

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: FEBRUARY 13, 2017

TO: DANA POINT PLANNING COMMISSION

**FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
BELINDA DEINES, SENIOR PLANNER**

**SUBJECT: COASTAL DEVELOPMENT PERMIT CDP16-0010 AND MINOR SITE
DEVELOPMENT PERMIT 16-0043(M) TO ALLOW ADDITIONS AND
ALTERATIONS TO AN EXISTING SINGLE-FAMILY DWELLING
LOCATED WITHIN THE DANA POINT SPECIFIC PLAN AT 24722 EL
CAMINO CAPISTRANO**

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP16-0010 and Minor Site Development Permit SDP16-0043(M).

APPLICANT: Rose and Scott McNutt, Property Owner

REPRESENTATIVE: Benjamin Stevens, Architect

REQUEST: Approval of a Coastal Development Permit to allow a 140 square-foot addition to an existing single-family dwelling located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 24722 El Camino Capistrano (APN 682-203-09)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on February 2, 2017, published within a newspaper of general circulation on February 2, 2017, and posted on February 2, 2017 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes additions to an existing single-family dwelling that will result in an increase of less than 50% of the existing floor area.

ISSUES:

- Project consistency with the Dana Point General Plan, Dana Point Specific Plan (DPSP), Orange County Zoning Code (OCZC) and Local Coastal Program Land Use Plan/Implementing Actions Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP, DPSP and OCZC for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP(M)).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject site is a 17,448 square-foot lot located on land identified as a coastal bluff as defined by the Dana Point Specific Plan (DPSP). The property is zoned "Coastal Medium Density Residential" (C-MDR) District, with a General Plan land use designation of Residential 3.5-7. The lot is rectangular in shape with the exception of the rear property line that is angled across the bluff top. The property is immediately adjacent to Heritage Park to the east, Dana Point Harbor to the south, and single-family residences to the north and west. The subject site is located within the City's Coastal Overlay District (the California Coastal Zone) and within the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The property is developed with an existing 6,629 square-foot single-family residence and attached three-car garage. The proposed scope of work includes an interior remodel and ground level living area addition of 140 square feet toward the front of the structure to enlarge an existing bedroom, bathroom and closet.

The development standards for this property are set forth by DPSP, and the proposed improvements comply with the required setbacks for the site. New construction on this project site is required to observe a 20'-0" front setback, 5'-0" side setbacks, and a 40'-0" setback from the coastal bluff edge as determined by the submitted geological report. The existing structure encroaches into the rear setback and is built 28'-11" from the bluff edge. OCZC Section 7-9-151.1 allows additions to a nonconforming main building which conforms to use, such that the addition fully complies with all the applicable development standards. The maximum allowable height is 28' and the existing height of 23'-5" will remain as-is. The proposed addition is located toward the front of the structure complies with the 40' bluff edge setback in the rear of the property. The proposed addition and new improvements meet the required development standards for the C-MDR District.

The applicant proposes to remodel the majority of existing living area and has limited the amount of interior and exterior wall demolition to approximately 40% of the existing structure. Plans also include construction of a new attached covered patio within the interior courtyard. Various site improvements include new hardscape, landscape, walls

and fencing. The existing pool will be replaced and redesigned into a new pool and spa in the courtyard. The new pool configuration is setback a sufficient distance from the coastal bluff edge, beyond the threat of bluff erosion as determined by the geotechnical report in compliance with DPSP. A preliminary geotechnical report, grading plan and drainage plan have been submitted and reviewed by the City's Public Works/Engineering Department.

The proposed site improvements within the 40' bluff setback includes new landscape and hardscape. DPSP proposes development of a bluff top walk to provide linkage between the regional pedestrian trail entering the Dana Point area from the north to Doheny State Beach and between upland recreational uses proposed along the coastal bluffs. The specific use of the bluff top walks is intended to provide pedestrian access and coastal viewing. The DPSP and LCP note that the dedication of an easement from a property owner for the trail system is exacted at the time of development or redevelopment of the property.

In 2004, an easement for public pedestrian access was recorded for the subject property. The easement consists of a 15' wide dedication measured along the top of slope as shown on the Site Plan, Sheet A.001. Should the City pursue development of the public pedestrian access in the future, the applicant will be required to remove all existing encroachments as referenced in Condition No. 9 in the draft resolution.

No increase in height is proposed to the existing structure, and the additions are proposed under the existing eaves. The new attached covered patio includes a 4:12 gable to match the existing roof. A new outdoor kitchen and exterior fireplace are proposed in the existing courtyard. The applicant proposes to update the exterior finishes with new standing seam metal roofing in a weathered copper color, white smooth stucco, wood siding, fencing and gates, stone veneer, and bronze metal clad windows and doors.

The project as designed complies with all applicable development standards, including setbacks, parking, lot coverage and height limits. No deviations are requested.

Coastal Development Permit CDP16-0010

A Coastal Development Permit is required for any alteration of land form, or removal or placement of vegetation, within 50' of a coastal bluff edge, pursuant to the LCP and "Coastal Development" District Regulations of the DPSP. The applicant proposes to install new landscape and on-grade pavers within the 40' bluff top setback. The proposed landscaping consists of drought-tolerant vegetation and is in compliance with DPSP requirements. No irrigation is proposed within the bluff top setback. DPSP allows grading, as required to establish proper drainage or to install landscaping, and minor improvements that do not impact public views or bluff stability.

Pursuant to the "Coastal Development" District Regulations section of the Dana Point

Specific Plan, a Coastal Development Permit application may be approved only after the approving authority has made the following findings:

1. Local Coastal Program: That the development project proposed by the application conforms with the certified Local Coastal Program.
2. Zoning or District Regulations: That the application is consistent with the purpose and intent as well as the other provisions of the Orange County Zoning Code or district regulations of this Specific Plan applicable to the property.
3. California Coastal Act: That the project conforms with the public access and public recreation policies of the California Coastal Act.

The recommended findings for approval of the CDP are outlined in the draft Resolution No. 17-02-13-XX, attached to this report as Action Document 1.

Site Development Permit SDP16-0043(M)

A site development permit is required to exceed the 6' wall height within the side setback. Because the property is adjacent to a public park (Heritage Park), the applicant is requesting approval to incorporate additional privacy screening above the existing site wall. New stained wood fencing will be installed to match the residence and is proposed at a maximum height of 9'-8" above existing grade. The existing block wall will be refinished with smooth cement plaster. The combination of wood fencing and smooth plaster block walls help to articulate and minimize the perceived mass of the wall along the side yard facing the public park. DPSP states that within setback areas except for the front, the maximum 6' height may be exceeded for the purpose of noise mitigation or health and safety measures, subject to Section (c)(2)(b) in the C-RMD District regulations.

The approval of a Site Development Permit for fence/wall height modification is subject to the additional findings as specified in OCZC section 7-9-137.5:

1. The height and location of the fence or walls as proposed will not result in or create a traffic hazard.
2. The location, size, design and other characteristics of the fence or wall will not create conditions or situations that may be objectionable, detrimental or incompatible with other permitted uses in the vicinity.

Recommended approval findings for the Site Development Permit are included in the attached draft Resolution No. 17-02-13-xx

CORRESPONDENCE: To date, no correspondence has been received regarding this project. The subject property is not located within a homeowner's association.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Dana Point Specific Plan, Orange County Zoning Code and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 16-0010 and Minor Site Development Permit 16-0043(M) subject to the findings and conditions of approval contained therein.


Belinda Deines, Senior Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 17-02-13-xx

Supporting Documents

2. Vicinity Map
3. Color and Materials Board
4. Site Photos
5. Architectural Plans

RESOLUTION NO. 16-02-13-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP16-0010 AND MINOR SITE DEVELOPMENT PERMIT 16-0043(M) TO ALLOW ADDITIONS AND ALTERATIONS TO AN EXISTING SINGLE-FAMILY DWELLING LOCATED WITHIN THE DANA POINT SPECIFIC PLAN AT 24722 EL CAMINO CAPISTRANO

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Benjamin Stevens, Architect, (the "Representative") has filed an application on behalf of Rose and Scott McNutt ("Applicant"), the owners of real property commonly referred to as 24722 El Camino Capistrano (APN 682-203-09) (the "Property"); and

WHEREAS, the Representative filed a verified application for a Coastal Development Permit and a Site Development Permit to allow additions and alterations to an existing single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Section 7-9-150 of the Orange County Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes additions to an existing single-family dwelling that will result in an increase of less than 50% of the existing floor area; and

WHEREAS, the Planning Commission did, on the 13th day of February, 2017, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP16-0016 and Site Development Permit SDP16-0043(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP16-0010 and SDP16-0042(M) subject to conditions of approval:

Findings:

Coastal Development Permit CDP16-0010

1. That the development project proposed by the application conforms with the certified Local Coastal Program in that the proposed grading and landscaping improvements within the 40' bluff top setback adhere to the provisions of the LCP. Within the required bluff top setback, drought-tolerant vegetation shall be maintained. The proposed grading will be limited and minimal, as required to establish proper drainage, to install landscaping and minor improvements that do not impact public views or bluff stability. Additional erosion control measures have been applied for all proposed construction beyond the required bluff top setback to ensure that all surface and subsurface drainage will not contribute to the erosion of the bluff face or the stability of the bluff itself. The proposed plans incorporate all recommendations as specified in the submitted geotechnical and soils reports reviewed by the City's Public Works/Engineering Department. No development is proposed on the bluff face, and all drainage will be diverted away from the bluff.
2. That the application is consistent with the purpose and intent as well as the other provisions of the Orange County Zoning Code or district regulations of this Specific Plan applicable to the property in that the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable documents and, subject to conditions of approval, has been found consistent.
3. That the project conforms with the public access and public recreation policies of the California Coastal Act in that the proposed development would not alter existing public access or public recreation in the vicinity. The property is located immediately adjacent to an existing public park that provides hilltop scenic views of Dana Point Harbor and direct pedestrian access down the bluff approximately 700' from the subject site. Furthermore, the property maintains an existing 15' wide public pedestrian access easement across the top of the bluff. Based on the proposed scope of work, the applicant is not required to improve the bluff top walk for public access. If the City seeks development of the public pedestrian access in the future, the applicant will be required to remove privately maintained encroachments, including landscaping, on-grade pavers and fencing.

Site Development Permit SDP16-0043(M)

1. The height and location of the fence or walls as proposed will not result in

or create a traffic hazard in that the proposed extension of the wall is located along the side property line adjacent to an existing public park and landscaped area. There is a public parking lot for the park that abuts the proposed fencing, and there are existing bottle-brush trees and bougainvillea shrubs that provide a buffer between the subject site and the drive aisles and parking stalls. Therefore, there are no vehicular or access conflicts associated with the proposed location of the additional wood fencing above the existing block wall. The total height of the wall shall not to exceed 9'-8" above existing grade.

2. The location, size, design and other characteristics of the fence or wall will not create conditions or situations that may be objectionable, detrimental or incompatible with other permitted uses in the vicinity in that the proposed improvements will provide mitigation measures for the purpose of noise, health and safety concerns. The applicant requests the additional fence height for privacy and screening. The existing block wall will be refinished with white smooth cement plaster to upgrade the appearance as viewed from the public park. The new, natural wood fencing will match the new exterior finishes of the main residence, which will minimize the appearance of mass and blend with the existing park landscaping.

Conditions:

General:

1. Approval of this application permits additions and alterations to an existing single-family dwelling at 24722 El Camino Capistrano in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Dana Point Specific Plan, Orange County Zoning Code, and Local Coastal Program.
2. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
3. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans.

Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.

5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant, and their successors-in-interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
8. The Applicant, or Applicant's agent(s), shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, cable

television and telephone and services. The Applicant, or Applicant's agent(s), shall be responsible for coordinating any potential conflicts or existing easements.

9. The Applicant, and any successors, assigns or future holders of interest for the subject property shall be responsible for the removal, at no cost to the City of Dana Point, of such encroachments into the public pedestrian access easement and restoration of the terrain within sixty days after receipt of written notice.
10. An Encroachment Permit shall be obtained prior to any work within the City Right-of-Way.
11. The Applicant, Applicant's agent(s), or successor-in-interest shall limit all construction activities within the coastal bluff-top setback area. The coastal bluff shall be protected at all times from potential erosion and construction activity.
12. The Applicant, or Applicant's agent(s), shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant, or Applicant's agent(s), shall provide erosion and sediment control measures at all times. The Applicant, or Applicant's agent(s), shall maintain the erosion and sediment control devices until the final approval of all permits.
13. The Applicant, Applicant's agent(s), or successor-in-interest shall cause the preparation and submittal of a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling.
14. The previously reviewed and approved setback, per the zoning code and project geotechnical report, of 40-feet shall be clearly shown on all plans submitted for review and approval. All plans submitted shall reflect the determined bluff edge and all associated setbacks on the submitted "Response to Geotechnical Review for 24722 El Camino Capistrano..." (dated December 16, 2016) and "Preliminary Geotechnical Report..." (dated November 10, 2016) by Borella Geology, Inc.
15. Per Municipal Code Section 9.27.030, no new structure foundations will be allowed within the 40-feet bluff edge setback.
16. Should the existing foundations and/or slab be found not suitable for the proposed improvements during construction, all new foundations will be required to be outside the 40-feet bluff edge setback.

17. Concentrated surface water should not be permitted to flow over the edge of bluff; surface drainage should be designed by a CA licensed civil engineer to slope away from the bluff edge to designated outlets.

Prior to Issuance of a Building Permit:

18. Building plan check submittal shall include two (2) sets of the following construction documents: building plans (4 sets), energy calculations, structural calculations, soils/geology report, and drainage plan.
19. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval. A fire sprinkler system or waiver is required from the Fire Chief.
20. The Applicant, or Applicant's agent(s), shall cause the preparation and submittal of a grading and drainage plan (and soils report if required) in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
21. The application for a building permit shall include a grading/drainage plan, in compliance with City standards, for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal in conformance with Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
22. The Applicant, or Applicant's agent(s), shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.
23. The Applicant, or Applicant's agent(s), shall submit an Erosion and Sediment Control plan in compliance with all State of California and the City of Dana Point standards for review and approval.
24. The Applicant, or Applicant's agent(s), shall submit a separate survey (as included in the CDP application) of the property clearly showing the bluff edge and 40-foot bluff edge setback and in compliance with all the City of Dana Point standards for review and approval.
25. The Applicant, or Applicant's agent(s), shall submit a Landscape Plan, in compliance with City standards, for review and approval by the Director of Public Works. The Landscape plan shall be in accordance with the approved grading plan, City of Dana Point Municipal Code and the City of

Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

26. Per Municipal Code Section 9.27.030, proposed improvements allowed within the determined slope setback, shall be reviewed on all architectural, civil, and landscape plans as necessary.

