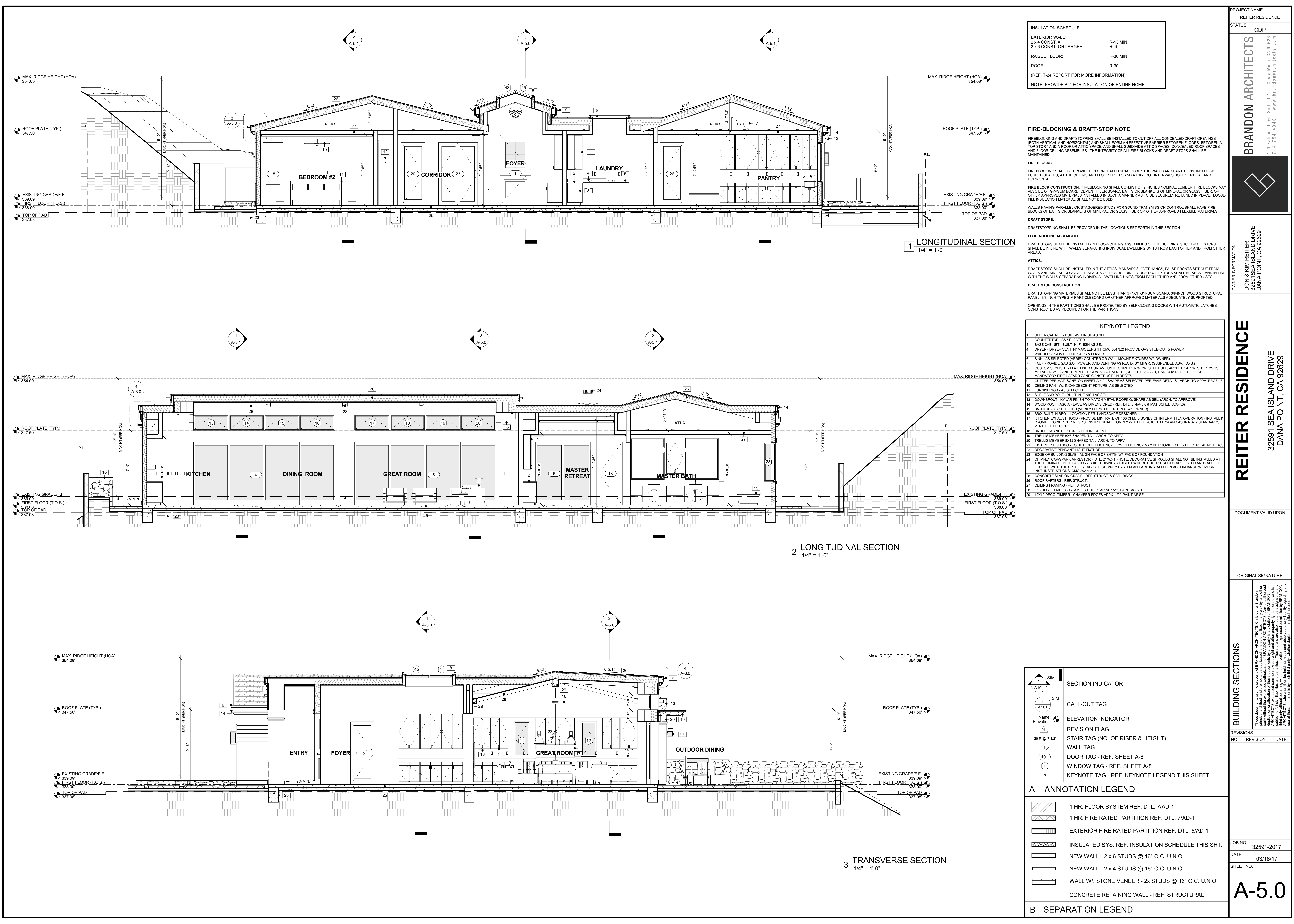
REVISIONS
NO. | REVISION | DATE

JOB NO. 32591-2017

DATE 03/16/17

SHEET NO.

A-4.0



INSULATION SCHEDULE:	
EXTERIOR WALL: 2 x 4 CONST. = 2 x 6 CONST. OR LARGER =	R-13 MIN. R-19
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30
(REF. T-24 REPORT FOR MORE INFORMATION)	
NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME	

FIRE-BLOCKING & DRAFT-STOP NOTE

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBVENE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR/CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

FIRE BLOCKS.

