

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: APRIL 11, 2016

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
EVAN LANGAN, AICP, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP15-0015 FOR ADDITIONS TO AN EXISTING, TWO-STORY, SINGLE-FAMILY DWELLING IN CONJUNCTION WITH THE CONSTRUCTION OF A NEW TWO-VEHICLE GARAGE WITHIN THE CITY'S COASTAL OVERLAY DISTRICT AT 23762 HOBART BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP15-0015.

OWNER: Robert Shekell
APPLICANT: Stan Schrofer Architects

REQUEST: Approval of a Coastal Development Permit to allow the addition of 522 square feet to an existing, two-story single-family dwelling in conjunction with the construction of a new, 546 square foot, two-vehicle garage, on land located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 23762 Hobart Bay Drive (APN 672-131-44)

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius, published within a newspaper of general circulation and posted at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library on March 31, 2016.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that it proposes a nominal increase in square footage to an existing residential dwelling.

ISSUES:

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

BACKGROUND: The subject property measures an approximate .20 acres (8,777 square feet) and is located within the Niguel Shores Homeowners Association (HOA), a built out community of single-family structures. The developed portion of the lot is flat and contains a two-story, single-family dwelling comprising 2,445 square feet with an attached, 482 square foot two-vehicle garage constructed in 1971. At the rear of the property is a steep, landscaped slope that descends to Nauticus Isle (street) below.

The property is zoned "Residential Single-Family 7" (RSF-7) with an overlay designation of "Planned Residential Development 3" (PRD-3), is located within the City's Coastal Overlay District (the California Coastal Zone) as well as the Appeals Jurisdiction of the California Coastal Commission.

DISCUSSION: The proposed project would add 23 square feet to the first floor of the dwelling, while remodeling and reconfiguring existing rooms. At the second floor, 500 square feet would be added in the form of a new bathroom, expanded bedrooms and improved access between floors. Total bedroom count would remain unchanged at five. Finally, the building's presently side-loaded garage would be demolished and replaced with a new, 546 square foot, front-loaded garage with compliant parking for two vehicles. The overall height of the remodeled and expanded dwelling would be a maximum of 20 feet – less than the 24 feet permissible for a residential structure with "flat" roof elements.

The exterior of the dwelling would be similarly remodeled, with a variety of new surface materials including limestone trim, stucco, wood and glass. Other proposed exterior improvements include new hardscape, walls in both side-yards (three feet solid, with attached three-foot glass windscreen) and landscaping.

The project is found to comply with all development standards of the Dana Point Zoning Code - including setbacks from property lines, lot coverage, etc. - and no variances or other deviations are requested.

Coastal Development Permit CDP15-0015

Pursuant to Section 9.69.040 of the DPZC, improvements to any structure located within the City's Coastal Overlay District and the appeals jurisdiction of the California Coastal Commission resulting in an increase of ten percent or more in floor area, shall require approval of a Coastal Development Permit (CDP). The subject application proposes the addition of 1,068 square feet to an existing 2,898 square foot single-family dwelling - a 37 percent increase in floor area - and so requires approval of a CDP.

Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Staff's recommended findings to approve the CDP request are enumerated in the project's draft resolution (Attachment 1).

CORRESPONDENCE: To date, correspondence has been received only from the Niguel Shores HOA, notifying of that body's approval of the project as proposed (Attachment 5).

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP15-0015 subject to findings and conditions of approval.



Evan Langan, AICP
Associate Planner



Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 16-04-11-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)
5. Approval Correspondence, Niguel Shores HOA

RESOLUTION NO. 16-04-11-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING COASTAL DEVELOPMENT PERMIT CDP15-0015 FOR ADDITIONS TO AN EXISTING, TWO-STORY SINGLE-FAMILY DWELLING, INCLUDING A NEW TWO-VEHICLE GARAGE, WITHIN THE RESIDENTIAL SINGLE-FAMILY 7 (RSF-7) ZONING DISTRICT AND PLANNED RESIDENTIAL DEVELOPMENT 3 (PRD-3) AND COASTAL OVERLAY DISTRICTS AT 23762 HOBART BAY DRIVE

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Robert Shekell (the "Applicant") owns the real property commonly referred to as 23762 Hobart Bay Drive (APN 672-131-44) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow additions to an existing single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the project is Categorically Exempt Section 15301 (Class 1 – Existing Facilities) in that the project proposes nominal additions to an existing single-family dwelling; and

WHEREAS, the Planning Commission did, on the 11th day of April, 2016 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP15-0015.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP15-0015 subject to conditions:

Findings:

Coastal Development Permit CDP15-0015

1. The proposed use is consistent with the General Plan and Local Coastal Program in that the proposed remodel and expansion of the subject dwelling would result in new exterior details and materials, color and trim, landscaping and an overall architectural

style that is complementary to surrounding, existing development and so would further Urban Design Element Goal No. 2 (of the City's adopted General Plan) which states that development should "preserve the individual positive character and identity of the City's communities" by fostering new, aesthetically pleasing residential development that is both compatible and complimentary to surrounding structures.

2. That the proposed development is located within the Coastal Overlay District and is in conformity with the Public Access and Public Recreation policies of Chapter Three of the Coastal Act **in that the proposed development would not alter existing public access or public recreation in the vicinity.**
3. That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) **in that the subject project qualifies for a Categorical Exemption pursuant to Section 15301 (e) (Class 1 – Existing Facilities) of the Guidelines in that it proposes nominal additions to an existing residential dwelling.**
4. That the proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that the subject project proposes additions to an existing single-family dwelling located where no public accessway exists, and so would not result in impacts to public access, nor public views of and along the coast.**
5. That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**
6. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established residential subdivision with little to no natural landforms present**

and the proposed development will be constructed in conformance with applicable regulations for flood and fire hazards, minimizing undue risks from flood, fire or other hazards.

7. That the proposed development will be visually compatible with the character of surrounding areas and, where feasible, will restore and/or enhance visual quality **in that the footprint, massing, story-count, exterior detailing and coloring of the expanded and remodeled dwelling would be consistent with other residential structures in the surrounding neighborhood.**
8. That the proposed development will conform to the General Plan, Zoning Code, Local Coastal Program, applicable Specific Plan(s), or other, applicable adopted plans and programs **in that the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable documents and, subject to conditions of approval, has been found consistent.**

Conditions:

A. General:

1. Approval of this application permits additions to the first and second floors as well as construction of a new, two-vehicle garage to an existing single-family dwelling located at 23762 Hobart Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point Specific Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment

to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.

9. The Project shall meet all water quality requirements of the City of Dana Point Municipal Ms4 Permit as required by the State Water Resources Control Board. This compliance shall include incorporation of low impact design (LID) features to the greatest extent practicable.
10. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television/internet services.
11. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
12. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
13. All documents prepared by a professional shall be wet-stamped and signed.

B. Prior to Issuance of a Building Permit

14. Building plan check submittal shall include four sets of the following construction documents:
 - *Building Plans*
 - *Energy calculations*
 - *Structural Calculations*
 - *Drainage Plan*

D. Following Issuance of a Building Permit and Prior to Issuance of a Certificate of Occupancy

15. The Applicant shall submit a foundation certification (by survey) that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP15-0015. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance,

prepared by a licensed civil engineer/surveyor, and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.

16. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP15-0015. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
17. All permanent Best Management Practices (BMP's) shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
18. The Applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 11th day of April, 2016 by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairperson
Planning Commission

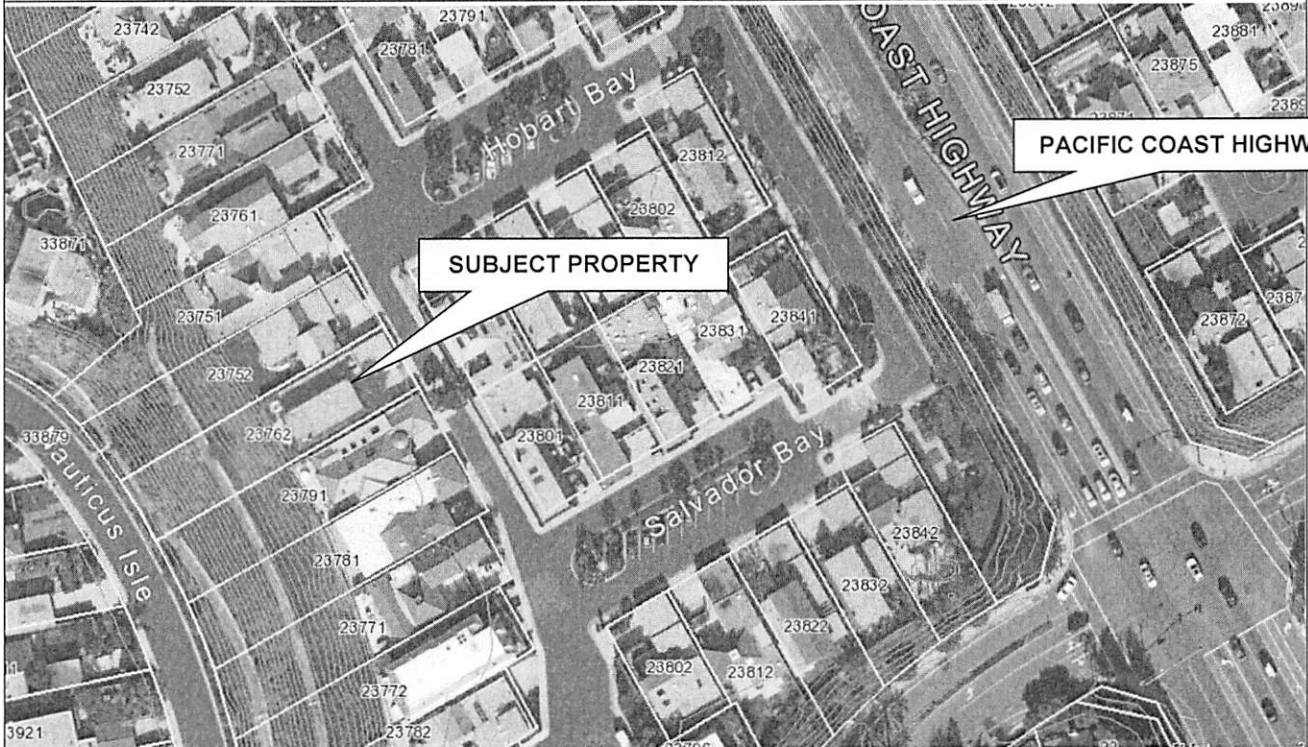
ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point
Coastal Development Permit CDP15-0015
Evan Langan, AICP, Associate Planner
Community Development Department
33282 Golden Lantern
Dana Point, CA 92629-1805

