

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: FEBRUARY 13, 2017

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
BELINDA DEINES, SENIOR PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP16-0010 AND MINOR SITE DEVELOPMENT PERMIT 16-0043(M) TO ALLOW ADDITIONS AND ALTERATIONS TO AN EXISTING SINGLE-FAMILY DWELLING LOCATED WITHIN THE DANA POINT SPECIFIC PLAN AT 24722 EL CAMINO CAPISTRANO

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP16-0010 and Minor Site Development Permit SDP16-0043(M).

APPLICANT: Rose and Scott McNutt, Property Owner

REPRESENTATIVE: Benjamin Stevens, Architect

REQUEST: Approval of a Coastal Development Permit to allow a 140 square-foot addition to an existing single-family dwelling located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 24722 El Camino Capistrano (APN 682-203-09)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on February 2, 2017, published within a newspaper of general circulation on February 2, 2017, and posted on February 2, 2017 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes additions to an existing single-family dwelling that will result in an increase of less than 50% of the existing floor area.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Specific Plan (DPSP), Orange County Zoning Code (OCZC) and Local Coastal Program Land Use Plan/Implementing Actions Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP, DPSP and OCZC for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP(M)).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is a 17,448 square-foot lot located on land identified as a coastal bluff as defined by the Dana Point Specific Plan (DPSP). The property is zoned "Coastal Medium Density Residential" (C-MDR) District, with a General Plan land use designation of Residential 3.5-7. The lot is rectangular in shape with the exception of the rear property line that is angled across the bluff top. The property is immediately adjacent to Heritage Park to the east, Dana Point Harbor to the south, and single-family residences to the north and west. The subject site is located within the City's Coastal Overlay District (the California Coastal Zone) and within the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The property is developed with an existing 6,629 square-foot single-family residence and attached three-car garage. The proposed scope of work includes an interior remodel and ground level living area addition of 140 square feet toward the front of the structure to enlarge an existing bedroom, bathroom and closet.

The development standards for this property are set forth by DPSP, and the proposed improvements comply with the required setbacks for the site. New construction on this project site is required to observe a 20'-0" front setback, 5'-0" side setbacks, and a 40'-0" setback from the coastal bluff edge as determined by the submitted geological report. The existing structure encroaches into the rear setback and is built 28'-11" from the bluff edge. OCZC Section 7-9-151.1 allows additions to a nonconforming main building which conforms to use, such that the addition fully complies with all the applicable development standards. The maximum allowable height is 28' and the existing height of 23'-5" will remain as-is. The proposed addition is located toward the front of the structure complies with the 40' bluff edge setback in the rear of the property. The proposed addition and new improvements meet the required development standards for the C-MDR District.

The applicant proposes to remodel the majority of existing living area and has limited the amount of interior and exterior wall demolition to approximately 40% of the existing structure. Plans also include construction of a new attached covered patio within the interior courtyard. Various site improvements include new hardscape, landscape, walls

and fencing. The existing pool will be replaced and redesigned into a new pool and spa in the courtyard. The new pool configuration is setback a sufficient distance from the coastal bluff edge, beyond the threat of bluff erosion as determined by the geotechnical report in compliance with DPSP. A preliminary geotechnical report, grading plan and drainage plan have been submitted and reviewed by the City's Public Works/Engineering Department.

The proposed site improvements within the 40' bluff setback includes new landscape and hardscape. DPSP proposes development of a bluff top walk to provide linkage between the regional pedestrian trail entering the Dana Point area from the north to Doheny State Beach and between upland recreational uses proposed along the coastal bluffs. The specific use of the bluff top walks is intended to provide pedestrian access and coastal viewing. The DPSP and LCP note that the dedication of an easement from a property owner for the trail system is exacted at the time of development or redevelopment of the property.

In 2004, an easement for public pedestrian access was recorded for the subject property. The easement consists of a 15' wide dedication measured along the top of slope as shown on the Site Plan, Sheet A.001. Should the City pursue development of the public pedestrian access in the future, the applicant will be required to remove all existing encroachments as referenced in Condition No. 9 in the draft resolution.

No increase in height is proposed to the existing structure, and the additions are proposed under the existing eaves. The new attached covered patio includes a 4:12 gable to match the existing roof. A new outdoor kitchen and exterior fireplace are proposed in the existing courtyard. The applicant proposes to update the exterior finishes with new standing seam metal roofing in a weathered copper color, white smooth stucco, wood siding, fencing and gates, stone veneer, and bronze metal clad windows and doors.

The project as designed complies with all applicable development standards, including setbacks, parking, lot coverage and height limits. No deviations are requested.

Coastal Development Permit CDP16-0010

A Coastal Development Permit is required for any alteration of land form, or removal or placement of vegetation, within 50' of a coastal bluff edge, pursuant to the LCP and "Coastal Development" District Regulations of the DPSP. The applicant proposes to install new landscape and on-grade pavers within the 40' bluff top setback. The proposed landscaping consists of drought-tolerant vegetation and is in compliance with DPSP requirements. No irrigation is proposed within the bluff top setback. DPSP allows grading, as required to establish proper drainage or to install landscaping, and minor improvements that do not impact public views or bluff stability.

Pursuant to the "Coastal Development" District Regulations section of the Dana Point

Specific Plan, a Coastal Development Permit application may be approved only after the approving authority has made the following findings:

1. Local Coastal Program: That the development project proposed by the application conforms with the certified Local Coastal Program.
2. Zoning or District Regulations: That the application is consistent with the purpose and intent as well as the other provisions of the Orange County Zoning Code or district regulations of this Specific Plan applicable to the property.
3. California Coastal Act: That the project conforms with the public access and public recreation policies of the California Coastal Act.

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 17-02-13-XX, attached to this report as Action Document 1.

Site Development Permit SDP16-0043(M)

A site development permit is required to exceed the 6' wall height within the side setback. Because the property is adjacent to a public park (Heritage Park), the applicant is requesting approval to incorporate additional privacy screening above the existing site wall. New stained wood fencing will be installed to match the residence and is proposed at a maximum height of 9'-8" above existing grade. The existing block wall will be refinished with smooth cement plaster. The combination of wood fencing and smooth plaster block walls help to articulate and minimize the perceived mass of the wall along the side yard facing the public park. DPSP states that within setback areas except for the front, the maximum 6' height may be exceeded for the purpose of noise mitigation or health and safety measures, subject to Section (c)(2)(b) in the C-RMD District regulations.

The approval of a Site Development Permit for fence/wall height modification is subject to the additional findings as specified in OCZC section 7-9-137.5:

1. The height and location of the fence or walls as proposed will not result in or create a traffic hazard.
2. The location, size, design and other characteristics of the fence or wall will not create conditions or situations that may be objectionable, detrimental or incompatible with other permitted uses in the vicinity.

Recommended approval findings for the Site Development Permit are included in the attached draft Resolution No. 17-02-13-xx

CORRESPONDENCE: To date, no correspondence has been received regarding this project. The subject property is not located within a homeowner's association.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Specific Plan, Orange County Zoning Code and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 16-0010 and Minor Site Development Permit 16-0043(M) subject to the findings and conditions of approval contained therein.



Belinda Deines, Senior Planner



Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 17-02-13-xx

Supporting Documents

2. Vicinity Map
3. Color and Materials Board
4. Site Photos
5. Architectural Plans

RESOLUTION NO. 16-02-13-XX

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT
PERMIT CDP16-0010 AND MINOR SITE DEVELOPMENT PERMIT 16-
0043(M) TO ALLOW ADDITIONS AND ALTERATIONS TO AN EXISTING
SINGLE-FAMILY DWELLING LOCATED WITHIN THE DANA POINT
SPECIFIC PLAN AT 24722 EL CAMINO CAPISTRANO**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Benjamin Stevens, Architect, (the "Representative") has filed an application on behalf of Rose and Scott McNutt ("Applicant"), the owners of real property commonly referred to as 24722 El Camino Capistrano (APN 682-203-09) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit and a Site Development Permit to allow additions and alterations to an existing single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Section 7-9-150 of the Orange County Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes additions to an existing single-family dwelling that will result in an increase of less than 50% of the existing floor area; and

WHEREAS, the Planning Commission did, on the 13th day of February, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP16-0016 and Site Development Permit SDP16-0043(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP16-0010 and SDP16-0042(M) subject to conditions of approval:

Findings:

Coastal Development Permit CDP16-0010

1. That the development project proposed by the application conforms with the certified Local Coastal Program in that the proposed grading and landscaping improvements within the 40' bluff top setback adhere to the provisions of the LCP. Within the required bluff top setback, drought-tolerant vegetation shall be maintained. The proposed grading will be limited and minimal, as required to establish proper drainage, to install landscaping and minor improvements that do not impact public views or bluff stability. Additional erosion control measures have been applied for all proposed construction beyond the required bluff top setback to ensure that all surface and subsurface drainage will not contribute to the erosion of the bluff face or the stability of the bluff itself. The proposed plans incorporate all recommendations as specified in the submitted geotechnical and soils reports reviewed by the City's Public Works/Engineering Department. No development is proposed on the bluff face, and all drainage will be diverted away from the bluff.
2. That the application is consistent with the purpose and intent as well as the other provisions of the Orange County Zoning Code or district regulations of this Specific Plan applicable to the property in that the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable documents and, subject to conditions of approval, has been found consistent.
3. That the project conforms with the public access and public recreation policies of the California Coastal Act in that the proposed development would not alter existing public access or public recreation in the vicinity. The property is located immediately adjacent to an existing public park that provides hilltop scenic views of Dana Point Harbor and direct pedestrian access down the bluff approximately 700' from the subject site. Furthermore, the property maintains an existing 15' wide public pedestrian access easement across the top of the bluff. Based on the proposed scope of work, the applicant is not required to improve the bluff top walk for public access. If the City seeks development of the public pedestrian access in the future, the applicant will be required to remove privately maintained encroachments, including landscaping, on-grade pavers and fencing.

Site Development Permit SDP16-0043(M)

1. The height and location of the fence or walls as proposed will not result in

or create a traffic hazard in that the proposed extension of the wall is located along the side property line adjacent to an existing public park and landscaped area. There is a public parking lot for the park that abuts the proposed fencing, and there are existing bottle-brush trees and bougainvillea shrubs that provide a buffer between the subject site and the drive aisles and parking stalls. Therefore, there are no vehicular or access conflicts associated with the proposed location of the additional wood fencing above the existing block wall. The total height of the wall shall not exceed 9'-8" above existing grade.

2. The location, size, design and other characteristics of the fence or wall will not create conditions or situations that may be objectionable, detrimental or incompatible with other permitted uses in the vicinity in that the proposed improvements will provide mitigation measures for the purpose of noise, health and safety concerns. The applicant requests the additional fence height for privacy and screening. The existing block wall will be refinished with white smooth cement plaster to upgrade the appearance as viewed from the public park. The new, natural wood fencing will match the new exterior finishes of the main residence, which will minimize the appearance of mass and blend with the existing park landscaping.

Conditions:

General:

1. Approval of this application permits additions and alterations to an existing single-family dwelling at 24722 El Camino Capistrano in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Dana Point Specific Plan, Orange County Zoning Code, and Local Coastal Program.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans.

Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.

5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
8. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable

television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.

9. The Applicant, and any successors, assigns or future holders of interest for the subject property shall be responsible for the removal, at no cost to the City of Dana Point, of such encroachments into the public pedestrian access easement and restoration of the terrain within sixty days after receipt of written notice.
10. An Encroachment Permit shall be obtained prior to any work within the City Right-of-Way.
11. The Applicant, Applicant's agent(s), or successor-in-interest shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
12. The Applicant, or Applicant's agent(s), shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant, or Applicant's agent(s), shall provide erosion and sediment control measures at all times. The Applicant, or Applicant's agent(s), shall maintain the erosion and sediment control devices until the final approval of all permits.
13. The Applicant, Applicant's agent(s), or successor-in-interest shall cause the preparation and submittal of a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.
14. The previously reviewed and approved setback, per the zoning code and project geotechnical report, of 40-feet shall be clearly shown on all plans submitted for review and approval. All plans submitted shall reflect the determined bluff edge and all associated setbacks on the submitted "Response to Geotechnical Review for 24722 El Camino Capistrano..." (dated December 16, 2016) and "Preliminary Geotechnical Report..." (dated November 10, 2016) by Borella Geology, Inc.
15. Per Municipal Code Section 9.27.030, no new structure foundations will be allowed within the 40-feet bluff edge setback.
16. Should the existing foundations and/or slab be found not suitable for the proposed improvements during construction, all new foundations will be required to be outside the 40-feet bluff edge setback.

17. Concentrated surface water should not be permitted to flow over the edge of bluff; surface drainage should be designed by a CA licensed civil engineer to slope away from the bluff edge to designated outlets.

Prior to Issuance of a Building Permit:

18. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan.
19. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
20. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of a grading and drainage plan (and soils report if required) in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
21. The application for a building permit shall include a grading/drainage plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal in conformance with Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
22. The Applicant, or Applicant's agent(s), shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
23. The Applicant, or Applicant's agent(s), shall submit an Erosion and Sediment Control plan in compliance with all State of California and the City of Dana Point standards for review and approval.
24. The Applicant, or Applicant's agent(s), shall submit a separate survey (as included in the CDP application) of the property clearly showing the bluff edge and 40-feet bluff edge setback and in compliance with all the City of Dana Point standards for review and approval.
25. The Applicant, or Applicant's agent(s), shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of

Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

26. Per Municipal Code Section 9.27.030, proposed improvements allowed within the determined slope setback, shall be reviewed on all architectural, civil, and landscape plans as necessary.

Prior to Final Approval of All Permits:

27. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual. The report should include (as applicable) the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. The report should also include conclusions and recommendations regarding applicable setbacks, foundations, floor slabs and hardscape, swimming pool demolition and reconstruction, and any other relevant geotechnical aspects of the site. The report shall state that geotechnical aspects of the project were completed in conformance with the recommendations of the geotechnical report and City of Dana Point.
28. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
29. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
30. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions to the satisfaction of the City Engineer.
31. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. Public Works final approval will be required for all permits.
33. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
34. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

**PLANNING COMMISSION RESOLUTION NO. 17-02-13-XX
CDP16-0010; SDP16-0043(M)
PAGE 8**

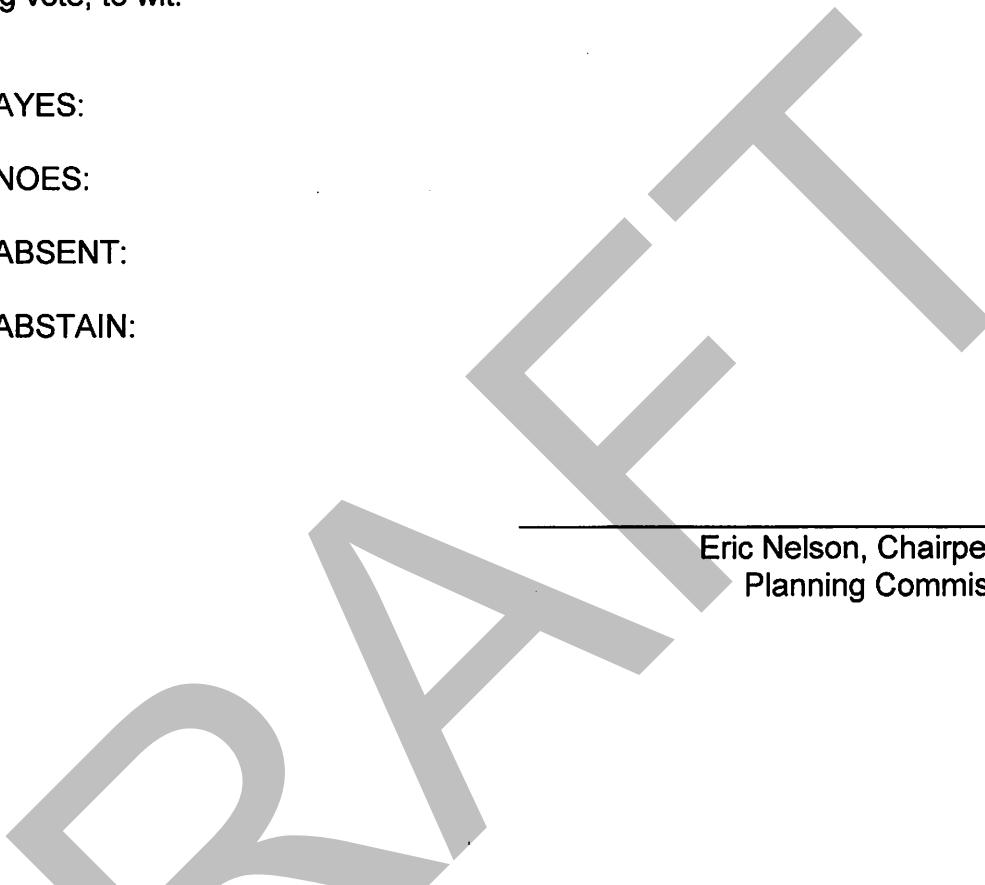
PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13th day of February, 2017 by the following vote, to wit:

AYES:

NOES:

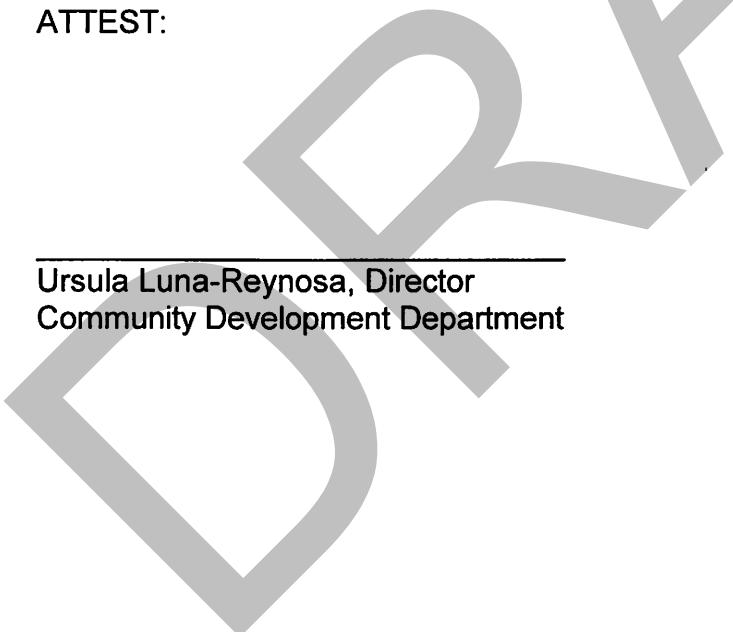
ABSENT:

ABSTAIN:



Eric Nelson, Chairperson
Planning Commission

ATTEST:



Ursula Luna-Reynosa, Director
Community Development Department

VICINITY MAP

24722 EL CAMINO CAPISTRANO





ROOFING

MANUFACTURER: CUSTOM-BILT METALS, OR EQUAL
PRODUCT: STANDING SEAM METAL ROOFING
COLOR: WEATHERED COPPER COLOR



HORIZONTAL SIDING, FENCING, GATES

MANUFACTURER: TBD
PRODUCT: WOOD SHIPLAP SIDING
COLOR: IPE, NATURAL OILED FINISH



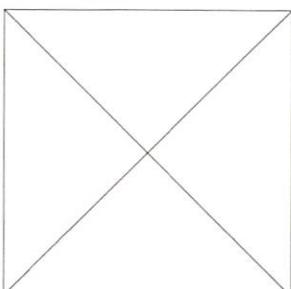
STONE VENEER

MANUFACTURER: TBD
PRODUCT: NATURAL STONE VENEER
COLOR: OFF-WHITE AND CREAM



WINDOWS AND DOORS

MANUFACTURER: TBD
PRODUCT: METAL CLAD WINDOWS AND DOORS
COLOR: BRONZE ANODIZED



NOT UTILIZED

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benjamin john stevens, architect
25251 via piedra blanca, laguna niguel, ca 92677
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MCNUTT RESIDENCE REMODEL
24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629
LEGAL DESCRIPTION: APN 682-203-09

COLOR AND MATERIALS
BOARD

SUBMITTAL DATES

JOB #: 1522
DATE: 10.17.2016
SHEET:



RECEIVED

FRONT ELEVATION OF PROJECT SITE

JOB #: 1522 DATE: 05/23/2016 SHEET: PAGE 1 OF 5	MAY 23 2016 CITY OF DANA POINT COMMUNITY DEVELOPMENT DEPARTMENT SUBMITTAL DATE:	PHOTOGRAPHIC LOG OF EXISTING CONDITIONS	MCNUTT RESIDENCE REMODEL 24722 EL CAMINO CAPISTRANO DANA POINT, CALIFORNIA 92629 LEGAL DESCRIPTION: APN 682-203-09	benjamin john stevens, architect 25251 via piedra blanca, laguna niguel, ca 92677 949.680.8616 ben@benjaminjohnstevens.com
BENJAMIN JOHN STEVENS, ARCHITECT EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED OR CHANGED OR COPIED IN ANY FORM MANER WHATSOEVER ARE THE TO BE ASSIGNED TO AN THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF BENJAMIN JOHN STEVENS, ARCHITECT.				



FRONT ELEVATION OF ADJACENT PROPERTY TO THE EAST



FRONT ELEVATION OF ADJACENT PROPERTY TO THE WEST

PHOTOGRAPHIC LOG OF
EXISTING CONDITIONS

MCNUTT RESIDENCE REMODEL
24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629
LEGAL DESCRIPTION: APN 682-203-09

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PHOTO
PAGE 2 OF 5
SUBMITTAL DATES
JOB #: 1522
DATE: 05.23.2016
SHEET:

benjamin john stevens, architect

25251 via piedra blanca, laguna niguel, ca 92677
949.680.8616 ben@benjaminjohnstevens.com



FRONT ELEVATION OF PROPERTIES DIRECTLY ACROSS THE STREET



FRONT ELEVATION OF PROPERTIES DIRECTLY ACROSS THE STREET

PHOTO		SUBMITTAL DATES	PHOTOGRAPHIC LOG OF EXISTING CONDITIONS	MCNUTT RESIDENCE REMODEL 24722 EL CAMINO CAPISTRANO DANA POINT, CALIFORNIA 92629 LEGAL DESCRIPTION: APN 682-203-09	BENJAMIN JOHN STEVENS, ARCHITECT EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS - THE DRAWINGS ARE NOT TO BE REFORMED OR CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF BENJAMIN JOHN STEVENS, ARCHITECT. benjamin john stevens, architect 25251 via piedra blanca, laguna niguel, ca 92677 949.680.8616 ben@benjaminjohnstevens.com
PAGE 3 OF 5					JOB #: 1522 DATE: 05/23/2016 SHEET:



SIDE ELEVATION OF ADJACENT PROPERTY TO THE EAST



SIDE ELEVATION OF ADJACENT PROPERTY TO THE WEST

PHOTO	SUBMITTAL DATES
JOB #: 1522 DATE: 05.23.2016 SHEET:	

PHOTOGRAPHIC LOG OF
EXISTING CONDITIONS

MCNUTT RESIDENCE REMODEL
24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629
LEGAL DESCRIPTION: APN 682-203-09

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WITHOUT FIRST OBTAINING
THE EXPRESSED WRITTEN
PERMISSION OF BENJAMIN
JOHN STEVENS, ARCHITECT.

benjamin john stevens, architect

25251 via piedra blanca, laguna niguel, ca 92677
949.680.8616 ben@benjaminjohnstevens.com



REAR ELEVATION OF PROJECT SITE

PHOTO	SUBMITTAL DATES	PHOTOGRAPHIC LOG OF EXISTING CONDITIONS	MCNUTT RESIDENCE REMODEL 24722 EL CAMINO CAPISTRANO DANA POINT, CALIFORNIA 92629 LEGAL DESCRIPTION: APN 682-203-09	BENJAMIN JOHN STEVENS, ARCHITECT EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF BENJAMIN JOHN STEVENS, ARCHITECT.	benjamin john stevens, architect 25251 via piedra blanca, laguna niguel, ca 92677 949.680.8616 ben@benjaminjohnstevens.com
JOB #: 1522 DATE: 05/23/2016 SHEET:					

PRECISE GRADING PLAN

Mcnutt Residence
24722 El Camino Capistrano
Dana Point, CA 92629
APN: 682-203-09

GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY RODM STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.

2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING. WITH THE FOLLOWING PERMITTING VENDORS PRESENT: ENGINEER FOR GRADE, SOIL ENGINEER FOR EROSION CONTROL, GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.

3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.

4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

5. RETAINING WALLS/BLOCK WALLS REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.

6. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.

7. PRELIMINARY SOIL AND GEOTECHNICAL REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.

8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.

9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.

10. FILLS SHALL BE BENCHDED INTO COMPETENT MATERIAL PER ORANGE COUNTY RODM STANDARD PLAN NO. 1322.

11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, TRENCHES WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.

12. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBGRADE CONSTRUCTION.

13. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.

14. AREAS TO RECEIVE FILLS SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.

15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.

16. FILLS SHALL BE COMPAKTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPAKCTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPAKTED TO A MINIMUM OF 95% RELATIVE COMPAKCTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.

17. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.

18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE ANY SLOPE STABILITY PROBLEMS. THE ENGINEERING GEOLOGIST SHALL DOCUMENT THE FINDINGS AND ON-SITE CONCERN FOR GROWING HAZARD. THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.

19. WHERE SUPPORT OR BUTTERESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTERESSING AND CERTIFY TO THE STABILITY OF THE SLOPES AND ADJACENT STRUCTURES UPON COMPLETION.

20. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXPOSED AND WHETHER IT IS DRY OR CONTAINS STANDING WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILM BLANKET WILL BE PLACED.

21. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER FOR THE GRADING CODE SECTION 6.01.42.

22. ANY EXISTING ELEVATION LINES AND CISTERS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.

23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-434-2897 OR 714-434-2880). A PERMIT IS REQUIRED.

24. ANY EXISTING GSEPSOL AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.

25. STOCKPILE OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.

26. EXPORT SOIL MUST BE TRANSFERRED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY CONSTRUCTION AND DEMOLITION DRAGGAGE MANAGEMENT CODE SECTION 6.12. A VALID CAD APPLICATION MUST BE APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.

27. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 5,000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 8.01.280 OF THE GRADING CODE).

28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.

29. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND READIED TO RECEIVE THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE. IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.

30. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SCOURBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.

31. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.

32. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.

33. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

34. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.

GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:00 PM AND 7:00 AM NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.

3. ALL EQUIPMENT OPERATIONS, WHETHER PORTABLE, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.

b. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY COOPED ORDINANCE DIVISION 6 (NOISE CONTROL).

c. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF THE GRADING PERMIT.

GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER, THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

36. ASPHALT SECTION MUST BE PER CODE: PAVING LOTS = 3 AC. OVER 10' (COMM) 12' (INDUSTRIAL) OR PRIOR TO ROUGH GRADE CERTIFICATION FOR BUILDING PERMIT BY THE CITY GRADING INSPECTOR. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL APPROVE PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.

37. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RODM STANDARD PLAN NO. 1603.

38. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY RODM STANDARD PLAN NO. 1604.

39. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARD DRAINED AREAS WHERE FEASIBLE.

40. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PLACE A BLUE TOP WITH REFLECTIVE MARKINGS AT THE CENTER OF EACH PAD, REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.

41. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

42. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.

43. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.

44. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.

45. THE COMPAKATION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE RING, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED.

