

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: APRIL 10, 2017

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
JOHN CIAMPA, SENIOR PLANNER

SUBJECT: SITE DEVELOPMENT PERMIT SDP16-0041 TO ALLOW THE CONSTRUCTION OF A DUPLEX WITH DETACHED DWELLING UNITS, WAIVE THE REQUIREMENT FOR ONE SHARED GUEST STALL FOR THE TWO UNITS, AND TO ALLOW THE MEASUREMENT OF BOTH BUILDINGS HEIGHTS FROM ATOP A MAXIMUM OF 30-INCHES OF FILL IN THE RESIDENTIAL DUPLEX (RD-14) ZONING DISTRICT AT 26392 VIA CANON

RECOMMENDATION: That the Planning Commission adopt the attached draft Resolution approving Site Development Permit SDP16-0041.

APPLICANT: Jay Skjerren

OWNER: Jay Skjerren

REQUEST: Approval of Site Development Permit 16-0041 to allow the construction of a duplex with detached dwelling units, waiver the requirement for one shared guest stall for the two units, and to allow the measurement of both buildings heights from atop a maximum of 30-inches of fill in the Residential Duplex (RD-14) Zoning District.

LOCATION: 26392 Via Canon (APN 123-173-13)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on March 30, 2017, published within a newspaper of general circulation on March 30, 2017, and posted on March 30, 2017 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (b) (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the

construction of less than six dwelling units.

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC for approval of a Site Development Permit (SDP).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The 8,243 square-foot site is an undeveloped through lot, located at the end of a residential block. The property fronts three streets: Via California, Via Canon, and Via Fortuna, with the front of the lot identified along Via California. The project site is zoned "Residential Duplex 14" (RD-14) which allows one residential dwelling unit for each 2,500 square feet of land area and has a General Plan designation of Residential 7-14 du/acre.

The project site is located outside the City's Coastal Overlay District (the California Coastal Zone) therefore a Coastal Development Permit is not required.

DISCUSSION: The project proposes to construct a new duplex with detached dwelling units. The through lot configuration of the property and the design of the project allows each unit to have a separate access point and private back yard. The project gives the appearance of two detached single family residences to improve its compatibility with the neighborhood. Each unit is two-stories with four bedrooms, and three and bathrooms. The units would provide 2,037 square feet of livable area (per unit) with attached garages. The units have textured stucco, corbels, and concrete roof tile to convey the Spanish design of the project. A color and materials sheet for the project is provided as Supporting Document 4.

The proposed development is required to provide open space equal to 20 percent of the project site area. The project would exceed the minimum requirement by providing 24 percent private open space (1,978 square feet) for the use and enjoyment of the residents. The private open space includes landscaped areas within the side and rear yards, ground level porches, and upper-level deck areas.

The DPZC requires the height of residential development to be measured from the existing grade low point of the structure. Per Section 9.05.110(a)(3) of the DPZC lots with unique topographical conditions where it is difficult to create positive drainage to the street, or lots with existing drainage problems can permit the measurement of the structure from atop a maximum of 30 inches of fill with the approval of a Minor Site Development Permit (SDP(M)). The site's location at the end of the residential block

with three street frontages creates a drainage issue for the property. The condition of the undeveloped lot results in the sheet flow of water off the property to Via Fortuna and Via Canon which creates water quality issues because the grade of the property drops five feet from the east (Via California) to the west (Via Canon). The project is requesting 28.8 inches of fill to create controlled positive drainage to Via Canon. Public Works and Planning staff evaluated the site conditions and the project design and determined the requested fill credit of 28.8-inches is necessary to allow the water around the units to be collected by the drainage system and diverted to the corner of Via Canon and Via Fortuna. The existing grade low point, pad height, amount of fill, and top of roof height for both structures are provided in Table 1 below.

Table 1: Height Analysis

Plan 1 (Via California Frontage)		Plan 2 (Via Canon)	
Existing Grade Low Point	227.5 ft	Existing Grade Low Point	225.4 ft
Pad Elevation	229.7 ft	Pad Elevation	227.8 ft
Fill Amount	26.4 inches	Fill Amount	28.8 inches
Top of Roof	254.95 ft	Top of Roof	253.05 ft
Height from top of Fill	25.25 ft	Height from top of Fill	25.25 ft
Max height (w. 3.5/12 roof pitch) Allowed	26 ft	Max height (w. 3.5/12 roof pitch) Allowed	26 ft

The DPZC requires duplexes provide two covered parking spaces per dwelling unit plus an additional guest parking space for lots that are 50 feet in width or wider (subject site is a 50 foot wide lot), unless a SDP(M) is obtained to waive the additional parking space requirement. Interesting to note, this additional parking space would not be required if the subject property was less than 50 feet in width or if the project was for two single family residences where only two covered parking spaces would be required. The applicant is requesting a SDP(M) to waive the requirement of one shared guest stall for the two units. The parking modification is requested for the following reasons: 1) an additional parking space along one of the driveways or off of Via Fortuna would require a wider or new curb cut which would eliminate on-street parking for the neighborhood, and 2) the project design creates two, two car garages, with separate driveways to provide sufficient parking on-site. Alternative design options for the guest parking space were evaluated and it was determined that the options would result in an inferior project design that would either eliminate street parking, reduce the habitable area for one of the units, or reduce the landscaping for the site. The ground floor habitable area includes a foyer, powder room, kitchen and great room for a total of 687 square feet; all bedrooms are located on the second floor. It is not practical to reduce the ground floor habitable area in order to accommodate an additional guest parking stall.

The general development standards for this property are outlined in the DPZC Chapter

9.09 (Residential Development Standards). New development on this site is required to observe a 20'-0" front setback along Via Canon and Via California, 4'-0" side setbacks, and 10'-0" exterior side setback. The proposed development complies with these setback requirements, lot coverage, open space requirements, and all other development standards with the exceptions of those previously identified in the report.

Site Development Permits SDP16-0041

The subject application requires a SDPs for the following reasons: the new construction of a duplex (per Section 9.71.020), waive the requirement of one shared guest stall for the two units (per Section 9.35.080(e)), and to measure the structures heights from atop a maximum of 30 inches of fill (per Section 9.05.110(a)(3). Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval for the requested Site Development Permits:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Staff's recommended findings to approve Site Development Permits 16-0041 are set forth in the attached Draft Resolution.

CORRESPONDENCE: Staff reviewed the project with a neighbor who was supportive of the proposal. Aside from the one inquiry; staff has not received any additional correspondence related to the proposed project to-date.

CONCLUSION: Staff finds the proposed project consistent with the policies and provisions of the Dana Point General Plan and Zoning Code. As the project has been found to comply with all standards of development and findings can be made for approval of the request, staff recommends the Planning Commission adopt the attached resolution, approving Site Development Permits SDP16-0041.



John Ciampa
Senior Planner



Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 17-04-10-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Color and Materials
5. Architectural Plans

RESOLUTION NO. 17-04-10-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING SITE DEVELOPMENT PERMIT SDP16-0041 TO ALLOW THE CONSTRUCTION OF A NEW, DUPLEX WITH DETACHED DWELLING UNITS, WAIVE THE REQUIRED GUEST STALL FOR THE TWO UNITS, AND TO ALLOW THE MEASUREMENT OF BOTH STRUCTURES HEIGHTS FROM ATOP A MAXIMUM OF 30 INCHES OF FILL AT 26392 VIA CANON

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Jay Skjerren (the "Applicant") is the owner of real property commonly referred to as 26392 Via Canon (APN 123-173-13) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Site Development Permit to allow the construction of a duplex with detached units, waive the requirement for one shared guest stall for the two units, and to measure both structures heights from the top of a maximum of 30 inches of fill at the property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, duplex with detached units; and

WHEREAS, the Planning Commission did, on the 10th day of April, 2017 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Site Development Permit SDP16-0041.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct and incorporated herein by reference; and
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves SDP16-0041 subject to conditions:

Findings:

Site Development Permit SDP16-0041

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that the duplex complies with all of the setback, lot coverage, private open space, and landscape standards for the RD 14 zoning district. The duplex is designed as two detached units with separate access points and private back yards to give the appearance of two single family residences. The request to waive the guest parking space is justified because the detached design of the duplex and the unique site configuration with three street frontages limits the parking area for the site. Providing an additional parking space would have a negative impact on the site by eliminating street parking. If the additional parking is provided on-site, it would result in the loss of on-street parking, landscaping, and an inferior site design. The driveways can provide additional parking area while not impacting the design of the project. The unique topography and location of the site at the end of the residential block (fronting three streets) creates a need for the requested 30 inches of fill to create controlled positive drainage to the street.**
2. That the site is suitable for the proposed use and development **in that the proposed duplex complies with the minimum lot area requirements of one unit per 2,500 square feet of lot area in that the property is 8,243 square feet and is suitable to accommodate a duplex. The project is designed as two detached units that will provide vehicle access off of two separate streets. The units comply with the allowed density, setbacks, lot coverage, private open space, and landscape standards for the RD 14 zoning district. The size and scale of the development is consistent and compatible with the neighborhood. The waiver of the guest parking space for the two units will not impact the adjacent properties because there is adequate parking on the property to ensure there is no parking overflow onto the streets. The request for 30 inches of fill to measure the structure from finished grade is necessary to ensure the site provides controlled positive drainage to the street.**
3. That the project is in compliance with all elements of the General Plan

and all applicable provision of the Urban Design Guidelines **The Spanish design of the residential units is in character and scale with the neighborhood. The through lot and the detached design of the duplex allows each unit to be oriented towards a separate street to give the project the appearance of two single family residences there by creating a sense of address to comply with Section III.A.1.a Residential Development of the City's Design Guidelines. The project design also contributes to the sense of community by creating a detached unit design that blends the units in with the neighborhood. The use of decks and porches reduces the massing of the structures and creates private outdoor living areas to comply with Section III.A.3 of the City's Design Guidelines. The removal of the requirement for the shared guest stall for the two units will allow for an improved project design that does not eliminate street parking. The project will still provide sufficient opportunities for guest parking on-site in the driveway area. The proposed fill credit of 30 inches will comply with all standards of development from the Zoning Ordinance and would not be in conflict with any of the City's Urban Design Guidelines.**

4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style **in that the detached units create the appearance of two single family residences that will be in character with the neighborhood. The design of the project complies with the density and setback requirements of the Zoning Ordinance and General Plan. The decks and porches reduce the massing of the structures and create private outdoor living areas to improve the design of the units without impacting the privacy of the adjacent properties. Sufficient parking is provided in the proposed garage and driveways. The use of 30 inches of fill to address the topography and unique configuration of the lot is necessary to provide controlled positive drainage to the street. Approval of the request will allow development of the site in a manner that complies with code, while simultaneously improving safety and stability of the property.**

Conditions:

A. General:

1. Approval of this application permits the construction of a new, two-story, 4,074 square foot detached duplex (2,037 square feet per unit) with an attached, 483 square foot garages (per unit) on a vacant lot

and, for buildings heights to be measured from the top of 28.8 inches of fill, at 26392 Via Canon. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point Specific Plan and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the

City, its offers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

7. The applicant and owner, and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. The project shall meet all water quality requirements.
10. A grading permit shall be obtained prior to any work including demolition activities.
11. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone, and cable television services.
12. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
13. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
14. A separate Encroachment Permit shall be required for all work in the street right-of-way. A separate submittal shall be required to the Public Works Department for the Encroachment Permit in accordance with

City standards.

15. A separate permit for all retaining walls shall be required by the Building Department. A separate submittal shall be required in accordance with Building Department standards.
16. This Resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.

B. Prior to Issuance of a Grading Permit

17. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
18. The applicant shall submit an application for a grading permit. The application shall include a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
19. In accordance with the fill credit allowed by the zoning code, the review of the preliminary grading and drainage plan approved as a part of SDP16-0041 does not indicate grading plans are considered complete. Plans will be thoroughly reviewed and approved as a part of the grading permit application. The proposed pad elevations and grading shall be reviewed and revised as necessary to comply with all City requirements.
20. The applicant shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
21. The applicant shall submit a Hydrology & Hydraulic report for the gravity drainage system proposed. In accordance with the fill credit allowed per SDP16-0041 by the Zoning Code, the drainage system shall be sized to ensure gravity flow to outlet. The drainage system shall be designed to eliminate any storm water and sediment from the surrounding sidewalks and Via Fortuna.
22. The applicant shall submit a Landscape Plan, in compliance with City

standards, for review and approval by the Director of Public Works. The landscape plan shall include planting and beautification of the property parkways at the surrounding sidewalk. The landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

23. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
24. A performance bond shall be required for all grading activities up to 100% of the proposed improvements.
25. A Boundary/Record of Survey shall be completed for the project site and recorded at the County of Orange prior to issuance of a Grading Permit.

C. Prior to Building Plan Check Submittal and/or prior to Issuance of a Building Permit or release on certain related inspections:

26. Prior Building(s) shall comply with the 2016 California Codes of Regulations Parts 1-12 and any local amendments thereto.
27. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with the approved grading plans and reports.
28. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
29. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (the City's standard Geotechnical Engineer's

Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.

30. An as graded geotechnical report may be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

D. Prior to issuance of a Certificate of Occupancy

31. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of SDP16-0041. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval.
32. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of SDP16-0041. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
33. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.

34. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
35. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.
36. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
37. All permanent BMP's, including landscaping, shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
38. All landscaping (as illustrated on the submitted Final Landscaping Plan) shall be installed prior to issuance of a certificate of occupancy as well as final sign-off of the project by the Planning Division.
39. The owner shall coordinate with the Planning Division to schedule a final site inspection to ensure the project was constructed per plan and all conditions of approval have been satisfied.
40. Final review of the finish materials, light fixtures, railings, and colors shall be reviewed and approved by the Director of Community Development to ensure a high quality architectural design.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 10th day of April, 2017, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric A. Nelson, Chairman
Planning Commission

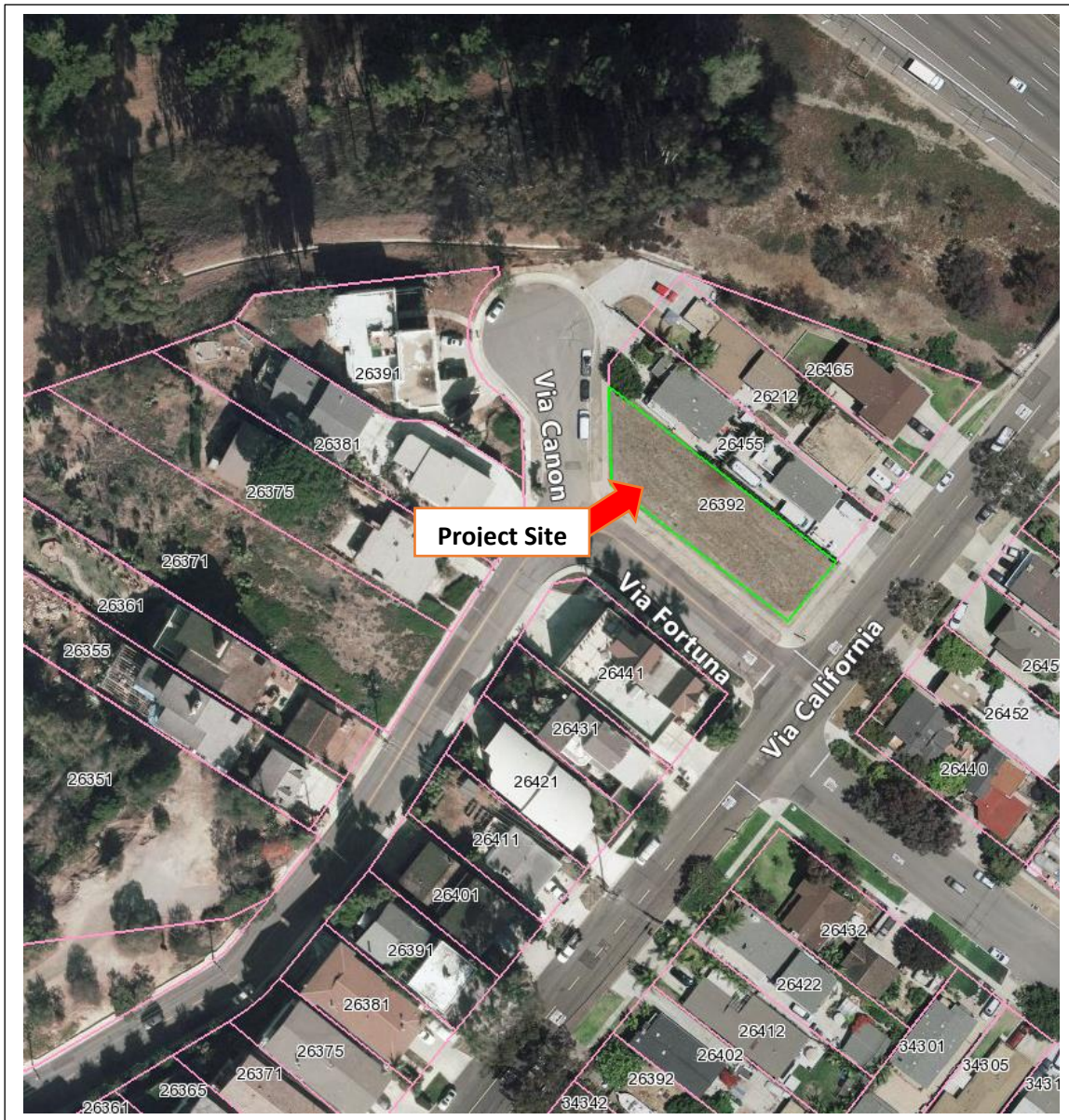
ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department