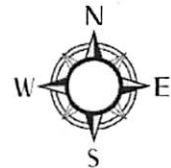
VICINITY MAP



Project : CDP15-0015

Project Applicant: Robert Shekell

Location: 23762 Hobart Bay Drive



PROJECT HOME

RECEIVED

JUL 28 2015

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

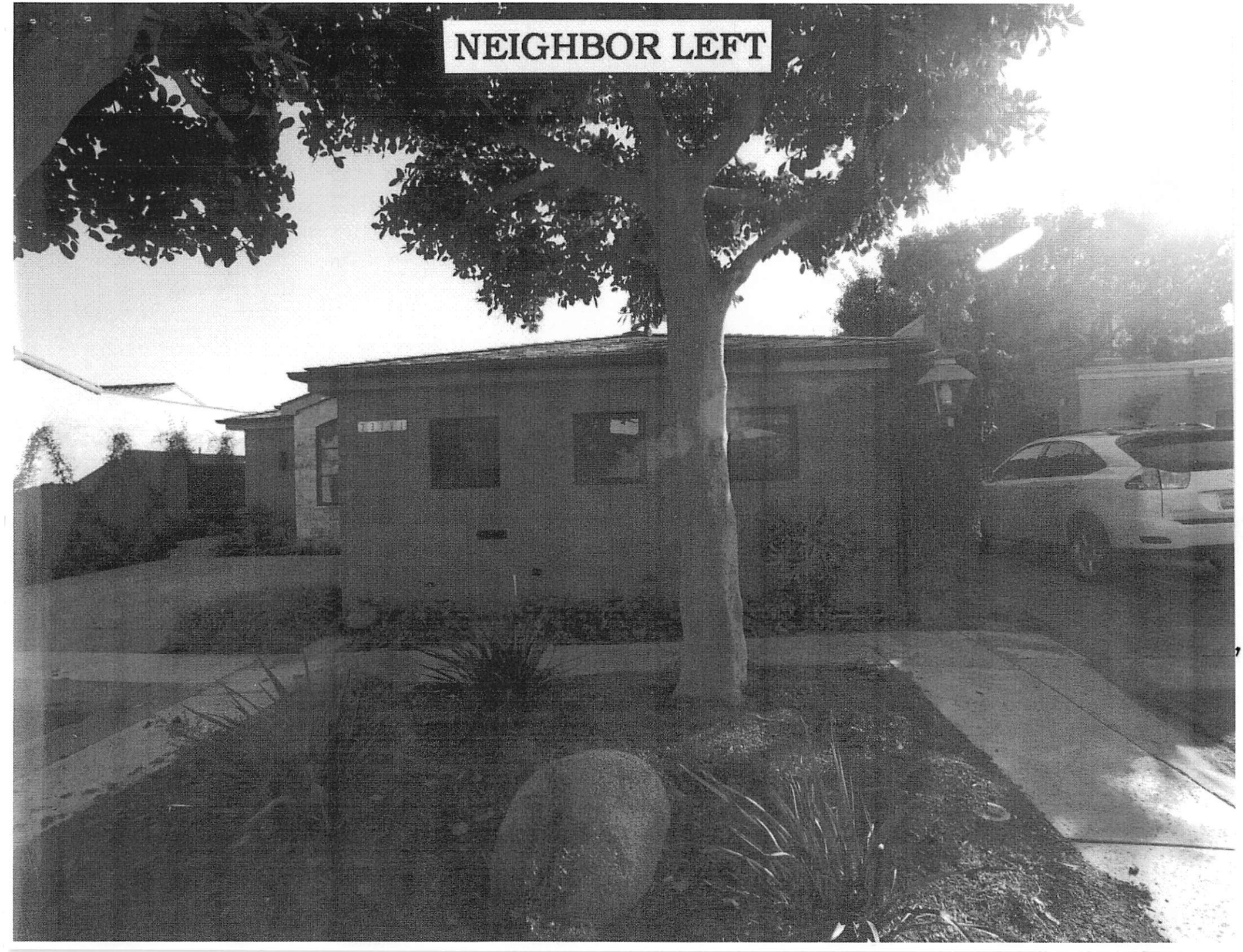


Supporting Document #3

BACK VIEW



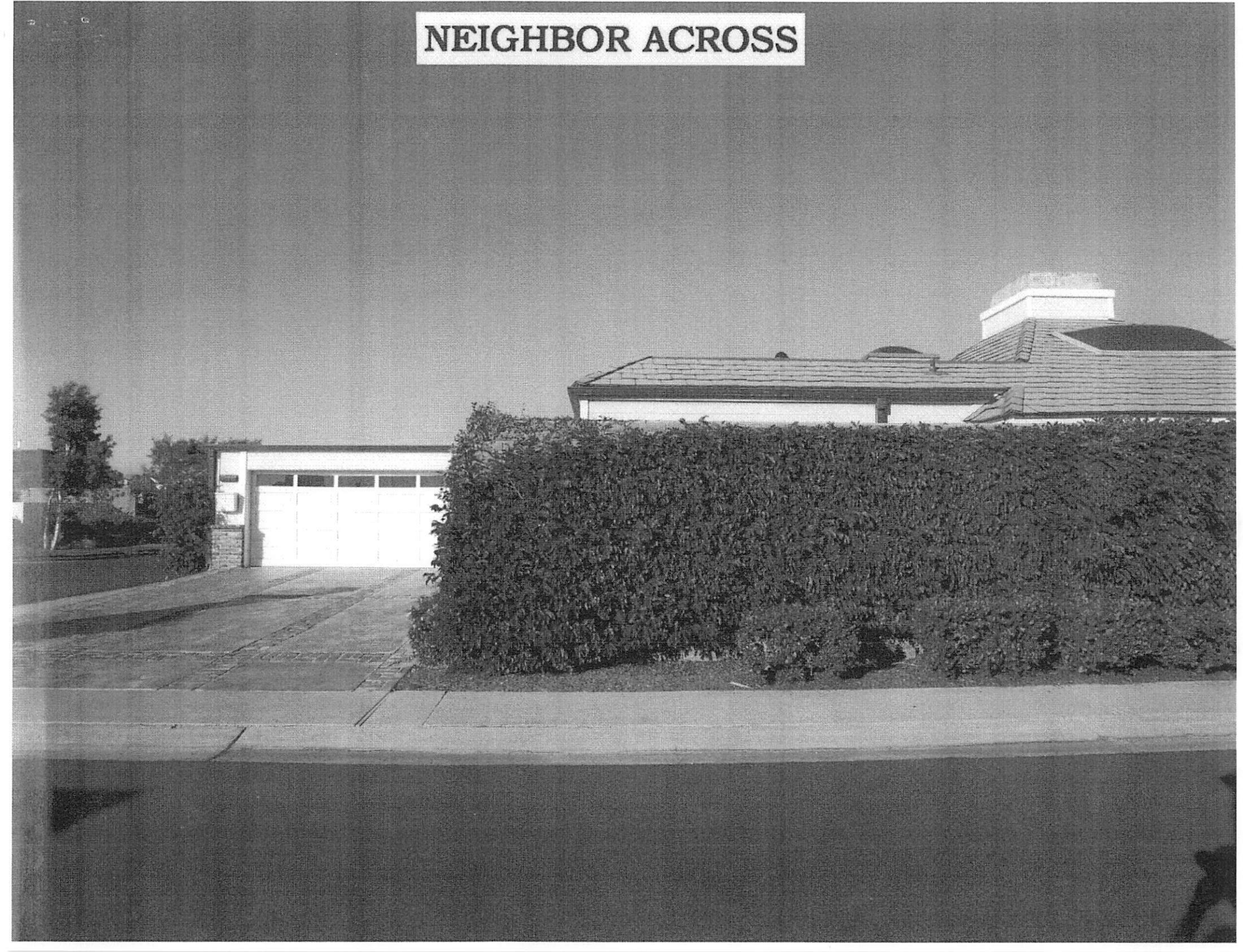
NEIGHBOR LEFT



NEIGHBOR RIGHT



NEIGHBOR ACROSS



SHEKELL REMODEL



OWNER:
ROBERT SHEKELL
380 W WILSON ST. E 105,
COSTA MESA, CA 92627
(678) 613-6769

ARCHITECT:
STAN SCHROFER AND ASSOCIATES
34932 CALLE DEL SOL
CAPISTRANO BEACH, CA 92624
(949) 489-9555

LANDSCAPE ARCHITECT:
JIM PEKARSKE
1219 GANADO
SAN CLEMENTE, CA 92673
(949) 433-6558

SURVEYOR:
RDM SURVEYING, INC.
23016 LAKE FOREST DR., #409
LAGUNA HILLS, CA 92653
(949) 858-2924

STRUCTURAL ENGINEER:
SUNSTRONG STRUCTURAL
21308 PATHFINDER RD., #230
DAMOND BAR, CA 91765
(949) 257-2751

SOILS ENGINEER:
GLOBAL GEO-ENGINEERING, INC.
3 CORPORATE PARK, SUITE 270
IRVINE, CA 92606
(949) 221-0900

LEGAL DESCRIPTION:
LOT: 44 TRACT: 7203
A.P.N.: 872-131-44

PROJECT ADDRESS:
23762 HOBART BAY
DANA POINT, CA 92629

OCCUPANCY: RMU
TYPE OF CONSTRUCTION: TYPE V-B
FIRE SPRINKLERS: REQUIRED
ZONING: RSF7/PRD-3

ZONING	RSF7/PRD-3	PROPOSED	EAVE PROJECTION
MAX. HEIGHT	24 FT.	** 22 FT.	2.5 FT.
FRONT SETBACK	20 FT.	20'-2"	2.5 FT.
GARAGE SETBACK	5 FT.	5 FT.	2.5 FT.
SIDE SETBACK	5/0 FT.	5/0 FT.	2.5 FT.
REAR SETBACK	25 FT.	*** 10 FT.	2.5 FT.

HEIGHT: 24'-0" FOR PITCH LESS THAN 3/12
26'-0" FOR PITCH 3/12 OR GREATER BUT LESS THAN 6/12
28'-0" FOR PITCH 6/12 OR GREATER

H.O.A. REQUIREMENTS

MAX. HEIGHT	** 22 FT.
FRONT SETBACK	5/10 FT.
GARAGE SETBACK	5 FT.
SIDE SETBACK	5/0 FT.
REAR SETBACK	*** 10 FT.

* DETACHED OR ATTACHED GARAGES MAY HAVE FRONT SETBACK OF 5'-0" (ROLL-UP W/AUTOMATIC OPENER) MEASURED FROM THE BACK OF SIDEWALK SECOND STORY AREA REQUIRES ADDITIONAL 5'-0" SETBACK

** H.O.A. HEIGHT MEASURED FROM EXIST. PAD ELEVATION

*** REAR SETBACK MEASURED FROM TOP OF THE SLOPE

BUILDING STATISTICS

1st Floor (Existing)	LIVING AREA	1,828 FT.
1st Floor (Addition)	LIVING AREA	23 FT.
	LIVING AREA AFTER REMODEL	1,851 FT.
2nd Floor (Existing)	LIVING AREA	988 FT.
2nd Floor (Addition)	LIVING AREA	499 FT.
	LIVING AREA AFTER REMODEL	1,087 FT.
	70% 1st FLOOR LIVING AREA (Existing)	1,279.8 FT.
	TOTAL LIVING AREA (Existing)	2,416 FT.
	TOTAL LIVING AREA (Addition)	522 FT.
	TOTAL LIVING AREA AFTER REMODEL	2,938 FT.
1st Floor	GARAGE/ STORAGE (Existing)	482 FT.
1st Floor	GARAGE/ STORAGE (Addition)	64 FT.
	TOTAL GARAGE AREA AFTER REMODEL	546 FT.
1st Floor	COVERED LOGGIA (New)	191 FT.
2nd Floor	BALCONY (New)	103 FT.

LOT COVERAGE:

LOT AREA	= 8,776.79 SQ.FT.
BUILDING AREA	= 2,397.0 SQ.FT.
LOT COVERAGE (ACTUAL)	27.31%
ALLOWABLE LOT COVERAGE	50.0%
LANDSCAPED AREA	= 6,379.79 SQ.FT.
SOFTSCAPE	= 5,175.79 SQ.FT.
HARDSCAPE	= 1,204 SQ.FT.

LANDSCAPED AREA	6,379.79 / 8,776.70 X 100
LANDSCAPE COVERAGE	72.69%

CURRENT CODES

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
2013 CALIFORNIA RESIDENTIAL CODE (CRC)
2013 CALIFORNIA MECHANICAL CODE (CMC)
2013 CALIFORNIA ELECTRICAL CODE (CEC)
2013 CALIFORNIA PLUMBING CODE (CPC)
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC)
2013 CALIFORNIA ENERGY EFFICIENCY STANDARD (CEES)
THE CITY OF DANA POINT LOCAL ORDINANCES

SCOPE OF WORK

NO CHANGES TO EXISTING BUILDING HEIGHT

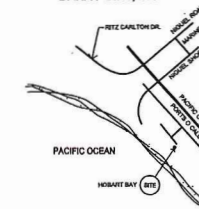
- NEW SLUMP BLOCK WALL AT RIGHT/ REAR SITE PROPERTY TO MATCH EXISTING WALL ON LEFT/ REAR SIDE. NEW CANTILEVERED GLASS WIND SCREEN ON BOTH SIDES.
- NEW PATIO CONCRETE SURFACE.
- RECONFIGURE GARAGE AND RELOCATE GARAGE DOOR. NEW TURF BLOCK - BOTH SIDES OF GARAGE.
- EXTERIOR ELEVATIONS AS PER PLAN - REMOVAL OF MANSARD ROOF. NEW EXT. COLOR. NEW STONE VENEER. NEW BALCONY RAILING. NEW CHIMNEY CUP.
- REPLACEMENT OF EXIST. DOORS & WINDOWS. INSTALLATION OF NEW DOORS & WINDOWS AS PER PLAN.
- REPLACEMENT OF EXISTING EXTERIOR LIGHT FIXTURES.
- RELOCATE EXISTING MAIN ELECTR. PANEL AND PROVIDE NEW SUB-PANEL IN THE GARAGE.
- ADJUSTMENT/ RELOCATION OF EXISTING LIGHT FIXTURES AS PER PLAN.
- 1ST FLOOR REMODEL THAT INCLUDES KITCHEN REMODEL - NEW CABINETS, APPLIANCES AND PLUMBING FIXTURES. REMODEL OF EXISTING MASTER SUITE. NEW STAIR DESIGN.
- 2ND FLOOR REMODEL THAT INCLUDES BATHROOM REMODEL AND ADDITION TO EXISTING. REMODEL AND ADDITION TO EXISTING BEDROOMS. NEW LOFT/ FAMILY ROOM.

SHEET INDEX:

- | | | |
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| 3. | A2 | 1ST FLOOR PLAN (EXIST/ DEMO/ NEW) |
| 4. | A3 | 2ND FLOOR PLAN (EXIST/ DEMO/ NEW) |
| 5. | A4 | ROOF PLAN (EXIST/ NEW) |
| 6. | A5 | ELEVATIONS (EXIST/ NEW)/ SECTION |
| 7. | A6 | ELEVATIONS (EXIST/ NEW) |
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| 9. | AB | SECTIONS |
| 10. | AD1 | ARCHITECTURAL DETAILS |
| 11. | AD2 | ARCHITECTURAL DETAILS |
| 12. | AD3 | ARCHITECTURAL DETAILS |

JOB ADDRESS:

23762 HOBART BAY
DANA POINT, CA



RECEIVED
MAR 03 2016
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



STAN SCHROFER
AND
ASSOCIATES, INC.
34932 CALLE DEL SOL
CAPISTRANO BEACH, CA
(949) 489-9555
WWW.SCHROFER.COM

ALL RIGHTS RESERVED.
All construction and property rights are reserved under this plan. This plan may be assigned to a third party. They are not to be used, copied, reproduced, or any other use without express written consent. In the event of any unauthorized use of this plan by a third party, the third party shall be liable to Stan Schrofer & Associates, Inc. for damages. The drawings and the design, ideas and features of construction depicted herein are the exclusive property of Stan Schrofer & Associates, Inc. © 2015

SHEKELL REMODEL
23762 HOBART BAY
DANA POINT, CA

LOT 44, TRACT 7203, APN 872-131-44

COVER SHEET



PROJECT # 14-09

REVISIONS NO.