Prior to Final Approval of All Permits:

27. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual. The report should include (as applicable) the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. The report should also include conclusions and recommendations regarding applicable setbacks, foundations, floor slabs and hardscape, swimming pool demolition and reconstruction, and any other relevant geotechnical aspects of the site. The report shall state that geotechnical aspects of the project were completed in conformance with the recommendations of the geotechnical report and City of Dana Point.
28. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
29. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved plans and which specifically approves construction for all engineered drainage devices and retaining walls.
30. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions to the satisfaction of the City Engineer.
31. All landscaping and/or structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. Public Works final approval will be required for all permits.
33. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
34. The Applicant, or Applicant's agent(s), shall cause the scheduling of a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13th day of February, 2017 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Eric Nelson, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department

VICINITY MAP

24722 EL CAMINO CAPISTRANO





ROOFING

MANUFACTURER: CUSTOM-BILT METALS, OR EQUAL
PRODUCT: STANDING SEAM METAL ROOFING
COLOR: WEATHERED COPPER COLOR

EXTERIOR CEMENT PLASTER

MANUFACTURER: MERLEX, OR EQUAL
PRODUCT: 3-COAT EXTERIOR CEMENT PLASTER
FINISH: SMOOTH TROWELED
COLOR: INTEGRAL COLOR, "GLACIER WHITE" (P-100)



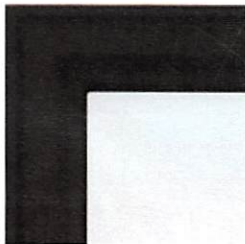
HORIZONTAL SIDING, FENCING, GATES

MANUFACTURER: TBD
PRODUCT: WOOD SHIPLAP SIDING
COLOR: IPE, NATURAL OILED FINISH



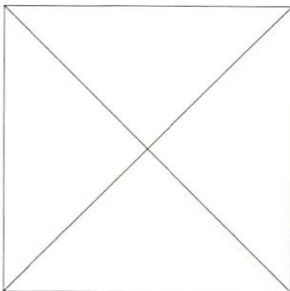
STONE VENEER

MANUFACTURER: TBD
PRODUCT: NATURAL STONE VENEER
COLOR: OFF-WHITE AND CREAM



WINDOWS AND DOORS

MANUFACTURER: TBD
PRODUCT: METAL CLAD WINDOWS AND DOORS
COLOR: BRONZE ANODIZED



NOT UTILIZED

benjamin john stevens, architect
25251 via piedad blanca, laguna niguel, ca 92677
949.680.8616 ben@benjaminjohnstevens.com

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MCNUTT RESIDENCE REMODEL
24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629
LEGAL DESCRIPTION: APN 682-203-09

COLOR AND MATERIALS
BOARD

SUBMITTAL DATES

JOB #: 1522
DATE: 10.17.2016
SHEET:



RECEIVED

FRONT ELEVATION OF PROJECT SITE

MCNUTT RESIDENCE REMODEL

24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629

LEGAL DESCRIPTION: APN 682-203-09

PHOTOGRAPHIC LOG OF EXISTING CONDITIONS

SUBMITTAL DATES

MAY 23 2016
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

JOB # 1522
DATE 09/23/2016
SHEET

PHOTO

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FRONT ELEVATION OF ADJACENT PROPERTY TO THE EAST



FRONT ELEVATION OF ADJACENT PROPERTY TO THE WEST

PHOTOGRAPHIC LOG OF
EXISTING CONDITIONS

MCNUTT RESIDENCE REMODEL

24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629

LEGAL DESCRIPTION: APN 682-203-09

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SUBMITTAL DATES

JOB # 1522
DATE 05.23.2016
SHEET

PHOTO
PAGE 2 OF 5



FRONT ELEVATION OF PROPERTIES DIRECTLY ACROSS THE STREET



FRONT ELEVATION OF PROPERTIES DIRECTLY ACROSS THE STREET

PHOTOGRAPHIC LOG OF
EXISTING CONDITIONS

MCNUTT RESIDENCE REMODEL

24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629

LEGAL DESCRIPTION: APN 682-203-09

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SUBMITTAL DATES

JOB # 1522
DATE 05.23.2018
SHEET

PHOTO
PAGE 3 OF 5



SIDE ELEVATION OF ADJACENT PROPERTY TO THE EAST



SIDE ELEVATION OF ADJACENT PROPERTY TO THE WEST

PHOTO
PAGE 4 OF 5

JOB # 1522
DATE 05.23.2016
SHEET

SUBMITTAL DATES

PHOTOGRAPHIC LOG OF
EXISTING CONDITIONS

MCNUTT RESIDENCE REMODEL

24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629

LEGAL DESCRIPTION: APN 682-203-09

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THE WRITTEN PERMISSION OF BENJAMIN
JOHN STEVENS, ARCHITECT

benjamin john stevens, architect

25251 via piedra blanca, laguna niguel, ca 92677
949.680.8616 ben@benjaminjohnstevens.com



REAR ELEVATION OF PROJECT SITE

PHOTOGRAPHIC LOG OF
EXISTING CONDITIONS

MCNUTT RESIDENCE REMODEL

24722 EL CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92629

LEGAL DESCRIPTION: APN 682-203-09

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JOHN STEVENS, ARCHITECT

benjamin john stevens, architect

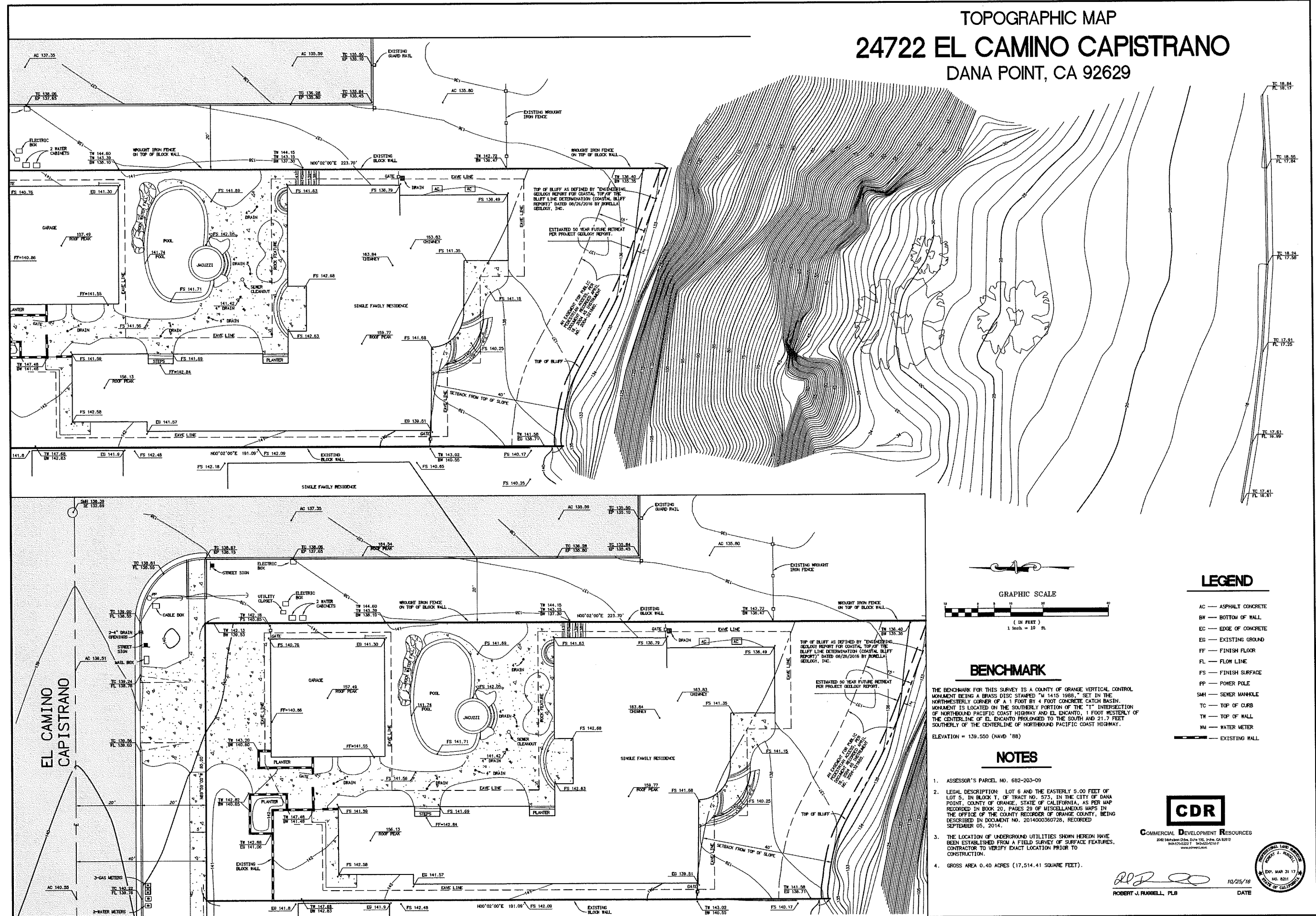
25251 via piedra blanca, laguna niguel, ca 92677
949.680.8616 ben@benjaminjohnstevens.com

SUBMITTAL DATES

JOB # 1522
DATE 05.23.2016
SHEET

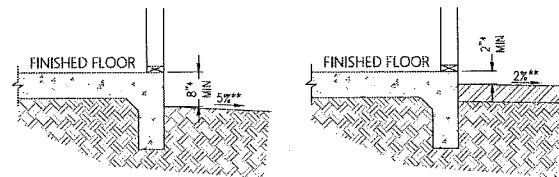
PHOTO
PAGE 5 OF 5

TOPOGRAPHIC MAP
24722 EL CAMINO CAPISTRANO
DANA POINT, CA 92629



LEGEND

- SCHEMATIC LOCATION OF EXISTING STORM DRAIN.
CONTRACTOR TO FIELD VERIFY ACTUAL LOCATIONS.
- PROPOSED STORM DRAIN
- RETAINING WALL SUBDRAIN



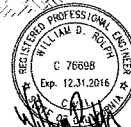
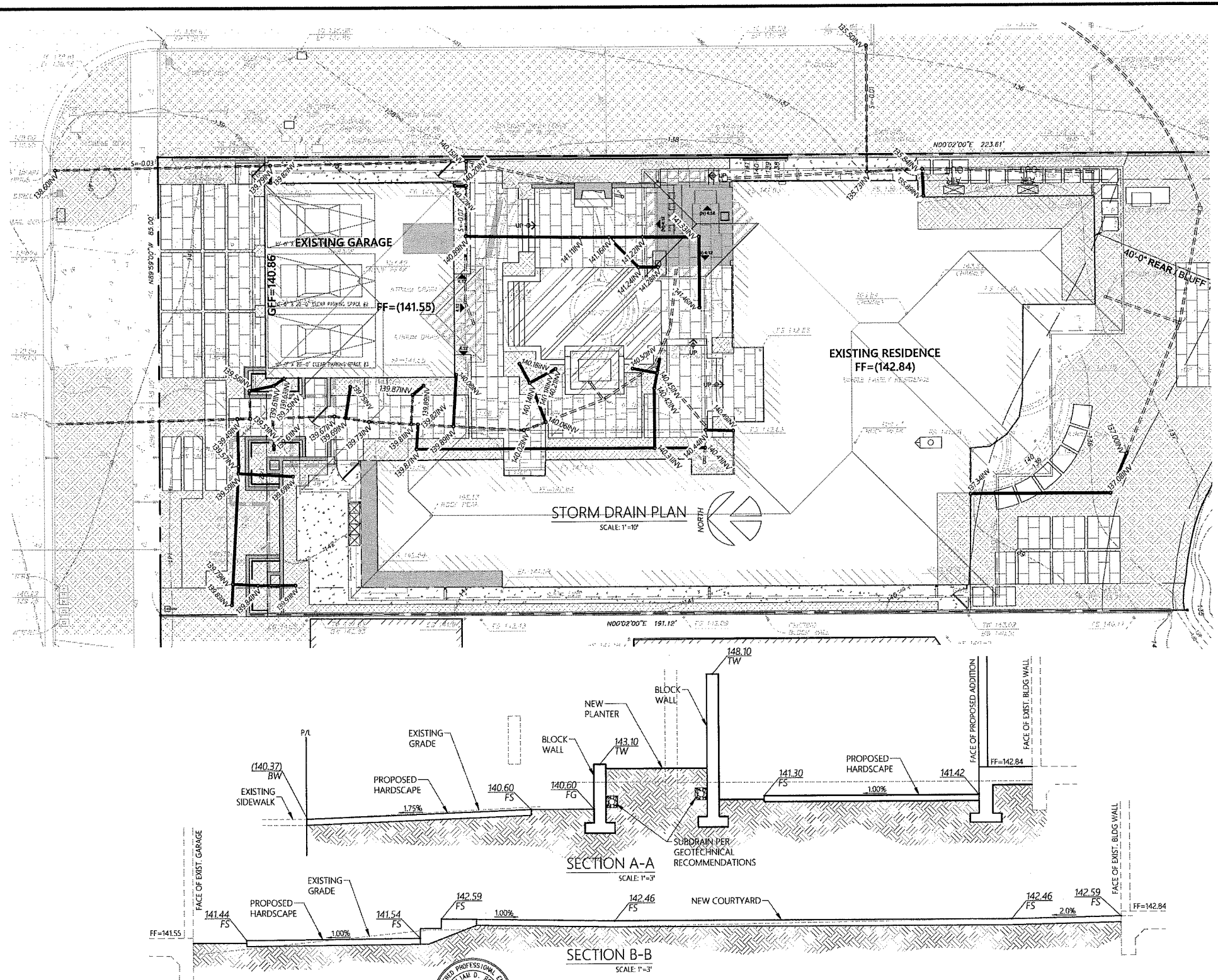
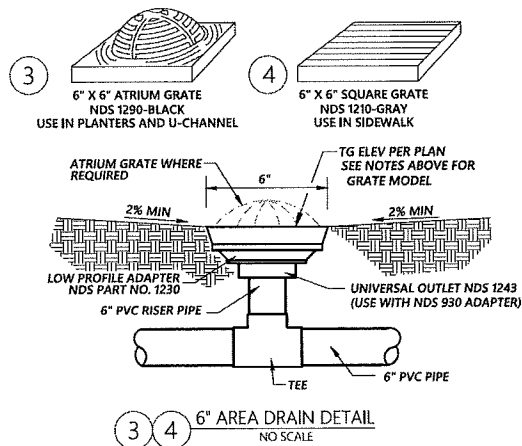
FINISHED GRADE

FINISHED SURFACE

* VERTICAL DISTANCE PER 2013 CRC SECTION R317.1 MAY BE REDUCED PROVIDED THAT WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS ARE MADE OF NATURAL DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH CODE. CONTRACTOR SHALL NOTIFY CIVILSCAPES ENGINEERING IF THERE ARE ANY CONFLICTS.

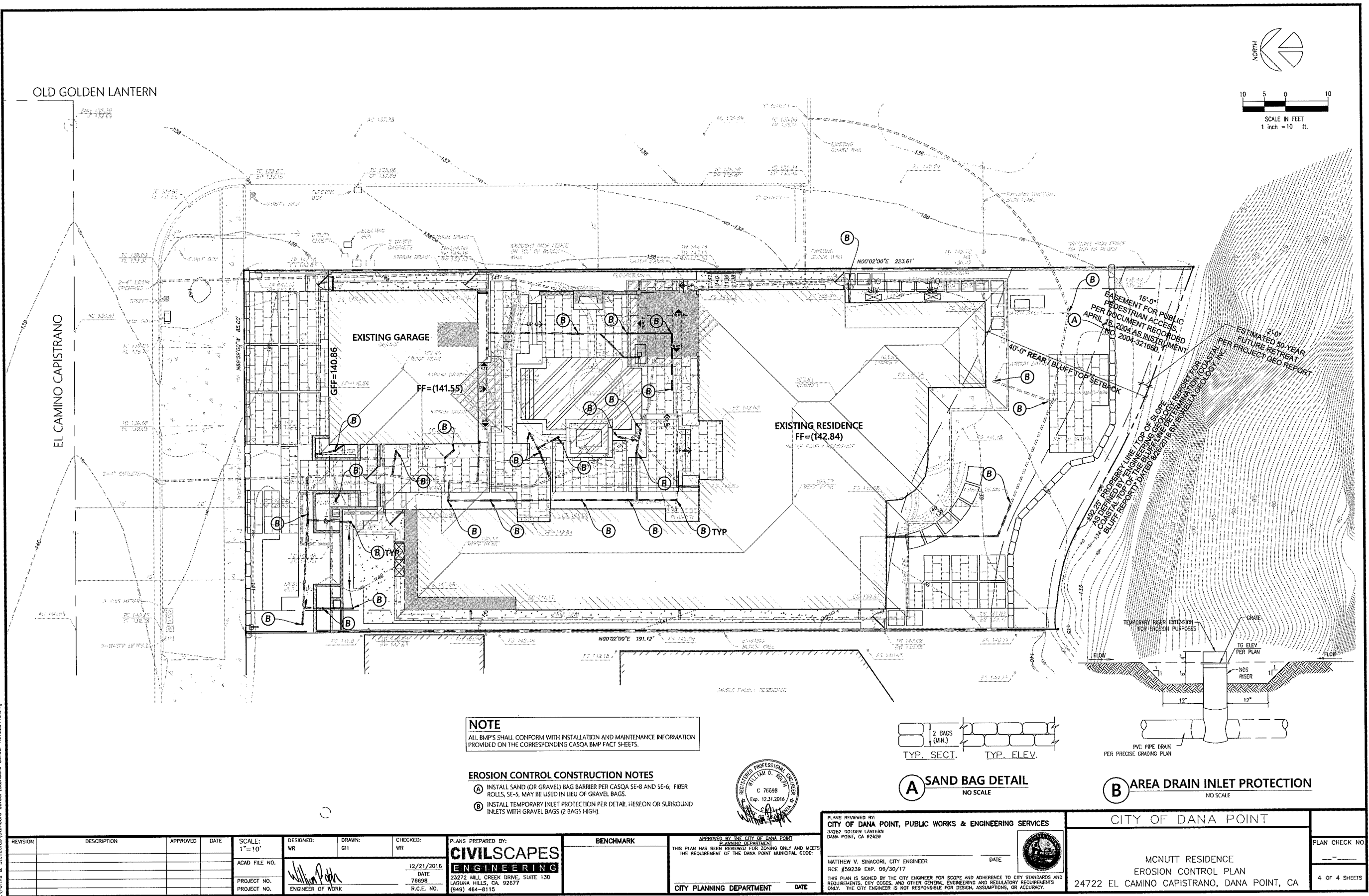
** MINIMUM GRADE AWAY FROM FOUNDATION SHALL BE PER 2013 CRC SECTION R401.3. CONTRACTOR SHALL NOTIFY CIVILSCAPES ENGINEERING IF THERE ARE ANY CONFLICTS.