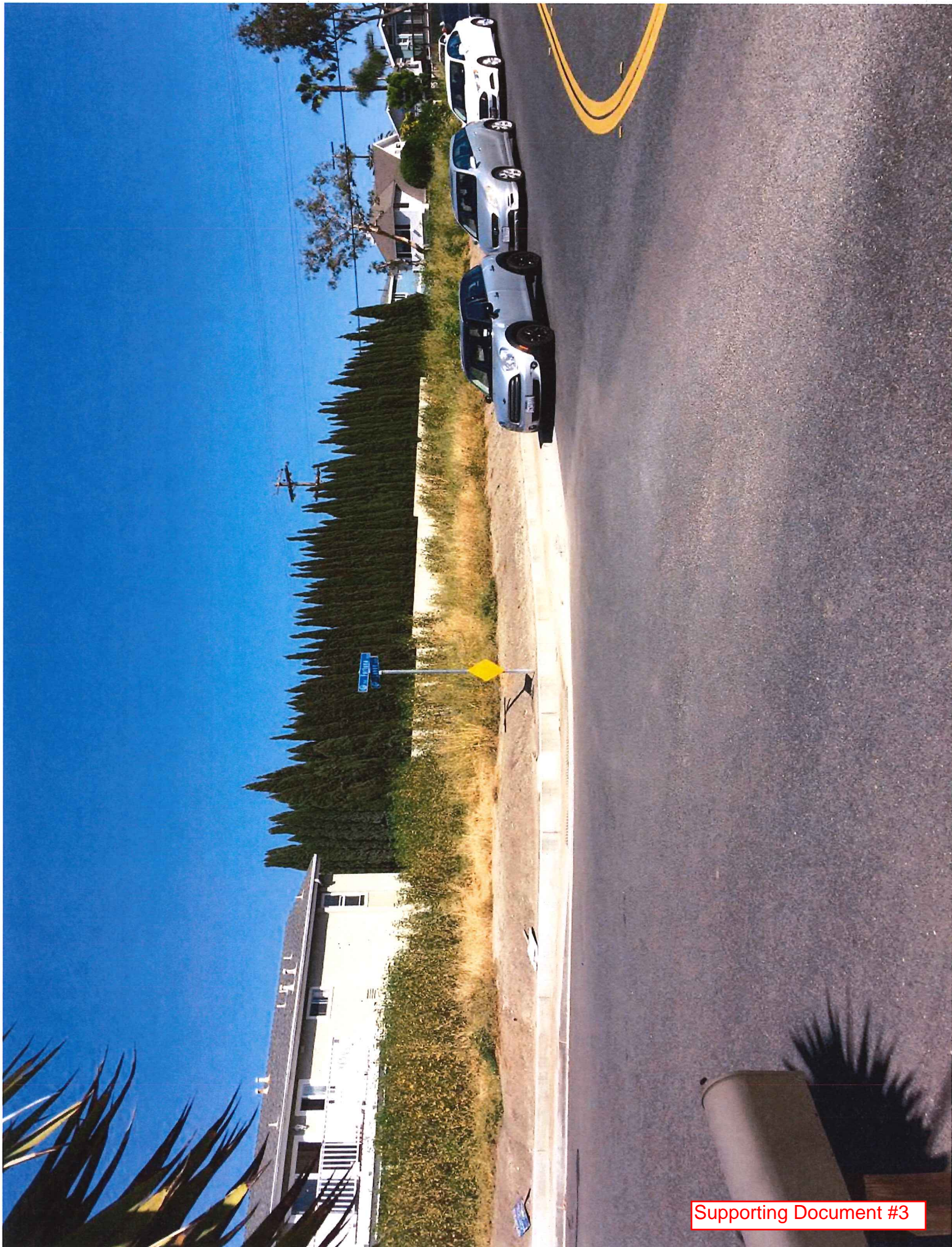


Vicinity Map

26392 Via Canon, SDP16-0041



Supporting Document #2



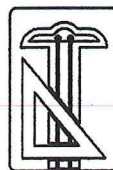




FRONT ELEVATION PLAN I

26392 VIA CANON DRIVE

A.P.N. : 123-173-13



WISHARD ARCHITECTS

231 E. ALESSANDRO, STE. A-216
RIVERSIDE, CA. 92508

PHONE (951) 776-9880 FAX (951) 776-9870

Supporting Document #4

MATERIALS AND COLOR BOARD

PLAN 1

26392 VIA CANON

DANA POINT, CA

CONCRETE TILE ROOFING:

EAGLE TILE #3636 S-TILE

"PIEDMONT BLEND" CAPISTRANO



FASCIA AND STUCCO TRIM:

DUNN EDWARDS PAINT #DE 6098

"BURNS CAVE" EXTERIOR FLAT



STUCCO WALLS:

MERLEX STUCCO P-174

"DESERT BEIGE" 20/30 SAND



LIGHT FIXTURES: (MATCH)

DUNN EDWARDS PAINT #DEC 756

"WEATHERED BROWN" POWDER COAT FINISH



FRONT ELEVATION PLAN 2

26392 VIA CANON DRIVE

A.P.N. : 123-173-13



WISHARD ARCHITECTS

231 E. ALESSANDRO, STE. A-216
RIVERSIDE, CA. 92508

PHONE (951) 776-9880 FAX (951) 776-9870

MATERIALS AND COLOR BOARD

PLAN 2

**26392 VIA CANON
DANA POINT, CA**

CONCRETE TILE ROOFING:

EAGLE TILE #3773 S-TILE

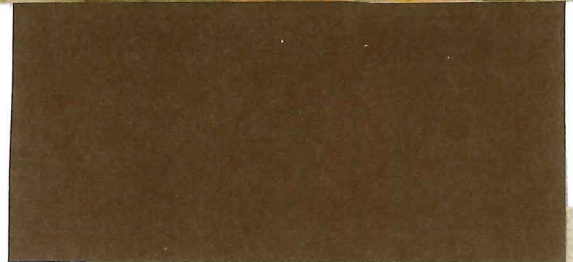
"WALNUT CREEK BLEND" CAPISTRANO



FASCIA AND STUCCO TRIM:

DUNN EDWARDS PAINT #DE 6098

"BURNS CAVE" EXTERIOR FLAT



STUCCO WALLS:

MERLEX STUCCO P-450

"CAFE MOCHA" 20/30 SAND



MASONRY:

ELDORADO STONE VENEER

"BERGAMO" HILLSTONE



LIGHT FIXTURES: (MATCH)

DUNN EDWARDS PAINT #DEC 756

"WEATHERED BROWN" POWDER COAT FINISH

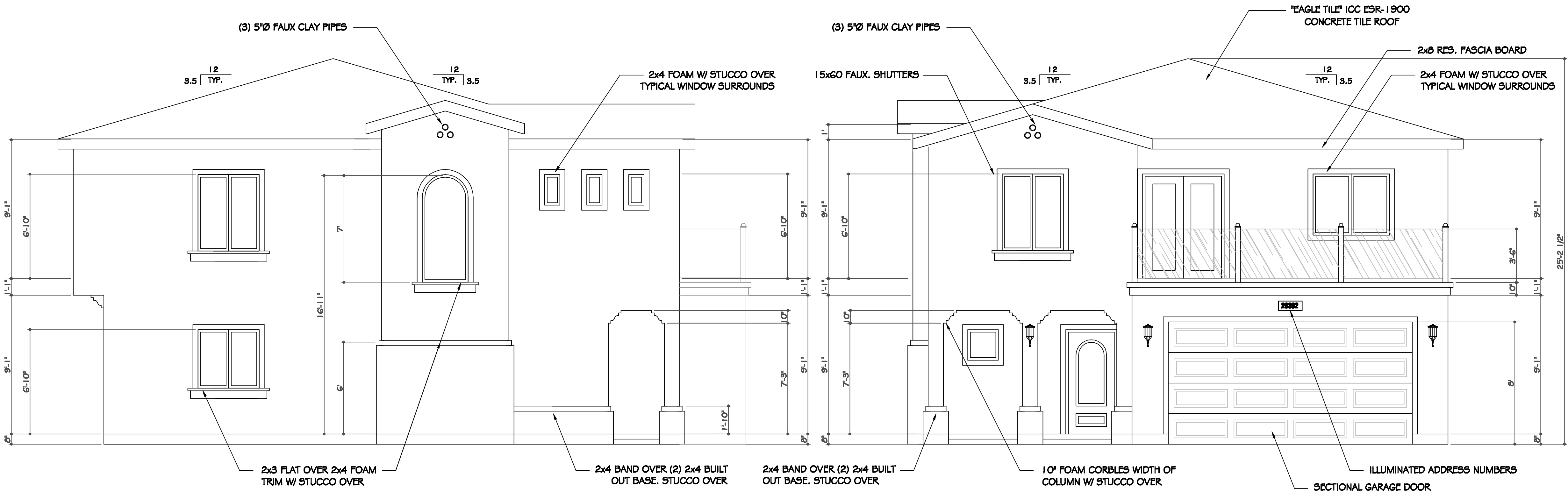




Supporting Document #5

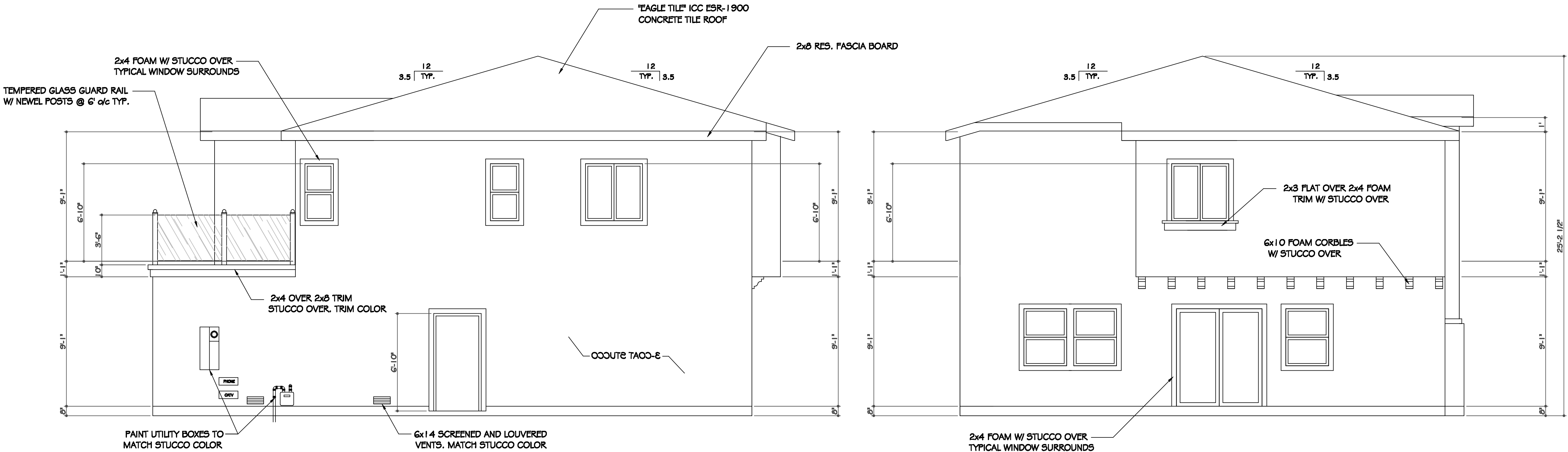
COLOR AND MATERIALS PALETTE

- M1 CONCRETE TILE ROOF
EAGLE TILE #8636 / PIEDMONT BLEND / CAPISTRANO
TERRACOTTA, MAROON, BROWN, BLEND
- M3 STUCCO WALLS
MERLEX STUCCO P-174 (B-BASE) / DESERT BOGE
2030 SAND FINISH
- M4 TRIM / ACCENT COLOR
DUNN EDWARDS DE 6088 / BURNS CAVE
EXTERIOR PLAT
- M5 LIGHT FIXTURES
DUNN EDWARDS DEC756 / WEATHERED BROWN / BRONZE
POWDER COATED / FACTORY FINISH



LEFT ELEVATION I

FRONT ELEVATION I

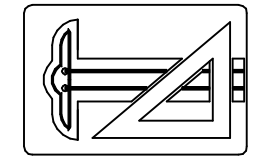


RIGHT ELEVATION I

REAR ELEVATION I

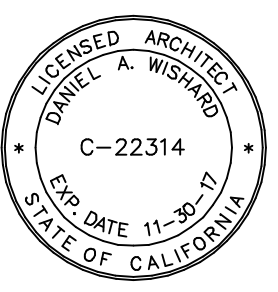
NO.	DATE	REVISION DESCRIPTION
1	1/1/17	PLANNING COMMENTS
2	1/28/17	PLANNING COMMENTS
3	2/1/17	PLANNING COMMENTS
4	2/1/17	PLANNING COMMENTS
5	2/1/17	PLANNING COMMENTS
6	2/1/17	PLANNING COMMENTS

WISHARD ARCHITECTS
231 E. ALESSANDRO, STE. A-216
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PHONE (951) 776-9880 FAX (951) 776-9870



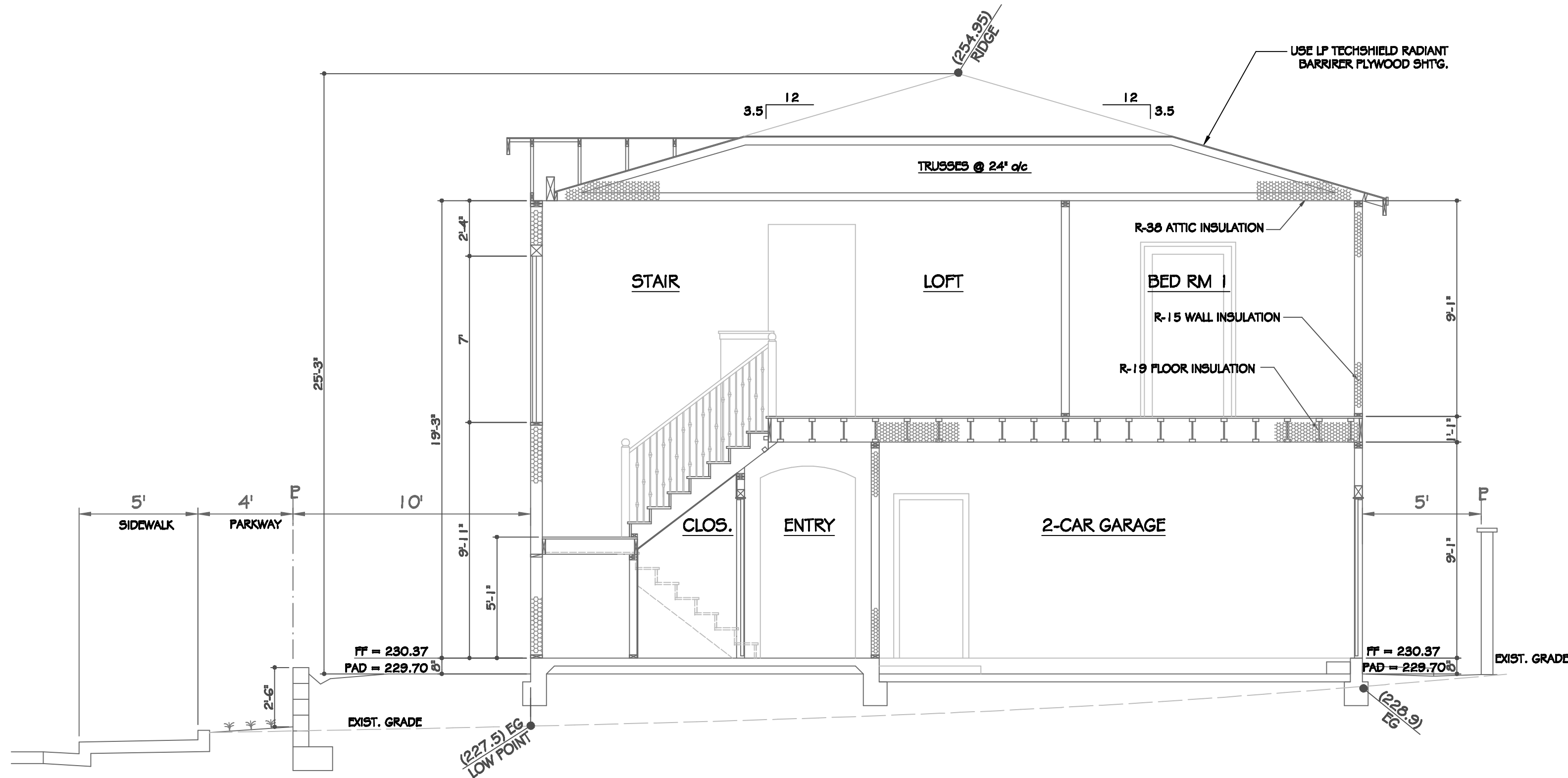
PLAN I
26392 VIA CANON
DANA POINT, CA

OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUEBLA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902