46. PRIOR TO APPROVAL, FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

47. ALL SAND/GRANULAR BAGS AND FILM MATERIAL, AND OTHER BMP MATERIALS SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.

48. PROVIDE EFFECTIVE INLET PROTECTION BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAIN SYSTEM.

49. PROVIDE EFFECTIVE INLET PROTECTION OF SLAB MATERIALS USED IN CONSTRUCTION OF STORM DRAINS.

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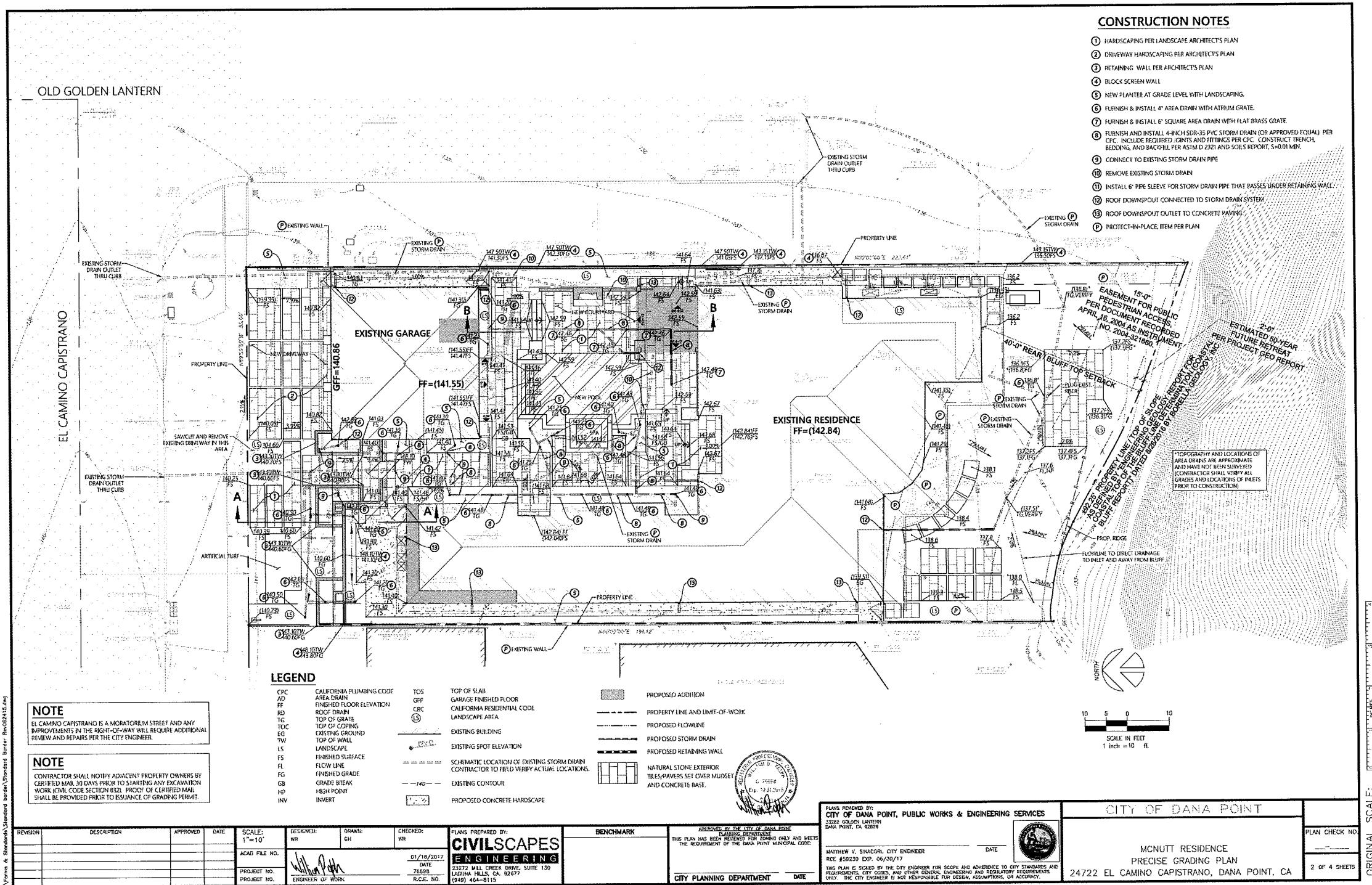
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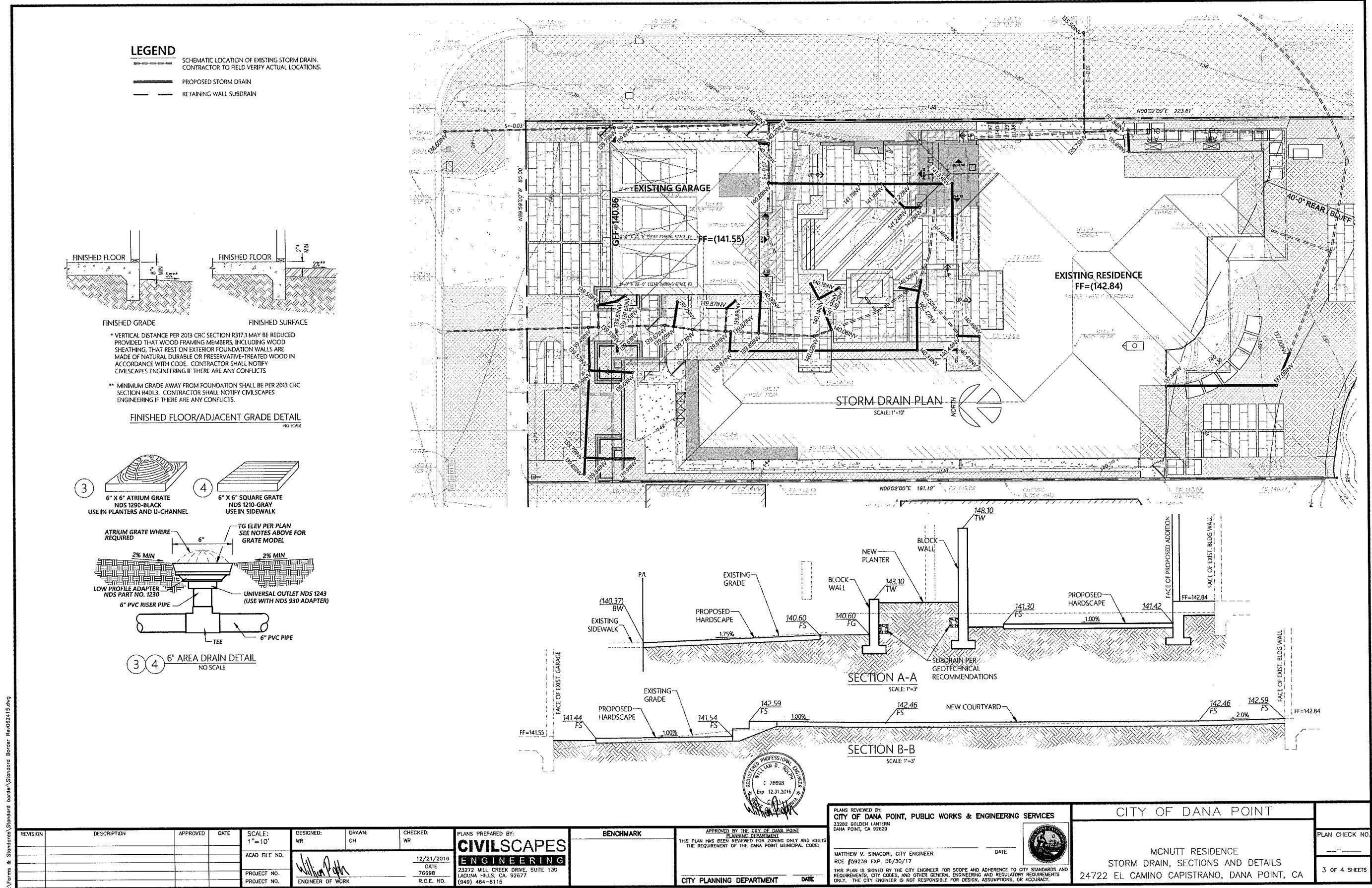
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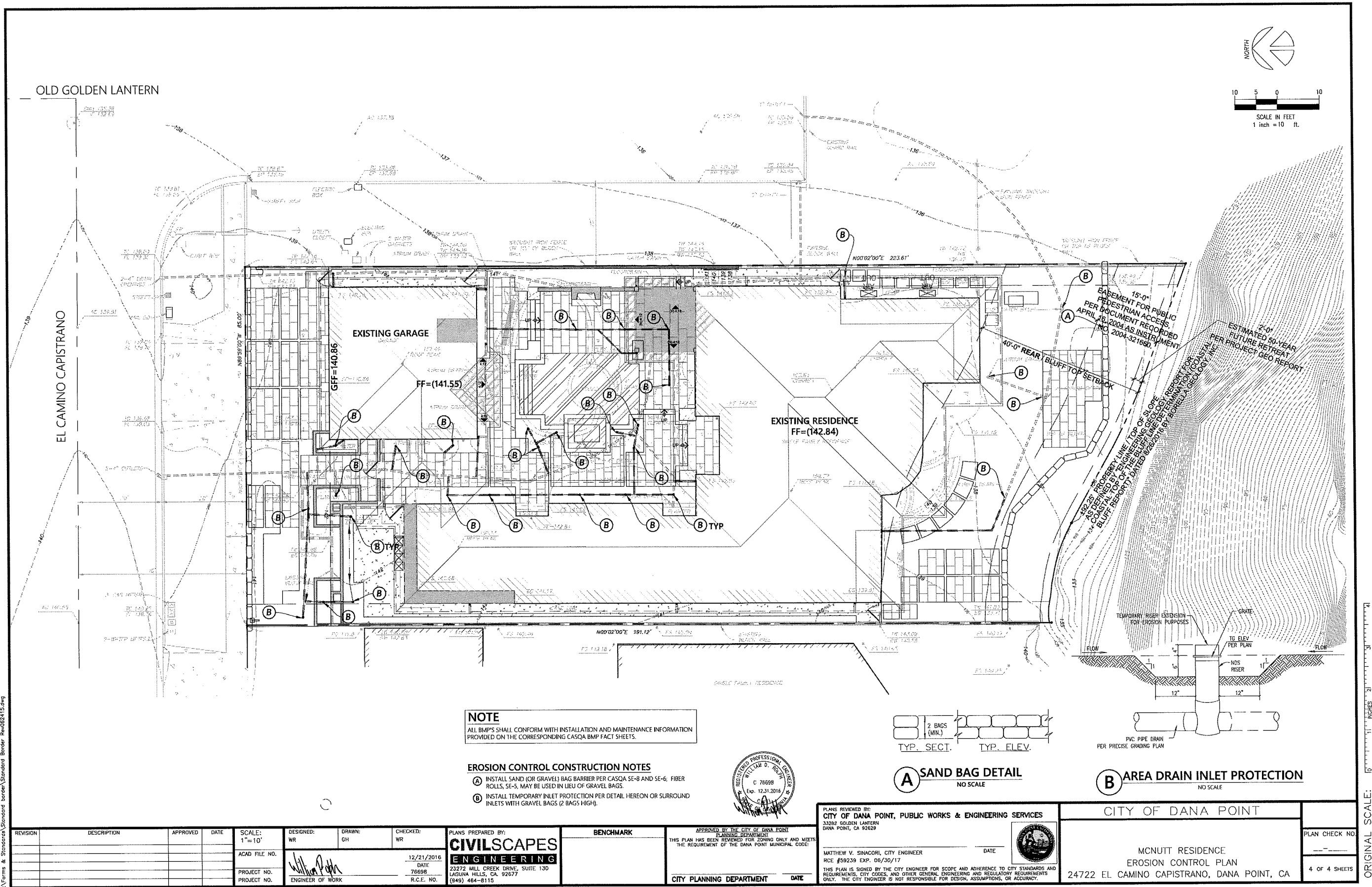
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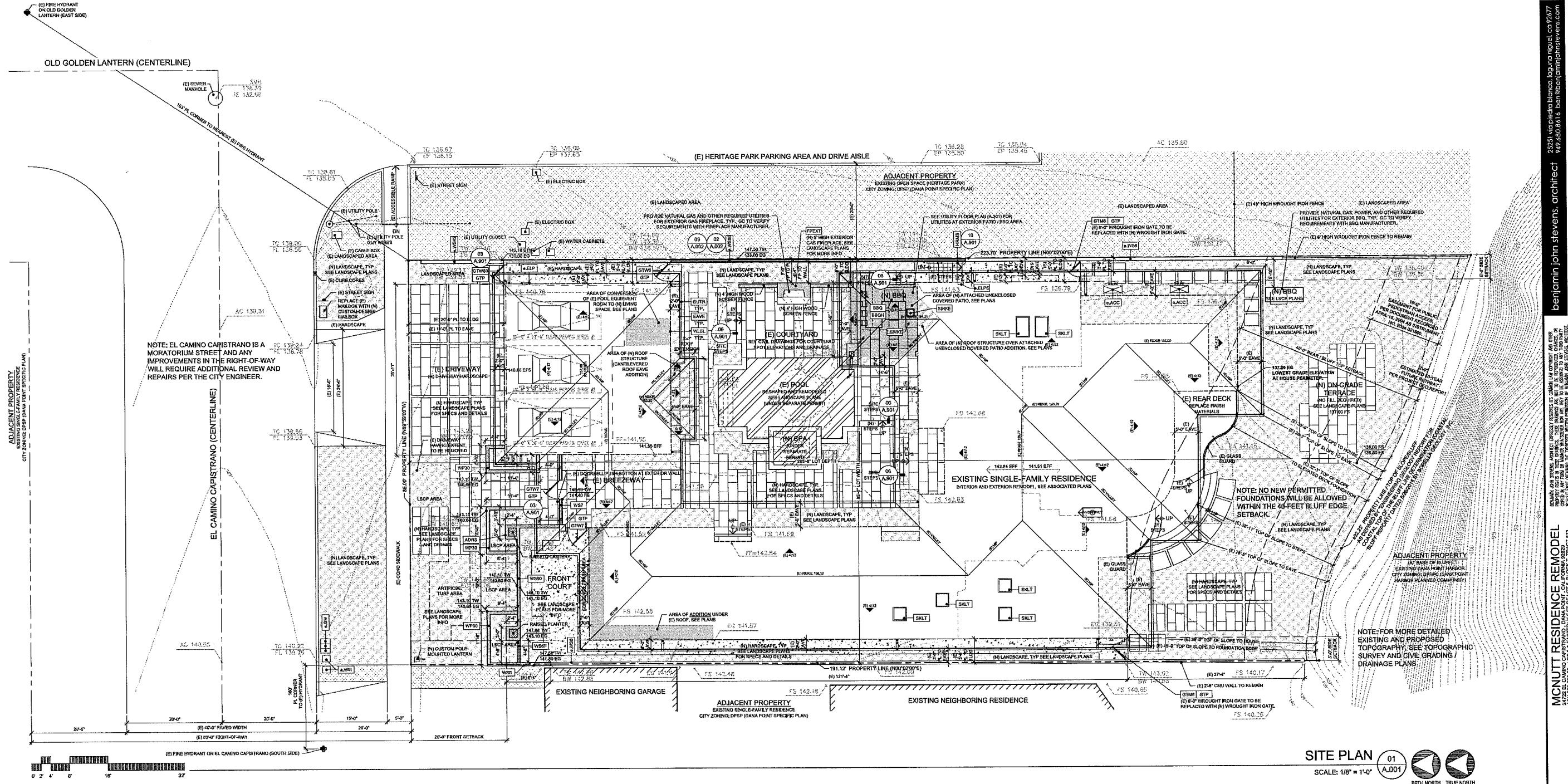
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SITE ABBREVIATIONS

EFF	EXISTING FLOOR FLOOR	FG	FINISHED GRADE
EFS	EXISTING FINISH SURFACE	FS	FINISHED SURFACE
EG	EXISTING GRADE	TG	TOP OF CURB
ERD	EXISTING ROOF DECK	TDR	TOP OF ROOF DECK
ETC	EXISTING TOP OF CURB	TCS	TOP OF CROWN/CHIMNEY SHROUD
ETE	EXISTING TOP OF EAVE	TE	TOP OF EAVE
ETG	EXISTING TOP OF GUTTER	TP	TOP OF GUTTER
ETP	EXISTING TOP OF PARAPET	TG	TOP OF GUARDRAIL
ETR	EXISTING TOP OF ROOF	TR	TOP OF ROOF
ETW	EXISTING TOP OF WALL	TW	TOP OF WALL
FF	FINISHED FLOOR	TP	TOP OF PARAPET

SITE PLAN GENERAL NOTES

1. NPDES (NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM) NOTES: THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOIL, PETROLEUM BYPRODUCTS, SEWAGE, FOLIATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER (OR OTHER LIQUIDS) SHALL BE PLACED, DROPPED, CONVEYED, OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.
 2. FOR FURTHER DOCUMENTATION OF THE EXISTING TOPOGRAPHIC ELEVATIONS, EXISTING STRUCTURES, FOOTPRINTS, EXISTING DRIVEWAY LOCATION, AND EXISTING SITE ELEMENTS, REFER TO THE TOPOGRAPHIC SURVEY.
 3. ALL BUILDING AND SITE ELEMENTS SHOWN ON THIS DRAWING ARE EXISTING TO REMAIN UNALTERED, UNLESS OTHERWISE SPECIFICALLY NOTED.
 4. THE CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO COMMENCING ANY WORK.

SITE PLAN KEYNOTES

ITE PLAN LEGEND

- EXISTING RECTANGULAR DOWNSPOUT.
 NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.

EXISTING LANDSCAPED AREA TO REMAIN.

NEW LANDSCAPED AREA. SEE LANDSCAPE PLANS FOR MORE INFORMATION.

WATER ELEMENT (POOL, SPA, REFLECTION POOL, WATER FEATURE, ETC.) AS NOTED.

AREA OF WORK, ADDITION, OR RECONSTRUCTION AS NOTED. SEE PLANS.

AREA OF ROOF ADDITION OR RECONSTRUCTION AS NOTED. SEE PLANS.

NEW LOOSE / PERVEROUS GRAVEL GROUND COVER AREA. SEE LANDSCAPE PLANS FOR MORE INFORMATION.

NEW UNCOUPLED GRANITE (DOI) WALKWAY GROUND COVER AREA. SEE LANDSCAPE PLANS FOR MORE INFORMATION.

NEW CAST-IN-PLACE CONCRETE HARDCAPSE. PROTECT DURING CONSTRUCTION TO PREVENT ANY DAMAGE, STAINS, ETC. SEE LANDSCAPE PLANS FOR MORE INFO.

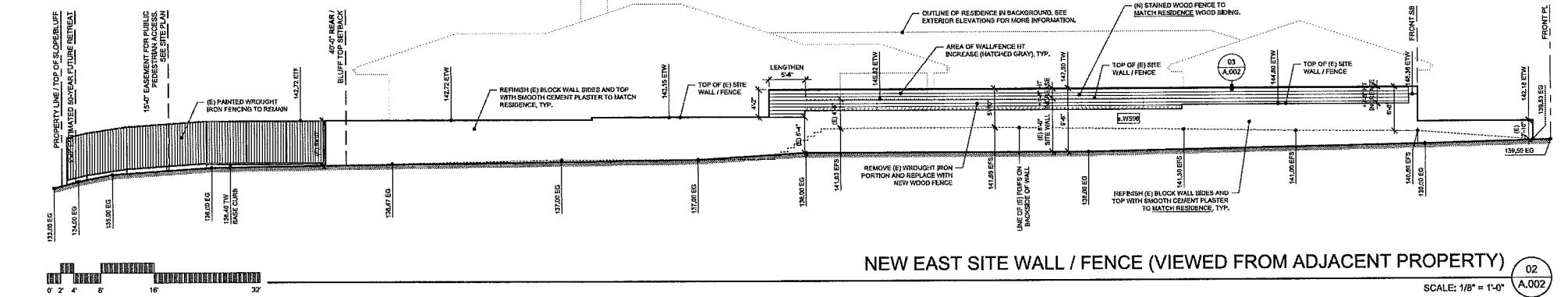
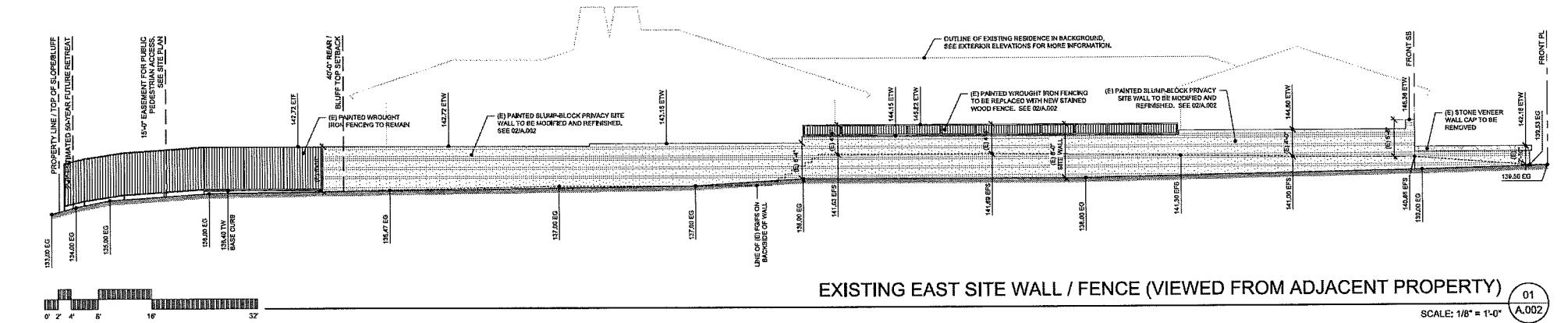
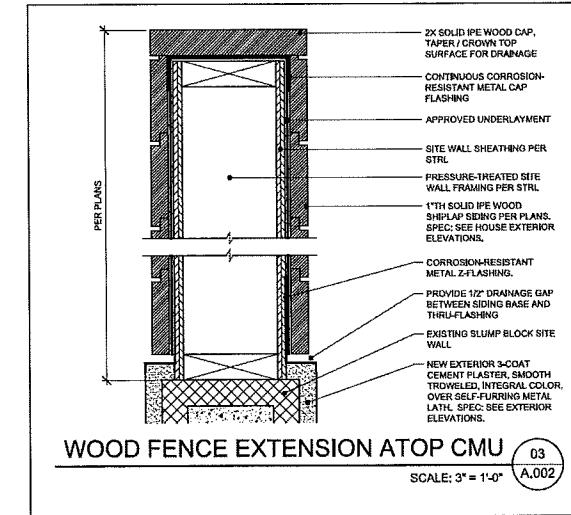
NEW NATURAL STONE HARDCAPSE AREA. SEE LANDSCAPE PLANS FOR MORE INFORMATION.

NEW SITE RETAINING WALL. PER ASSOCIATED KEYNOTE.

NEW CONCRETE STEM WALL / CURB AT HOUSE WALL. PER ASSOCIATED DETAIL TAG.

BUILDING / ENGINEERING
CITY OF DANA POINT

EET:



SITE ABBREVIATIONS

EPP	EXISTING FRESH FLOOR	FG	FINISHED GRADE
EG	EXISTING GRADE	FS	FINISHED SURFACE
DRW	DRIVEWAY	TG	TOP OF CURB
ETC	EXISTING TOP OF CURB	TC	TOP OF CEMENT
ETE	EXISTING TOP OF EAVE	ICS	TOP OF CHIMNEY SHROUD
ETP	EXISTING TOP OF PARAPET	TCF	TOP OF FENCE
ETR	EXISTING TOP OF ROOF	TO	TOP OF GUARDRAIL
ETW	EXISTING TOP OF WALL	TP	TOP OF POOL
FF	FINISHED FLOOR	TP	TOP OF WALL
		TP	TOP OF PARAPET

SITE PLAN GENERAL NOTES

- NOTES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTE: THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, CHEMICALS, OR COMBUSTIBLE MATERIALS, WASTEWATER GENERATED BY CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED, OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEM.
- FOR FURTHER DOCUMENTATION OF THE EXISTING TOPOGRAPHIC ELEVATIONS, EXISTING STRUCTURE FOOTPRINTS, EXISTING DRIVEWAY LOCATION, AND EXISTING SITE ELEMENTS, REFER TO THE TOPOGRAPHIC SURVEY.
- ALL BUILDINGS AND SITE ELEMENTS SHOWN ON THIS DRAWING ARE EXISTING TO REMAIN UNLESS OTHERWISE SPECIFICALLY NOTED.
- THE CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO COMMENCING ANY WORK.

SITE PLAN KEYNOTES

- ADRS: NEW HOUSE ADDRESS NUMBERS, PER R318.1, ADDRESS NUMBERS SHALL BE PLACED IN A POSITION THAT IS EASILY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBER SHALL BE PLACED ON THE EXTERIOR OF THE BUILDING, MINIMUM OF 4" HIGH, AND SHALL BE STROKE OF 1/2", SPECIFICATION FOR OWNER.
- BQG: NEW 1/2" EASEMENT FOR PUBLIC PEDESTRIAN ACCESS, SEE SITE PLAN.
- ETE: NEW 1/2" EASEMENT FOR EAVES, SEE SITE PLAN.
- ETP: NEW 1/2" EASEMENT FOR PARAPET, SEE SITE PLAN.
- ETR: NEW 1/2" EASEMENT FOR ROOF, SEE SITE PLAN.
- ETW: NEW 1/2" EASEMENT FOR WALL, SEE SITE PLAN.
- FG: FINISHED GRADE
- FS: FINISHED SURFACE
- TC: TOP OF CURB
- TCF: TOP OF FENCE
- TO: TOP OF GUARDRAIL
- TP: TOP OF POOL
- TP: TOP OF WALL
- TP: TOP OF PARAPET
- WPSM: EXISTING 8'-0" HIGH SITE WALL, COMBINATION CMU AND WROUGHT IRON ATOP, REMOVE WROUGHT IRON, AND REPLACE WITH NEW WOOD FENCE TO INCREASE HEIGHT TO MAX 9'-0" PER EXTERIOR ELEVATION AND ASSOCIATED DETAIL TAGS, SEE CIVL AND STRUCTURAL DR/WVDR FOR MORE INFO.
- EAVES: OUTDOOR EXTERIOR GAS FIREPLACE, SPEC 47" (W) SPARK FIRE RIBBON VENT FREE OUTDOOR GAS FIREPLACE (3845), NATURAL GAS VENT-FREE, BY SPARK MODERN FIRE, www.sparkmodernfire.com, NEW 6'-0" HIGH (TOTAL MAX HEIGHT) SITE WALL, CMU CONSTRUCTION WITH CEMENT PLASTER, TOP OF (E) SITE WALL / FENCE, TOP OF EXTERIOR GAS FIREPLACE AND TOP OF EXTERIOR ELEVATIONS AND ASSOCIATED DETAIL TAGS, SEE CIVL AND STRUCTURAL DR/WVDR FOR MORE INFO.
- GTM: NEW 6'-0" HIGH METAL GATE, SEE KEYNOTE "G1" FOR MORE INFO REGARDING POOL/SPA (WD11) www.electrakgates.com, OR EQUAL, INSTALL PER LMT'S INSTRUCTIONS AND LISTING.
- GTP: NEW POOL SECURITY FENCING / BARREL GATE, SHALL OPEN OUTWARD AWAY FROM THE POOL, AND SHALL BE SELF-CLOSING AND HAVE A MAX 2" VERTICAL CLEARANCE BETWEEN GRADE AND BOTTOM OF BARREL, CBC 3109.4.17
- CONCRETE: CAST-IN-PLACE CONCRETE, PROTECT DURING CONSTRUCTION TO PREVENT ANY DAMAGE, STAINS, ETC. SEE CIVL DR/WVDR FOR SURFACE FINISHES AND GRAVAGE.
- CPLO: NEW EXTERIOR 3-COAT CEMENT PLASTER, SMOOTH TROWELED, INTEGRAL COLOR, OVER EXISTING 3-COAT CEMENT PLASTER, SEE SITE PLAN FOR EXISTING PLASTER, SEE CIVL DR/WVDR FOR SURFACE FINISHES AND GRAVAGE.
- GTW80: NEW 8'-0" (H) HIGH WOOD GATE, HORIZONTAL SLAT DESIGN (SEE KEYNOTE "W7")
- GTW70: NEW 7'-0" (H) HIGH WOOD GATE, HORIZONTAL SLAT DESIGN (SEE KEYNOTE "W6")
- GTW75: NEW 7'-0" (H) HIGH WOOD GATE, HORIZONTAL SLAT DESIGN (SEE KEYNOTE "W5")
- GTW65: NEW 6'-0" (H) HIGH WOOD GATE, HORIZONTAL SLAT DESIGN (SEE KEYNOTE "W4")
- HRMS: NEW METAL HANDRAIL, (RECTANGULAR PROFILE) ON WALL-MOUNTED METAL SUPPORT BRACKETS, CONTRACTORS: NATIONAL ASSOCIATION - ARCHITECTURAL SHEET METAL MANUAL PUBLICATION.
- SRINK: NEW EXTERIOR SINK BASIN AND FAUCET, CONNECT TO SEWER SYSTEM PER CIVL DR/WVDR.
- SLKLY: NEW COUPLED WITH CPC, FLOW RATE: SEE THE GREEN BUILDING STANDARD SHEET DR/WVDR FOR MORE INFO.
- VNR: NEW LIGHTED STONE VENEER, INSTALLED PER MFR AND CIVL DR/WVDR.
- WD: NEW CAST-IN-PLACE CONCRETE FRENDSCAPE, PROJECT DURING CONSTRUCTION TO PREVENT ANY DAMAGE, STAINS, ETC. SEE CIVL DR/WVDR FOR MORE INFO.
- WBL: NEW NATURAL STONE HARDSCAPE AREA, SEE CIVL DR/WVDR FOR MORE INFO.