FINISHED FLOOR/ADJACENT GRADE DETAIL
NO SCALE



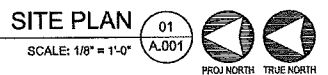
REVISION				DESCRIPTION		APPROVED	DATE	SCALE: 1"=10'	DESIGNED: WR	DRAWN: GH	CHECKED: WR	PLANS PREPARED BY: CIVILSCAPES ENGINEERING 12/21/2016 DATE 76698 R.C.E. NO.	BENCHMARK	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/17 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	CITY OF DANA POINT MCNUTT RESIDENCE STORM DRAIN, SECTIONS AND DETAILS 24722 EL CAMINO CAPISTRANO, DANA POINT, CA		PLAN CHECK NO. 3 OF 4 SHEETS
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ORIGINAL SCALE: 1"=10'



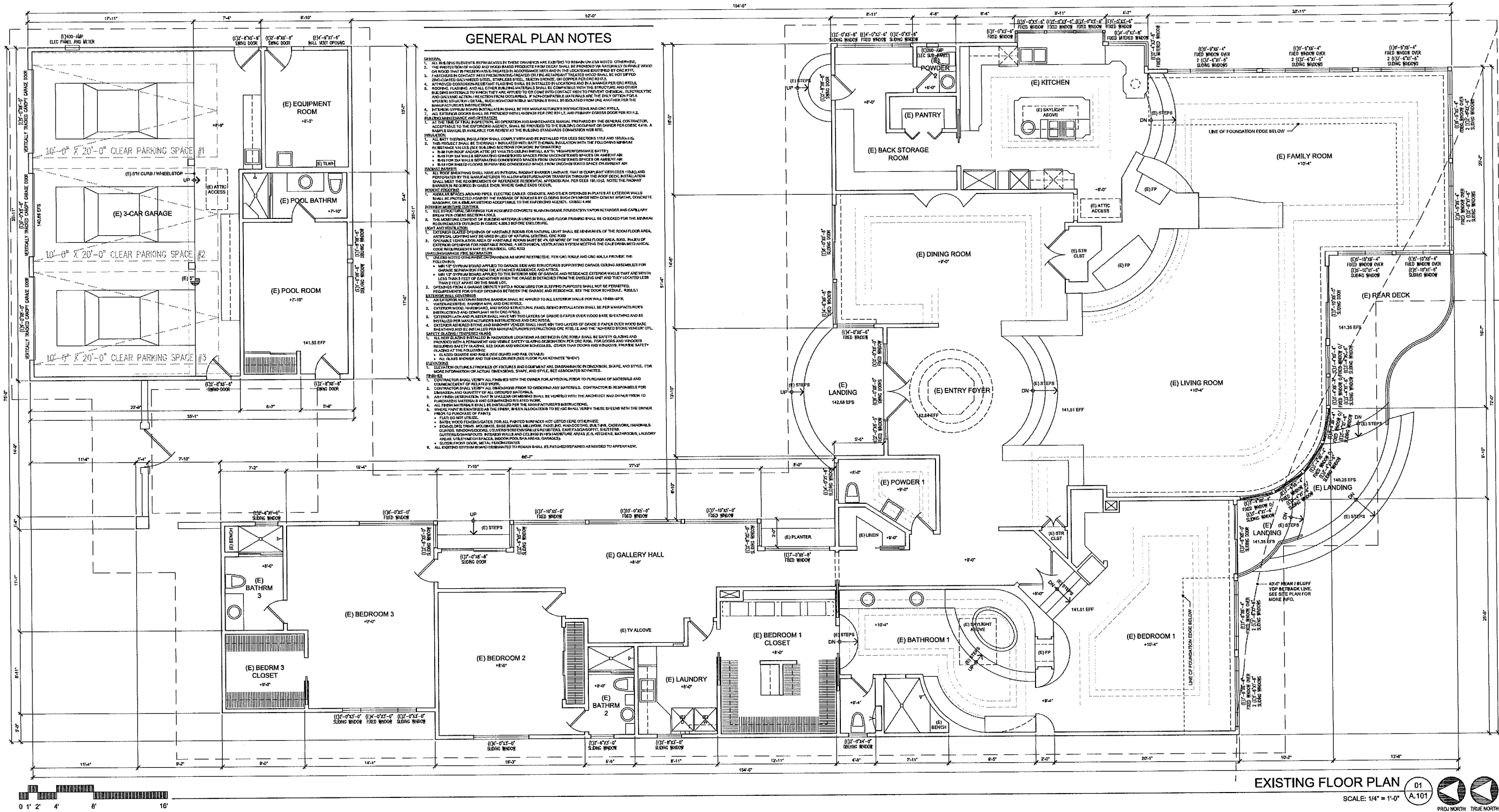
I:\Forms & Standards\Standard Border Rev082415.dwg

ORIGINAL SCALE: 1" = 10' 0"



A.001
SHEET

ARCHITECT
JOHN STEVENS
22318
10-2017
CALIFORNIA



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"
PROJ: NORTH TRUE NORTH

- PLAN KEYNOTES**
- 1. NEW INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" STUDS. FINISH WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.
 - 2. NEW INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" STUDS. FINISH WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.
 - 3. NEW INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" STUDS. FINISH WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.

- GENERAL PLAN NOTES**
- 1. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).
 - 2. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).
 - 3. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).

- EXISTING FLOOR PLAN**
- 1. NEW INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" STUDS. FINISH WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.
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- ELEVATION / SECTION LEGEND**
- 1. NEW INTERIOR PARTITION WALLS SHALL BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" STUDS. FINISH WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL PARTITION WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.
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EXTERIOR WALLS
EXISTING: 439 LF
DEMO: 104 LF

INTERIOR WALLS
EXISTING: 424 LF
DEMO: 290 LF

SCALE: 1/4" = 1'-0"

[illegible]

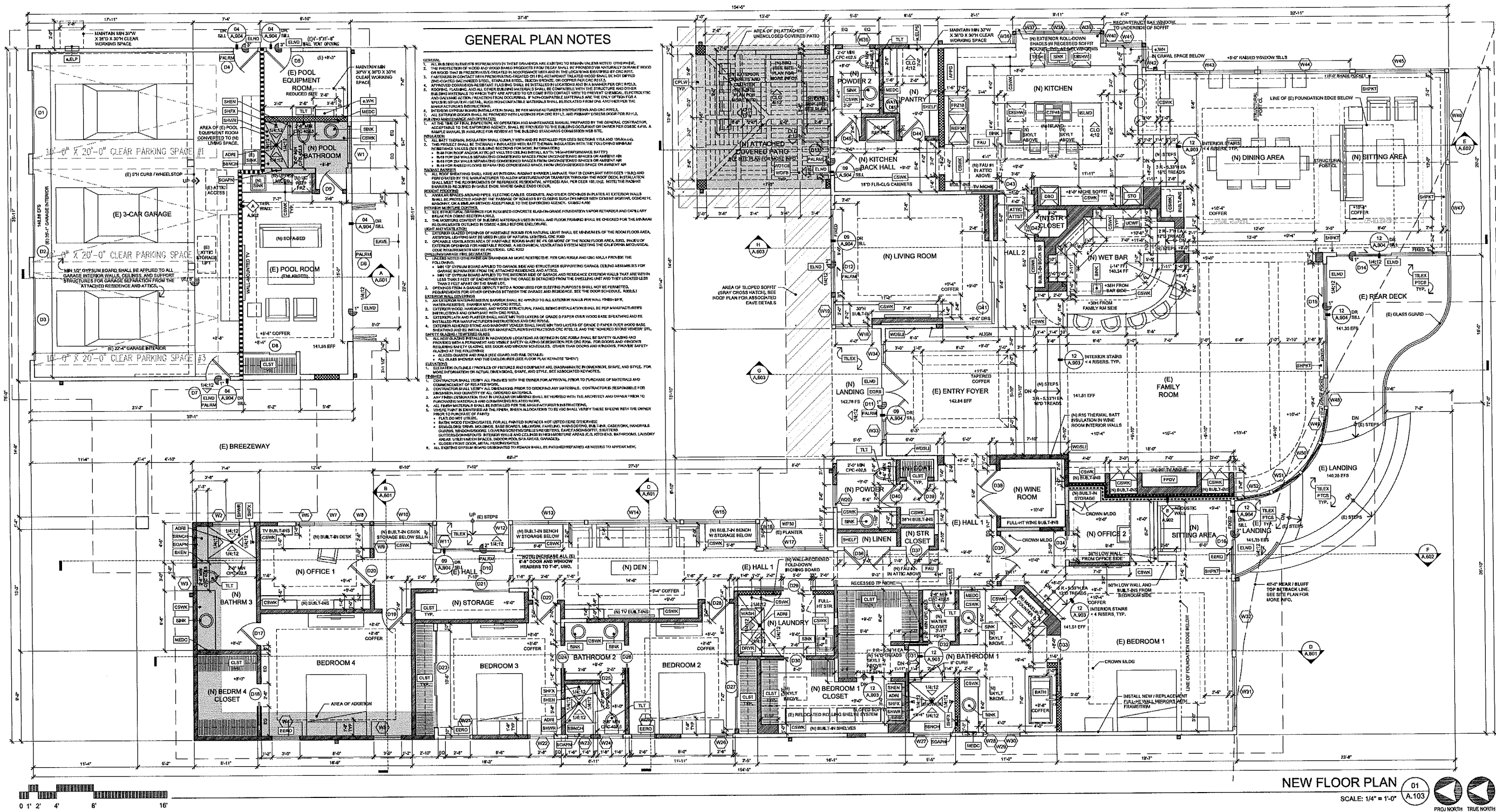
----- EXISTING ELEMENT TO BE REMOVED
 - - - - - LINE OF EXISTING GRADE
 _____ LINE OF FINISHED GRADE

	EXISTING RECTANGULAR DOWNSPOUT.
	NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.
	EXISTING WALL TO BE REMOVED.
	EXISTING WALL TO REMAIN
	NEW WALL, 2'0"
	NEW WALL, 2'6"
	NEW WALL WITH ACOUSTICAL BATT INSULATION AND ACOUSTICAL DRYWALL PER ASSOCIATED REWORK TAG
	NEW WALL, FIRE RATED. SEE ASSOCIATED WALL TAG FOR DETAIL. PERPENDICULAR WALLS EXCEPT PER CRC R201. EXCEPT 1. PENETRATIONS SHALL BE CONSTRUCTED PER CRC R24 AND R205.
	EXISTING CAST-IN-PLACE CONCRETE WALL
	EXISTING CONCRETE MASONRY UNIT WALL
	NEW CAST-IN-PLACE CONC. WALL. SEE STR. SHEETS.
	NEW CMU WALL. SEE STRUCTURAL SHEETS.
	AREA OF ADDITION AS NOTED, SEE PLANS.

PER CRC 8006. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION

REQUIRED: 7474 SF / 300 = 24.91 SF X 144 = 3588 SI NFVA REQUIRED
 PROVIDED: 631 LF OF "RVE" EAVE VENT @ 3 SI NFVA / LF = 1893 SI NFVA
 (25 QTY) OF "RVC" CUSTOM SHED DORMER VENT @ 70 SI NFVA / EA = 1750 SI NFVA
 TOTAL = 3643 SI NFVA PROVIDED





GENERAL PLAN NOTES

1. ALL BUILDING MATERIALS REPRESENTED BY THESE SYMBOLS ARE TO BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE MANUFACTURER'S INSTRUCTIONS SHALL BE PROVIDED TO THE OWNER BY THE GENERAL CONTRACTOR. THE MANUFACTURER'S INSTRUCTIONS SHALL BE PROVIDED TO THE OWNER BY THE GENERAL CONTRACTOR. THE MANUFACTURER'S INSTRUCTIONS SHALL BE PROVIDED TO THE OWNER BY THE GENERAL CONTRACTOR.
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NEW FLOOR PLAN

SCALE: 1/4" = 1'-0"



ELEVATION / SECTION LEGEND

- EXISTING ELEMENT TO BE REMOVED
- LINE OF EXISTING GRADE
- LINE OF FINISHED GRADE
- BATT THERMAL INSULATION. SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO.

PLAN LEGEND

- EXISTING RECTANGULAR DOWNSPOUT
- EXISTING WALL TO REMAIN
- NEW WALL 2X4
- NEW WALL 2X6
- NEW WALL WITH ACoustical BATT INSULATION AND ACoustical DRYWALL PER ASSOCIATED KEYNOTE TAG
- NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL, PERPENDICULAR WALLS EXCEPT PER CRC R302.1 EXCEPT IN 1. PENETRATIONS SHALL BE CONSTRUCTED PER CRC R302.1 AND R302.2.
- EXISTING CAST-IN-PLACE CONCRETE
- EXISTING CONCRETE MASONRY UNIT WALL
- NEW CAST-IN-PLACE CONCRETE
- NEW CMU WALL
- AREA OF ADDITION AS NOTED, SEE PLANS.

