

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** May 22, 2017

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
JOHN CIAMPA, SENIOR PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP17-0003 TO ALLOW THE UNDERPINNING OF A HOUSE'S FOUNDATION ON A COASTAL BLUFF LOT LOCATED IN THE RSF-3 ZONING DESIGNATION AT 34567 CAMINO CAPISTRANO

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**RECOMMENDATION:** That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP17-0003.

**APPLICANT:** Patti Thompson, Property Owner

**REPRESENTATIVE:** Patti Thompson, Property Owner

**REQUEST:** Approval of a Coastal Development Permit to allow the underpinning of a house's foundation on a coastal bluff lot located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 34567 Camino Capistrano (APN 123-381-06) (the "Property")

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on May 11, 2017, published within a newspaper of general circulation on May 11, 2017, and posted on May 11, 2017 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes to repair the damaged foundation for the house.

**ITEM #3**

**ISSUES:**

- Project consistency with the Dana Point General Plan and Local Coastal Program Land Use Plan/Implementing Actions Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:**

The Property is comprised of a single, legal lot totaling .23 acres (10,019 square feet) and fronts Camino Capistrano to the northeast and a coastal bluff (as defined in Section 9.27.030 of the DPMC) to the south. The Property contains a two-story, 2,959 square foot single-family residence and attached three car garage and is bordered on three sides by residential development. The Property is zoned Residential Single-Family 3 (RSF-3), located in the City's Coastal Overlay District, as well as the Appeals Jurisdiction of the California Coastal Commission.

The house is a legal nonconforming structure because it was constructed in 1972 prior to the current development standards and the Coastal Act with a 23 foot coastal bluff setback when a 40 foot setback is now required. In 2008, the property received a CDP and Minor Site Development Permit ((SDP(M)) for the demolition of the house and the construction of a new house; however, the project was never initiated by the property owner and the approval expired. As part of the project review, Public Works was comfortable reducing the 40 foot coastal bluff setback (per Section 9.27.030(c)(4) of the DPMC) to 25 feet because of the stable geological conditions of the Property as supported by geotechnical analysis. The current application does not include the demolition of the house rather only a repair to the existing foundation, a new geotechnical report was required and Public Works has reviewed the report and determined that the reduction in the required setback to 25 feet is still acceptable because the geological conditions remain unchanged.

**DISCUSSION:**

The proposed scope of work includes underpinning the house's foundation on a coastal bluff lot to stabilize the settling structure and repair the foundation. Underpinning the foundation would be achieved with the addition of 21 deepened footings that would be three feet wide and five feet deep and secured to the existing foundation. The footings would be placed in specific locations underneath the house to stabilize the foundation. The project will not result in any exterior modifications, increase in height, or relocation of the structure. No other site modifications are proposed in addition to underpinning the house's foundation.

**Coastal Development Permit CDP17-0003**

Per Section 9.69.040 (b)(1) (Exemptions) of the DPMC, proposed improvements to any structure located on a beach, wetland, or seaward of the mean high tide line, or where the structure or proposed improvement would encroach within 50 feet of the edge of a coastal bluff as described in Chapters 9.27 and 9.75, shall require application for a CDP. A CDP is required for this project because the underpinning is located within 50 feet of the coastal bluff edge. As identified on the plans, all of the new structural footings would be located behind the 25 foot setback from the coastal bluff edge and would comply with the applicable development standards for the RSF-3 zoning district. The project would not result in any landform alterations or exterior modifications to the site.

Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 17-05-22-XX, attached to this report as Action Document 1.

**CORRESPONDENCE:** To date, no correspondence has been received regarding this project.

**CONCLUSION:** Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan Zoning Ordinance and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 17-0003 subject to the findings and conditions of approval contained therein.



John Ciampa, Senior Planner



Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 17-05-22-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Plans

**RESOLUTION NO. 17-05-22-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP 17-0003 TO ALLOW THE UNDERPINNING OF A HOUSE'S FOUNDATION ON A COASTAL BLUFF LOT LOCATED IN THE RESIDENTIAL SINGLE-FAMILY 3 (RSF-3) ZONING DISTRICT AT 34567 CAMINO CAPISTRANO**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Patti Thompson (the "Applicant") is the owner of the real property commonly referred to as 34567 Camino Capistrano (APN 123-381-06) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow the underpinning of a house's foundation on a coastal bluff lot; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the application proposes to repair the existing house's foundation; and

WHEREAS, the Planning Commission did, on the 22<sup>th</sup> day of May, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP17-0003.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP17-0003 subject to the following conditions of approval:

**Action Document #1**

Findings:

Coastal Development Permit CDP17-0003

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that Public Works reviewed the geotechnical report for the property and determined that per Section 9.27.030(c)(4) of the DPZC a reduction of the coastal bluff setback from 40 feet to 25 feet is justified based on the geotechnical conditions of the site. The deepened footings to underpin the house's foundation comply with the required 25 foot setback from the coastal bluff edge. The site and proposed improvements are found to comply with the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) standards of the RSF-3 zoning district in that the project will not result in any exterior modifications to the house.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not located between the nearest public roadway and the sea or shoreline and will not impact public access ways or areas of recreation. Adequate public access to public tidelands or areas of recreation exist nearby at City, County, and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facility) because the project proposes the foundation repair of the existing house by underpinning the single-family dwelling. No exterior modifications are proposed as part of the project.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer

areas to protect such resources in that the project is not located adjacent to any environmentally sensitive habitat or scenic resources. The project will not result in any exterior modifications to the site as the foundation underpinning for the house will be located below grade and under the existing footprint of the house. The project will not impact any landscaped areas or result in any alterations to natural landforms.

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that the subject site is a developed property located within an established area of residential uses and the proposed foundation underpinning to the house will comply with the required 25 foot coastal bluff setback. The underpinning of the foundation will not result in any alterations to natural landforms because the work will be located under the existing house's footprint. The project will not result in any expansion of the house or exterior modifications to the site because all of the proposed work is located underneath the house.
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that the proposed project is for the underpinning of a house's foundation on a coastal bluff and will not result in any exterior modifications to the house. The deepened footings for underpinning the foundation will conform to the development standards of the RSF-3 zoning district and the Coastal Overlay District by placing them outside the 25 foot coastal bluff setback. The project will ensure the house remains in character with the neighborhood because it will not result in any exterior modifications to the structure because all of the improvements will be located below grade.
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs in that the project was reviewed by Planning and Building/Safety Division staffs as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.

Conditions:

**General:**

1. Approval of this application permits the underpinning of the house's foundation on a coastal bluff at 34567 Camino Capistrano in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.

Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

2. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
3. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
4. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an

approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant and owner, and their successors in interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
7. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable television and telephone and services. The applicant is responsible to coordinate any potential conflicts or existing easements.
8. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion control measures of a type, size and location as approved by the Director of Public Works. The erosion control measures shall be constructed to the satisfaction of the Director of Public Works prior to and during all construction activities. The applicant shall maintain the erosion control devices until the final approval of all permits.
9. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.

