

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: September 26, 2016

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
LIANE SCHULLER, PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP15-0025 TO ALLOW
ADDITIONS AND ALTERATIONS TO AN EXISTING SINGLE-FAMILY
DWELLING LOCATED WITHIN A RESIDENTIAL SINGLE-FAMILY
(RSF-4) ZONING DISTRICT AT 103 MONARCH BAY

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP15-0025.

APPLICANT: R.D. Pinault Company

OWNERS: Steve and Kelly Ewles

REQUEST: Approval of a Coastal Development Permit to allow a 364 square-foot addition to an existing single-family dwelling located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 103 Monarch Bay (APN 670-121-53)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on September 15, 2016, published within a newspaper of general circulation on September 15, 2016, and posted on September 15, 2016 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes additions to an existing single-family dwelling that will result in an increase of less 50% of the existing floor area.

ISSUES:

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The project site is a 10,315 square-foot lot located oceanward of Pacific Coast Highway within Monarch Bay, a built-out neighborhood of single-family residences.

The property is zoned "Residential Single-Family 4" (RSF-4), and is located within the City's Coastal Overlay District (the California Coastal Zone) and within the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The project site currently contains a 3,640 square-foot, single-family residence and attached garage. The proposed scope of work includes the addition of an office and bathroom to the existing single-level, two bedroom/two bathroom home.

The development standards for this property are set forth by Zoning Code Chapter 9.09 (Residential Development Standards). New construction on this project site is required to observe a 20'-0" front setback, a 25'-0" rear setback, and 5'-0" side setbacks. The existing home and all proposed construction conform to these setbacks.

Proposed exterior finishes include stucco to match the existing structure, and new stone veneer on the addition and on the existing garage. A sliding door system along the front of the office will provide access to a small, enclosed patio at the front of the residence.

The project as designed complies with all applicable development standards, including setbacks, parking, lot coverage and height limits. No deviations are requested.

Coastal Development Permit CDP15-0025

Pursuant to Section 9.69.040 of the Dana Point Zoning Code, floor area additions of more than 10% to a single-family dwelling on land located in the City's Coastal Overlay District and the Appeals Jurisdiction of the California Coastal Commission require approval of a Coastal Development Permit (CDP). The proposed floor area addition, in conjunction with prior additions (2001), result in aggregate additions of more than 10%.

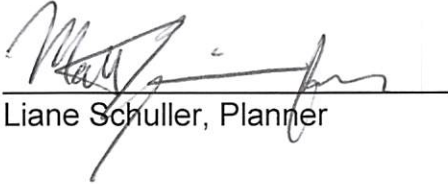
Section 9.69.070 of the DPZC stipulates a minimum of seven (7) findings to approve a Coastal Development Permit, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *If located between the nearest public roadway and the sea or shoreline of any body of water, be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following, and there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Recommended approval findings are set forth in the attached draft Resolution (Attachment 1).

CORRESPONDENCE: The only correspondence received to-date is a letter of project approval from the Monarch Bay Homeowners Association.

CONCLUSION: Staff finds that the proposed project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached draft Resolution, approving Coastal Development Permit 15-0025 subject to the findings and conditions of approval contained therein.



Liane Schuller, Planner



Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 16-09-25-xx

Supporting Documents

2. Vicinity Map
3. Homeowners Association Approval Letter
4. Site Photos
5. Color and Materials Exhibit
6. Architectural Plans

RESOLUTION NO. 16-09-26-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP15-0025 TO ALLOW ADDITIONS AND ALTERATIONS TO AN EXISTING SINGLE-FAMILY DWELLING LOCATED WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4) ZONING DISTRICT AT 103 MONARCH BAY

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, R. D. Pinault (the "Applicant") has filed an application on behalf of Steve and Kelly Ewles ("Owners"), the Owners of real property commonly referred to as 103 Monarch Bay Drive (APN 670-121-53) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow additions and alterations to an existing single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes additions to an existing single-family dwelling that will result in an increase of less than 50% of the existing floor area; and

WHEREAS, the Planning Commission did, on the 26th day of September, 2016, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP15-0025.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct and incorporated herein by this reference.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP15-0025 subject to conditions of approval:

Findings:

Coastal Development Permit CDP15-0025

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation. Moreover, adequate public access to public tidelands or areas of recreation exist nearby at City, County and State beaches and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) in that the project proposes additions to an existing single-family dwelling that will result in an increase of less than 50% of the existing floor area.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that the subject site is an already developed property located within an established area of residential uses with little to no natural landforms present, the proposed development includes minimal grading, and the project will be constructed in conformance with applicable regulations for flood and fire, minimizing undue risks from these or other hazards.
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that the proposed project would construct additions and alterations to an existing single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and so resulting in development of the property in a manner that is complementary to surrounding development in terms of size, mass and scale.
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs in that the subject project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.

Conditions:

General:

1. Approval of this application permits additions and alterations to an existing single-family dwelling at 103 Monarch Bay in accordance with the plans on file with the Community Development Department. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location of, or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions, spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved site plan, he/she may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. This resolution shall be copied in its entirety, placed directly onto a separate plan sheet behind the cover sheet of any plans submitted to the City of Dana Point Building/Safety Division for plan check.
6. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest, shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

7. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.

Prior to Issuance of a Building Permit:

8. The applicant shall submit a grading and drainage plan in compliance with all City of Dana Point standards for review and approval. The drainage plan shall show all drainage from proposed improvements being directed to an approved outlet.
9. A separate erosion control plan shall be included in the project plans. The erosion control plan shall address the potential erosion and sediment loss for the proposed hillside development.

Prior to Final Approval:

10. Public Works final approval will be required for all permits.
11. All structural best management practices (BMPs), including landscaping, shall be constructed and installed in conformance with approved plans and specifications.
12. The Applicant shall schedule a final onsite inspection with the Community Development Department that shall include a review of landscaping, finish architecture/materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 26^h day of September, 2016 by the following vote, to wit:

AYES:

NOES:

ABSENT:

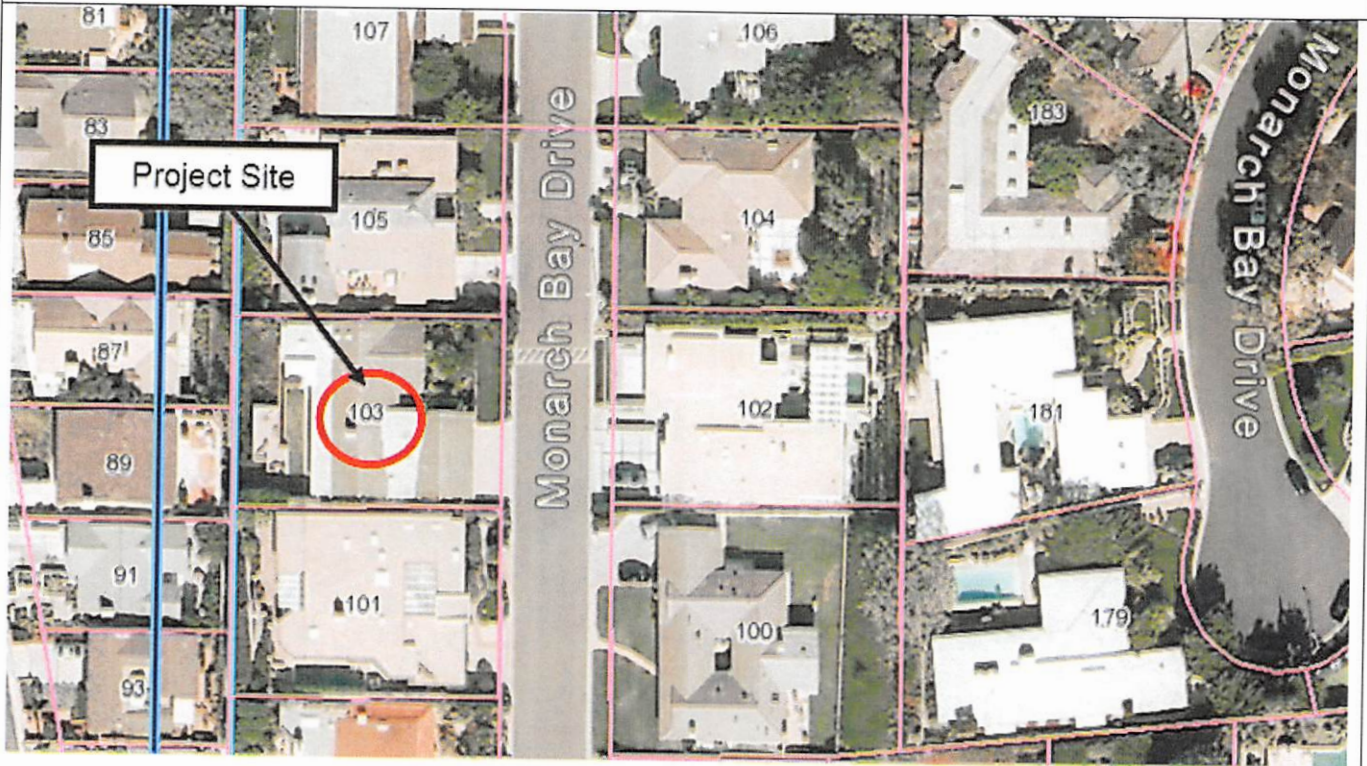
ABSTAIN:

April O'Connor, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department

VICINITY MAP



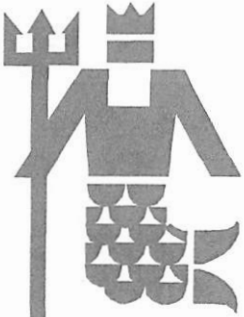
Project : CDP 15-0025

Project Applicant: R.D. Pinault

Location: 103 Monarch Bay Drive



Supporting Document #2



Monarch Bay Association

June 29, 2016

Steve & Kelly Ewles
103 Monarch Bay Drive
Monarch Beach, CA 92629

via e-mail

RE: 103 MONARCH BAY DRIVE
APPROVAL OF LANDSCAPE PLANS DATED 6/3/16 BY DESIGNSCAPES AND
APPROVAL OF HOME REMODEL PLANS DATED 2/16/16 BY R.D. PINAULT

Dear Mr. and Mrs. Ewles,

Thank you for submitting detailed, revised plans to the Monarch Bay Association Architectural Control Committee for the renovation of your front yard, rear yard and home addition, as well as the variances required to complete these plans including:

-A rear yard setback encroachment for the 7' high retaining wall to be built on the down slope, and its height will be no greater than the floor level of the existing home;

-The lot coverage for this home will reach 42%, which exceeds the maximum lot coverage provided in our Guidelines of 40%.

The Committee has reviewed and approved the plans as submitted. Two sets of stamped approved plans are available for pick up at our office.

Please note that a construction deposit of \$2,500 and additional review fees of \$1,000, made payable to the Monarch Bay Association are required at this time. The construction deposit will be refunded, minus road use fees pursuant to the attached schedule, upon the successful completion of your project.

We thank you for your on-going cooperation. We wish you luck with your project.

Respectfully,

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

CC: Board
MB/103/arch/variance, landscape and home remodel approval/06.29.16

c/o Progressive Community Management • 27405 Puerta Real • Suite 300 •

Mission Viejo, CA 92691 (949) 582-7770 • Fax (949) 582-7796

Supporting Document #3

RECEIVED
JUL 14 2016
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



103 McMurich Bay





Anderson Double Casement Windows.
Vinyl Clad White



Merlex P-138 HAYSTACK Smooth finish



Eagle "Bel Air" Slate Range

EWLES
103 MONARCH BAY DR.

From: **Robert Pinault** robert@rdpinaultcompany.com
Subject: RE: Ewles Pictures
Date: September 13, 2016 at 2:46 PM
To: Bob Pinault bob@rdpinaultcompany.com

Robert M Pinault



P: [714.632.9441](tel:714.632.9441) C: [714.326.7599](tel:714.326.7599)

1230 NORTH JEFFERSON ST., STE. D

ANAHEIM, CALIFORNIA 92807

CALIFORNIA LICENSE: [B466473](#)

www.rdpinaultcompany.com



Featured on  houzz

From: Robert Pinault

Sent: Tuesday, September 13, 2016 2:23 PM

To: Bob Pinault <bob@rdpinaultcompany.com>; Robert Pinault

<robert@rdpinaultcompany.com>

Subject: Ewles Pictures

Robert M. Pinault



www.rdpinaultcompany.com

1230 NORTH JEFFERSON STREET
SUITE D
ANAHEIM, CALIFORNIA 92807
CALIFORNIA LICENSE: B466473

VOICE: (714) 632-9441 | FAX: (714) 632-0549

EWLES
2016 SEP 13 PM 2:23

EWLES RESIDENCE

RESIDENTIAL REMODEL AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA 92629



ARCHITECT

RIMAS STASYS RUDYS
ARCHITECT, C-35484

PO BOX 1085
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105

E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR

R.D.PINAULT®
CUSTOM BUILDERS

R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807

T (714) 632-9441
F (714) 632-0549

C-MAIL: info@rdpinaultcompany.com

CA LIC # 468473

EWLES RESIDENCE
RENOVATION AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA

GENERAL NOTES

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING CODE, BASED ON THE 2013 INTERNATIONAL BUILDING CODE (IBC), AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.

THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO THE BEGINNING OF CONSTRUCTION AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE DESIGNER.

CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT WORK IS ABLE TO BE BUILT AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.

THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE WITH ALL SUBCONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER, TENANT, OR BOTH, WHICH ARE UNDER SEPARATE CONTRACT WITH THE OWNER, OR TENANT, OR BOTH.

THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OTHER DRAWINGS, AND JOB SPECIFICATIONS ARE SUPPLEMENTARY TO DESIGNER'S CONSTRUCTION DRAWINGS. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION.

THE INTENT OF DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LICENSED LABOR, COMMERCIAL GRADE MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.

CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH SECTION 3800 OF THE CALIFORNIA LABOR CODE.

THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT CONFIRMATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT.

THE DESIGNER'S APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS UNLESS HE HAS, IN WRITING, AND BROUGHT TO THE ATTENTION OF THE DESIGNER SUCH DEVIATIONS AT THE TIME OF THE SUBMISSION, NOR SHALL IT RELIEVE HIM (GENERAL CONTRACTOR) FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.

UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SUBMIT ONE BLUEPRINT SET AND ONE SEPA SET OF SHOP DRAWINGS. SHOP DRAWINGS SHOULD INCLUDE DETAILED DIAGRAMMATIC DRAWINGS, AND MATERIAL SCHEDULES. LOCATION AND ORIENTATION OF ALL ITEMS SHOULD BE CLEARLY INDICATED. BEGIN FABRICATION OF SHOP ITEMS AFTER RECEIVING DESIGNER'S APPROVAL OF SHOP DRAWINGS.

ANY WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DRAWINGS, WITHOUT THE PRIOR APPROVAL OF THE OWNER AND THE DESIGNER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

PROVIDE CONTINUOUS INSPECTION AS SET FORTH IN CBC CHAPTER 1, SECTION 110 AND PER CONTRACT DOCUMENTS AS NEEDED.

PRIOR TO THE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY FOR THIS PROJECT, THE GENERAL CONTRACTOR SHALL SUBMIT A SIGNED CERTIFICATE TO THE DEPARTMENT OF BUILDING AND SAFETY STATING THAT ALL WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NONRESIDENTIAL ENERGY.

DRAWING NOTES:

UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE FROM THE CENTERLINE OF THE COLUMNS TO THE FACE OF EITHER WALL STUD OR FINISHED FACE OF EXISTING WALLS. DO NOT SCALE DRAWINGS.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, UNLESS OTHERWISE NOTED.

VERIFY WITH ARCHITECT IF LARGE SCALE DRAWINGS AND DETAILS ARE TO TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

THE TERM "ALIGN", AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.

NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH CBC TABLE 307.1.1(1) AND CFC, AND STATE AND COUNTY REQUIREMENTS.

ALL APPLICABLE PERMITS (BUILDING, HAZARDOUS MATERIAL, ETC.) MUST BE OBTAINED PRIOR TO OCCUPANCY.

JOB SITE:

WHERE EXISTING TENANTS / BUSINESSES ARE ADJACENT TO THE JOB SITE / TENANT, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION NOISE - EXTREME NOISE CONSTRUCTION SHALL OCCUR AT NON-TYPICAL BUSINESS HOURS. CONTRACTOR SHOULD NOTIFY BUILDING REPRESENTATIVE OF SPECIAL CIRCUMSTANCES IN ADVANCE PRIOR TO WORK.

THE CONTRACTOR AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.

CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL INFORM THE BUILDING REPRESENTATIVE OF THE LOCATION OF DISPOSAL SITES.

CONTRACTORS SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB AFTER ITS COMPLETION. WHERE APPLICABLE, CLEANING SHALL INCLUDE, BUT NOT BE LIMITED TO, THE EXTERIOR AND THE INTERIOR OF THE BUILDING, THE PATH OF TRAVEL TO THE JOB SITE, PARKING LOTS, ELEVATORS, LOBBIES, AND CORRIDOR CARPETS.

THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION IN ACCORDANCE WITH CBC APPROPRIATE CHAPTER WHERE REQUIRED.

IF TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH ARE REQUIRED, OBTAIN NECESSARY ISSUANCE OF A BUILDING OR GRADING PERMIT.

INTERIOR / EXTERIOR:

CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALLS, FLOORS, ETC.

CONTRACTOR SHALL PROVIDE AND LOCATE WITH MECHANICAL CONTRACTOR ACCESS PANELS AS REQUIRED FOR MECHANICAL DUCTS, PLUMBING RUNS, ETC. ACCESS PANEL LOCATIONS ARE TO BE APPROVED BY DESIGNER PRIOR TO INSTALLATION.

EXTEND ALL STUDS AND WALL MATERIALS TO CONSTRUCTION ABOVE, UNLESS OTHERWISE INDICATED.

UNLESS OTHERWISE NOTED, ALL GYPSUM BOARD SURFACES, WALLS, AND CEILINGS SHALL BE TAPED AND FEATHERED SMOOTH TO RECEIVE A MINIMUM OF ONE COAT SEALER AND ONE COAT OF PAINT TO COVER.

WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILINGS AS NEEDED TO REFURBISH THE LEASE SPACE AND REPAIR ALL DAMAGES CAUSED BY CONTRACTOR.

INTERIOR WALL AND CEILINGS SHALL BE INSTALLED IN ACCORDANCE TO THE CBC, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.

ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 24 OF THE CBC.

WHEN USED, ALL NOISE BARRIER BATTS (SOUND INSULATION) AND INSULATION BATTS SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.

CONTRACTOR SHALL PROVIDE BACKING @ ALL PARTITIONS THAT REQUIRE MILLWORK INSTALLATION.

GC SHALL PROVIDE SUBMITTALS, SHOP DRAWINGS AND MATERIAL SAMPLES AS REQUESTED, AND FOR ALL DOORS, WINDOWS, CASEWORK, IN PLACE CONSTRUCTIONS, HARDWARE, FIXTURES, DEVICES AND FINISHES PRIOR TO ORDERING OR INSTALLING.

DOORS AND EXITS:

PER CBC SECTION 2406, GLASS DOORS, ADJACENT GLAZING PANELS AND ALL GLAZED OPENINGS WITHIN 18 INCHES OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARDS.

EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN THE AREA SERVED HAS AN OCCUPANT LOAD OF 50 OR MORE PEOPLE.

ALL EXITS ARE TO BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. PROVIDE A SIGN ON OR NEAR THE MAIN EXIT DOOR READING, "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".

ALL HARDWARE SHALL BE INSTALLED 3 FEET ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY & MATCH EXISTING CONDITIONS.

ALL HARDWARE TO BE LEVER-TYPE PER STATE OF CALIFORNIA, TITLE 24, AND THE ADA.

SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.

PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.

MAXIMUM UNDERCUT OF ALL DOORS SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.

THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT & MUST BE FULLY ACCESSIBLE.

CONTRACTOR SHALL REFRESH ANY BLEACHED DOORS OR REPLACE SAID DOOR IF NOT ABLE TO REFRESH TO "AS NEW" CONDITION.

ELECTRICAL:

WHERE EXIT SIGNS ARE REQUIRED SHALL BE ILLUMINATED PER CBC SECTION 1006. THE LOCATION SHALL BE COORDINATED WITH THE PLANNER.

PROVIDE BACK-UP POWER FOR EXIT SIGNS PER CBC SECTION 1006

EMERGENCY LIGHTING SHALL BE 2 SEPARATE SOURCES OF POWER AND SHALL COMPLY WITH THE CBC.

WHEN PLYWOOD BACKBOARDS ARE REQUIRED IN TELEPHONE AND ELECTRICAL EQUIPMENT ROOMS, THEY SHALL BE PAINTED TO MATCH ADJACENT WALL.

THE CENTER OF SWITCHES SHALL BE NO MORE THAN 48 INCHES ABOVE THE FLOOR, VERIFY AND MATCH EXISTING.

CENTERLINE OF 15, 20, AND 30 AMP RECEPTACLES SHALL NOT BE LESS THAN 18 INCHES CENTERED ABOVE FLOOR. FLOOR OUTLETS ARE ACCEPTABLE NEXT TO SLABING PANELS / WALLS AND OTHER SPECIAL CONVENIENT LOCATIONS.

EXIT ILLUMINATION SHALL BE FROM AN EMERGENCY SYSTEM WHERE EXISTING SYSTEMS SERVES AN OCCUPANT LOAD OF 100 OR MORE. [CBC SECTION 1006]

TITLE 24 - ENERGY COMPLIANCE:

ENVELOPE COMPLIANCE AND STATEMENT OF DESIGN COMPLIANCE: THE CALIFORNIA ENERGY CONSERVATION STANDARDS FOR NONRESIDENTIAL BUILDING SHALL BE REVIEWED AND COMPLIED WITH DURING THE CONSTRUCTION AND TENANT IMPROVEMENT WORK SCOPE OF THIS PROJECT.

VENTILATION:

UNLESS OTHERWISE NOTED, ALL ENCLOSED PORTIONS OF BUILDINGS CUSTOMARILY OCCUPIED BY PEOPLE SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENING EXTERIOR OPENINGS WITH AND AREA NOT LESS THAN 1/20 OF THE TOTAL FLOOR AREA, OR SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MIN. OF 15 CUBIC FEET PER MIN. OUTSIDE AIR PER OCCUPANT DURING SUCH TIME AS THE BUILDING IS OCCUPIED. IF THE VELOCITY OF AIR AT A REGISTER EXCEEDS 10 FEET PER SECOND, THE REGISTER SHALL BE PLACED MORE THAN 6 FEET ABOVE THE FLOOR DIRECTLY BENEATH. CBC SECTION 1203.4

UNLESS OTHERWISE NOTED, TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW AT LEAST 350 SQ. INCHES OR A VERTICAL DUCT NOT LESS THAN 100 SQ. INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 ADDITIONAL SQ. INCHES FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE AIR CHANGE EVERY 15 MINS. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENINGS WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. CBC SECTION 1203.4.2.1

PROJECT TEAM

GENERAL CONTRACTOR

RD PINAULT
1230 JEFFERSON STREET, STE. D
ANAHEIM, CA 92807
CONTACT: BOB PINAULT
PHONE: (714) 632-9441

ENGINEERING DESIGN/ BUILD BY GC- TO BE FILED UNDER
SEPARATE COVER

SHEET INDEX

- A0.1 TITLE SHEET
- A0.2 NOTES- TYPE 'V' CONSTRUCTION
- A0.3 NOTES- TYPE 'V' CONSTRUCTION
- A0.5 SITE PLAN- NEW WORK
- D1.1 DEMOLITION PLAN- NEW WORK
- A1.1 FLOOR PLAN- NEW WORK
- A1.2 PROPOSED DOOR AND WINDOW INFORMATION AND NOTES
- A1.5 REFLECTED CEILING PLAN- NEW WORK
- A1.6 ROOF PLAN- NEW WORK
- A2.1 BUILDING ELEVATIONS- NEW WORK
- A3.1 BUILDING WALL SECTIONS- NEW WORK
- A3.2 BUILDING WALL SECTIONS/ DETAILS- NEW WORK

BUILDING DATA

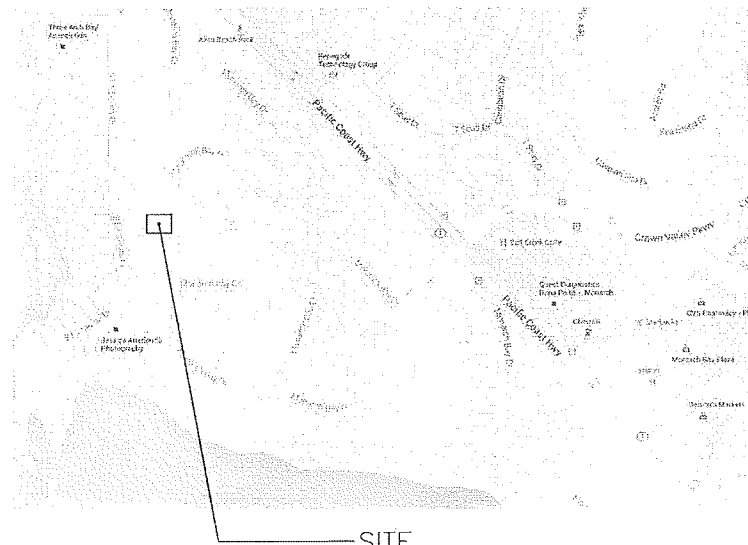
<u>BUILDING DEPT.</u>	CITY OF DANA POINT
<u>BUILDING CODE</u>	2013 CBC (CBC), 2013 CMC, 2013 CPC, 2013 CEC, TITLE 24 (ADA) , 2013 CA. ENERGY CODE & 2013 CGBSC, 2013 CA FIRE CODE AS ADOPTED BY THE CITY OF DANA POINT
<u>JOB SITE ADDRESS</u>	103 MONARCH BAY DRIVE DANA POINT, CA
<u>CONSTRUCTION TYPE</u>	TYPE V-B, SPRINKLERED
<u>OCCUPANCY GROUP</u>	R-3 (RESIDENTIAL), SINGLE FAMILY DWELLING
<u>APN</u>	67012153
<u>EXISTING SPACE:</u>	SEE SHEET A0.5 FOR SITE AND BUILDING AREA ANALYSIS
<u>EXISTING BUILDING AREA:</u>	APPROX. 3,640 SF
<u>PROPOSED ADDITION:</u>	APPROX. 364 SF
<u>TOTAL PROPOSED BUILDING AREA:</u>	APPROX. 4,004 SF
<u>NUMBER OF STORIES:</u>	1 - NO CHANGE
<u>BUILDING HEIGHT:</u>	ALLOWABLE: 28' - PER CITY OF DANA POINT APPROX 13'-6" TO TOP OF ROOF FRAMING - NO CHANGE

SCOPE OF WORK:

SCOPE OF WORK INCLUDES RENOVATIONS AND IMPROVEMENTS TO EXISTING RESIDENCE TO INCLUDE: NEW 364 SF ADDITION, NEW WOOD STUD FRAMED PARTITIONS, NEW EXTERIOR DOORS, NEW BATHROOM, NEW FINISHES, AND ASSOCIATED ELECTRICAL, PLUMBING & MECHANICAL PER NEW LAYOUT, NEW CEILING FINISH AND FIXTURES, NEW EXTERIOR FINISHES ON ENTRY ELEVATION.

EXTERIOR SITE SCOPE OF WORK TO INCLUDE NEW 42" TALL FRONT WALL, NEW HARDSCAPE, AND LANDSCAPING.

VICINITY MAP



SITE

103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
△	10/13/15	PERMIT SET	RR
△	01/23/16	CITY COMMENTS	RR
△	02/16/16	CCC COMMENTS	RR
△	07/11/16	OWNER REVISIONS	RR
△	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

All Drawings, Specifications and copies thereof furnished by Rimas Rudyš are and shall remain his property. They are to be used only with respect to this project. Further use without the reproduction, display, sale, or other disposition of this document without the express written consent of Rimas Rudyš.