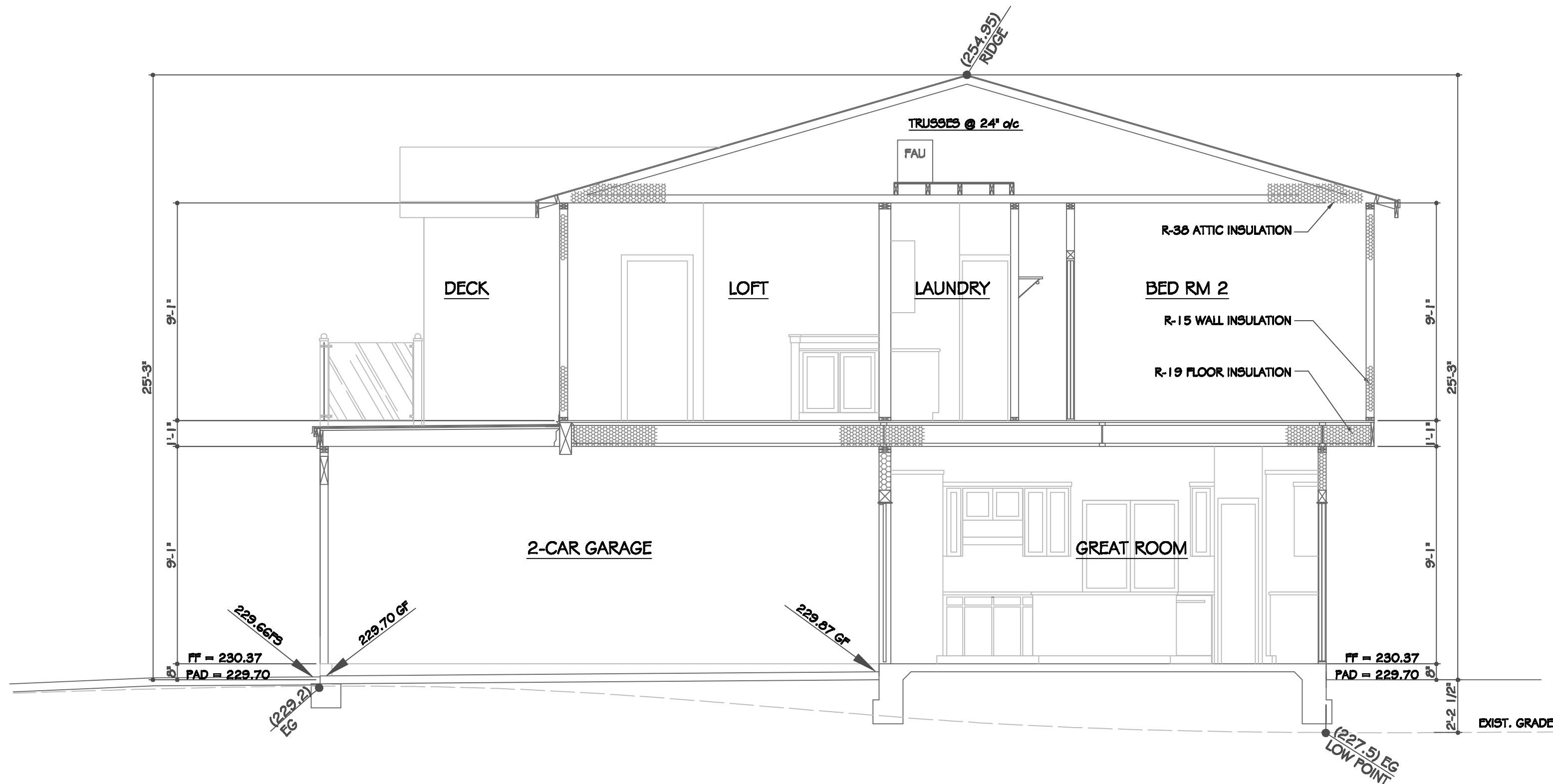


EXTERIOR
ELEVATIONS
PLAN I

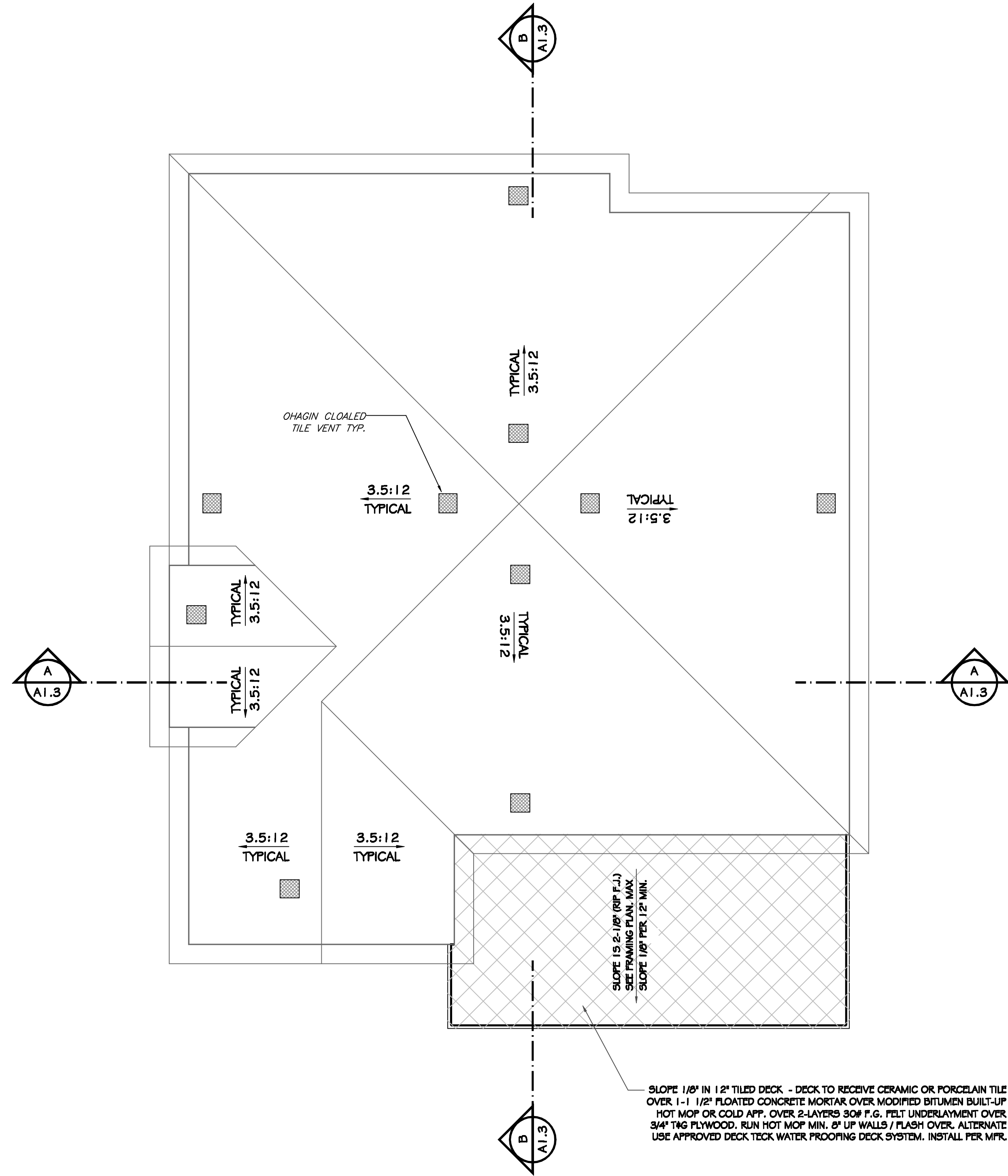
PROJECT NO:	16421
DATE:	7/19/16
DRAWN BY:	DW
SCALE:	1/4"=1'-0"
SHEET NO:	



CROSS SECTION A-A



CROSS SECTION B-B



ROOF PLAN I

NOTES:

- ALL WORK & MATERIALS TO CONFORM WITH THE 2013 CBC. CLAY AND CONCRETE TILE ROOFS SHALL COMPLY WITH CBC TABLE 1507.3.7.
- 3.5/12 ROOF PITCH - ROOF TO RECEIVE "EAGLE TILE" (ICC-ESR 1900) INSTALL PER MFR. CONCRETE TILE OVER 2-LAYERS 30# FELT OVER 1/2" CDX RADIANT BARRIER PLYWOOD PROVIDE 26 GA. GALVANIZED VALLEY & WALL FLASHING.
- PAINT EXPOSED ROOF METAL TO MATCH ROOF TILE
- RUN PLUMBING VENTS TO REAR AND OR LEAST CONSPICUOUS LOCATION WHEN POSSIBLE
- THE FOLLOWING CALCULATIONS ARE BASED ON THE USE OF OHAGINS CLOAKED VENTS FOR USE WITH CONC. TILE. EACH VENT OFFERS 116 SQUARE INCHES OF NET VENT AREA. IF ANY OTHER TYPE OF VENTING IS USED THE MINIMUM AREA REQUIRED SHALL BE MET. 50% OF THE VENT AREA SHALL BE PLACED IN THE UPPER 1/3 OF THE ATTIC SPACE SERVED AND 50% SHALL BE PLACED AT OR NEAR TO THE EAVE. VENTS SHALL BE EVENLY SPACED. VENTS SHALL BE PAINTED TO MATCH ADJACENT ROOF TILES. (118/144 = .82 SF EA.)

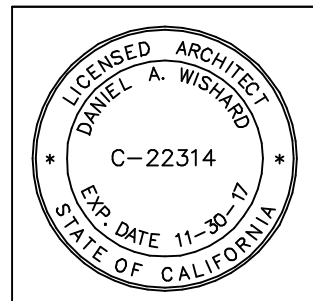
ATTIC VENTS REQUIRED:	ATTIC VENTS PROVIDED:	GABLE VENTS:
2nd FLOOR ROOF / ATTIC. 1217/150 = 8.11 SF	(10 OHAGIN VENTS @ .82sf EA.)	OHAGIN VENTS = 8.20 SF
		TOTAL PROVIDED = 8.20 SF

6. ATTIC VENTS TO BE COVERED WITH 1/4" MESH, CORROSION RESISTANT METAL.
7. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.

WISHARD ARCHITECTS
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PHONE (951) 776-9880 FAX (951) 776-9870

PLAN I
26392 VIA CANON
DANA POINT, CA

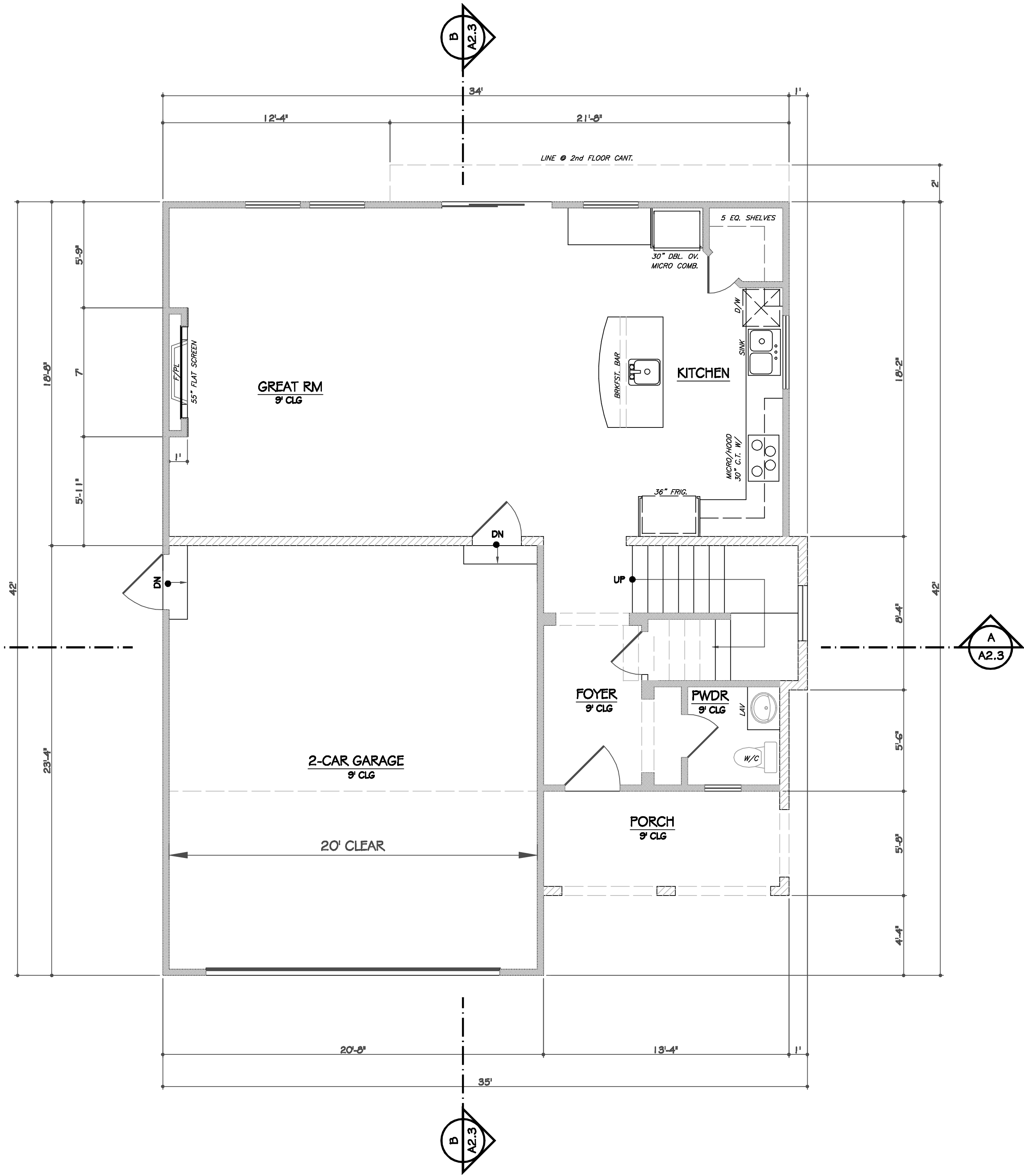
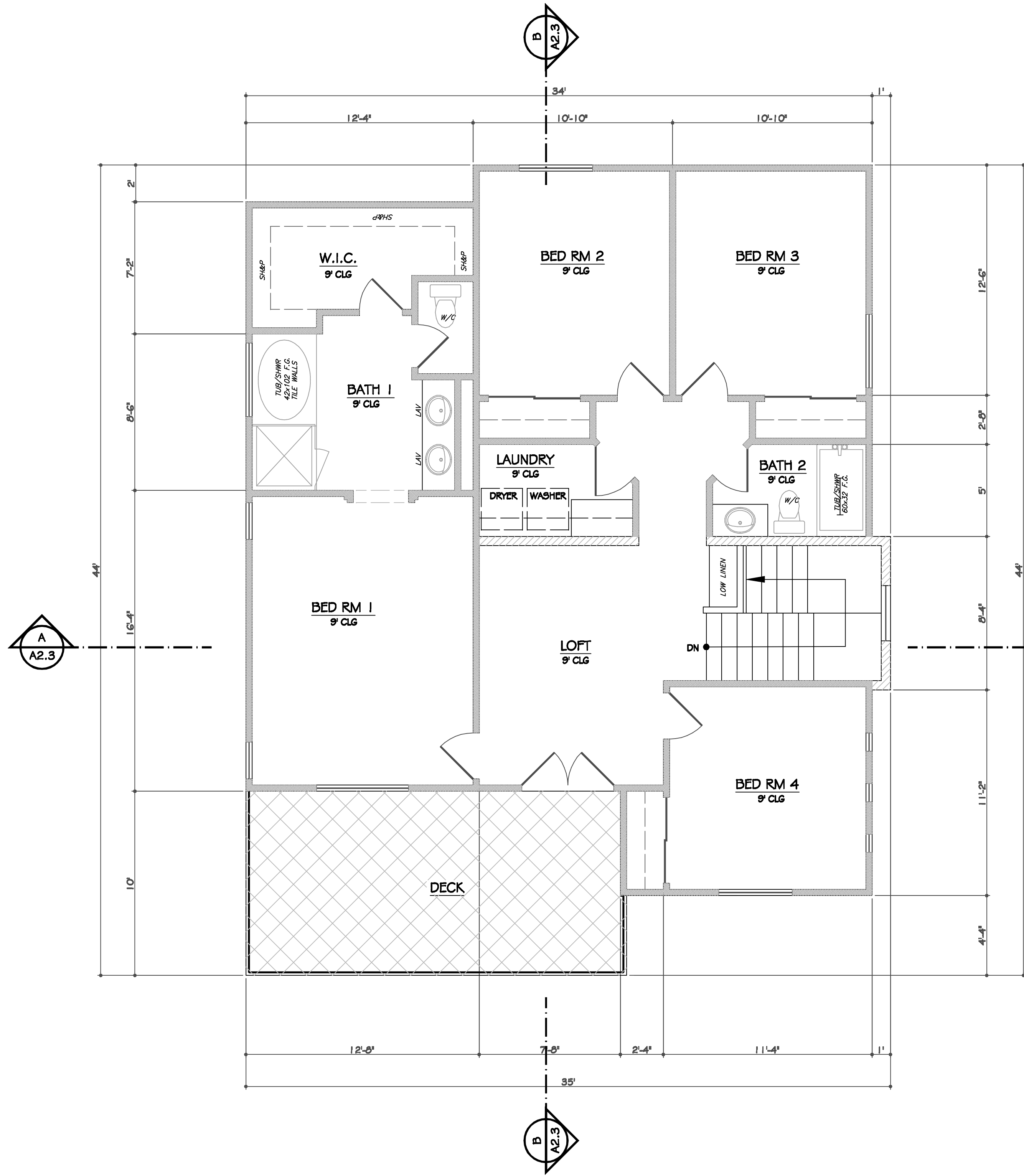
OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUELA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902



ROOF
PLAN I &
SECTIONS

PROJECT NO: 16481
DATE: 7/19/16
DRAWN BY: DW
SCALE: 1/4"=1'-0"
SHEET NO:

A1.3



DOOR AND WINDOW NOTES

- MEANS OF EGRESS IS NOT ALLOWED TO PASS THROUGH GARAGE
- MEANS OF EGRESS DOORS SHALL BE AS FOLLOWS:
 - MIN. 32" AND 48" MAX. CLEAR OPENING WIDTH OF EXIT DOORWAY. FOR SWINGING DOOR, CLEAR WIDTH IS MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. FOR NON-SWINGING TYPE DOOR, THE CLEAR WIDTH IS TO BE MEASURED FROM THE FACE OF THE DOOR JAMB. (CBC SECT. 1008.1.1)
 - MIN. HEIGHT OF 80" REQUIRED FOR ALL EXTERIOR DOORS AND 78" FOR ALL INTERIOR DOORS.
 - ALL REQUIRED EXTERIOR EGRESS DOORS SHALL BE SIDE HINGED SWINGING TYPE DOORS.
 - MAX. OF 0.75" THRESHOLD HEIGHT AT SLIDING DOORS AND MAX. OF 0.5" FOR ALL OTHER DOORS.
 - MIN. WIDTH OF LANDING AT DOORS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY OR DOOR.
 - MIN. LENGTH OF LANDING SHALL BE 36" MEASURED IN THE DIRECTION OF TRAVEL.
 - THRESHOLD HEIGHT SHALL BE MAX. 7.75" FROM TOP OF THRESHOLD TO FINISH SURFACE WHERE DOOR SWINGS IN (NOT DIRECTION OF TRAVEL) OR AT SLIDING DOORS. WHERE DOORS SWING OUT, PROVIDE LANDING (SEE NOTE f. AND SEE NOTE d. FOR THRESHOLD).
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE A MIN. OF 34" AND A MAX. OF 48" HEIGHT ABOVE FLOOR.
- MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED ON DOORS REQUIRED FOR EGRESS.
- LOCKS OR LATCHES SHALL NOT BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE:
 - DOOR SERVES A DWELLING UNIT WITH AN OCCUPANT LOAD GREATER THAN 10.
 - SINGLE EGRESS DOORS USE AUTOMATIC FLUSH BOLTS.

- ANY DOOR OR WINDOW THAT PERMITS DIRECT ACCESS FROM THE RESIDENCE TO THE POOL AREA SHALL BE EQUIPPED WITH AN EXIT ALARM THAT MAKES AUDIBLE, CONTINUOUS ALARM SOUNDS WHEN OPEN OR LEFT AJAR. DOORS SHALL BE SELF CLOSING WITH AN EXIT ALARM DEVICE LOCATED MIN. 54" ABOVE THE FLOOR.
- ALL SLEEPING ROOMS SHALL HAVE A WINDOW FOR EMERGENCY ESCAPE AND RESUE. THE NET OPENING DIMENSIONS SHALL BE 24" CLEAR HEIGHT, AND 20" CLEAR WIDTH, WITH A MIN. OF 5.7 SQUARE FEET IN OPENING AREA. THE SILL HEIGHT FORM THE FINISH FLOOR TO THE OPENING SHALL BE 44" MAX.
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURERS DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER, AND THE AND THE SAFETY GLAZING STANDARD. THE FOLLOWING HAZARDOUS LOCATIONS WILL REQUIRE SAFETY GLAZING:
 - SWINGING DOORS.
 - FIXED AND SLIDING PANELS OF SLIDING DOORS.
 - STORM DOORS.
 - UNFRAMED SWINGING DOORS.
 - DOORS AND ENCLOSURES FOR HOT TUBE, STEAM ROOMS, WHIRLPOOLS, BATHTUBS AND SHOWERS. WINDOWS ADJACENT TO TUBS OR SHOWERS WHERE THE BOTTOM EDGE IS LESS THAN 60" ABOVE FLOOR.
 - FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF GLAZING IS WITHIN 24" ARG OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF GLAZING IS WITHIN 60" ABOVE THE WALKING SURFACE.
 - REFER TO CBC SECT. 2406 FOR ADDITIONAL LOCATIONS AT STAIRS, LANDINGS, WALLS, AND FENCES.