10. The applicant shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
11. The 25' bluff edge setback deviation, as justified by the submitted geotechnical documents, shall be clearly shown on all plans submitted for review and approval.
12. Per Municipal Code Section 9.27.030, no new structure foundations or improvements requiring a building permit will be allowed within the 25' bluff edge setback. Review of the submitted plans indicates that all proposed underpinning foundation elements are shown behind and locally immediately landward of the indicated 25' bluff edge setback line. Please note that any portion of new foundation for any structure/improvement requiring a permit is not allowed within the bluff edge setback. Should the existing foundations and/or slab be found not suitable for the proposed improvements during construction, all new foundations for habitable space will be required to be landward of the 25' bluff edge setback.

**Prior to issuance of a Building Permit:**

13. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
14. All plans submitted shall reflect the determined Bluff Edge and all associated setbacks, as shown on the "Geotechnical Recommendations for Underpinning..." report prepared by Geofirm.

**Prior to final approval of all permits:**

15. A Final Geotechnical Report, presenting the results of all geotechnical observation/testing performed as part of the project, shall be prepared by the geotechnical consultant in accordance with the City of Dana Point Grading Manual.
16. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
17. The final condition of the bluff edge setback shall be in accordance with Municipal Code Section 9.27.030, with no new structure foundations or improvements requiring a building permit within the bluff edge setback.
18. The owner shall coordinate with the Planning Division to schedule a final

site inspection to ensure the project was constructed per plan and all conditions of approval have been satisfied.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 22<sup>nd</sup> day of May, 2017 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Eric A. Nelson  
Planning Commission

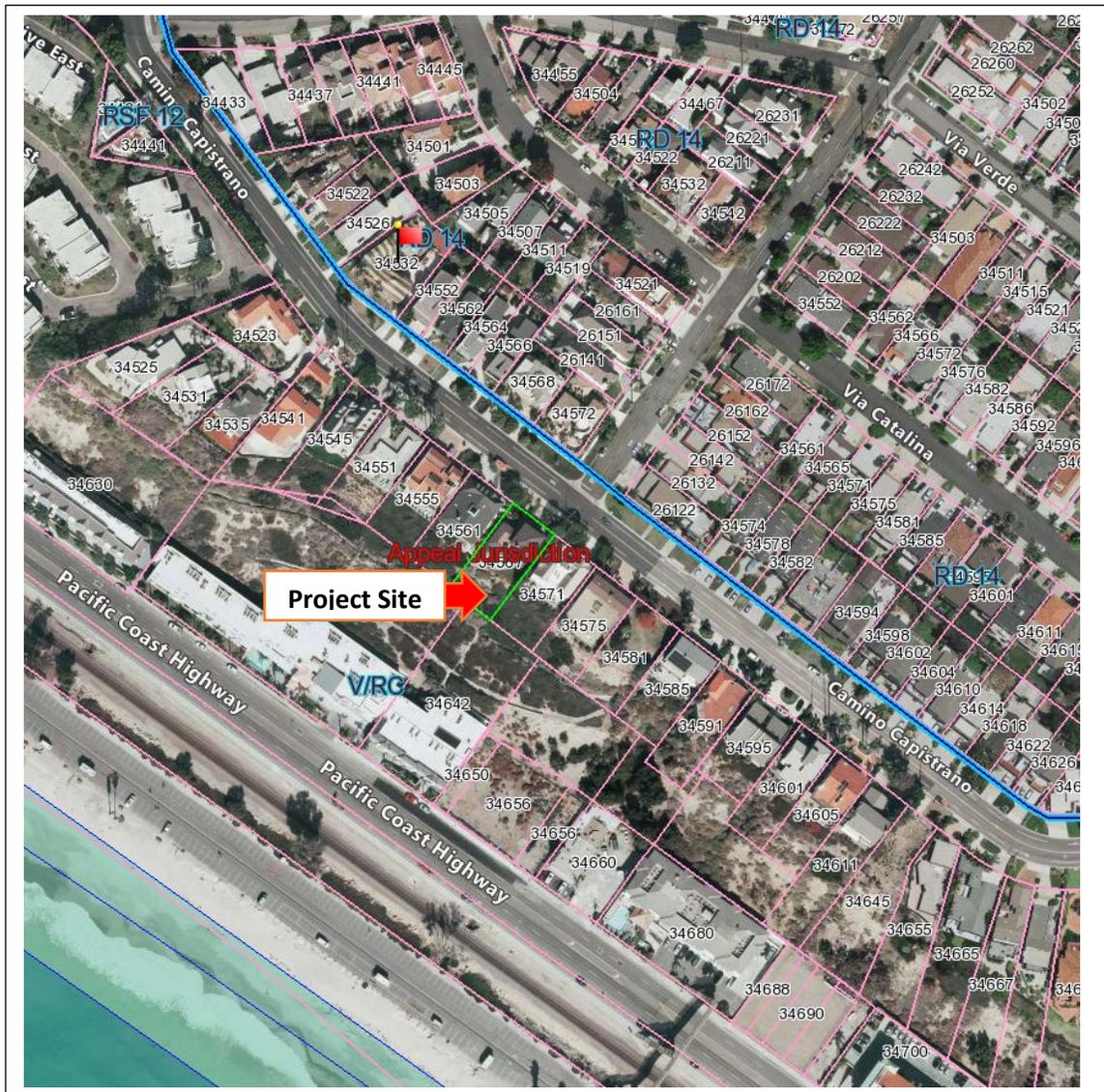
ATTEST:

\_\_\_\_\_  
Ursula Luna-Reynosa, Director  
Community Development Department



# Vicinity Map

34567 Camino Capistrano, CDP 17-0003

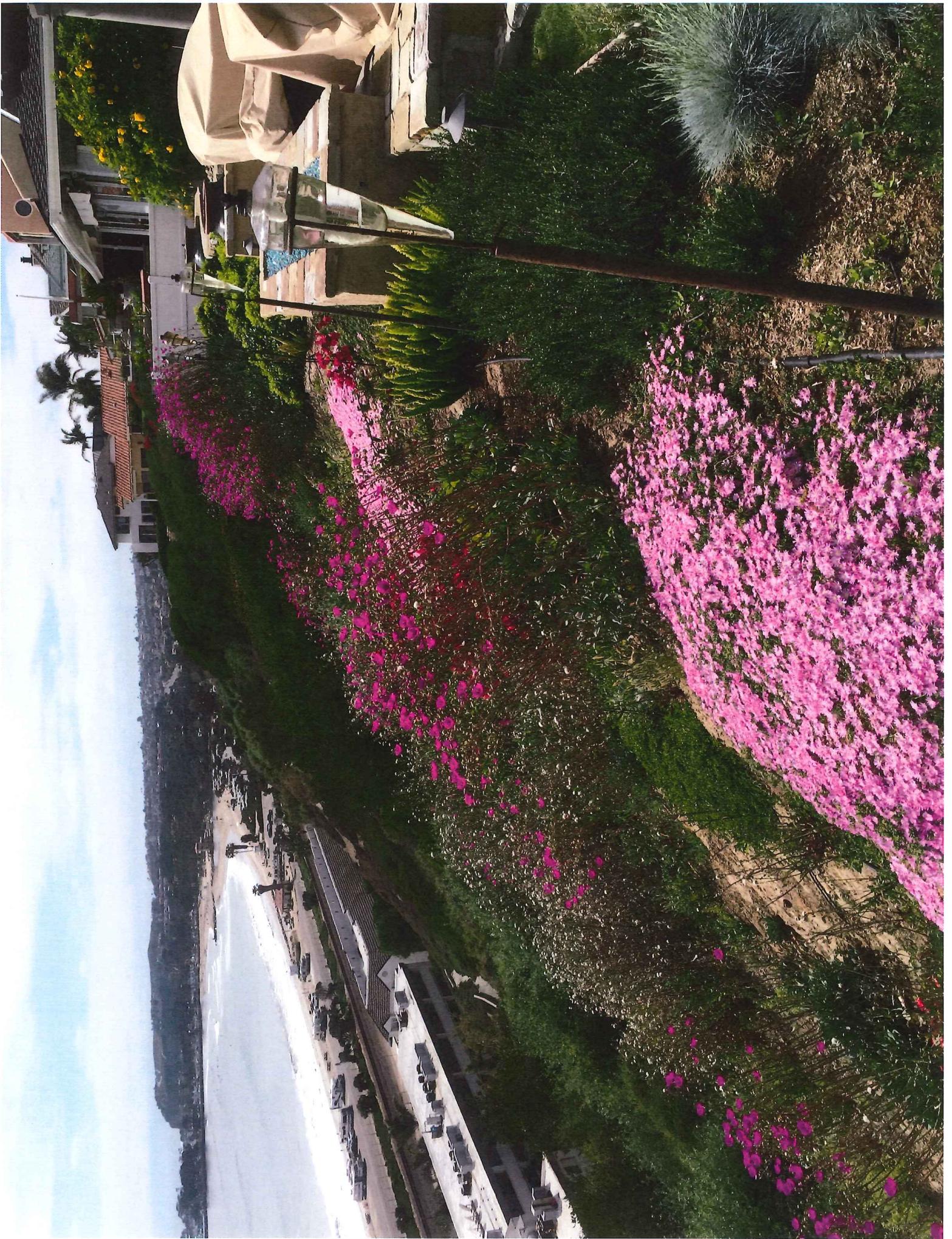




Supporting Document #3

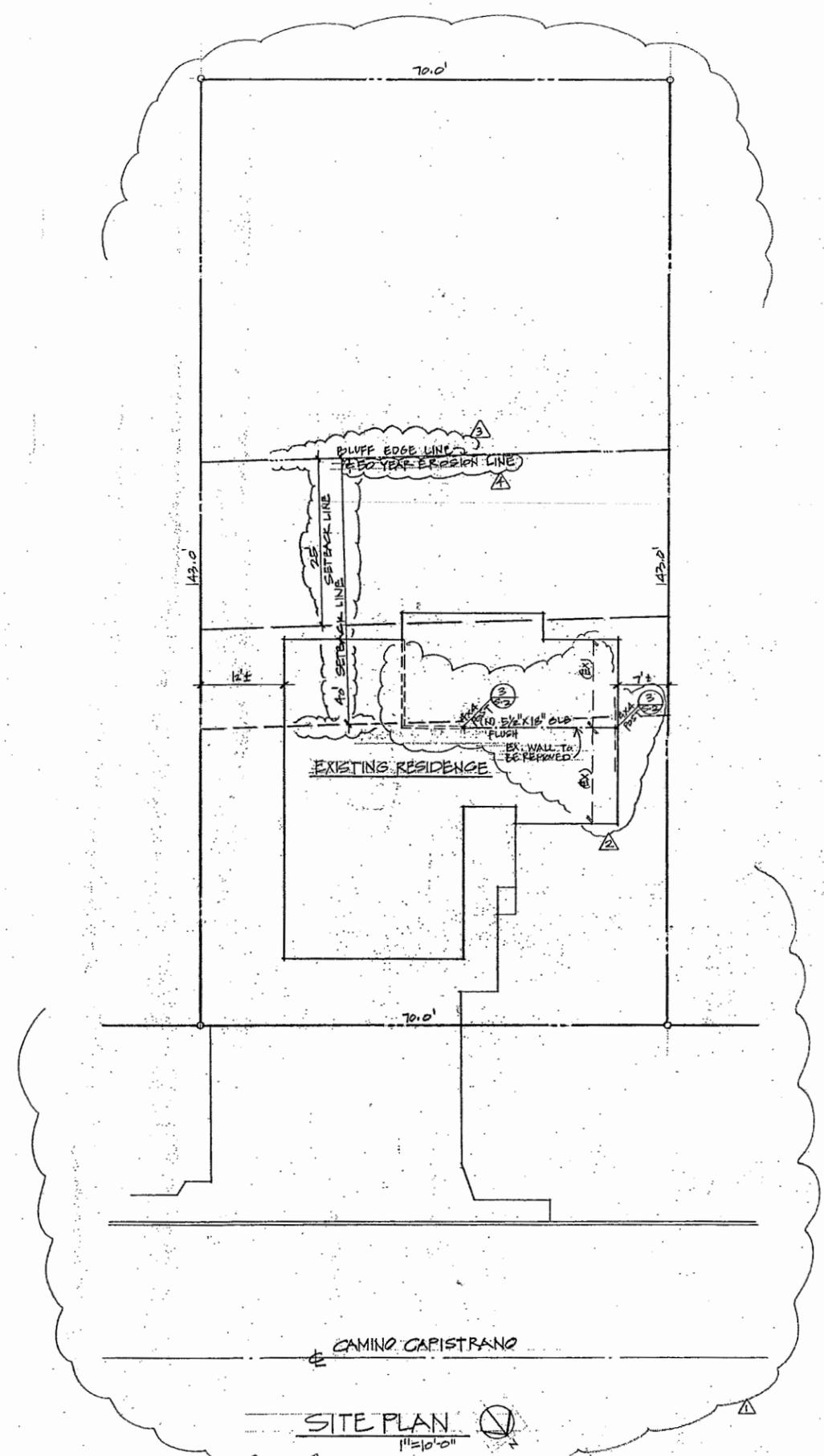












**REINFORCED CONCRETE NOTES**

1. CEMENT SHALL CONFORM TO ASTM C-150, TYPE V. WATER CEMENT RATIO SHALL NOT EXCEED .50.
2. AGGREGATES SHALL CONFORM TO ASTM C-33 FOR NORMAL-WEIGHT CONCRETE AND ASTM C-330 FOR LIGHTWEIGHT CONCRETE.
3. READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-64.
4. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2500 PSI UNLESS NOTED OTHERWISE. 5 BAG MIX. THE MAXIMUM WATER-SOLUBLE CHLORIDE ION CONTENT SHALL BE .15% BY WEIGHT OF CEMENTITIOUS MATERIAL.
5. CONCRETE SHALL HAVE MAXIMUM 4" SLUMP AT POINT OF PLACEMENT.
6. ADMIXTURES MAY BE USED WITH APPROVAL OF THE ENGINEER. ADMIXTURES USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT.
7. REFER TO ARCHITECTURAL DRAWINGS FOR MOULDS, GROOVES, ORNAMENTS, CLIPS OR TEXTURES REQUIRED TO BE CAST INTO CONCRETE AND FOR EXTENT OF DEPRESSIONS, CURBS AND RAMPS.
8. PROJECTING CORNERS OF SLABS, BEAMS, WALLS, COLUMNS, ETC. SHALL BE FORMED WITH A 1" CHAMFER UNLESS NOTED OTHERWISE.
9. CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY AMERICAN CONCRETE INSTITUTE.
10. ALL REINFORCING STEEL SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE POURING OF ANY CONCRETE.
11. LOCATION OF ALL CONSTRUCTION JOINTS NOT SPECIALLY INDICATED ON THE DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING REINFORCING STEEL.
12. THE MAXIMUM PLACING TEMPERATURE OF THE CONCRETE, WHEN DEPOSITED SHALL BE 85 DEGREES F. IF THE WEATHER CAUSES THE PLACING TEMPERATURE TO EXCEED 85 DEGREES F, THE MIX SHALL BE COOLED BY WETTING THE AGGREGATE OR OTHER APPROPRIATE METHOD APPROVED BY THE ENGINEER.
13. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY SUITABLE MEANS DURING PLACEMENT AND SHALL BE THOROUGHLY WORKED AROUND REINFORCEMENT AND EMBEDDED FIXTURES AND INTO CORNERS OF FLOORS.
14. THE MAXIMUM SPACING OF REINFORCING STEEL IN EITHER HORIZONTAL OR VERTICAL DIRECTION SHALL BE 18" O.C.
15. IT IS RECOMMENDED CEMENT WITH A CSA CONTENT NOT GREATER THAN 3% (BY WEIGHT OF CEMENT) BE USED FOR ALL CONCRETE. CEMENT WITH CSA CONTENTS ABOVE 6% ARE NOT ACCEPTABLE.
16. IT SHALL BE THE RESPONSIBILITY OF THE CONCRETE SUPPLIER TO PROVIDE A CONCRETE MIX WHICH SATISFIES THE SPECIFICATIONS OUTLINED ABOVE. PARAMETERS NOT SPECIFIED ABOVE ARE TO BE DETERMINED BY THE CONCRETE SPECIFIER.

**SIMPSON HARDWARE NOTES**

- THESE NOTES ARE PROVIDED TO ENSURE PROPER INSTALLATION OF SIMPSON STRONG-TIE COMPANY INC. PRODUCTS AND MUST BE FOLLOWED FULLY.