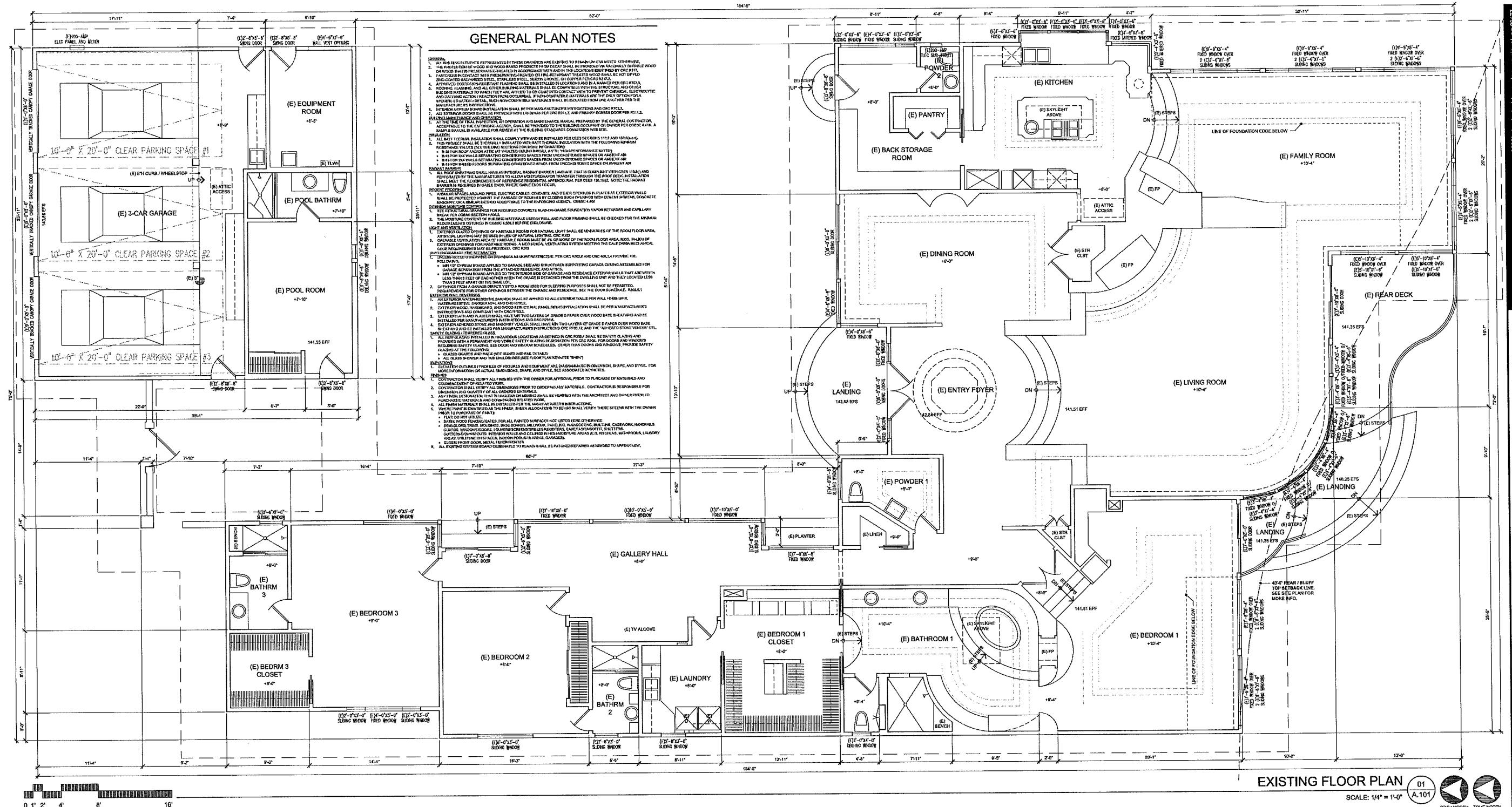
SITE PLAN LEGEND

- EXISTING RECTANGULAR DOWNSPOUT, SEE EXTERIOR ELEVATIONS FOR MORE INFO.
- NEW RECTANGULAR DOWNSPOUT, SEE EXTERIOR ELEVATIONS FOR MORE INFO.
- EXISTING LANDSCAPED AREA TO REMAIN, SEE LANDSCAPE PLANS FOR MORE INFORMATION.
- NEW LANDSCAPED AREA, SEE LANDSCAPE PLANS FOR MORE INFORMATION.
- WATER ELEMENT (POOL, SPA, REFLECTION POOL, WATER FEATURE, ETC.) AS NOTED, SEE CIVL DR/WVDR FOR MORE INFO.
- AREA OF WORK, ADDITION, OR RECONSTRUCTION AS NOTED, SEE PLANS.
- AREA OF ROCK ADDITION OR RECONSTRUCTION AS NOTED, SEE PLANS.
- NEW LOOSE / PEBBLED GROUND COVER AREA, SEE LANDSCAPE PLANS FOR MORE INFORMATION.
- NEW DECORATED GRANITE (DG) WALKWAY GROUND COVER AREA, SEE LANDSCAPE PLANS FOR MORE INFORMATION.
- NEW CAST-IN-PLACE CONCRETE FRENDSCAPE, PROJECT DURING CONSTRUCTION TO PREVENT ANY DAMAGE, STAINS, ETC. SEE CIVL DR/WVDR FOR MORE INFO.
- NEW NATURAL STONE HARDSCAPE AREA, SEE CIVL DR/WVDR FOR MORE INFORMATION.
- FENCE: NEW SITE RETAINING WALL, PER ASSOCIATED KEYNOTE.
- STEM WALL: NEW CONCRETE STEM WALL / CURB AT HOUSE WALL, PER ASSOCIATED DETAIL TAG.

A.002
PROJECT NO: 15152
SITE WALLS / FENCES
CITY OF DANA POINT
CITY OF DANA POINT

MCNUTT RESIDENCE REMODEL
2472 EL CAMINO CALIFORNIA, DANA POINT, CALIFORNIA 92629
LOT 6 EASTERN 5 FT OF LOT 5
DRAWN, CHECKED, APPROVED, AND/OR SUBMITTED BY: JOHN STEVENS, ARCHITECT
25251 VIA NIEBRO BLANCA, LAGUNA NIGUEL, CALIFORNIA 92677
949-460-8616, bennjohn@jstjohnstevens.com
FAX: 949-460-8616
EMAIL: bennjohn@jstjohnstevens.com
DATE: 07/10/2018
TIME: 10:00 AM
SHEET: 01





EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0" A.101

PLAN KEYNOTES

ROOF / ATTIC VENTILATION CALCS

FEH CRIC RANK: SEE ROOF PLATE AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.
ATTIC AREA
REQUIRED: 7474 SF / .300 = 24.91 SF X 144 = 3588 SF IN NFVA
PROVIDED: 3588 SF IN NFVA / 15 = 103.3 SF IN NFVA
OF VENTS: 144 / 15 = 9.6 CUSTOM SPREAD DOMESTIC VENT / 70 SF IN NFVA / EA = 1720 SF IN NFVA
TOTAL = 3583 SF IN NFVA PROVIDED

ALL INSULATION, SEE INSULATION SECTION.

- PLAN LEGEND**

EXISTING RECTANGULAR DOWNSPOUT.
NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.

EXISTING WALL TO BE REMOVED

EXISTING WALL TO REMAIN



NEW WALL, 2X4



NEW WALL, 2X8

NEW WALL, WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG

NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR WALLS EXCEPT FOR CR 1032A EXCEPTION 1, PENETRATIONS SHALL EEE CONFORM TO CR 1032A AND 1032.5

EXISTING CAST-IN-PLACE CONCRETE WALL



NEW CAST-IN-PLACE CONCRETE WALL, SEE STRL SHEET#1

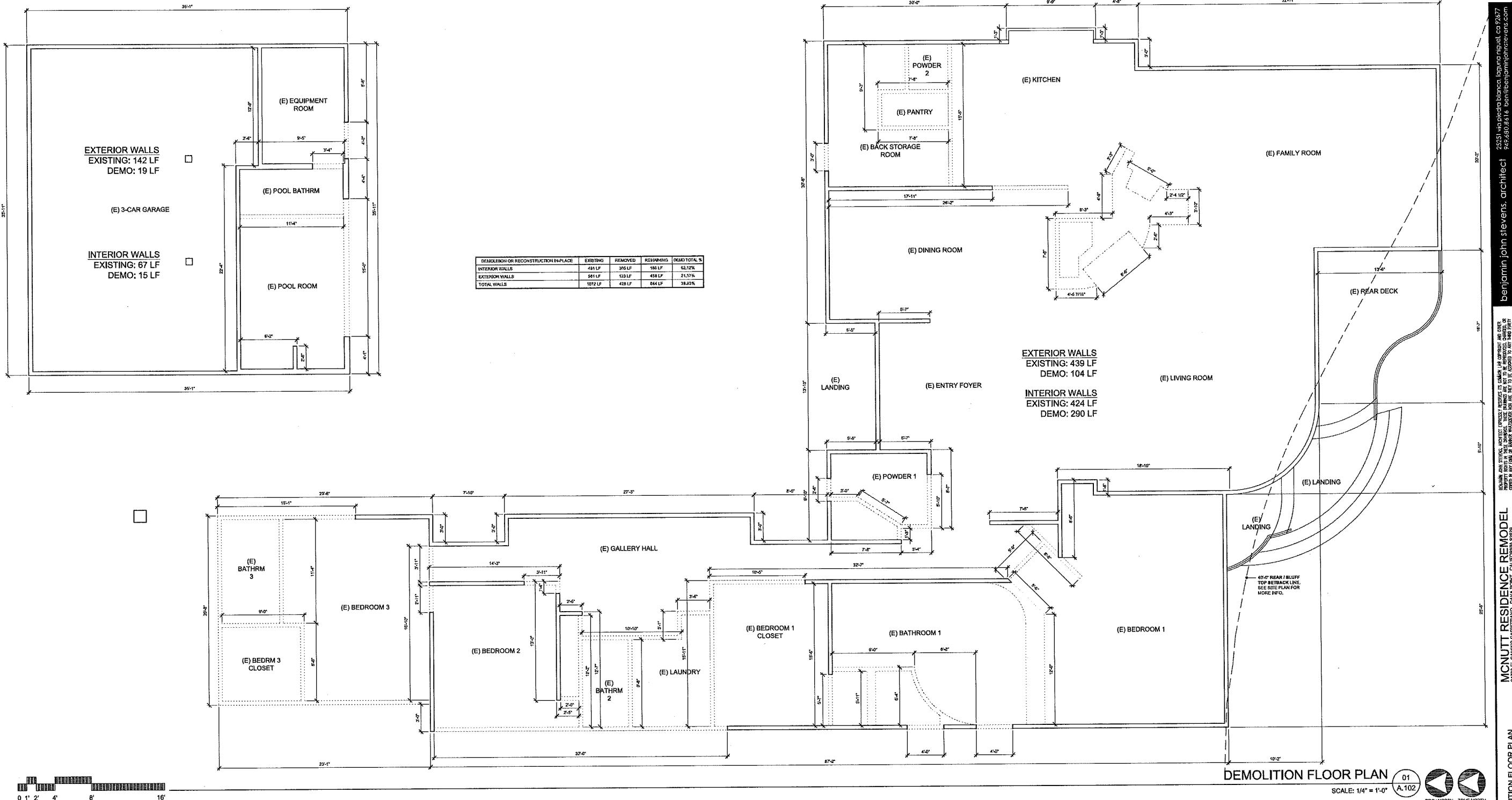
EXISTING CONCRETE MASONRY UNIT WALL



NEW CMU WALL
SEE STRUCTURAL SHEETS.

AREA OF ADDITION AS NOTED, SEE PLANS.

W.C. CAT. NO. 4303
REV. 12/10/01
DRAFTED BY [Signature]



DEMOLITION FLOOR PLAN

ALE: $1/4'' = 1'-0''$



PLAN KEYNOTES

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ROOF / ATTIC VENTILATION CALCS

- PER ROOF AREA. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.
ATTIC AREA
REQUIRED: 744 SF / 24.01 SF X 144 = 105.3 SF NFPA REQUIRED
PROVIDED: 631 LF OF "FIVE EAVE VENT" = 0.3 SF NFPA / 1652 SF NFPA
TOTAL = 1652 SF NFPA PROVIDED
TOTAL = 343 SF NFPA PROVIDED

ELEVATION / SECTION LEGEND

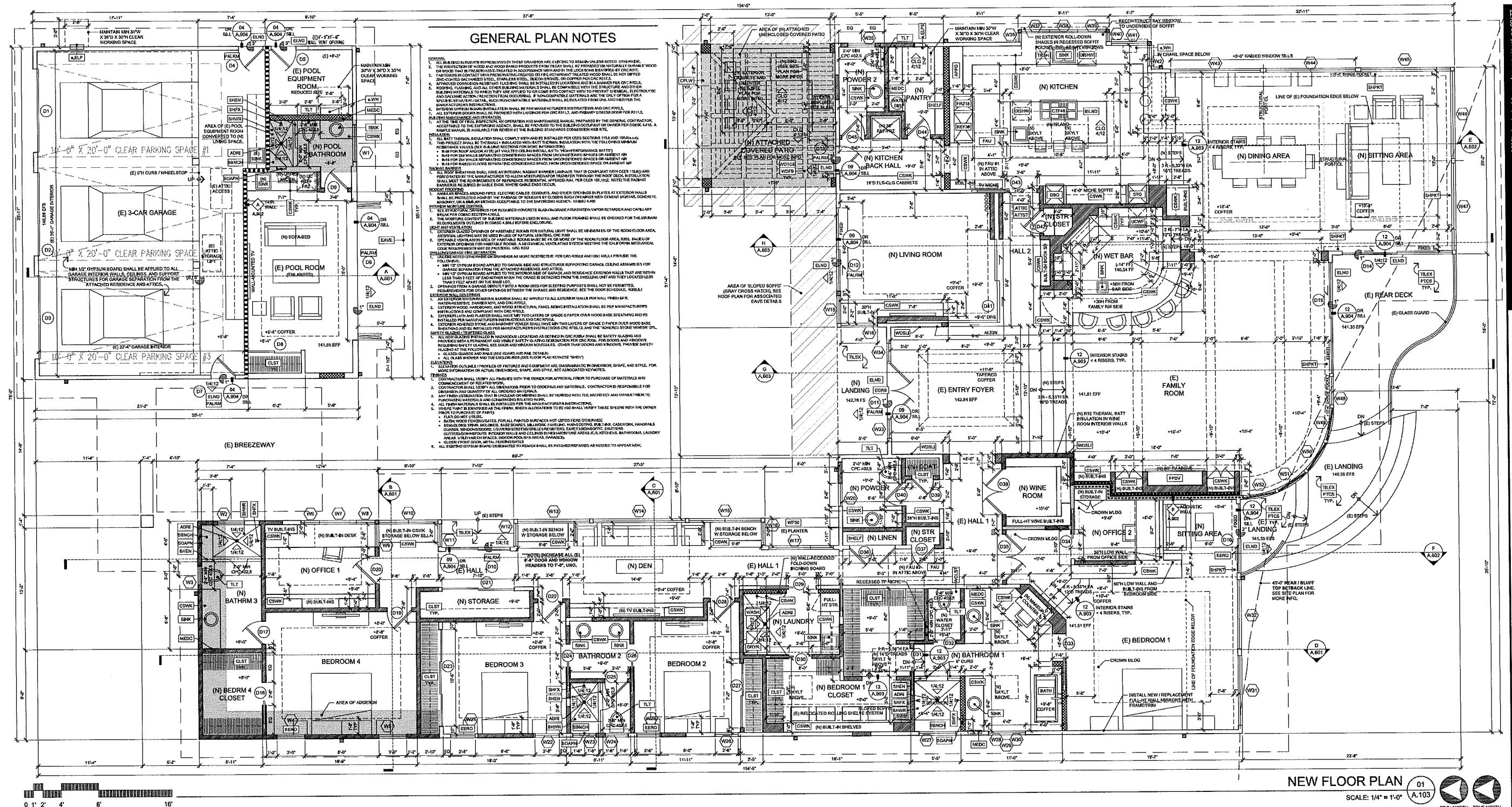
- | | |
|--|---|
| <p>EXISTING ELEMENT TO BE REMOVED</p> <p>LINE OF EXISTING GRADE</p> <p>LINE OF FINISHED GRADE</p> <p>BATT THERMAL INSULATION, SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO</p> | <h2>PLAN LEGEND</h2> <hr/> <p>EXISTING RECTANGULAR DOWNSPOUT.</p> <p>NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.</p> <p>EXISTING WALL TO BE REMOVED</p> <p>EXISTING WALL TO REMAIN</p>  <p>NEW WALL: 2X4</p>  <p>NEW WALL: 2X6</p>  <p>NEW WALL WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG</p> <p>NEW FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR WALLS EXCEPT FOR CR#R202, EXCEPTION 1, PENETRATIONS SHALL BE CONSTRUCTED AS CR#R324 AND R325.</p> <p>EXISTING CAST-IN-PLACE CONCRETE WALL</p>  <p>NEW CAST-IN-PLACE CONC WALL, SEE STYL. SHEETS.</p> <p>EXISTING CONCRETE MASONRY UNIT WALL</p>  <p>NEW CMU WALL</p> <p>SEE STRUCTURAL SHEETS.</p> <p>AREA OF ADDITION AS NOTED, SEE PLANS.</p> |
|--|---|

benjamin john stevens, architect
25251 via piedra blanca, laguna niguel, ca 92677
949.680.8616 ben@benjohnstevens.com

MCNUTT RESIDENCE REMODEL
24772 EL CAMINO CAPISTRANO, DOWNTOWN CALIFORNIA 92623
APN 052-205-03, LOT #6 & EASTERN 5 FT OF LOT 5, BLOCK 1, TRACT 573

A.102

PROJECT NO.: 15222
DATE: 11/15/2016
CDP RESUBMITAL TO
CITY OF DANA POINT



NEW FLOOR PLAN

SCALE: 1/4" = 1'-0" A.103

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PLAN KEYNOTES

BOOE / ATTIC VENTILATION CALCS

CRC RAMS SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

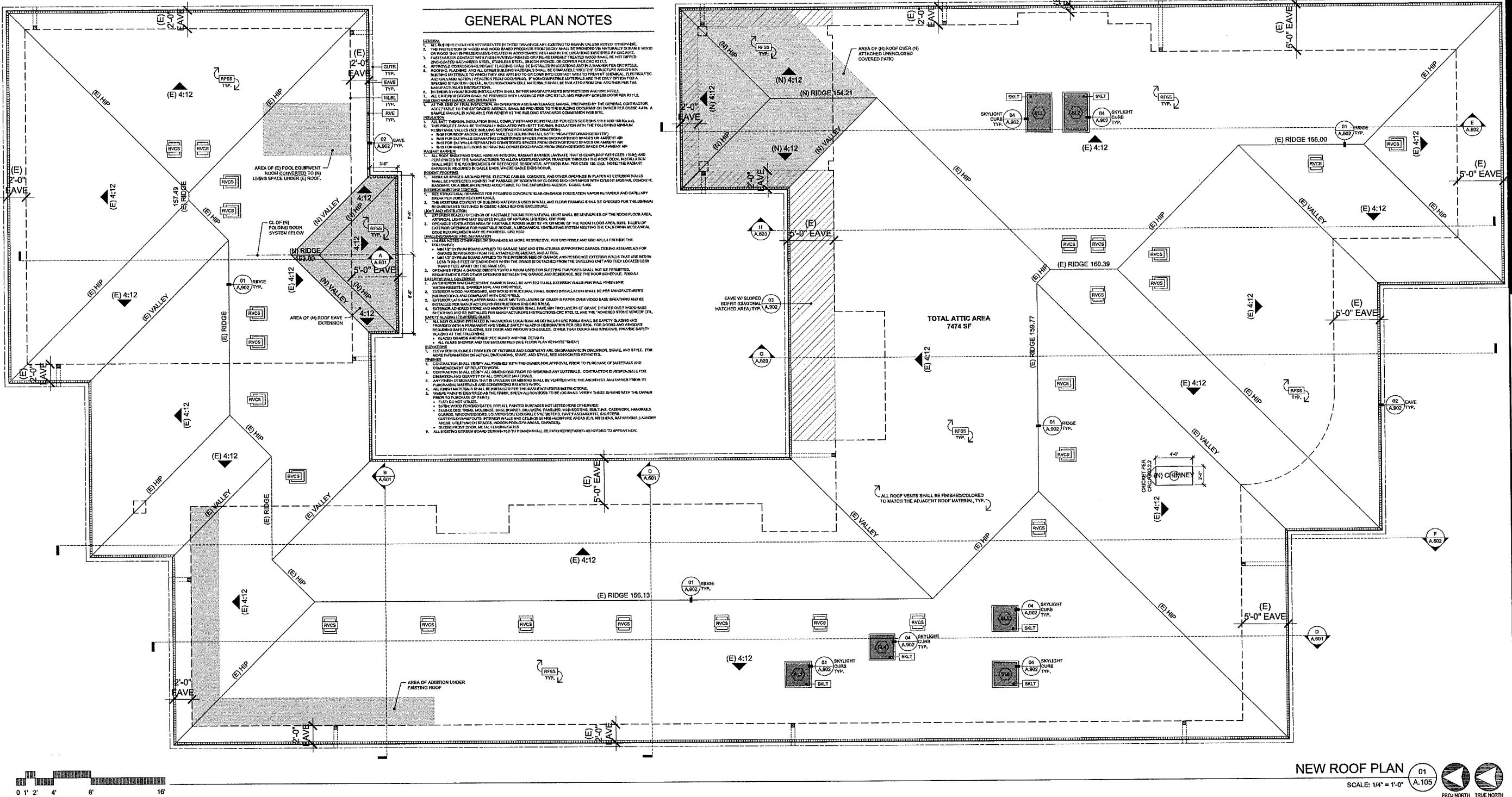
TC AREA
REQUERED: 100 SF / 300 = 2.91 SF / EA = 3588 SF NFVA REQUIRED
PROVIDED: 651 LF OF "RVC" EAVE VENT @ 3 SF/NFVA / LF = 1893 SF NFVA
(25 QTY) OF "RVC" CUSTOM SHED DORMER VENT @ 70 SF/NFVA / EA = 1750 SF NFVA
TOTAL = 3643 SF NFVA PROVIDED

INSULATION. SEE 'INSULATION' GENERAL PLAN NOTES

- EXISTING ELEMENT TO BE REMOVED
 - LINE OF EXISTING GRADE

INSULATION. SEE 'INSULATION' GENERAL PLAN NOTES

- | PLAN LEGEND | |
|--|---|
| EXISTING RECTANGULAR DOWNSPOUT. | |
| NEW RECTANGULAR DOWNSPOUT. | SEE EXTERIOR ELEVATIONS FOR MORE INFO. |
| EXISTING WALL TO BE REMOVED | |
| EXISTING WALL TO REMAIN | NEW WALL, 2X4 |
| NEW WALL, 2X4 | NEW WALL, 2X4 |
| NEW WALL, WITH ACOUSTICAL GATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG | |
| NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL, PERPENDICULAR CONSTRUCTION, 1-1/2" THICK, 16 OZ. GATT, 1/2" X 1/2" X 1/2" FINGER JOINT, PENETRATIONS SHALL BE CONSTRUCTED PER CRC 302.1 AND R302.4 | |
| EXISTING CAST-IN-PLACE CONCRETE WALL | NEW CAST-IN-PLACE CONC WALL, REB STRL SHEETS, |
| EXISTING CONCRETE MASONRY UNIT WALL | NEW CMU WALL
SEE STRUCTURAL SHEETS. |
| AREA OF ADDITION AS NOTED, SEE PLANS. | |



NEW ROOF PLAN

SCALE: 1/4" = 1'-0" A.



PLAN KEYNOTES

ROOF / ATTIC VENTILATION CALCS

ER CRC R806. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

REQUIRED: 7474 SF / 300 = 24.91 SF X 144 = 3584 SF NFVA REQUIRED
PROVIDED: 631 LF OF "RVE" EAVE VENT @ 3 SF NFVA / LF = 1893 SF NFVA
175.072 LF OF "RVE" CUSTOM SHED DORMER VENT @ 70 SF NFVA / EA = 1750 SF NFVA

TOTAL = 3643 SIN/VA PROVIDED

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PLAN LEGEND

THE ART OF DESIGNING OUT

REGULAR DOWNSPOUT:
IR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.

TO BE REMOVED

0 REMAIN NEW WALL 2X4

NEW WALL, 2x8

ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER

NOTES: RATED, SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR

PER CRC R302.1 EXCEPTION 1, PENETRATIONS SHALL BE
PER CRC R302.4 AND R302.5.