ROOM FINISH NOTES

- WALL FLOOR AND CEILING MATERIALS AND FINISHES SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS LISTED IN CBC TABLE 603.5.
- INTERIOR FLOOR FINISHES SHALL COMPLY WITH CBC 804.2 THROUGH 804.4.1
- TOILET AND BATHING ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIALS THAT EXTENDS UPWARS ONTO THE WALLS AT LEAST 6".
- WALLS WITHIN 2' OF THE FRONT AND SIDES OF WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIALS TO A HEIGHT OF 4' AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED ON SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE, OR OTHER APPROVED MATERIALS TO A FINISHED HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET. USE OF WATER RESISTANT GYPSUM BACKING SHALL BE PER CBC SECT. 2509.2.
- WATER CLOSETS SHALL HAVE A MIN. OF 1.5" TO THE CENTER FROM ADJACENT WALLS OR OBSTRUCTION AND 30" CLEAR TOTAL WIDTH BETWEEN WALLS OR OBSTRUCTIONS. A MIN. OF 24" CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET.

FLOOR PLAN NOTES

WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN INLET AT SHOWERS OR TUB W/ SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. SMOKE DETECTORS SHALL BE HARD WIRED AND SHALL SOUND AN ALARM

FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING. ATTACH A COPY TO FIREPLACE PRIOR TO INSPECTION. THE FOLLOWING ARE MAXIMUM FLOW RATE STANDARDS SET BY THE:

a. WATER CLOSETS:	1.28 PER FLUSH
b. SHOWERHEADS:	2.0 GPM @ 80 psi
c. SINK FAUCETS:	1.8 GPM @ 60 psi
d. LAVATORY FAUCETS:	1.5 GPM @ 60 psi

PROVIDE ANTI-SCALDING VALVES IN SHOWERS AND TUBSHOWERS. ALL HOSE BIBBS SHALL HAVE AN APPROVED ANTI-SIPHON DEVICE. WATER HEATERS HAVING NON-RIGID WATER CONNECTIONS AND OVER 4' HIGH SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE. PROVIDE 1.5" x 1.6 ga. STRAPS AT TOP AND BOTTOM W/ 3/8" x 3" LAG BOLTS

PROVIDE A 12x12" ACCESS PANEL FOR TUB TRAP SLIP JOINTS AT SPA OR WHERE APPLIES. NO ACCES PANEL REQUIRED AT WELDED CONNECTIONS. AT ATTIC PAU PROVIDE MIN. 2x6 JOISTS OVER TRUSSES AT UNIT PLATFORM

CONDENSATE DRAIN TO TERMINATE AT APPROVED PLUMBING FIXTURE. BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT A LIST OF THE HEATING COOLING AND WATER HEATING AND LIGHTING CONSERVATION SYSTEMS OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO

BUILDING DESCRIPTION

SINGLE STORY RESIDENCE W/ ATTACHED GARAGE
TYPE VB 5FRRINKLERED, GROUP R3 / U

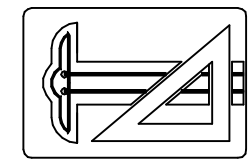
PLAN 2	
1st FLOOR AREA	820 SF
2nd FLOOR AREA	1217 SF
TOTAL LIVING AREA	2037 SF
GARAGE AREA	483 SF
PORCH AREA	76 SF
DECK AREA	205 SF

WALL SYMBOL LEGEND

- INDICATES 2x4 @ 16" o/c STUD WALL (EXTERIOR R-15 INSULATION)
- INDICATES 2x6 @ 16" o/c STUD WALL (EXTERIOR R-19 INSULATION) (USED AT PLUMBING WALLS OR WALL HEIGHTS EXCEEDING 10')

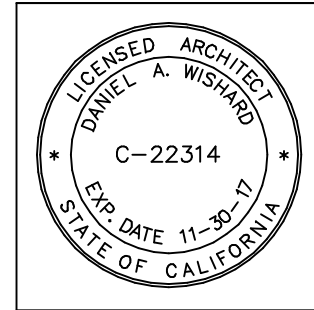
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2	3/18/17	PLANNING COMMENTS
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WISHARD ARCHITECTS
231 E. ALESSANDRO, STE. A-216
RIVERSIDE, CA. 92508
PHONE (951) 776-9900 FAX (951) 776-9970



PLAN 2
26392 VIA CANON
DANA POINT, CA

OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUBLA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902



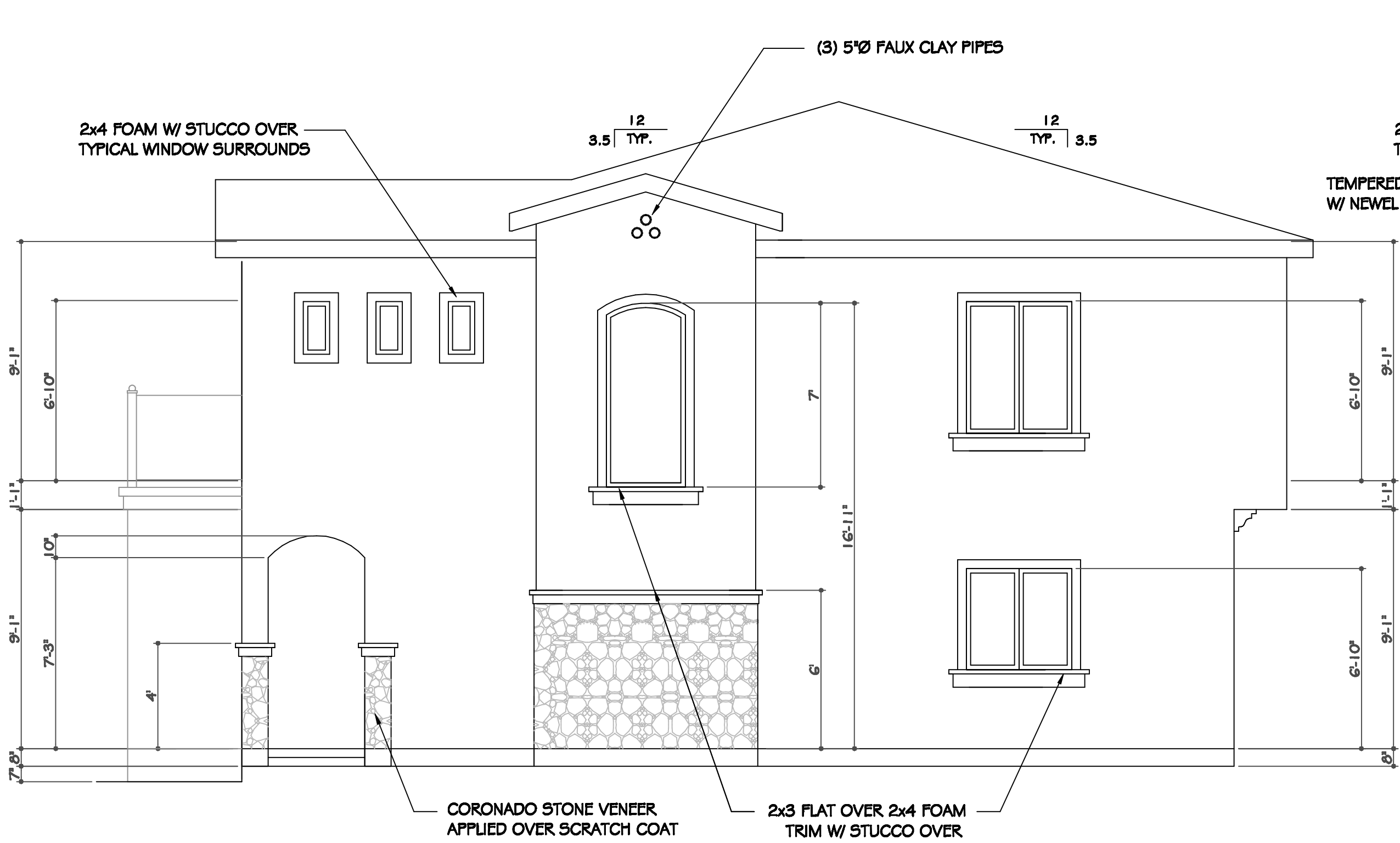
FLOOR
PLAN 2

PROJECT NO:	16481
DATE:	7/19/16
DRAWN BY:	DN
SCALE:	1/4"=1'-0"
SHEET NO:	

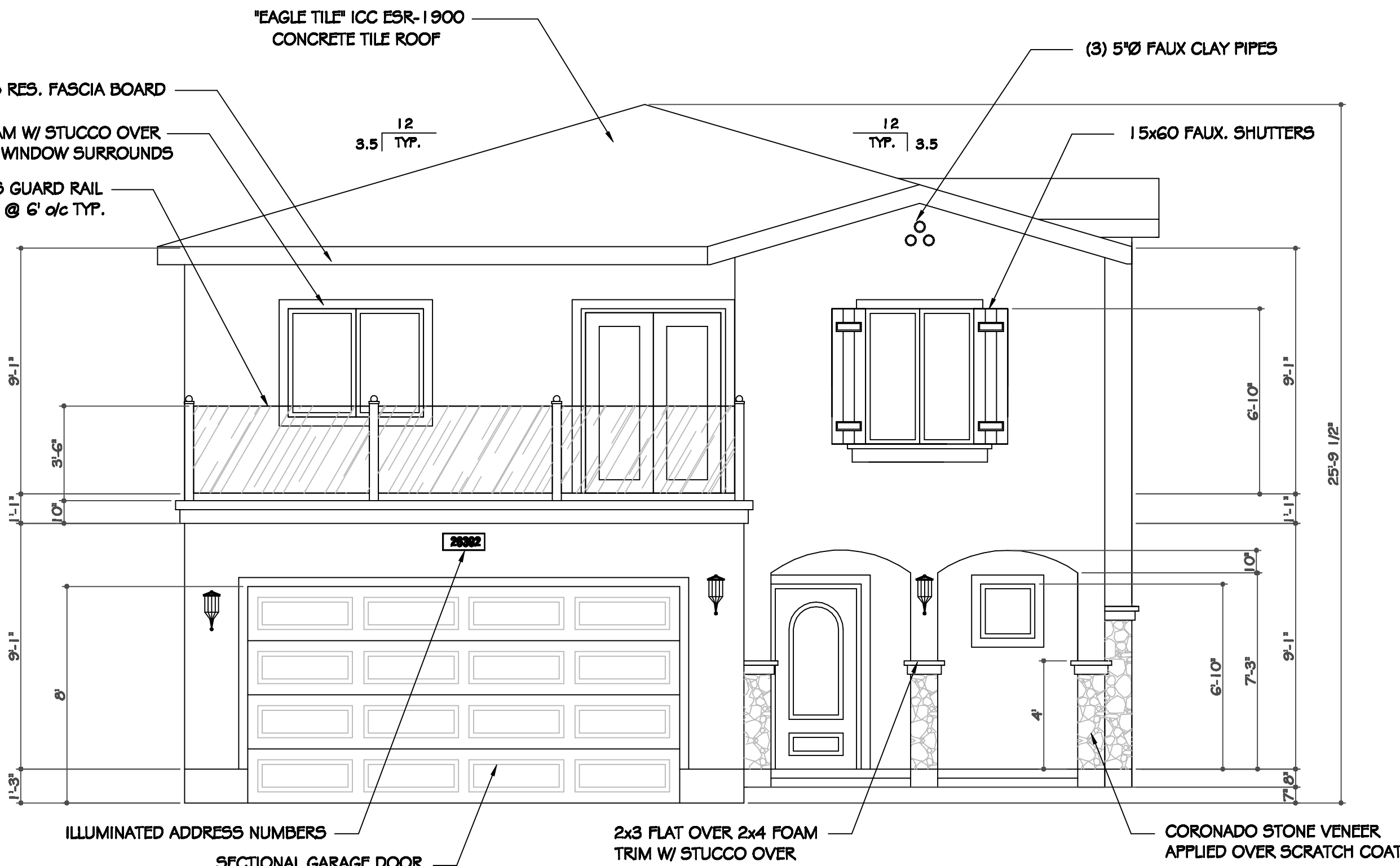
A2.1

COLOR AND MATERIALS PALETTE

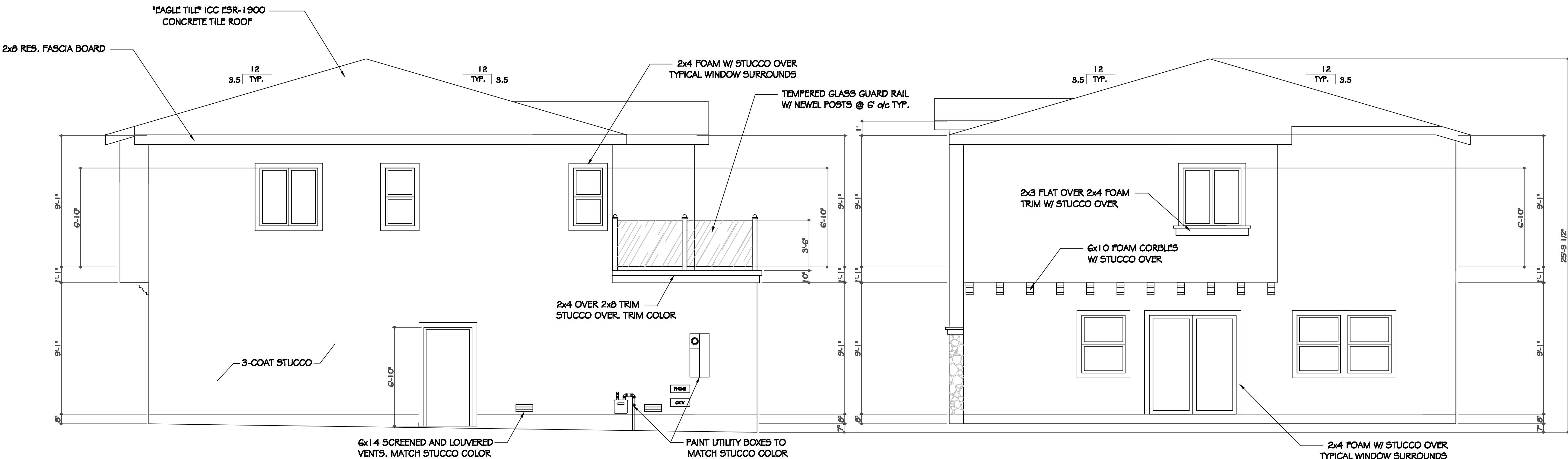
- M1 CONCRETE TILE ROOF
EAGLE TILE #8773 / WALNUT CREEK BLEND / CAPISTRANO
TAN, ORANGE, DK BRN, BLEND
- M2 MASONRY (BRICK)
ELDORADO STONE / BERGAMO / HILLSTONE
STANDARD GROUT / NATURAL
- M3 STUCCO WALLS
MERLUX STUCCO F-450 (B-BASE) / CAPE MOCHA
2Q30 SAND FINISH
- M4 TRIM / ACCENT COLOR
DUNN EDWARDS DE 6096 / BURNS CAVE
EXTERIOR FLAT
- M5 LIGHT FIXTURES
DUNN EDWARDS DEC756 / WEATHERED BROWN / BRONZE
POWDER COATED / FACTORY FINISH



RIGHT ELEVATION 2



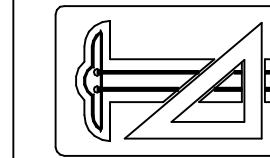
FRONT ELEVATION 2



LEFT ELEVATION 2

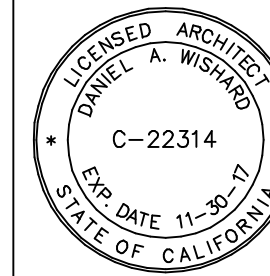
REAR ELEVATION 2

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RIVERSIDE, CA. 92508
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PLAN 2
26392 VIA CANON
DANA POINT, CA