ROOF / ATTIC VENTILATION CALCS

PER CRC R302. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

ATTIC AREA
REQUIRED 747 SF OF 200" x 30" VENT OR 144" x 36" VENT REQUIRED
PROVIDED 631 SF OF 200" x 30" VENT OR 144" x 36" VENT
TOTAL = 631 SF VENT PROVIDED

2551 VIA ELIZABETH BLVD, SAN ANTONIO, TX 78247
817.441.1111
www.benjaminjohnstevens.com

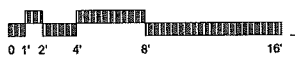
benjamin john stevens, architect

MCNUTT RESIDENCE REMODEL

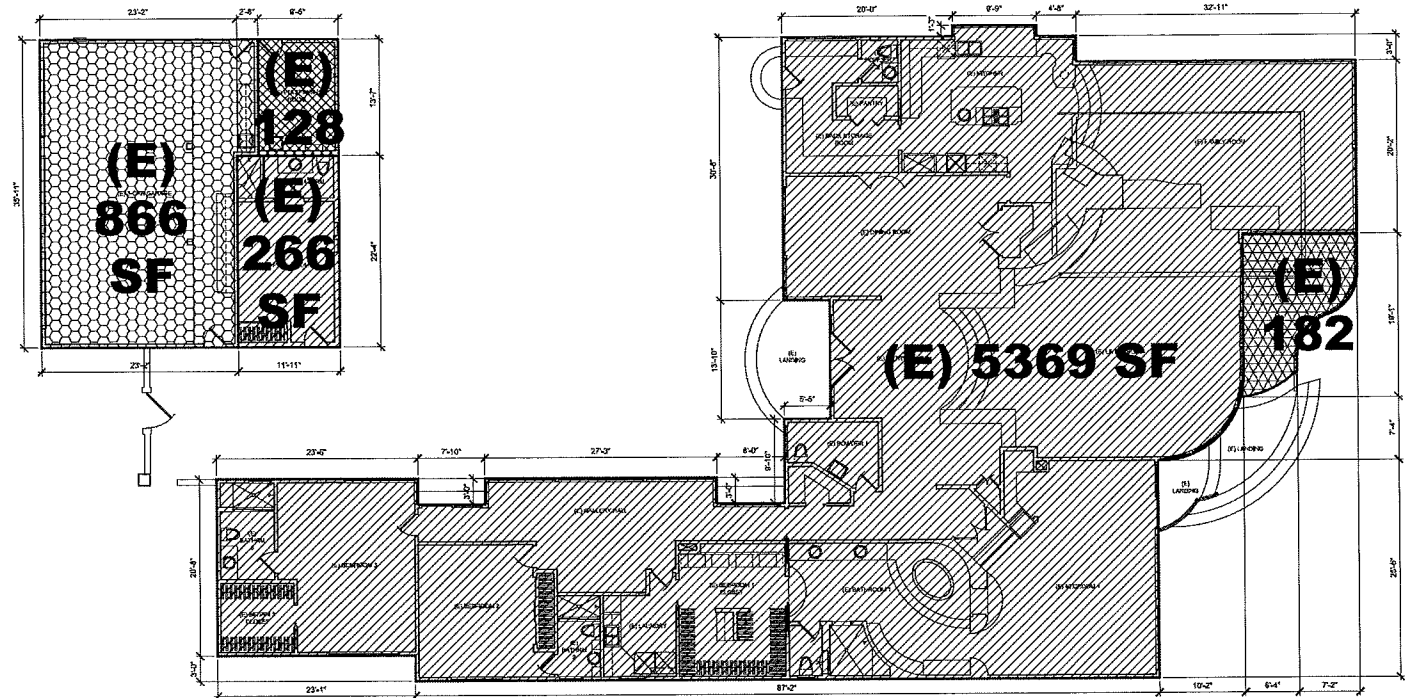
NEW FLOOR PLAN

SHEET: A.103

PROJECT NO. 1522
DATE: 01/11/2016
BY: BENJAMIN JOHNSTEVENS

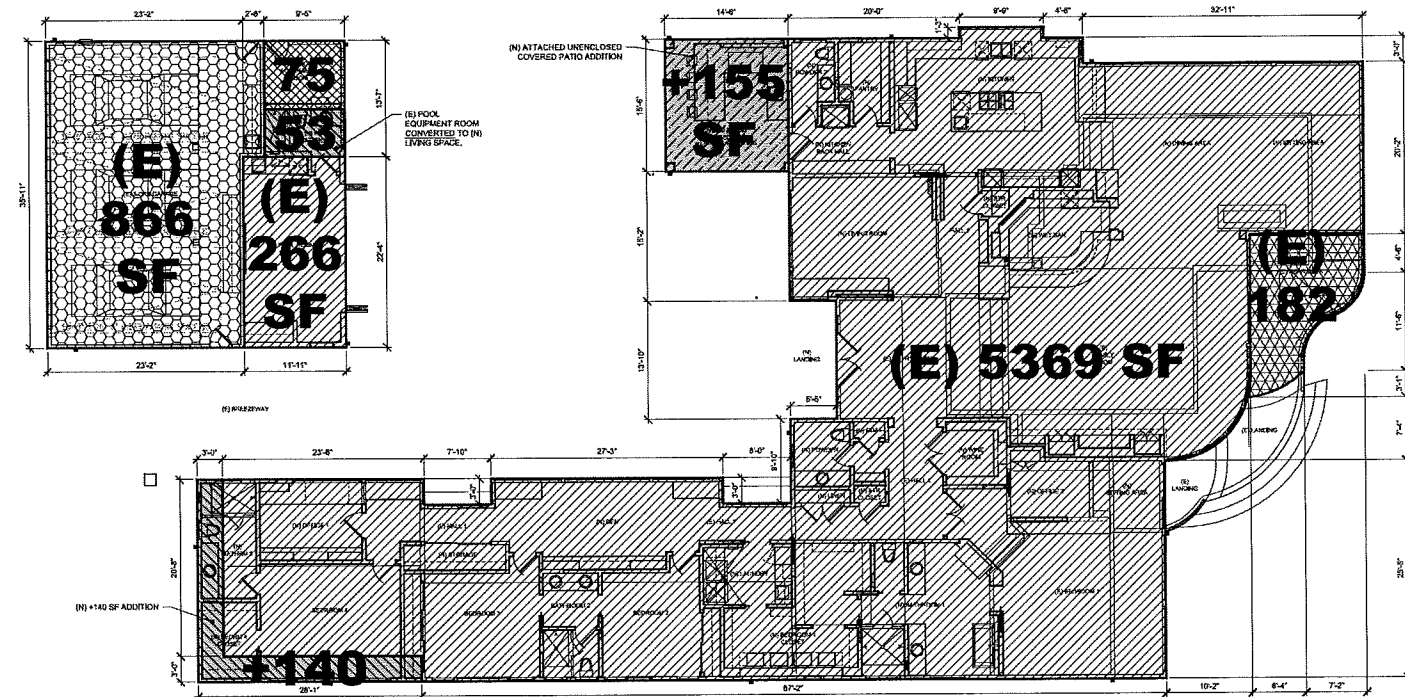
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A.105
SHEET:
PROJECT NO.: 1522
DATE: 11.15.2016
CDP RESUBMITTAL TO
CITY OF DANA POINT



EXISTING FLOOR AREA CALCULATION

SCALE: 1/8" = 1'-0" 01 A.151 PROJ NORTH TRUE NORTH



NEW FLOOR AREA CALCULATION

SCALE: 1/8" = 1'-0" 02 A.151 PROJ NORTH TRUE NORTH

FLOOR PLAN AREA CALCS

PER CBC TABLE 503, THE MAXIMUM ALLOWABLE BUILDING AREA FOR R-3 / TYPE V8 = UNLIMITED.
SEE BELOW FOR EXISTING AND PROPOSED FLOOR AREA CALCULATIONS.

EXISTING FIRST FLOOR AREAS:

	LIVING AREA	(E) 5635 SF
	GARAGE AREA	(E) 866 SF
	MECHANICAL SPACE AREA	(E) 128 SF
	ELEVATED DECK / TERRACE AREA	(E) 182 SF
	ATTACHED UNENCLOSED COVERED PATIO	(E) 0 SF

PROPOSED FIRST FLOOR AREAS:

	LIVING AREA (EXISTING 5635 SF + 53 SF + 140 SF)	5828 SF
	GARAGE AREA (EXISTING 866 SF + 0 SF)	(E) 866 SF
	MECHANICAL SPACE AREA (EXISTING 128 SF - 53 SF)	75 SF
	ELEVATED DECK / TERRACE AREA (EXISTING 182 SF + 0 SF)	(E) 182 SF
	ATTACHED UNENCLOSED COVERED PATIO (EXISTING 0 SF + 225 SF)	225 SF

DESCRIPTION	PROJECT DATA			TOTAL
	EXISTING	PROPOSED	REMODEL	
LIVING AREA	5635 SF	+143 SF	5408 SF	5828 SF
GARAGE AREA	866 SF	+0 SF	866 SF	866 SF
MECHANICAL AREA	128 SF	-53 SF	128 SF	75 SF
GROSS FLOOR AREA	6629 SF	+140 SF	6629 SF	6769 SF
ELEVATED DECK / BALCONY AREA	182 SF	+0 SF	182 SF	182 SF
ATTACHED UNENCLOSED COVERED PATIO	0 SF	+225 SF	0 SF	225 SF

benjamin john stevens, architect
442 S. G ST. STEVENSON, CALIFORNIA 95701
916.880.9316 ben@benjohnstevens.com

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MCNUTT RESIDENCE REMODEL
24272 E. CAMINO CARPINTERO, DANA POINT, CALIFORNIA 92629
APN: B25-0045, LOT 6 & EASTERN 1/4 OF LOT 1, BLOCK 1, TRACT 273

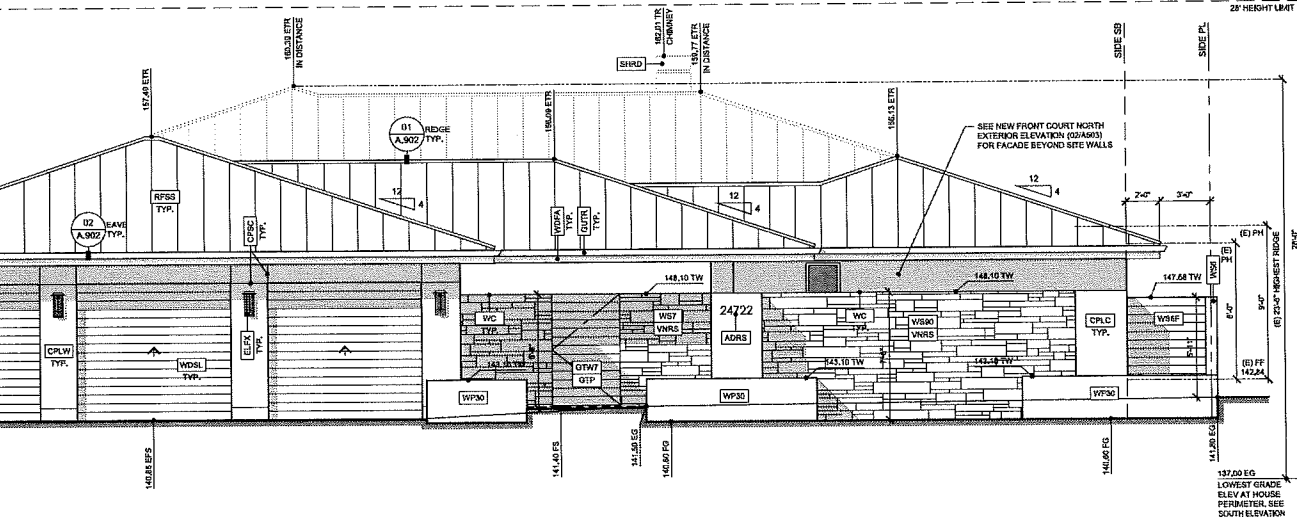
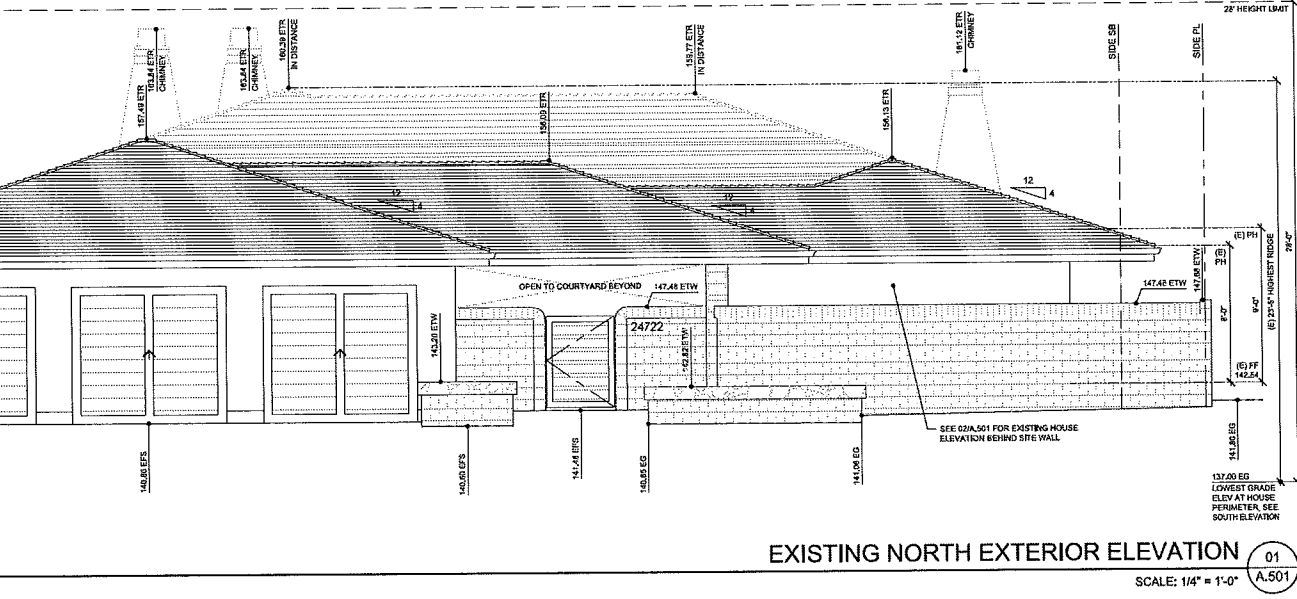
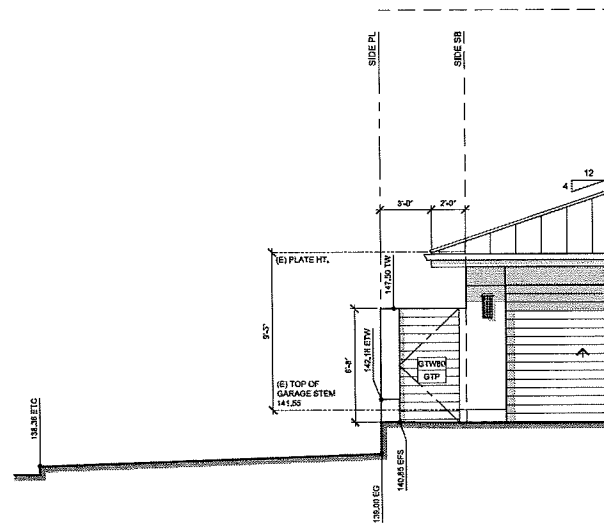
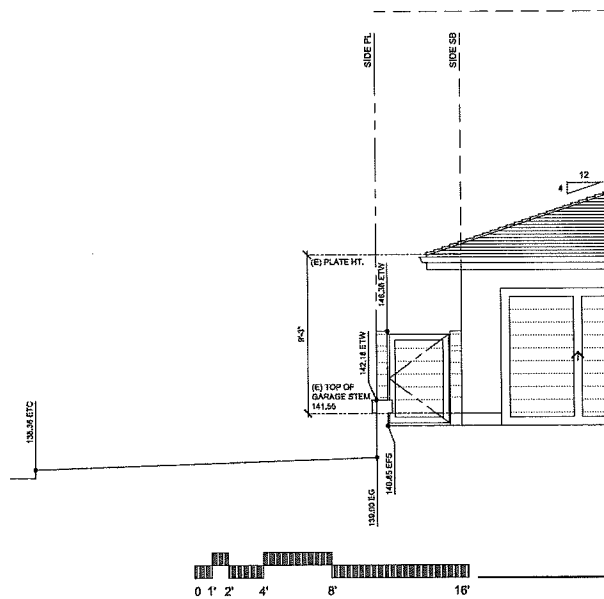
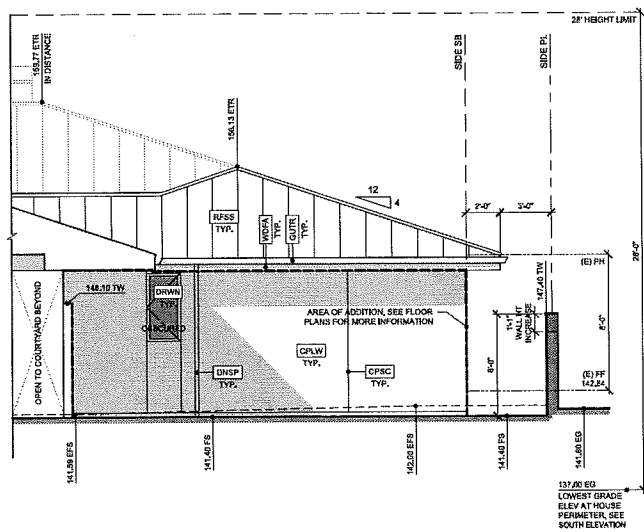
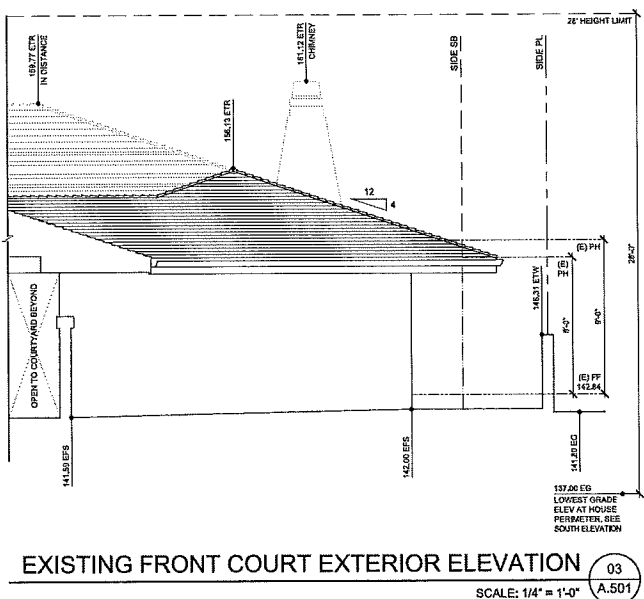
FLOOR AREA CALCULATIONS

PROJECT NO: 1532
DATE: 04/15/2019
CITY OF DANA POINT

A.151

SHEET:





GENERAL PLAN NOTES

1. ALL BUILDING ELEMENTS REPRESENTED IN THESE DRAWINGS ARE EXISTING UNLESS NOTED OTHERWISE.
2. THE PROTECTION OF EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES.