SCALE: N/A
DATE: 3/2/2016
SHEET #:

C

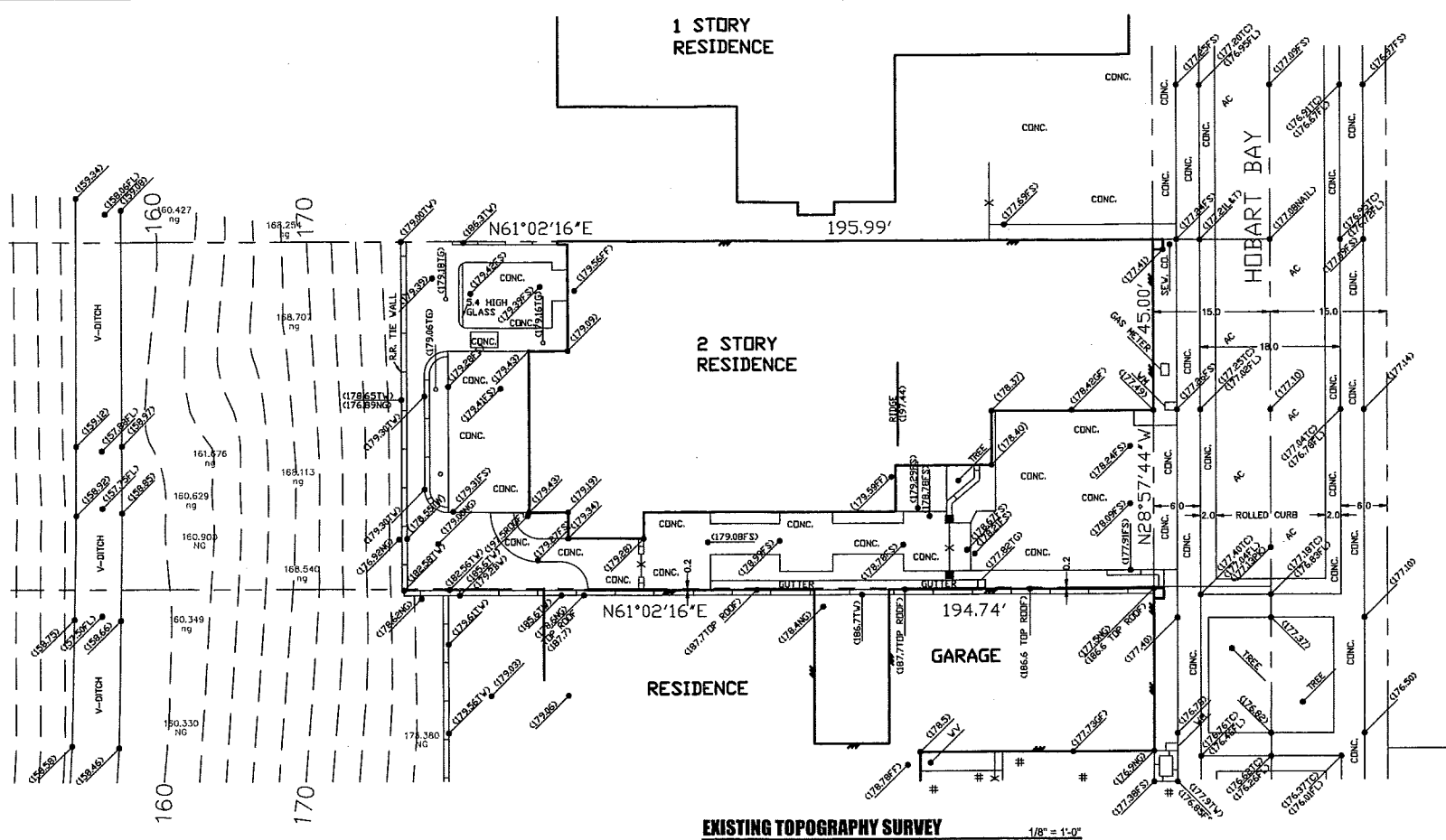
SITE NOTES

- FIELD VERIFY EXISTING PAD ELEVATIONS AND IF ANY DISCREPANCIES ARE ENCOUNTERED NOTIFY THE ARCHITECT AND FIELD INSPECTOR PRIOR TO PROCEEDING WITH CONSTRUCTION
- MAINTAIN A MINIMUM OF 2% POSITIVE AWAY FROM STRUCTURE
- ALL BUILDING SETBACKS FROM SLOPES SHALL BE IN ACCORDANCE WITH THE GRADING AND EXCAVATION CODE OF THE GOVERNING AUTHORITY.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CODES OF THE GOVERNING AUTHORITY AND SPECIAL REQUIREMENTS OF THE BUILDING PERMIT.
- ALL PAD AND SURFACE WATER MUST DRAIN TO DRIVEWAY AND OUT TO STREET UNLESS SHOWN OTHERWISE
- VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK.
- DETERMINE THE LOCATION OF ALL EXISTING WATER METER, ELECTRIC METER AND GAS METER IN ACCORDANCE WITH THE SERVING UTILITY AND VERIFY THE LOCATION WITH ARCHITECT TO CONFIRM NO CONFLICT WITH DESIGN OCCURS PRIOR TO INSTALLING ANY METERS.
- RIGHT OF WAY (I.E. DRIVEWAYS, SIDEWALKS, ETC.)
- ALL UTILITY TRENCH BACKFILL SHOULD BE PLACED TO THE FOLLOWING STANDARDS: MIN 90% OF THE LABORATORY STANDARD IF NATIVE OR SAND MATERIALS ARE USED AS BACKFILL.
- EXTERIOR TRENCHES PARALLELING A FOOTING AND EXTENDING BELOW A 1:1 PLANE PROJECTED FROM A 1:1 PLANE PROJECTED FROM THE OUTSIDE BOTTOM EDGE OF THE FOOTING. FOOTING SHALL BE COMPACTED TO A MIN. 90% OF THE LABORATORY STANDARD. SAND BACKFILL SHOULD NOT BE ALLOWED IN THESE TRENCH AREAS. DENSITY TESTING ALONG WITH WITH PROBING SHALL BE ACCOMPLISHED TO VERIFY THE DESIRED RESULTS.
- CERTIFICATION OF SUITABLE FILL (INCLUDING TRENCHES, BACKFILL, RETAINING WALLS, PAD/ROUGH GRADE, ETC.) AND ITS SATISFACTORY PLACEMENT SHALL BE SUBMITTED BY THE SOILS ENGINEER TO THE BUILDING DEPARTMENT
- ALL TRENCH EXCAVATIONS SHOULD CONFORM TO CAL-OSHA AND LOCAL SAFETY CODES.
- ROUGH GRADE CERTIFICATION BY SOILS ENGINEER IS REQUIRED PRIOR TO START OF BUILDING CONSTRUCTION.
- A SEPARATE BUILDING PERMIT IS REQUIRED FOR ALL RETAINING WALLS, GARDEN WALLS, POOLS, SPAS, FENCE AND ENCROACHMENT INTO PUBLIC RIGHT OF WAY (I.E. DRIVEWAYS, SIDEWALKS, ETC.)
- HOUSE NOTE: PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET
- UTILITIES NOTE: ALL UTILITY SERVICES ARE TO BE UNDERGROUND (OCMA 7-1-14)
- INSPECTION NOTE: STRUCTURAL OBSERVATION WILL BE PERFORMED WHEN REQUIRED BY THE BUILDING OFFICIAL.
- SPRINKLER NOTE: THIS STRUCTURE SHALL UTILIZE AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH N.F.P.A. 130.
- CALL BEFORE YOU DIG: UNDERGROUND SERVICE ALERT 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG
- SEWER LATERAL NOTES: CONTRACTOR TO COORDINATE LOCATION OF SEWER LATERAL FOR ANY SPECIAL SITE DEVELOPMENT OR CRITICAL LANDSCAPE FEATURES THAT MAY RESTRICT ACCESS OR RESULT IN FUTURE DAMAGE TO SEWER LINE. CONTRACTOR TO COORDINATE SEWER LOCATION AND EXTENSION WITH GRADING DEPTH OF SEWER TO BE VERIFIED WITH FIELD CONDITIONS TO DETERMINE PROPER DRAINAGE OR IF A SUMP PUMP WILL BE REQUIRED- REVIEW WITH OWNER
- SEPARATE PERMITS NOTE: SEPARATE PERMITS ARE REQUIRED FOR ACCESSORY BUILDINGS, SWIMMING POOL, RETAINING WALL, DEMOLITION, PATIO COVERS AND FENCES. (CBC 19A.1)
- EXCAVATION NOTE: THERE SHALL BE NO TRENCHES OR EXCAVATIONS 3 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND; OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT
- NEW STRUCTURE EXTERIOR TO BE OF NON COMBUSTIBLE MATERIALS, OTHER STRUCTURAL FIRE MITIGATION IMPROVEMENTS WERE TAKEN UNDER CONSIDERATION; HOUSE TO BE EQUIPPED WITH RESIDENTIAL FIRE SPRINKLERS, DOUBLE PANE GLAZE, FIRE PROOF INSULATION SYSTEM AND FIRE RATED DOORS.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY PRODUCTS SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, COVERED, OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM (SEE G1 SHEET FOR EROSION & ENVIR. NOTES)
- WATER SHUT-OFF VALVE & FIRE LINE DRAIN OUTLET TO BE LOCATED AT THE SIDE OF THE HOUSE & NOT VISIBLE FROM THE STREET. VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.

NOTE: WATER FEATURE, JACUZZI, & ALL EQUIPMENT FOR EACH SHALL DRAIN TO SEWER LINE. TYPICAL

NOTE: PROVIDE BACK FLOW DEVICE FOR THE SEWER.

NOTE: ROAD ENCROACHMENT PERMIT IS REQUIRED.



EXISTING TOPOGRAPHY SURVEY 1/8" = 1'-0"

FLOOR PLAN LEGEND

- | SYM | DESCRIPTION |
|----------|---|
| (Symbol) | EXISTING STUD WALL |
| (Symbol) | EXISTING STUD WALL TO BE REMOVED |
| (Symbol) | NEW STUD WALL: SEE STRUCTURAL |
| (Symbol) | 5/8 TYPE 'X' DRYWALL |
| (Symbol) | IN-WALL DOWNSPOUT 3" U.N.O. |
| (Symbol) | EXT. VENEER (STONE, BRICK, CASTING) |
| (Symbol) | MASONRY WALL |
| (Symbol) | WINDOW NUMBER |
| (Symbol) | DOOR NUMBER |
| (Symbol) | EXISTING WINDOW DOOR |
| (Symbol) | 3'-0" x 8'-0" STYLE RAIL DOOR |
| (Symbol) | 2'-0" x 4'-0" CASEMENT WINDOW |
| (Symbol) | WINDOW HEIGHT 8'-0" |
| (Symbol) | CEILING AND SOFFIT HEIGHTS (NOMINAL ABOVE FINISH FLOOR) VERIFY WITH INTERIOR ELEVATIONS |
| (Symbol) | FLOOR DRAIN |
| (Symbol) | DECK DRAIN |
| (Symbol) | SECTION LETTER |
| (Symbol) | SHEET LOCATION |
| (Symbol) | INTERIOR ELEVATION SYMBOL - SEE SEPARATE SHEETS |
| (Symbol) | KEY NOTE TAG |
| (Symbol) | PLAN KEY NOTE |
| (Symbol) | SHEET LOCATION |
| (Symbol) | REVISION FLAG (CHANGE IN DRAWINGS-SEE REVISION BLOCK IN TITLE BLOCK AREA) |
| (Symbol) | TRUE NORTH |
| (Symbol) | PROPERTY LINE (P.L.) |
| (Symbol) | SETBACK LINE (E) EXISTING |
| (Symbol) | (N) NEW |
| (Symbol) | (R) REUSE |
| (Symbol) | REMOVAL |

SITE KEYNOTES

- 200 AMP. MAIN ELECTRICAL PANEL (RELOCATED)
- TRASH AREA
- GAS METER (EXIST. TO BE RELOCATED AS REQUIRED, VERIFY W GAS CO.)
- STUCCO FINISH MASONRY WALL (8'-0" HIGH, COLOR TO MATCH THE HOUSE) WITH STONE CAP
- STUCCO FINISH MASONRY PLANTER WALLS WITH STONE CAP
- NA
- MECHANICAL EQUIPMENT
- NA
- EXISTING RAIL - ROAD TRACK WALL
- LINEAR FIRE PIT FEATURE
- BBQ AREA
- FREE STANDING WATER FEATURE BY OWNER
- RUSTIC STONE BENCH BY OWNER
- WOOD ENTRY GATE (MIN. 5'-0")
- LARGE DECORATIVE POTS
- EXISTING SLUMP BLOCK PROPERTY LINE WALL
- EXISTING TOP OF SLOPE
- ROOF OVERHANG
- BALCONY AND/OR LEDGE OVERHANG
- SAND FINISH COLORED CONCRETE PAVING WITH 8" BORDER-SEE LANDSCAPE
- SPECIAL DESIGNERS TILE 8" X 8"
- CONCRETE STEPS
- LOW SLUMP BLOCK WALL TO MATCH EXISTING (3" MAX. HT.) PROVIDE 3'-0" HT. CANTILEVERED GLASS WINDSCREEN FENCE ON TOP (BOTH SIDES).
- EXIST. 30" HT. SLUMP BLOCK WALL
- PER ZONING CODE - PERMITTED FRONT YARD SETBACK, FOR GARAGE IS 5 FT, 20 FT FOR THE REMAINDER, MEASURED FROM BACK OF CURB
- TURF BLOCK
- LINE OF VIEW PROTECTION
- EXISTING CONCRETE GUTTER (177.92 TO) TO BE RE-CONSTRUCTED TO PROVIDE POSITIVE DRAIN TO THE STREET AND ASSURE ELEVATION BELOW NEIGHBORS F.F. AT 178.78. PROVIDE METAL GRATE AT F.S.