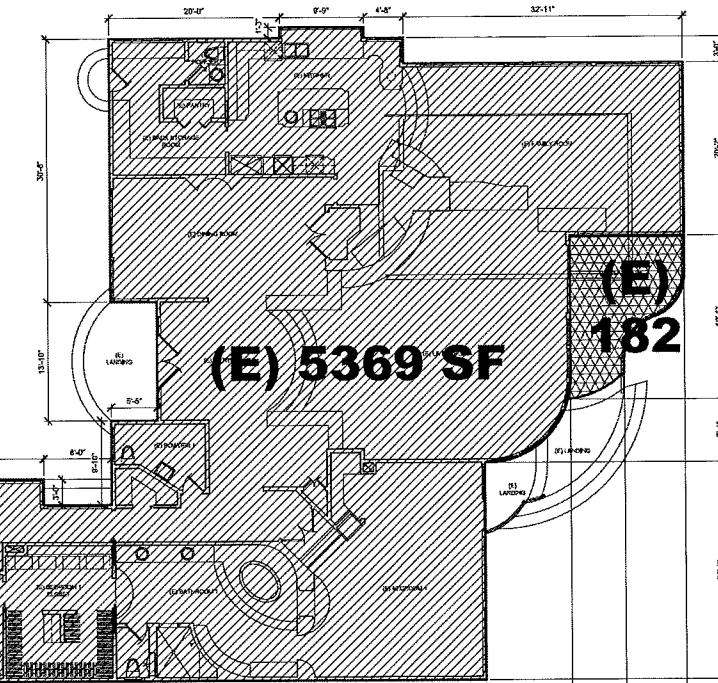
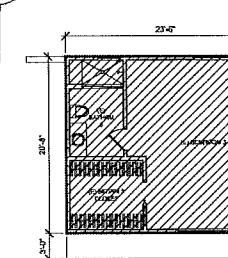
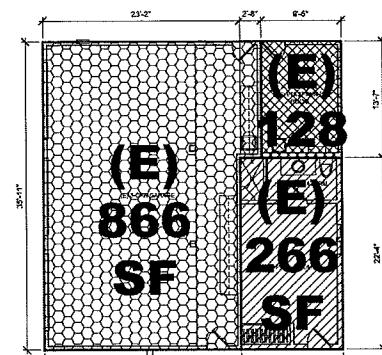
IN-PLACE
CAST-IN-PLACE CONC
THERMOPOLYMER
SHEET

NEW CHIMNEY

SEE STRUCTURAL SHEETS.

ON AS NOTED. SEE PLANS.

PROJECT
DATE: 11.
A 105
SHE
ARCHI



EXISTING FLOOR AREA CALCULATION

SCALE: 1/8" = 1'-0" A.151

PROJECT DATA			
DESCRIPTION	EXISTING	PROPOSED	IF PROPOSED
LIVING AREA	505 SF	+193 SF	543 SF
GARAGE AREA	80 SF	+0 SF	80 SF
MECHANICAL AREA	12 SF	+53 SF	128 SF
GROSS FLOOR AREA	6405 SF	+1140 SF	6520 SF
ELEVATED DECK/BALCONY AREA	180 SF	+0 SF	182 SF
DECK/BALCONY FLOOR AREA (GROSS)	6,585 SF	+1,140 SF	6,725 SF

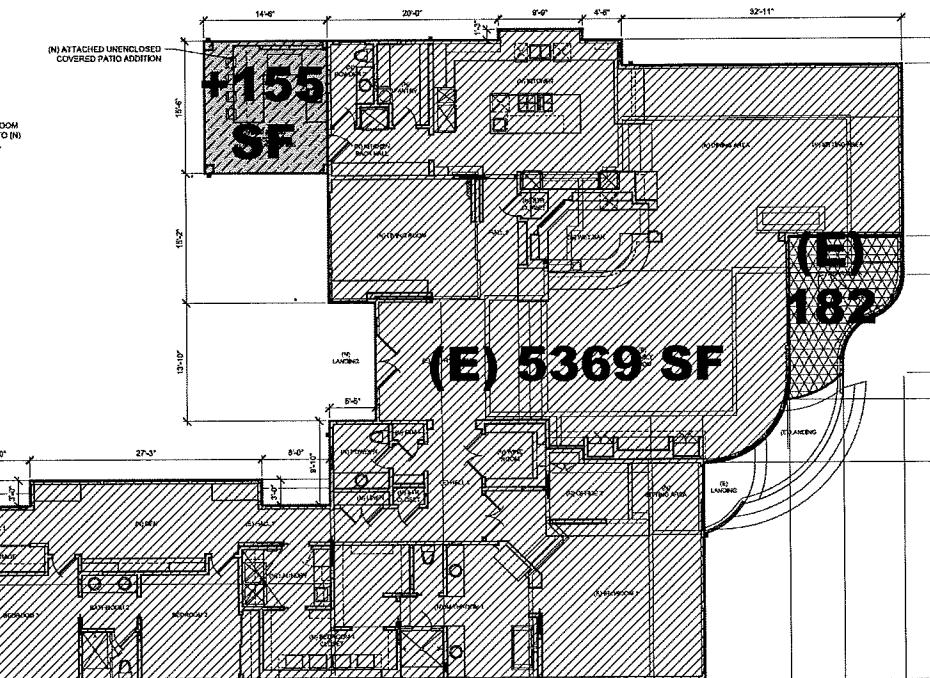
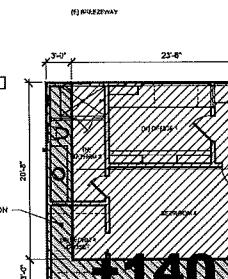
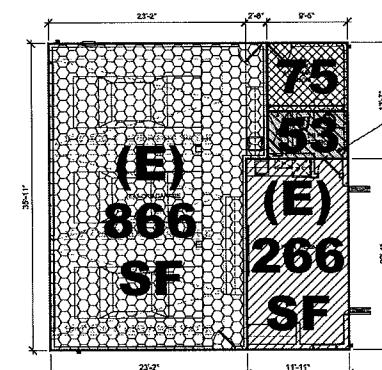
FLOOR PLAN AREA CALCS

PER CBC TABLE 503, THE MAXIMUM ALLOWABLE BUILDING AREA FOR R-3 / TYPE V3 = UNLIMITED.
SEE DOCUMENT FOR EXISTING AND REPROVED FLOOR AREA CALCULATIONS.

EXISTING FIRST FLOOR AREAS:

	LIVING AREA	(E) 5935 SF
	GARAGE AREA	(E) 866 SF
	MECHANICAL SPACE AREA	(E) 128 SF
	ELEVATED DECK / TERRACE AREA	(E) 182 SF
	ATTACHED UNENCLOSED COVERED PATIO	(E) 0 SF
PROPOSED FIRST FLOOR AREAS:		
	LIVING AREA (EXISTING 5635 SF + 53 SF + 140 SF)	5828 SF
	GARAGE AREA (EXISTING 866 SF + 0 SF)	(E) 866 SF
	MECHANICAL SPACE AREA (EXISTING 128 SF - 53 SF)	75 SF
	ELEVATED DECK / TERRACE AREA (EXISTING 182 SF + 0 SF)	(E) 182 SF
	ATTACHED UNENCLOSED COVERED PATIO (EXISTING 0 SF + 225 SF)	225 SF

MCNUTT RESIDENCE REMODEL
47422 EL CAMINO CAPISTRANO, DANA POINT, CALIFORNIA 92629
APN B52-203-29 . LOT 8 & EASTERLY 5 FT OF LOTS, BLOCK 1, TRACT 873



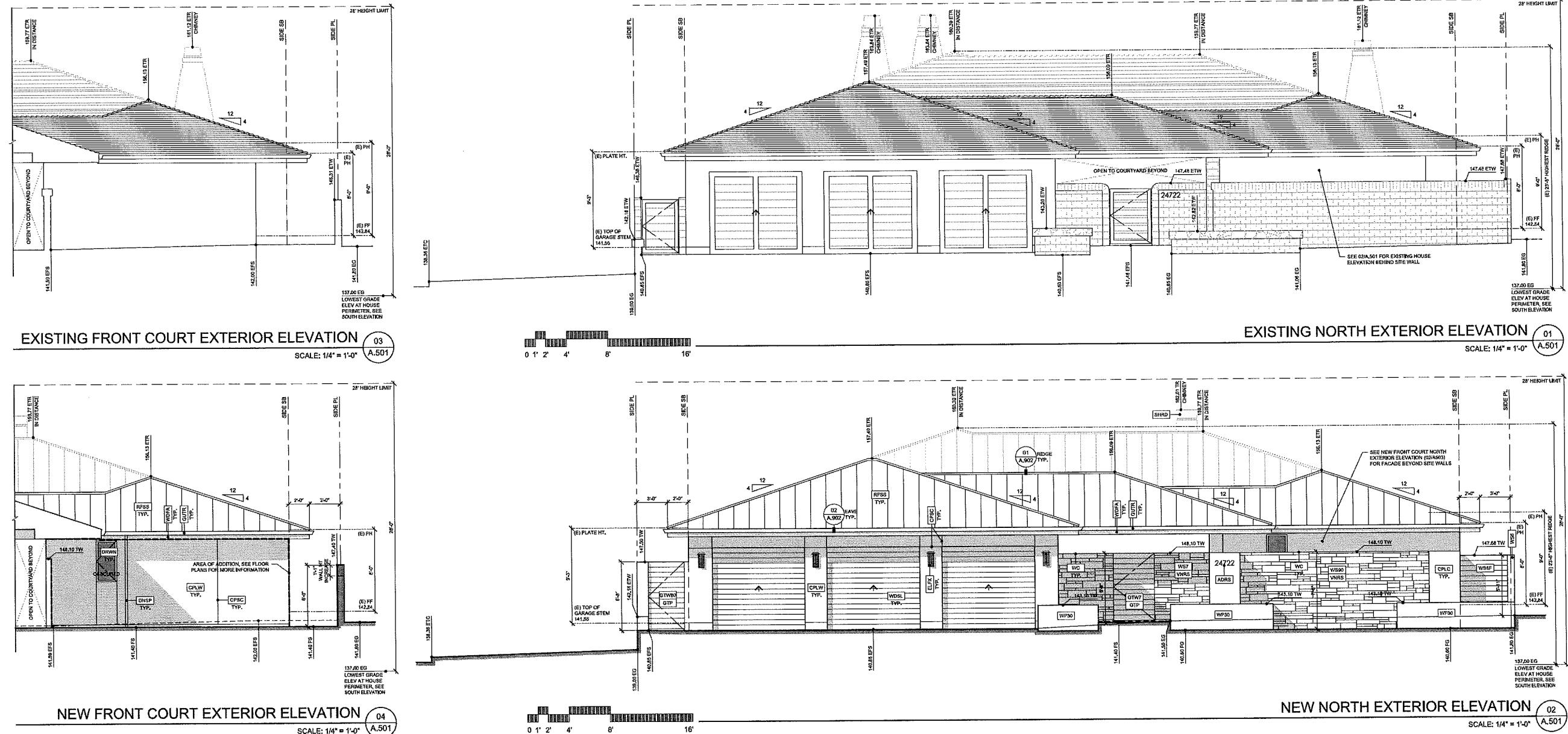
NEW FLOOR AREA CALCULATION

SCALE: 1/8" = 1'-0" A.151

A.151

PROJECT NO: 1522
DATE: 11.15.2016
CDP RESUBMITTAL TO
CITY OF DANA POINT





GENERAL PLAN NOTES

- MIN. 10' OUTSIDE WALL APPLIED TO THE 8' HIGH SIDE OF GARAGE AND INSIDE THE EXTENDED WALLS THAT ARE ATTACHED LESS THAN 2 FEET FROM EACH OTHER WHEN THE GARAGE IS DETACHED FROM THE HOUSE AND THEY LOCATED LESS THAN 2 FEET APART ON THE SAME LOT.**
- 2. **OPENINGS IN EXTERIOR WALLS ARE NOT ALLOWED FOR SLEEPING PURPOSES UNLESS NOT BE PERMITTED BY REQUIREMENTS FOR OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE, SEE THE BOOK SCHAFFER, R. G., 1000'S EDITION, SECTION 1000.**
- 3. **EXTERIOR MASONRY WALLS SHALL BE APPLIED TO EXTERIOR WALLS WITH FULL THIN NYLON
WATERPROOF TAPE, BARRIER TAPE, AND CEMENT.**
- 4. **EXTERIOR MASONRY WALLS SHALL BE APPLIED TO EXTERIOR PANEL BOARD INSULATION SHALL BE PERMANENT MANUFACTURER'S
INSTRUCTIONS AND COMPANY NAME CERTIFIED.**
- 5. **EXT. MASONRY WALLS SHALL BE APPLIED TO EXTERIOR PLATES OF GRADED PINE OVER WOOD BASE SHEATHING AND BE
INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND CEC CODE.**
- 6. **EXTERIOR MASONRY WALLS SHALL BE APPLIED TO EXTERIOR PLATES OF GRADED PINE OVER WOOD BASE SHEATHING AND BE
INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND CEC CODE.**
- 7. **EXTERIOR MASONRY WALLS SHALL BE APPLIED TO EXTERIOR PLATES OF GRADED PINE OVER WOOD BASE SHEATHING AND BE
INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND CEC CODE, AND THE ADVISED STORE VENNER, LTD.
SAFETY GLAZING (TEMPERED GLASS).**
- 8. **EXTERIOR MASONRY WALLS AT HAZARDOUS LOCATIONS AS DEFINED IN CRIS/CRAZI SHALL BE SAFETY GLAZING
AND PROVIDED WITH A PERMANENT AND VISIBLE SAFETY GLAZING DESIGNATION PER CSC LOGO. FOR LOAD AND VARIOUS
PROBLEMS, THE CONTRACTOR SHALL PROVIDE SAFETY GLAZING IN ACCORDANCE WITH THE REQUIREMENTS OF OTHER DOORS AND WINDOWS. PRINT SAFETY
GLAZING AT THE FOLLOWING:**
 - GLAZING IN DOORS (EXCEPT BATHROOM, KITCHEN, STAIRS)
 - GLAZING IN BATHROOMS (EXCEPT TUB AND SHOWER)
- ELEVATIONS**
 - 1. **ALL EXTERIOR FIXTURES & FURNITURE ARE DIAGRAMMATIC IN DIMENSION, SHAPE, AND STYLE, FOR
MORE INFORMATION OR ACTUAL DIMENSIONS, SHAPE, AND STYLE, SEE ADDITIONAL NOTES.**
 - 2. **CONTRACTOR SHALL PAY ALL FINDINGS WITH THE OWNER FOR AN ADDITIONAL FEE, IF IN A KEYHOLE "SHEM"**
 - 3. **CONTRACTOR SHALL PAY ALL FINDINGS WITH THE OWNER FOR AN ADDITIONAL FEE, IF IN A KEYHOLE "SHEM"**
- GENERAL**
 - 1. **CONTRACTOR SHALL PAY ALL FINDINGS WITH THE OWNER FOR AN ADDITIONAL FEE, IF IN A KEYHOLE "SHEM"**
 - 2. **CONTRACTOR SHALL PAY ALL FINDINGS WITH THE OWNER FOR AN ADDITIONAL FEE, IF IN A KEYHOLE "SHEM"**

PLAN KEYNOTES

ABBREVIATIONS

FLOOR	FG	FINISHED GRADE
SURFACE	FS	FINISHED SURFACE
GRADE	TC	TOP OF CURB
WALL	TCH	TOP OF CHIMNEY
TOP OF CURB	TCS	TOP OF CHIMNEY SHROUD
TOP OF EAVE	TE	TOP OF EAVE
TOP OF GUARDRAIL	TF	TOP OF FENCE
TOP OF HAMMOCK	TH	TOP OF HAMMOCK
TOP OF ROOF	TR	TOP OF ROOF

VATION / SECTION | LEGEND

EXISTING ELEMENT TO BE REMOVED
E OF EXISTING GRADE
E OF FINISHED GRADE

ATION. SEE INSULATION, GENERAL PLATE.

PLAN LEGEND

STING RECTANGULAR DOWNSPOUT.

RECTANGULAR DOWNSPOUT, SEE EXTERIOR ELEVATIONS FOR MORE INFO.

STING WALL TO BE REMOVED

STING WALL TO REMAIN

 NEW WALL, ZX4
 NEW WALL, ZX6

VWALL, ZX8

VWALL, WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL GYRBOARD PER SPECIFIED KEYNOTE TAG

VWALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL, PERPENDICULAR LISTS EXEMPT FOR CRC RM01; EXCEPTION 1, PENETRATIONS SHALL BE INSTRUCTED FOR CRC RM02A AND RM02B.

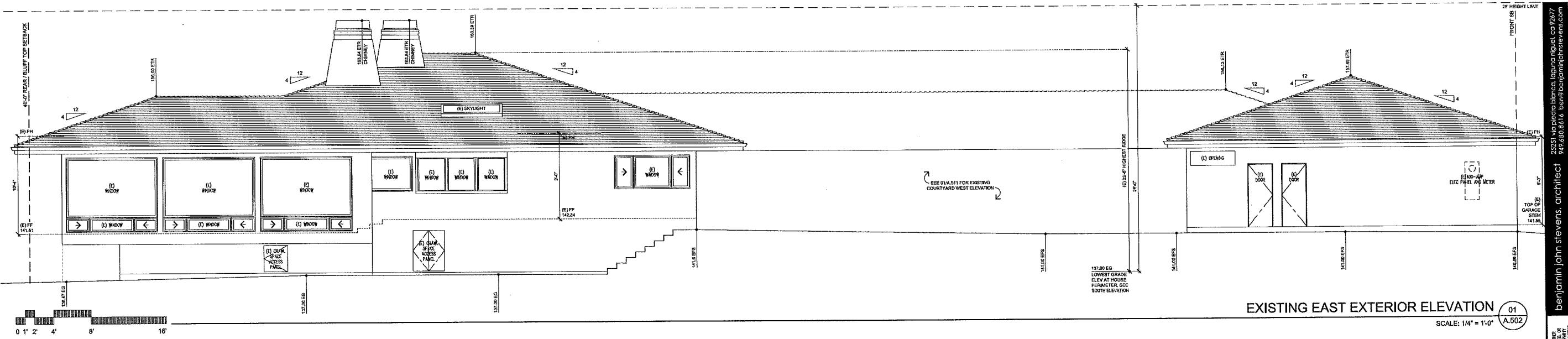
CASTING CAST-IN-PLACE CONCRETE WALL

 NEW CAST-IN-PLACE CONG
 WALL, SEE SLAT SHEETS.

CASTING CONCRETE MASONRY

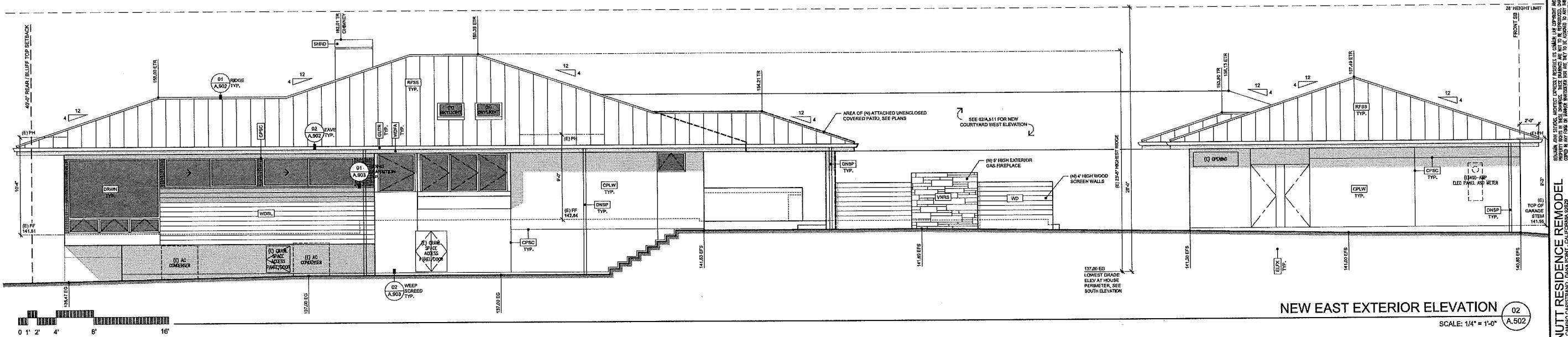
 NEW CLAY WALL
 SEE STRUCTURAL SHEETS.

EA OF ADDITION AS NOTED, SEE PLANS.



EXISTING EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0" A.502



NEW EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0" A.50

GENERAL PLAN NOTES

1

ABBREVIATIONS

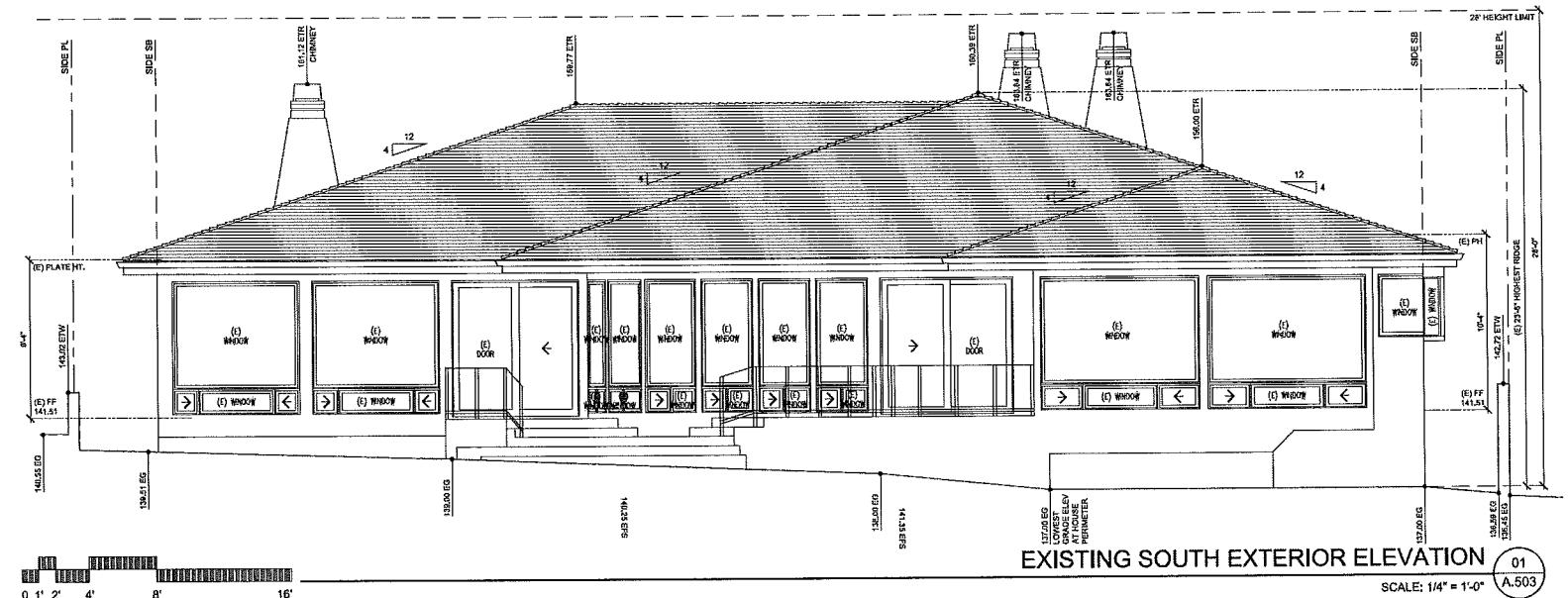
EXISTING FINISH FLOOR	FG	FINISHED GRADE
EXISTING FINISH SURFACE	FS	FINISHED SURFACE
EXISTING GRADE	TC	TOP OF CURB
EXISTING SURFACE	TCH	TOP OF CHIMNEY
EXISTING TOP OF CURB	TCS	TOP OF CHIMNEY SHROUD
EXISTING TOP OF EAVE	TE	TOP OF EAVES
EXISTING TOP OF GUARDRAIL	TF	TOP OF FENCE
EXISTING TOP OF PARAPET	TG	TOP OF GUARDRAIL

VATION / SECTION LEGEND

----- EXISTING ELEMENT TO BE REMOVED
— LINE OF EXISTING GRADE

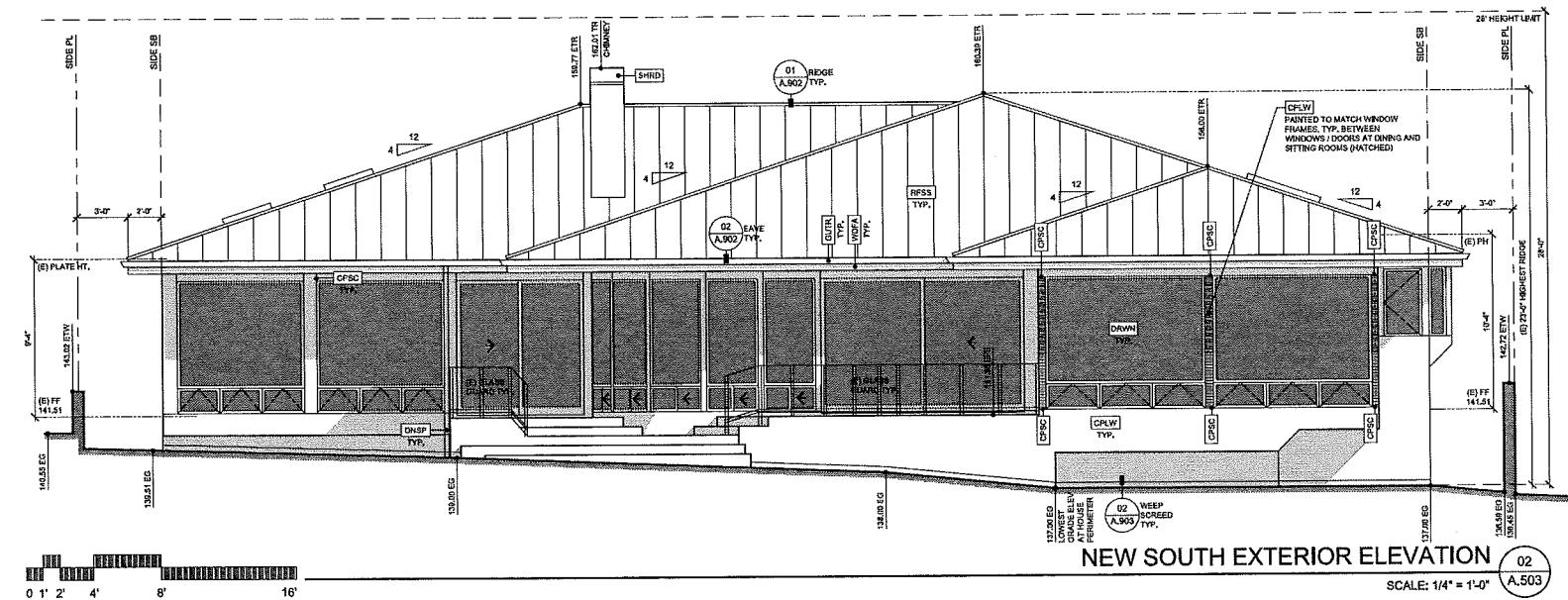
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PLAN LEGEND	
EXISTING RECTANGULAR DOWNSPOUT.	
NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.	
EXISTING WALL TO BE REMOVED	
EXISTING WALL TO REMAIN	
NEW WALL, 2X4	
NEW WALL, 2X8	
NEW WALL, WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEY TAG	
NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR CONSTRUCTION FOR CIR 402(2) EXCEPTION 1. PENETRATIONS SHALL BE CONSTRUCTED FOR CIR 402(2) AND 402(3).	
EXISTING CAST-IN-PLACE CONCRETE WALL	NEW CAST-IN-PLACE CONC WALL, SEE STRL SHEETS.
EXISTING CONCRETE MASONRY UNIT WALL	NEW CIR WALL SEE STRUCTURAL SHEETS.
AREA OF ADDITION AS NOTED, SEE PLANS.	