1. UNLESS OTHERWISE NOTED, BOLTS AND NAILS CANNOT BE COMBINED. 6d, 10d AND 1/4" SPECIFY COMMON NAILS.
  2. UNLESS OTHERWISE NOTED, HARDWARE IS FOR USE WITH #1 DOUGLAS FIR/LARCH UNDER CONTINUOUSLY DRY CONDITIONS. OTHER SPECIES OR CONDITIONS REQUIRE IMMEDIATE NOTIFICATION OF ENGINEER PRIOR TO INSTALLATION.
  3. ALL REFERENCES TO BOLTS OR NAILS ARE FOR STRUCTURAL QUALITY THROUGH BOLTS EQUAL TO OR BETTER THAN ASTM STANDARD A-307.
  4. UNLESS OTHERWISE NOTED, BENDING STEEL IN THE FIELD MAY CAUSE FRACTURES AT THE BEND LINE. FRACTURED STEEL WILL NOT CARRY LOAD AND MUST BE REPLACED.
  5. A FASTENER THAT SPLITS THE WOOD WILL NOT TAKE THE DESIGN LOAD. EVALUATE SPLITS TO DETERMINE IF THE CONNECTION WILL PERFORM AS REQUIRED. LOGS WOOD TENDS TO SPLIT MORE EASILY AND SHOULD BE EVALUATED AS REQUIRED. IF WOOD TENDS TO SPLIT, CONSIDER PRE-BORING HOLES OF DIAMETER NOT EXCEEDING 1/4" OF THE NAIL DIAMETER (PER THE NATIONAL DESIGN SPECIFICATION).
  6. WOOD SHRINKS AND EXPANDES AS IT LOSES AND GAINS MOISTURE, PARTICULARLY PERPENDICULAR TO ITS GRAIN. SIMPSON MANUFACTURES ITS PRODUCTS TO FIT COMMON DRY LUMBER DIMENSIONS. IF YOU NEED A CONNECTOR WITH DIMENSIONS OTHER THAN THOSE LISTED IN THE CATALOG, SIMPSON MAY BE ABLE TO VARY CONNECTOR DIMENSION, CONTACT FACTORY.
  7. TOP FLANGE HANGERS MAY CAUSE FLOOR UNIFORMNESS. POSSIBLE REMEDIES SHOULD BE EVALUATED BY THE ENGINEER AND INCLUDE USING A FACE MOUNT HANGER AND ROUTING THE BEAM OR CUTTING THE SUBFLOOR TO ACCOMMODATE THE TOP FLANGE THICKNESS.
  8. ALL SPLICED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE SIMPSON CATALOG. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 1/4" FASTENERS ARE COMMON NAILS (6d OR 1/4") AND CANNOT BE REPLACED WITH 1/4" BUSHERS (2d OR 3/4") UNLESS SPECIFIED OTHERWISE.
  9. INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.
  10. USE PROPER SAFETY EQUIPMENT.
  11. WELDING GALVANIZED STEEL MAY PRODUCE HARMFUL FUMES; FOLLOW PROPER WELDING PROCEDURES AND SAFETY PRECAUTIONS.
  12. PNEUMATIC OR POWER-ACTUATED FASTENERS MAY DEFLECT AND INJURE THE OPERATOR OR OTHERS.

**PARALLAM SPECIFICATIONS PARALLEL STRAND LUMBER (PSL)**

MANUFACTURE PER ICC REPORT ESR-1387.

ALLOWABLE STRESSES:

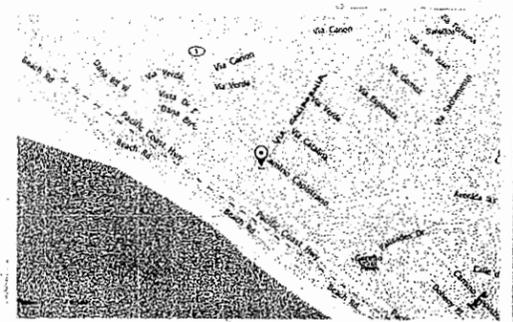
MODULUS OF ELASTICITY	E = 20 X 10 <sup>6</sup> psi
RESILUAL STRESS	F <sub>r</sub> = 2800 psi
TENSION PARALLEL TO GRAIN	F <sub>t</sub> = 2400 psi
COMPRESSION PERPENDICULAR TO GRAIN (X181)	F <sub>c</sub> = 750 psi
COMPRESSION PARALLEL TO GRAIN	F <sub>c</sub> = 2800 psi
HORIZONTAL SHEAR (X181)	F <sub>v</sub> = 280 psi