ABBREVIATION

- AC AIR CONDENSER
- B.F. BOTTOM OF FOOTING
- B.W. BACK OF SIDEWALK
- D.S. DOWNSPOUT
- E.G. EXISTING GRADE
- F.G. FINISH GRADE (EARTH)
- F.F. FINISH FLOOR
- FL. FLOW LINE
- F.S. FINISH SURFACE (CONCRETE)
- H.P. HIGH POINT
- IN.V. INVERT
- L.P. LOW POINT
- N.I.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- T.C. TOP OF CURB
- T.F. TOP OF FENCE
- T.G. TOP OF GRATE
- T.O.F. TOP OF FOOTING
- T.P. TOP OF PLASTER
- TR. TRASH CAN
- T.W. TOP OF WALL
- PAD. BUILDING PAD
- P.A. PLANTER AREA
- P.L. PROPERTY LINE
- Y.D. YARD DRAIN



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SHEKELL REMODEL
 23762 HOBART BAY
 DRIVE, POINT CA
 LOT 44, TRACT 7205, APN 672-1-31-44

SITE PLAN/ EXISTING TOPOGRAPHIC SURVEY



PROJECT # 14-09
 REVISIONS NO.

SCALE: 1/8" = 1'-0"
 DATE: 3/22/16
 SHEET #

A1



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SHELL REMODEL
23762 HOBART WAY
DANA POINT, CA
LOT 44, TRACT 7205, APN 672-131-44

**EXISTING /
DEMO /
PROPOSED 1ST
FLOOR PLAN**



PROJECT # 14-09
REVISIONS NO.

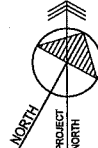
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DATE: 3/2/2016
SHEET #

A2

CDP15-0015

ABBREVIATIONS

ABV.	DESCRIPTION
A/A	ATTIC ACCESS
A/C	AIR CONDITIONER
A/W	AWNING WINDOW
B/I	BIFOLD DOOR/WINDOW
C/W	CASEMENT WINDOW
D	DRYER
DBL	DOUBLE
DBL H	DOUBLE HUNG
DH	DOOR HEADER HEIGHT
DN	DOWN
DW	DISHWASHER
DD	DECK DRAINAGE
DS	DOWNSPOUT
(E)	EXISTING
EX	EXTERIOR
FAU	FORCED AIR UNIT
F.D	FLOOR DRAIN
F.F	FINISH FLOOR
F.P	FIRE PLACE
F.R	FRENCH DOOR
F.H	FRENCH DOOR HEADER HEIGHT
I.B.	IRONING BOARD
L	LAVATORY
L.V	LOWEER
L/C	LINEN CUPBOARD
M.W	MICROWAVE
O.S.A.	OUTSIDE AIR
P & S	POLE (CLOTHES) & SHELF
R	RADIUS
REF	REFRIGERATOR
S	SINK
S.C	SOLID CORE DOOR
SK	SKYLIGHT
SP	SPECIAL
SR	STYLE RAIL
T	TRASH
T.C.	TRASH COMPACTOR
T.C.	TEMPERED GLASS
T/S	TUB / SHOWER
W	WASHER
W.C.	WATER CLOSET
WH	WINDOW HEADER HEIGHT
W.H.	WATER HEATER
W.I.	WROUGHT IRON
V	VANITY

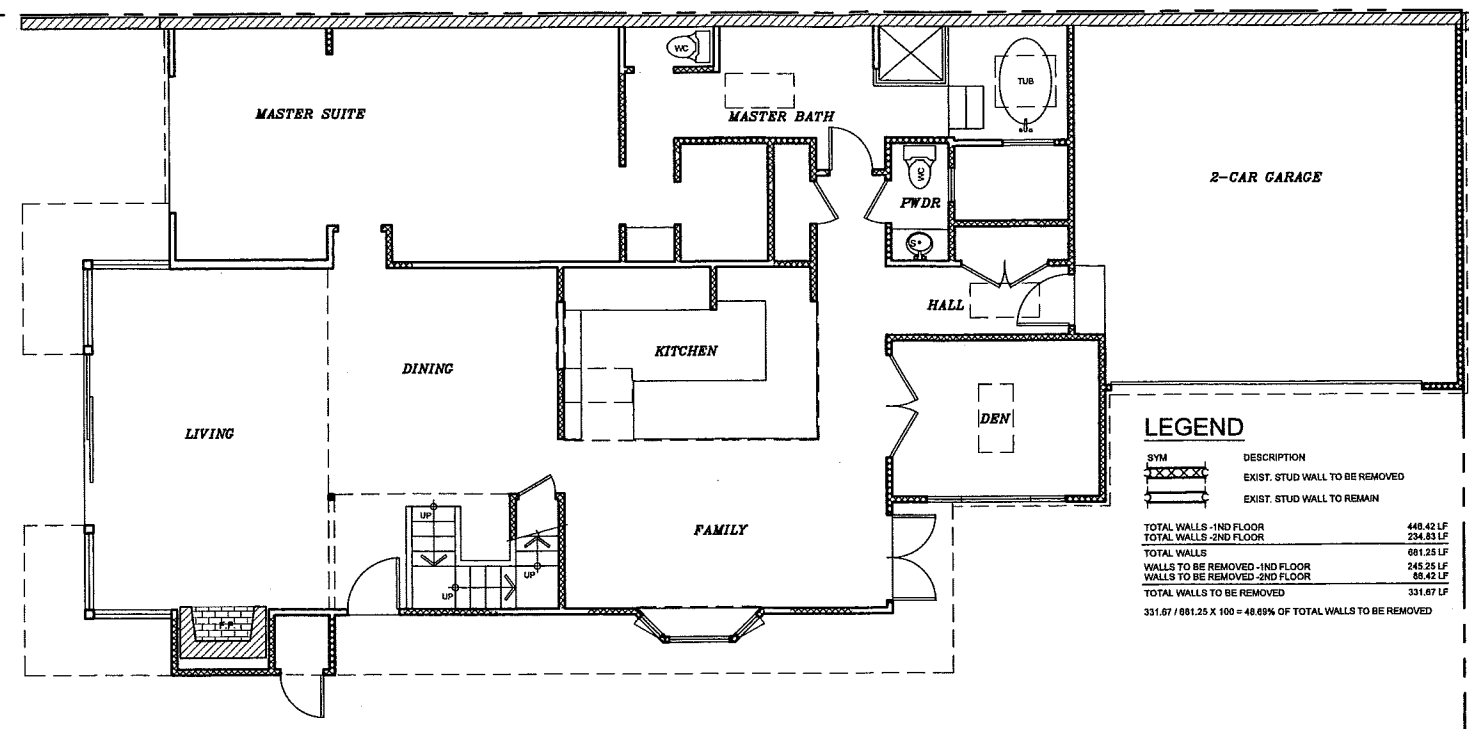


FLOOR PLAN LEGEND (REMODEL)

SYM	DESCRIPTION
(Symbol)	EXISTING STUD WALL
(Symbol)	EXISTING STUD WALL TO BE REMOVED
(Symbol)	NEW STUD WALL - SEE STRUCTURAL
(Symbol)	5/8 TYPE 'X' DRYWALL
(Symbol)	1/2" WALL DOWNSPOUT 3" U.N.O.
(Symbol)	EXT. VENEER (STONE, BRICK, CASTING)
(Symbol)	MASONRY WALL
(Symbol)	WINDOW NUMBER
(Symbol)	DOOR NUMBER
(Symbol)	EXISTING WINDOW DOOR
(Symbol)	3'-0" x 8'-0" STYLE RAIL DOOR
(Symbol)	2'-0" x 4'-0" CASEMENT WINDOW
(Symbol)	WINDOW HEIGHT 8'-0"
(Symbol)	CEILING AND SOFFIT HEIGHTS (NOMINAL ABOVE FINISH FLOOR) VERIFY WITH INTERIOR ELEVATIONS
(Symbol)	FLOOR DRAIN
(Symbol)	DECK DRAIN
(Symbol)	SECTION LETTER
(Symbol)	SHEET LOCATION
(Symbol)	INTERIOR ELEVATION SYMBOL - SEE SEPARATE SHEETS
(Symbol)	PLAN KEY NOTE
(Symbol)	KEY NOTE TAG
(Symbol)	SHEET LOCATION
(Symbol)	REVISION FLAG (CHANGE IN DRAWINGS-SEE REVISION BLOCK IN TITLE BLOCK AREA)
(Symbol)	TRUE NORTH
(Symbol)	PROPERTY LINE (P.L.)
(Symbol)	SETBACK LINE
(Symbol)	NEW ADDITION (E) EXISTING (N) NEW (R) REUSE
(Symbol)	REMOVAL

FLOOR PLAN KEYNOTES

- LINE OF FLOOR AND / OR BALCONY ABOVE
- LINE OF SOFFIT STEP
- LINE OF WALL BELOW
- LINE OF ROOF ABOVE
- LINE OF ROOF BELOW
- 42" GUARDRAIL INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SHALL BE SPACED SUCH THAT 4" SPHERE CANNOT PASS THROUGH
- 30" HANDRAIL OR BARRIER - SEE NOTE ABOVE
- RELOCATED ELECTRICAL MAIN PANEL - 200 AMP VERIFY W/ ELECTRIC CO. DRAPE POCKET
- PROVIDE 5/8 INCH TYPE 'X' GYP. BD. AT WALLS AND CEILING OF GARAGE AND ANY USABLE SPACE UNDER STAIRS
- SKYLIGHT - SEE SHEET A4 FOR SIZE
- LINE OF SETBACK
- CONTROL PANELS
- WALL TO BE REMOVED
- EXISTING SLUMP BLOCK WALL
- TRASH AREA
- EXISTING MASONRY FIREPLACE
- FLUSH HEARTH
- EMERGENCY EGRESS DOOR / WINDOW
- 1/2" MAX. STEP AT OUTSWING DOOR
- LEDGE / BALCONY
- MAINTENANCE ACCESS ONLY
- TANKLESS WATER HEATER
- 1 3/8 INCH THICK MIN. SELF-CLOSING 20 MIN. RATED DOOR
- (N) ELECTRICAL SUB-PANEL
- 1/2" MAX. STEP AT OUTSWING DOOR
- PROVIDE REQUIRED KITCHEN EXHAUST HOOD VENT. DUCT SHOULD BE MIN. 7/8" & 400 CFM VER. W/ FINAL COOKTOP / RANGE SELECTION AND/OR MFR'S SPECS
- 22"x36" MIN. ATTIC ACCESS. ATTIC ACCESS. 30"x30" MIN. WHEN F.A.U. IS IN ATTIC
- ATTIC ACCESS WITH BUILT-IN LADDER
- 3/8" THICK TEMP. GLASS SHOWER ENCLOSURE (FRAME LESS)
- TILE WALLS AND/OR CEILING SEE GENERAL NOTE G14, G15, G16 SHEET A4
- PROVIDE FOR WHOLE HOUSE PURIFICATION SYSTEM - CONTRACTOR TO VERIFY SIZE AND LOCATION (WATER TECHNIQUES SYSTEM OR EQUAL)
- OUTDOOR SHOWER - COORDINATE W/ LANDSCAPE
- GARAGE STORAGE CABINET
- LOW PROFILE SOLAR PANELS
- SOUND-PROOF WALL (QUIET ROCK OR EQUAL)
- MOTORIZED SKYLIGHT - SEE SHEET A4 FOR SIZE
- DOGIE DOOR - VERIFY SIZE AND LOCATION W/ OWNER
- WOOD GATE - VERIFY W/ LANDSCAPE
- METAL FIREPLACE - TOWNS&M SERIES D MODULAR DIRECT VENT FIREPLACE TO TOWN & COUNTRY ANSI Z21.50-2014 INSTALLATION & USE PER MANUF. SPECS SEE MECHANICAL NOTE M4 SHEET A4



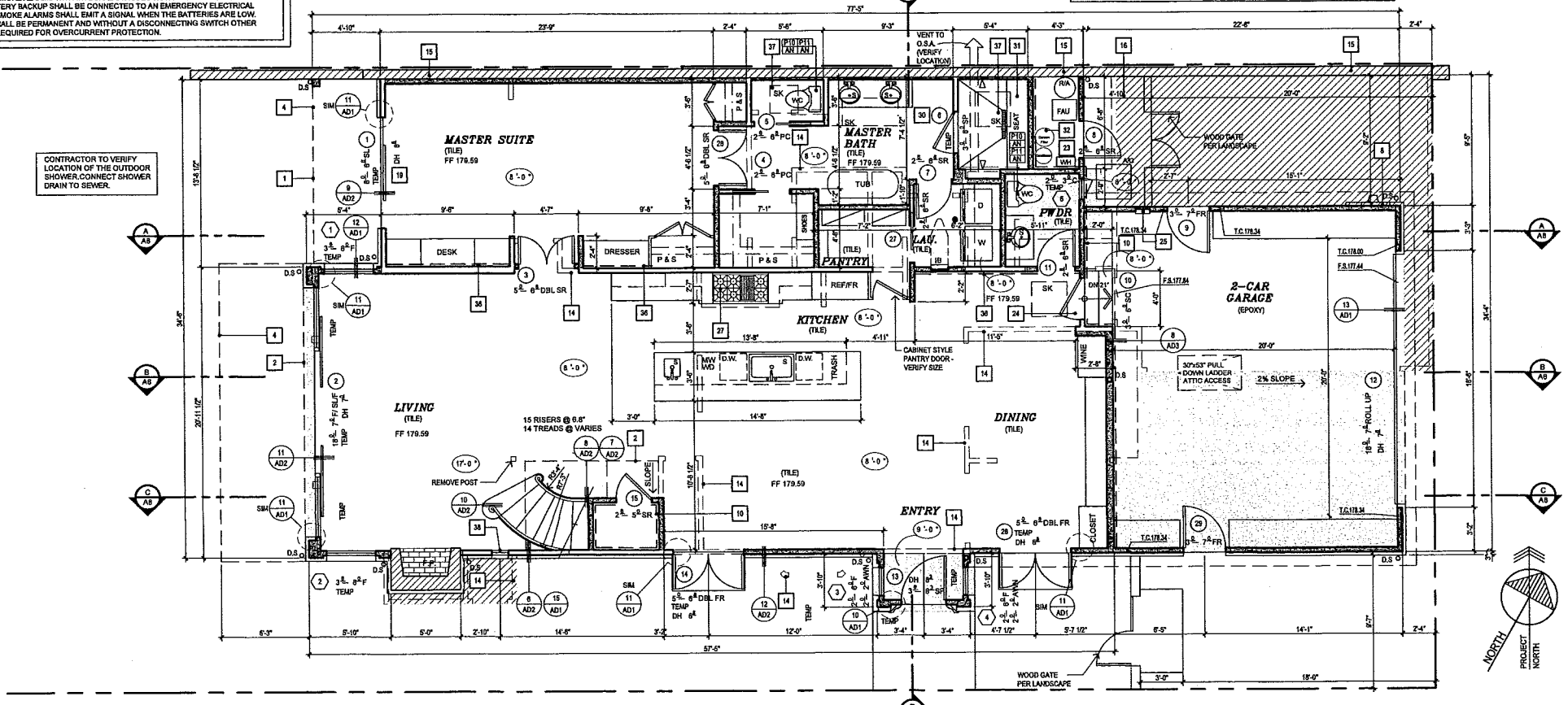
EXISTING 1ST FLOOR / DEMO PLAN 1/4"=1'-0"

LIVING AREA 1,857 SQ.FT.
GARAGE 482 SQ.FT.