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURSED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION. FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

DRAFT STOPS.

DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

FLOOR-CEILING ASSEMBLIES.

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

ATTICS.

DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER USES.

DRAFT STOP CONSTRUCTION.

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-4 PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

KEYNOTE LEGEND	
1	UPPER CABINET - BUILT-IN, FINISH AS SEL.
2	COUNTERTOP - AS SELECTED
3	BASE CABINET - BUILT-IN, FINISH AS SEL.
4	DRYER - DRYER VENT 14" MAX. LENGTH (CMC 504.3.2) PROVIDE GAS STUB-OUT & POWER
5	WASHER - PROVIDE HOOK-UPS & POWER
6	SINK - AS SELECTED (VERIFY COUNTER OR WALL MOUNT FIXTURES W/ OWNER)
7	FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQD. BY MFG. (SUSPENDED ABV. T.O.S.)
8	CUSTOM SKYLIGHT - FLAT, FIXED CURB-MOUNTED, SIZE PER WINDOW SCHEDULE, ARCH. TO APPV. SHOP DWGS. METAL FRAMED AND TEMPERED GLASS - ACRAUGHT (REF. DTL. 23AD-1) ESR-2416 REF. 1/1-1/2 FOR MANDATORY FIRE HAZARD ZONE CONSTRUCTION REQTS.
9	GUTTER PER MAT. SCHE. ON SHEET A-4.0 - SHAPE AS SELECTED PER EAVE DETAILS - ARCH. TO APPV. PROFILE
10	CEILING FAN - W/ INCANDESCENT FIXTURE, AS SELECTED
11	FURNISHINGS - AS SELECTED
12	SHelf AND POLE - BUILT IN, FINISH AS SEL.
13	DOWNSPOUT - KYNAR FINISH TO MATCH METAL ROOFING, SHAPE AS SEL. (ARCH. TO APPROVE)
14	WOOD ROOF FASCIA - LEAVE AS DIMENSIONED (REF. DTL. 3, A-3.0 & MAT. SCHED. A-4.0)
15	BATHUB - AS SELECTED (VERIFY LOCN. OF FIXTURES W/ OWNER)
16	BBO2 BUILT-IN BBQ - LOCATION PER LANDSCAPE DESIGNER
17	KITCHEN EXHAUST HOOD - PROVIDE MIN. RATE OF 100 CFM, 3 SONES OF INTERMITTENT OPERATION - INSTALL & PROVIDE POWER PER MFG'S. INSTRS. SHALL COMPLY WITH THE 2018 TITLE 24 AND ASHRA 62.2 STANDARDS. VENT TO EXTERIOR
18	UNDER CABINET FIXTURE - FLUORESCENT
19	TRELLIS MEMBER 6X6 SHAPED TAIL, ARCH. TO APPV.
20	TRELLIS MEMBER 2X12 SHAPED TAIL, ARCH. TO APPV.
21	EXTERIOR LIGHTING - TO BE HIGH EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #33
22	DECORATIVE PENDANT LIGHT FIXTURE
23	EDGE OF BUILDING SLAB - ALIGN FACE OF SHOTG. W/ FACE OF FOUNDATION
24	CHIMNEY CAP/SPARK ARRESTOR - IDTL. 21AD-1 (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. B.L.T. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFG. INST. INSTRUCTIONS. CMC 802.4.2.4)
25	CONCRETE SLAB ON GRADE - REF. STRUCT. & CIVIL DWGS.
26	ROOF RAFTERS - REF. STRUCT.
27	CEILING FRAMING - REF. STRUCT.
28	10X12 DECOR. TIMBER - CHAMFER EDGES APPX. 1/2" - PAINT AS SEL.
29	10X12 DECOR. TIMBER - CHAMFER EDGES APPX. 1/2" - PAINT AS SEL.