SPECIES: DOUGLAS FIR  
SEAL: ENDS ONLY  
WRAP: SEASONAL

**TIMBER NOTES (GRADES PER WWPA GRADING RULES, DOUGLAS FIR/LARCH)**

- |                       |                           |
|-----------------------|---------------------------|
| 4X AND LESS           | F <sub>b</sub> = 1000 psi |
| #2                    | F <sub>b</sub> = 900 psi  |
| 6X AND GREATER        | F <sub>b</sub> = 1850 psi |
| 2/2 D.F. PARALLAM PSL | F <sub>b</sub> = 2800 psi |
1. ALL TIMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH DOCUMENT PS 20.
  2. CUTTING, NOTCHING OR DRILLING OF BEAMS OR JOISTS TO BE PERMITTED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
  3. UNLESS OTHERWISE SPECIFIED, ALL FASTENERS SHALL CONFORM TO TABLE 2304.9.1 OF THE 2009 IBC.
  4. ALL BOLTS OR PLATES RESTING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR. BOLTS SHALL BE PLACED 3" FROM THE END OF A BOARD OR FROM A NOTCH AND PLACED AT INTERVALS NOTED.
  5. ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS. ALL BOLT HOLES FOR WOOD CONNECTIONS SHALL BE DRILLED 1/8" DIAMETER LARGER THAN NOMINAL BOLT DIAMETER.
  6. ALL FRAMING ANCHORS, POST CAPS, COLUMN BASES, ETC. SHALL BE AS MANUFACTURED BY SIMPSON COMPANY. NO SUBSTITUTIONS PERMITTED WITHOUT ENGINEER'S AUTHORIZATION PRIOR TO CONSTRUCTION. ALL HARDWARE SHALL BE INSTALLED PER SIMPSON COMPANY REQUIREMENTS.
  7. GENERAL FRAMING PER SECTION 2303 OF THE 2009 IBC.
  8. STUDS IN EXTERIOR WALLS OR INTERIOR BEARING PARTITIONS SHALL NOT BE CUT OR NOTCHED MORE THAN 25% OF THEIR WIDTH. INTERIOR NON-BEARING PARTITIONS MAY BE NOTCHED 40% OF THEIR WIDTH.
  9. BORED HOLES IN ANY STUD SHALL BE LIMITED TO 40% OF THEIR WIDTH AND SHALL BE LOCATED AT LEAST 5/8" FROM THE EDGE OF STUD.
  10. STUCCO LATH AND DRYWALL SHALL BE NAILED TO ALL WALL STUDS AND TO TOP AND BOTTOM WALL PLATES.
  11. ALL WOOD MEMBERS, INCLUDING WOOD SHEATHINGS THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 4" FROM EXPOSED BATHS SHALL BE PRESERVATIVE-TREATED OR FOUNDATION REDWOOD ALL MARKED OR BRANDED BY AN APPROVED AGENCY.
  12. FASTENERS FOR PRESERVATIVE TREATED AND PRESERVATIVE-TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC COATED FASTENERS SHALL AS IN ACCORDANCE WITH ASTM A153 SECTION 5.3. FASTENERS OTHER THAN NAILS, TIMBER BOLTS, WOOD SCREWS SHALL BE PERMITTED TO BE MECHANICALLY DEPOSITED ZINC COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM A153. CLASS 55 MINIMUM. FASTENINGS FOR WOOD FOUNDATIONS SHALL BE AS REQUIRED IN AF & PA TECHNICAL REPORT NO.7.
  13. ALL ENGINEERED WOOD PRODUCTS (EWP) SUPPLIED ON THIS PROJECT MUST BE SUPPLIED BY ONE MANUFACTURER. MIXING OF EWP PRODUCT MANUFACTURERS IS NOT PERMITTED AND WILL RENDER THE EWP PRODUCT WARRANTY VOID. THE RESPONSIBLE PARTY WILL BE REQUIRED TO REMOVE AND REPLACE ALL EWP PRODUCTS THAT DO NOT COMPLY.

34567 Camino Capistrano, Dana Point, CA 92624-1231



VICINITY MAP  
NO SCALE

**CITY OF DANA POINT**  
COMMUNITY DEVELOPMENT, BUILDING AND SAFETY  
3325 Golden Lanterns, Suite 209  
Dana Point, CA 92629  
949 248-3594  
www.danapoint.ca.gov

A040-SCHEDULE  
2013 CALIFORNIA CODES  
01/01/2014  
SCHEDULE OF SPECIAL INSPECTIONS & STRUCTURAL OBSERVATIONS

ADDRESS: 34567 CAMINO CAPISTRANO PERMIT NUMBER: \_\_\_\_\_  
OWNER: PATTI THOMPSON  
ROP: HAROLD LARSON

\*Registered Design Professional or Engineer of Record

THE FOLLOWING TABLE SHALL BE MADE A PART OF THE PLANS

CONCRETE
Concrete Beams, Grade Beams, Tie Beams steel reinforcement
Cast-in-place concrete reinforcement
Reinforcing steel and placement in footings
Reinforcing steel and placement in Walls and Retaining Walls
Adhesive of Expansion anchors
Flagpole foundations
Concrete Deck & supports
MASONRY N/A
Retaining walls
Pilasters
Reinforcing steel and placement
Adhesive or Expansion anchors
WOOD N/A
Connections including nailing, bolting, tie downs, beam hangers, framing hangers
Prefabricated wood shear panels per the ES Report for the product
Load path connections, drag struts, collectors, A34/A35, blocking, etc.
Thickness and nail spacing of diaphragms
Shear wall type, length, nailing, 3K members and Holdowns
Guardrail/handrail support post attachment details
STRUCTURAL STEEL N/A
Field welding
Moment Frame connections & attachments

\*mark this column for items applicable to the project

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL DIMENSIONS AND CONTACTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
3. RESOLVE ANY CONFLICTS ON THE DRAWINGS WITH THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
4. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO BEGINNING EXCAVATION.
5. NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS.
6. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE 2002 EDITION OF THE INTERNATIONAL BUILDING CODE AND THE 2006 CALIFORNIA BUILDING CODE.

**REINFORCING STEEL NOTES**

1. GRADE 40 (F<sub>y</sub> = 40 ksi) REINFORCEMENT SHALL CONFORM TO ASTM A63 AND SMALLER GRADE 60 (F<sub>y</sub> = 60 ksi) REINFORCEMENT SHALL CONFORM TO ASTM A706 #3 AND LARGER.
2. REINFORCING DETAILING, BENDING AND PLACING SHALL BE IN ACCORDANCE WITH CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE" LATEST EDITION.
3. LAPS AT BAR SPLICES SHALL BE 40 BAR DIAMETER OR 12" MINIMUM FOR CONCRETE AND 36 BAR DIAMETER OR 24" MINIMUM FOR MASONRY UNLESS NOTED OTHERWISE.
4. VERTICAL BARS IN WALLS SHALL BE ACCURATELY POSITIONED AT THE CENTER OF WALL UNLESS NOTED OTHERWISE IN DETAILS AND SHALL BE TIED IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 18" BAR DIAMETER.
5. REINFORCING STEEL SHALL BE PROVIDED WITH THE FOLLOWING AMOUNTS OF CONCRETE COVER: FOOTINGS (CONCRETE DEPOSITED AGAINST EARTH); CONCRETE SURFACE (FORMED) EXPOSED TO EARTH OR WEATHER.
6. ALL REINFORCING STEEL SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE OR GROUT.