NOTE: DOORS AND WINDOWS TO BE WOOD/ALUMINUM CLAD, DOUBLE GLAZED, LOW-E. EACH WINDOW SHOULD BARE NFRC CERTIFIED LABEL, U/F AND SHGC VALUES AT TIME OF ROUGH INSPECTION. SEE PLANS FOR SIZES AND SHEET A4 FOR ADDITIONAL INFORMATION. REFER TO T-24 ANALYSIS:
WINDOWS U-FACTOR: 0.35, SHGC: 0.17
GLASS DOORS U-FACTOR: 0.38, SHGC: 0.35
SKYLIGHT U-FACTOR: 0.31, SHGC: 0.28

SMOKE AND CARBON MONOXIDE ALARM NOTES:
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

CONTRACTOR TO VERIFY LOCATION OF THE OUTDOOR SHOWER, CONNECT SHOWER DRAIN TO SEWER.



PROPOSED 1ST FLOOR PLAN 1/4"=1'-0"

LIVING AREA 1,851 SQ.FT.
GARAGE/MECHANICAL 546 SQ.FT.
COVERED LOGGIA 191 SQ.FT.

NOTE: CONTRACTOR TO VERIFY ANY SOFFIT DROPS FOR MECHANICAL AND FIRE SPRINKLER SYSTEM. CONTRACTOR TO COORDINATE UTILITY METERS RELOCATION.



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SHELL REMODEL
23723 HOBART BAY
DANA POINT, CA
LOT 44, TRACT 7203, APN 672-131-44

**EXISTING /
DEMO /
PROPOSED 2ND FLOOR PLAN**



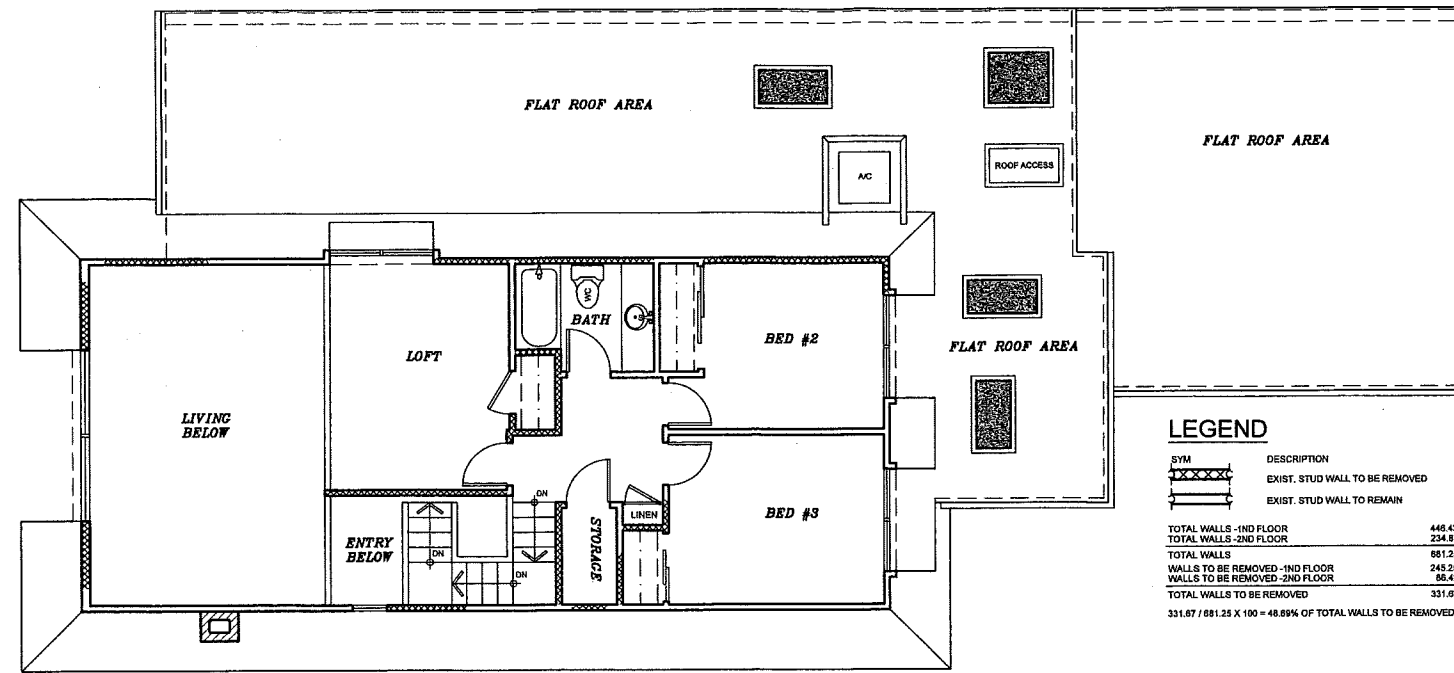
PROJECT # 14-09

REVISIONS NO.

SCALE: 1/4"=1'-0"
DATE: OCT 31 2014
SHEET #:

A3

CDP15-0015



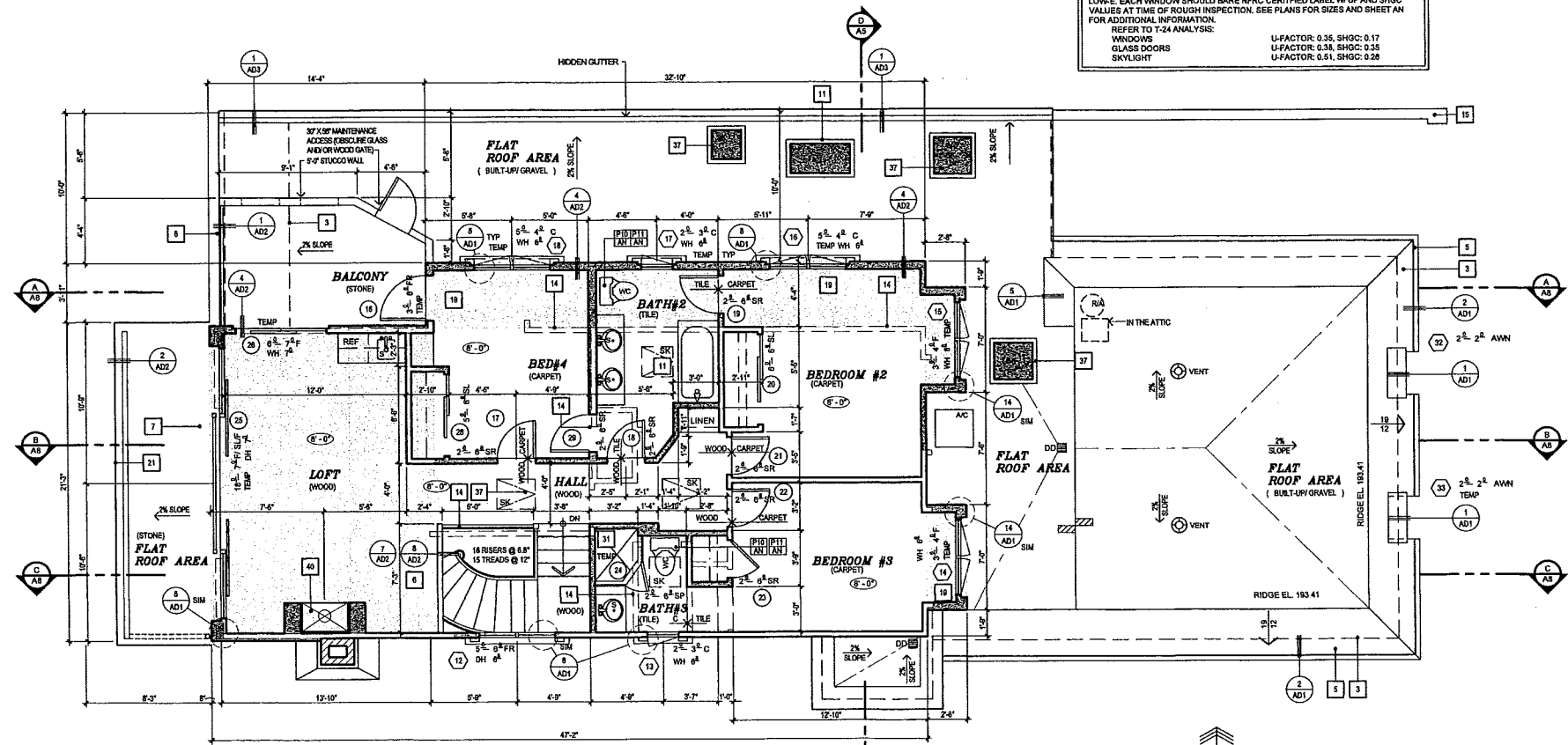
EXISTING 2ND FLOOR/ DEMO PLAN 1/4"=1'-0"
LIVING AREA 588 SQ.FT.

LEGEND

SYM	DESCRIPTION
(Symbol: Dashed line with 'X's)	EXIST. STUD WALL TO BE REMOVED
(Symbol: Solid line)	EXIST. STUD WALL TO REMAIN

TOTAL WALLS -1ND FLOOR	446.43 LF
TOTAL WALLS -2ND FLOOR	234.85 LF
TOTAL WALLS	681.28 LF
WALLS TO BE REMOVED -1ND FLOOR	245.25 LF
WALLS TO BE REMOVED -2ND FLOOR	86.42 LF
TOTAL WALLS TO BE REMOVED	331.67 LF
331.67 / 681.28 X 100 = 48.69% OF TOTAL WALLS TO BE REMOVED	

NOTE: DOORS AND WINDOWS TO BE WOOD/ALUMINUM CLAD, DOUBLE GLAZED, LOW-E. EACH WINDOW SHOULD BARE W/RC CERTIFIED LABEL W/ U-F AND SHGC VALUES AT TIME OF ROUGH INSPECTION. SEE PLANS FOR SIZES AND SHEET AN FOR ADDITIONAL INFORMATION.
REFER TO T-24 ANALYSIS:
WINDOWS U-FACTOR: 0.35, SHGC: 0.17
GLASS DOORS U-FACTOR: 0.38, SHGC: 0.35
SKYLIGHT U-FACTOR: 0.51, SHGC: 0.28



PROPOSED 2ND FLOOR PLAN 1/4"=1'-0"
LIVING AREA 1,087 SQ.FT.
BALCONY 103 SQ.FT.

NOTE:
WINDOW GUARD IS REQUIRED FOR OPERABLE WINDOWS WITHIN 36" OF THE FLOOR PER (IRC R612.2). CONTRACTOR TO VERIFY RESTRICTIVE HARDWARE INSTALLATION FOR ALL WINDOWS WITH SILL HT. BELOW 36".