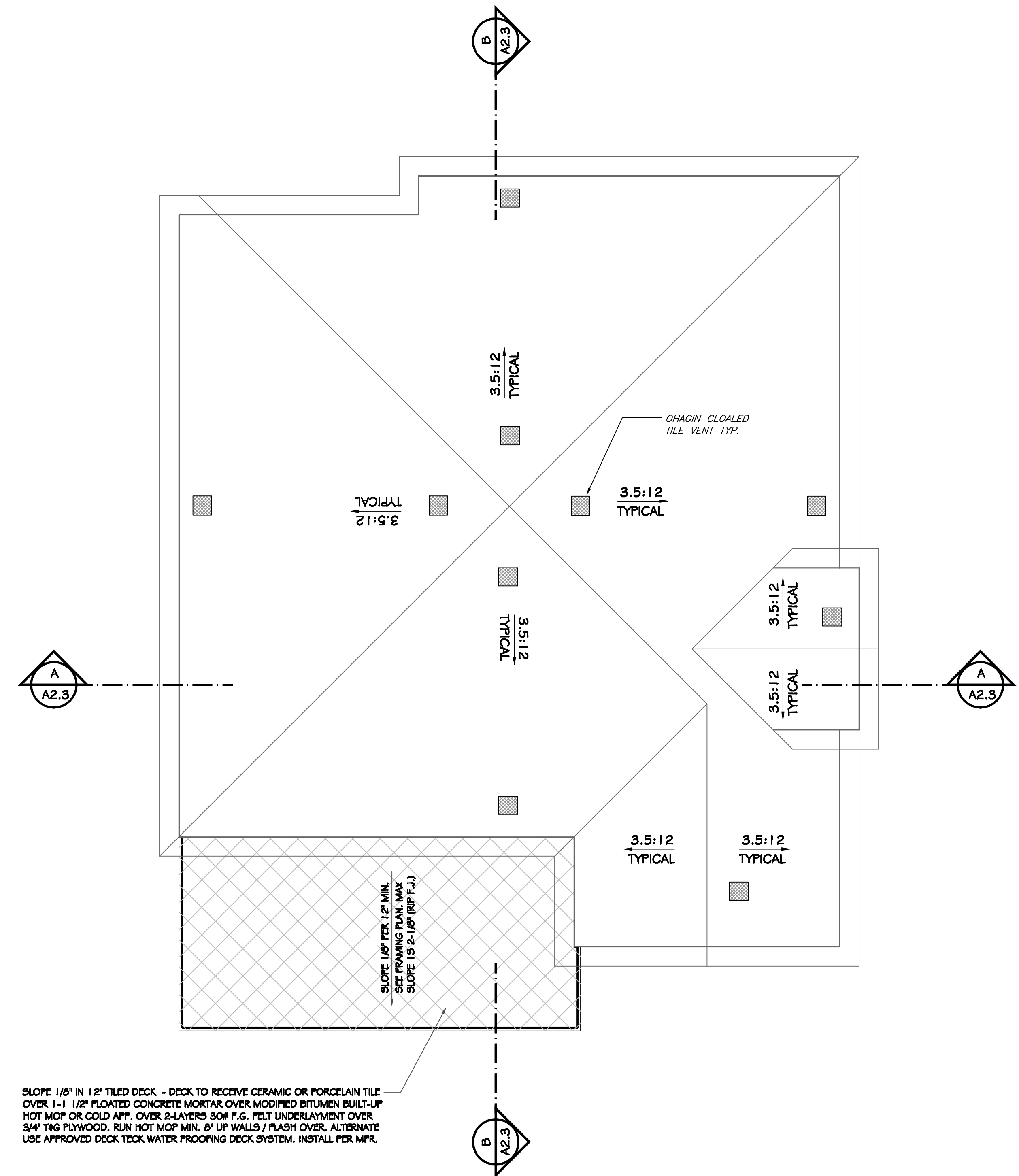
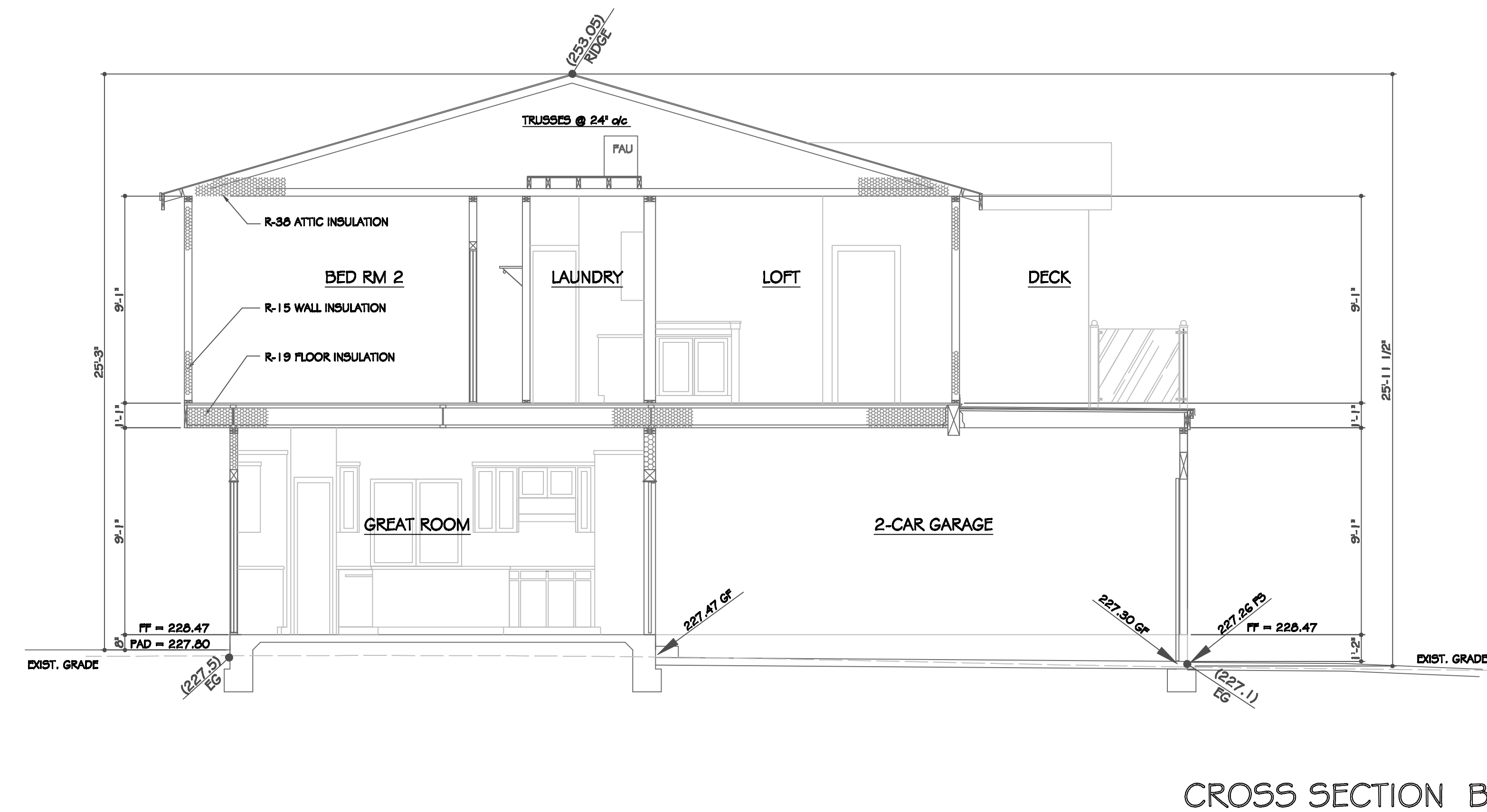
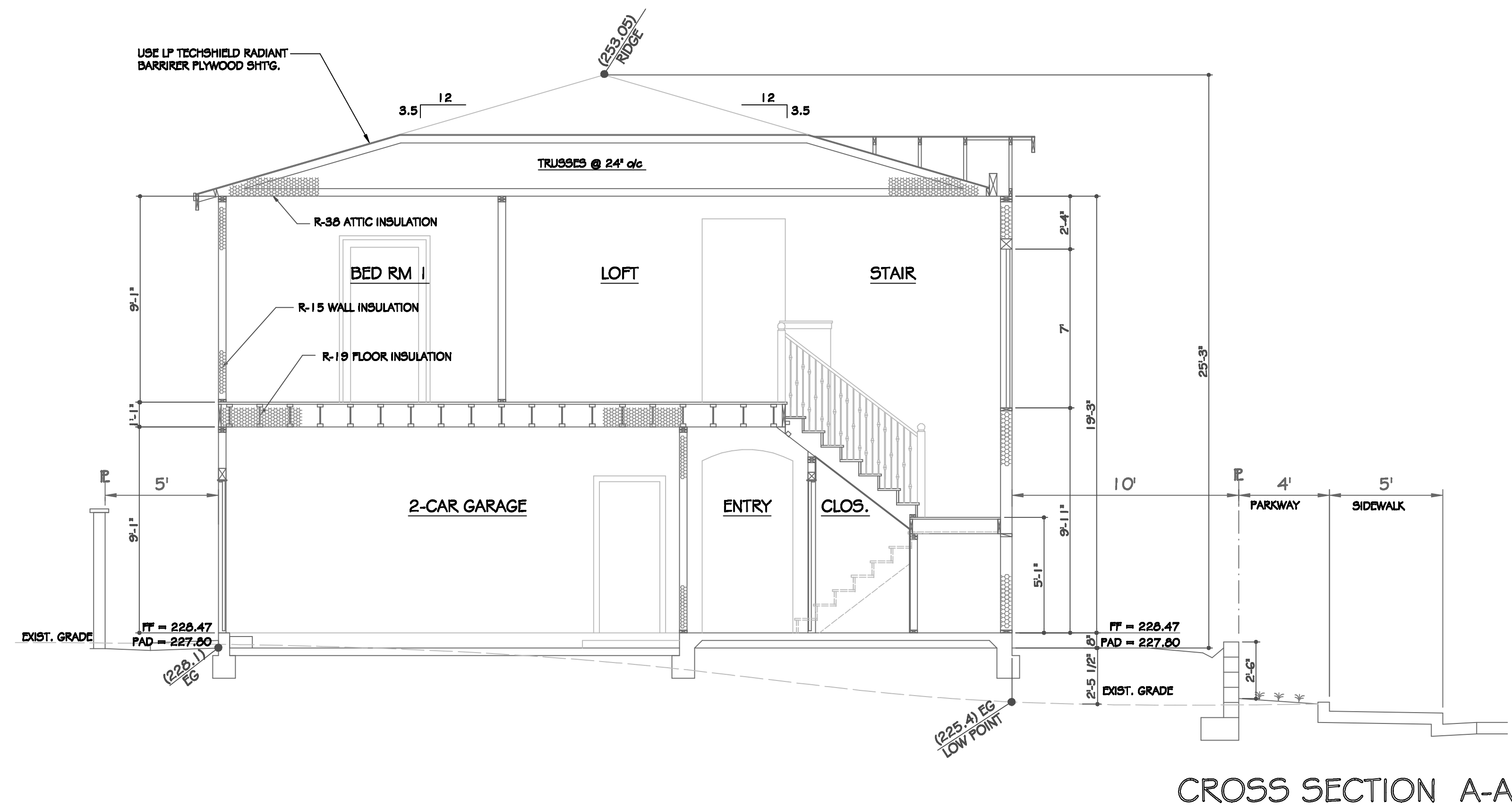
OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUEBLA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902



EXTERIOR
ELEVATIONS
PLAN 2

PROJECT NO: 16421
DATE: 7/19/16
DRAWN BY: DW
SCALE: 1/8\"/>

A2.2



- NOTES:**
1. ALL WORK & MATERIALS TO CONFORM WITH THE 2013 CBC, CLAY AND CONCRETE TILE ROOFS SHALL COMPLY WITH CBC TABLE 1507.3.7.
 2. 3.5/12 ROOF FITCH - ROOF TO SELECT "EAGLE TILE" (ICC-ESR 1900) INSTALL PER MFR. PROVIDE TILE OVER 2-LAYERS 30# FELT OVER 1/2" CDX RADIANT BARRIER PLYWOOD. CONCEAL 2x6 GA. GALVANIZED VALLEY & WALL FLASHING.
 3. PAINT EXPOSED ROOF METAL TO MATCH ROOF TILE
 4. RUN PLUMBING VENTS TO REAR AND OR LEAST CONSPICUOUS LOCATION WHEN POSSIBLE
 5. THE FOLLOWING CALCULATIONS ARE BASED ON THE USE OF OHAGIN CLOAKED VENTS FOR USE WITH CONC. TILE EACH VENT OFFERS 118 SQUARE INCHES OF NET VENT AREA. IF ANY OTHER TYPE OF VENTING IS USED THE MINIMUM AREA REQUIRED SHALL BE MET. 50% OF THE VENT AREA SHALL BE PLACED IN THE UPPER 1/3 OF THE ATTIC SPACE SERVED AND 50% SHALL BE PLACED AT OR NEAR TO THE EAVE. VENTS SHALL BE EVENLY SPACED. VENTS SHALL BE PAINTED TO MATCH ADJACENT ROOF MATERIALS. (118/144= .82 SF EA.)
- | ATTIC VENTS REQUIRED: | ATTIC VENTS PROVIDED: | |
|------------------------|-------------------------------|--------------------------|
| 2nd FLOOR ROOF / ATTIC | | GABIN VENTS = 0.00 SF |
| 121/710 = 0.11 SF | (10 OHAGIN VENTS @ .82sf EA.) | OHAGIN VENTS = 8.20 SF |
| | | TOTAL PROVIDED = 8.20 SF |
6. ATTIC VENTS TO BE COVERED WITH 1/4" MESH, CORROSION RESISTANT METAL.
 7. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.

ATTIC VENTS REQUIRED:	ATTIC VENTS PROVIDED:
2nd FLOOR ROOF / ATTIC 1217/150 = 8.11 SF	<p>GABLE VENTS = 0.00 SF</p> <p>(10 CHAGIN VENTS @ .82sf EA.) CHAGIN VENTS = 8.20 SF</p> <p>TOTAL PROVIDED = 8.20 SF</p>

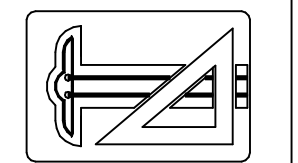
ATTIC VENTS PROVIDED:		
	GABLE VENTS	= 0.00 SF
(10 OHAGIN VENTS @ .82sf EA.)	OHAGIN VENTS	= 8.20 SF
	TOTAL PROVIDED	= 8.20 SF

6. ATTIC VENTS TO BE COVERED WITH 1/4" MESH, CORROSION RESISTANT METAL.
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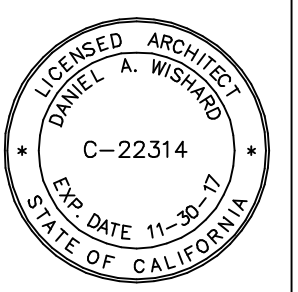
REV	DATE	REVISION DESCRIPTION
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WISHARD ARCHITECTS
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PLAN 2
26392 VIA CANON
DANA POINT, CA

OWNER: NEWCASTLE DEVELOPMENT
ADDRESS: 22596 LA PUBLA #6
MISSION VIEJO, CA 92692
CONTACT : JAY SKJERVEN (714) 713-2902



ROOF
PLAN 2 &
SECTIONS

PROJECT NO:	16421
DATE:	7/19/16
DRAWN BY:	DW
SCALE:	1/4" = 1'-0"
SHEET NO:	

A2.3

NOTICE TO CONTRACTORS

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.

PRIOR TO CONSTRUCTION OF ANY CONCRETE STRUCTURE, THE CONTRACTOR SHALL VERIFY WITH THE GEOTECHNICAL ENGINEER, THE TYPE OF CONCRETE RECOMMENDED.

EXISTENCE AND LOCATIONS OF ANY UNDERGROUND UTILITY FACILITIES SHOWN ON THIS PLAN ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. ACCEPTANCE OF THIS PLAN BY THE CITY OF YORBA LINDA DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY FACILITIES WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONARY MEANS TO PROTECT THE UTILITY FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITY FACILITIES CONCERNED BEFORE STARTING WORK. CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

PRIVATE ENGINEER'S NOTE TO ALL CONTRACTORS

The contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety for all persons and property; that this requirement shall apply continuously and not be limited to normal working hours, and that the contractor shall defend, indemnify and hold harmless the owner and private engineer from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

The existence and location of any underground utilities or structures shown on these plans are obtained by a search of available records. To the best of our knowledge, there are no existing utilities except those shown on these plans. The contractor is required to take all precautionary measures to protect the utilities shown, and any other lines or structures not shown on these plans, and is responsible for the protection of, and any damage to, these lines or structures.

GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY RDM STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.

2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.

3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.

4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

5. RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.

6. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.

7. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.

8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.

9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.

10. FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY RDM STANDARD PLAN NO. 1322.

11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.

12. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.

13. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.

14. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.

15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.

16. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90 % RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95 % RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-1 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.

17. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.

18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.

19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.

20. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.

21. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.01.420.

22. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.

23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.

24. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.

25. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.

26. EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.

27. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE)

28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.

29. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.

30. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.

31. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.

GRADING NOTES cont.

32. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL. HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.

33. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

34. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.

GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 P.M. AND 7:00 A.M. NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.

A. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.

B. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).

C. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.

GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

36. ASPHALT SECTIONS MUST BE PER CODE: PARKING LOTS = 3 A/C OVER 10" (COMM.) 12" (INDUSTRIAL). OR: PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.

37. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDM STANDARD PLAN NO. 1805.

38. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RDM STANDARD NO. 1804.

39. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.

40. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.

41. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

42. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.

43. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.

44. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.

45. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.

46. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

47. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.

48. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8871 OF THE BUSINESS AND PROFESSIONAL CODE.

EROSION CONTROL

INCLUDED ON THE SHEETS FOR EROSION CONTROL ARE GENERAL NOTES, STANDARDS AND GUIDELINES FOR THE IMPLEMENTATION OF EROSION, SILTATION AND SEDIMENT CONTROL AND OTHER BEST MANAGEMENT PRACTICES (BMPs) PROPOSED FOR THIS PROJECT. HOWEVER, THE OVERALL GOAL IS THAT ANY WATER THAT LEAVES THE SITE BE FREE AND CLEAR OF POLLUTANTS AT A RATE THAT DOESN'T CAUSE DOWN STREAM EROSION. THE CITY MAY REQUIRE ADDITIONAL BMPs AT ANY TIME TO ACHIEVE THAT GOAL.

EROSION CONTROL NOTES:

1. IN THE CASE EMERGENCY WORK IS REQUIRED, CONTACT JAY SKJERVEN AT PHONE NUMBER 714-713-2902

2. ALL BUILDING PADS TO BE DIKED AND THE DIKES MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND PARKWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION, OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.

3. TOPS OF ALL SLOPES TO BE DIKED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.

4. MANUFACTURED SLOPES AND PADS SHALL BE ROUNDED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SURROUNDING TOPOGRAPHY.

5. AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A H-30 ROROUGH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.

6. CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs), SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.

7. SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2 % AND ON OR IN OTHER GRADED OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.

8. THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERCEPTED BY THE SAND/GRAVEL BAGS, CATCH BASINS AND THE DESILTING BASINS AND OTHER BMPs, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.

9. BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.

10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

11. ALL GRAVEL BAGS SHALL BE BURLAP TYPE WITH 9 INCH MINIMUM AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DELETERIOUS MATERIAL.

12. SHOULD GERMINATION OF HYDROSEEDED SLOPES FAIL TO PROVIDE EFFECTIVE COVERAGE (90 %) OF GRADED SLOPES PRIOR TO NOVEMBER 15, THE SLOPES SHALL BE STABILIZED BY PUNCH STRAW.

13. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

ENVIRONMENTAL NOTES

14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERWASH IS PROHIBITED.

15. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINTS FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER, CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

PRECISE GRADING PLAN
FOR

26392 VIA CANON DRIVE (LOT 13, BLK. 23, TRACT 735)

ENVIRONMENTAL NOTES (cont.)

16. PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

17. DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

18. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.

NOTE:

ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2016 CALIFORNIA BUILDING CODE AND THE CITY OF DANA POINT MUNICIPAL CODE.