EXISTING SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0" A.503



NEW SOUTH EXTERIOR ELEVATION

SCALE: $\frac{1}{4}$ " = 1'-0" A.50

GENERAL PLAN NOTE

GENERAL

1. ALL BUILDING ELEMENTS REFERENCED IN THESE DRAWINGS ARE LISTED IN THE BIMAN ASSOCIATED CREDITS.
2. THE DESIGN OF ANY ADDITIONAL PROVIDED SYSTEMS WHICH MAY BE REQUIRED IS THE RESPONSIBILITY OF THE OWNER OR THAT OF A FIRM PREVIOUSLY RETAINED BY THE ARCHITECTURE, WITH THE LOCATION IDENTIFIED BY CR-01512.
3. PROVIDE A COATING SYSTEM FOR EXPOSED STEEL CONSTRUCTION. THE COATING SYSTEM SHALL CONSIST OF A TWO COAT SYSTEM CONSISTING OF AN INTEGRAL COATING AND A TOP COAT. THE TOP COAT SHALL BE A POLYURETHANE COATED GALVANIZED STEEL, STAINLESS STEEL, METAL COATINGS, OR COPPER PLATE CR-01512.
4. PROVIDE A COATING SYSTEM FOR EXPOSED CONCRETE. THE COATING SYSTEM SHALL CONSIST OF A ONE COAT SYSTEM CONSISTING OF A POLYURETHANE COATED CONCRETE, POLYURETHANE COATED CONCRETE, OR A POLYURETHANE COATING CR-01512.
5. ROOFING, FLASHING, AND ALL OTHER BUILDING MATERIALS SHALL BE COMPATIBLE WITH THE STRUCTURE AND OTHER BUILDING MATERIALS TO WHICH THEY ARE ATTACHED. IN THE CASE OF ROOFING, THE ROOFING SYSTEM SHALL NOT OCCUR ON THE EXTERIOR SURFACE OF THE ROOF. INSTEAD, THE ROOFING SYSTEM SHALL BE LOCATED ON THE INTERIOR SURFACE OF THE ROOF DECK. THE ROOFING SYSTEM SHALL NOT BE LOCATED ON THE EXTERIOR SURFACE OF THE ROOF. INSTEAD, THE ROOFING SYSTEM SHALL BE LOCATED ON THE INTERIOR SURFACE OF THE ROOF DECK.
6. PROVIDE A GYPSUM BOARD INSULATION SYSTEM CONSISTING OF A THREE LAYER SYSTEM. THE INSULATION SYSTEM SHALL BE PROVIDED AS LAYERS IDENTIFIED IN CR-01512, AND A PERMABOND® SYSTEM IDENTIFIED IN CR-01512.
7. PROVIDE A COATING SYSTEM FOR EXPOSED CONCRETE. THE COATING SYSTEM SHALL CONSIST OF A ONE COAT SYSTEM CONSISTING OF A POLYURETHANE COATED CONCRETE, POLYURETHANE COATED CONCRETE, OR A POLYURETHANE COATING CR-01512.
8. **PINT MAINTENANCE OPERATIONS**

 1. PROVIDE AND MAINTAIN AN OPERATION AND MAINTENANCE MANUAL PREPARED BY THE GENERAL CONTRACTOR FOR THE ENTRANCE FACILITY. THE MANUAL SHALL BE PROVIDED TO THE BIMAN OWNER BY THE GENERAL CONTRACTOR.
 2. PROVIDE AND MAINTAIN AN OPERATION AND MAINTENANCE MANUAL PREPARED BY THE BIMAN OWNER FOR THE ENTRANCE FACILITY. THE MANUAL SHALL BE PROVIDED TO THE BIMAN OWNER BY THE GENERAL CONTRACTOR.

INSULATION

 1. THIS PROJECT THERMAL INSULATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 110.8 AND 110.9.
 2. THIS PROJECT THERMAL INSULATION SHALL BE INSULATED WITH BATT INSULATION AS IDENTIFIED IN THE FOLLOWING MINIMUM:

PLAN KEYNOTES

ABBREVIATIONS

EFF	EXISTING FINISH FLOOR	FG	FINISHED GRADE
EFS	EXISTING FINISH SURFACE	FS	FINISHED SURFACE
EG	EXISTING GRADE	TC	TOP OF CURB
ES	EXISTING SURFACE	TCH	TOP OF CHIMNEY
ETC	EXISTING TOP OF CURB	TCSH	TOP OF CURB TOP HORIZONTAL SHROUD
ETE	EXISTING TOP OF EAVE	TE	TOP OF EAVE
ETG	EXISTING TOP OF GUARDRAIL	TF	TOP OF FENCE
ETP	EXISTING TOP OF PARAPET	TG	TOP OF GUARDRAIL TOP OF PARAPET

ELEVATION / SECTION LEGEND

..... EXISTING ELEMENT TO BE REMOVED
— — — LINE OF EXISTING GRADE

1.5. WIRELESS

PLAN LEGEND

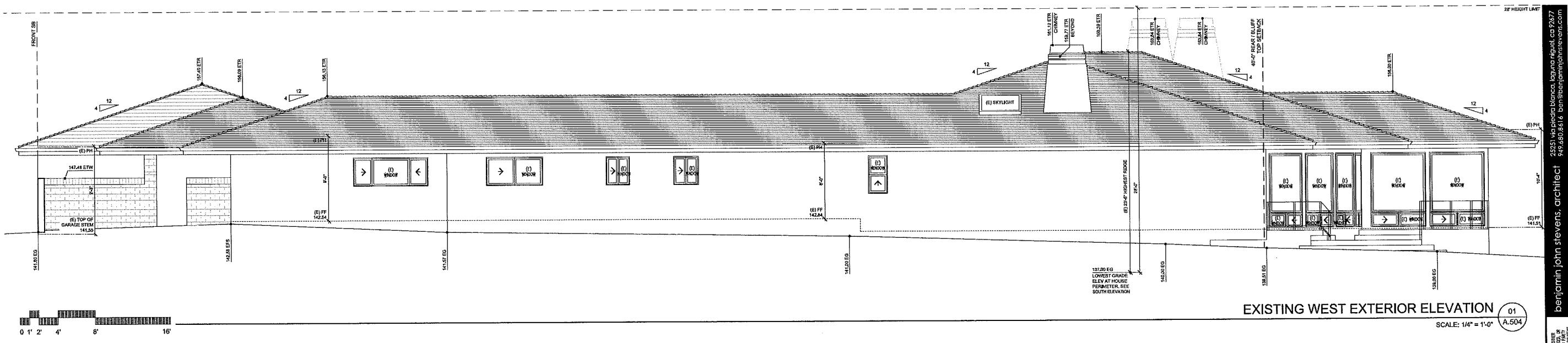
- EXISTING RECTANGULAR DOWNSPOUT.**
- NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.**
- EXISTING WALL TO BE REMOVED**
- EXISTING WALL TO REMAIN**
- NEW WALL, 2X4**
- NEW WALL, 2X6**
- NEW WALL WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG**
- NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR WALLS EXCEPT FOR CRR #R2021 EXCEPTION 1. PENETRATIONS SHALL BE CONSTRUCTED FOR CRR #R3024 AND R3025.**
- EXISTING CAST-IN-PLACE CONCRETE WALL**
- EXISTING CONCRETE MASONRY UNIT WALL**
- AREA OF ADDITION AS NOTED, SEE PLANS.**

ROOF / ATTIC VENTILATION CALCS

PER CRC R005. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATOR.

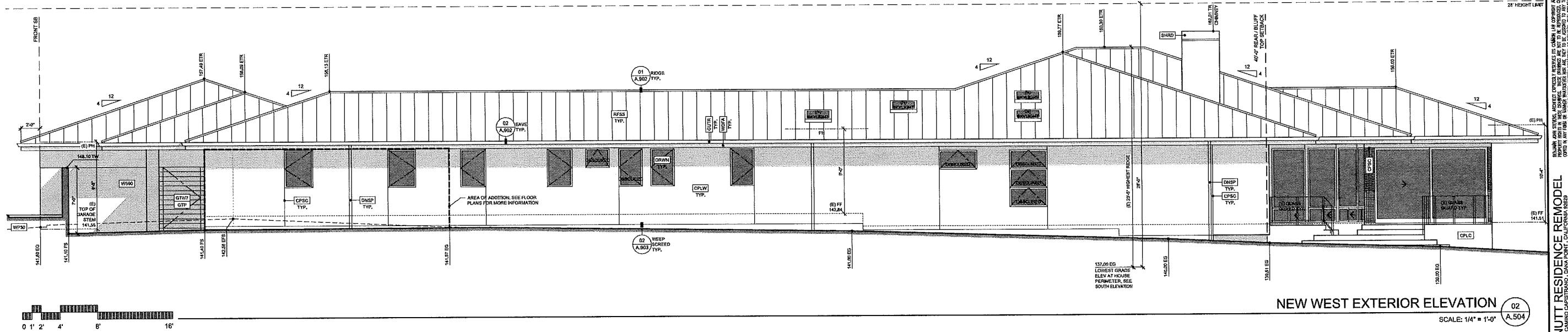
ATTIC VENTS

REQUIRED: 7474 SF / 300 = 24.91 SF X 144 = 3552 SF NFVA REQUIRED
PROVIDED: 631 LF OF "RVE" EAVES VENT @ 3.3 SF NFVA / LF = 1803 SF NFVA
(25 QTY) OF "RVCS" CUSTOM SHED DORMER VENT @ 70 SF NFVA / EA = 1750 SF NFVA
TOTAL QTY = 3843 SF NFVA PROVIDED



XISTING WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



NEW WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

PLAN KEYNOTES

- ANY FINISH MATERIALS THAT IS UNLESS OTHERWISE STATED WILL BE VERIFIED WITH THE ARCHITECT AND OWNER PRIOR TO PURCHASE AND INSTALLATION AND COMMENCING RELATED WORK.**

ALL FLOORING IS TO BE LAYED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

WHERE A FLOOR IS DESIGNATED AS THE FINISH, SHEEN ALLOCATIONS TO BE ISSU SHALL VERIFY THESE SHEENS WITH THE OWNER

1. PLATINUM MITT STRIPS.

2. ALL PLATINUM MITT STRIPS FOR ALL UNPAINTED SURFACES NOT LISTED ABOVE OTHERWISE

3. BASEBOARD TRIM, MOLDING, BASE BOARD, WALL VENEER, PARKEETING, BULL KNOTS, GYPSUM, HANDBRACK, HANDNAUL,

4. DOOR TRIM, DOOR SWINGS, DOOR SWING TRIM, DOOR SWING BACKING, DOOR SWING BACKING, DOOR SWING BACKING,

5. GUTTERS, DOWNSPOUTS, PITCH FLOOR VALAS AND CERAMIC IN GARDEN AREAS AND GROUNDFLOOR AREAS (G.G. KITCHENS, BATHROOMS, LAUNDRY

6. GROUNDFLOOR AREAS).

6. GLASS FROST, DOOR, MIRRORS, ENAMELED

ALL EXISTING GYPSUM BOARD DESIGNATED TO REMAIN SHALL INC PLATINUM STRIPS AS NEEDED TO APPEAR NEW.

ABBREVIATIONS

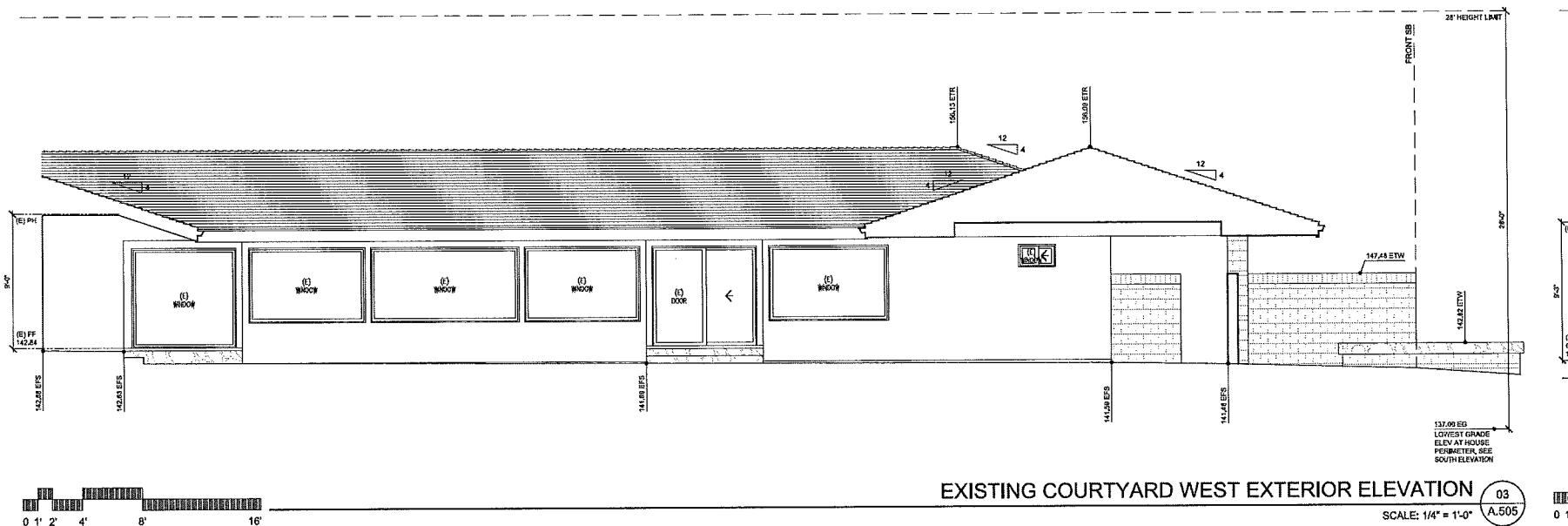
EXISTING FLOOR	FQ	FINISHED GROUND
EXISTING FLOOR SURFACE	FS	FINISHED SURFACE
EXISTING GRADE	FG	
EXISTING SURFACE	TG	TOP OF CURB
EXISTING SURFACE	TCH	TOP OF CHIMNEY
EXISTING SURFACE	TCS	TOP OF CHIMNEY SHROUD
EXISTING SURFACE	TCR	TOP OF CURB RAIL
EXISTING TOP OF CURB	TC	TOP OF CURB
EXISTING TOP OF EAVE	TE	TOP OF EAVE
EXISTING TOP OF GUARDRAIL	TR	TOP OF GUARDRAIL
EXISTING TOP OF ROOF	TR	TOP OF ROOF
EXISTING TOP OF WALL	TW	TOP OF WALL

ELEVATION / SECTION LEGEND

----- EXISTING ELEMENT TO BE REMOVED
— — LINE OF EXISTING GRADE

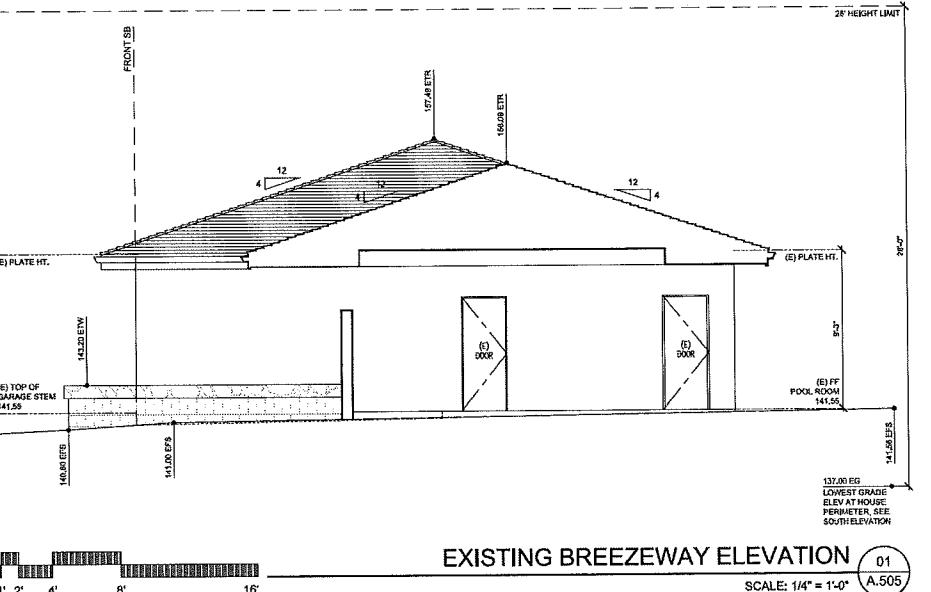
ASSOCIATION, SEE PROUDHON, GABRIEL AVANTAGE

PLAN LEGEND	
EXISTING RECTANGULAR DOWNSPOUT.	
NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.	
EXISTING WALL TO BE REMOVED	
NEW WALL, 2X4	
NEW WALL, 2X6	
NEW WALL, WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRIVWALL PER ASSOCIATED KEYNOTE TAG	
NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR, CONCRETE, OR CERAMIC CMU 24x32, EXCEPT 1, PENETRATIONS SHALL BE CONCRETE, 4 INCHES CERAMIC CMU 24x32 AND 20x32.	
EXISTING PART-2 AFFAGE CONCRETE WALL	
EXPOSED CONCRETE MASONRY UNIT WALL	
AREA OF ADDITION AS NOTED, SEE PLANS.	
NEW CAST-IN-PLACE CONG. WALL, SEE STL. SHEETS.	
NEW CHIMNEY, SEE STRUCTURAL SHEETS.	



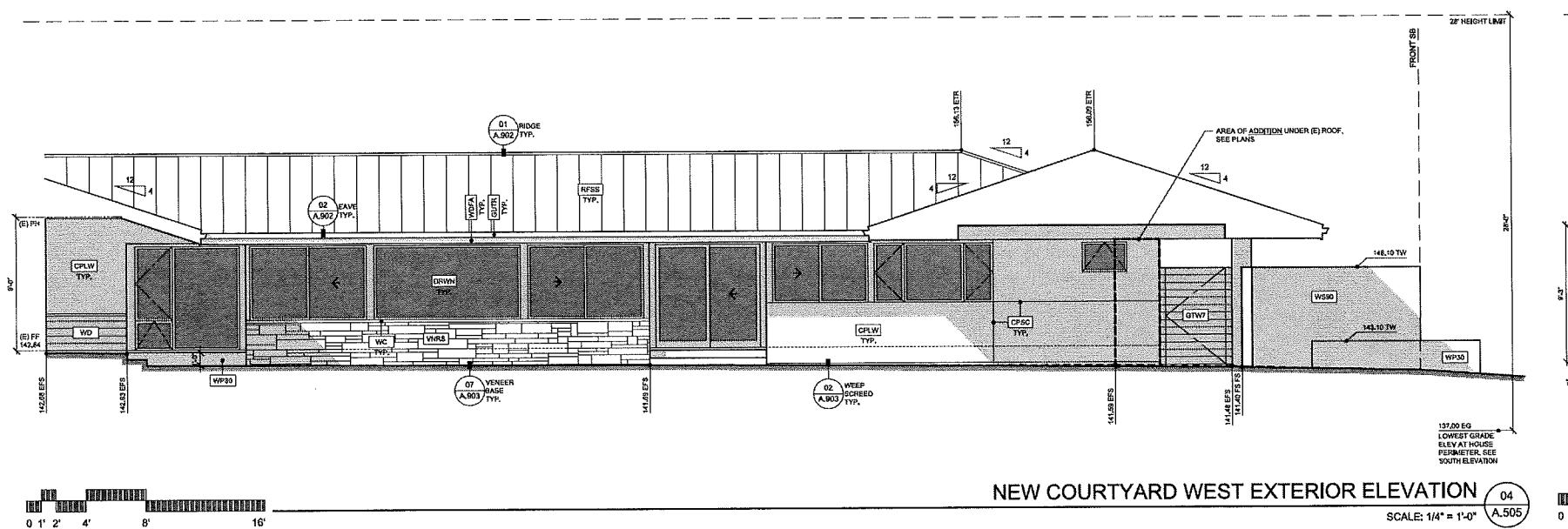
EXISTING COURTYARD WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0" A.505



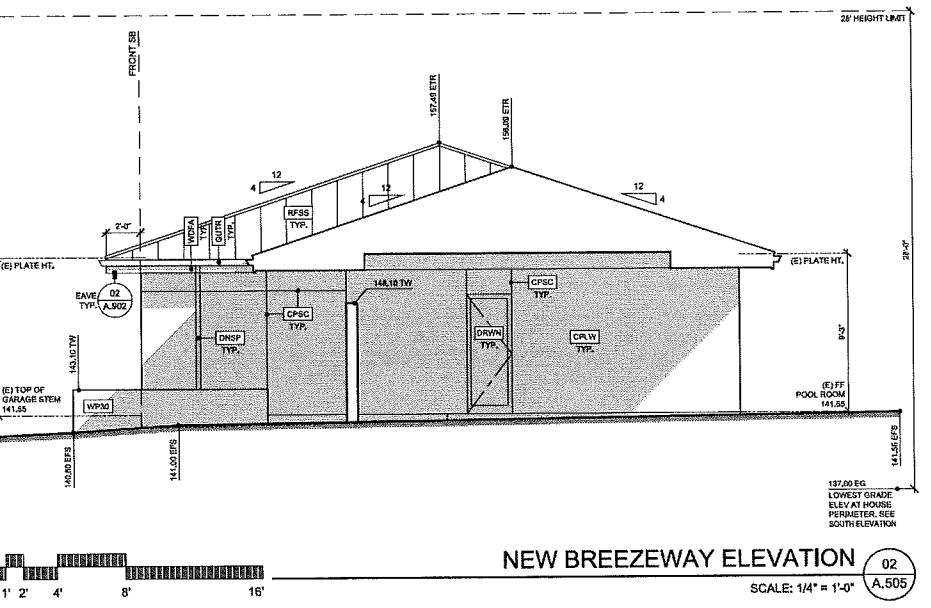
EXISTING BREEZEWAY ELEVATION

SCALE: 1/4" = 1'-0" A.505



NEW COURTYARD WEST EXTERIOR ELEVATION 04

SCALE: 1/4" = 1'-0" A.505



NEW BREEZEWAY ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

PLAN KEYNOTES

ABBREVIATIONS

SECTION / SECTION LEGEND

ACQUISITION USE INVESTIGATION GENERATE OWNERS

PLAN LEGEND

CANTERULAR DOWNSPOUT.

MIGRANT DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.

LL TO BE REMOVED

LL TO REMAIN NEW WALL, 2X4

X8 NEW WALL, 2X8

WITH ACCUSTICAL EATT INSULATION AND ACCUSTICAL DRYWALL PER KEYNOTE TAB

PERF RATED, SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR
TO EXISTING WALLS. EXCEPT 1.1. EXPTION 1. PENETRATIONS SHALL BE
ED FOR CRC R302A AND RM2.5

STAIR-PLACE NEW CAST-IN-PLACE CONG.
YALL WALL. SEE STR. SHEETS.

CONCRETE MASONRY NEW CIRWALL
SEE STRUCTURAL SHEETS.

ITION AS NOTED. SEE PLANS.