PLAN KEYNOTES

1. NEW FRONT COURT EXTERIOR ELEVATION (A.501) SHOWS THE NEW FRONT FACADE OF THE BUILDING. THE NEW FRONT FACADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES:
2. THE NEW FRONT FACADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES:
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10. THE NEW FRONT FACADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES:

ABBREVIATIONS

EFF	EXISTING FINISH FLOOR	FG	FINISHED GRADE
EFB	EXISTING FINISH SURFACE	FS	FINISHED SURFACE
ES	EXISTING GRADE	TC	TOP OF CURB
ESB	EXISTING SURFACE	TCH	TOP OF CHIMNEY
ETC	EXISTING TOP OF CURB	TE	TOP OF EAVE
ETB	EXISTING TOP OF CHIMNEY	TF	TOP OF FINISH
ETP	EXISTING TOP OF PARAPET	TG	TOP OF GUARDRAIL
ETW	EXISTING TOP OF WALL	TH	TOP OF ROOF
FF	FINISHED FLOOR	TP	TOP OF PARAPET

ELEVATION / SECTION LEGEND

- EXISTING ELEMENT TO BE REMOVED
- LINE OF EXISTING GRADE
- LINE OF FINISHED GRADE
- BATT THERMAL INSULATION, SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO

PLAN LEGEND

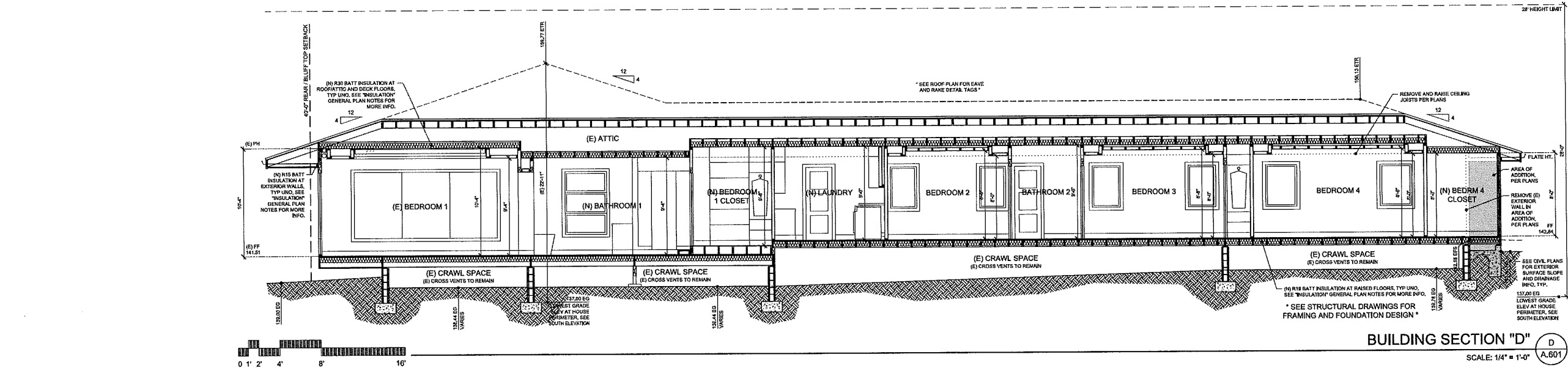
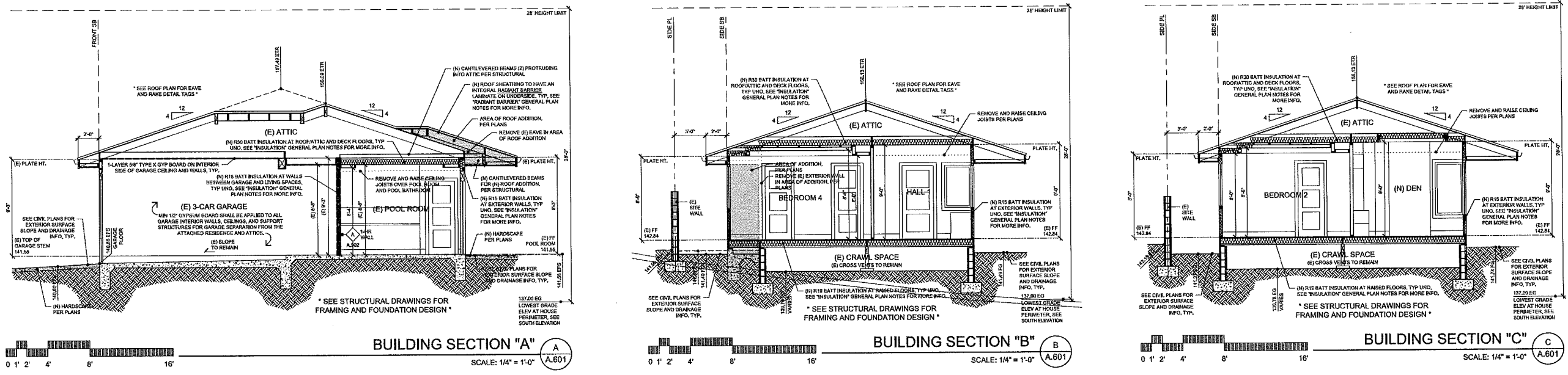
- EXISTING RECTANGULAR DOWNPOUT
- NEW RECTANGULAR DOWNPOUT, SEE EXTERIOR ELEVATIONS FOR MORE INFO
- EXISTING WALL TO REMAIN
- NEW WALL, 2X8
- NEW WALL, WITH ACoustical, BATT INSULATION AND ACoustical DOWNSPOUT PER ASSOCIATED KEYNOTE TAG
- NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL, PERPENDICULAR WALLS EXCEPT FOR CRC R302.1, CONSTRUCTION 1, PENETRATIONS SHALL BE CONSTRUCTED PER CRC R302.1 AND R302.2
- EXISTING CAST-IN-PLACE CONCRETE WALL
- NEW CAST-IN-PLACE CONCRETE WALL, SEE DETAIL, PERPENDICULAR WALLS EXCEPT FOR CRC R302.1, CONSTRUCTION 1, PENETRATIONS SHALL BE CONSTRUCTED PER CRC R302.1 AND R302.2
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ROOF / ATTIC VENTILATION CALCS

PER CRC R606, SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

ATTIC AREA
REQUIRED: 747 SF / 300 = 24.91 SF / 144 = 1.73 SF PER 144 SF AREA
PROVIDED: 61 SF OF 144 SF VENT (SEE DETAIL) = 0.42 SF PER 144 SF AREA
(25 QTY) OF 144 SF VENT (SEE DETAIL) = 3.50 SF PER 144 SF AREA
TOTAL = 3.92 SF PER 144 SF AREA





GENERAL PLAN NOTES

1. ALL BUILDING ELEMENTS REPRESENTED IN THESE DRAWINGS ARE EXISTING UNLESS NOTED OTHERWISE. THE PROTECTION OF EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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ABBREVIATIONS

EFF	EXISTING FINISH FLOOR	FG	FINISHED GRADE
EFFS	EXISTING FINISH SURFACE	FS	FINISHED SURFACE
ES	EXISTING GRADE	FS	FINISHED SURFACE
ET	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE
ETC	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE
ETD	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE
ETD	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE
ETD	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE
ETD	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE
ETD	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE
ETD	EXISTING TOP OF CHIMNEY	FS	FINISHED SURFACE

ELEVATION / SECTION LEGEND

---	EXISTING ELEMENT TO BE REMOVED
---	LINE OF EXISTING GRADE
---	LINE OF FINISHED GRADE
---	BATT INSULATION, SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO.
---	NEW WALL, 2X4
---	NEW WALL, 2X6
---	NEW WALL, 2X8
---	NEW WALL, WITH ACoustical BATT INSULATION AND ACoustical DRYWALL PER ASSOCIATED DETAIL TAG
---	NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL, PERPENDICULAR WALLS EXCEPT FOR CIRCULAR EXCEPTS, PENETRATIONS SHALL BE CONSTRUCTED PER CIRCULAR AND EXCEPTS.
---	EXISTING CAST-IN-PLACE CONCRETE WALL
---	NEW CAST-IN-PLACE CONCRETE WALL
---	NEW CAST-IN-PLACE CONCRETE WALL
---	NEW CAST-IN-PLACE CONCRETE WALL
---	NEW CAST-IN-PLACE CONCRETE WALL

PLAN LEGEND

---	EXISTING ELEMENT TO BE REMOVED
---	LINE OF EXISTING GRADE
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---	BATT INSULATION, SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO.
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---	NEW CAST-IN-PLACE CONCRETE WALL
---	NEW CAST-IN-PLACE CONCRETE WALL

ROOF / ATTIC VENTILATION CALC

FOR CIRCULAR, SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

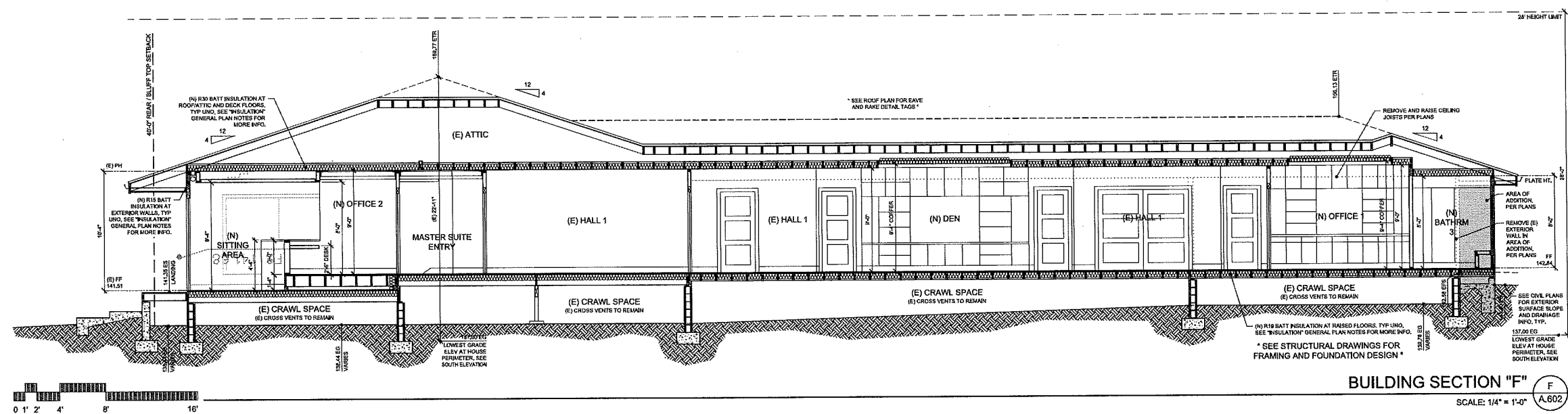
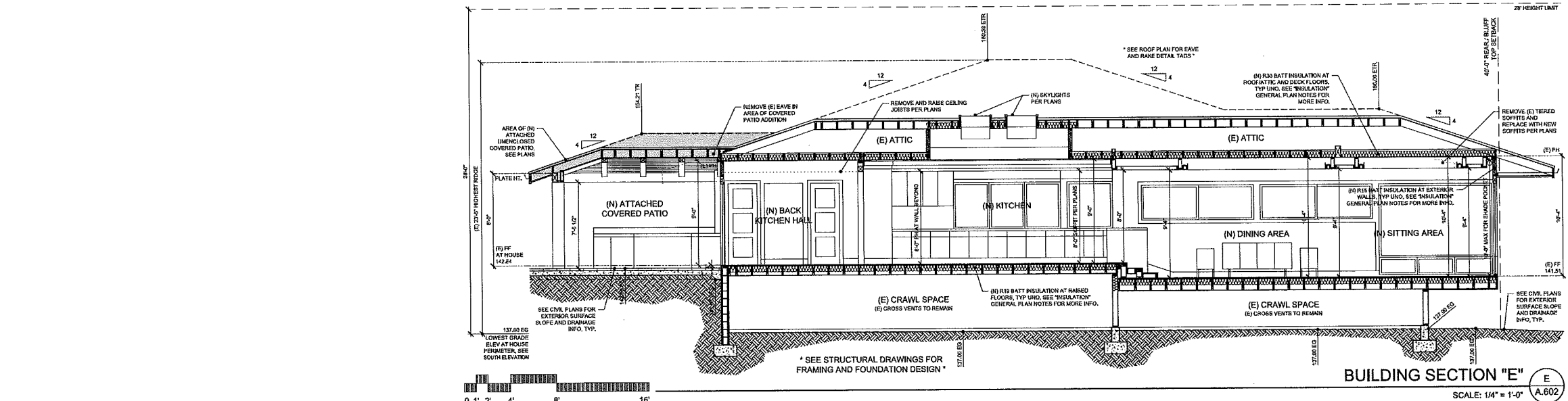
ATTIC AREA
REQUIRED 744 SF / 300 = 2481 SF @ 144 INCHES MINIMUM REQUIRED
PROVIDED 811 SF OF 12" CIRCULAR VENT @ 3.8 SF/FT² = 3100 SF MINIMUM
(25 QTY) OF 12" CIRCULAR VENT @ 3.8 SF/FT² = 3100 SF MINIMUM
TOTAL = 3100 SF MINIMUM

PLAN KEYNOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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GENERAL PLAN NOTES

1. ALL BUILDING ELEMENTS REPRESENTED IN THESE DRAWINGS ARE EXISTING UNLESS NOTED OTHERWISE.
2. THE PROTECTION OF EXISTING STRUCTURE AND UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURE.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURE.