DATE:	05-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES

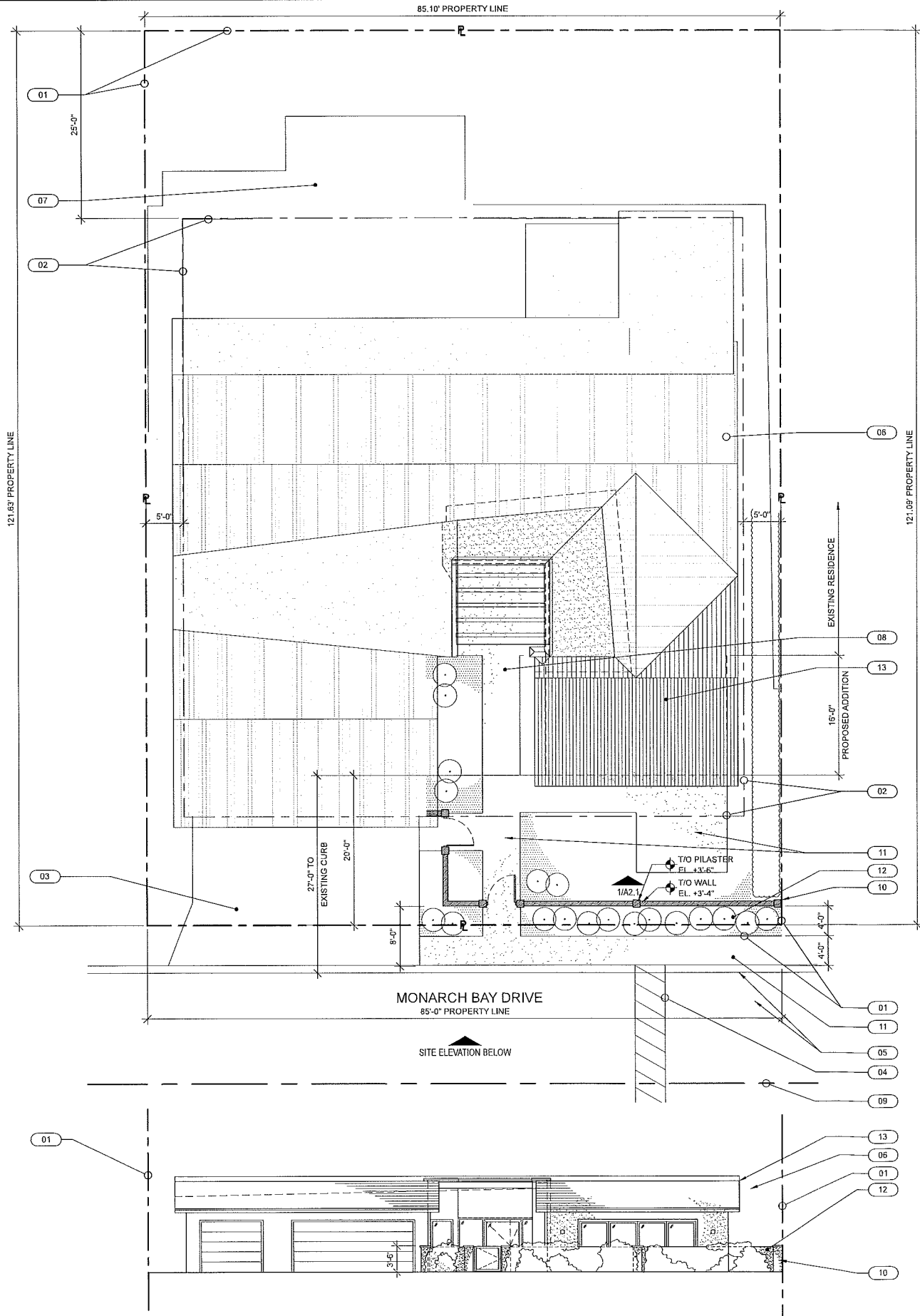
SCALE:	
SHEET TITLE:	24X36 SHEET SIZE

TITLE SHEET

SHEET NO:

A0.1

Journal of Management Inquiry 22(1) 3-17
© The Author(s) 2013
Reprints and permissions: sagepub.com/journalsPermissions.nav
DOI: 10.1177/1056492613505491
<http://jmi.sagepub.com>



SITE PLAN/ ELEVATION - PROPOSED
SCALE: 1/8" = 1'-0"



KEYED NOTES

- 01 EXTENT OF EXISTING PROPERTY- COORDINATE WITH SITE SURVEY AND CIVIL DRAWINGS
- 02 EXISTING SETBACK OR EASEMENT- LDR RESIDENTIAL ZONING SETBACKS INDICATED
- 03 EXISTING PAVED DRIVEWAY AND APRON TO REMAIN- SEE DEMO PLAN FOR MODIFICATIONS
- 04 EXISTING PAINTED CROSS WALK TO REMAIN
- 05 EXISTING ROADWAY AND CURB TO REMAIN
- 06 EXISTING SINGLE FAMILY RESIDENCE TO REMAIN- BUILDING OUTLINE SHOWN DASHED IN PLAN
- 07 EXISTING EXTERIOR DECK- UNCONDITIONED SPACE
- 08 EXISTING PAVER WALKWAY TO REMAIN
- 09 CENTER LINE OF EXISTING ROAD WAY
- 10 PROPOSED 42" TALL COURTYARD WALL- BLOCK WALL WITH STUCCO FINISH, 14" SQUARE PILASTERS WITH BRICK CAP- WALL TO EXTEND FROM EDGE OF PROPERTY TO EXISTING DRIVEWAY
- 11 NEW HARD SCAPE ACCESS TO TO EXISTING FRONT ENTRY, AND NEW SLIDING DOOR LANDING- MATCH EXISTING HARDSCAPE
- 12 PROPOSED PLANTING BEDS AND LANDSCAPING - SEE LANDSCAPE NOTES THIS SHEET FOR PLANT INFORMATION
- 13 PROPOSED ADDITION TO RESIDENCE- SEE DESIGN DRAWINGS FOR EXTENT OF WORK

NOTE: SEE LANDSCAPE ARCHITECT DRAWINGS FOR EXTENT OF NEW HARDSCAPE AND FINAL FINISH SELECTION

NOTE: SEE SHEET A1.1 FOR EXTENT OF NEW WORK

GENERAL NOTES

NOTE: FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING FOUNDATION AT A MINIMUM SLOPE OF 5% FOR A MINIMUM DISTANCE OF 10'-0" AROUND THE PERIMETER

NOTE: BUILDING ADDRESS MUST BE PLAINLY VISIBLE AND LEDGIBLE FROM STREET OR ROAD FRONTING PROPERTY. ADDRESS NUMBERS SHALL BE 4" IN HEIGHT, 1/2" STROKE WIDTH, AND OF CONTRASTING COLOR TO BACKGROUND

SITE CALCULATIONS

EXISTING ZONING: RSF 4
MAXIMUM ALLOWABLE LOT COVERAGE: 45%

EXISTING LOT SIZE: 10,316 SF

EXISTING COVERED AREA: 3,640 SF
EXISTING LOT COVERAGE: 35.3%

PROPOSED ADDITION: 364 SF
PROPOSED COVERED AREA: 4,004 SF
PROPOSED LOT COVERAGE: 38.8%

EXISTING RSF 4 ZONING SETBACKS TO REMAIN:

FRONT YARD 20'
SIDE YARD 5' INTERIOR SIDE
REAR YARD 25'

LANDSCAPING NOTES

BOUGAINVILLEA GLABRA PLANTS- COLOR PER OWNER'S DIRECTION- PROVIDE MIN. 8" CLEAR SPACE FROM PLANTS TO WALL, AND SPACE PLANTS APPROX 36" OC. LEAN PLANTS TOWARD GARDEN WALL DURING INITIAL PLANTING. INITIAL WATERING PER BEST PRACTICES

PROVIDE WELL DRAINING SOIL WITH A PH OF 5.5 - 6.5

PROVIDE CORROSION RESISTANT EYE SCREW AND WIRE ARMATURE FOR PLANT TRAINING AT NEW WALL



ARCHITECT

RIMAS STASY'S RUIDYS
ARCHITECT, C-35484

PO BOX 1685
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105

E-MAIL: RIMASRUIDYS@GMAIL.COM

GENERAL CONTRACTOR

R.D. PINAULT
CUSTOM BUILDERS

R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807

T (714) 632-9441
F (714) 632-0549

E-MAIL: info@rdpinaltcompany.com

CA LIC #: 466473

EWLES RESIDENCE
RENOVATION AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

All Drawings, Specifications and reports thereof furnished by Rimas Ruidys are and shall remain his property. They are to be used only with respect to this project. Federal law prohibits the reproduction, display, sale, or other disposition of this document without the express written consent of Rimas Ruidys.

DATE: 06-12-15

DRAWN: RR

REVIEWED: RR

PROJECT NO: EWLES

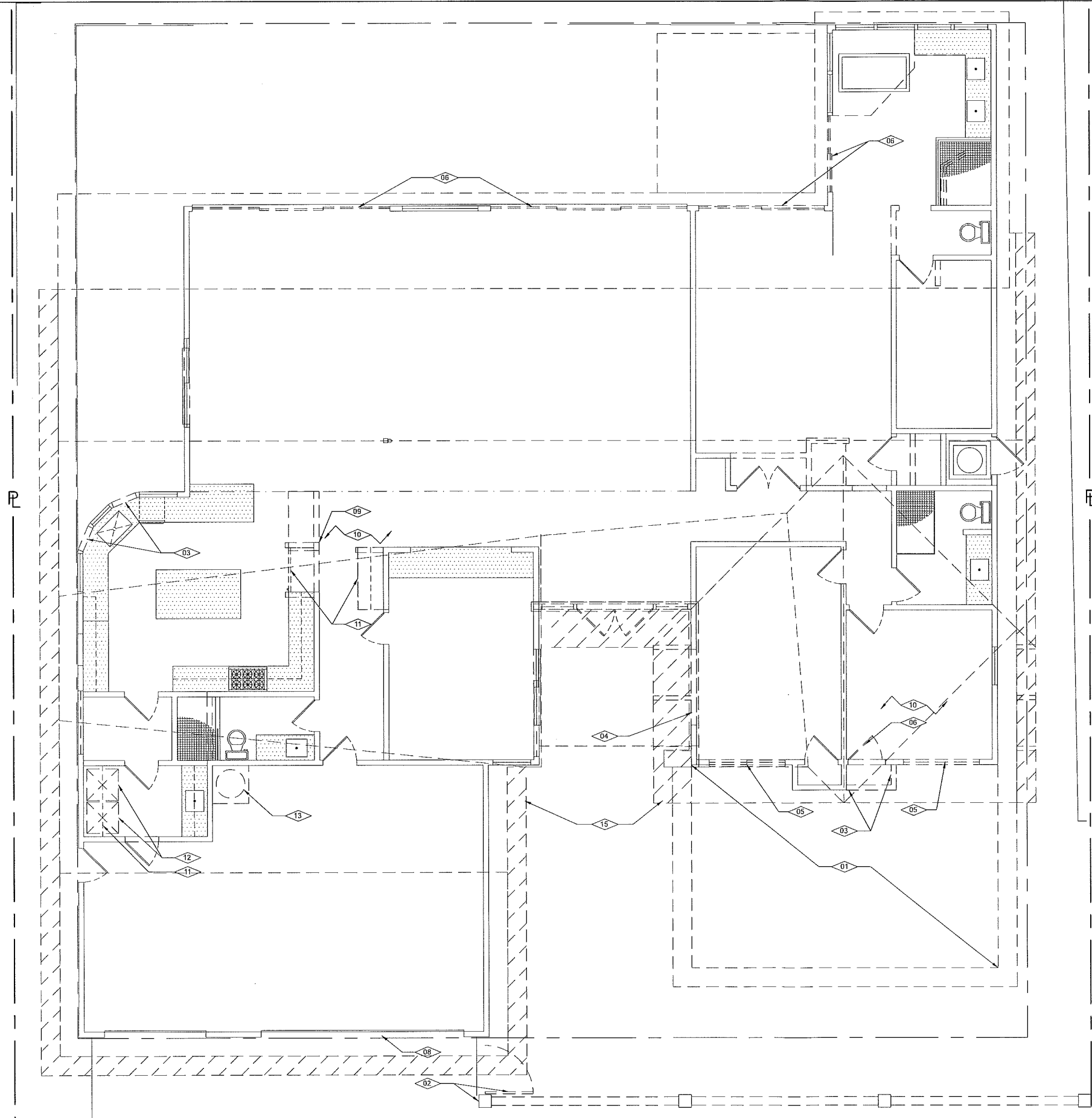
SCALE:

SHEET TITLE: 24X36 SHEET SIZE

SITE PLAN - PROPOSED

SHEET NO:

A0.5



DEMOLITION KEYED NOTES

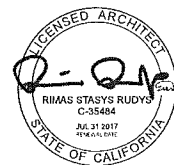
- 01 DEMO EXISTING SITE WHERE INDICATED FOR NEW ADDITION- COORDINATE WITH ALL PROPOSED WORK
- 02 DEMO EXISTING MASONRY PRIVACY WALL, FOUNDATION AND GATE COMPLETE- COORDINATE WITH ALL PROPOSED HARDSCAPE AND LANDSCAPE
- 03 SELECTIVELY DEMO EXISTING EXTERIOR WALL, ROOF, AND STRUCTURE WHERE INDICATED TO PREPARE FOR PROPOSED WORK- PROVIDE SHORING AS REQUIRED
- 04 DEMO EXISTING WALL WHERE INDICATED FOR NEW OPENING- COORDINATE WITH ALL PROPOSED WORK
- 05 DEMO EXISTING WINDOW AND CASING- COORDINATE FRAMING TO REMAIN WITH PROPOSED WORK
- 06 DEMO EXISTING DOOR AND CASING- COORDINATE FRAMING TO REMAIN WITH PROPOSED WORK
- 07 REMOVE EXISTING OPERATING WINDOW SASHES- PREP EXISTING WINDOW JAMBS FOR NEW FIXED SASH
- 08 MODIFY EXISTING EAVE AT REQUIRED REPAIR
- 09 DEMO EXISTING INTERIOR NON LOAD BEARING WALL- COORDINATE WITH ALL PROPOSED WORK
- 10 DEMO EXISTING FLOOR FINISHES AS REQUIRED FOR NEW WORK- PREPARE EXISTING SUBSTRATE TO REMAIN FOR PROPOSED FINISHES
- 11 DEMO EXISTING CASE WORK AND COUNTER TOP WHERE INDICATED- COORDINATE WITH PROPOSED NEW WORK
- 12 RELOCATE EXISTING APPLIANCES TO WHERE INDICATED- COORDINATE WITH PROPOSED NEW WORK
- 13 REMOVE EXISTING WATER HEATER- REUSE EXISTING ROUGH INS WHERE POSSIBLE- COORDINATE WITH PROPOSED NEW WORK
- 15 MODIFY EXISTING RAKES AND EAVES TO AN 18" OVERHANG- PREPARE EXISTING EAVES FOR NEW BOXED IN SOFFIT