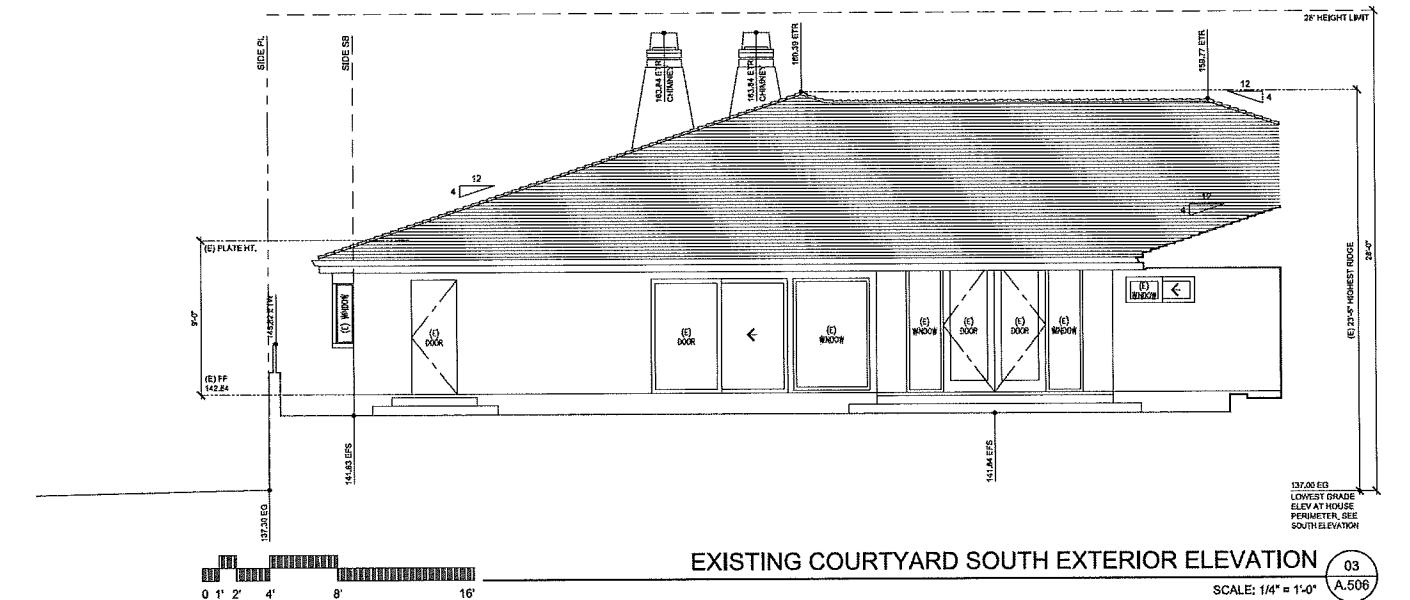
ROOF / ATTIC VENTILATION CALCS

PERR CRC RMC SEE RIDP PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

ATTIC AREA

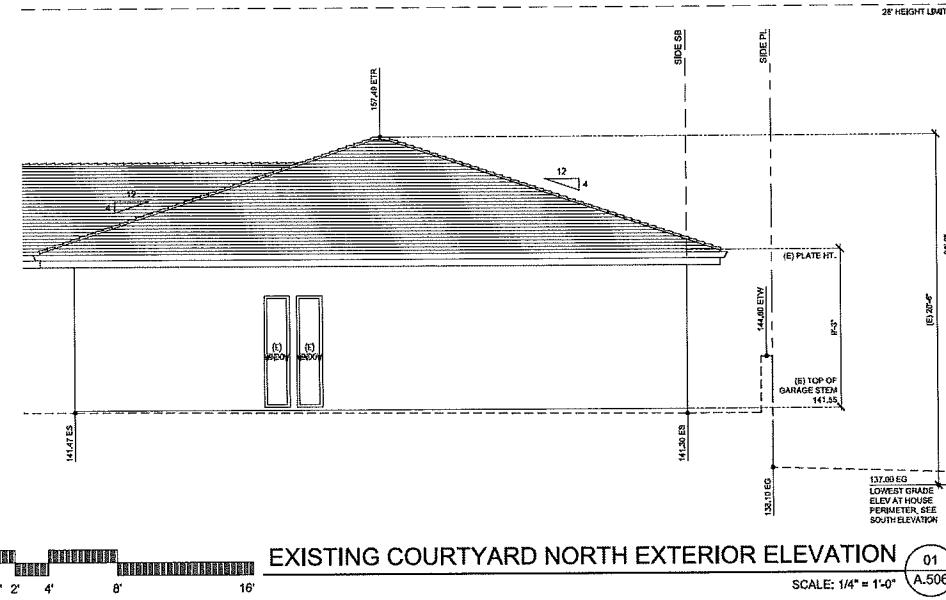
REQUIRED: 174 SF / 300 = 24.01 SF X 144 = 3384 SF NFPA REQUIRED

PROVIDED: 631 LF OF RVE EAVE VENT @ 3.3SF/VFA / LF = 1803 SF NFPA
(25 QTY) OF "VFC'S" CUSTOM SHED DORMER VENT @ 70 SF/NFPA / EA = 1750 SF NFPA
TOTAL = 3843 SF/NFPA PROVIDED



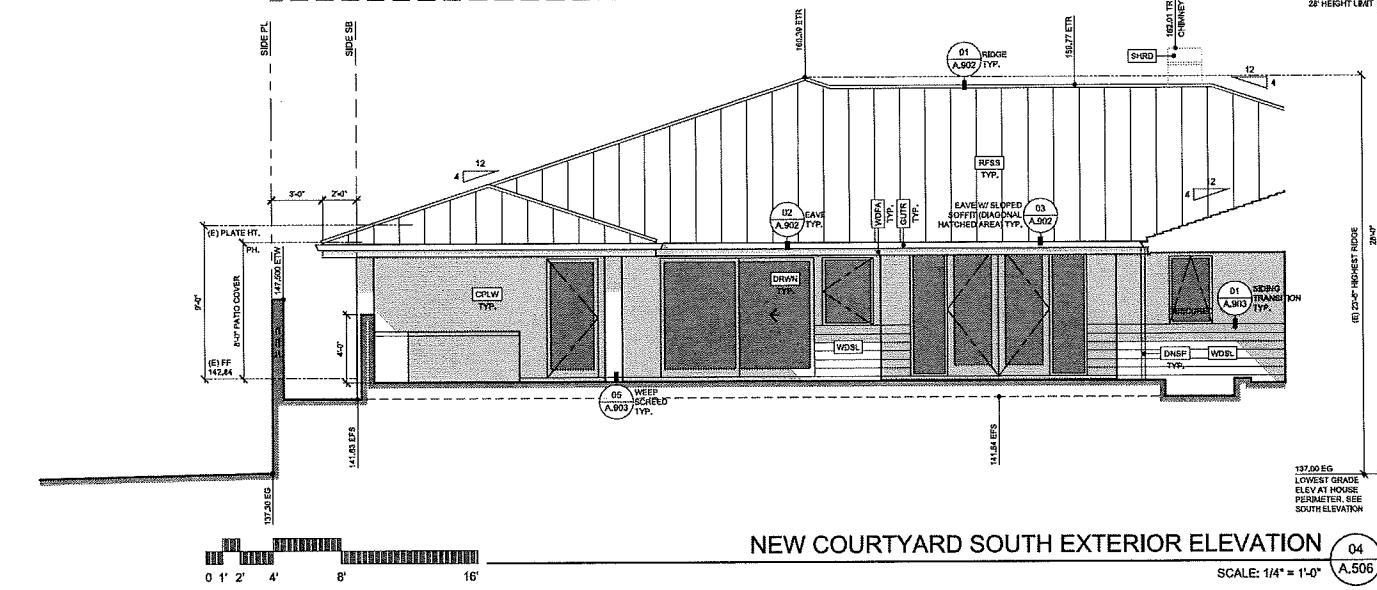
EXISTING COURTYARD SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0" A.50



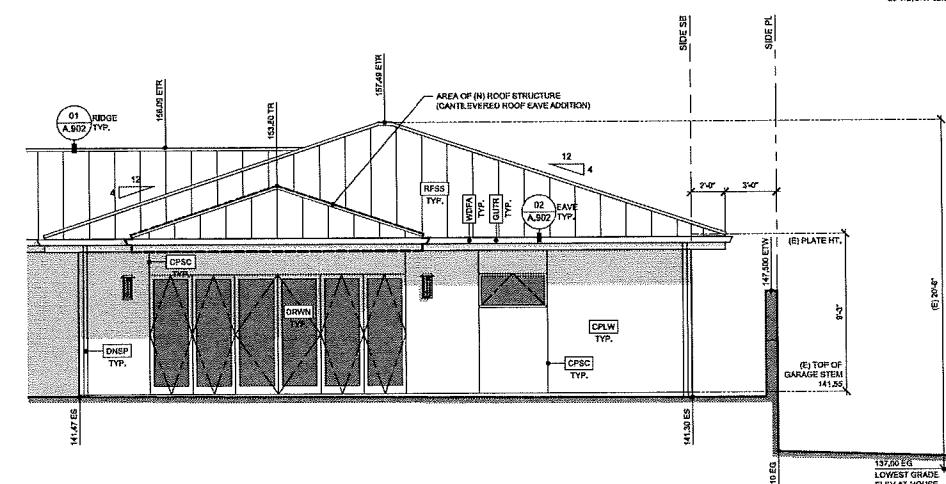
EXISTING COURTYARD NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1:20



NEW COURTYARD SOUTH EXTERIOR ELEVATION 04

SCALE: 1/4" = 1'-0" A.50



NEW COURTYARD NORTH EXTERIOR ELEVATION 02 A-FO

SCALE: 1/4" = 1'-0"

GENERAL PLAN NOTES

2. ANY FINISH DECORATION THAT IS UNCLEAR OR BLURRY SHALL BE REVIEWED WITH THE ARCHITECT AND OWNER PRIOR TO PURCHASED MATERIALS AND COMMENCEMENT OF RELATED WORK.

3. THE CONTRACTOR SHALL FOLLOW THE ARCHITECT'S INSTRUCTIONS.

4. WHERE A PAINT IS DESCRIBED AS THE FINISH, SHEEN ALLOCATION TO BE USED SHALL VARY THESE SHEENS WITH THE OWNER

5. PAINTS ARE TO BE APPLIED AS FOLLOWS:

a. PLATTS DO NOT UTILIZE.

b. IN ALL PLATED SURFACES NOT LISTED ABOVE OTHERWISE

c. STAINLESS STEEL, MOLDINGS, BARS, ETC., JOLLOWHORN, PLATE, WAXING, POLY, BULB, GLASSWORK, HANDRAILS, GUARAR, VENEERS, ETC., ARE TO BE PAINTED IN ACCORDANCE WITH THE CONTRACTOR'S SPECIFICATIONS.

d. INTERIOR WALLS ARE TO BE PAINTED IN IMPERMEABLES AND EASY TO CLEAN (KITCHEN, BATHROOM, LAUNDRY AREA, UTILITY ROOM, SLEEPING PORCH, ETC.).

e. EXISTING UGLY BOARD SYSTEMS TO BE REMOVED, REPAIRS MADE IF NECESSARY AND PAINTED AS DESCRIBED AT AGREED TO APPEAR NEW.

PLAN KEYNOTES

ROOF / ATTIC VENTILATION CALCS

PER CRC RM08. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

ATTIC AREA

PROVIDED: 1074 SF / 300 = 34.17 SF X 144 = 3888 SF NFVA REQUIRED
 PROVIDED: 1031 LF OF "RVS" EAVE VENT @ 3 SF/NFVA / LF = 1030 SF NFVA
 (25 QTY) OF "RVS" CUSTOM SHED DORMER VENT @ 70 SF/NFVA / EA = 1750 SF NFVA
 TOTAL = 3643 SF NFVA PROVIDED

ELEVATION / SECTION LEGEND

- EXISTING ELEMENT TO BE REMOVED
- - - LINE OF EXISTING GRADE
- LINE OF FINISHED GRADE
- ||||| BATT THERMAL INSULATION, SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO

PLAN LEGEND

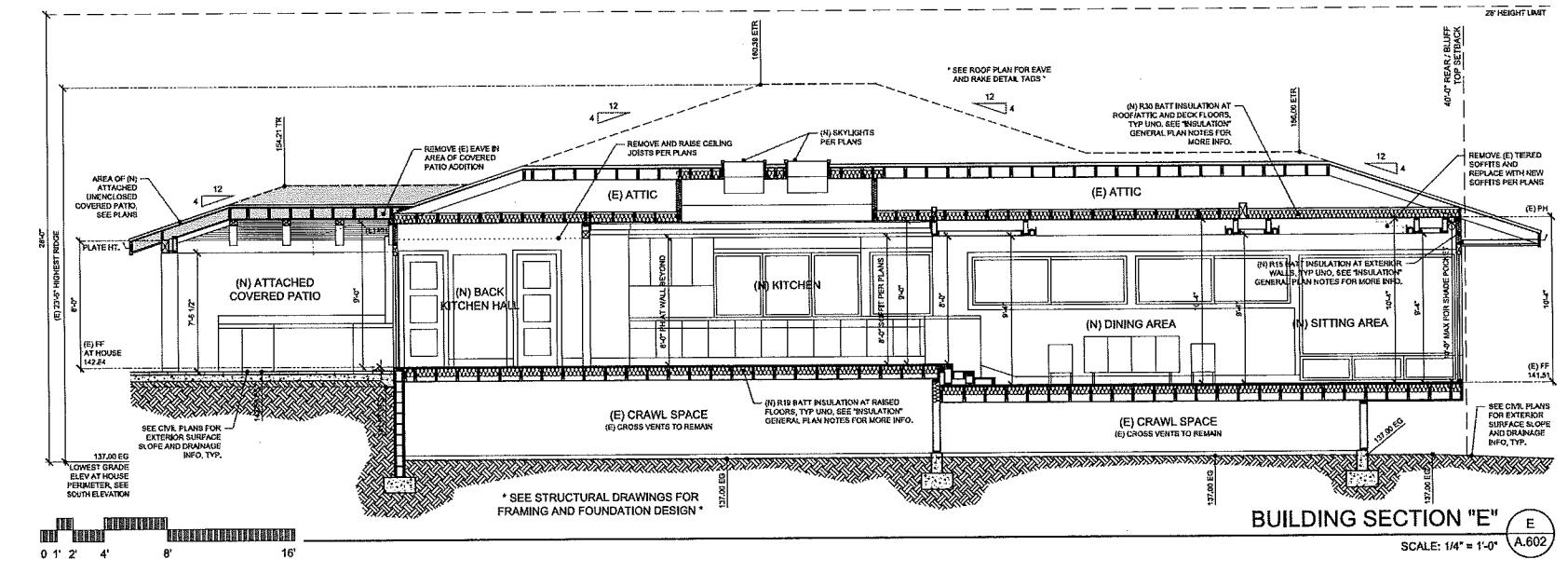
- EXISTING RECTANGULAR DOWNSPOUT.
- NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL, 2X4
- NEW WALL, 2X8
- NEW WALL, 2X8
- NEW WALL, 2X8
- NEW WALL, WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG
- NEW WALL, WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG
- NEW CAST-IN-PLACE CONCRETE WALL
- NEW CAST-IN-PLACE CONC WALL, SEE STIRL SHEETS.
- EXISTING CONCRETE MASONRY UNIT WALL
- NEW CMU WALL
- NEW STRUCTURAL SHEETS.
- AREA OF ADDITION AS NOTED, SEE PLANS.

ABBREVIATIONS

ELEVATION / SECTION LEGEND

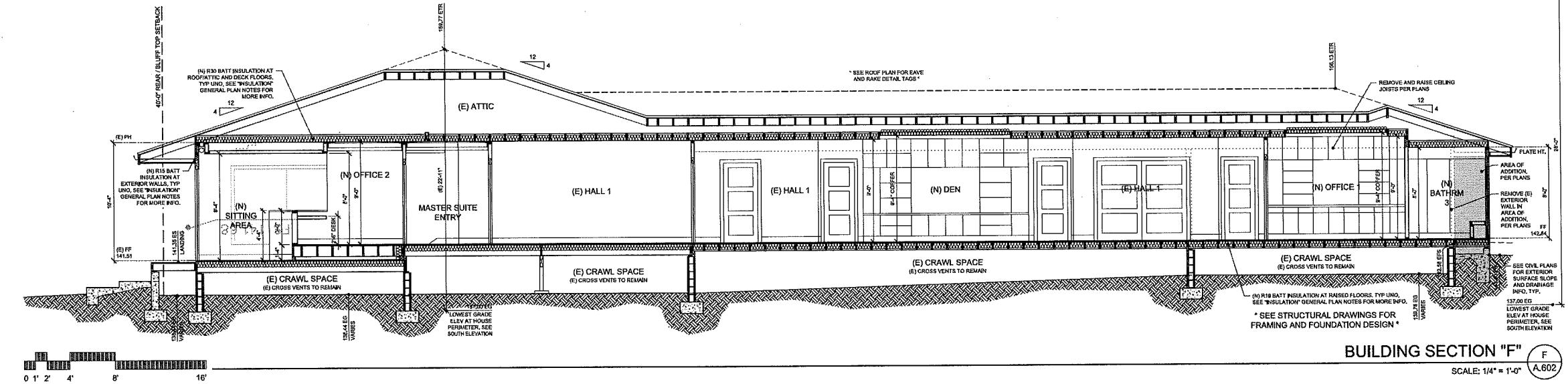
PLAN LEGEND

PLAN LEGEND	
EX	EXISTING RECTANGULAR DOWNSPOUT.
ED	NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.
EW	EXISTING WALL TO BE REMOVED.
EWB	EXISTING WALL TO BE REMAIN.
EWL	NEW WALL, 2X6
EWT	NEW WALL, 2X8
EWL+L	NEW WALL, WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG
L	NEW WALL, FIRE RATED. SEE ASSOCIATED WALL TAG FOR DETAIL, PERPENDICULAR TO EXISTING WALL.
L+L	NEW VERTICALLY STACKED STUCCO EXYX AND CONCRETE BLOCK.
L+E	NEW VERTICALLY STACKED STUCCO EXYX AND CONCRETE BLOCK, EXCEPT FOR DOOR, WINDOW, AND OTHER OPENINGS.
L+T	NEW INTERNAL NATURAL STONE TILE OVER MORTAR SETTING BED. SPEC PER OWNER.
T	NEW TILED SURFACE, EXCEPT FOR DOOR, WINDOW, AND OTHER OPENINGS.
T+L	NEW FLORIMOUNTED TILES. FLOOR BASED ON GREEN BUILDING STANDARDS ANALYSIS SHEET AND UTILITY PLANS.
EWL+L+T	NEW CAST-IN-PLACE CONCRETE WALL, SEE STRL SHEETS.
EWL+L+E	EXISTING CONCRETE MASONRY UNIT WALL.
EWL+L+T+E	EXISTING CONCRETE MASONRY UNIT WALL. SEE STRUCTURAL SHEETS.
EWL+L+T+E+L	AREA OF ADDITION AS NOTED. SEE PLANS.



BUILDING SECTION "E"

SCALE: 1/4" = 1'-0" A.60



BUILDING SECTION "F"

SCALE: 1/4" = 1'-0" A.6

GENERAL PLAN NOTE

PLAN KEYNOTES

- * RIS FOR FLOOR ADJUSTABLE AT 9TH TIER CIRLED INDICATE INSTALL A 1/2" X 1/4" #14GUTTER
- * RIS FOR 250 BATHS SEPARATING CONDITIONED SPACES FROM UNCONDITIONED SPACES
- * RIS FOR RAISED FLOORS SEPARATING UNCONDITIONED SPACE FROM UNCONDITIONED BASEMENT OR ATTIC
- 1. ALL ROOF SLOPES SHALL HAVE AN INTERNAL RADIAL MANGER TROUGH THAT SHALL MEET THE REQUIREMENTS OF INTERTECH RESIDENTIAL APPROVAL PERIODIC MARCHES IN REGARD TO GABLE EAVES, WIDE GABLE EAVES, ETC.
- REINFORCING STEEL:
 - 1. ANNEALED BRIDGE ANGLE IRON, ELECTRIC CABLE, CONCRETE, STAINLESS STEEL, MASONRY, OR SIMILAR MATERIAL ACCEPTABLE TO THE CR CRONING APPROVAL COMMITTEE.
- STRUCTURAL DRAUGHTINGS FOR REINFORCED CONCRETE ELABORATE FOUNDATION, WALL, SLAB, AND ROOF SYSTEMS.
- 2. THE MOISTURE CONTROL OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE IN ACCORDANCE WITH THE CR CRONING APPROVAL COMMITTEE'S LIGHT AND VENTILATION.
- 3. EXTERIOR LIGHTING OF HABITABLE OR NON-HABITABLE LIGHT SHALB BE PROVIDED.
ARTIFICIAL LIGHTING MAY BE USED IN LEAF OF NATURAL LIGHTING. CR CRONING APPROVAL COMMITTEE RECOMMENDS THAT THE EXTERIOR LIGHTING BE LOCATED ON THE INSIDE EXTERIOR PAVING OF HABITABLE ROOMS, A MECHANICAL VENTILATING SYSTEM MAY CODE REQUIREMENTS BY THE STATE OF OHIO.
- 4. UNLESS NOTED OTHERWISE OR CHANGED AS MORE RESTRICTIVE, PERMIT REQUIRE AND USE THE FOLLOWING:
 - UNI-DYNA THERMOSPIRATOR SYSTEMS FOR SUPPORTING ROOF SPANS
 - UNI-DYNA THERMOSPIRATOR SYSTEMS FOR ALL OTHER SPANS AND ANGLES.

NOTES BATTING: PLATES OR PAHEN'T AIR DUCTS ARE NOT TO BE PLACED IN THE EXISTING SPACE OR MOUNT AIR.

NOTES CANTILEVER: MOUNT WITH GHEE 110AD AND 110B, OR 110C AND 110D, OR 110E AND 110F. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

NOTES D: PLATES 1A-1C EXTEND 1/2" OVER THE WALL WITH CEMENT MORTAR. CONCRETE VAPOR RETARDER AND CANTILAYER SHALL BE CHECKED FOR THE MINIMUM THICKNESS. THE PLATES ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA.

NOTES E: FLOOR AREA, AVAL. PLASTERING, THE CALIFORNIA MECHANICAL CODE, AND THE CEC 400LA PROVIDE THE DESIGN CRITERIA ASSEMBLIES FOR

A. **MIN 1/2" CUSHION SPACER APPLIED TO THE INTERIOR SIDE OF CHAMFRE AND RESONCE EXTENSION WALLS THAT ARE THEN LESS THAN 3' 3" FEET IN LENGTH, WHEN THE GRATE IS DETACHED FROM THE DUCTING UNITS AND THEY LOCATED LESS THAN 3' 3" FEET APART.**

B. OPENINGS FROM A GRATE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED.

C. THE PLATES ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

D. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

E. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

F. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

G. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

H. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

I. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

J. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

K. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

L. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

M. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

N. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

O. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

P. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

Q. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

R. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

S. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

T. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

U. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

V. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

W. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

X. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

Y. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

Z. PLATES 1A-1C ARE TO BE MOUNTED ON THE INSIDE OF THE HOLLOW FLOOR AREA. SEE SECTION 110.3.2. NOTE THE RAILING IS TO BE MOUNTED ON THE OUTSIDE OF THE PLATE.

NOTES I:

1. ELEVATION/OUTLINES; PROFILS OF FEATURES AND EQUIPMENT AND DIAGRAMS IN DIMENSION, SHAPE, AND STYLE, FOR APPROVAL BY THE CONTRACTOR PRIOR TO PURCHASE OF MATERIALS AND EQUIPMENT.

2. CONTRACTOR IS TO KEEP A COPY OF SPECIFICATIONS WITH THE OWNER FOR APPROVAL PRIOR TO PURCHASE OF MATERIALS AND EQUIPMENT.

3. CONTRACTOR IS TO KEEP A COPY OF THE CONTRACT DOCUMENTS, INCLUDING ANY MATERIALS, CONTRACTOR IS RESPONSIBLE FOR SUPPLYING AND QUANTITY OF ALL UNQUOTE MATERIALS.

3. ANY FINISH DECORATION THAT IS UNCLEAR OR BLURRY SHALL BE VERIFIED WITH THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF THE PROJECT.
4. ALL FINISH MATERIALS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS, WHERE APPROPRIATE. FOR THE FINISH, SCREEN ALLOCATIONS TO BE LOCATED SHALL VERIFY THE RE SHEETS WITH THE OWNER AND ARCHITECT FOR APPROVAL.
5. FLAT DO NOT UTILIZE.
6. DO NOT USE PAINTED GATES; ON ALL PAINTED SURFACES NOT LISTED HEREIN OTHERWISE.
7. REINFORCED TUBING, MASONRY, BASE ROADSIDE, JAW, PARAPET, HANGING, STYLING, BOLT-IN, CALUMPKOOL, HANDRAIL, STAINLESS STEEL, ETC., SHALL NOT BE USED IN EXTERIOR AREAS.
8. GUTTERS, DOWNSPOUTS, INTERIOR VALS, AND GUTTERS IN SHACKLESTURE AREAS (U.C., KITCHENS, BATHROOMS, LAUNDRY AREA).
9. GUARD RAIL, DOOR, METAL FENCING/GATES.
10. ALL EXISTING CITRUS BOARD DESIGNATED TO REMAIN SHALL BE PAINTED OR REPAVED AS NEEDED TO APPEAR NEW.

ABBREVIATIONS

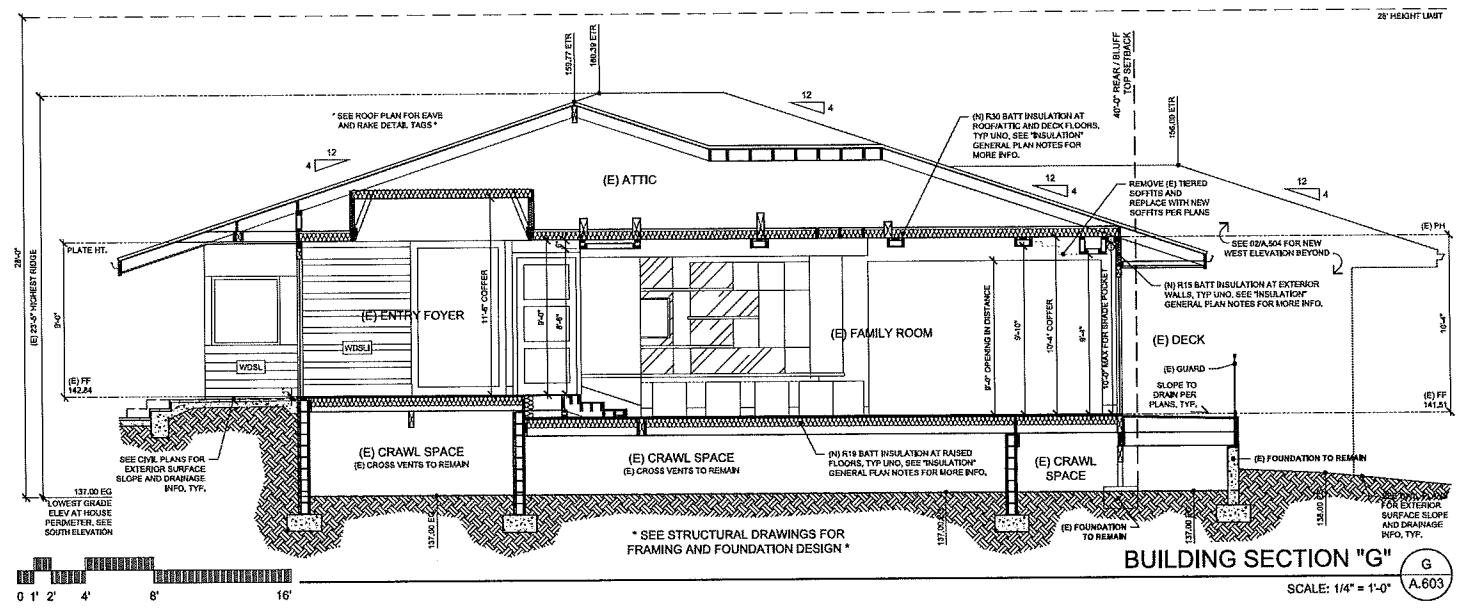
EFF	EXISTING FLOOR,	FQ	FINISHED GRADE
EFS	EXISTING FLOOR SURFACE	FS	FINISHED SURFACE
EG	EXISTING GRADE	TC	TOP OF CURB
ES	EXISTING SURFACE	TCH	TOP OF CHIMNEY
ETD	EXISTING TOP OF CURB	TCS	TOP OF CEMENT SHROUD
ETE	EXISTING TOP OF EAVE	TE	TOP OF EAVE
ETG	EXISTING TOP OF GUARDRAIL	TF	TOP OF FENCE
ETP	EXISTING TOP OF PARAPET	TQ	TOP OF GUARDRAIL

ELEVATION / SECTION LEGEND

----- EXISTING ELEMENT TO BE REMOVED
- - - - - LINE OF EXISTING GRADE
===== LINE OF FINISHED GRADE

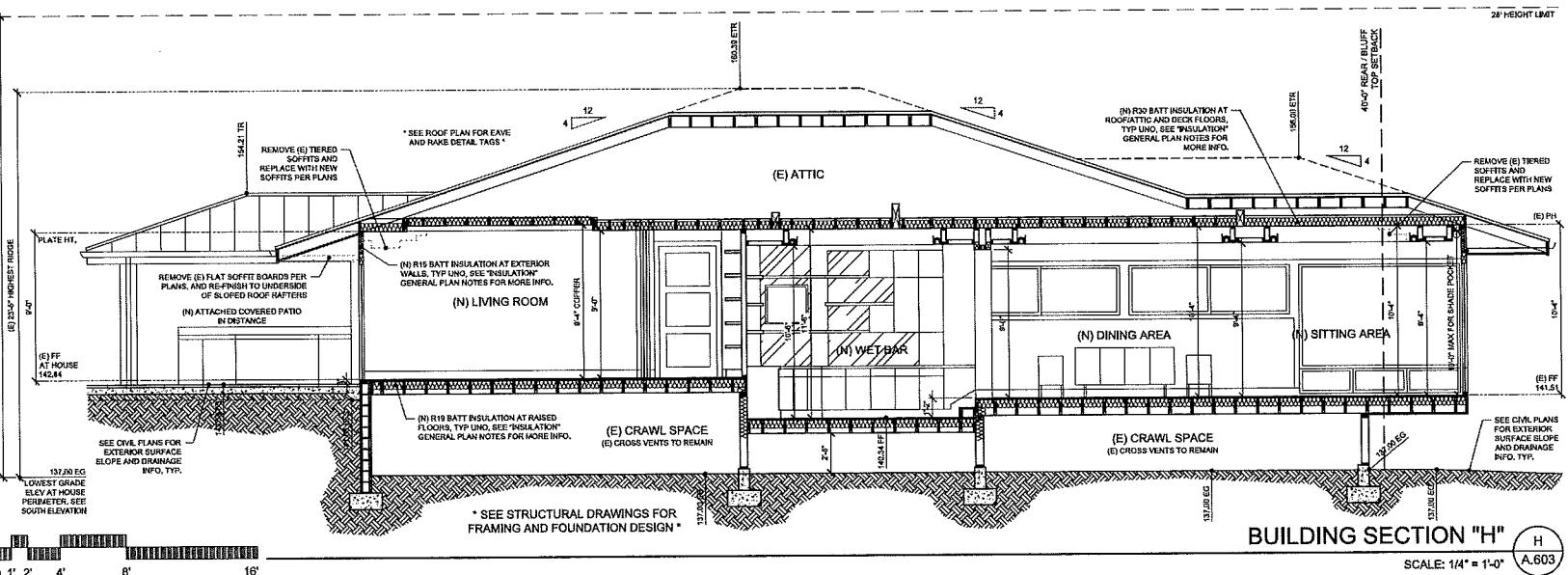
AL INSULATION. SEE "INSULATION" GENERAL PLAN N

PLAN LEGEND	
<input checked="" type="checkbox"/>	EXISTING RECTANGULAR DOWNSPOUT.
<input checked="" type="checkbox"/>	NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.
<input checked="" type="checkbox"/>	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WALL - 2X4
	NEW WALL - 2X6
	NEW WALL WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED KEYNOTE TAG
	NEW WALL, FIRE RATED. SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR WALLS EXEMPT FOR CRC R302.1. EXCEPTION 1. PENETRATIONS SHALL BE CONSTRUCTED FOR CRC R302A AND R302.2.
	EXISTING CAST-IN-PLACE CONCRETE WALL
	NEW CAST-IN-PLACE CONCRETE WALL. SEE RTM SHEETS.
	EXISTING CONCRETE MASONRY UNIT WALL
	NEW CLAD WALL SEE STRUCTURAL SHEETS.
	AREA OF ADDITION AS NOTED, SEE PLANS.