SOILS AND GEOLOGIST'S CERTIFICATION

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST OF WORK FOR THIS PROJECT, THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE PROJECT SOILS REPORT ENTITLED:

"GEOTECHNICAL EVALUATION, FOR PROPOSED SINGLE FAMILY RESIDENTIAL DEVELOPMENT, 26392 VIA CANON DRIVE, DANA POINT, ORANGE COUNTY, CALIFORNIA

I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS, AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

BY: GEOTECHNICAL ENGINEER R.C.E. 77214 DATE
PAUL HYUN JIN KIM EXP. 6/30/2017

BY: ENGINEERING GEOLOGIST C.E.G. 1892 DATE
EDWARD H. LAMONT EXP. 7/31/2018

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXPOSED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

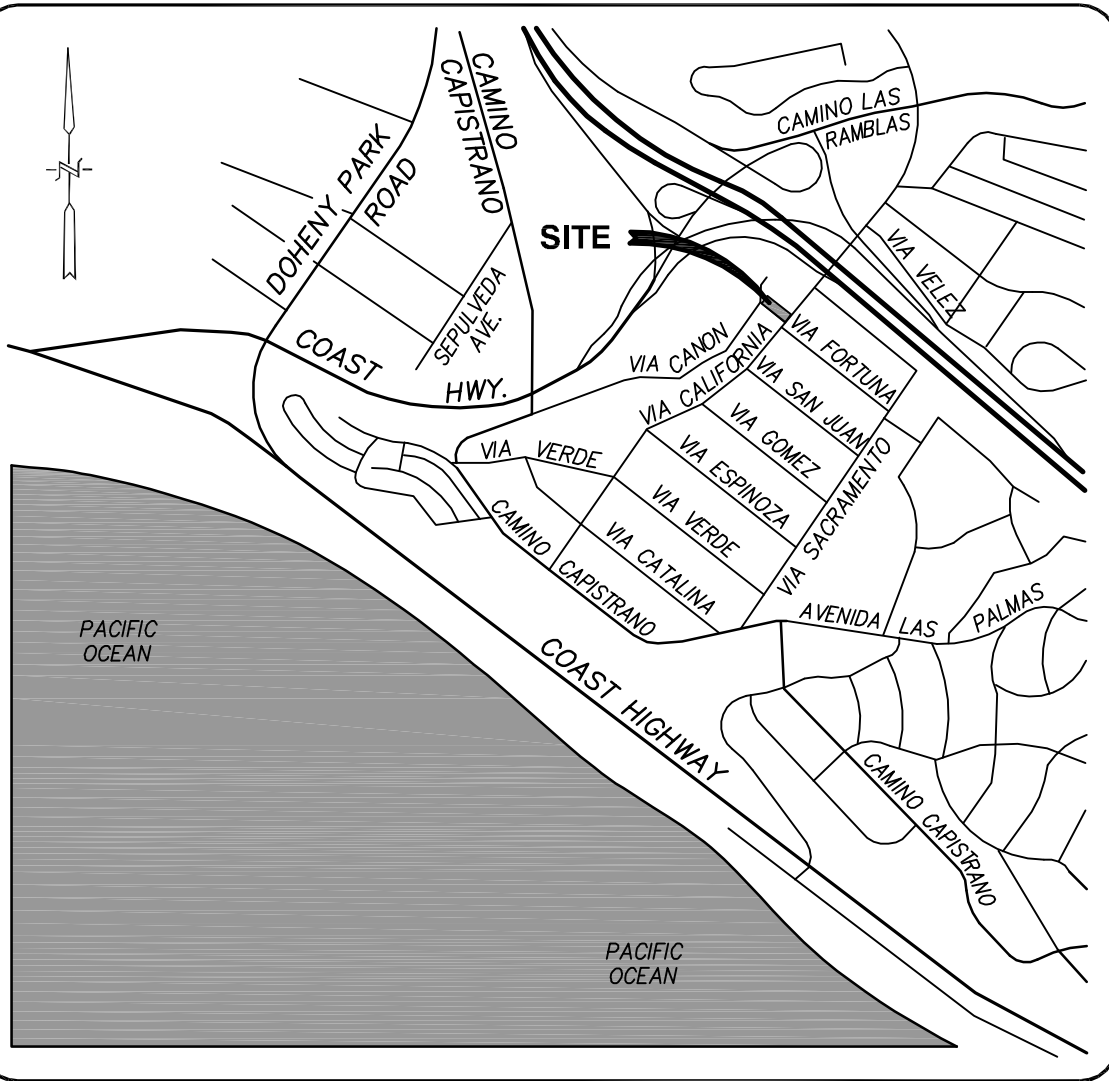
KING CIVIL ENGINEERING CORP.
101 S. KRAEMER BOULEVARD, SUITE 232
PLACENTIA, CALIFORNIA 92870
(714) 996-7010

BY: THOMAS A. KING R.C.E 16916 DATE
EXP. 6/30/2017

OWNER'S STATEMENT

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND THE TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENT IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH THE EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

SIGNATURE DATE



VICINITY MAP

N.T.S.

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/17

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.



SOURCE OF TOPOGRAPHY

FIELD SURVEY PERFORMED ON JUNE 17, 2016
BY: KING CIVIL ENGINEERING CORP

PLAN DATE: MARCH 21, 2017

CITY OF DANA POINT

PRECISE GRADING PLAN FOR
26392 VIA CANON DRIVE
LOT 13, BLK. 23, TRACT 735, M.M. 22/21-28
A.P.N.: 123-173-13

PLAN CHECK NO.

PA16-0115

C1 OF 5 SHEETS

CONSTRUCTION NOTES & QUANTITY ESTIMATE

EARTHWORK	CUT	FILL
EXCAVATION	50 CY	375 CY
SHRINKAGE (10%)	(-) 5 CY	
OVEREXCAVATION/RECOMPACTION	800 CY	800 CY
SHRINKAGE (10%) OVEREXCAVATION		(+) 80 CY
AVAILABLE CUT	845 CY	1255 CY
REQUIRED FILL		410 CY
IMPORT		

- PROTECT IN PLACE
- CONSTRUCT FULL DEPTH A.C. PAVEMENT.
- CONSTRUCT 6" THICK P.C.C. DRIVEWAY APPROACH PER CITY OF DANA POINT STD. PLAN S-12. "W" & "X" PER PLAN
- CONSTRUCT 4" THICK P.C.C. DRIVEWAY.
- CONSTRUCT CONCRETE BLOCK WALL.
- CONSTRUCT 6' HIGH VINYL FENCE.
- INSTALL 4" SCH. 40 PVC PIPE.
- INSTALL NDS #1230 12"x12" LOW PROFILE ADAPTOR WITH #1243 UNIVERSAL OUTLET AND 12"x12" #1212 GRATE, OR APPROVED EQUAL.
- INSTALL NDS 4" POP UP DRAINAGE EMITTER WITH ELBOW, OR APPROVED EQUAL.
- REMOVE EXISTING CONCRETE.
- REMOVE EXISTING A.C. PAVEMENT.
- REMOVE EXISTING CONCRETE CURB AND GUTTER.
- CONSTRUCT 4" THICK CONCRETE SIDEWALK PER CITY OF DANA POINT STD. PLAN S-13.
- CONSTRUCT A2-6 CONCRETE CURB AND GUTTER PER CITY OF DANA POINT STD. PLAN S-10.
- CONSTRUCT STANDARD CURB DRAIN 3" PVC PIPE OUTLET EXIST. CONSTRUCTION PER CITY OF DANA POINT STD. PLAN S-9A. CONNECT INLET TO PROP. CATCH BASIN.
- INSTALL 12"x12" BROOK PRODUCTS CATCH BASIN W/ PARKWAY GRATE.
- CONSTRUCT 1-1/2" SCH. 80 PVC WATER SERVICE.
- INSTALL 1-1/2" COPPER SERVICE AND 1" METER.
- CONSTRUCT 4" VCP SEWER LATERAL. JOIN EXISTING SEWER LATERAL.
- CONSTRUCT SEWER LATERAL CLEANOUT.
- INSTALL GRAVELBAGS TWO BAGS HIGH MINIMUM.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE

SHEET INDEX

TITLE SHEET	C1
PRECISE GRADING AND DRAINAGE PLAN	C2
SECTIONS AND DETAILS	C3
EROSION CONTROL PLAN	C4
TOPOGRAPHIC SURVEY	C5

PROJECT DATA

TOTAL SITE ACREAGE = 0.189 ACRES (8,253 S.F.)
PROJECT AREA = 0.22 ACRES (9,630 S.F.)
NEW IMPERVIOUS = 0.10 ACRES (4,509 S.F.)

ARCHITECT

WISHARD ARCHITECTS
DAN WISHARD
231 E. ALESSANDRO BLVD #A-216
RIVERSIDE, CA 92508
951-776-9880

OWNER

JAY SKJERVEN
22596 LA PUEBLA
MISSION VIEJO, CA 92692
714-713-2902

SOILS ENGINEER/GEOLOGIST

GEOTEK, INC.
710 EAST PARKRIDGE AVENUE, SUITE 105
CORONA, CA 92879-1097
951-710-1160
PROJECT NO. 1511-CR

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF N39°00'10"E FOR THE CENTERLINE OF VIA CALIFORNIA (HIGHLAND AVENUE) AS SHOWN A MAP RECORDED AS TRACT NO. 735, IN BOOK 22, PAGES 21 TO 28 INCLUSIVE, OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE ORANGE COUNTY RECORDER.

LEGAL DESCRIPTION

LOT 13, BLOCK 23, TRACT 735, AS SHOWN ON A MAP RECORDED IN BOOK 22, PAGES 21 TO 28 INCLUSIVE, OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.
A.P.N. 123-173-13

BENCH MARK

OCS BM 3B-49-68
ELEV= 24.071
NAVD88 DATUM, 1989 ADJ.


DESCRIPTION:
DESCRIBED BY OCS 2003 -- FOUND 3-3/4" OCS ALUMINUM BENCHMARK 3B-49-68, SET IN THE SOUTHWESTERLY CORNER OF A BRIDGE FOR THE ATCHINSON/TOPEKA/SANTA FE RAILWAY. MONUMENT IS LOCATED IN THE SOUTHWESTERLY PORTION OF PACIFIC COAST HIGHWAY AND IT UNDERCROSSING OF THE ATCHINSON/TOPEKA/SANTA FE RAILWAY, 10.8' SOUTHWESTERLY OF THE SOUTHWESTERLY RAIL ALONG THE TRACKS AND 8.5' NORTHWESTERLY OF THE SOUTHEASTERLY END OF THE GUARD RAIL ALONG THE BRIDGE. MONUMENT IS SET 1.5 FT. BELOW THE TRACKS AND 12 FT. ABOVE THE SURFACE OF PCH.



PLANS PREPARED BY:
KING CIVIL ENGINEERING CORP.,
101 S. KRAEMER BLVD., STE. 232
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Tel: (714) 996-7010
Fax: (714) 996-0322

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS
THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:

CITY PLANNING DEPARTMENT _____
DATE _____



PLAN CHECK N
PA16-0111
C2 OF 5 SHEET

A vertical ruler with markings from 0 to 4 inches. The word "INCHES" is written vertically along the ruler. Major markings are at 0, 1, 2, 3, and 4. There are also smaller markings between the major ones, representing tenths of an inch.



SECTION E-E

EX. R/W
1' FULL DEPTH R&R
19.5' EXIST. ROADWAY
1.5' DRIVE APPROACH
5' SIDEWALK
4' DRIVEWAY
1.5' EX. R/W

VARIES 6.37% - 10.69%

2% 10%

CF 9' 21.5'

SECTION F-F

EX. CURB & CUTTER
EX. CURB
EX. TO PER PLAN
EXIST. SIDEWALK
5' EX. R/W
4' DRIVEWAY
1.5' EX. R/W

VARIES 2:1
PROP. 1' WIDE 4" DEEP V-DITCH PER DETAIL HEREON
PROP. CONC. BLOCK WALL
6" MIN. FS PER PLAN
2.5' MAX. FS PER PLAN
TV PER PLAN
TL PER PLAN

SECTION H-H'

2.1

VARIES

5% MIN.

8'

12'

14'7"

C/L

FENCE

PROP. BUILDING

PAD ELEV.=22'7"

- (1) PROTECT IN PLACE
- (2)
- (3) CONSTRUCT 6" THICK P.C.C. DRIVEWAY APPROACH PER CITY OF DANA POINT STD. PLAN S-12. "W" & "X" PER PLAN.
- (4) CONSTRUCT 4" THICK P.C.C. DRIVEWAY.
- (5) CONSTRUCT 6" HIGH VINYL FENCE.
- (6) CONSTRUCT 4" SCH. 40 PVC PIPE.
- (7) INSTALL NDS #1230 12"x12" LOW PROFILE ADAPTOR WITH #1243 UNIVERSAL OUTLET AND 12"x12" GRATE OR APPROVED EQUAL.
- (8) INSTALL NDS #1230 12"x12" LOW PROFILE ADAPTOR OR APPROVED EQUAL.
- (9) INSTALL NDS 4" POP UP DRAINAGE EMITTER WITH ELBOW, SAWCUT OR APPROVED EQUAL.
- (10) SAWCUT
- (11) REMOVE EXISTING CONCRETE.
- (12) REMOVE EXISTING A.C. PAVEMENT.
- (13) REMOVE EXISTING CONCRETE CURB AND GUTTER.
- (14) CONSTRUCT 4" THICK CONCRETE SIDEWALK PER CITY OF DANA POINT STD. PLAN S-13.
- (15) CONSTRUCT A2-6 CONCRETE CURB AND GUTTER PER CITY OF DANA POINT STD. PLAN S-10.
- (16) CONSTRUCT STANDARD CURB DRAIN 3" PVC PIPE OUTLET EXIST. CONSTRUCTION PER CITY OF DANA POINT STD. PLAN S-98. CONNECT INLET TO PROP. CATCH BASIN.
- (17) INSTALL 12"x12" BROOK PRODUCTS CATCH BASIN W/ PARKWAY GRATE.
- (18) CONSTRUCT 1-1/2" SCH. 80 PVC WATER SERVICE.
- (19) INSTALL 1-1/2" COPPER SERVICE AND 1" METER.
- (20) CONSTRUCT 4" VCP SEWER LATERAL JOIN EXISTING SEWER LATERAL.
- (21) CONSTRUCT SEWER LATERAL CLEANOUT.

CONSTRUCTION NOTES

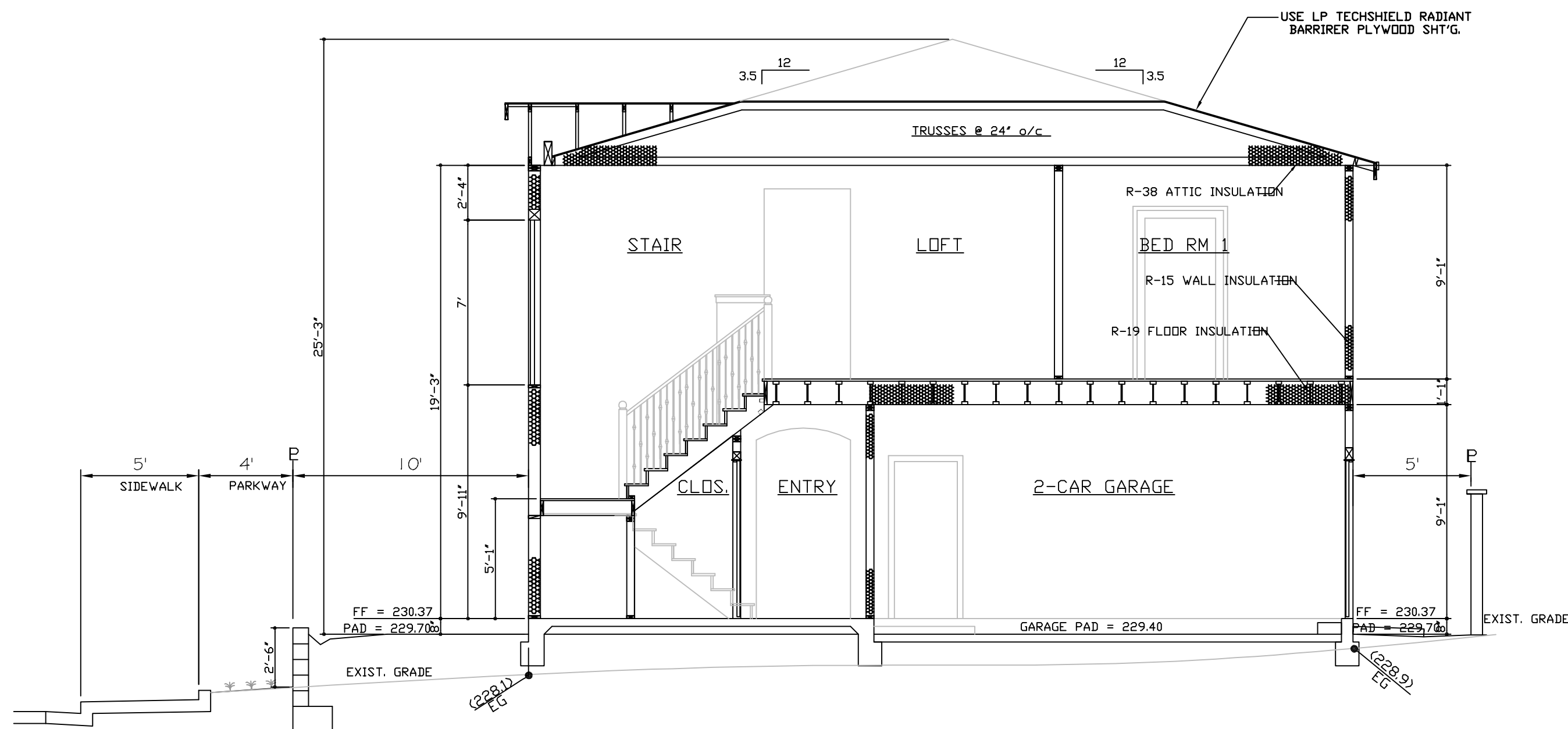
EXISTING GROUND	E6	(
EXISTING ELEVATION			
FLOW LINE	FL		
CURB FACE	CF		
TOP OF CURB	TC		
FINISH SURFACE	F5		
PROPOSED FINISH FLOOR ELEVATION	FF		
PROPOSED GARAGE FLOOR ELEVATION	GF		
PAD = 50.0			
PROPOSED PAV ELEVATION		6	
PROPOSED LOT NUMBER			
PROPOSED STORM DRAIN			
SEWER LINE			
EXISTING WATER LINE			
PROPOSED PARKING			
PROPOSED AC UNIT			
PROPOSED PIPE INVERT			