WALL AND PARTITON LEGEND

- EXISTING INTERIOR DEMISING WALL- FINISH AS SCHEDULED
- EXISTING CONSTRUCTION TO BE DEMOLISHED- SEE SHEET D-1.1 FOR EXTENT OF DEMOLITION

DEMO PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

1 PLAN NORTH



ARCHITECT

RIMAS STASYS RUDYS
ARCHITECT, C-35484

PO BOX 1685
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105

E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR

R.D.PINAULT
CUSTOM BUILDERS

R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807

T (714) 632-9441
F (714) 632-0549

E-MAIL: info@rdpinaultcompany.com

CALIC #: 466473

EWLES RESIDENCE RENOVATION AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

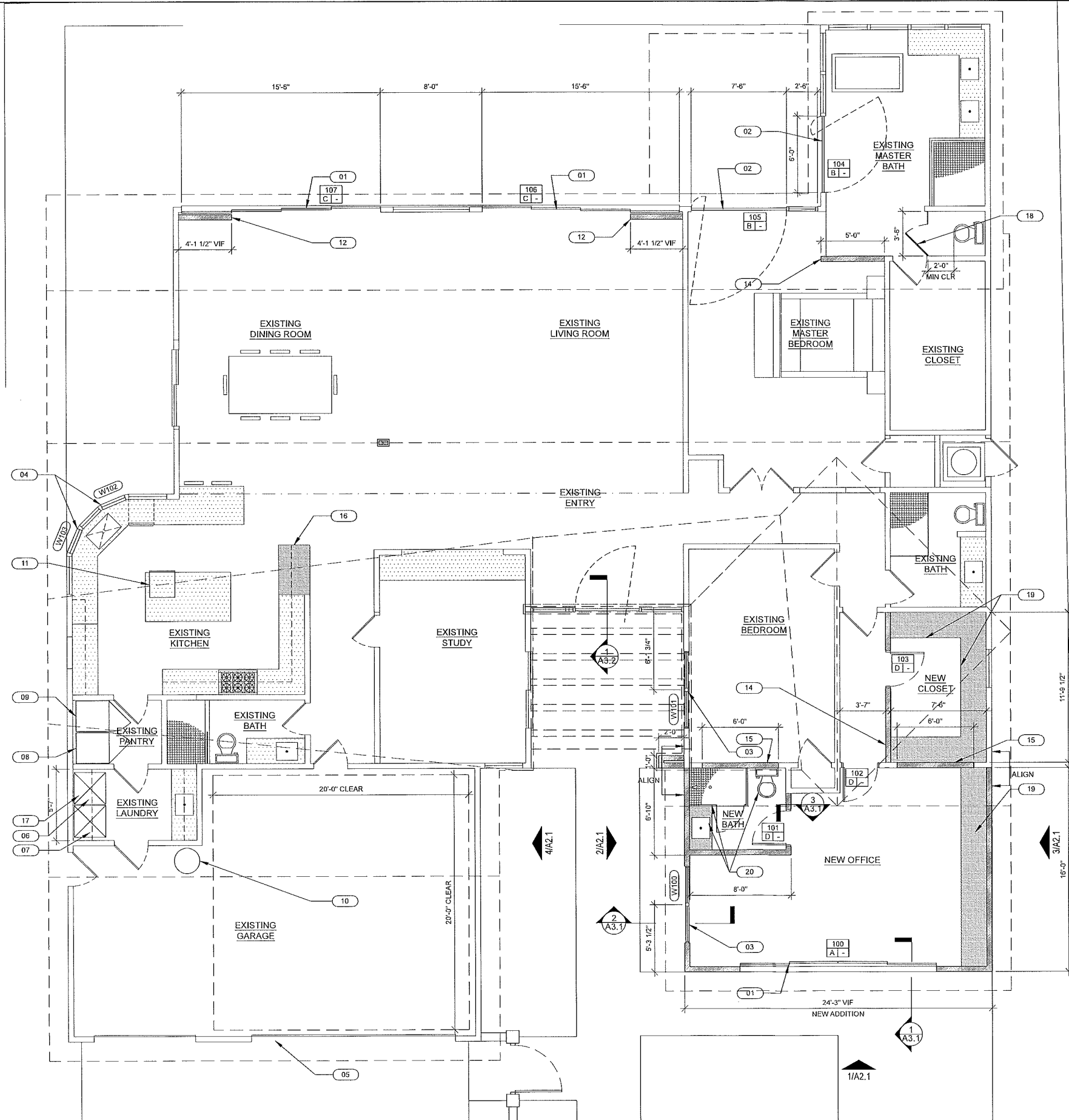
All Drawings, Specifications and copies thereof furnished by Rimas Rudys are and shall remain its property. They are to be used only with respect to this project. Federal law prohibits the reproduction, copying, sale, or other disposition of this document without the express written consent of Rimas Rudys.

DATE:	06-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES
SCALE:	
SHEET TITLE:	24X36 SHEET SIZE

FLOOR PLAN - DEMOLITION

SHEET NO:

D1.1



KEYED NOTES

- 01 NEW MULTI SLIDE EXTERIOR DOOR- CLAD WOOD AND TEMPERED INSULATED GLASS- SEE SHEET A1.2 FOR DOOR INFORMATION
- 02 NEW EXTERIOR PIVOT DOOR- CLAD WOOD AND TEMPERED INSULATED GLASS- SEE SHEET A1.2 FOR DOOR INFORMATION
- 03 NEW OPERABLE EXTERIOR WINDOW, STYLE AND CONSTRUCTION TO MATCH EXISTING- SEE SHEET A1.2 FOR WINDOW INFORMATION
- 04 NEW FIXED EXTERIOR WINDOW, STYLE AND CONSTRUCTION TO MATCH EXISTING- SEE SHEET A1.2 FOR WINDOW INFORMATION
- 05 REPAIR WORK AT EXISTING EAVES AND FASCIA
- 06 NEW DRIER, VENT TO EXTERIOR, COORDINATE WITH ALL TRADES
- 07 NEW WASHER- COORDINATE WORK WITH ALL TRADES
- 08 NEW FREEZER
- 09 NEW REFRIDGERATOR
- 10 WATER HEATER- PROVIDE SEISMIC STRAPPING PER CODE
- 11 NEW DISHWASHER WITH CABINET PANEL- COORDINATE WITH ALL TRADES
- 12 FRAMED POCKET FOR NEW MULTI SLIDE DOOR- FINISH TO COMPLEMENT EXISTING FINISHES
- 13 NEW DISHWASHER WITH CABINET PANEL- COORDINATE WITH ALL TRADES
- 14 NEW FRAMED INTERIOR WALL TO MATCH EXISTING
- 15 INFILL AT EXISTING OPENINGS TO MATCH AND ALIGN WITH EXISTING ADJACENT CONSTRUCTION
- 16 NEW COUNTER AND BASE CABINETS- EXTENT AND FINISH TO BE DETERMINED
- 17 EXISTING SHELF AT EXISTING LAUNDRY- ADJUST AS REQUIRED
- 18 NEW TEMPERED AND FROSTED GLASS DOOR AT EXISTING WASH CLOSET WITH MATCHING SIDELITE
- 19 NEW CASEWORK- EXTENT AND FINISH TO BE DETERMINED
- 20 NEW PLUMBING FIXTURE- COORDINATE INSTALLATION WITH ALL TRADES

GENERAL NOTES

- ALL SAFETY GLAZING TO CONFORM WITH HUMAN IMPACT LOADS OF R308.3 EXCEPT FIXED AND OPERABLE PANELS OF SWINGING AND SLIDING DOORS. GLAZING IN INDIVIDUAL FIXED PANELS
- EXTERIOR GLAZED OPENINGS IN WINDOWS AND DOORS, INCLUDING GARAGE DOORS, SHALL BE CONSTRUCTED OF MULTI-PANE GLAZING W/ MIN. (1) TEMPERED (SAFETY GLAZED) PANE.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE (A) NET CLEAR AREA OF 5.7SF (5.0 SF AT GRADE) (B) MINIMUM NET CLEAR HEIGHT DIMENSION SHALL BE 24" (C) MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20" (D) BOTTOMS SHALL NOT BE GREATER THAN 44" FROM THE FLOOR.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREAS. NATURAL VENTILATION SHALL BE THROUGH APPROVED OPENING TO OUTDOOR AIR. MINIMUM OPERABLE AREAS TO OUTDOORS SHALL BE 4% OF THE FLOOR AREA VENTILATED.
- EXTERIOR DOOR SURFACE CLADDING SHALL BE NON-COMBUSTIBLE, OR THE STILES/RAILS SHALL NOT BE LESS THAN 1-3/8" THICK AND RAISED PANELS NOT LESS THAN 1-1/4" THICK, OR BE OF 20-MINUTE RATED.

LEGEND

- EXISTING CONSTRUCTION TO REMAIN- FINISH AS INDICATED
- NEW NON LOAD BEARING INTERIOR WALL TO EXTEND TO UNDERSIDE OF EXISTING STRUCTURE- GYP BD OVER STUD FRAMING- FINISH AS SCHEDULED
- MILLWORK SEE SHEET AX.X

DOOR AND WINDOW TAG

- DOOR NUMBER
- DOOR HARDWARE SET, SEE SHEET A1.2
- DOOR TYPE, SEE SHEET A1.2
- WINDOW TYPE, SEE SHEET A1.2

FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



ARCHITECT

RIMAS STASY'S RUDYS
ARCHITECT, C-35484

PO BOX 1685
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105

E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR



R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807

T (714) 632-9441
F (714) 632-0549

E-MAIL: info@rdpinaltcompany.com

CA LIC #: 466473

EWLES RESIDENCE
RENOVATION AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

All Drawings, Specifications and related information furnished by Rimas Rudys are the property of Rimas Rudys. They are to be used only with respect to this project. Reproduction, distribution, or other use without the express written consent of Rimas Rudys is prohibited.

DATE:	06-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES
SCALE:	
SHEET TITLE:	24X36 SHEET SIZE

FLOOR PLAN - PROPOSED

SHEET NO:

A1.1

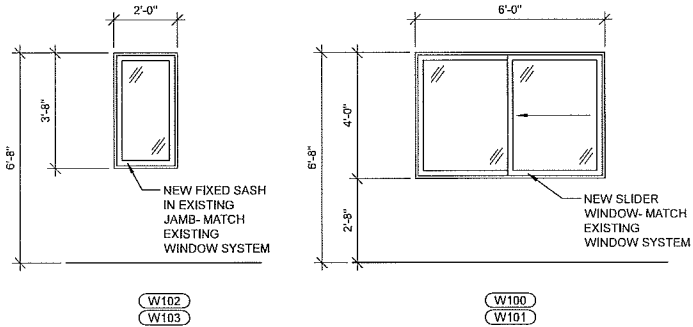
WINDOW AND DOOR NOTES

- THE BOTTOM OF THE NET CLEAR OPENING IS NOT GREATER THAN 44 INCHES MEASURED FROM THE FINISHED FLOOR TO THE CLEAR OPENING, AND
- THE MINIMUM NET CLEAR OPENING AREA OF 5.7 SQUARE FEET IS PROVIDED, AND EXCEPTION: NET CLEAR OPENING SPACE OF 5 SQUARE FEET IS ALLOWED FOR WINDOWS AT GRADE LEVEL.
- THE NET CLEAR OPENING HEIGHT OF 24 INCHES IS PROVIDED, AND
- NET CLEAR OPENING WIDTH OF 20 INCHES IS PROVIDED.

GLAZING INSTALLED IN WINDOWS AND DOORS SHALL MEET THE HAZARDOUS LOCATIONS REQUIREMENTS AS SPECIFIED IN CRC R308.6.2. LAMINATED, TEMPERED OR OTHER APPROVED SAFETY GLAZING IS REQUIRED IN THE FOLLOWING LOCATIONS:

- GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHEN ALL OF THE FOLLOWING CONDITIONS APPLY:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET, AND
 - THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, AND
 - ONE OF MORE WALKING SURFACES LOCATED WITHIN 36 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING.
- ANY GLASS (DOORS AND/OR WINDOWS) LESS THAN 5' FROM WATER'S EDGE SHALL BE TEMPERED.

- ALL HABITABLE ROOMS SHALL HAVE WINDOWS WITH THEIR TOTAL AREAS EQUALING AT LEAST 8% OF THE ROOM'S FLOOR AREA AND WITH THEIR TOTAL OPENING AREA EQUALING AT LEAST 4% OF THE ROOM'S FLOOR AREA.
 - ALL WINDOWS REQUIRE A PERMANENT CALIFORNIA ENERGY COMMISSION CERTIFICATION LABEL.
 - REPLACEMENT WINDOW INSTALLATIONS, WITHOUT A PERFORMANCE ENERGY ANALYSIS, SHALL COMPLY WITH THE MANDATORY MEASURES PRESCRIPTIVE REQUIREMENTS. HIGH PERFORMANCE WINDOWS ARE REQUIRED, REDUCING THE U-FACTOR DOWN TO 0.32 AND THE SHGC DOWN TO 0.25 PER THE 2013 CALIFORNIA ENERGY CODE SECTION 150.1(C)3A.
 - GC TO COORDINATE LOCATION(S) OF PERMANENTLY INSTALLED DOOR ALARM(S) (FROM RESIDENCE TO POOL AREA) WITH PROPOSED POOL DESIGN
- ALARMS ARE REQUIRED TO PROVIDE ALL OF THE FOLLOWING:
- SOUND A 30 SEC. CONTINUOUS SOUND WITH A MAXIMUM 7 SEC. DELAY;
 - ALARM SHALL PROVIDE AN 85 DBA, ALARM @ A 10 FT. DISTANCE WITH AN AUTOMATIC RESET;
 - HAVE A MAXIMUM TEMPORARY MANUAL DEACTIVATION PERIOD OF 15 SECONDS;
 - BE LOCATED AT A MINIMUM OF 54" HEIGHT ABOVE THE FINISHED FLOOR; OR
 - IF THE DOOR IS SELF-CLOSING, SELF-LATCHING WITH THE LATCH LOCATED AT A MINIMUM OF 54" HEIGHT ABOVE THE FINISHED FLOOR, AN ALARM IS NOT REQUIRED.