BUILDING SECTION "C"

SCALE: 1/4" = 1'-0"



BUILDING SECTION "

SCALE: $1/4'' = 1'-0''$

GENERAL PLAN NOTES

GENERAL

- ALL SUBDRAFT ELEMENTS REPRESENTED IN THESE DRAWINGS ARE EXTINGUISHED TO REMAIN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF A DETAILED SITE PLAN FOR THE LOCATION OF ALL EXISTING AND NEW WOOD WORK IN CONTACT WITH PRECAST CONCRETE OR STONE.
- FASTENERS IN CONTACT WITH PRECAST CONCRETE OR STONE SHALL BE PLATED STEEL OR STAINLESS STEEL AND NOT DIPPED IN AN ACIDIC MEDIUM.
- APPROVED CONCRETE REINFORCEMENT FLASHING SHALL BE INSTALLED AT LOCATIONS AND IN A MANNER AS SPECIFIED BY THE MANUFACTURER.
- FLASHING MATERIALS WHICH THEY ARE APPLIED TO OR COME INTO CONTACT WITH TO PREVENT CHEMICAL AND PHYSICAL DAMAGE SHALL BE BOLTED TO THE PRECAST CONCRETE OR STONE. THE CONTRACTOR IS RESPONSIBLE FOR THE SPECIFIC ATTACHMENT DETAIL. SUCH INCOMPATIBLE MATERIALS SHALL BE BOLTED FROM ONE ANOTHER FOR THE PROTECTION OF THE PRECAST CONCRETE OR STONE.
- PENTHOUS SYSTEM ROCK INSTALLATION SHALL BE PERFORMED ACCORDING TO THE INSTRUCTIONS AND DRAWINGS PROVIDED BY THE MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF THE ROCK FOR 1012A.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND OPERATION OF THE PENTHOUS SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SYSTEM IN ACCORDANCE WITH THE OPERATOR'S MANUAL PROVIDED BY THE GENERAL CONTRACTOR. ACCEPTABLE TO THE EXPANDING AGENCEY, SHALL BE PROVIDED TO THE EXPANDING AGENCEY OR OWNER FOR CEC 4.0. A SAMPLE COPY OF THE OPERATOR'S MANUAL IS PROVIDED IN APPENDIX E.
- INSPECTION
- THIS PROJECT SHALL BE INSPECTED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE CONTRACT DOCUMENTS.
- THIS PROJECT SHALL BE THOROUGHLY INSPECTED WITH THAI PROJECT INSPECTOR WHOSE NAME IS THE FOLLOWING: UNKNOWN.

- 1. **HIGH DENSITY BOARD** APPLIED TO THE FLOOR AREA, BASE OF GARAGE AND RESIDENTIAL EXTERIOR WALLS THAT ARE WITHIN 15'X3' OF A STRETCH OF EXTERIOR WALL WHICH IS DRIVEN IN BY NAILS AND THEY LOCATED LESS THAN 18" FROM THE GROUND ON THE SAME LVL.
- 2. **OPEN SKELETON DOOR** - A DOOR WHICH IS UNCOATED FOR SLEEPING PURPOSES SHALL NOT BE REQUIRED. NO COATINGS OR PAINTS FOR OTHER OPENINGS BETWEEN THE GARAGE AND THE HOUSE. SEE THE DOOR SCHEDULES. ROSSI & EXTERIOR VENeer SCHEDULE.
- 3. **DOOR** - A DOOR WHICH IS UNCOATED FOR SLEEPING PURPOSES SHALL BE APPLIED TO ALL EXTERIOR WALLS, PNL, WALL FINISH MR, WATER, PLASTER, INSULATION AND CARB, R19.
- 4. **EXT. DOOR** - A DOOR WHICH IS UNCOATED FOR SLEEPING PURPOSES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND COAT WITH CRYLIC.
- 5. **INTERIOR DOOR** - A DOOR WHICH IS UNCOATED FOR SLEEPING PURPOSES SHALL BE APPLIED TO THE LVERS OF GARAGE OR DRYWALL OVER WOOD BASE SHEATHING AND BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND CRYLIC.
- 6. **EXTERIOR ACHIEVED STONE AND MASONRY VENEERERS** SHALL HAVE 1/4" THICK LAYER OF CEMENT BACKER BOARD, 1/2" X 1/2" X 1/2" STONE VENEER, 1/2" X 1/2" X 1/2" MASONRY VENEER, AND THE WORKED STONE VENEER CT, 1/2" X 1/2" X 1/2" STONE VENEER.
- 7. **ALUMINUM EXTERIOR DOORS** - EXTERIOR DOORS LOCATIONS ARE DEFINED WHERE DOORS WILL BE SAFETY GLAZING AND PROVIDED WITH A PERMANENT AND VISIBLE SAFETY GLAZING DEBRIS GUARD FOR HHR DOORS, FIX DOORS AND WINDOWS RELATED TO SAFETY GLAZING, EXE, IRON, AND WOOD DOORS, PROVIDE SAFETY GLAZING AND GLAZED AND HADL INVEST HHR AND R19.
- 8. **GLAZED DOORS** - EXTERIOR DOORS LOCATIONS ARE DEFINED WHERE DOORS WILL BE GLAZED AND GLAZED AND HADL INVEST HHR AND R19.
- 9. **ELEVATION** - CONTRACTOR SHALL PREPARE AN ELEVATION DRAWING (NOT AN ARCHITECTURE'S) ELEVATION.
- 10. **ITEMS** - CONTRACTOR OUTLINES PROFILES OF FEATURES AND EQUIPMENT ARE IDENTIFIED IN DIMENSION, SHAPE, AND STYLE. FOR MORE INFORMATION ON ACTUAL DIMENSIONS, SHAPE, AND STYLE SEE ASSOCIATED KEYNOTE.
- 11. **PRIMERS** - EXTERIOR WALLS WILL APPLY ALL PRIMERS WITH THE OWNER FOR A FURNISH PRIMER TO PURCHASE OF MATERIALS AND COMMENCEMENT OF RELATED WORK.
- 12. **CONTRACTOR** - CONTRACTOR AGREES FIRM TO ORDERING ANY MATERIALS. CONTRACTOR IS RESPONSIBLE FOR DRAWSHOT AND QUANTITY OF ALL ORDERED MATERIALS.

2. **ANY OTHER**

- 3. **ALL EXTERIOR**
- 4. **ALL EXTERIOR**
 - 5. **PORCH TO**
 - 6. **RATING**
 - 7. **GUTTER**
 - 8. **CLIMBERS**

ABBREVIATIONS	
EFF	EXISTING FINISH FLOOR
EFS	EXISTING FINISH SURFACE
EG	EXISTING GRADE
ES	EXISTING SURFACE
ETB	EXISTING TOP OF BIR
ETE	EXISTING TOP OF EAVE
ETG	EXISTING TOP OF GUARDRAIL
ETP	EXISTING TOP OF PARAPET
ETR	EXISTING TOP OF ROOF
ETW	EXISTING TOP OF WALL
FF	FINISHED FLOOR
FS	FINISHED SURFACE
TC	TOP OF CURB
TDR	TOP OF DRAIN
TCS	TOP OF CHIMNEY SHROUD
TE	TOP OF EAVE
TF	TOP OF FENCE
TR	TOP OF GUARDRAIL
TR	TOP OF ROOF
TW	TOP OF WALL
TP	TOP OF PARAPET

PLAN KEYNOTES

ELEVATION / SECTION LEGEND	
.....	EXISTING ELEMENT TO BE REMOVED
— — —	LINE OF EXISTING GRADE
— — — —	LINE OF FINISHED GRADE
<u>BATT</u> THERMAL INSULATION. SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO	
PLAN LEGEND	
	EXISTING RECTANGULAR DOWNSPOUT.
	NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.
.....	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WALL, 2X4
	NEW WALL, 2X6
	NEW WALL WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED HIGHLIGHT TAG
*****	NEW WALL, FIRE RATED. SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR WALLS EXEMPT PER CRC 4021 EXCEPTION 1. PENETRATIONS SHALL BE CONSTRUCTED PER CRC 4024 AND 4024.1
	NEW CAST-IN-PLACE CONCRETE WALL. SEE STILE SHEETS.
	NEW CMU WALL. SEE STRUCTURAL SHEETS.
	AREA OF ADDITION AS NOTED. SEE PLANS.

ROOF / ATTIC VENTILATION CALCS

FER CRC R806. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

ATTIC AREA

REQUIRED: 747 SF / 300 = 24.1 SF X 144 = 337.6 SF NFVA REQUIRED

PROVIDED: 631 LF OF "HVE" EAVE VENT @ 3 SF/NFVA / LF = 182.6 SF NFVA
(25 QTY) OF "HVC'S" CUSTOM SHED DORMER VENT @ 70 SF/NFVA / EA = 1750 SF NFVA

TOTAL = 3643 SF NFVA PROVIDED

INSULATION, SEE "INSULATION" GENERAL PLAN NOTE

END
ELEVATIONS FOR MORE INFO.
NEW WALL, 3X4
NEW WALL, 2X6
AND ACOUSTICAL DRYWALL PER
TAG FOR DETAIL, PERPENDICULAR
PENETRATIONS SHALL BE
NEW CAST-IN-PLACE CONG
WALL, SEE ST. SHEETS,
NEW CHI WALL
SEE STRUCTURAL SHEETS.



These Landscape Plans prepared by AMS are for conceptual design and aesthetic layout purposes only. Any reference to hardscape structures including but not limited to: pool, spa, walls and footings, glass windscreens, slab thickness, base and reinforcing, soil over-excavation, compaction and moisture content, overhead structural members and connections, drainage devices and techniques, shall be designed by a structural, civil, or soils engineer with reference to the soils report. In the case of any discrepancies between the plans and the engineers' recommendations the engineer shall prevail. Pool and spa structure, mechanical and electrical and connection (or lack thereof) to surrounding paving shall be per pool contractor or structural engineer with reference to the soils report.

The Plans shall comply with the following:

- 2013 California Residential Code (CEC)
- 2013 California Mechanical Code (CMC)
- 2013 California Plumbing Code (CPC)
- 2013 California Electrical Code (CEC)
- 2013 California Green Building Standards Code (CGBS)
- 2013 California Energy Efficiency Standards (CEES)
- And the City of Dana Point Regulations and Ordinances.

1. ASSESSOR'S PARCEL NO. 682-203-09
2. LEGAL DESCRIPTION: LOT 6 AND THE EASTERLY 5.00 FEET OF LOT 5, IN BLOCK T, OF TRACT NO. 573, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 20, PAGES 29 OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, BEING DESCRIBED IN DOCUMENT NO. 2014000360728, RECORDED SEPTEMBER 05, 2014.
3. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED FROM A FIELD SURVEY OF SURFACE FEATURES, CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
4. GROSS AREA 0.40 ACRES (17,448 SQUARE FEET).

GENERAL NOTES

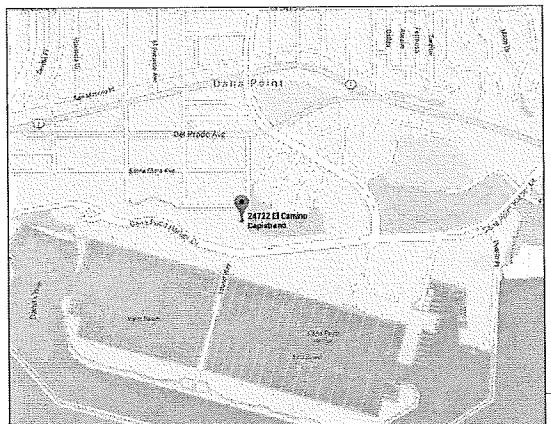
1. FOR ADDITIONAL CONSTRUCTION INFORMATION NOT MENTIONED IN THESE GENERAL CONSTRUCTION NOTES, REFER TO SPECIFICATIONS
2. CONFORM WORK TO REQUIREMENTS OF LATEST ADOPTED EDITION OF UNIFORM BUILDING CODE AND OTHER APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS
3. DIMENSIONS INDICATED ON DRAWINGS ARE TAKEN FROM OUTSIDE FACE OF WALLS, PAVING, CURBS, ETC. UNLESS INDICATED OTHERWISE ON DRAWINGS.
4. WRITTEN DIMENSIONS TAKE PRIORITY OVER SCALING OF DRAWINGS
5. WHERE CONFLICTS OCCUR BETWEEN GENERAL CONSTRUCTION NOTES AND DRAWINGS, AND ACTUAL FIELD CONDITIONS, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE FOR CLARIFICATION. FAILURE TO PROVIDE SUCH NOTIFICATION MAY MAKE CONTRACTOR LIABLE FOR COSTS INCURRED TO RECTIFY THE DISCREPANCY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH SITE SUPERVISOR, APPROVED ARCHITECT, AND DRAWINGS FOR VERIFICATION OF LOCATIONS OF UNDERGROUND UTILITIES, PIPES AND RELATED STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
7. DO NOT WILFULLY DESTROY CONSTRUCTION OPERATIONS WHILE IT IS POSSIBLE TO UNKNOWN DESTROYED UTILITIES AND GRADE DIFFERENCE(S) THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. BRING SUCH CONDITIONS IMMEDIATELY TO THE ATTENTION OF OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. ASSUME FULL RESPONSIBILITY FOR COSTS INCURRED AND REQUIRED MODIFICATIONS DUE TO FAILURE OF PROVIDING SUCH NOTIFICATION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF OTHER CONTRACTORS WHOSE WORK AFFECTS THE PROPER EXECUTION OF CONTRACTOR'S WORK.
9. ENSURE THAT DRAINLINES, IRRIGATION LATERAL LINES AND MAIN LINES, ELECTRICAL CONDUITS, SLEEVES, ETC. ARE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
10. REPLACE OR REPAIR ANY EXISTING MATERIALS THAT ARE DAMAGED BY CONTRACTOR DURING CONSTRUCTION OPERATIONS.
11. ENSURE THAT CURVED EDGES HAVE SMOOTH AND CONTINUOUS CURVES.
12. VERIFY PROPERTY AND LIMIT OF WORK LINES PRIOR TO COMMENCING CONSTRUCTION WORK.
13. REFER TO CITY AND COUNTY STANDARDS FOR STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.
14. ENSURE THAT FINISH GRADES HAVE BEEN SET CORRECTLY PRIOR TO INSTALLING WALLS, FOOTINGS, WALLS AND OTHER STRUCTURES.

PROJECT NAME AND ADDRESS

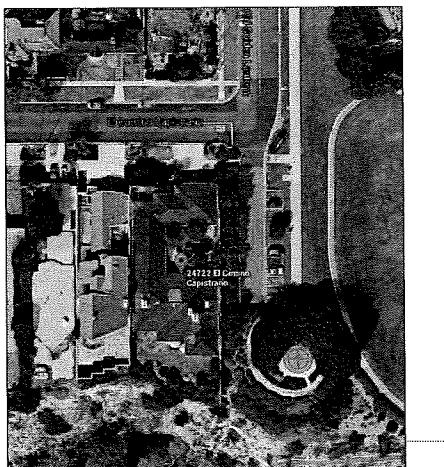
MCNUTT RESIDENCE

24722 EL CAMINO CAPISTRANO
DANA POINT, CA 92629

PARCEL #: 68220309
LOT 6 AND THE EASTERLY 5 FEET OF LOT 5, BLOCK T, TRACT 573



VICINITY MAP



AERIAL PHOTO

SETBACK CALCULATIONS

LOCATION	MIN REQUIRED	PROPOSED
FRONT YARD	20'-0"	20'-0" to Garage
REAR YARD EASEMENT	15'-0"	34'-0" Min. (Varies)
REAR BLUFF SETBACK	40'-0"	34'-0" Min. (Varies)
SIDE YARD WEST	5'-0"	5'-0"
SIDE YARD EAST	5'-0"	5'-0"

SHEET INDEX

L-1	TITLE SHEET / PROJECT NOTES
L-2	LANDSCAPE CONCEPT / SITE PLAN
L-3	LANDSCAPE CONCEPT PLAN
L-4	HARDSCAPE LAYOUT
L-5	SCHEMATIC PLANTING PLAN / WATER USE CALC'S
L-6	REAR YARD SPATIAL STUDY PLAN

SCOPE OF WORK:

COASTAL DEVELOPMENT PERMIT - FRONT, COURTYARD & REAR LANDSCAPE RENOVATION INCLUDING:

- POOL & SPA
- GAS FIREPLACE
- GAS BBQ
- LANDSCAPE
- PAVERS

All existing irrigation within 40 feet of the property's delineated edge of coast bluff to be removed. No new irrigation to be located within 40 feet of the property's delineated edge of coastal bluff.

PROJECT TEAM:

ARCHITECT

Benjamin John Stevens
2525 1 Via Piedra Blanca
Laguna Nigel, Ca. 92677
Phone:(949) 680-8616
Contact: Benjamin Stevens
E-mail: ben@benjaminjohnstevens.com

SURVEYOR

CDR
Commercial Developmewnt Resources
2082 Michelson Drive, Suite 100
Irvine, Ca. 92612
Phone: (949) 825-5222
Contact: Robert J. Russell
www.cdwest.com

CIVIL ENGINEER

Civicscapes engineering
licensed signer: will roolph
23272 Mill Creek Drive, suite 130
Laguna Hills, California 92653
T: 949.464.8115
E: will@civilscapes.com

Deputy Inspectors are required to be registered with the City of Dana Point*

Outdoor Lighting:

Lighting shall not be directed onto any other Lot

Permanently installed outdoor lighting that will be added or replaced shall be high efficacy. Low efficacy lighting is allowed but only when fixtures are controlled by a motion sensor and one of the following:

- a. Photo control or,
- b. An astronomical time clock or,
- c. An energy management control system (EMCS)

NDES NOTE:

The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

All site drainage shall be in accordance with the 2013 California Building Code and the Dana Point Municipal Code.

Drainage from pool equipment area shall drain to a landscape area or sanitary sewer and not discharge to the area drain system

Outdoor sinks shall be drained to the building waste.

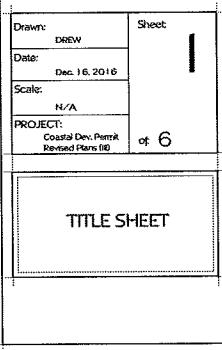
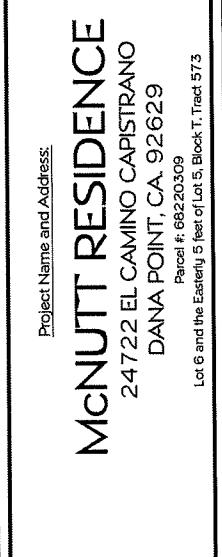
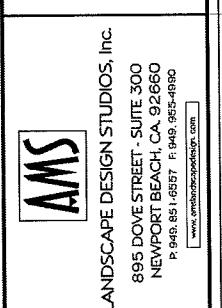
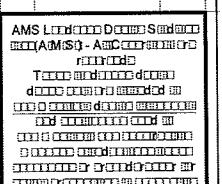
Sinks shall not drain to the yard drain

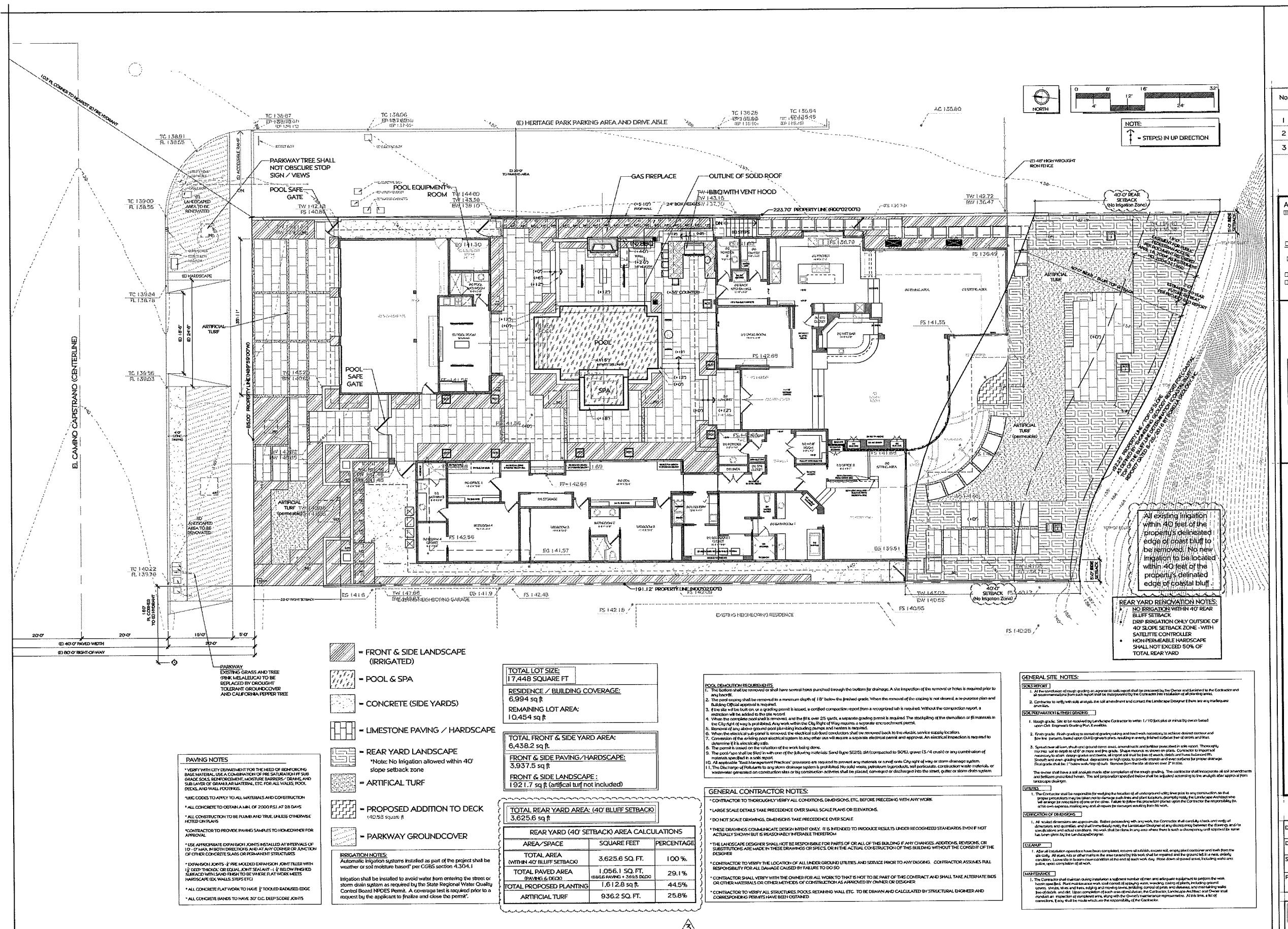
Gas lines routed under a structure shall be sleeved and vented

POOL NOTES:

- EXISTING POOL SHALL BE RENOVATED
- Renovations of an existing pool require the suction outlet of the existing pool, spa or toddler pool to be upgraded so as to be equipped with an approved anti-entrapment cover meeting the current standards of the ASTM or ASME per section 115920HSC.
- No non-pool equipment related underground wiring within 5 feet of the pool shell edge
- Pool barrier shall be maintained during construction
- Landscape walls that affect the pool barrier shall comply with the current city of dana point pool barrier requirements
- A Title 24 Certification Form is required at the time of inspection for the pool heater installation.
- Anti-siphon devices are required on hose bibs within the pool area.
- Pool equipment is not located within 5 feet of the property lines
- No non-pool equipment related UG wiring is permitted within 5 ft. of the pool shell edge
- No low voltage direct burial wiring is permitted within 10 ft. of the pool shell edge
- A Minimum #8 AWG bare copper bonding conductor is required
- No luminaires, lighting outlets or ceiling-suspended fans located within 5 ft. horizontally of the inside wall of the pool shall not be installed less than 12 feet above the water level of the pool per CEC section 680.22(C)(1).
- No electrical switching devices shall be located within 5 ft. of the pool edge per CEC section 680.22(D).
- All 15 or 20 ampere single phase outlets supplying pool pumps require GFCI protection, weather supplied by a receptacle and cord connection or hard-wired to the branch circuit per CEC section 680.22(B).