SECTION INDICATOR	
1 A-101	SECTION INDICATOR
1 A-101	CALL-OUT TAG
Name Elevation	ELEVATION INDICATOR
20 R @ 7 1/2"	REVISION FLAG
101	STAIR TAG (NO. OF RISER & HEIGHT)
101	WALL TAG
101	DOOR TAG - REF. SHEET A-8
101	WINDOW TAG - REF. SHEET A-8
101	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET

A ANNOTATION LEGEND	
1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1	
1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1	
EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1	
INSULATED SYS. REF. INSULATION SCHEDULE THIS SHEET.	
NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.	
NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.	
WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.	
CONCRETE RETAINING WALL - REF. STRUCTURAL	

B SEPARATION LEGEND	

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BUILDING SECTIONS

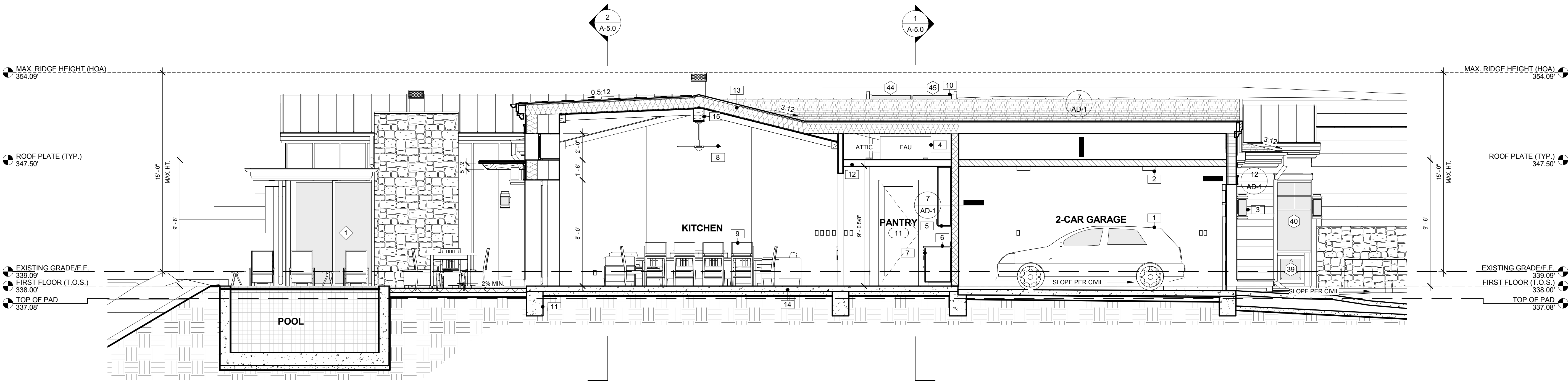
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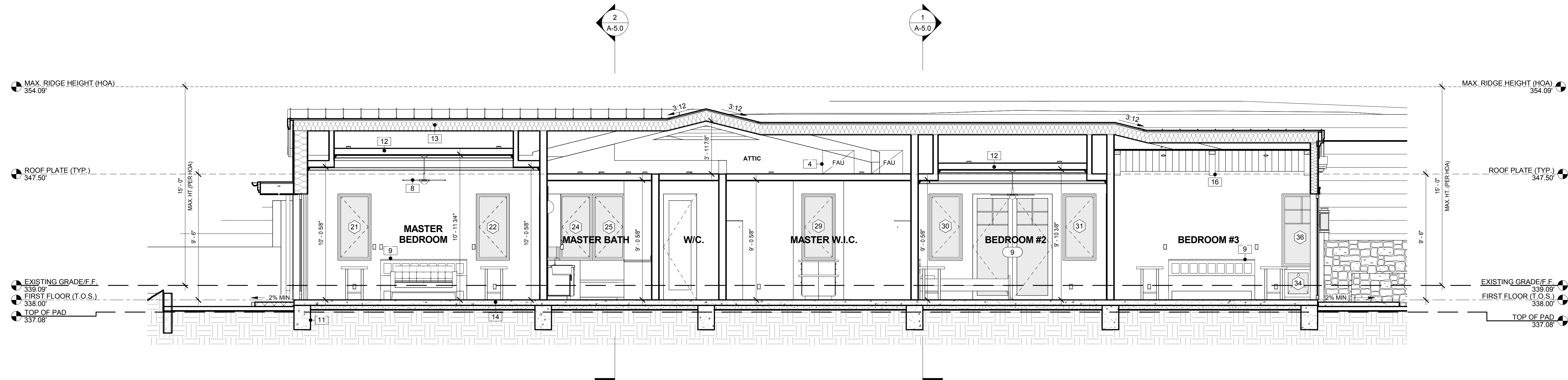
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32591-2017

DATE
03/16/17

SHEET NO.
A-5.0



1 TRANSVERSE SECTION
1/4" = 1'-0"



2 LONGITUDINAL SECTION
1/4" = 1'-0"

INSULATION SCHEDULE:	
EXTERIOR WALL:	
2 x 4 CONST. =	R-13 MIN.
2 x 6 CONST. OR LARGER =	R-19
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30
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NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME	

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FIRE BLOCK CONSTRUCTION. FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE FILL INSULATION MATERIAL SHALL NOT BE USED.