PLAN KEYNOTES

1. EXISTING ELEMENT TO BE REMOVED
2. LINE OF EXISTING GRADE
3. LINE OF FINISHED GRADE
4. BATT INSULATION, SEE "INSULATION" GENERAL PLAN NOTES FOR MORE INFO

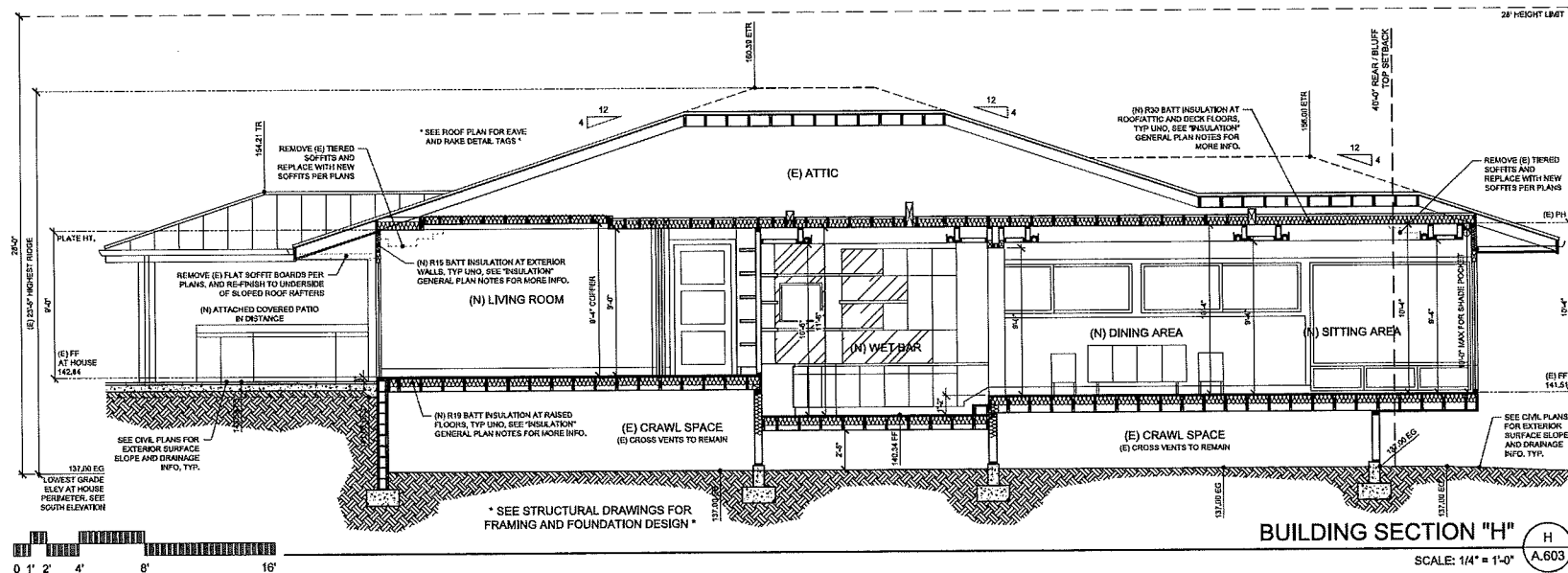
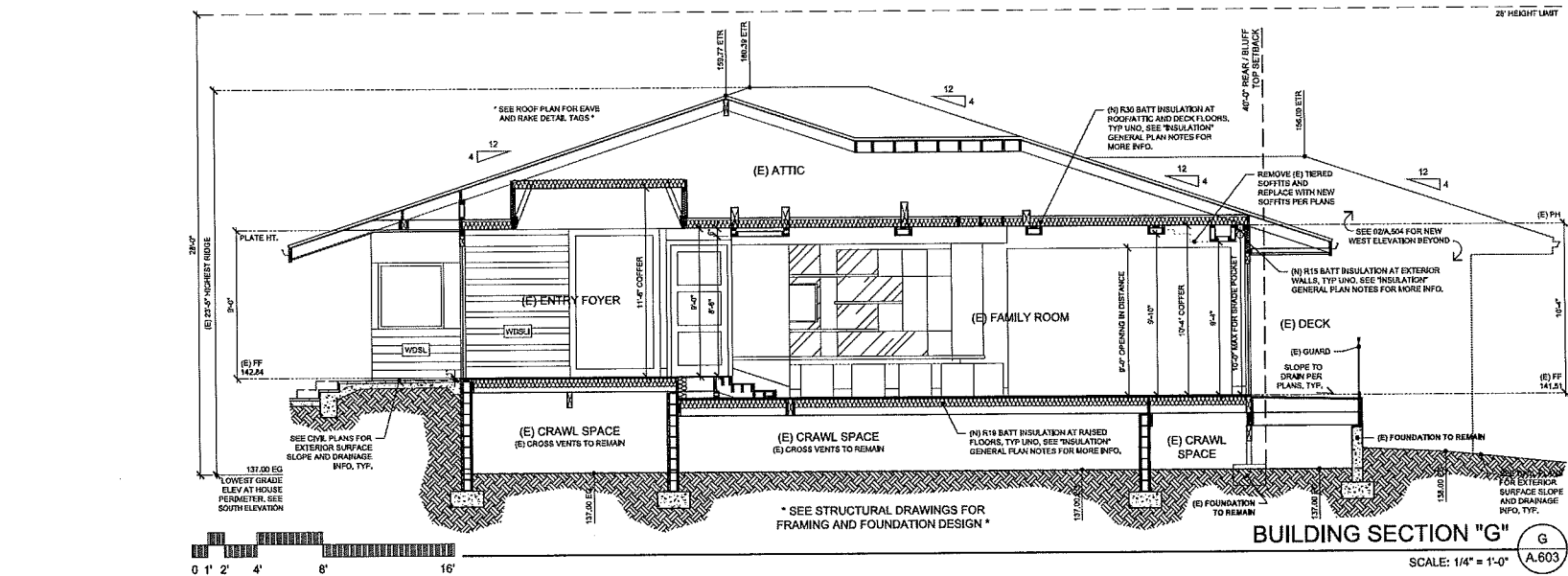
ELEVATION / SECTION LEGEND

1. EXISTING RECTANGULAR DOWNSPOUT
2. EXISTING WALL TO BE REMOVED
3. EXISTING WALL TO REMAIN
4. EXISTING WALL, 2X4
5. EXISTING WALL, 2X6
6. NEW WALL, 2X4
7. NEW WALL, 2X6
8. NEW WALL, WITH ADDITIONAL BATT INSULATION AND ADDITIONAL DRYWALL PER ASSOCIATED KEYNOTE TAG
9. NEW WALL, FIRE RATED, SEE ASSOCIATED WALL TAG FOR DETAIL, PERPENDICULAR WALLS EXCEPT PER CRC R302.4 EXCEPT FOR 1, PERMUTATIONS SHALL BE CONSTRUCTED PER CRC R302.4 AND R302.4.1
10. EXISTING CAST-IN-PLACE CONCRETE WALL
11. NEW CAST-IN-PLACE CONCRETE WALL
12. NEW CAST-IN-PLACE CONCRETE WALL, SEE STRUCTURAL SHEETS
13. AREA OF ADDITION AS NOTED, PER PLANS

ROOF / ATTIC VENTILATION CALCS

PER CRC R606, SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

ATTIC AREA
REQUIRED: 744 SF / 300" x 24.21" x 144" = 388 SF MIN REQUIRED
PROVIDED: 631 SF OF "TWO" EAVE VENT @ 3.5 SF/INFL. LF = 150 SF MIN
(25 QTY) OF "TWO" CUSTOM SHED DORMER VENT @ 70 SF MIN/EA = 1750 SF MIN
TOTAL = 3443 SF MIN PROVIDED



GENERAL PLAN NOTES

- [illegible]

- [illegible]

- [illegible]

ABBREVIATIONS

EFF	EXISTING FINISH FLOOR	FG	FINISHED GRADE
EFB	EXISTING FINISH SURFACE	FS	FINISHED SURFACE
EG	EXISTING GRADE	TC	TOP OF CURB
ESB	EXISTING SURFACE	TCM	TOP OF CHIMNEY
ETC	EXISTING TOP OF CURB	TC9	TOP OF CHIMNEY SHROUD
EIE	EXISTING TOP OF EAVE	TE	TOP OF EAVE
ETB	EXISTING TOP OF GUARDRAIL	TF	TOP OF FINISH
ETP	EXISTING TOP OF PARAPET	TP	TOP OF GUARDRAIL
ETR	EXISTING TOP OF ROOF	TR	TOP OF ROOF
ETW	EXISTING TOP OF WALL	TW	TOP OF WALL
TF	FINISHED FLOOR	TP	TOP OF PARAPET

ELEVATION / SECTION LEGEND

- ***** EXISTING ELEMENT TO BE REMOVED
- LINE OF EXISTING GRADE
- LINE OF FINISHED GRADE

PLAN LEGEND

- EXISTING RECTANGULAR DOWNSPOUT.
- NEW RECTANGULAR DOWNSPOUT. SEE EXTERIOR ELEVATIONS FOR MORE INFO.
- EXISTING WALL TO BE REMOVED
- NEW WALL TO REMAIN
- NEW WALL, 2X8
- NEW WALL, 2X8
- NEW WALL WITH ACoustICAL BATT INSULATION AND ACoustICAL ORYWALL FOR ASSOCIATED NEW NOTE TAG
- NEW WALL, FIRE RATED, SEE ASSOCIATED TAG 120 FOR DETAIL. PERPENDICULAR WALLS EXCEPT PER CIRC R302.1 SECTION 1. PENETRATIONS SHALL BE CONSTRUCTED PER CIRC R302.4 AND R302.4.
- EXISTING CAST-IN-PLACE CONCRETE WALL
- NEW CAST-IN-PLACE CONC WALL. SEE STRL SHEETS.
- EXISTING CONCRETE MASONRY UNIT WALL
- NEW CMU WALL. SEE STRUCTURAL SHEETS.
- AREA OF ADDITION AS NOTED, SEE PLANS.

ROOF / ATTIC VENTILATION CALCS

PER CRC RM06. SEE ROOF PLAN AND ASSOCIATED ROOF VENT KEYNOTES FOR VENT SPECIFICATION.

ATTIC AREA

PROVIDED: 631 LF OF "RVE" EAVE VENT @ 3 S/NFVA / LF = 1893 S/NFVA
(25 QTY) OF "RYCS" CUSTOM SHED DORMER VENT @ 70 S/NFVA / EA = 1750 S/NFVA
TOTAL = 3643 S/NFVA PROVIDED

The Plans shall comply with the following:

- 2013 California Residential Code (CEC)
2013 California Mechanical Code (CMC)
2013 California Plumbing Code (CPC)
2013 California Electrical Code (CEC)
2013 California Green Building Standards Code (CGBS)
2013 California Energy Efficiency Standards (CEES)
And the City of Dana Point Regulations and Ordinances.

1. ASSESSOR'S PARCEL NO. 682-203-09
2. LEGAL DESCRIPTION: LOT 6 AND THE EASTERLY 5.00 FEET OF LOT 5, IN BLOCK T, OF TRACT NO. 573, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 20, PAGES 29 OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, BEING DESCRIBED IN DOCUMENT NO. 2014000360728, RECORDED SEPTEMBER 05, 2014.
3. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED FROM A FIELD SURVEY OF SURFACE FEATURES, CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
4. GROSS AREA 0.40 ACRES (17,448 SQUARE FEET).

1. FOR ADDITIONAL CONSTRUCTION INFORMATION NOT MENTIONED IN THESE GENERAL CONSTRUCTION NOTES, REFER TO SPECIFICATIONS
2. CONFORM WORK TO REQUIREMENTS OF LATEST ADOPTED EDITION OF UNIFORM BUILDING CODE AND OTHER APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
3. DIMENSIONS INDICATED ON DRAWINGS ARE TAKEN FROM OUTSIDE FACE OF WALLS, PAVING, CURBS, ETC. UNLESS INDICATED OTHERWISE ON DRAWINGS.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS.
5. WHERE CONFLICTS OCCUR BETWEEN GENERAL CONSTRUCTION NOTES, AND DRAWINGS, AND ACTUAL FIELD CONDITIONS, NOTIFY OWNERS AUTHORIZED REPRESENTATIVE, IMMEDIATELY, TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH SITE SUPERINTENDENT, APPROPRIATE AGENCIES, AND DRAWINGS FOR VERIFICATION OF LOCATIONS OF UNDERGROUND UTILITIES, PIPES AND RELATED STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE OF SAID UTILITIES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
7. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION OPERATIONS WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. BRING SUCH CONDITIONS IMMEDIATELY TO THE ATTENTION OF OWNERS AUTHORIZED REPRESENTATIVE FOR IMMEDIATE RESOLUTION. ASSUME FULL RESPONSIBILITY FOR COSTS INCURRED AND REQUIRED MODIFICATIONS DUE TO FAILURE OF PROVIDING SUCH NOTIFICATION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF OTHER CONTRACTORS WHOME WORK AFFECTS THE PROPER EXECUTION OF CONTRACTORS WORK.
9. ENSURE THAT DRAINLINES, BRIGATION LATERAL LINES AND MAIN LINES, ELECTRICAL CONDUITS, SLEEVES, ETC. ARE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
10. REPLACE OR REPAIR ANY EXISTING MATERIALS THAT ARE DAMAGED BY CONTRACTOR DURING CONSTRUCTION OPERATIONS.
11. ENSURE THAT CURVED EDGES HAVE SMOOTH AND CONTINUOUS CURVES.
12. VERIFY PROPERTY AND LIMIT OF WORK LINES PRIOR TO COMMENCING CONSTRUCTION WORK.
13. REFER TO CITY AND COUNTY STANDARDS FOR STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.
14. ENSURE THAT FINISH GRADES HAVE BEEN SET CORRECTLY PRIOR TO INSTALLING WALLS, FOOTINGS, WALLS AND OTHER STRUCTURES.

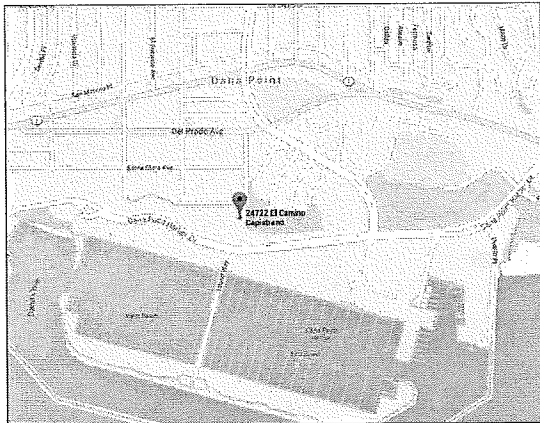
McNUTT RESIDENCE

24722 EL CAMINO CAPISTRANO

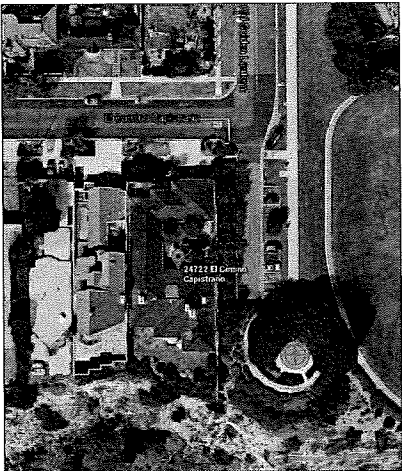
DANA POINT, CA 92629

PARCEL #: 68220309

LOT 6 AND THE EASTERLY 5 FEET OF LOT 5, BLOCK T, TRACT 573



VICINITY MAP



AERIAL PHOTO

SETBACK CALCULATIONS

<u>LOCATION</u>	<u>MIN. REQUIRED</u>	<u>PROPOSED</u>
FRONT YARD	20'-0"	20'-0" to Garage
REAR YARD EASEMENT	15'-0"	34'-0" Min. (Varies)
REAR BLUFF SETBACK	40'-0"	34'-0" Min. (Varies)
SIDE YARD WEST	5'-0"	5'-0"
SIDE YARD EAST	5'-0"	5'-0"

All existing irrigation within 40 feet of the property's delineated edge of coast bluff to be removed. No new irrigation to be located within 40 feet of the property's delineated edge of coastal bluff.