SMOKE AND CARBON MONOXIDE ALARM NOTES:
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

ABBREVIATIONS

ABV.	DESCRIPTION
AA	ATTIC ACCESS
AC	AIR CONDITIONER
AWN	AWNING WINDOW
B	BIFOLD DOOR/WINDOW
C	CASEMENT WINDOW
CV	CENTRAL VACUUM
D	DRYER
DBL	DOUBLE HUNG
DBL H	DOUBLE HUNG
DH	DOWN
DN	DOWN
DW	DISHWASHER
DD	DECK DRAINAGE
DS	DOWNPOUT
(E)	EXISTING
EX	EXTERIOR
FAU	FORCED AIR UNIT
F.D	FLOOR DRAIN
F.F.	FINISH FLOOR
F.P.	FIRE PLACE
F.R.	FRENCH DOOR
FR	FRENCH DOOR
FB	FRONT BOARD
IB	IRONING BOARD
LV	LAVATORY
L	LINEN
LIC	LINEN CLOSET
M.W.	MICROWAVE
OSA	OUTSIDE AIR
P & S	POLE (CLOTHES) & SHELF
R	RADIUS
REF	REFRIGERATOR
S	SINK
SC	SOLID CORE DOOR
SK	SKYLIGHT
SP	SPECIAL
SR	STYLE RAIL
T	TRASH
T.C.	TEMP. COMPACTOR
TEMP.	TEMPERED GLASS
T/S	TUB / SHOWER
W	WASHER
W.C.	WATER CLOSET
WH	WINDOW HEADER HEIGHT
WH	WATER HEATER
WI	WROUGHT IRON
V	VANITY

FLOOR PLAN LEGEND

SYM	DESCRIPTION
(Symbol: Dashed line)	EXISTING STUD WALL
(Symbol: Dashed line with 'X's')	EXISTING STUD WALL TO BE REMOVED
(Symbol: Solid line)	NEW STUD WALL: SEE STRUCTURAL
(Symbol: Dashed line with 'X's' and 'S')	S/S TYPE 'X' DRYWALL
(Symbol: Dashed line with 'S')	IN-WALL DOWNSPOUT 3" U.O.D.
(Symbol: Dashed line with 'S' and 'D')	EXT. VENEER (STONE, BRICK, CASTING)
(Symbol: Dashed line with 'M')	MASONRY WALL
(Symbol: Circle with '1')	WINDOW NUMBER
(Symbol: Circle with '2')	DOOR NUMBER
(Symbol: Circle with 'E')	EXISTING WINDOW DOOR
(Symbol: Circle with 'E' and 'S')	3'-0" x 6'-0" STYLE RAIL DOOR
(Symbol: Circle with 'E' and 'C')	2'-0" x 4'-0" CASEMENT WINDOW
(Symbol: Circle with 'E' and 'H')	WINDOW HEIGHT 6'-0"
(Symbol: Circle with 'E' and 'F')	CEILING AND SOFFIT HEIGHTS (NOMINAL ABOVE FINISH FLOOR) VERIFY WITH INTERIOR ELEVATIONS
(Symbol: Circle with 'F')	FLOOR DRAIN
(Symbol: Circle with 'D')	DECK DRAIN
(Symbol: Circle with 'A')	SECTION LETTER
(Symbol: Circle with 'S')	SHEET LOCATION
(Symbol: Circle with '2')	INTERIOR ELEVATION SYMBOL - SEE SEPARATE SHEETS
(Symbol: Circle with '2' and 'A')	PLAN KEY NOTE
(Symbol: Circle with '2' and 'A')	KEY NOTE TAG
(Symbol: Triangle with '2')	SHEET LOCATION
(Symbol: Triangle with '2')	REVISION FLAG (CHANGE IN DRAWINGS-SEE REVISION BLOCK IN TITLE BLOCK AREA)
(Symbol: Circle with 'N')	TRUE NORTH
(Symbol: Circle with 'N' and 'P.L.')	PROPERTY LINE (P.L.)
(Symbol: Dashed line)	SETBACK LINE
(Symbol: Square with 'E')	EXISTING
(Symbol: Square with 'N')	NEW
(Symbol: Square with 'R')	REUSE
(Symbol: Square with 'X')	REMOVAL

FLOOR PLAN KEYNOTES

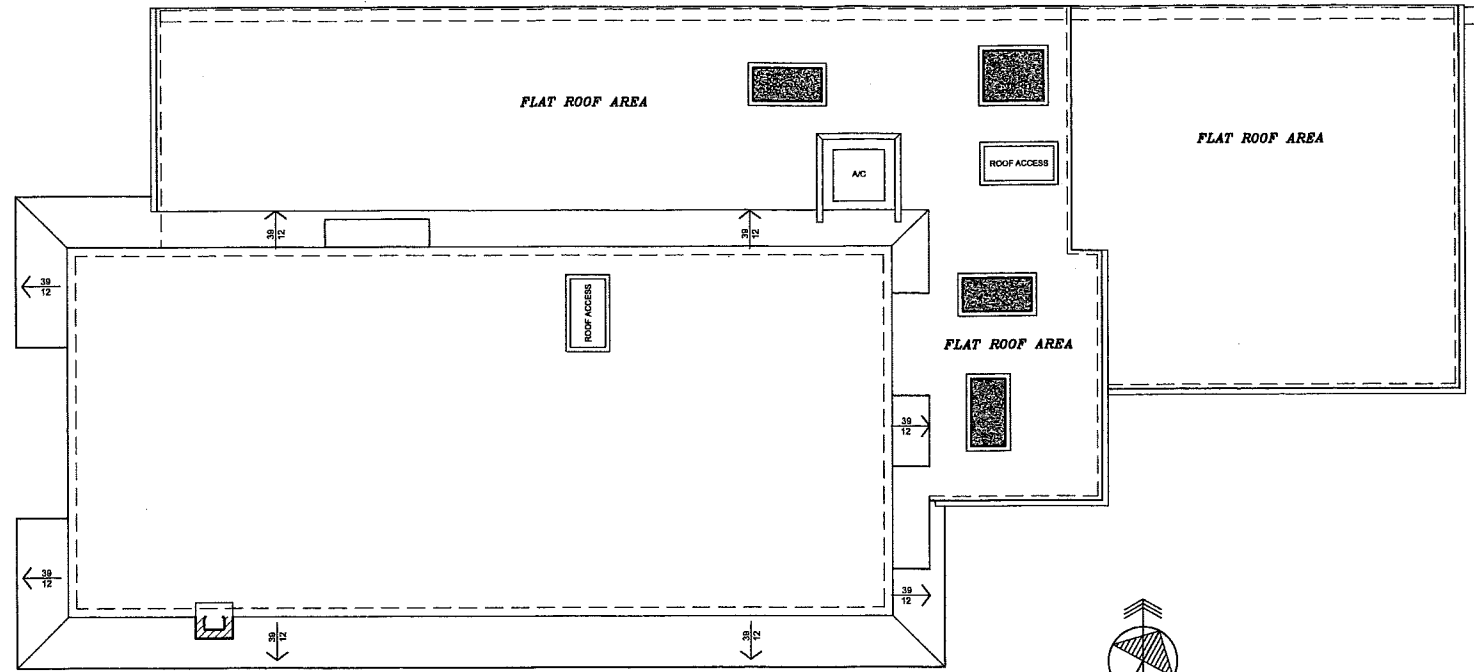
- LINE OF FLOOR AND / OR BALCONY ABOVE
- LINE OF SOFFIT STEP
- LINE OF WALL BELOW
- LINE OF ROOF ABOVE
- LINE OF ROOF BELOW
- 4" GUARDRAIL INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SHALL BE SPACED SUCH THAT 4" SPHERE CANNOT PASS THROUGH
- 36" HANDRAIL OR BARRIER - SEE NOTE ABOVE
- RELOCATED ELECTRICAL MAIN PANEL - 200 AMP VERIFY W/ ELECTRIC CO.
- DRAPES POCKET
- PROVIDE 5/8 INCH TYPE 'X' GYP. BD. AT WALLS AND CEILING OF GARAGE AND ANY USABLE SPACE UNDER STAIRS.
- SKYLIGHT- SEE SHEET A4 FOR SIZE
- LINE OF SETBACK
- CONTROL PANELS
- WALL TO BE REMOVED
- EXISTING SLUMP BLOCK WALL
- TRASH AREA
- EXISTING MASONRY FIREPLACE
- FLUSH HEARTH
- EMERGENCY EGRESS DOOR/WINDOW
- 1/2" MAX. STEP AT OUTSWING DOOR
- LEDGE / BALCONY
- MAINTENANCE ACCESS ONLY
- TANKLESS WATER HEATER
- 1 3/8 INCH THICK MIN. SELF-CLOSING 20 MIN. RATED DOOR
- (N) ELECTRICAL SUB-PANEL
- 1/2" MAX. STEP AT OUTSWING DOOR
- PROVIDE REQUIRED KITCHEN EXHAUST HOOD VENT. DUCT SHOULD BE MIN. 7/8" & 400 CFM. VER. W/ FINAL COOKTOP / RANGE SELECTION AND/OR HWFS SPECS
- 22"x30" MIN. ATTIC ACCESS. ATTIC ACCESS. 30"x30" MIN. WHEN F.A.U. IS IN ATTIC
- ATTIC ACCESS WITH BUILT-IN LADDER
- 3/8" THICK TEMP. GLASS SHOWER ENCLOSURE (FRAME LESS)
- TILE WALLS AND/OR CEILING SEE GENERAL NOTE G14, G15, G16 SHEET AN
- PROVIDE FOR WHOLE HOUSE PURIFICATION SYSTEM - CONTRACTOR TO VERIFY SIZE AND LOCATION (WATER TECHNIQUES SYSTEM OR EQUAL)
- OUTDOOR SHOWER - COORDINATE W/ LANDSCAPE
- GARAGE STORAGE CABINET
- LOW PROFILE SOLAR PANELS
- SOUND-PROOF WALL (QUIET ROCK OR EQUAL)
- MOTORIZED SKYLIGHT- SEE SHEET A4 FOR SIZE
- DOGGIE DOOR - VERIFY SIZE AND LOCATION W/ OWNER
- WOOD GATE - VERIFY W/ LANDSCAPE
- METAL FIREPLACE - TOWNSHIP SERIES D MODULAR DIRECT VENT FIREPLACE BY TOWN & COUNTRY ANS 21-2014
- INSTALLATION & USE PER MANUF. SPECS SEE MECHANICAL NOTE M4 SHEET AN



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DANA POINT, CA
LOT 44, TRACT 7203, APN 672-131-44



EXISTING ROOF PLAN 1/4"=1'-0"

ROOF LEGEND

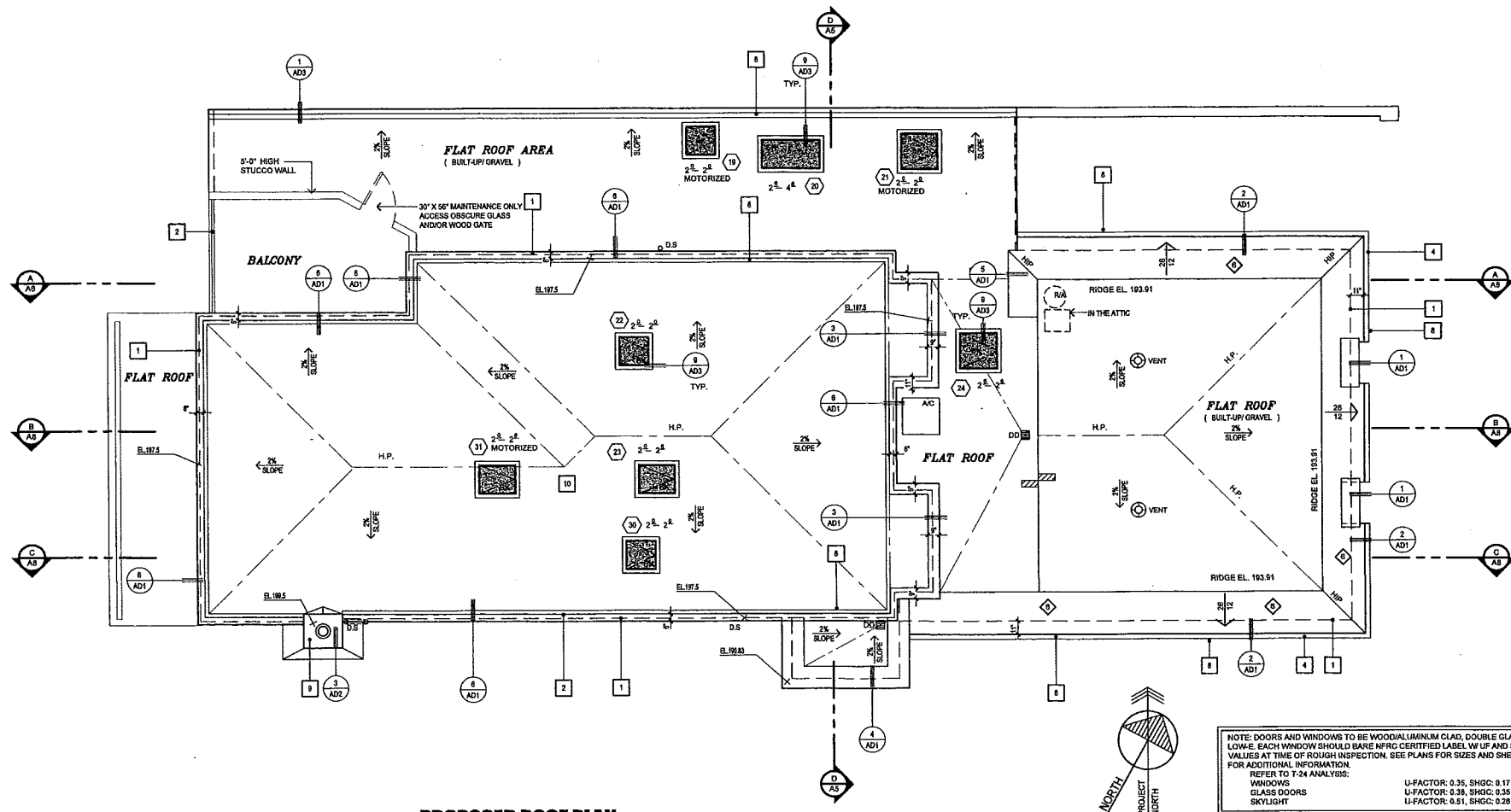
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|------------|---|
| SYM | DESCRIPTION |
| 5 | ROOF PITCH (SEE PLAN) |
| 12 | 1/2 ROUND DORMER VENT (SEE NOTE #1) |
| A-A
A19 | DETAIL SYMBOL
DETAIL SHEET NO. |
| 2 | PLAN KEY NOTE |
| 1 | WINDOW SYMBOL (SEE SCHEDULE) |
| H.P. | PARAPET WALL VENTS |
| H.P. | HIGH POINT |
| DS | GUTTER DOWNSPOUT LOCATION |
| 2'-0" | LINE OF GUTTER |
| 2'-0" | OVERHANG DIMENSION (SEE PLAN) |
| | LINE OF FASCIA |
| | LINE OF BUILDING |
| A-A
A5 | SECTION LETTER
SHEET LOCATION |
| NORTH | TRUE NORTH |
| ⊕ | FLAT ROOF AREA DRAIN |
| □ | CLOAKED ROOF VENT (SEE NOTES FOR SPECS) |
| ⊕ | FAU VENT/ V/W VENT |
| ⊕ | VENTED ATTIC AREA |