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OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

KEYNOTE LEGEND

1	VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
2	LINEAR FLUORESCENT FIXTURE - CEILING MOUNT (ALT. RECESSES)
3	EXTERIOR LIGHTING - TO BE HIGH-EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #33
4	FAU - PROVIDE GAS S.O. POWER, AND VENTING AS REQD. BY MFGR. (SUSPENDED ABV. T.O.S.)
5	UPPER CABINET - BUILT-IN, FINISH AS SEL.
6	COUNTERTOP - AS SELECTED
7	BASE CABINET - BUILT-IN, FINISH AS SEL.
8	CEILING FAN - W/ INCANDESCENT FIXTURE, AS SELECTED
9	FURNISHINGS - AS SELECTED
10	CUSTOM SMOULIGHT - FLAT, FIXED CURB-MOUNTED, SIZE PER WDW. SCHEDULE, ARCH. TO APPY. SHOP DWGS. METAL FRAMED AND TEMPERED GLASS - "ACRALIGHT" (REF. DTL. 23/AD-1) ESR-2415 REF. 1/1-1.2 FOR MANDATORY FIRE HAZARD ZONE CONSTRUCTION REQTS.
11	EDGE OF BUILDING SLAB - ALIGN FACE OF SHTG. W/ FACE OF FOUNDATION
12	CEILING FRAMING - REF. STRUCT.
13	ROOF PARTERS - REF. STRUCT.
14	CONCRETE SLAB ON GRADE - REF. STRUCT. & CIVIL DWGS.
15	
16	4X6 DECO. TIMBER - CHAMFER EDGES APPX. 1/2", PAINT AS SEL.

	SECTION INDICATOR
	CALL-OUT TAG
	ELEVATION INDICATOR
	REVISION FLAG
	STAIR TAG (NO. OF RISER & HEIGHT)
	WALL TAG
	DOOR TAG - REF. SHEET A-8
	WINDOW TAG - REF. SHEET A-8
	KEYNOTE TAG - REF. KEYNOTE LEGEND THIS SHEET

A ANNOTATION LEGEND	
	1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL

B SEPARATION LEGEND	
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PROJECT NAME
REITER RESIDENCE

STATUS
CDP

BRANDON ARCHITECTS
151 Kilmas Drive, Suite G-1 | Costa Mesa, CA 92626
714.754.4040 | www.brandonarchitects.com

OWNER INFORMATION:
DON & KIM REITER
32591 SEA ISLAND DRIVE
DANA POINT, CA 92629

REITER RESIDENCE
32591 SEA ISLAND DRIVE
DANA POINT, CA 92629

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

BUILDING SECTIONS

REVISIONS

NO. REVISION DATE

JOB NO. 32591-2017

DATE 03/16/17

SHEET NO.

A-5.1

LEGEND

- BLOCK WALL
- AC ASPHALT
- C CENTERLINE
- EG EDGE OF GUTTER
- EMH FINISH FLOOR
- FF FINISH FLOOR
- FPG FINISH FLOOR GARAGE
- FL FLOW LINE
- FS FINISHED SURFACE
- GM GAS METER
- NG NATURAL GROUND
- SCO SEWER CLEAN OUT
- SMH SEWER MANHOLE
- TBX TELEPHONE BOX
- TC TOP OF CURB
- TPB TELEPHONE PULL BOX
- TW TOP OF WALL
- WM WATER METER
- () EXISTING ELEVATION
- FOUND MONUMENT
- MONUMENT TO BE SET
- T.B.M. TEMPORARY BENCHMARK SET ON A GAS METER (GM) ELEVATION = 338.25 FEET