No.	Revision / Issue	Date
1	City Review CDP	6-22-2016
2	City Review CDP	9-29-2016
3	City Review CDP	11-30-2016





MCNUTT RESIDI
24722 EL CAMINO CAPI
DANA POINT, CA 926
Parcel # 682220309

	Revision / Issue	Date
	City Review CDP	6-22-2016
	City Review CDP	9-29-2016
	City Review CDP	11-30-2016
		12-2-2016



895 DOVE STREET - SUITE 300
NEWPORT BEACH, CA 92660
P: 949.851.6557 F: 949.955.4990

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24722 EL CAMINO CAPISTRANO
DANA POINT, CA 92629
Parcel # 6A220309

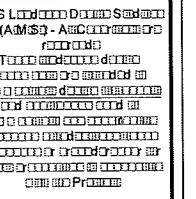
lot 6 and the Easterly 5 feet of Lot 5, Block 7, Tract 573

CAPE
LAN

Drawn:	DREW
Date:	Dec 16, 2016
Scale:	1" = 6'0"
PROJECT:	Southgate Park

LANDSCAPE SITE PLAN

No.	Revision / Issue	Date
1	City Review CDP	6-22-2016
2	City Review CDP	9-29-2016
3	City Review CDP	11-30-2016
		12-2-2016

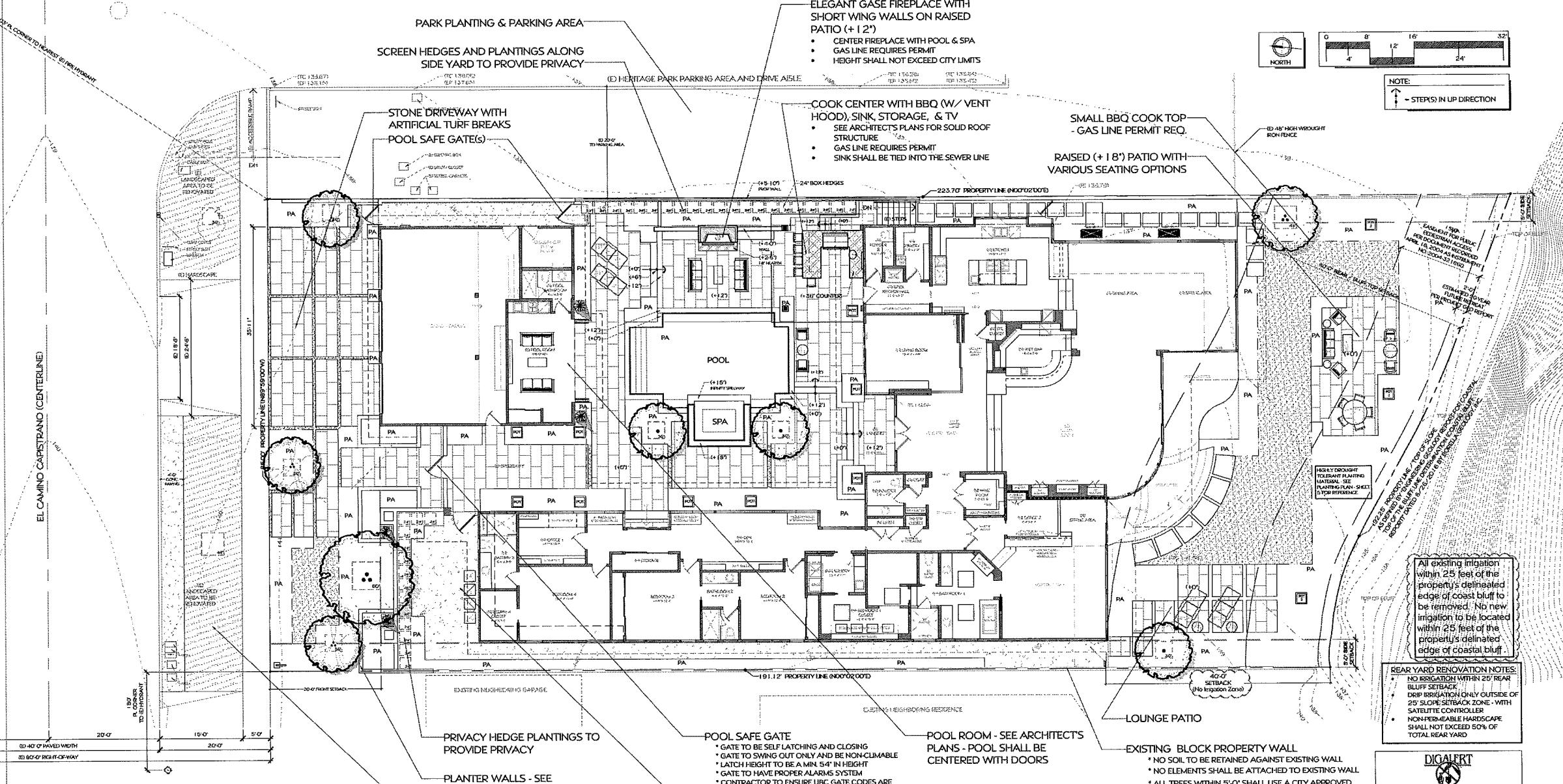


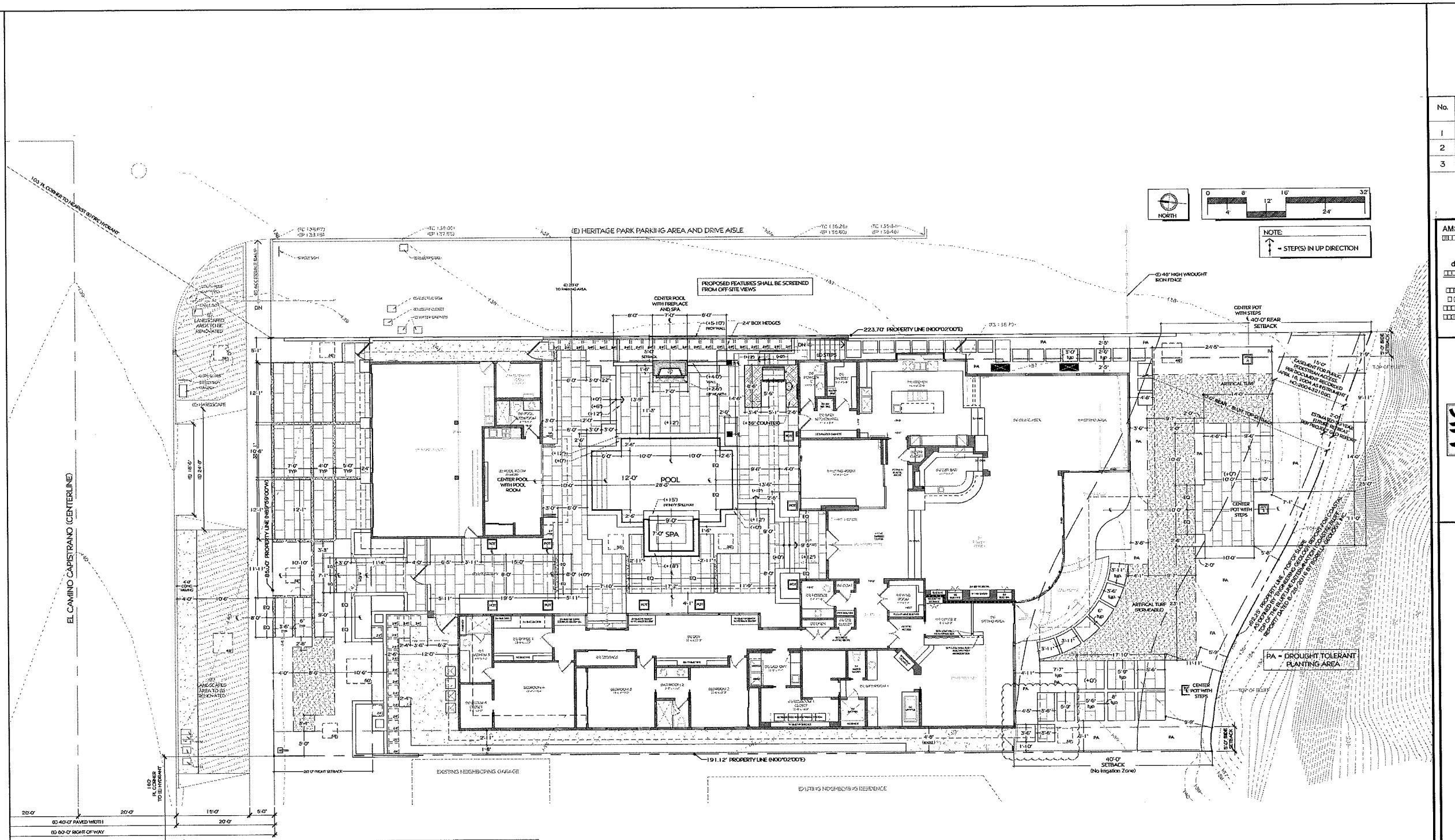
LANDSCAPE DESIGN STUDIOS, Inc.
895 DOVE STREET - SUITE 300
NEWPORT BEACH, CA 92660
P: 949.651.4557 | F: 949.935.4990
www.amslandscapestudios.com

McNUTT RESIDENCE
24722 EL CAMINO CAPISTRANO
DANA POINT, CA 92629
Parcel #: 68220309
Lot 6 and the Eastern 5 feet of Lot 5, Block T, Tract 575

Drawn: DRW Sheet 3
Date: Dec. 16, 2016
Scale: 1" = 20' 0"
PROJECT: Coastal Dev. Permit Revised Plans (B)

LANDSCAPE CONCEPT PLAN





McNUTT RESIDENCE
24722 EL CAMINO CAPISTRANO
DANA POINT, CA 92629

M12 LANDSCAPE DESIGN STUDIOS, Inc.
895 DOVE STREET - SUITE 300
NEWPORT BEACH, CA. 92660

Revision / Issue	Date
City Review CDP	6-22-2016
City Review CDP	9-29-2016
City Review CDP	11-30-2016 2-2-2018

S Long Beach School District
(AMSG - A COMMITMENT TO
EDUCATION)

TODAY'S CHILDREN ARE TOMORROW'S
ADULTS AND AS SUCH MUST BE
PROVIDED WITH THE EDUCATIONAL
EXPERIENCES WHICH WILL PREPARE
THEM FOR THE CHALLENGES OF
THE FUTURE.

THE S LONG BEACH SCHOOL DISTRICT
IS DEDICATED TO THE PRINCIPLE THAT
EVERY CHILD IS AN INDIVIDUAL WHO
SHOULD BE PROVIDED WITH AN
EDUCATIONAL PROGRAM WHICH
WILL MEET HIS INDIVIDUAL NEEDS.

THE S LONG BEACH SCHOOL DISTRICT
IS DEDICATED TO THE PRINCIPLE THAT
EVERY CHILD IS AN INDIVIDUAL WHO
SHOULD BE PROVIDED WITH AN
EDUCATIONAL PROGRAM WHICH
WILL MEET HIS INDIVIDUAL NEEDS.

AAPE DESIGN STUDIOS, Inc.
100 COOKE STREET - SUITE 300
SAN FRANCISCO, CA 94108-1657 F: 845.851.4980
www.aaapedesignstudios.com

PROJECT NAME AND ADDRESS:
EL CAMINO CAPI
ANA POINT, CA 92

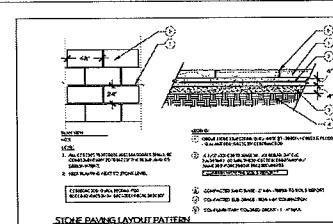
W:	DREW	Sheet:
E:	Dec. 16, 2016	4
R:	I ¹ = B-D'	
JECT:	Coastal Dev. Permit	ct: 6

Hardscape Layout Plan

GENERAL CONTRACTOR NOTE

- GENERAL CONTRACTOR NOTES:**

 - CONTRACTOR TO THROUGHLY VERIFY ALL CONDITIONS, DIMENSIONS, ETC. BEFORE PROCEEDING WITH ANY WORK.
 - LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALL SCALE PLANS OR ELEVATIONS.
 - DO NOT SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 - THESE DRAWINGS COMMUNICATE DESIGN INTENT ONLY. IT IS INTENDED TO PRODUCE RESULTS UNDER RECOGNIZED STANDARDS EVEN IF NOT ACTUALLY SHOWN BUT IS REASONABLY INFERABLE THEREFROM.
 - THE LANDSCAPE DESIGNER SHALL NOT BE RESPONSIBLE FOR PARTS OF OR ALL OF THE CONDITIONS IF ANY CHANGES, ADJUSTMENTS, OR OMISSIONS ARE MADE BY THE CONTRACTOR, OWNER, OR OTHER PERSONNEL, SPEC OR IN THE ACTUAL CONSTRUCTION OF THE BUILDING WITHOUT THE CONSENT OF THE DESIGNER.
 - CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDER GROUND UTILITIES AND SURFACE PRIOR TO ANY DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY FAILURE TO DO SO.
 - CONTRACTOR SHALL BILLS WITH THE OWNER FOR ALL WORK TO THAT IS NOT TO BE PART OF THIS CONTRACT AND MAY TAKE ALTERNATE BIDS OR OTHER MATERIALS OR OTHER METHODS OF CONSTRUCTION AS APPROVED BY OWNER OR DESIGNER.
 - CONTRACTOR TO VERIFY ALL STRUCTURES, POOLS, RETAINING WALL ETC. TO BE DRAWN AND CALCULATED BY STRUCTURAL ENGINEER AND CORRESPONDING PERMITS HAVE BEEN OBTAINED.



STORY-MAKING POLLUTION PREVENTION NOTES

STORMWATER POLLUTION PREVENTION NO.
STORMWATER POLLUTION ALLOWANCES AND INTRACHARGE SHALL BE MET AS LONG AS LOCATED AS NECESSARY TO ENSURE COMPLIANCE WITH THE CITY OF SAVANNAH WATER QUALITY STANDARDS CONTAINED IN CHAPTER 3, WATER OF DIVISION 6 OF THE TITLE 16 OF THE FARMERS MUNICIPAL CODE AND AMERICAN CONFEDERATION OF CITIES AND TOWNSHIP STANDARDS AND REQUIREMENTS. THE STORMWATER POLLUTION ALLOWANCES INSPECTED BY OR MONITORED BY THE CITY OF SAVANNAH AND ITS DEPARTMENTS, FUNCTIONS, OR SUBDIVISIONS, INCLUDING THE DIVISION OF THE CITY OF SAVANNAH AND ITS DEPARTMENTS, FUNCTIONS, OR SUBDIVISIONS.

8AVING

* VERIFY WITH CITY DEPARTMENT FOR THE NEED OF REINFORCING BASE MATERIAL. USE A COMBINATION OF PRE-SATURATION OF PB SUB GRADE SOILS, REINFORCEMENT, MOISTURE BARRIERS / DRAINS AND SUB LAYER OF GRANULAR MATERIAL ETC. FOR ALL WALKS, POOL DECKS, IN-GROUND POOL COVERS.

All existing irrigation within 40 feet of the property's delineated edge of coast bluff to be removed. No new irrigation to be located within 40 feet of the property's delineated edge of coastal bluff.

These Landscape Plans prepared by AMS are for conceptual design and aesthetic layout purposes only. Any reference to dimensions, areas, elevations, including but not limited to plot, roads, roofs, footings, drainage, structures, trees, shrubs, plants, etc., shall be considered as estimates only. Excavation, compaction and moisture content, overhead structural members and connections, drainage devices and techniques, shall be designed by a structural civil or soils engineer with reference to the soil reports. In the case of any discrepancies between the plans and the soil reports, the plans shall be modified to conform to the soil reports. Plot and spa structures, modulus of elasticity and connection details should be determined by plotting sheet to be part and contrary to structural calculations with reference to the soil reports.

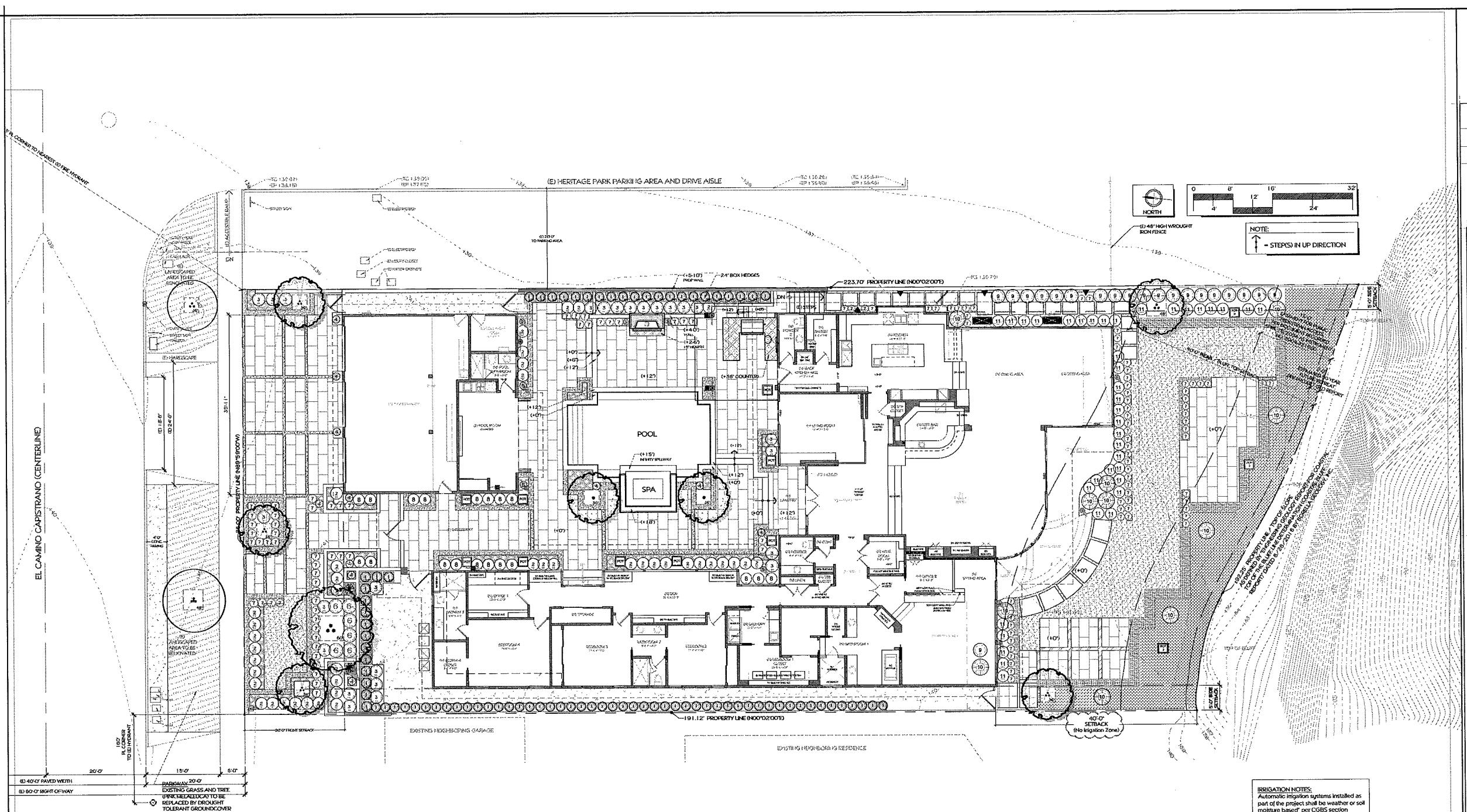
- NO IRRIGATION WITHIN 40' REAR BLUFF SETBACK
- DRIP IRRIGATION ONLY OUTSIDE OF 40' SLOPE SETBACK ZONE - WITH SATELLITE CONTROLLER
- NON-PERMEABLE HARSCAPE SHALL NOT EXCEED 50% OF TOTAL REAR YARD

- NO IRRIGATION WITHIN 40' REAR BLUFF SETBACK
 - DRIP IRRIGATION ONLY OUTSIDE OF 40' SLOPE SETBACK ZONE - WITH SATELLITE CONTROLLER
 - NON-PERMEABLE HARDSCAPE SHALL NOT EXCEED 50% OF TOTAL REAR YARD

① IN UP DIRECTION

NOTE:
THESE PLANS DEMONSTRATE DESIGN INTENT ONLY. THEY ARE
NOT INTENDED TO COMMUNICATE CONSTRUCTION MEANS OR
METHODS - FOR REFERENCE ONLY

**OBSCURED DECORATIVE ELEMENTS SUCH AS POTTERY, FIREPLACE, BBQ, AND
ART SHALL BE COMPLIMENTARY TO THE HOME, ITS COLOR, ARCHITECTURE, AND
DESIGN INTENT. ALL ELEMENTS TO BE OBSCURED WITH PLANTING FROM ALL
IEWS.**



Revision / Issue	Date
City Review CDP	6-22-2016
City Review CDP	9-29-2016



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14

24722 EL CAMINO CAPISTRANO
DANA POINT, CA 92629

Parcel #: 68220309
the Easterly 5 feet of Lot 5, Block T, Tract 573

Parcel #: 68220309
: Easterly 5 feet of Lot 5, Block T, Tract 573

2 EL CAMINO CAPI

NG PLAN & TER USE ULATIONS

TREE LEGEND					
SYMBOL	NAME	CITY.	SIZE	SPACING	RULES
	Olea europaea FIELD GROWN OLIVE TREE MALE/FEMALE	I	LARGE (20' HIGH)	PER PLANT	SHOULD NOT STAND NEAR PROBLEMS IN PLANTING LOW
	Sciriodia secundiflora TEXAS MOUNTAIN LILAC MALE/FEMALE	B	30' BOX	PER PLANT	SHOULD NOT STAND NEAR PROBLEMS IN PLANTING LOW
	Schinus molle CALIFORNIA PEPPERMINT TREE MALE/FEMALE	2	36" BOX 45" BOX	PER PLANT	SHOULD NOT STAND NEAR PROBLEMS IN PLANTING SHOULD NOT STAND NEAR SHRUBS OR OTHER PLANTS LOW
	Cupressus sempervirens stricta/ ITALIAN CYPRESS	2	24" BOX	PER PLANT	SHOULD NOT STAND NEAR PROBLEMS IN PLANTING LOW
	Tinctoria Italiana CYPRESS CUPRESSUS SEMPERVIRENS SEMPERVIRENS ITALICA SEMPERVIRENS ITALICA LIZW	2	24" BOX	PER PLANT	SHOULD NOT STAND NEAR PROBLEMS IN PLANTING LOW

POTTERY LEGEND	SYMBOL	NAME	QTY.	SIZE	SPACING	REMARKS
	CARROUSEL SWIRLING RING (TINY TURNED OVALS)		7	15 G		LIGHTLY TORN FOR PER PLAN
	WITH RETRO SERPENT - BLUE CHAUXSTIC and cascading SEEDS (HORGAS KERAMIK) - DONKEYSTAR			1 G	1 G	HIGH
	AGAVE RESUMTA VASEDATA VARIATED SMOOTH AGRATE		3	15 G		PER PLAN
	AGAVE RESUMTA VASEDATA VARIATED SMOOTH AGRATE and cascading SEEDS (HORGAS KERAMIK) - DONKEYSTAR			1 G	1 G	HIGH

SYMBOL	NAME	QTY.	SIZE	SPACING	REMARKS
	JAPANESE HUCKLEBERRY DWARFEDUCUS DECODENS	3/4	24" BOX	PER PLANT	Take Extra Care Shrub in Shaded Areas Moderate
	PETITE BUTTERFLY SWEET PEA SHRUB POLYTHIA FRUTICOSA PETITE BUTTERFLY	4/2	5 GAL.	27" OC	HEAVILY SHADED MODERATE
	HEIRE SPICATA VARIEGATA VARIETY OF HEIRE	26	5 GAL.	30" OC	HEAVILY SHADeD SHADE OLD GROWTH
	GOLDEN FLOWERING BUSHWOOD DUXUS SEMPERVIRENS MONROE P.P. # 15-245, 11	15	15 GAL.	PER PLANT	Take Extra Care - P.M.A. Same as above
	EVERGREEN CYPRESS CUPRESSUS SEMPERVIRENS	12	15 GAL.	PER PLANT	Use Extra Fertilizer Low
	PRIVETOSMIA STYLOPHYLUM Menthol P.P. 1233	7	15 GAL.	24" OC	Take Extra Care - P.M.A. Moderate
	ROSMARINUS OFFICINALIS 'MICHAEL GOORAYAH' ROSEMARY	122	5 GAL.	24" OC	104-0110-1040-1119 Low
	AZALEA ALABAMA AZALEA INDICA 'ALABAMA'	19	5 GAL.	24" OC	104-0110-1040-1119 Moderate
	WINTERGREEN MAKING PLANTS 2-3 FT. TALL & 1-2 FT. WIDE				

PLANT INFORMATION					DISPENSATION
	NAME	QUANTITY	SIZE	STOCK NUMBER	DATE PREPARED
9	MYSFINE AFRICANA AGAVE BOKWOOD	22	15 GAL	38' OC	DISPENSED TODAY Low
10	OCTOPUS AGAVE AGAVE VILLOSTRANA	11	15 GAL	PER PLAN	Same growing Low
Same growing 2-11-14 F/W					
11	CALCEOLUS LITTLE JOHN DWARF CALCEOLUS	41	5 GAL	36' OC	2'4"-2'4" Low

SYMBOL	NAME	QTY	SIZE	SPACING	REMARKS
●	MARSH-AGASSIZ JASMINE STEPHANOTIS FLORIBUNDA Puka Shells - Thruway 1/2" min	2	15' GAL	PER PLANT	SHRUB CUT & PLANT SHRUBS
●	TWIN JASMINE TWIN STEPHEONUM JASMINOIDES Lg. Cut Shrubbery 1/2" min	3	15' GAL	PER PLANT	WALKER CUT & PLANT MATURE
▲	BARBARA KARST BOUGAINVILLEA BOUGAINVILLEA BARBARA KARST	3	15' GAL	PER PLANT	PLANTED ON WALL LINE

GROUNDCOVER LEGEND					
SYMBOL	NAME	QTY	SIZE	SPACING	REMARKS
[■]	ROSA BANBOKA 'ALBA POMA' WHITE CARPET ROSE	1647 #8	1' GAL	12" OC	FILLED IN SIDE SWALE ACROSS SWALE MULCHED
[■]	ARTIFICIAL GRASS 'White Fescue' One by Boone Action Turf				BY BOONE ACTION TURF 1700 N. 10TH ST. OKLA CITY, OK 73105
[■]	ELFIN THYME THYMUS SERPYLLUM 'ELFIN'	8261 #8	1' GAL	18" OC	PLANT GROWING IN SWALE VERY LOW

PLANT MATERIAL		PLANTING DATES	PLANTING RATE	PLANTING DENSITY	PLANTING DEPTH	IRRIGATION
LANTANA MONTEVIDEO'S WHITE WHITE TRAILING LANTANA	20-25 sq ft. / 1 GAL.	12' OC	12' OC	12' OC	1/2" DEEP	VERY LOW, LOW SLOWLY GREENING
Bougainvillea 'LA JOLLA' BOUGAINVILLEA RED (Bush Type)	60-72 sq ft. / 1 GAL	18' OC	18' OC	18' OC	1/2" DEEP	LOW SLOWLY GREENING
EXISTING PLANTING MATERIAL ALONG EDGE OF SLOPE, BLUFF	RECOMMENDED AT LEAST 12' APART FROM NEW MATERIAL AT THE EDGE OF SLOPE					RECOMMENDED HIGH-EFFICIENCY PLANT MATERIAL AND TO HASTEN INTEGRATION OF SLOPE RETAINING

AWA = $(ET_{\text{To}} \times 0.7 \times LA \text{ in Sq. Ft.} \times 0.62) + (ET_{\text{To}} \times 1.0 \times SLA \text{ in Sq. Ft.} \times 0.62)$ = Gal/year
AWA: Front and Sidelets:
 $43.2 \times 0.55 \times 3846.3 \times (0.62) + [43.2 \times 1.0 \times 478 \times 0.62] =$
 $6,934.7 + 12,802.75 =$
AWA = **69,737.4 gal/yr**
AWU = $ET_{\text{To}} \times KL \times LA \times 0.62 + IE$ = Gallons per year
AWU:
 $13.2 \times 0.55 \times 3846.3 \times 0.62 / .85 =$
 $2.1 / 3.5^2 = 0.85 = 84,839.4$
AWU = **66,659.5 gal/yr**
 THESE CALCULATIONS DO NOT TAKE INTO ACCOUNT THAT THE WATER IS USED FOR WASHING THE CAR AND THAT THE VEHICLE MATERIALS THEREFORE, THE CAR WILL BE HEAVILY DUSTED. SHOWDOWN!
 IT IS RECOMMENDED THAT EVEN WITH THIS CONSIDERATION THE ESTIMATED USE WILL BE LESS THAN THE MAXIMUM.

DIG: MAWA calculated using an ET adjustment factor of 0.55 (fifty-five (55) percent) for residential areas