ROOF NOTES

- 1. ROOF VENTING SHALL NOT BE LESS THAN 1/150 OF THE AREA TO BE VENTED, EXCEPT THAT THE AREA MAY BE 1/200, PROVIDED THAT AT LEAST 50 PERCENT OF THE REQUIRED VENTING AREA IS PROVIDED BY GABLE OR CORNICE VENTS. ROOF VENTS SHALL BE 2'-0" DIA, 1/2 RND VENTS LOCATED IN THE UPPER PORTION OF THE ROOF.
- 2. SKYLIGHTS SHALL BE AS SPECIFIED ON ROOF PLAN. ALUMINUM FRAME PAINT TO MATCH ROOF. TINT LENS PER SCHEDULE. SIZE PER SCHEDULE. NO PLASTIC LENS WITHIN 6 FT. OF A FIRE RATED EXTERIOR WALL. SKYLIGHTS TO BE SOLAR GREY. CHIMNEYS TO BE BRONZE FRAME BRISTOLITE (OR EON 248).
- 3. FLASHING: FLASHING SHALL BE 26 GA. GALVANIZED CORROSION RESISTANT METAL. FLASHING SHALL BE PROVIDED AT ALL EXTERIOR OPENINGS, ROOF VALLEYS, CHIMNEYS, & ROOF PARAPETS. VALLEY FLASHING SHALL BE 22" WIDE W/ 1" DIVERTER MIN. HEAD LAPS. SEAL ALL EDGES W/ MASTIC. FIREPLACE & LAPS. CHIMNEYS SHALL BE PROVIDED W/ A METAL CAP. SECTIONS 1402.2, 1508, & 1509 CBC.
- 4. EXPOSED FASCIA: SEASONED LUMBER, INSTALLED BARK SIDE OUT. SEAL (PRIME) ALL SIDES AND EDGES PRIOR TO EXPOSING LUMBER TO WEATHER. NAIL WITH GALVANIZED FINISH NAILS (16D) AND PUTTY HEAD HOLES.
- 5. EXTERIOR TRIM: SEE ITEM # 4 ABOVE.
- 6. ROOFING: NATURAL SLATE TILE - TRUSLATE CUSTOM GRAY BLEND COLOR T.B.D. WEIGHT 40-600 LB PER SQ.
- 7. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION. CONTRACTOR TO ENSURE CLASS 'A' ASSEMBLY.
- 8. ROOFING SHALL BE FIRE STOPPED AT EAVE ENDS.
- 9. TILE NAILING: MINIMUM NAILING SHALL COMPLY WITH THE FOLLOWING:
 - a. 11 GAUGE CORROSION RESISTIVE EMBEDDED 3/4" INTO SHEATHING PER TABLE NO. 18-D-1.
 - b. THE HEADS OF ALL TILES SHALL BE NAILED.
 - c. THE NOSSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS.
 - d. ALL RAKE TILES SHALL BE NAILED WITH TWO NAILS.
 - e. THE NOSSES OF ALL RIDGE, HP & RAKE TILES SHALL BE SET IN A BED OF APPROVED ROOFER'S MASTIC.
- 10. ROOF VENTS TO MATCH COLOR OF THE ROOF.
- 11. ALL RIDGE ELEVATIONS ARE TO THE TOP OF FINISH ROOFING MATERIAL.
- 12. BUILT-UP ROOFING SHALL BE CLASS-A MINIMUM. CONTRACTOR TO USE GAF-ELK PRODUCT OR EQUAL. FOR LOW SLOPE ROOF AREAS, INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION PROVIDE ROOF DRAINS AND OVERFLOW DRAINS PER ROOF PLAN AND DETAILS. BRING ANY DISCREPANCIES OR PROBLEMS TO THE ARCHITECT'S ATTENTION. CONTRACTOR TO USE GAF-ELK PRODUCT OR EQUAL. FLAT ROOFING SHALL BE PROVIDED WITH 1 LAYER GAF-GLASS BASE 28LB (ICC ESR#1274), 3 LAYERS FIBERGLASS 11LB AND 8 PLY MODIFIED CAP SHEET TOP COAT. ROOF SHALL BE 20 YEAR BONDED. INSTALLATION SHALL BE PER MANUFACTURER'S SPECIFICATIONS.

ROOF KEYNOTES

- 1 LINE OF WALL BELOW
- 2 LINE OF BALCONY BELOW
- 3 LINE OF SOFFIT BELOW
- 4 LINE OF ROOF BELOW
- 5 30" X 36" ROOF ACCESS FOR MAINTENANCE ONLY
- 6 SKYLIGHT - SEE ROOF NOTE #3
- 7 DOWNSPOUT - 4" TYPICAL
- 8 LINE OF GUTTER
- 9 CHIMNEY CAP - SEE DETAIL
- 10 FLAT ROOF AREA BUILT UP ROOFING - 90 LBS. CAP SHEET ROOFING COLOR TO MATCH ROOFING MATERIAL
- 11 LINE OF ROOF PARAPET
- 12 LINE OF SETBACK
- 13 BUILDING HT ENVELOPE ELEV. 167'-9"
- 14 LINE OF ROOFING GANT



PROPOSED ROOF PLAN 1/4"=1'-0"

NOTE: DOORS AND WINDOWS TO BE WOOD/ALUMINUM CLAD, DOUBLE GLAZED, LOW-E. EACH WINDOW SHOULD BARE NFRC CERTIFIED LABEL W/ U-P AND SHGC VALUES AT TIME OF ROUGH INSPECTION. SEE PLANS FOR SIZES AND SHEET AN FOR ADDITIONAL INFORMATION.
REFERS TO T-24 ANALYSIS:
WINDOWS U-FACTOR: 0.35, SHGC: 0.17
GLASS DOORS U-FACTOR: 0.35, SHGC: 0.35
SKYLIGHT U-FACTOR: 0.21, SHGC: 0.28

ROOF PLAN



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REVISIONS NO.

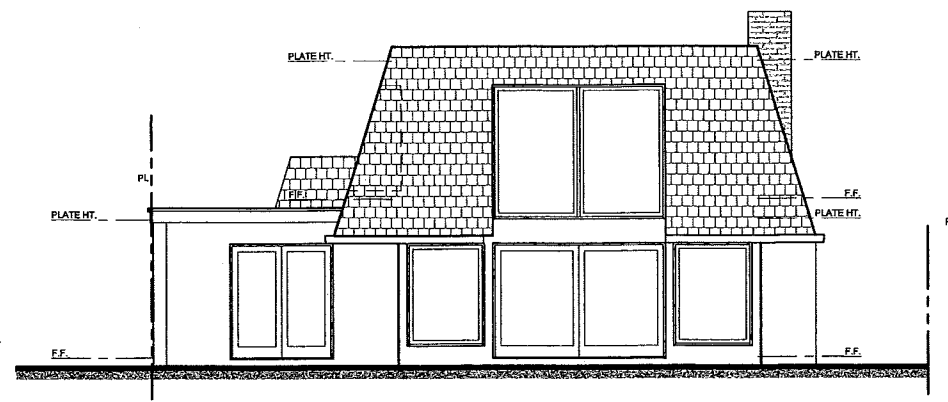
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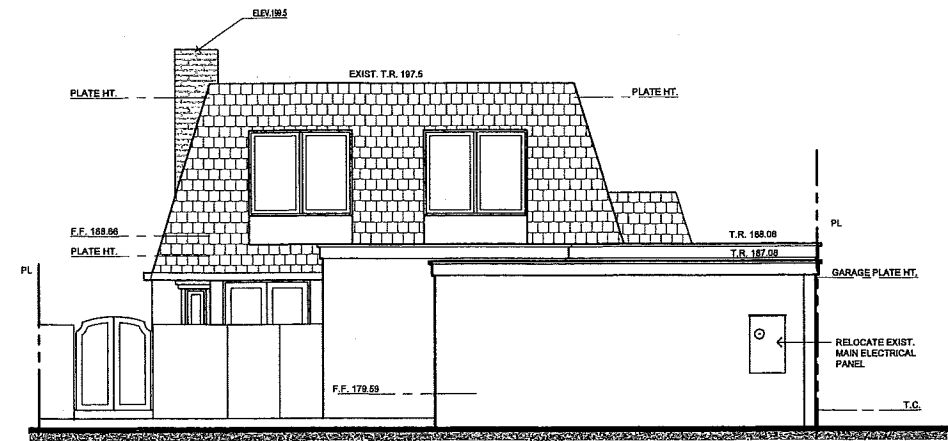


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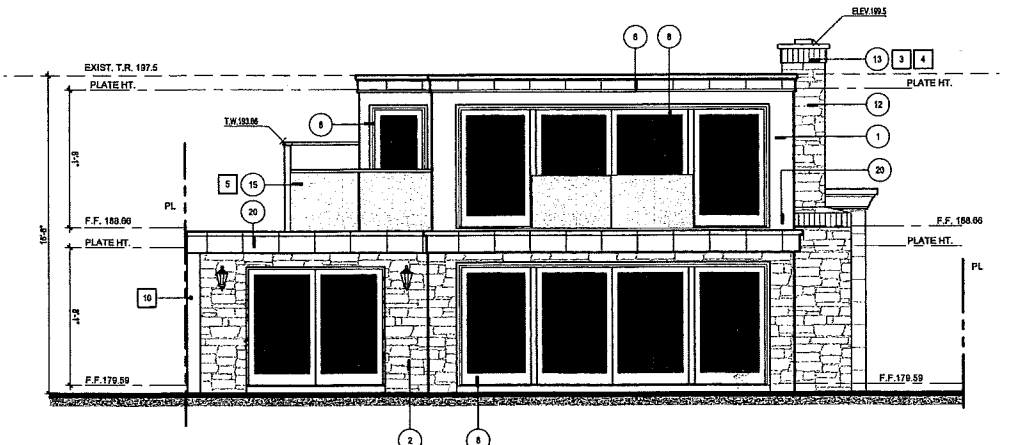
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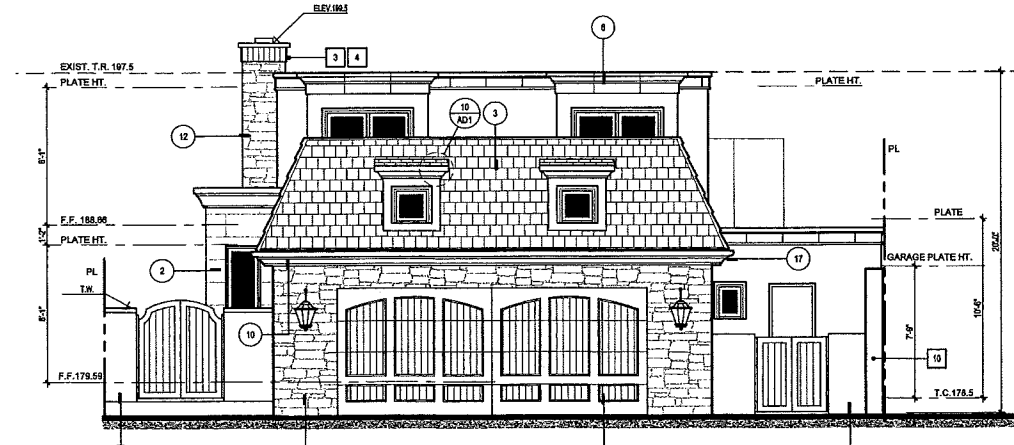
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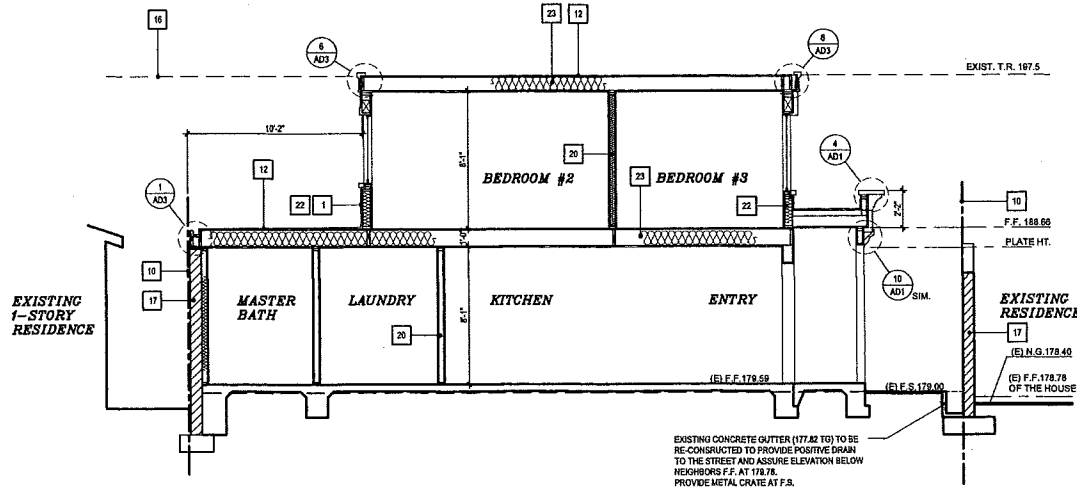
EXISTING FRONT ELEVATION 1/4" = 1'-0"