TITLE REPORT/EASEMENT NOTES

32591 SEA ISLAND DRIVE
DANA POINT, CA 92629
(APN: 670-052-05)

NO TITLE REPORT PROVIDED

LEGAL DESCRIPTION

REAL PROPERTY SITUATED IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 44 OF TRACT NO. 4269, AS SHOWN ON A MAP RECORDED IN BOOK 155, PAGES 38 TO 42, INCLUSIVE OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK INFORMATION

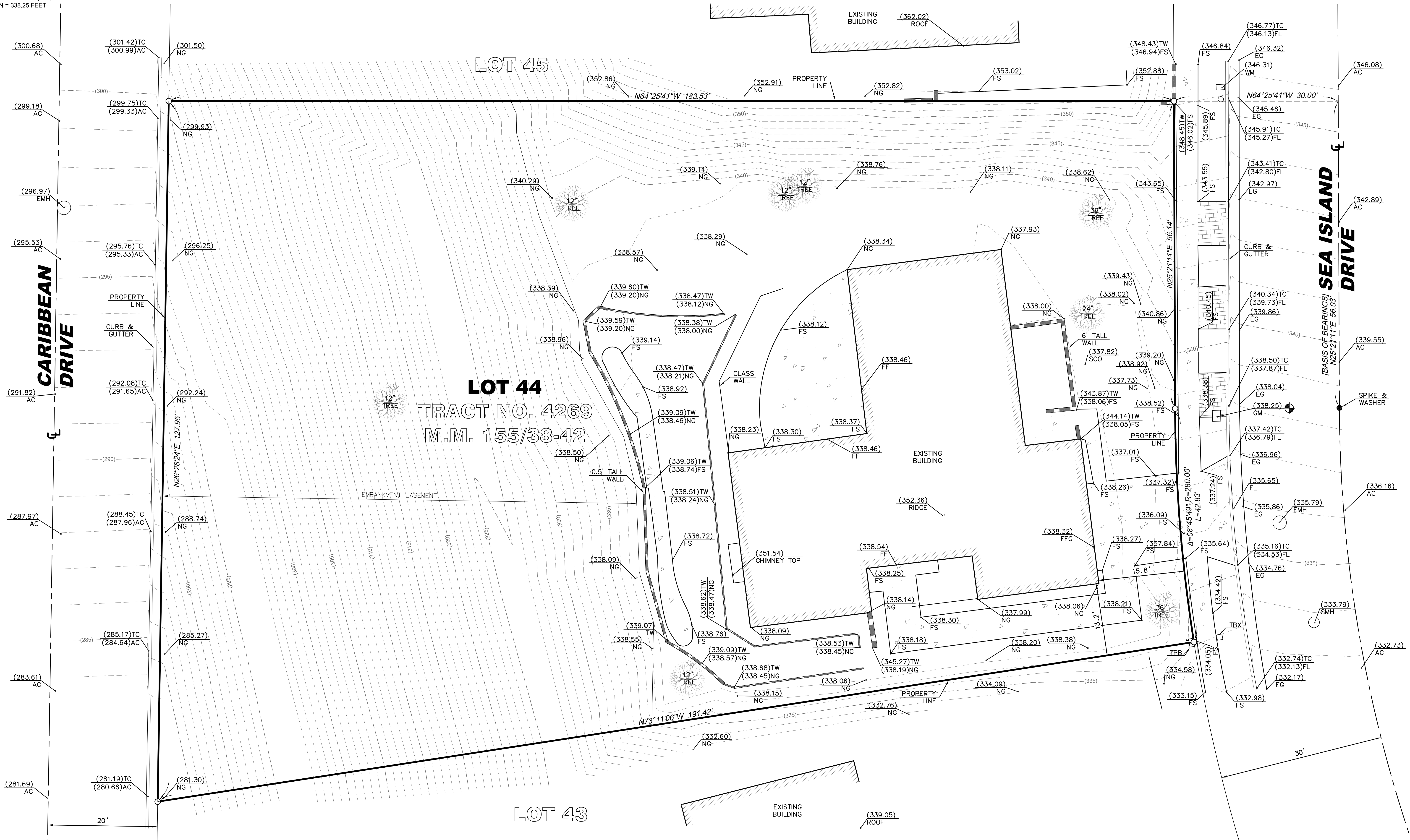
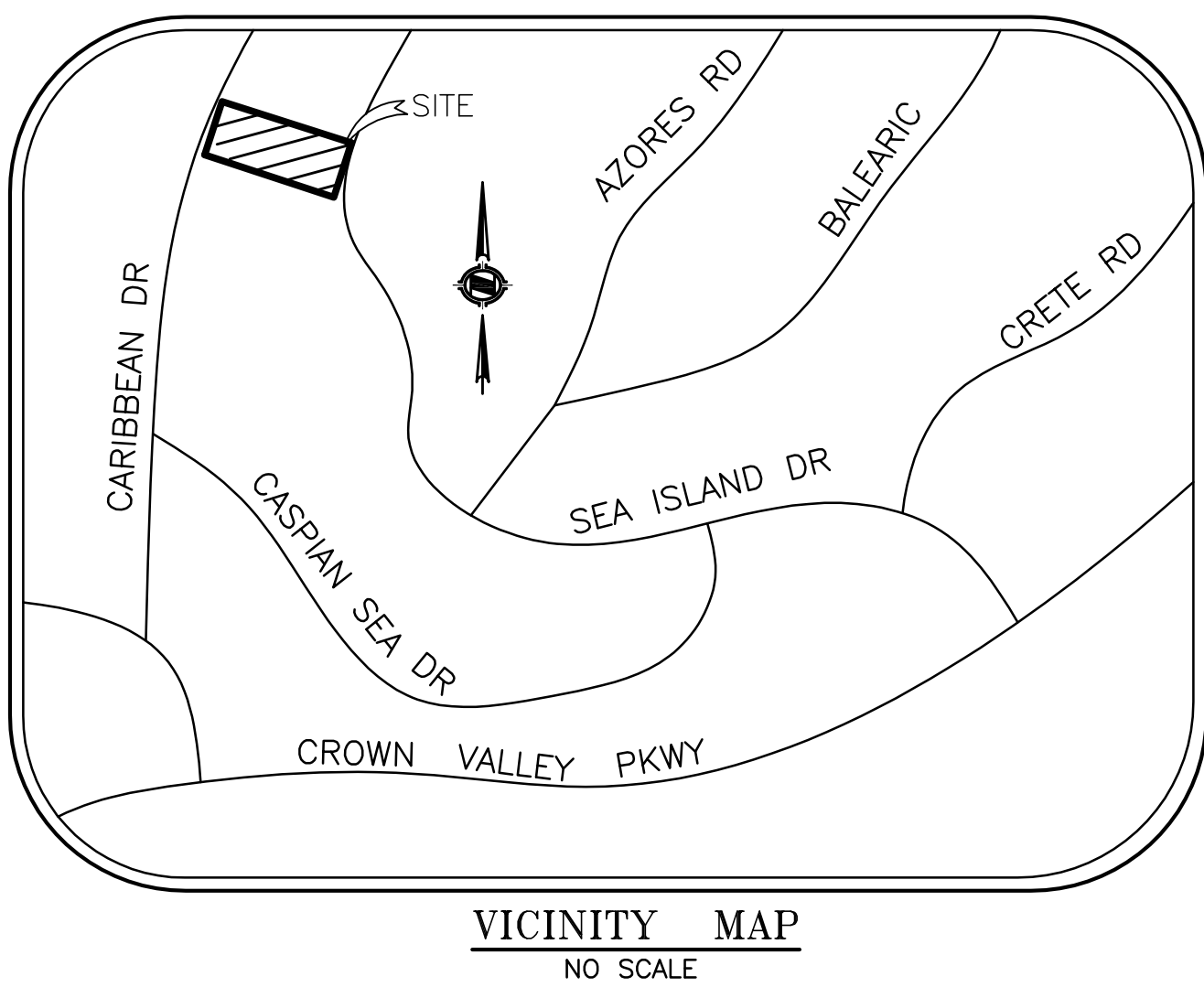
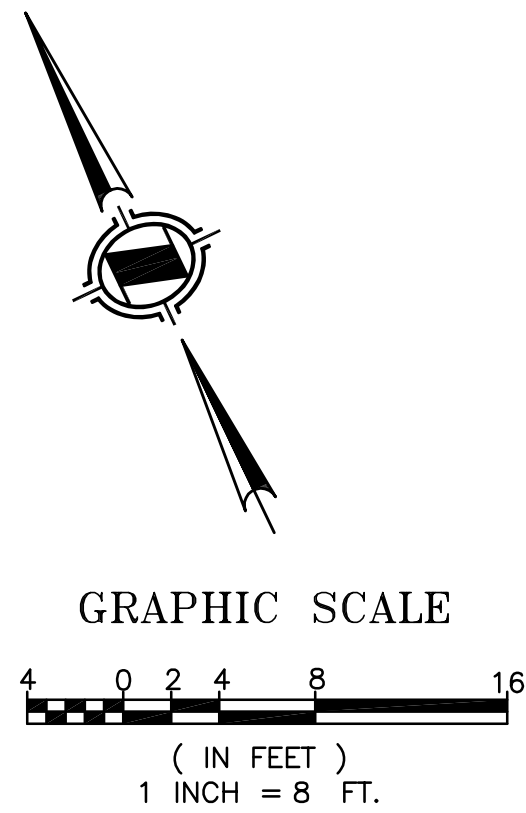
BENCHMARK NO.: 3U-45-80