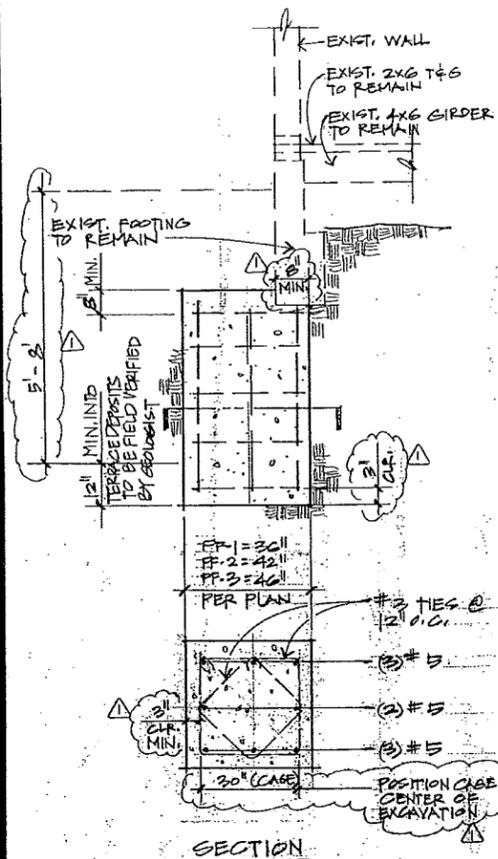
REVISIONS	BY
1. PER CONTRACTOR 1-11-17	
2. 2-3-17	
3. P.L. CORRA 3-28-17	
4. BLUE DEPT 4-12-17	

harold larson structural design  
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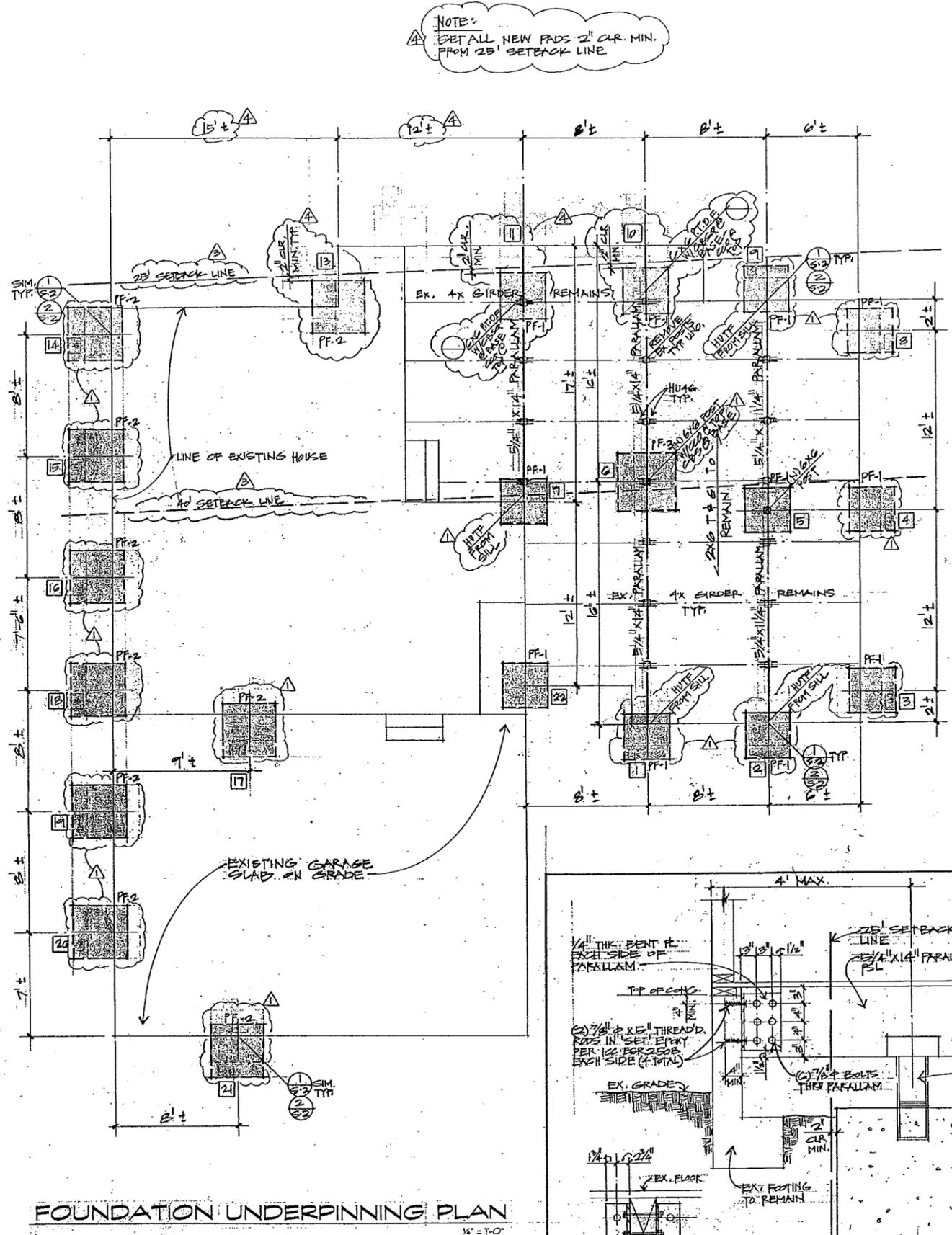
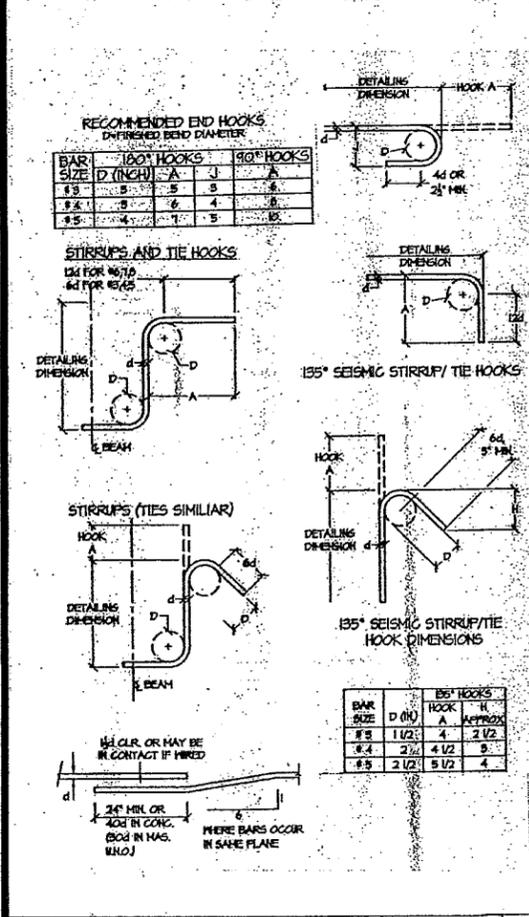
THOMPSON UNDERPINNING  
34567 CAMINO CAPISTRANO  
CAPISTRANO BEACH, CALIFORNIA