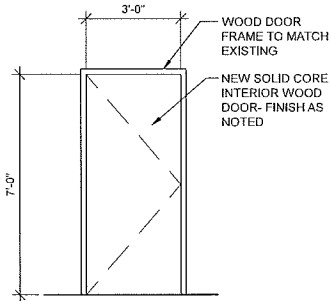


NOTE: VERIFY ALL HEAD AND SILL HEIGHTS AND OTHER DIMENSIONS PRIOR TO ORDERING DOORS OR WINDOWS, TYP.

WINDOW ELEVATIONS - PROPOSED

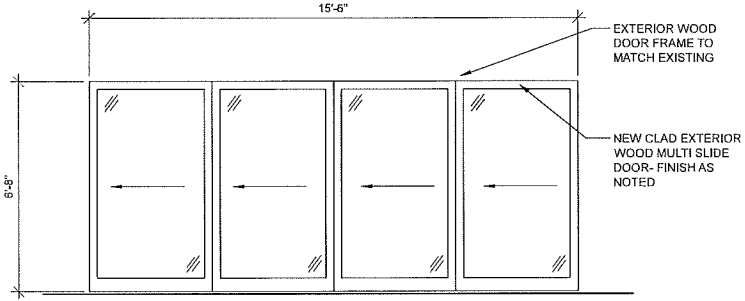
SCALE: 3/8" = 1'-0"

2



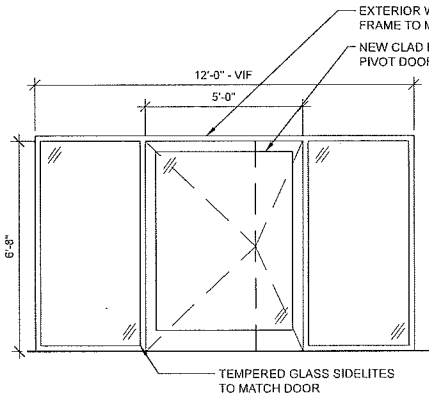
TYPE 'D'

NOTE: ALL DOOR HARDWARE TO MATCH EXISTING FINISH AND STYLE
NOTE: SEE FLOOR PLAN FOR DOOR SIZE AT TYPE 'B'



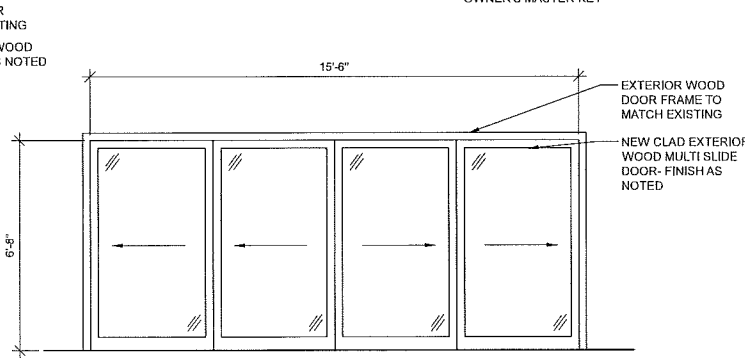
TYPE 'C'

NOTE: SEE FLOOR PLAN FOR PROPOSED DOOR OPERATION OR SWING DIRECTION
NOTE: KEY EXTERIOR DOORS TO OWNER'S MASTER KEY



TYPE 'B'

NOTE: ALL DOORS PROVIDING ACCESS FROM RESIDENCE TO PROPOSED POOL ENCLOSURE SHALL BE ALARMED OR SELF-CLOSING/ SELF LATCHING



TYPE 'A'

NOTE: ALL DOOR GLAZING TO BE TEMPERED

DOOR ELEVATIONS - PROPOSED

SCALE: 3/8" = 1'-0"

1

RESIDENTIAL KITCHEN RENOVATION NOTES

ELECTRICAL

ALTERATION AND/OR RENOVATION OF THE KITCHEN TRIGGER THE UPGRADE TO CURRENT ELECTRICAL CODE COMPLIANCE CONSISTING OF THE FOLLOWING:

- ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. CEC 210.8(A)(6)
- 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. CEC 210.52(C)(1)
- OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. CEC 210.52(C)(1)
- KITCHEN OUTLETS MUST BE POSITIONED A MAXIMUM 20" ABOVE COUNTER TOP. 210.52(C)(5)
- APPLIANCE GARAGE OUTLETS ARE NOT COUNTED AS A REQUIRED COUNTERTOP OUTLETS. 210.52(C)(5)E
- APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIRING EACH SIDE TO COMPLY INDIVIDUALLY. CEC 210.52(C)
- THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACK SPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE TYPE RECEPTACLE. 210.52(C)(2), (3), (4)

- 2 – 20 AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR KITCHENS. THE LOADS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. 210.52(B)(1),(2).

- INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. 210.11(C)(1) & 422.10(A)

- THE GARBAGE DISPOSAL CORD IS LIMITED TO A RANGE OF 18" TO 36" LONG. CEC 422.16(B)(1)

- THE DISHWASHER CORD IS LIMITED TO A RANGE OF 36" TO 48" LONG. SHEATHED CABLE (ROMEX) MAY NOT BE INSTALLED WITH A PLUG. IT IS NOT AN APPROVED FLEXIBLE CORD. CEC 422.16(B)(2)

- A MINIMUM 15 AMP BRANCH CIRCUIT (SEPARATE CIRCUIT) IS REQUIRED FOR BOTH THE DISHWASHER AND DISPOSAL. CEC 210.23(A)

- A MINIMUM 20 AMP BRANCH CIRCUIT (SEPARATE CIRCUIT) IS REQUIRED FOR THE MICROWAVE OR MICROWAVE HOOD COMBINATION.

- IF USING A SPLIT OUTLET (2 CIRCUITS ON THE SAME YOLK) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE 2 CIRCUIT BREAKERS AT THE PANEL. CEC 210.7(B)

- RESIDENTIAL KITCHEN LIGHTING IS REQUIRED TO MEET THE ENERGY EFFICIENCY STANDARDS. THIS REQUIRES 50% OF KITCHEN LIGHTING WATTAGE TO BE HIGH EFFICACY LUMINARIES. PROVIDE A LIGHTING SCHEDULE TO VERIFY COMPLIANCE. CALIFORNIA RESIDENTIAL COMPLIANCE MANUAL (CRCM) 6.1.2(1)

- IC (DIRECT CONTACT) AND AT (AIR TIGHT) RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING. FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS. CRCM 6.1.2

- FLUORESCENT RECESSED LIGHTING WHEN USED TO COMPLY WITH THE LIGHTING REQUIREMENTS MUST BE OF A PIN BASE TYPE DESIGN. INCANDESCENT SCREW TYPE BASE ARE NOT APPROVED. CRCM 6.2.1

- INCANDESCENT AND FLUORESCENT LIGHTING MUST BE ON SEPARATE SWITCHES. CRCM 6.2.1 & CEES 150(K)2

MECHANICAL

ALTERATION AND/OR RENOVATION OF THE KITCHEN TRIGGER THE UPGRADE TO CURRENT MECHANICAL CODES COMPLIANCE CONSISTING OF THE FOLLOWING:

- A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT NOT APPROVED. PROVIDE A BACK DRAFT DAMPER. CMC504.2.

- DUCTS FOR DOMESTIC DOWNDRAFT GRILL/RANGE VENTILATION INSTALLED UNDER A CONCRETE SLAB MAY BE OF APPROVED SCHEDULE 40 PVC PROVIDED.

- THE UNDER FLOOR TRENCH IN WHICH THE DUCT IS INSTALLED SHALL BE COMPLETELY BACKFILLED WITH SAND OR GRAVEL.
- NOT MORE THAN 1" OF 6" DIAMETER THE PVC COUPLING MAY PROTRUDE ABOVE THE FLOOR SURFACE.
- PVC PIPE JOINTS SHALL BE SOLVENT CEMENTED TO PROVIDE AN AIR AND GREASE TIGHT DUCT.
- THE DUCT SHALL TERMINATE ABOVE GRADE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER.

- MINIMUM 30" VERTICAL CLEARANCE TO COMBUSTIBLES FROM COOK TOP SURFACE IS REQUIRED. CMC504.2

- KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRA 62.2. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100CFM.

- THE SIZE AND LENGTH OF THE DUCTING MUST BE DETAILED ON THE PLAN.

SMOKE/ CARBON MONOXIDE ALARMS

- SMOKE ALARMS ARE REQUIRED IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH FLOOR LEVEL INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NO INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

- CARBON MONOXIDE ALARMS ARE REQUIRED IN DWELLING UNITS AND SLEEPING UNITS WHEN FUEL-BURNING APPLIANCES ARE INSTALLED AND/OR DWELLING UNITS HAVE ATTACHED GARAGES. EITHER CONDITION REQUIRES THE ALARMS.

- WHEN MORE THAN ONE ALARM OF EITHER TYPE IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE OTHER ALARMS.

- IN EXISTING CONDITIONS, ALARMS MAY BE BATTERY OPERATED WHEN THE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF THE WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF AN ATTIC, BASEMENT OR CRAWLSPACE.

- MULTIPURPOSE ALARMS THAT COMBINE BOTH A SMOKE ALARM AND CARBON MONOXIDE ALARM SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF BOTH CRC SECTIONS R314 AND R315 AND BE LISTED BY THE OFFICE OF THE STATE FIRE MARSHAL.

RESIDENTIAL BATHROOM RENOVATION NOTES

ELECTRICAL

- PROVIDE A 20 AMP GFCI PROTECTED ELECTRICAL OUTLET WITHIN 36" OF THE OUTSIDE EDGE OF EACH BATHROOM SINK BASIN. OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE COUNTERTOP.

- A MINIMUM OF (1) 20 AMP CIRCUIT IS REQUIRED FOR BATH ROOMS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. CEC 210.11(C)(3)

- NO PENDANT LIGHT FIXTURES IN A ZONE 3' AWAY AND 8' ABOVE THE STANDING SURFACE OF THE BATHTUB OR SHOWER.

- LUMINAIRES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSIONS OF THE TUB OR SHOWER, UP TO 8 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD, SHALL BE MARKED AS SUITABLE FOR DAMP LOCATIONS, PROVIDED WITH A SOLID LENS AND BE GFCI PROTECTED.

- BATHROOM LIGHTING SHALL BE HIGH EFFICACY LUMINARIES (40 LUMENS PER WATT) OR CONTROLLED BY A VACANCY (OCCUPANCY) SENSOR CERTIFIED TO COMPLY WITH SEC 150.0(K)5 CEES. THIS IS A MANUAL ON, AUTO OFF DEVICE. AUTOMATIC ON OR DEVICES WITH AN OVERRIDE SWITCH POSITION ARE NOT APPROVED. HIGH EFFICACY, INCANDESCENT LIGHTING OR FANS ARE REQUIRED TO BE SWITCHED SEPARATELY. AT LEAST ONE (1) HIGH EFFICIENCY LUMINAIRE SHALL BE PROVIDED IN EACH BATHROOM PER 2013 CEES 150.0(K)5

- RECESSED LUMINARIES INSTALLED IN AN INSULATED CEILING SHALL BE IC RATED (ZERO CLEARANCE) AND AT RATED (AIR TIGHT) AND SHALL BE SEALED AND HAVE A GASKET BETWEEN CEILING AND HOUSING. FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION. THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.

PLUMBING

- PROVIDE TEMPERED GLASS AT TUB/SHOWER DOORS AND AT WINDOWS LESS THAN 60" FROM TUB/SHOWER DRAIN

- SHOWER AND TUB/SHOWER CONTROL VALVES SHALL BE PRESSURE BALANCING / THERMOSTATIC PER CPC 408.3

- MULTIPLE SHOWERHEADS SERVING ONE SHOWER, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE SPECIFIED IN THE 20% REDUCTION COLUMN CONTAINED IN CGBS TABLE 4.303 OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.

- FIXTURES SHALL MEET THE FOLLOWING MAXIMUM FLOW RATES: WATER CLOSETS = 1.28 GPM - SHOWER HEADS = 2.0 GPM - SINK FAUCETS = 1.5 GPM.

- MINIMUM SHOWER SIZE IS 1024 SQUARE INCHES (30" CIRCLE) CPC 408.6

- SITE BUILT SHOWER STALLS SHALL COMPLY WITH CPC 408.6

- STALL SHOWER DOOR TO OPEN OUT A MINIMUM OF 22" WIDE OPENING. CPC 408.5

- TOILET AND/OR BIDET REQUIRE A TOTAL MINIMUM 30" CLEAR SPACE, 15" FROM THE CENTER OF THE FIXTURE TO THE WALL, AND A MINIMUM OF 24" CLEAR SPACE IN FRONT OF THE FIXTURE. CPC 402.5

- WHEN ADDITIONAL WATER CLOSETS (TOILETS) ARE INSTALLED, A MAXIMUM OF 3 WATER CLOSETS ARE ALLOWED ON A 3" WASTE LINE.

- THE HOT WATER VALVE SHALL BE INSTALLED ON THE LEFT SIDE. CPC 417.5

- A MINIMUM 12" X 12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE & OVERFLOW IS PROVIDED.

MECHANICAL

- A BATH EXHAUST FAN W/ BACK DRAFT DAMPER IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. EXHAUST MUST VENT TO OUTDOORS IN AN APPROVED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3' FROM AN OPENING OR PROPERTY LINE. CMC 504.5. A MINIMUM RATE OF 50 CFM AND A MAXIMUM OF 3 SONE RATING ARE REQUIRED.

- EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT. UNLESS THE BATHROOM EXHAUST FAN IS PART OF THE WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN THE RELATIVE HUMIDITY RANGES OF 50 TO 80 PERCENT. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN. FOR THE PURPOSE OF THIS SECTION, A BATHROOM IS A ROOM THAT CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION. CGBS4.506



ARCHITECT

RIMAS STASYIS RUDYS
ARCHITECT, C-35484

PO BOX 1685
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105

E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR



R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807

T (714) 832-9441
F (714) 632-0549

E-MAIL: info@rdpinaultcompany.com

CA LIC #: 466473

EWLES RESIDENCE
RENOVATION AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

All Drawings, Specifications and copies thereof furnished by Rimas Rudys are and shall remain its property. They are to be used only with respect to the project. Partial fee prohibits the reproduction, display, sale, or other disposition of this document without the express written consent of Rimas Rudys

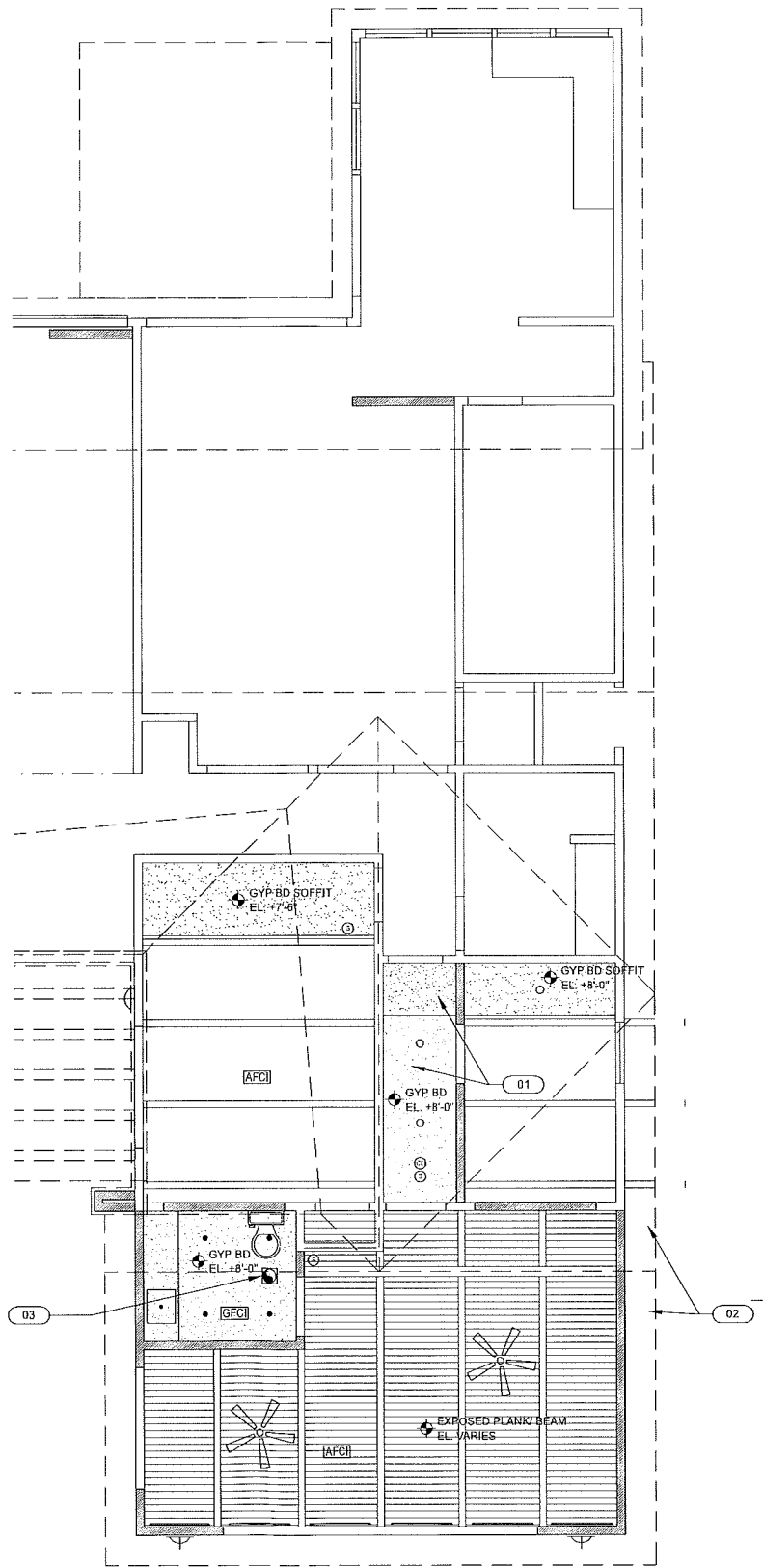
DATE:	06-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES
SCALE:	

SHEET TITLE: 24X36 SHEET SIZE

PROPOSED DOOR,
WINDOW INFORMATION
AND NOTES

SHEET NO:

A1.2



LIGHTING FIXTURE LEGEND			
SYMBOL	DESCRIPTION	SPECIFICATION	NOTES
○	6" DOWN LIGHT	MFR: -- SPEC: 6" LED DOWNLIGHT	NOTE 2
●	6" DOWNLIGHT- DAMP LISTED	MFR: -- SPEC:	NOTE 1 NOTE 2
⏏	SURFACE MOUNTED EXTERIOR LIGHT	MFR: -- SPEC: LED FIXTURE	NOTE 3
—	SURFACE MOUNTED VANITY LIGHT	MFR: -- SPEC: LED FIXTURE	—
⊗	SURFACE MOUNTED CEILING FAN	MFR: -- SPEC: LED FIXTURE	—
—	SURFACE MOUNTED COVE LIGHT	MFR: -- SPEC: LED FIXTURE	—

NOTE 1: FIXTURE TO BE GFCI PROTECTED
NOTE 2: RECESSED FIXTURES IN INSULATED CEILINGS TO BE IC RATED AND AT (AIR TIGHT) AND SHALL BE SEALED WITH A GASKET BETWEEN HOUSING AND CEILING
NOTE 3: NEW EXTERIOR FIXTURE TO BE SWITCHED FROM INTERIOR, SWITCH TO BE ADJACENT TO EXTERIOR DOOR

KEYED RCP NOTES

- 01 NEW INTERIOR CEILING FINISH TO MATCH AND ALIGN WITH EXISTING ADJACENT-REFINISH ENTIRE ROOM CEILING
02 NEW SOFFIT AT ADDITION TO MATCH EXISTING ADJACENT SOFFIT
03 COORDINATE NEW EXHAUST APPLIANCES WITH PROPOSED FINISHES

LEGEND

- Ⓢ SMOKE DETECTOR- WIRE TO BUILDING POWER WITH NO DISCONNECTING SWITCH OTHER THAN OVERCURRENT PROTECTION- PROVIDE BATTERY BACKUP WITH LOW BATTERY ALERT- SMOKE DETECTORS TO BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM ACTIVATES ALL ALARMS, AND VOLUME SHALL COMPLY WITH SECTION R314.5 CRC- INSTALL SMOKE DETECTORS IN LOCATIONS COMPLYING WITH CRC SECTION R314.3
Ⓢ CARBON MONOXIDE DETECTOR- WIRE TO BUILDING POWER WITH NO DISCONNECTING SWITCH OTHER THAN OVERCURRENT PROTECTION- PROVIDE BATTERY BACKUP WITH LOW BATTERY ALERT- MULTIPLE DETECTORS, WHERE REQUIRED, TO BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM ACTIVATES ALL ALARMS
SINGLE AND MULTIPLE STATION CO DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2034 - CO DETECTORS SHALL BE LISTED TO COMPLY WITH UL 2075 - INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA 720 AND PER MFR'S INSTALLATION INSTRUCTIONS
EXHAUST FAN WITH BACK DRAFT DAMPER- DUCTED TO EXTERIOR, MINIMUM 3" FROM AN OPENING OR PROPERTY LINE- MINIMUM VENTILATION RATE OF 30 CFM, MAXIMUM OF 3 SONE RATING REQUIRED- FAN SHALL BE ENERGY STAR COMPLIANT AND MUST BE CONTROLLED BY A HUMIDISTAT

GENERAL NOTES

1. REUSE EXISTING RECEPTACLES, FIXTURE BOXES AND SWITCHES WHERE POSSIBLE- NEW ELECTRICAL DEVICES TO COMPLY WITH APPLICABLE CODE- ELECTRICAL WORK DESIGN/ BUILD AND TO BE FILED UNDER SEPARATE COVER
2. ALL COUNTERTOP INSTALLED OUTLETS WITHIN 6" OF WATER SOURCES SHALL BE GFCI PROTECTED
3. ALL BRANCH CIRCUITS THROUGHOUT MAIN LIVING/DINING/SLEEPING ROOMS AND HALLWAYS SHALL BE AFCI PROTECTED
4. A MINIMUM OF (1) 20 AMP CIRCUIT IS REQUIRED FOR BATH ROOMS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. CEC 210.11(C)(3)
5. PROVIDE A 20 AMP GFCI PROTECTED ELECTRICAL OUTLET WITHIN 36" OF THE OUTSIDE EDGE OF EACH BATHROOM SINK BASIN
6. BATHROOM LIGHTING SHALL BE HIGH EFFICACY LUMINARIES OR CONTROLLED BY A VACANCY (OCCUPANCY) SENSOR CERTIFIED TO COMPLY WITH SECTION 150.0(K)5 OF THE 2013 CECS. INCANDESCENT LIGHTING AND/OR EXHAUST FANS ARE REQUIRED TO BE SWITCHED SEPARATELY
7. ALL NEW AND REPLACED LIGHT FIXTURES SHALL BE HIGH EFFICACY FIXTURES

ELECTRICAL LAYOUT LEGEND

- WP WATERPROOF RECEPTACLE ENCLOSURE
GFCI GROUND FAULT CIRCUIT INTERRUPTER PROTECTED RECEPTACLE OR CIRCUIT
GFCI GROUND FAULT CIRCUIT INTERRUPTER PROTECTED CIRCUIT IN SPACES INDICATED
AFCI ARC FAULT CIRCUIT INTERRUPTER PROTECTED CIRCUIT IN SPACES INDICATED



ARCHITECT

RIMAS STASYS RUDYS
ARCHITECT, C-35484
PO BOX 1685
SAN JUAN CAPISTRANO, CA 92683
T (849) 728-0105
E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR



R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807

T (714) 632-9441
F (714) 632-0549

E-MAIL: info@rdpinaultcompany.com

CALIC #: 466473

EWLES RESIDENCE
RENOVATION AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

All Drawings, Specifications and copies thereof furnished by Rimas Rudys are and shall remain its property. They are to be used only with respect to this project. Federal law prohibits the reproduction, display, sale, or other disposition of this document without the express written consent of Rimas Rudys.

DATE:	06-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES
SCALE:	
SHEET TITLE:	24X36 SHEET SIZE

REFLECTED CEILING
PLAN - PROPOSED

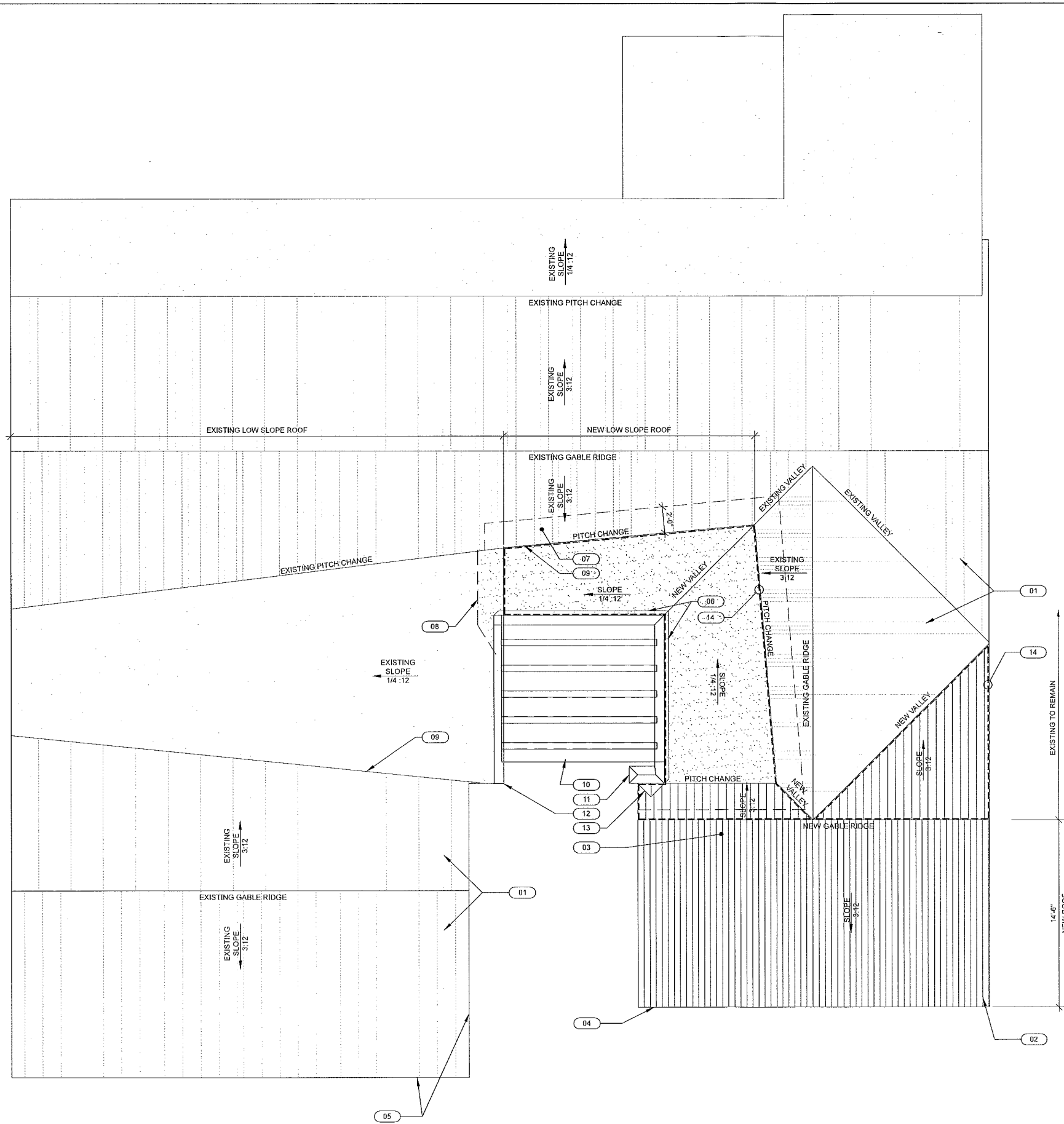
SHEET NO:

A1.5

RCP - PROPOSED
SCALE: 1/4" = 1'-0"

1

PLAN NORTH



- KEYED ROOF PLAN NOTES**
- 01 EXISTING CONCRETE TILE ROOF TO REMAIN. REMOVE EXISTING TILES TO ALLOW FOR PROPER OVERLAPPING OF UNDERLAYMENT
 - 02 NEW CONCRETE TILE ROOF TO MATCH AND ALIGN WITH EXISTING- PROVIDE CLOSURE TILES THAT MATCH EXISTING AT THE GABLE EDGE
 - 03 PROVIDE FLASHING AT ALL ROOF PENETRATIONS
 - 04 NEW GUTTERS AND DOWNSPOUTS TO TO TERMINATE IN EXISTING SUB SURFACE COLLECTION
 - 05 ADJUST EXISTING ROOF TILES AT EDGE OF ALL EXISTING EAVES AND RAKES HAVING OVERHANGS REDUCED- RESET FLASHING
 - 06 CONTINUOUS 4" CANT STRIP AT PARAPET WALL
 - 07 EXTEND ADHERED MODIFIED BITUMEN ROOFING UNDER EXISTING CONCRETE TILE ROOF- REMOVE AND REPLACE EXISTING TILES AS REQUIRED
 - 08 EXTEND ADHERED MODIFIED BITUMEN ROOFING OVER EXISTING MEMBRANE ROOF TO REMAIN- LAP ROOFING PER MANUFACTURER'S INSTRUCTION
 - 09 NOTE: NEW ROOF TILES TO STEP TO MATCH CHANGE IN PITCH AND SLOPE TO MATCH EXISTING ROOF TILE DESIGN- STEPPING NOT SHOWN IN PLAN
 - 10 NEW PERGOLA STRUCTURE AT ENTRY- FASTEN WITH CONCEALED FASTENERS- PREFINISHED ALUMINUM TUBE STOCK OR RESYSTA COMPOSITE WOOD PRODUCT
 - 11 PREFINISHED METAL COPING CAP AT NEW PARAPET WALL WITH CONTINUOUS CLEAT AND FORMED SADDLE
 - 12 PREFINISHED METAL COPING CAP AT EXISTING PARAPET WALL WITH CONTINUOUS CLEAT AND FORMED SADDLE
 - 13 CRICKET AT PARAPET WALL
 - 14 OVER FRAMING AND NEW ROOF FINISH OVER EXISTING ROOF FRAMING- EXTENT OF OVER FRAMING SHOWN WITH DASHED LINE

- GENERAL NOTES**
1. A PROPERTY MAY BE SUBJECT TO REVIEW AND APPROVAL BY A HOMEOWNERS' ASSOCIATION (HOA) WHICH MAY BE MORE RESTRICTIVE THAN THE CITY REQUIREMENTS. PROVIDE A COPY OF APPROVAL FROM HOA AT TIME OF APPLICATION FOR BUILDING PERMIT.
 2. TILE ROOFS WEIGHING 6 PSF OR MORE REQUIRE STRUCTURAL CALCULATIONS BY A LICENSED ENGINEER OR ARCHITECT. THE ENGINEER MUST ALSO NOTE THAT "THE ENTIRE STRUCTURE IS ADEQUATE TO SUSTAIN THE ADDITIONAL LOADS", REGARDLESS IF THE ORIGINAL IS TORN OFF OR NOT. SUBMIT THESE CALCULATIONS AND A DIMENSIONED FRAMING PLAN FOR REVIEW AND APPROVAL TO THE BUILDING DEPARTMENT. A CURRENT ICC REPORT # OR EQUIVALENT FOR THIS PRODUCT IS REQUIRED FOR APPROVAL.
 3. ROOFING PRODUCTS INSTALLED IN A MANNER OTHER THAN AS PROVIDED FOR IN THE MANUFACTURERS LISTING MAY REQUIRE AN ENGINEERS (DESIGN PROFESSIONAL) APPROVAL. AND/OR A SUBMITTAL OF ALTERNATE METHODS FOR THE APPLICATION OF THE PRODUCT INCLUDING SUPPORTING DOCUMENTATION TO THE BUILDING OFFICIAL FOR APPROVAL.
 4. THE CITY OF DANA POINT REQUIRES A ROOF SHEATHING INSPECTION FOR ALL NEW ROOFING AND RE-ROOFS
 5. ROOF INSPECTIONS REQUIRE AN APPROVED (OSHA) LADDER TO BE PROVIDED AND ROOFING MATERIALS ON SITE

- ROOFING MATERIAL NOTES**
- CONCRETE TILE ROOF- CONCRETE ROOF TILES TO MATCH EXISTING, OVER (2) LAYERS 30# ROOFING FELT OVER MIN. 1/2" APA RATED PLYWOOD OR OSB SHEATHING- BORAL ROOFING LLC OR SIMILAR
 - CLASS 'A' ROOF COVERING WHEN INSTALLED PER ICC-ES EVALUATION REPORT # ESR-1647
 - BUILT UP ROOF- SELF-ADHERING MODIFIED BITUMEN SYSTEM BY MULE-HIDE PRODUCTS. INSTALL SA-SBS OR SA-AAP CAP SHEET OVER (2) LAYERS SA BASE SHEET.
 - INSTALLATION TO COMPLY WITH ICC-ES REPORT ESR-2018 FOR CLASS A ROOF FINISH

02-2216

LICENSED ARCHITECT

RIMAS STASYS RUDYS

C-35484

JUL 31 2017

2018 CAL 10146

STATE OF CALIFORNIA

ARCHITECT

RIMAS STASYS RUDYS
ARCHITECT, C-35484

PO BOX 1685
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105
E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR

R.D.PINAULT
CUSTOM BUILDERS

R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807
T (714) 632-9441
F (714) 632-0549
E-MAIL: info@rdpinaltcompany.com
CALIC #: 466473

EWLES RESIDENCE
RENOVATION AND ADDITION
103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES			
No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS	
All Drawings, Specifications and supplies thereof furnished by Rimas Rudys are and shall remain its property. They are to be used only with respect to this project. Federal law prohibits the reproduction, display, sale, or other disposition of this document without the express written consent of Rimas Rudys.	
DATE:	06-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES
SCALE:	
SHEET TITLE:	24X36 SHEET SIZE
ROOF PLAN - PROPOSED	
SHEET NO:	
A1.6	



ARCHITECT

RIMAS STASYS RUDYS
ARCHITECT, C-35484

PO BOX 1685
SAN JUAN CAPISTRANO, CA 92663
T (949) 728-0105

E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR

R.D. PINAULT
CUSTOM BUILDERS

R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807

T (714) 632-8441
F (714) 632-0549

E-MAIL: info@rdpinaultcompany.com

CALIC #: 466473

EWLES RESIDENCE
RENOVATION AND ADDITION

103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

All drawings, specifications and copies thereof furnished by Rimas Rudys are and shall remain its property. They are to be used only in respect to the project. Federal law prohibits the reproduction, copying, sale, or other disposition of this document without the express written consent of Rimas Rudys.

DATE: 06-12-15

DRAWN: RR

REVIEWED: RR

PROJECT NO: EWLES

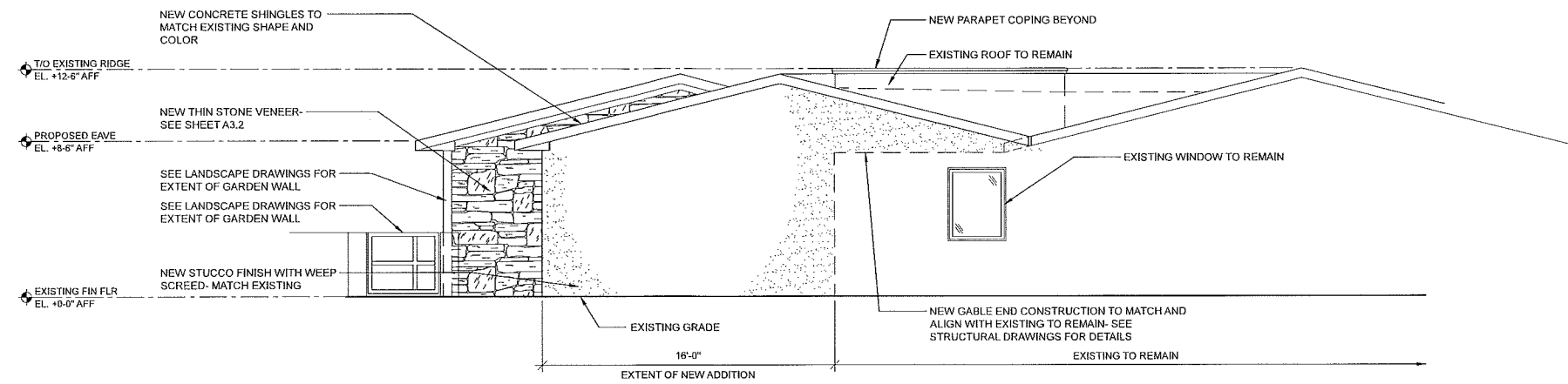
SCALE:

SHEET TITLE: 24X36 SHEET SIZE

BUILDING ELEVATIONS -
PROPOSED

SHEET NO:

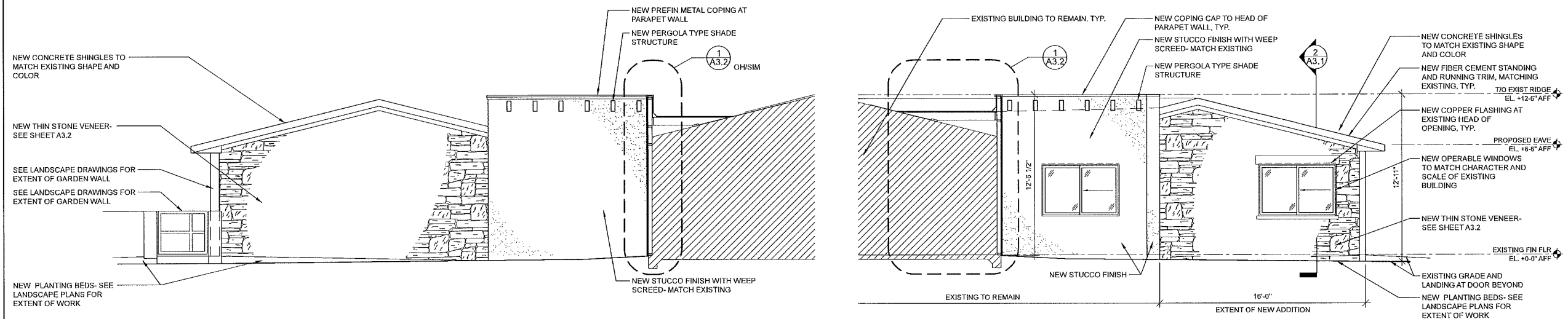
A2.1



NORTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

3

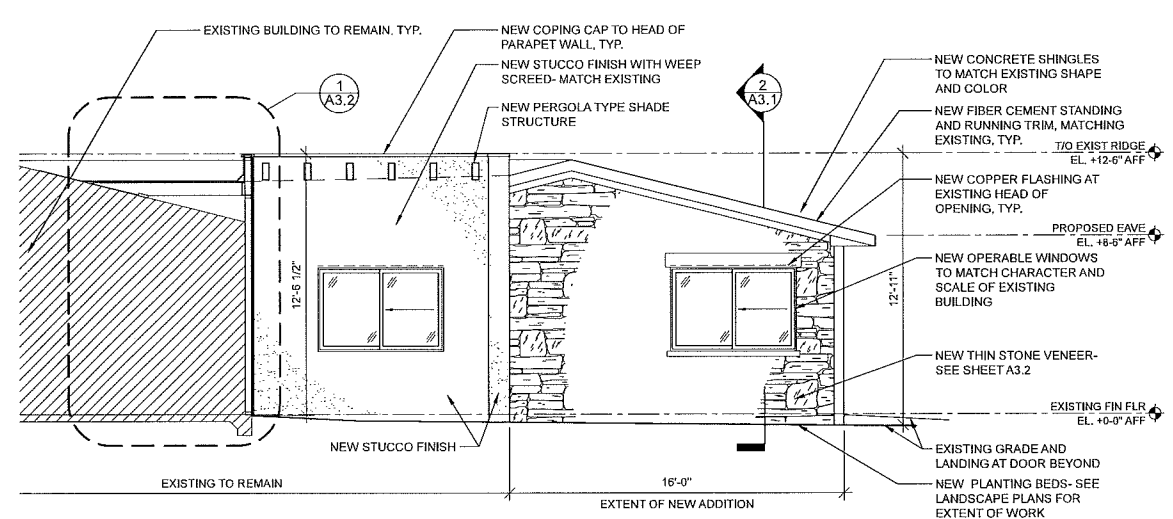


NORTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

AT COURTYARD

4

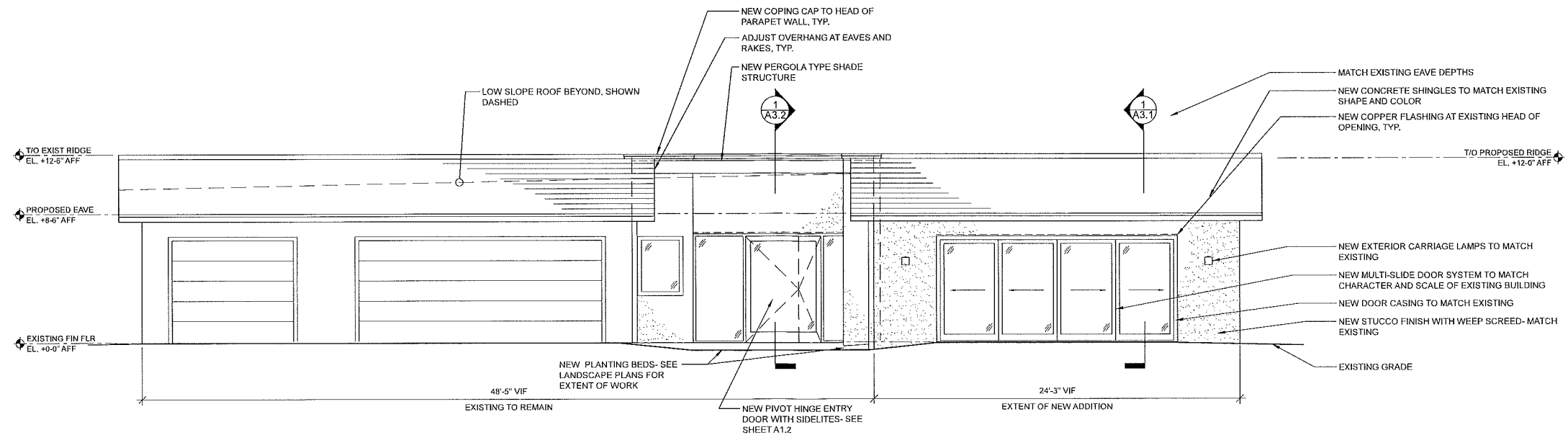


SOUTH ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

AT COURTYARD

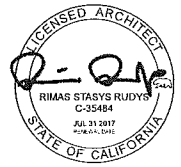
2



FRONT (EAST) ELEVATION - PROPOSED

SCALE: 1/4" = 1'-0"