MONUMENT IS BROKEN IN HALF AND MISSING HALF DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "3U-45-80". SET IN THE TOP OF A 6 IN. BY 6 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE CENTERLINE MEDIAN ALONG CROWN VALLEY PARKWAY, 165 FT. NORTHERLY ALONG THE MEDIAN FROM ITS SOUTHERLY END AT THE INTERSECTION OF SEA ISLAND DRIVE, 3 FT. WESTERLY FROM THE EASTERLY CURB ALONG THE MEDIAN AND 11.2 FT. EASTERLY OF THE WESTERLY CURB ALONG THE MEDIAN. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 270.289 FEET (NAVD83)
YEAR LEVELED: 1991

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SEA ISLAND DRIVE PER M.M. 155/38-42.



3/16/2017
DATE

PAUL D. CRAFT, P.L.S. 8516
LICENSE RENEWAL DATE 12/31/18

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

PROJECT SURVEYOR

DATE 3/25/2016
SCALE 1" = 8'
DRAWN J. A. H.
CHECKED P. D. C.

APEX LAND SURVEYING & INC. &
HUNTINGTON BEACH, CALIFORNIA 92646
PHONE: (714) 488-5006 FAX: (714) 333-4440
APEXLSINC@GMAIL.COM

TOPOGRAPHIC SURVEY

32591 SEA ISLAND DRIVE
DANA POINT, CA 92629
(APN: 670-052-05)

SHEET NO. 1 OF 1

NO.	DESCRIPTION	REVISIONS	
		DATE	APP'D

**CITY OF DANA POINT
NOTICE OF EXEMPTION**

Date: May 22, 2017

To: County Clerk-Recorder
County of Orange
12 Civic Center Plaza, Room 106
P.O. Box 238
Santa Ana, CA 92702
Attn: EIR Clerk

From: City of Dana Point
Community Development Department
33282 Golden Lantern, Suite No. 209
Dana Point, California 92629

Project Title: Administrative Coastal Development Permit CDP16-0022(A), Reiter Residence

Project Location:

The project is located at 32591 Sea Island Drive within the Residential Single Family 4 (RSF4-PRD1) zoning designation. Legal description being Lot 44, of Tract 4269, Assessor's Parcel Number 670-052-05.

Description of Nature, Purpose, and Beneficiaries of Project:

Coastal Development Permit CDP16-0022(A) to permit the demolition of an existing, single-family residence and the construction of a new, single-story, single-family residence.

Name of Public Agency Approving Project: City of Dana Point

Project Applicant: Don and Kim Reiter, Property Owners, 32591 Sea Island Drive, Dana Point, CA, 92629, (203)222-1421

Exempt Status: (Check One)

Statutory Exemption

☐ Section:

☐ Ministerial (Sec. 21080(b)(1); 15268):

☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))

☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))

☒ X_Categorical Exemption: Class: 3 Section: 15303

☐ Exempt: Sections:

Reason Why Project is Exempt:

The project includes a new single-story, single family residence. The proposed residence meets all applicable development standards including lot coverage, setbacks, and heights. The new residence will replace an existing single family residence and is consistent with the neighborhood.

Lead Agency Contact Person:

Sean Nicholas, AICP, Senior Planner
City of Dana Point
32282 Golden Lantern
Dana Point, CA, 92629

Signature: _____ Date: _____ Title: _____

☐ Signed by Lead Agency ☐ Signed by Applicant

Supporting Document #3