SHEET INDEX

- L-1 TITLE SHEET / PROJECT NOTES
L-2 LANDSCAPE CONCEPT / SITE PLAN
L-3 LANDSCAPE CONCEPT PLAN
L-4 HARDSCAPE LAYOUT
L-5 SCHEMATIC PLANTING PLAN / WATER USE CALC'S
L-6 REAR YARD SPATIAL STUDY PLAN 

SCOPE OF WORK:

COASTAL DEVELOPMENT PERMIT - FRONT,
COURTYARD & REAR LANDSCAPE RENOVATION
INCLUDING:

- POOL & SPA
- GAS FIREPLACE
- GAS BBQ
- LANDSCAPE
- PAVING

ARCHITECT

Benjamin John Stevens
2525 I Via Piedra Blanca
Laguna Nigel, Ca. 92677
Phone:(949) 680-8616
Contact: Benjamin Stevens
E-mail: ben@benjaminjohnstevens.com

SURVEYOR

CDR
Commercial Development Resources
2082 Michelson Drive, Suite 100
Irvine, Ca. 92612
Phone: (949) 825-5222
Contact: Robert J. Russell
www.cdrwest.com

CIVIL ENGINEER

Civilscares engineering
licensed signer: will rolp
23272 Mill Creek Drive, suite 130
Laguna Hills, California 92653
T: 949.464.8115
E: will@civilscares.com

Deputy Inspectors are required to be registered with the City of Dana Point"

Outdoor Lighting:

Lighting shall not be directed onto any other Lot.

Permanently installed outdoor lighting that will be added or replaced shall be high efficacy. Low efficacy lighting is allowed but only when fixtures are controlled by a motion sensor and one of the following:

- a. A photo control or,
- b. An astronomical time clock or,
- c. An energy management control system (EMCS)

NDES NOTE:

The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

All site drainage shall be in accordance with the 2013 California Building Code and the Dana Point Municipal Code.

Drainage from pool equipment area shall drain to a landscape area or sanitary sewer and not discharge to the area drain system

Outdoor sinks shall be drained to the building waste".

Sinks shall not drain to the yard drain

Gas lines routed under a structure shall be sleeved and vented

POOL NOTES:

- **EXISTING POOL SHALL BE RENOVATED**
- Renovations of an existing pool require the suction outlet of the existing pool, spa or toddler pool to be upgraded so as to be equipped with an approved anti-entrapment cover meeting the current standards of the ASTM or ASME per section 115920HSC.
- No non-pool equipment related underground wiring within 5 feet of the pool shell edge
- Pool barriers shall be maintained during construction
- Landscape walls that affect the pool barrier shall comply with the current city of dana point pool barrier requirements
- A Title 24 Certification Form is required at the time of inspection for the pool heater installation.
- Anti-siphon devices are required on hose bibs within the pool area.
- Pool equipment is not located within 5 feet of the property lines
- No non-pool equipment related UG wiring is permitted within 5 ft. of the pool shell edge
- No low voltage direct burial wiring is permitted within 10 ft. of the pool shell edge
- A Minimum #8 AWG bare copper bonding conductor is required
- No luminaries, lighting outlets or ceiling-suspended fans located within 5 ft. horizontally of the inside wall of the pool shall not be installed less than 12 feet above the water level of the pool per CEC section 680.22(C)(1).
- No electrical switching devices shall be located within 5 ft. of the pool edge per CEC section 680.22(D).
- All 15 or 20 ampere single phase outlets supplying pool pumps require GFCI protection, weather supplied by a receptacle and cord connection or hard-wired to the branch circuit per CEC section 680.22(B).

No.	Revision / Issue	Date
1	City Review CDP	6-22-2016
2	City Review CDP	9-29-2016
3	City Review CDP	11-30-2016
		12-2-2016

[illegible]

AMS
LANDSCAPE DESIGN STUDIOS, Inc.
895 DOVE STREET - SUITE 300
NEWPORT BEACH, CA. 92660
P: 949.851-6537 F: 949.955-4890

Project Name and Address:
MCNUTT RESIDENCE
24722 EL CAMINO CAPISTRANO
DANA POINT, CA. 92629
Parcel #: 66220309

Project Name and Address:

Parcel #: 68220309

Drawn:	DREW	Sheet of 6
Date:	Dec. 16, 2016	
Scale:	N/A	
PROJECT:		
Coastal Dev. Permit Revised Plans (10)		

TITLE SHEET

**AMS Launches Desktop Software
for (AMS) - American Machine &
Tooling**

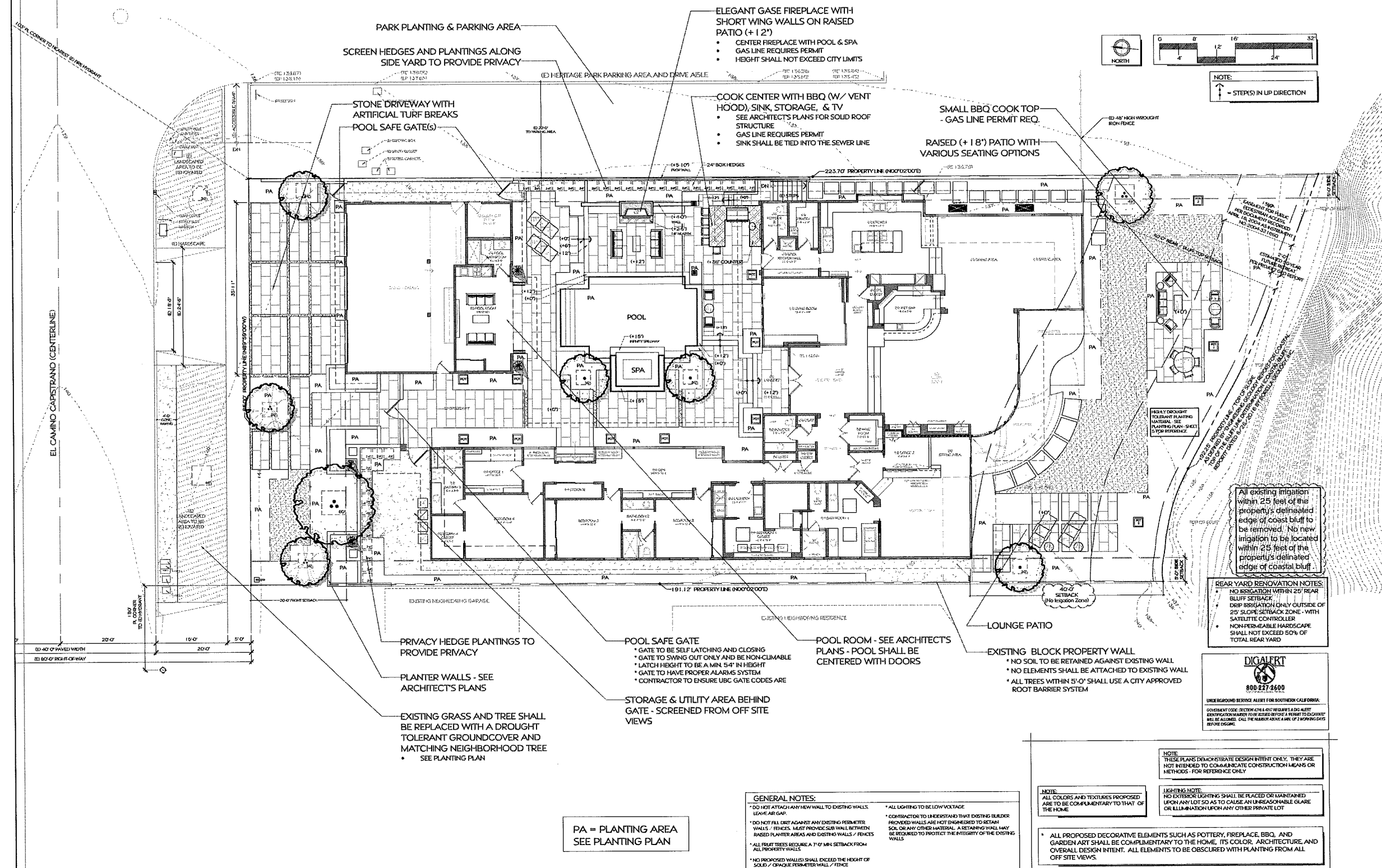
These modules deliver
data from the operator in
a structured data environment
and automatically send the
data to a central data processing unit
to produce a structured data
environment or to be stored for
later use in the production
area.

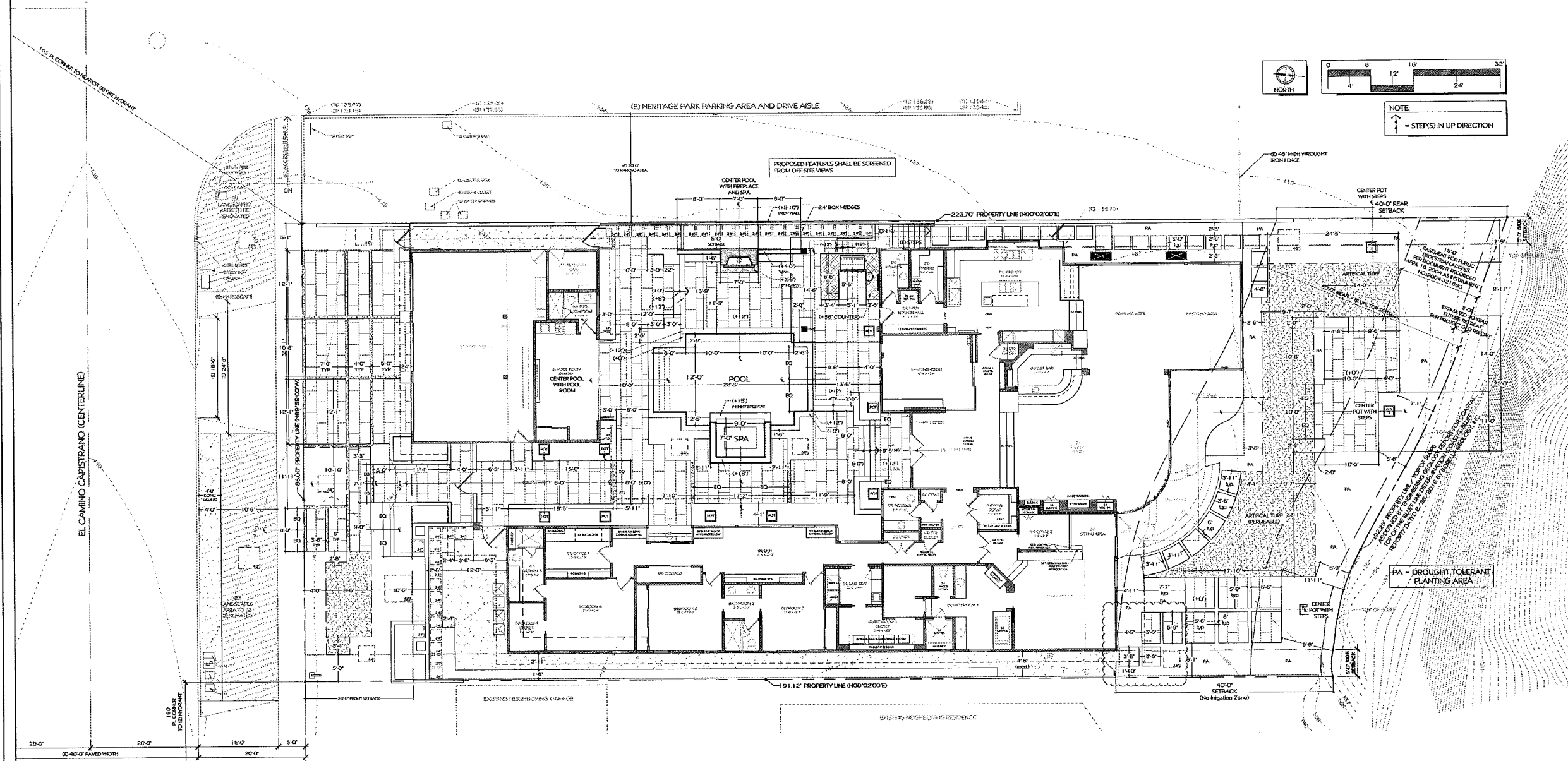
Project Name and Address:

MCNUTT RESIDENCE
24722 EL CAMINO CAPISTRANO
DANA POINT, CA. 92629

Parcel #: 663203309
Lot 6 and the Eastern 1/5 feet of Lot 5, Block 1, Tract 573

LANDSCAPE
CONCEPT PLAN





GENERAL CONTRACTOR NOTES:

- CONTRACTOR TO THOROUGHLY VERIFY ALL CONDITIONS, DIMENSIONS, ETC. BEFORE PROCEEDING WITH ANY WORK.
- LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALL SCALE PLANS OR ELEVATIONS.
- DO NOT SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- THESE DRAWINGS COMMUNICATE DESIGN INTENT ONLY. IT IS INTENDED TO PRODUCE RESULTS UNDER RECOGNIZED STANDARDS EVEN IF NOT ACTUALLY SHOWN BUT IS REASONABLY MEASURABLE THEREFROM.
- THE LANDSCAPE DESIGNER SHALL NOT BE RESPONSIBLE FOR PARTS OF OR ALL OF THIS BUILDING IF ANY CHANGES, ADDITIONS, REVISIONS, OR SUBSTITUTIONS ARE MADE IN THESE DRAWINGS OR SPECS. OR IN THE ACTUAL CONSTRUCTION OF THIS BUILDING WITHOUT THE CONSENT OF THE DESIGNER.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDER GROUND UTILITIES AND SERVICE PRIOR TO ANY DIGGING. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ALL DAMAGE CAUSED BY FAILURE TO DO SO.
- CONTRACTOR SHALL VERIFY WITH THE OWNER FOR ALL WORK TO THAT IS NOT TO BE PART OF THIS CONTRACT AND SHALL HAVE ALTERNATE BIDS OR OTHER MATERIALS OR OTHER METHODS OF CONSTRUCTION AS APPROVED BY OWNER OR DESIGNER.
- CONTRACTOR TO VERIFY ALL STRUCTURES, POOLS, RETAINING WALL ETC. TO BE DRAWN AND CALCULATED BY STRUCTURAL ENGINEER AND CORRESPONDING PERMITS HAVE BEEN OBTAINED.

STORMWATER POLLUTION PREVENTION NOTE

CONTRACTOR SHALL PREPARE AND SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE LOCAL AGENCIES FOR REVIEW AND APPROVAL PRIOR TO THE START OF CONSTRUCTION. THE SWPPP SHALL BE BASED ON THE CURRENT REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) FOR THE PROJECT. THE SWPPP SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SWPPP SHALL BE REVISED AS NEEDED TO REFLECT ANY CHANGES TO THE PROJECT OR THE REGULATIONS.

PAVING NOTES

- VERIFY WITH CITY DEPARTMENT FOR THE NEED OF REINFORCING BASE MATERIAL. USE A COMBINATION OF PRECAST CONCRETE OR SUB GRADE SOILS, REINFORCEMENT, MOISTURE BARRIERS/ DRAIN, AND SUB LAYER OF GRANULAR MATERIAL, ETC. FOR ALL WALKS, POOL DECKS, AND WALL FOOTINGS.
- USE COCKS TO APPLY TO ALL MATERIALS AND CONSTRUCTION.
- ALL COCKS TO OBTAIN A MIN. OF 2000 PSI AT 28 DAYS.
- ALL CONSTRUCTION TO BE PLUMB AND TRUE UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR TO PROVIDE PAVING SAMPLES TO HOMEOWNER FOR APPROVAL.
- USE APPROPRIATE EXPANSION JOINTS AS INSTALLED AT INTERVALS OF 10'-0" MAX. IN BOTH DIRECTIONS AND AT ANY CORNERS OR JUNCTION OF OTHER CONCRETE SLABS OR PERMANENT STRUCTURES.
- EXPANSION JOINTS - 1" PRE-MOLDED EXPANSION JOINT FILLER WITH 1/2" DEEP THICKNESS OR EQUAL JOINT SEALANT (1/2" SOLID FINISHED SURFACE WITH SAND FILL) TO BE WHERE PLANT WORK MEETS.
- ALL CONCRETE PLAT WORK TO HAVE 1/2" TOOLED RADUSED EDGE.
- ALL CONCRETE BANDS TO HAVE 3/4" O.C. DEEP-SCORE JOINTS.