1



ARCHITECT

RIMAS STASY'S RUDYS
ARCHITECT, C-35484
PO BOX 1885
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105
E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR



R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807
T (714) 632-9441
F (714) 632-0549
E-MAIL: info@rdpinaultcompany.com
CA LIC #: 466473

EWLES RESIDENCE
RENOVATION AND ADDITION
103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

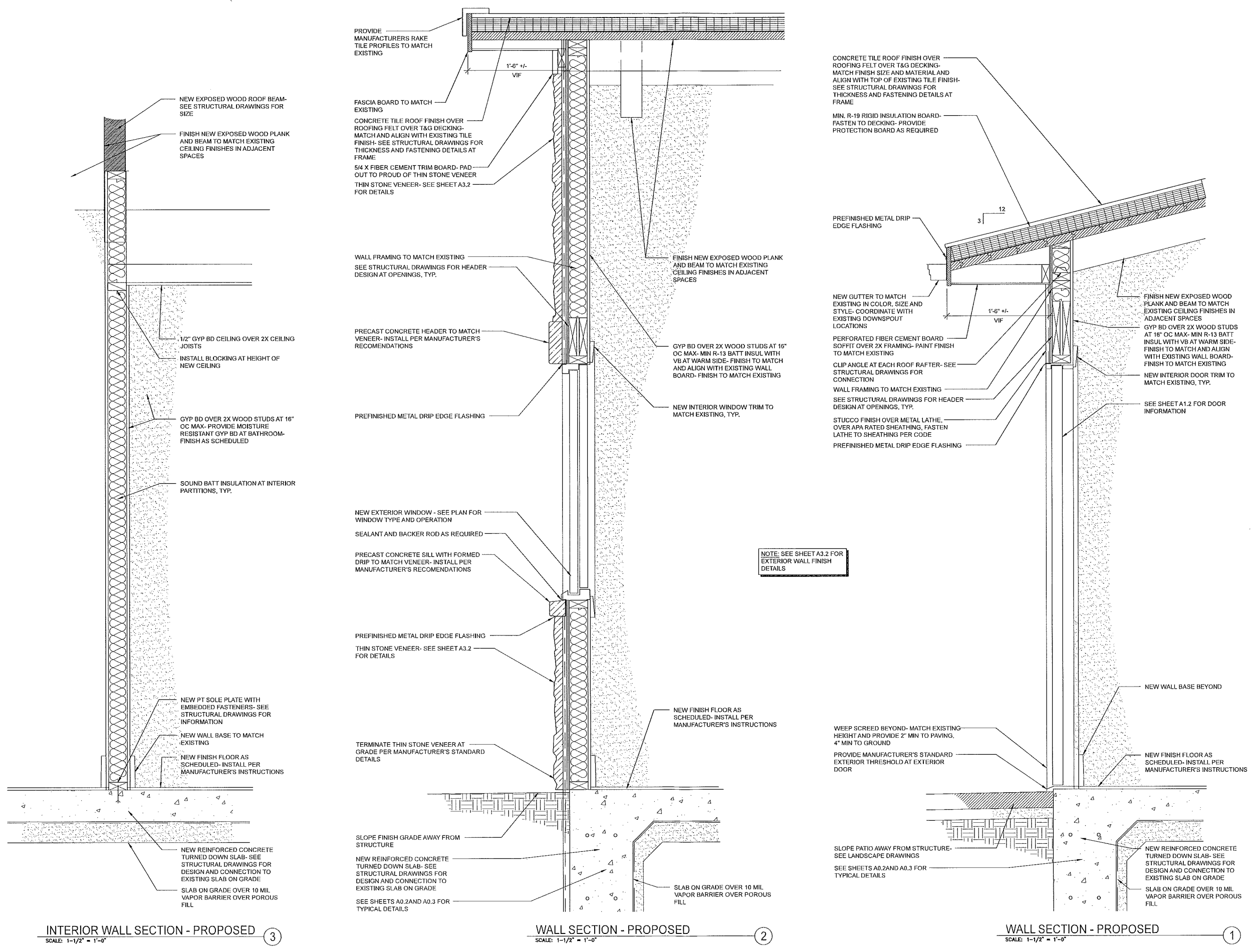
OWNERSHIP AND USE OF DOCUMENTS
All Drawings, Specifications and copies thereof furnished by Rimas Rudys are and shall remain its property. They are to be used only with respect to this project. Federal law prohibits the reproduction, display, sale, or other disposition of this document without the express written consent of Rimas Rudys.

DATE:	06-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES
SCALE:	
SHEET TITLE:	24X36 SHEET SIZE

BUILDING WALL
SECTIONS - PROPOSED

SHEET NO:

A3.1



INTERIOR WALL SECTION - PROPOSED
SCALE: 1-1/2" = 1'-0"

WALL SECTION - PROPOSED
SCALE: 1-1/2" = 1'-0"

WALL SECTION - PROPOSED
SCALE: 1-1/2" = 1'-0"

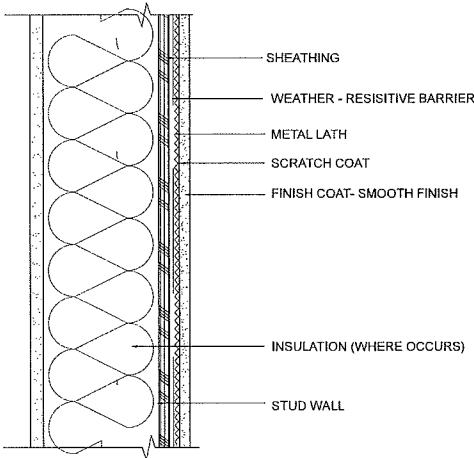
NOTE: PROVIDE MINIMUM (2) LAYERS OF GRADE 'D' PAPER UNDER STONE VENEER MEETING REQUIREMENTS OF ASTM D 226.

NOTE: MAXIMUM INSTALLED WEIGHT OF ADHERED STONE VENEER AND INSTALLATION MATERIALS NOT TO EXCEED 30 PSF

NOTE: MAXIMUM HEIGHT OF ADHERED STONE VENEER ABOVE NON-COMBUSTIBLE FOUNDATION TO BE 20'

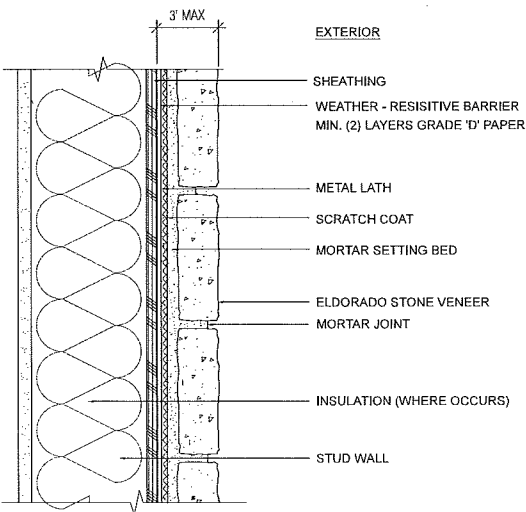
INTERIOR

EXTERIOR



INTERIOR

EXTERIOR

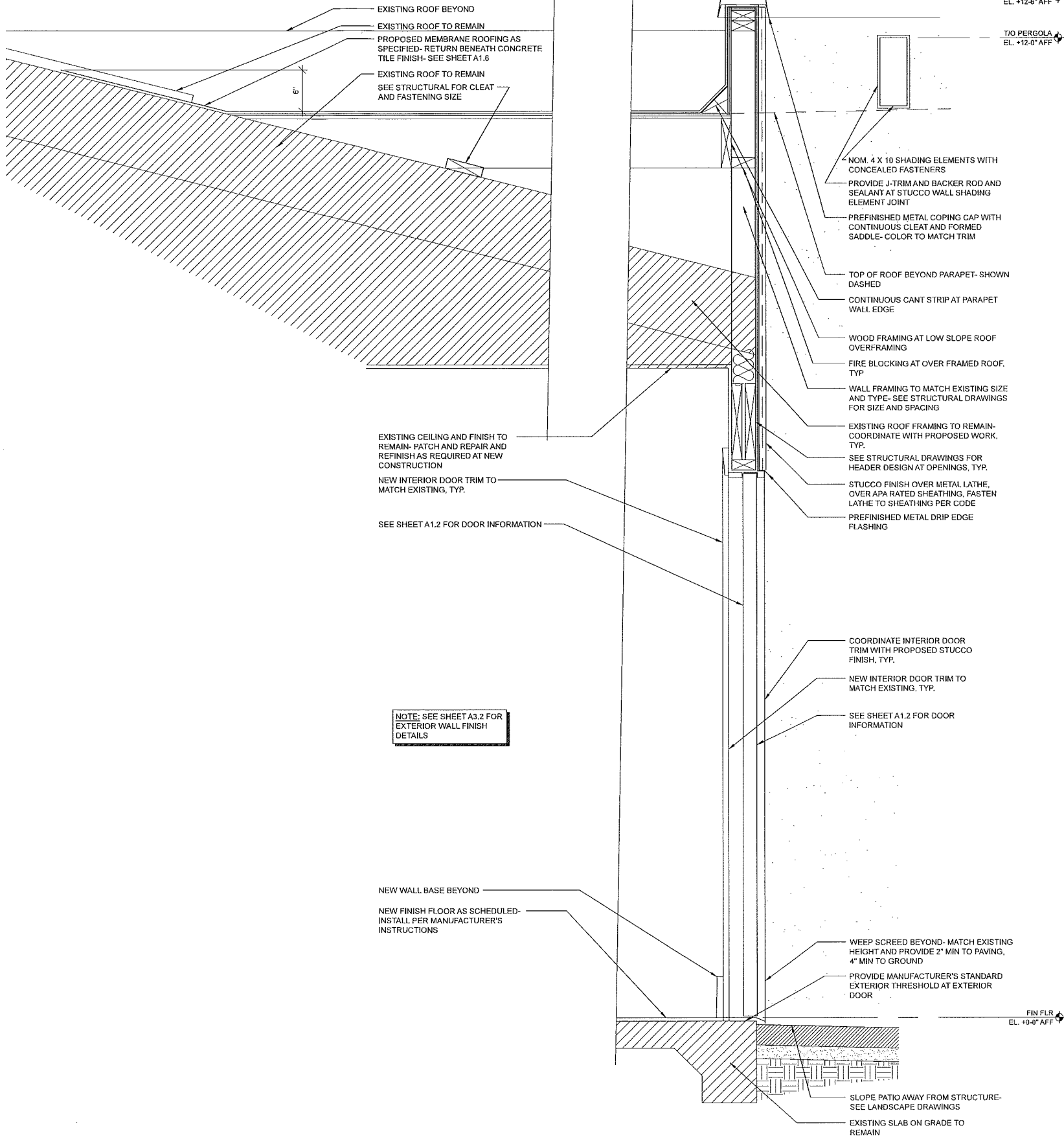


NOTE: ADHERED STONE VENEER TO COMPLY WITH TABLE R703.7(2)

EXTERIOR WALL FINISHES - DETAILS

SCALE: 1-1/2" = 1'-0"

2

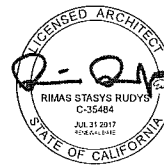


NOTE: SEE SHEET A3.2 FOR EXTERIOR WALL FINISH DETAILS

WALL SECTION - PROPOSED

SCALE: 1-1/2" = 1'-0"

1



ARCHITECT

RIMAS STASY'S RUDYS
ARCHITECT, C-35484
PO BOX 1685
SAN JUAN CAPISTRANO, CA 92693
T (949) 728-0105
E-MAIL: RIMASRUDYS@GMAIL.COM

GENERAL CONTRACTOR

R.D.PINAULT
CUSTOM BUILDERS

R.D. PINAULT COMPANY
1230 N. JEFFERSON ST., STE. D
ANAHEIM CA 92807
T (714) 632-9441
F (714) 632-0549
E-MAIL: info@rdpinaltcompany.com
CA LIC # 466473

EWLES RESIDENCE
RENOVATION AND ADDITION
103 MONARCH BAY DRIVE
DANA POINT, CA

ISSUE DATES

No.	DATE	DESCRIPTION	BY
1	10/13/15	PERMIT SET	RR
2	01/23/16	CITY COMMENTS	RR
3	02/16/16	CCC COMMENTS	RR
4	07/11/16	OWNER REVISIONS	RR
5	08/04/16	PLANNING COMMENTS	RR

OWNERSHIP AND USE OF DOCUMENTS

All Drawings, Specifications and copies thereof furnished by Rimas Rudys are and shall remain its property. They are to be used only with respect to this project. Federal law prohibits the reproduction, display, sale, or other disposition of this document without the express written consent of Rimas Rudys.

DATE:	05-12-15
DRAWN:	RR
REVIEWED:	RR
PROJECT NO:	EWLES
SCALE:	
SHEET TITLE:	24X36 SHEET SIZE

BUILDING WALL
SECTIONS AND DETAILS -
PROPOSED

SHEET NO:

A3.2