STRUCTURAL NOTES  
7/14/18

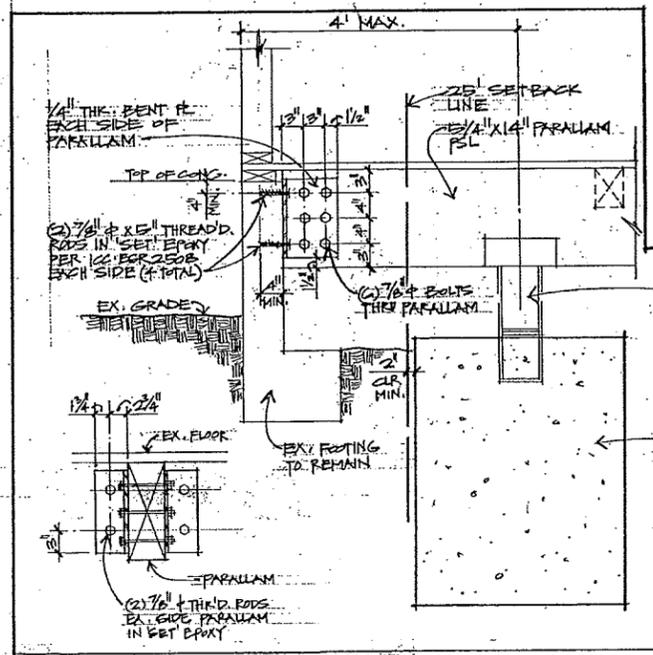
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1  
OF SHEETS



TYPICAL PAD FOOTING N.T.S. 1



FOUNDATION UNDERPINNING PLAN 1/4" = 1'-0"



FOOTING AT 25' SETBACK LINE N.T.S. 4

- FOUNDATION NOTES**
1. NAILING INTO PRESSURE TREATED WOOD SILL PLATE SHALL USE HOT DIPPED ZINC COATED GALVANIZED OR STAINLESS STEEL NAILS.
  2. THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT. DATE: \_\_\_\_\_
  3. ALL DIMENSIONS SHALL BE FIELD VERIFIED WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE RESOLVED WITH ENGINEER.
  4. PRIOR TO CALLING FOR FOUNDATION INSPECTION, FINAL GRADINGS AND COMPACTION REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT AND ANY REVISION FROM THE ORIGINAL SOILS REPORT INCORPORATED INTO THE PLANS AND SPECIFICATIONS.
  5. PRIOR TO FOUNDATION INSPECTION, ALL REQUIRED CAST-IN-PLACE FASTENERS SHALL BE SECURELY TIED IN PLACE.
  6. THE RESPONSIBLE ENGINEERING GEOLOGIST SHALL INSPECT AND APPROVE GRADINGS AND EXCAVATIONS PRIOR TO PLACEMENT OF FORMS, REINFORCING STEEL OR CONCRETE. IN CASES INVOLVING ENGINEERED FILL, A SOILS ENGINEER SHALL PROVIDE THE INSPECTION AND APPROVAL.
  7. REMOVE AND RE-COMPACT SOIL AT ALL SLAB AREAS PER SOILS ENGINEER'S REQUIREMENTS.
  8. USE CBSQ POST BASE AT POSTS UNLESS NOTED OTHERWISE ON PLANS.
  9. SEE SITE PLAN FOR FINISH AND EXISTING GRADE ELEVATIONS AND CONTOURS.
  10. SOIL DESIGN PARAMETERS:  
CLASSIFICATION: SM  
BEARING CAPACITY: 3000 psf  
EXPANSIVE POTENTIAL: LOW  
PASSIVE RESISTANCE: 100 ksf/ft  
FRICTION: 3%
  11. CAISSONS SHALL HAVE A MINIMUM EMBEDMENT INTO COMPETENT SOIL OF AS NOTED.
  12. THE RECOMMENDATIONS OF THE REFERENCED SOILS REPORT SHALL BE FOLLOWED AND THE REPORT SHALL BECOME A PART OF THESE CONSTRUCTION DOCUMENTS. REPORT HAS BEEN PREPARED BY: GEORGE W. PROJECT NO. 7718-02 REPORT NO. 04-7887 DATED: 11-2-2004
  13. SOILS ENGINEER SHALL VERIFY WITH A FIELD MEMO THAT CONSTRUCTION AT THE SITE IS IN ACCORDANCE WITH THE RECOMMENDATIONS AND CONCLUSIONS OF HIS REPORT. SOILS ENGINEER SHALL STAMP AND SIGN MEMO.
  14. FINISHED EXCAVATION FOR FOUNDATION SHALL BE NEAT AND TRUE TO LINE WITH ALL LOOSE MATERIAL AND STANDING WATER REMOVED FROM EXCAVATION.
  15. ALL FILL MATERIAL IS TO BE APPROVED BY A SOILS ENGINEER AND IS TO BE COMPACTED TO 90% OF MAXIMUM DENSITY (OR MORE AS DIRECTED). INSPECTION IS REQUIRED DURING FILL AND COMPACTION.
  16. THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK.
  17. IF SHORING IS REQUIRED, OBTAIN A SHORING PERMIT PRIOR TO ISSUANCE OF BUILDING PERMIT.
  18. IF SHORING IS REQUIRED PRIOR TO ANY EXCAVATION, A MEETING SHALL BE HELD AT THE SITE THAT WILL BE ATTENDED BY THE PROJECT ENGINEERING GEOLOGIST, PROJECT BUILDING INSPECTOR, GENERAL CONTRACTOR AND SHORING CONTRACTOR.
  19. ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH ARE IN DIRECT CONTACT WITH EARTH AND SILLS THAT REST ON CONCRETE OR MASONRY FOUNDATIONS SHALL BE TREATED WOOD #2 D.F. OR FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.
  20. SHORING SYSTEMS, EXCAVATIONS, SURCHARGE FILLS AND RETAINING WALLS WITHIN THE POTENTIAL INFLUENCE OF ADJACENT PROPERTIES OF ADJACENT STRUCTURES SHOULD BE MONITORED CONTEMPORANEOUSLY WITH CONSTRUCTION ACTIVITIES TO ESTABLISH SATISFACTORY PERFORMANCE WITH TIME AND VARYING CONDITIONS. INSTRUMENTATION MEASUREMENTS SHOULD BE INCORPORATED IN THE MONITORING PROGRAM IN ORDER TO OBTAIN REAL TIME DATA OF CRITICAL ELEMENTS DURING CONSTRUCTION.

**REQUIRED VERIFICATION AND INSPECTION OF SOILS**

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
1. Verify materials below footings are adequate to achieve the design bearing capacity.		●
2. Verify excavations are extended to proper depth and have reached proper material.		●
3. Perform classification and testing of controlled fill materials.	N/A	
4. Verify use of proper materials, densities and fill thicknesses during placement and compaction of controlled fill.	N/A	
5. Prior to placement of controlled fill, observe subgrade and verify that site has been prepared properly.	N/A	

**Stock Glulam Specification**

Glulam Beam Design Values  
Glulam shall be Douglas Fir combination symbol 24F-V4.