REAR YARD RENOVATION NOTES:

- NO IRRIGATION WITHIN 40' REAR BLUFF SETBACK.
- DO NOT IRRIGATION ONLY OUTSIDE OF 40' SLOPE SETBACK ZONE - WITH SATELLITE CONTROLLER.
- NONPERMEABLE HARDSCAPE SHALL NOT EXCEED 50% OF TOTAL REAR YARD.

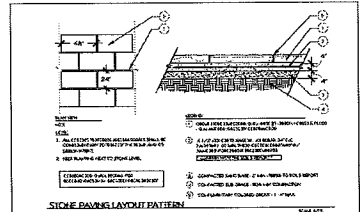
NOTE:
↑ = STEPS IN UP DIRECTION

NOTE:
ALL COLORS AND TEXTURES PROPOSED ARE TO BE COMPLEMENTARY TO THAT OF THE HOME.

NOTE:
THESE PLANS DEMONSTRATE DESIGN INTENT ONLY. THEY ARE NOT INTENDED TO COMMUNICATE CONSTRUCTION MEANS OR METHODS - FOR REFERENCE ONLY.

LIGHTING NOTE:
NO EXTERIOR LIGHTING SHALL BE PLACED OR MAINTAINED UPON ANY LOT SO AS TO CAUSE AN UNREASONABLE GLARE OR ILLUMINATION UPON ANY OTHER PRIVATE LOT.

ALL PROPOSED DECORATIVE ELEMENTS SUCH AS POTTERY, FIREPLACE, BBQ, AND GARDEN ART SHALL BE COMPLEMENTARY TO THE HOME, ITS COLOR, ARCHITECTURE, AND OVERALL DESIGN INTENT. ALL ELEMENTS TO BE OBSERVED WITH PLANTING FROM ALL OFF-SITE VIEWS.



No.	Revision / Issue	Date
1	City Review CDP	6-22-2016
2	City Review CDP	9-29-2016
3	City Review CDP	11-30-2016 12-2-2016

AMS LANDSCAPE DESIGN STUDIO
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Project Name and Address:
McNUTT RESIDENCE
24722 EL CAMINO CAPISTRANO
DANA POINT, CA 92629
Parcel #: 68220309
Lot 6 and the Eastern 5 feet of Lot 5, Block 1, Tract 573

Drawn:	DREW	Sheet:	4
Date:	Dec. 16, 2016		
Scale:	1" = 6'-0"		
PROJECT:	Coastal Dev. Permit Revised Plans II	of	6

HARDSCAPE LAYOUT PLAN

No.	Revision / Issue	Date
1	City Review CDP	6-22-2016
2	City Review CDP	9-29-2016

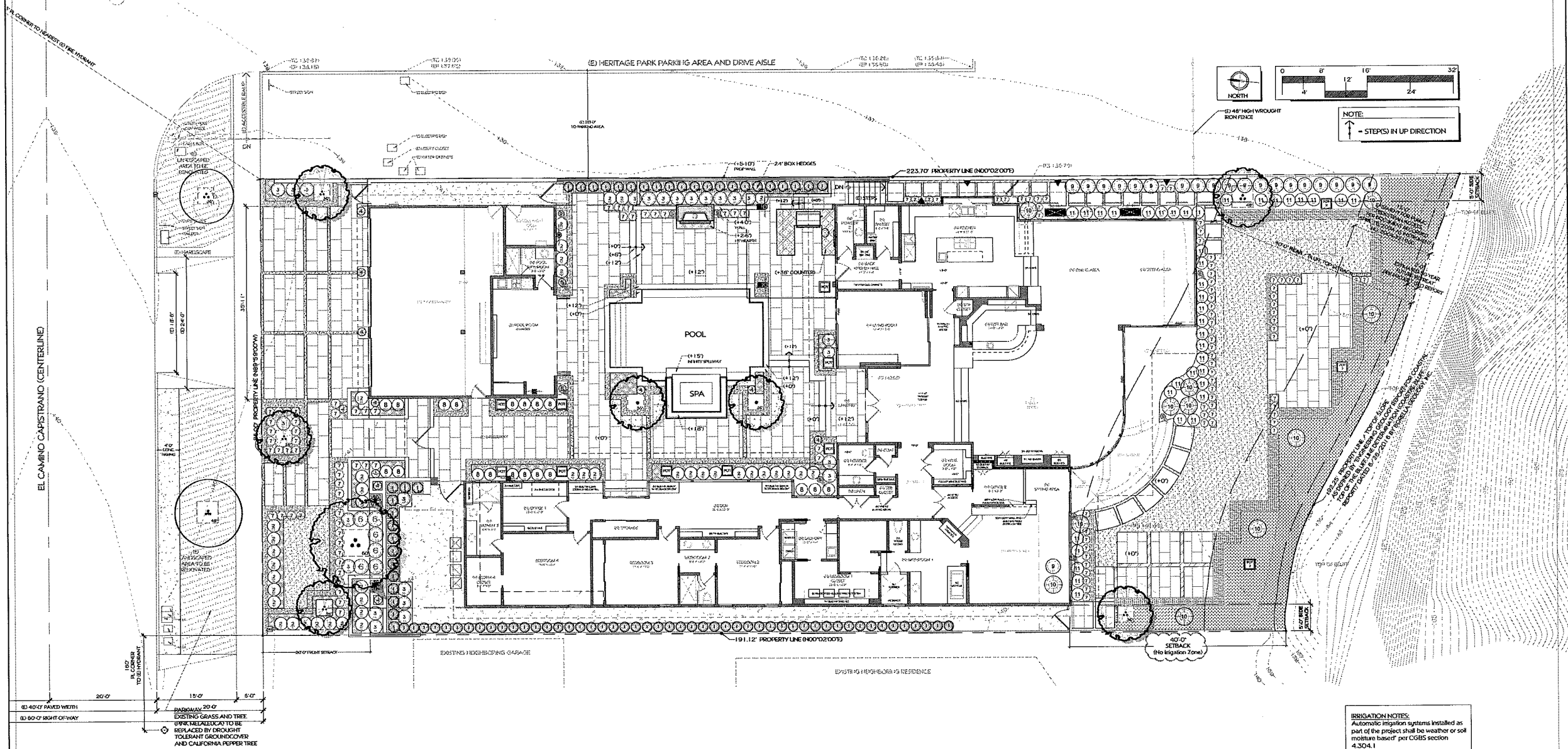
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McNUTT RESIDENCE
 24722 EL CAMINO CAPISTRANO
 DANA POINT, CA 92629
 Parcel # 6820309
 Lot 6 and the Eastern 5 feet of Lot 5, Block 1, Tract 573

Drawn:	DREW	Sheet	5
Date:	Oct. 29, 2016		
Scale:	1" = 6'-0"		
PROJECT:	Coastal Dev. Permit Residential (R)		

PLANTING PLAN &
 WATER USE
 CALCULATIONS



TREE LEGEND					
SYMBOL	NAME	QTY.	SIZE	SPACING	REMARKS
A	OLEA EUROPAEA FIELD OLIVE TREE NATIVE	1	LARGE (24" BOX)	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
B	SEMPERPARVULA TEXAS MOUNTAIN LAUREL NATIVE	5	36" BOX	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
C	SCURVIA MOLLE CALIFORNIA PEPPER TREE NATIVE	2	36" BOX (48" OC)	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
D	CUPRESSUS SEMPERVERIDENS ITALIAN CYPRESS	3	24" BOX	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
E	TRINITY TOWER ITALIAN CYPRESS CUPRESSUS SEMPERVERIDENS NATIVE	2	24" BOX	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
POTTERY LEGEND					
SYMBOL	NAME	QTY.	SIZE	SPACING	REMARKS
F	CUPRESSUS SEMPERVERIDENS ITALIAN CYPRESS	7	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
G	AGAVE DESMETIANA VANDERLINDIA NATIVE	3	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES

SHRUB LEGEND					
SYMBOL	NAME	QTY.	SIZE	SPACING	REMARKS
H	JAPANESE BLUEBERRY ELONCARIUS DECIDUUS NATIVE	34	24" BOX	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
I	PETITE BUTTERFLY SHRUB POLYTHALIA FRUTICOSA NATIVE	42	5 G	27" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
J	HESE SPECIOSA VARIETAL NATIVE	26	5 G	27" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
K	GREEN TOWER BERRYWOOD BUTIRUS SEMPERVERIDENS NATIVE	11	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
L	TRINITY TOWER ITALIAN CYPRESS CUPRESSUS SEMPERVERIDENS NATIVE	12	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
M	PITTOSPORA TENSIOBOLM TENSIOBOLM NATIVE	7	15 G	24" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
N	SEMPERPARVULA TEXAS MOUNTAIN LAUREL NATIVE	102	5 G	24" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
O	AGAVE DESMETIANA VANDERLINDIA NATIVE	19	5 G	24" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
P	SEMPERPARVULA TEXAS MOUNTAIN LAUREL NATIVE	329	1 G	12" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
Q	SEMPERPARVULA TEXAS MOUNTAIN LAUREL NATIVE	22	15 G	35" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
R	SEMPERPARVULA TEXAS MOUNTAIN LAUREL NATIVE	11	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
S	SEMPERPARVULA TEXAS MOUNTAIN LAUREL NATIVE	41	5 G	30" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES

VINE LEGEND					
SYMBOL	NAME	QTY.	SIZE	SPACING	REMARKS
T	MADAGASCAR JASMINE STERNA FLORENSIA NATIVE	2	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
U	STAR JASMINE TRACHELOSTEMA JASMINE NATIVE	3	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
V	BARBARA KAMT BOUGAINVILLEA NATIVE	3	15 G	PER PLAN	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
GROUND COVER LEGEND					
SYMBOL	NAME	QTY.	SIZE	SPACING	REMARKS
W	ROSA BANKSIAE ALBA PINK NATIVE	1547	1 G	12" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
X	ARTIFICIAL GRASS Turf NATIVE	1547	1 G	12" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
Y	WILD STRAWBERRY FRAGARIA CHLORANTHES NATIVE	314	1 G	12" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
Z	LANTANA MONTENEGRO WHITE TRAILING LANTANA NATIVE	2627	1 G	12" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
AA	BOUGAINVILLEA LAJOLLA BOUGAINVILLEA RED BUSH NATIVE	8822	1 G	12" OC	SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES
AB	EXISTING PLANTING MATERIAL ALONG EDGE OF SLOPE/BLUFF				SHOULD BE REPLACED BY DROUGHT TOLERANT SPECIES

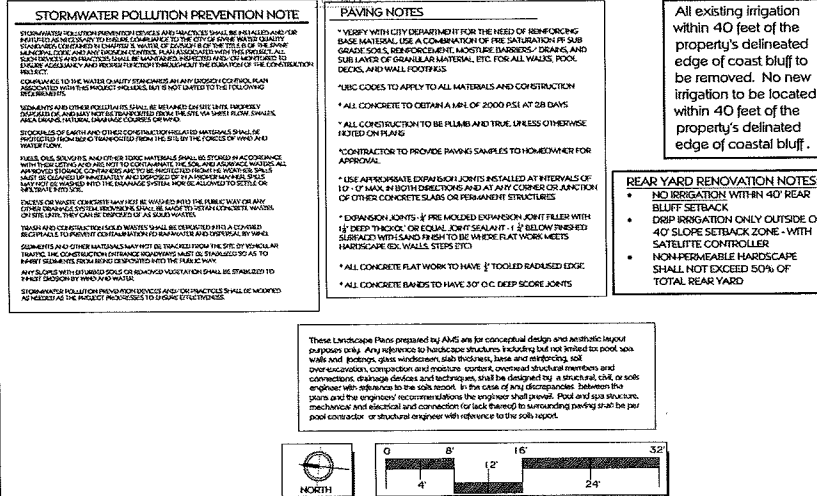
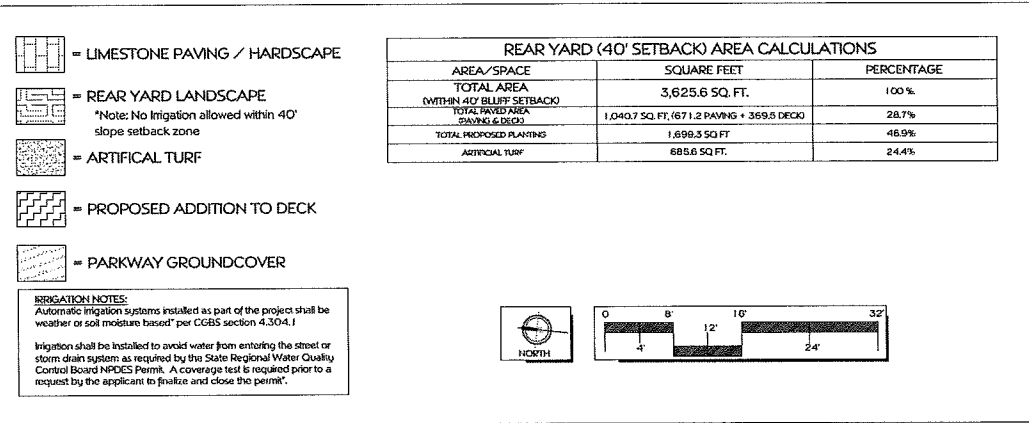
All existing irrigation within 40 feet of the property's delineated edge of coastal bluff to be removed. No new irrigation to be located within 40 feet of the property's delineated edge of coastal bluff.

IRRIGATION NOTES:
 Automatic irrigation systems installed as part of the project shall be weather or soil moisture based per CDBS section 4.304.1
 Irrigation shall be installed to avoid water from entering the street or storm drain system as required by the State Regional Water Quality Control Board NPDES Permit. A coverage test is required prior to a request by the applicant to finalize and close the permit.

NDES NOTE:
 The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum hydrocarbons, soil, particulate, construction waste materials, or wastewater generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

GRADING NOTE:
 The finish grade within 10 feet of the structure shall be sloped 2% away from the building for drainage purposes.

MAWA = (Eto x 0.7 x LA in Sq. Ft. x 0.62) + (Eto x 1.0 x LA in Sq. Ft. x 0.62) = Gallons per year
 MAWA: Front and Sides:
 [43.2 x 0.55 x 3846.3 x 0.62] + [43.2 x 1.0 x 478 x 0.62] =
 56,934.7 + 12,802.75 =
 MAWA = 69,737.4 gal./yr.
 EAWU = Eto x KL x LA x 0.62 + IE = Gallons per year
 EAWU:
 [43.2 x 0.55 x 3846.3 x 0.62] + 0.85 =
 72,113.57 + 0.85 = 84,839.4
 EAWU = 84,839.4 gal./yr.
 SEE SITE PLAN FOR ADDITIONAL SITE INFORMATION
 2016 MAWA calculated using an ET adjustment factor of 0.55 (dry 55% percent) for residential areas



REAR YARD
SPATIAL STUDY
PLAN

3

PLANS DEVELOPED PER PHONE CONVERSATION
WITH BELINDA DEINES:
COMBINED INFORMATION FROM SHEET 2 & 4 - TO
PROVIDE CLARIFICATION OF REAR YARD SPATIAL
LAYOUT WITHIN 40' BLUFF SETBACK