LEGEND

SCALE : 1" = 10'

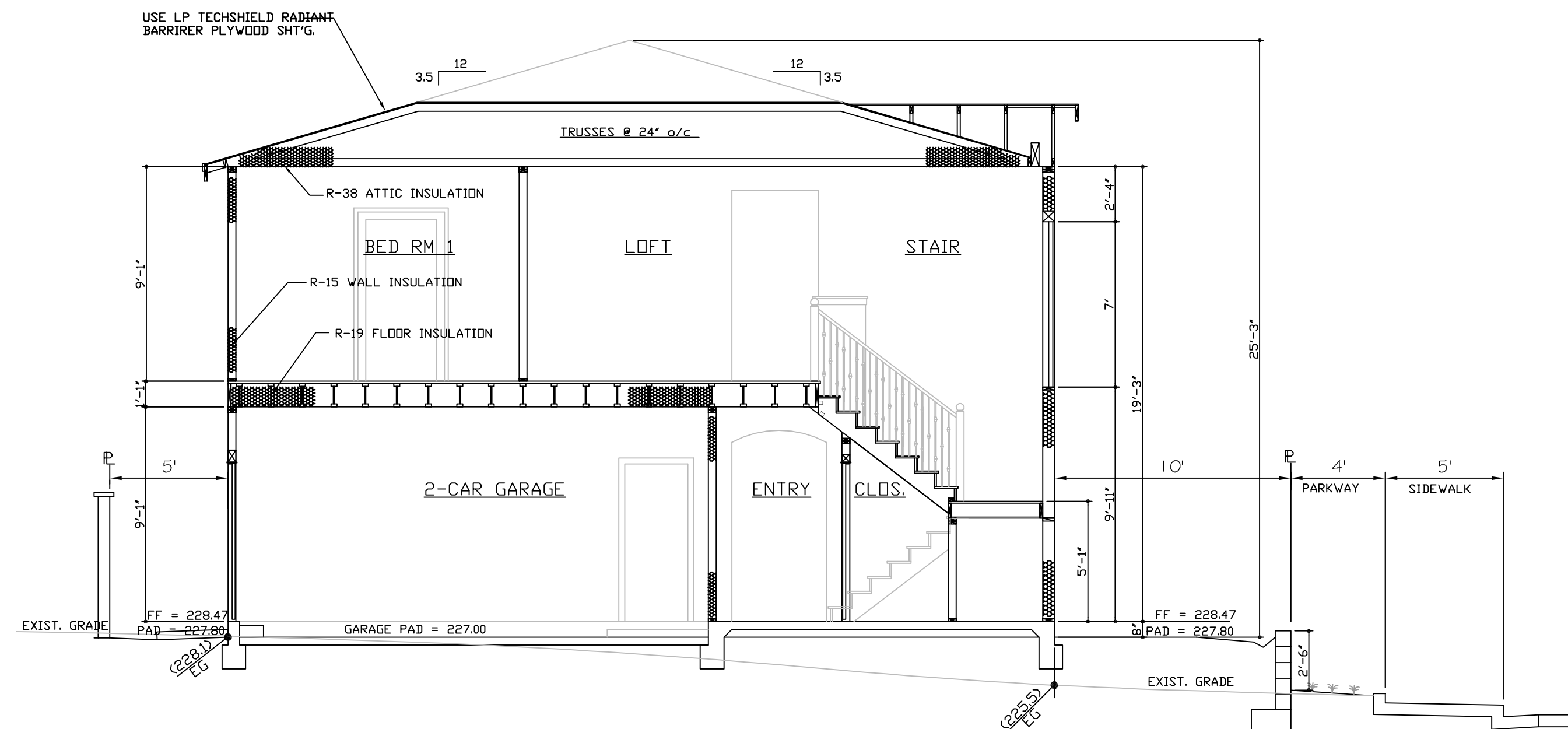
GRAPHIC SCALE

GRAPHIC SCALE



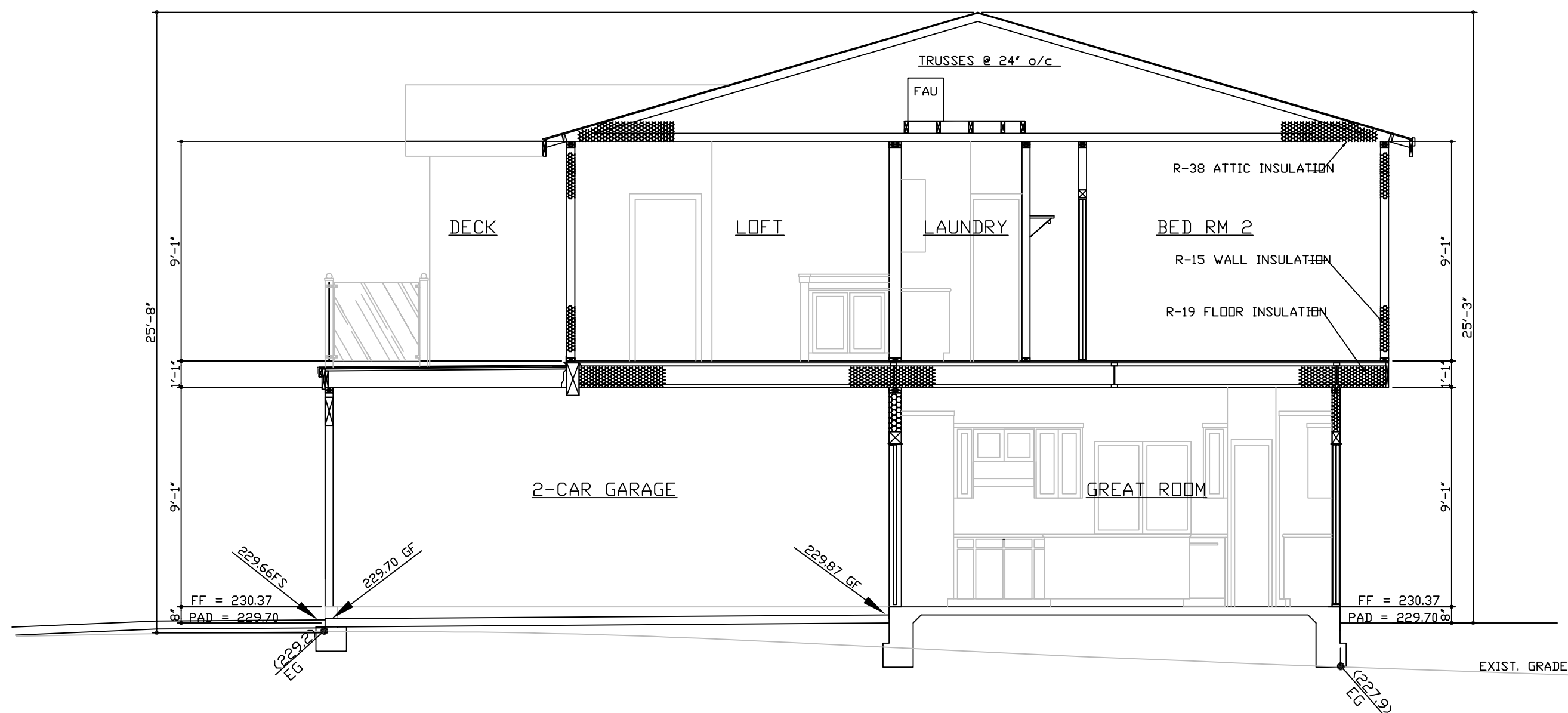
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CROSS SECTION A-A

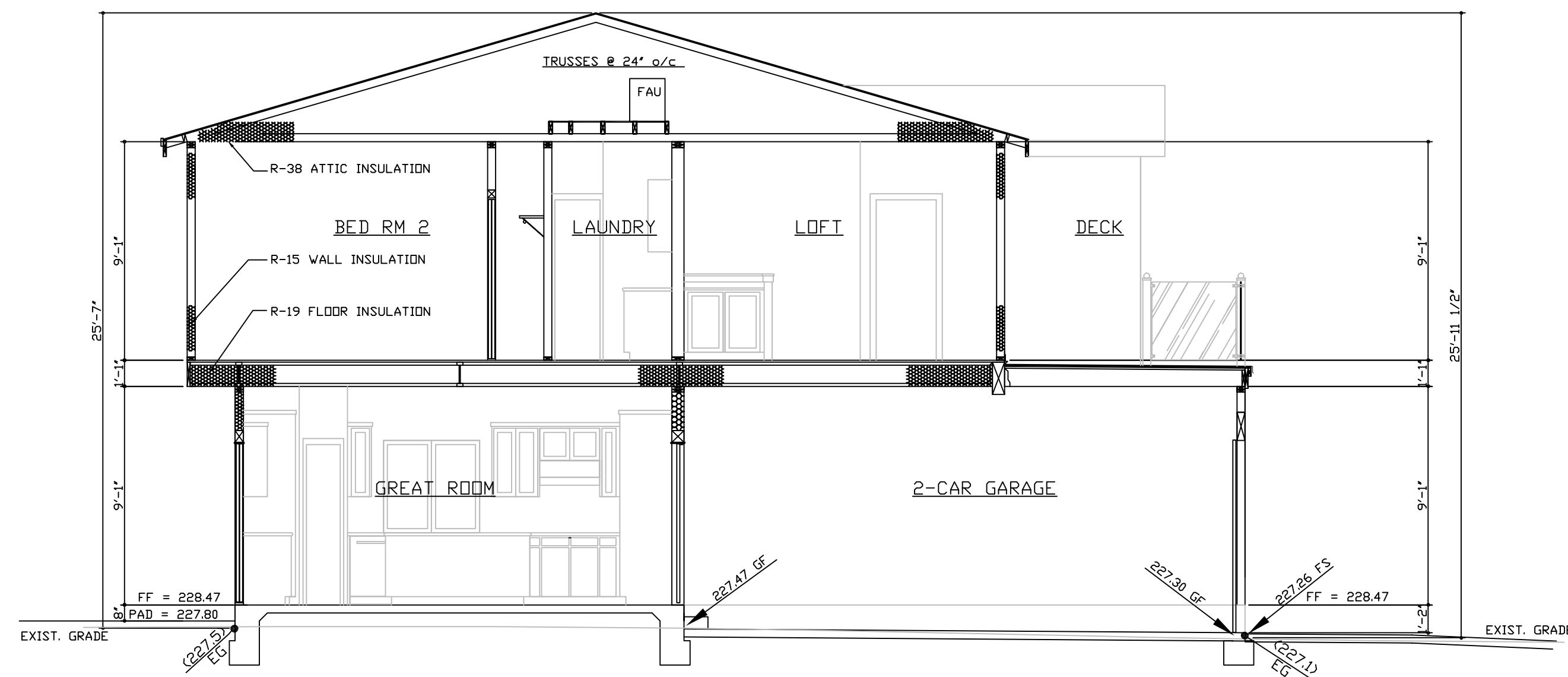


EXISTING GRADE LOW POINT=225.4

CROSS SECTION C-C



CROSS SECTION B-B



CROSS SECTION D-D

PLAN DATE: MARCH 21, 2017

REVISION	DESCRIPTION	APPROVED	DATE

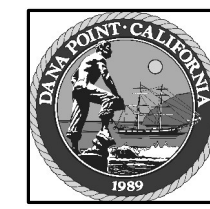
SCALE:	DESIGNED:	DRAWN:	CHECKED:
ACAD FILE NO.			
PROJECT NO.			
	ENGINEER OF WORK		R.C.E. NO.

PLANS PREPARED BY:
KING CIVIL ENGINEERING CORP.
101 S. KRAEMER BLVD. STE. 232
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BENCHMARK
OCS BM 38-49-68
ELEV= 24.071
NAVD85 DATUM, 1989 ADJ.
(SEE DESCRIPTION SHEET 1)

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS
THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
CITY PLANNING DEPARTMENT
DATE

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629
MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/17
THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND
REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS
ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.



CITY OF DANA POINT
SECTIONS & DETAILS FOR
26392 VIA CANON DRIVE
LOT 13, BLK. 23, TRACT 735, M.M. 22/21-28
A.P.N. : 123-173-13
PLAN CHECK NO.
PA16-0115
C3 OF 5 SHEETS

STORMWATER PROTECTION NOTES:

1. DURING THE RAINY SEASON, THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
2. NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE CITY OF DANA POINT'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISBURGANCE AREA. ALL EROSION, SILTATION AND SEDIMENT CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
3. THE PROPERTY OWNER IS OBLIGATED TO ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS ON THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORMWATER QUALITY. THE INSTALLATION AND MAINTENANCE OF THE BMPs IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE CITY OF DANA POINT OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
4. ON PROJECTS OF GREATER THAN 1 ACRE, ADD THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN, OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE WASTE DISCHARGE IDENTIFICATION (WDID) NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS [WDID#] [ALTERNATIVE, BUT WILL BE PROVIDED BEFORE A PERMIT IS ISSUED]. THE PERMITTEE SHALL KEEP A COPY OF AN UP-TO-DATE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY CITY.

5. BONDED FIBER MATRIX (BFM)

THE USE OF BFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

- A. APPLICATION RATES SHALL BE 3,500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4,000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
- B. BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
- C. THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
- D. BFM SHALL BE APPLIED TO PROVIDE 100 % COVERAGE (I.E., APPLICATION FROM MULTIPLE ANGLES).
- E. FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION OR HAND PLANTING. AS WITH ALL OTHER APPLICATIONS, SFM WILL NOT BE CONSIDERED PERMANENT UNTIL 70 VEGETATION ESTABLISHMENT.
- F. A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THE SFM WAS INSTALLED IN ACCORDANCE WITH APPROVED APPLICATION RATES, COVERAGE, AND MANUFACTURER'S DILUTION RATIO SHALL BE SUBMITTED TO THE CITY OF DANA POINT INSPECTOR FOR APPROVAL.

6. STABILIZED FIBER MATRIX (SFM)

- A. SFM MAY BE USED FOR TEMPORARY EROSION CONTROL FOR DISTURBED AREAS WITH A SLOPE RATIO OF 1 VERTICAL TO 2 HORIZONTAL OR SHALLOWER, INCLUDING PAD AND SEPTIC FIELD AREAS.
- B. THE SFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL AND SHALL BE APPLIED TO PROVIDE 100 COVERAGE (I.E., APPLIED FROM MULTIPLE DIRECTIONS AND ANGLES).
- C. THE APPLICATION AREA MUST BE PROTECTED BY BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE PROTECTED SLOPE.
- D. FOR PERMANENT EROSION CONTROL PURPOSES, SFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED EROSION CONTROL VEGETATION OR HAND PLANTING. AS WITH ALL OTHER APPLICATIONS, SFM WILL NOT BE CONSIDERED PERMANENT UNTIL 70 VEGETATION ESTABLISHMENT.
- E. COVERAGE AND CONCENTRATION: FOR EACH ACRE COVERED, THE MINIMUM APPLICATION VOLUME SHALL BE 10 GALLONS NON-TOXIC WATER-PERMEABLE SOIL-STABILIZING LIQUID EMULSION WITH 3,000 LBS. OF HYDRAULIC MULCH. THE EMULSION MUST BE DESIGNED TO PROTECT SOIL, PREVENT EROSION, AND FLOCCULATE (CLUMP) SEDIMENT.
- F. A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THE SFM WAS INSTALLED IN ACCORDANCE WITH APPROVED APPLICATION RATES, COVERAGE, AND MANUFACTURER'S DILUTION RATIO SHALL BE SUBMITTED TO THE CITY OF DANA POINT INSPECTOR FOR APPROVAL.

7. IF DISTURBED AREA IS GREATER THAN 1 ACRE, ADD THE FOLLOWING NOTE: FLAT AREAS OF LESS THAN 5 PADS, PARKING AREAS, LEACH FIELDS) SHALL HAVE 100 % PROTECTION USING GEOTEXTILES, MATS (SS-7 OR ESC26) OR OTHER EROSION CONTROL MATERIAL APPROVED BY THE CITY OF DANA POINT FOR STABILIZING SLOPES, OR USING TRACKING AND SOIL STABILIZERS/BINDERS (SS-5), TEMPORARY SEEDING (SS-4), MULCH/WOOD CHIPS (SS-3, SS-5, SS-8), OR JUTE MATTING (SS-7). THE CITY OF DANA POINT MAY REDUCE THIS REQUIREMENT FOR FLAT AREAS PROVIDED FULL SEDIMENT CONTROL IS PROVIDED THROUGH CONSTRUCTED AND MAINTAINED DESILTATION BASINS (SC-2) AT ALL PROJECT DISCHARGE POINTS.

8. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

9. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND, VEHICLE TRACKING OR RUNOFF.

10. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED ON CONSTRUCTION SITES UNLESS TREATED TO REMOVE SEDIMENT AND OTHER POLLUTANTS.

11. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL, MATERIAL SUPPLIERS, LESSOR AND THE PROPERTY OWNER ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

12. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERTY DISPOSED IN TRASH OR RECYCLE BINS.

13. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTE FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTS, HERBICIDES, PRESERVATIVES AND SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT POLLUTANTS ARE NOT CARRIED OFF THE SITE.

14. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

15. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

16. CATCH BASINS SHALL BE MARKED WITH A STENCIL, CONCRETE TILE TO INDICATE THAT NO DUMPING IS ALLOWED IN THE STORM DRAINAGE FACILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE CITY STREET MANAGER, RICK RUDOMETKIN, AT (949) 248-3589 ON THE METHOD, TYPE OF MARKING, AND PLACEMENT OF THE STORM DRAIN MARKINGS. STENCILING OR LABELING MAY ALSO BE REQUIRED IN SPANISH.

WQMP NOTES (ONLY FOR PROJECTS THAT REQUIRE A WQMP)

1. ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE APPROVED WATER QUALITY MANAGEMENT PLAN (WQMP).

SILTATION AND SEDIMENT CONTROL MEASURES:

1. THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEARED TO DESIGN CONTOURS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHOULD BE SEMI-PERMANENT STRUCTURES THAT WOULD REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL-ESTABLISHED ON ALL ERODIBLE SLOPES. SEDIMENT BASINS MUST BE DESIGNED IN ACCORDANCE WITH SECTION A OF THE STATE OF CALIFORNIA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES (GENERAL PERMIT), WHEN APPLICABLE. FOR PROJECTS NOT SUBJECT TO THE GENERAL PERMIT, SIZING SHALL BE IN ACCORDANCE WITH THE CITY'S GRADING AND EXCAVATION CONTROL ORDINANCE.

2. SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.

3. SEWER OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHOULD BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE.

4. ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS WITH A TOP ELEVATION TWO SANDBAGS BELOW THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH LAPPED COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE BUT NOT TO EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2 % TO 4%	100 FEET
4 % TO 10%	50 FEET
OVER 10%	25 FEET

5. AFTER SEWER UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON FEE CENTERLINE OF A CROWNED STREET.

6. ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET.

SILTATION AND SEDIMENT CONTROL MEASURES: (cont.)

7. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3 %	100 FEET
% TO 6 %	50 FEET
OVER 6 %	25 FEET

8. PROVIDE VELOCITY CHECK DAMS IN ALL PAVED STREET AREAS ACCORDING TO RECOMMENDED CRITERIA INDICATED ON THE ENCLOSED GRAPH ENTITLED "SANDBAG BARRIER SPACING FOR EROSION CONTROL IN GRADED STREETS" VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, GRAVEL BAGS, TIMBER, OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE CITY ENGINEER, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE VELOCITY CHECK DAMS. MAY ALSO SERVE AS SEDIMENT TRAPS.

9. PROVIDE EFFECTIVE INLET PROTECTION BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.

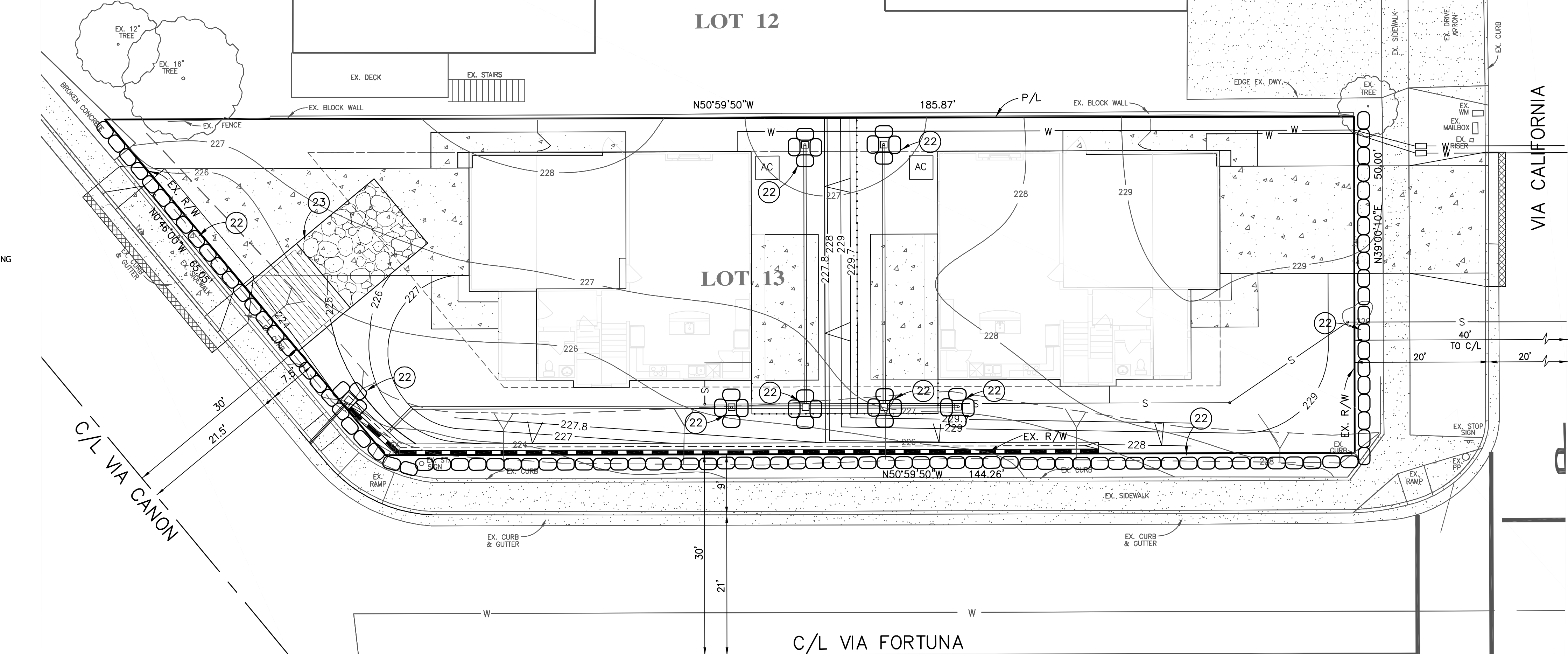
10. SAND/GRAVEL BAGS AND FILL MATERIAL, AND OTHER BMP MATERIALS SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.

11. ALL EROSION AND SEDIMENTATION CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED DURING AND AFTER EVERY RUNOFF PRODUCING STORM. IF POSSIBLE, MAINTENANCE CREWS WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.

12. PROVIDE ROCK RIPRAP ON CURVES AND STEEP DROPS IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOW THAT MAY BE ANTICIPATED FROM DENUDED SLOPES, OR FROM IMPERVIOUS SURFACES.

13. ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE CITY AGENCIES.

14. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AS NECESSARY TO ENSURE THAT ON-SITE SEDIMENT IS NOT TRANSPORTED OFF SITE.

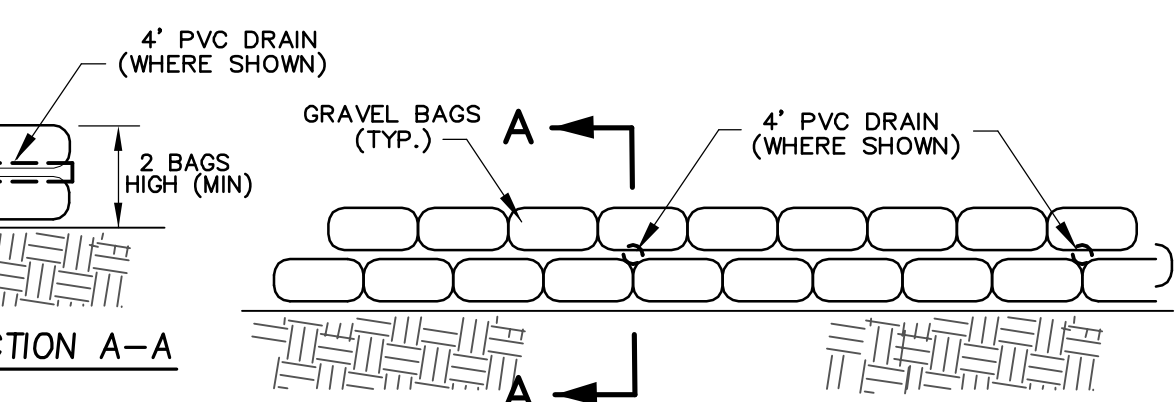


CONSTRUCTION NOTES

- 22 - INSTALL GRAVELBAGS TWO BAGS HIGH MINIMUM PER DETAILS HEREON, OR APPROVED EQUAL
- 23 - INSTALL STABILIZED CONSTRUCTION ENTRANCE

LEGEND

TYPICAL GRAVELBAGS TWO BAGS HIGH MINIMUM



DRY SEASON REQUIREMENTS (MAY - SEPTEMBER)

1. WIND EROSION BMPs (DUST CONTROL) SHALL BE IMPLEMENTED.
2. SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED AT ALL OPERATIONL STORM DRAIN INLETS.
3. BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING SHALL BE IMPLEMENTED AND MAINTAINED.
4. APPROPRIATE WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER BY WASTES AND CONSTRUCTION MATERIALS.
5. APPROPRIATE NON-STORM WATER BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER FROM CONSTRUCTION ACTIVITIES.
6. THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM IS DEFINED AS A FORECASTED, 50 % CHANCE OF RAIN).
7. SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY SEDIMENT CONTROL BMPs (AT THE SITE PERIMETER, SITE SLOPES AND OPERATIONAL INLETS WITHIN THE SITE) NECESSARY TO PREVENT SEDIMENT DISCHARGES FROM EXPOSED PORTIONS OF THE SITE SHALL BE STORED ON SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs AS DESCRIBED IN ITEM H ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
8. DEPLOYMENT OF PERMANENT EROSION CONTROL BMPs (PHYSICAL OR VEGETATION) SHOULD COMMENCE AS SOON AS PRACTICAL ON SLOPES THAT ARE COMPLETED FOR ANY PORTION OF THE SITE. STANDBY BMP MATERIALS SHOULD NOT BE RELIED UPON TO PREVENT EROSION OF SLOPES THAT HAVE BEEN COMPLETED.

WET SEASON REQUIREMENTS (OCTOBER - APRIL)

1. WHERE APPROPRIATE SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AT THE SITE PERIMETER, AT ALL OPERATIONAL STORM DRAIN INLETS AND AT ALL NON-ACTIVE SLOPES, TO PROVIDE SUFFICIENT PROTECTION FOR STORMS LIKELY TO OCCUR DURING THE RAINY SEASON.
2. ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs (TEMPORARY OR PERMANENT) SHALL BE INSTALLED AND ESTABLISHED FOR ALL COMPLETED SLOPES PRIOR TO THE START OF THE RAINY SEASON. THESE BMPs MUST BE MAINTAINED THROUGHOUT THE RAINY SEASON. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP MAY INDICATE THAT THE BMP, AS INSTALLED, WAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENTS MUST RESULT IN A MORE ROBUST BMP, OR ADDITIONAL BMPs SHOULD BE INSTALLED TO PROVIDE ADEQUATE PROTECTION.
3. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED RAINSTORM.
4. A DISTURBED AREA THAT IS NOT COMPLETED BY THAT IS NOT BEING ACTIVELY GRADED (NON-ACTIVE AREA) SHALL BE FULLY PROTECTED FROM EROSION WITH TEMPORARY OR PERMANENT BMPs (EROSION AND SEDIMENT CONTROL). THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. EROSION AND SEDIMENT CONTROL BMPs MUST ACTUALLY BE DEPLOYED. THIS INCLUDES ALL BUILDING PADS, UNFINISHED ROADS AND SLOPES.
5. SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY EROSION AND SEDIMENT CONTROL BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PERMANENT PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.

PLAN DATE: MARCH 21, 2017

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS
THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:

MATTHEW V. SINACORI, CITY ENGINEER
RCE #59239 EXP. 06/30/17

DATE

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CITY OF DANA POINT

EROSION CONTROL PLAN FOR
26392 VIA CANON DRIVE
LOT 13, BLK. 23, TRACT 735, M.M. 22/21-28
A.P.N.: 123-173-13

PLAN CHECK NO.
PA16_0115

C4 OF 5 SHEETS

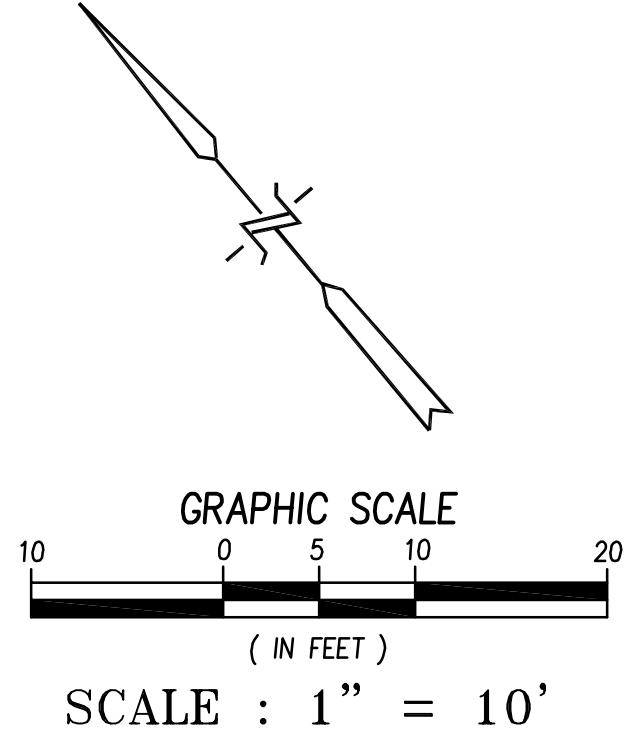
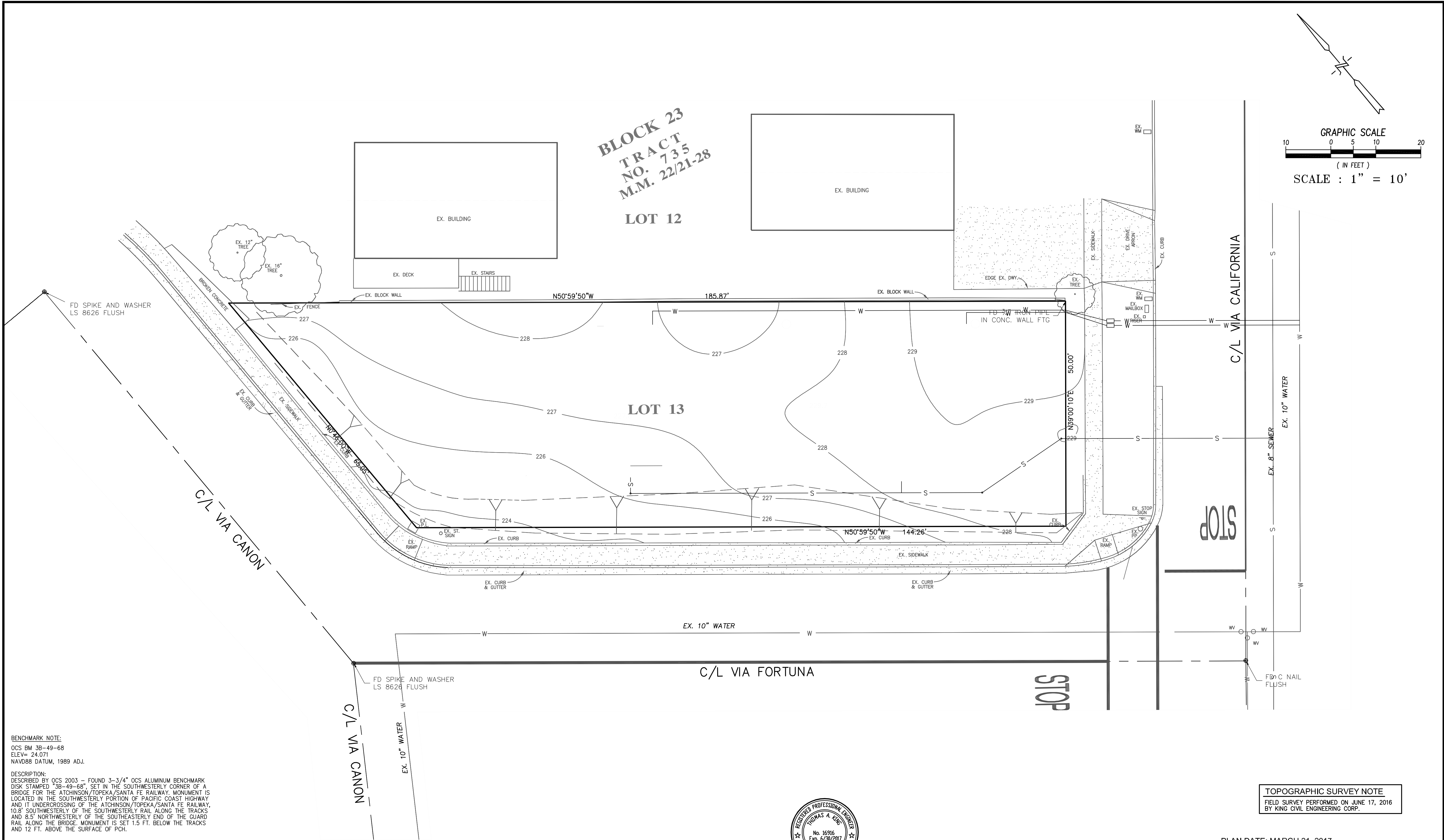
I:\Forms & Standards\Standard Border Rev062415.dwg

BENCHMARK NOTE:
OCS BM 38-49-68
ELEV= 24.071
NAVD88 DATUM, 1989 ADJ.

DESCRIPTION:
DESCRIBED BY OCS 2003 - FOUND 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "38-49-68", SET IN THE SOUTHWESTERLY CORNER OF A BRIDGE FOR THE ATCHINSON/TOPEKA/SANTA FE RAILWAY. MONUMENT IS LOCATED IN THE SOUTHWESTERLY PORTION OF PACIFIC COAST HIGHWAY AND IT UNDERCROSSING OF THE ATCHINSON/TOPEKA/SANTA FE RAILWAY, 10.8' SOUTHWESTERLY OF THE SOUTHWESTERLY RAIL ALONG THE TRACKS AND 8.5' NORTHWESTERLY OF THE SOUTHEASTERLY END OF THE GUARD RAIL ALONG THE BRIDGE. MONUMENT IS SET 1.5 FT. BELOW THE TRACKS AND 12 FT. ABOVE THE SURFACE OF PCH.

BOUNDARY NOTE:
THIS IS NOT A BOUNDARY SURVEY. THE TOPOGRAPHIC FEATURES AS SHOWN ON THIS MAP MAY BE ADJUSTED RELATIVE TO THE PLAT UPON COMPLETION OF A BOUNDARY SURVEY.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1"=10'	DESIGNED: TAK	DRAWN: RLS	CHECKED: TAK	PLANS PREPARED BY: KING CIVIL ENGINEERING CORP. 101 S. KRAEMER BLVD. STE. 232 PLACENTIA, CA. 92870 Tel: (714) 996-7010 Fax: (714) 996-0322	BENCHMARK OCS BM 38-49-68 ELEV= 24.071 NAVD88 DATUM, 1989 ADJ. (SEE DESCRIPTION ABOVE LEFT)	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/17 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	CITY OF DANA POINT TOPOGRAPHIC SURVEY 26392 VIA CANON DRIVE LOT 13, BLK. 23, TRACT 735, M.M. 22/21-28 A.P.N. : 123-173-13		PLAN CHECK NO. PA16_0115 C5 OF 5 SHEETS	
				ACAD FILE NO.	THOMAS A. KING		DATE 16916						PLAN DATE: MARCH 21, 2017		
				PROJECT NO. 2556	ENGINEER OF WORK		R.C.E. NO.								



TOPOGRAPHIC SURVEY NOTE
FIELD SURVEY PERFORMED ON JUNE 17, 2016
BY KING CIVIL ENGINEERING CORP.

ORIGINAL SCALE: 1" = 10'