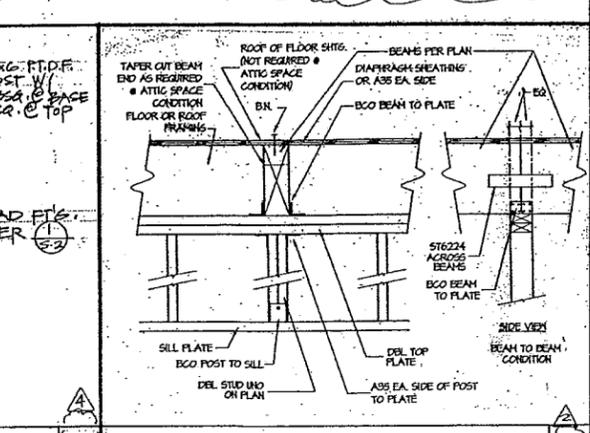
**Roofing X-Beam: Design Values**

Product	Lump Condition	Flexural Stress $F_b$ (psi)		Compression Perpendicular to Grain $F_c$ (psi)	Shear $F_v$ (psi)	MOE (10 <sup>6</sup> psi)	
		Service Zone	Compression Zone			Approved	Use
Timber	24F4	2400	1800	450	255	1.8	1.1

Lumber Species: Glulam members shall be manufactured from Douglas Fir laminating lumber.

Appearance Classification  
Members shall be Architectural Appearance  
• Voids larger than 3/4" are filled  
• Low laminations are repaired  
• All exposed faces are sanded  
• Corners of the wide faces exposed to view are cased

Protection: Beams to be individually wrapped  
Lumber: Shall be 5000 feet radius



FLUSH BEAM AT WALL N.T.S. 3

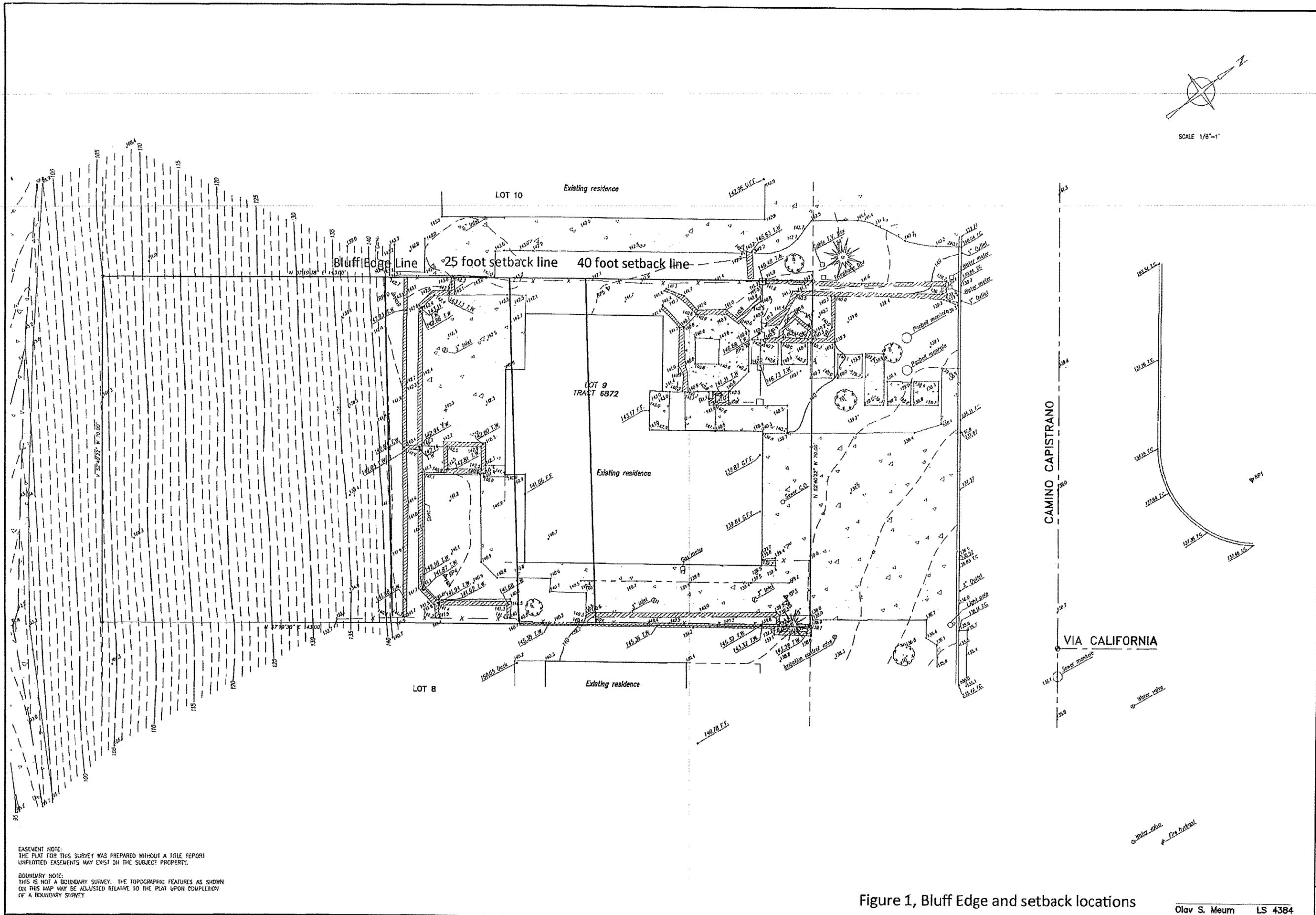
REVISIONS	BY
PER CONTRACTOR 11-17	
2-3-17	
P.C. CORR. 3-28-17	
PLDG. DEPT.	

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THOMPSON UNDERPINNING  
34567 CAMINO CAPISTRANO  
CAPISTRANO BEACH, CALIFORNIA

FDN UNDERPINNING PLAN  
STRUCTURAL DETAILS  
11/17

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
S-2
OF SHEETS



EASEMENT NOTE:  
 THE PLAN FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT  
 UNFILED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

BOUNDARY NOTE:  
 THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN  
 ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAN UPON COMPLETION  
 OF A BOUNDARY SURVEY.

**TOPOGRAPHIC SURVEY**  
 LOT 9, TRACT 6872  
 CAPISTRANO BEACH, CALIFORNIA

PREPARED FOR: MR. AND MRS. THOMPSON

H. SCALE:	V. SCALE:	DATE OF SURVEY:	DR. FILE:	DATE:	APPROV.:	DATE:	BY:	DATE:	APPROV.:	DATE:
1/8"=1'	N/A	10-11-07								
					DR: DE & MF					
					DR: MF					

**TOAL ENGINEERING, INC.**  
 Civil Engineers, Land Planners, Land Surveyors  
 139 Avenida Navarro, San Clemente, Calif. 92672  
 Ph: 949-492-8556 Fax: 949-498-8625

SHEET 1 OF 2  
 JOB NO. 13520

Figure 1, Bluff Edge and setback locations

Olav S. Meum LS 4384