PROPOSED REAR ELEVATION 1/4" = 1'-0"



PROPOSED FRONT ELEVATION 1/4" = 1'-0"



SECTION D 1/4" = 1'-0"

SECTION NOTES

- 1 EXTERIOR STUCCO.
- 2 42" GUARDRAIL - SEE ALSO NOTE 3
- 3 3/4" HANDRAIL INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SHALL BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS THROUGH
- 4 SKYLIGHT SHAFT
- 5 EXISTING GRADE
- 6 LINE OF MAXIMUM BUILDING HEIGHT
- 7 ALL RIDGE ELEVATIONS ARE TO THE TOP OF FINISH MATERIAL (E.G. ROOF TILE)
- 8 FINISH GRADE
- 9 LINE OF SETBACK
- 10 PROPERTY LINE
- 11 TOP OF SLOPE
- 12 FLAT ROOF (SEE ROOF PLAN)
- 13 STONE VENEER
- 14 STONE TILE OVER MER-KOTE WATER PROOF BACKING SYSTEM (GIBCO 309)
- 15 WOOD CORBEL
- 16 HIDDEN GUTTER
- 17 EXISTING SLUMP BLOCK WALL
- 18 LOW PROFILE SOLAR PANELS
- 19 LEDGE

- 20 R-15 INSULATION (2X4 FRAMING)
- 21 R-19 INSULATION
- 22 R-21 INSULATION (2X6 FRAMING)
- 23 R-30 INSULATION
- 24 5/8" GYPSUM BOARD
- 25 3/4" CDX T&G
- 26 3/4" GYP. CRETE OVER 3/4" STRUCTURAL II PLYWOOD
- 27 PROVIDE 5/8 INCH TYPE "X" GYP. BD. AT WALLS AND CEILING OF GARAGE. ANY USABLE SPACE UNDER STAIRS AND ELEVATOR SHAFT BOTH SIDES (SEE NOTE G13 SHEET AN)
- 28 3/4" PLYWOOD WITH T&G
- 29 STONE & SETTING BED
- 30 PARTIALLY SUNKEN SPA. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 31 SUNKEN CONVERSATION AREA. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 32 GAS ONLY FIRE PIT. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 33 CAISSON & GRADE BEAM. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 34 CONCRETE PAVING - SEE LANDSCAPE DRAWINGS
- 35 ATTIC ACCESS LADDER
- 36 ROOF ACCESS HATCH

MATERIAL SCHEDULE

ITEM	MATERIAL	COLOR
1	walls	stucco Sierra Madre ECC-46-1 Belz
2	walls	stone - two finishes - rough and random - smooth tie out Limestone
3	roofing	slate American Slate Custom Gray blend
4	roofing	build-up roofing Charcoal/ Medium Gray
5	fascia	stucco Eagle Ridge ECC-46-2 Belz
6	fascia	stone or cast concrete Limestone
7	entry door	wood/ glass/ wrought iron walnut/ natural/ black patina
8	window/ door trim	wood/ alumin. clad Oxford Ivy - Semco window/ doors
9	window sill	stone Limestone
10	window sill	cast concrete Limestone
11	N/A	
12	chimney	stone - rough and random Limestone
13	chimney cap	clay natural
14	garage door	wood veneer walnut old world look
15	railings	glass natural
16	window surround	stone Limestone
17	gutters	copper natural
18	swirling st entry door	glass/ wrought iron sand blasted/ black patina
19	corbels	wood driftwood stain
20	balcony/ ledge	stone or cast concrete Limestone

NOTE:
EXTERIOR LATH: PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASK SHEATHING (CSG 2310)
EXTERIOR CEMENT PLASTER APPLICATION TO BE 7/8" THICK (3) THREE LAYERS WITH FINISH LAYER TO BE SELECTED BY OWNER.

ELEVATION NOTES

- 1 3" PVC DOWNSPOUT IN WALL
- 2 DOWNSPOUT OUTSIDE WALL
- 3 PROVIDE APPROVED SPARK ARRESTOR (SPARK ARRESTOR SHALL HAVE A MIN. NET OPENING FOUR TIMES THAT OF THE CHIMNEY)
- 4 CHIMNEY SHALL EXTEND 2'-0" ABOVE ROOF LINE WITHIN 10'-0" RADIUS MAX. 3'-0" ABOVE MAX. BLDG HT. OR AS NOTED
- 5 42" GUARDRAIL INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SHALL BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS THROUGH
- 6 SKYLIGHT
- 7 PROPERTY WALL
- 8 EXISTING GRADE
- 9 MAIN ELECTRICAL PANEL. VERIFY LOCATION W/ ELECTRIC CO.
- 10 EXISTING SLUMP BLOCK WALL

ELEVATIONS



PROJECT # 14-09
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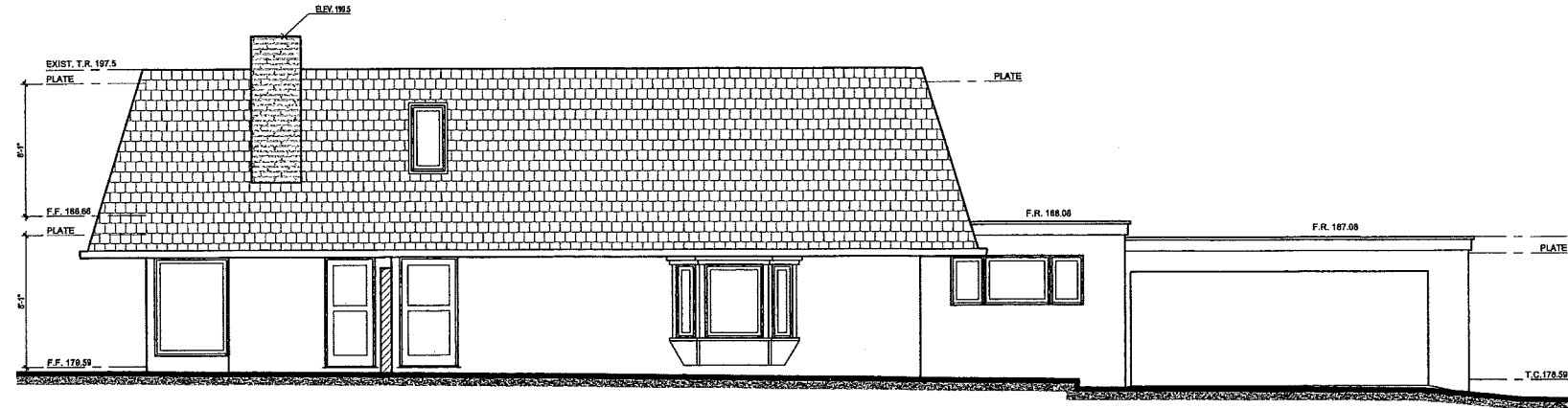
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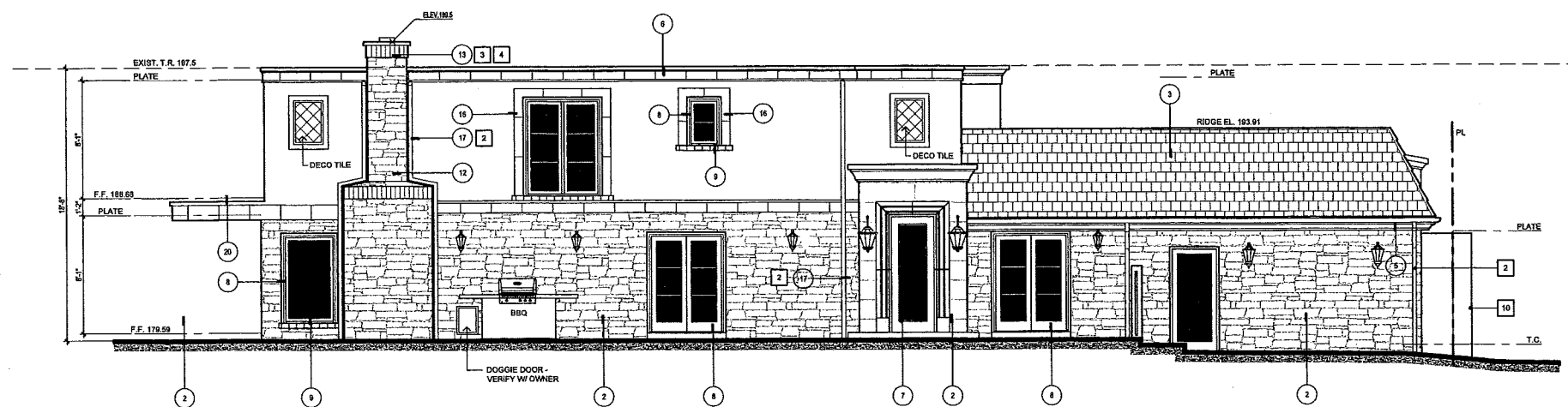
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EXISTING LEFT ELEVATION 1/4" = 1'-0"

ITEM	MATERIAL	COLOR
1	walls	stucco Sierra Madre ECC-46-1 Boh
2	walls	stone - two finishes Limestone - rough and random - smooth life cut
3	roofing	slate American Slate Custom Gray Blend
4	roofing	built-up roofing Charcoal/Medium Gray
5	fascia	stucco Eagle Ridge ECC-46-2 Boh
6	fascia	stone or cast concrete Limestone
7	entry door	wood/glass/wrought iron wainsail/natural/black patina
8	window door trim	wood/aluminum clad Oxford hvy -Semco window/door
9	window sill	stone Limestone
10	window sill	cast concrete Limestone
11	NA	
12	chimney	stone - rough and random Limestone
13	chimney cap	clay natural
14	garage door	wood veneer wainsail old world look
15	railings	glass natural
16	window surround	stone Limestone
17	gutters	copper natural
18	awning at entry door	glass/wrought iron sand blasted/black patina
19	corbels	wood driftwood stain
20	balcony/ledge	stone or cast concrete Limestone

NOTE:
EXTERIOR LATH; PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL WOOD BASE SHEATHING. (CBC 2510.6)
EXTERIOR CEMENT PLASTER APPLICATION TO BE 7/8" THICK (3) THREE LAYERS WITH FINISH LAYER TO BE SELECTED BY OWNER.



PROPOSED LEFT ELEVATION 1/4" = 1'-0"

ELEVATION NOTES

- 3" ØVC DOWNSPOUT IN WALL
- DOWNSPOUT OUTSIDE WALL
- PROVIDE APPROVED SPARK ARRESTOR (SPARK ARRESTOR SHALL HAVE A MIN. NET OPENING FOUR TIMES THAT OF THE CHIMNEY)
- CHIMNEY SHALL EXTEND 2'-0" ABOVE ROOF LINE WITHIN 10'-0" RADIUS MAX. 3'-0" ABOVE MAX. BLDG HT. OR AS NOTED
- 4" GUARDRAIL INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SHALL BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS THROUGH
- SKYLIGHT
- PROPERTY WALL
- EXISTING GRADE
- MAIN ELECTRICAL PANEL. VERIFY LOCATION W/ ELECTRIC CO.
- EXISTING SLUMP BLOCK WALL

SHELL REMODEL
23762 HOBART BAY
DANA POINT, CA
LOT 44, TRACT 7203, APN 672-131-44

ELEVATIONS



PROJECT # 14-09
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SCALE: 1/4" = 1'-0"
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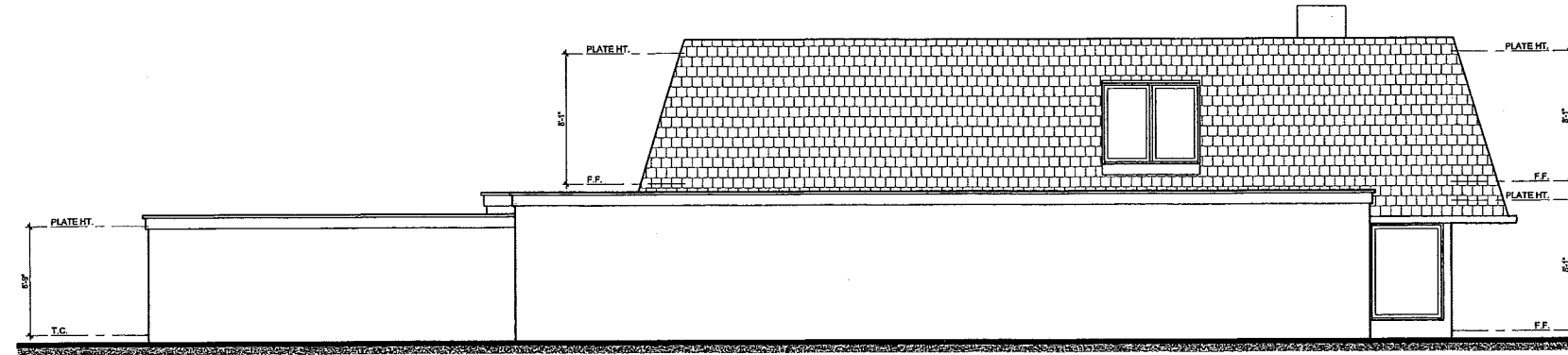
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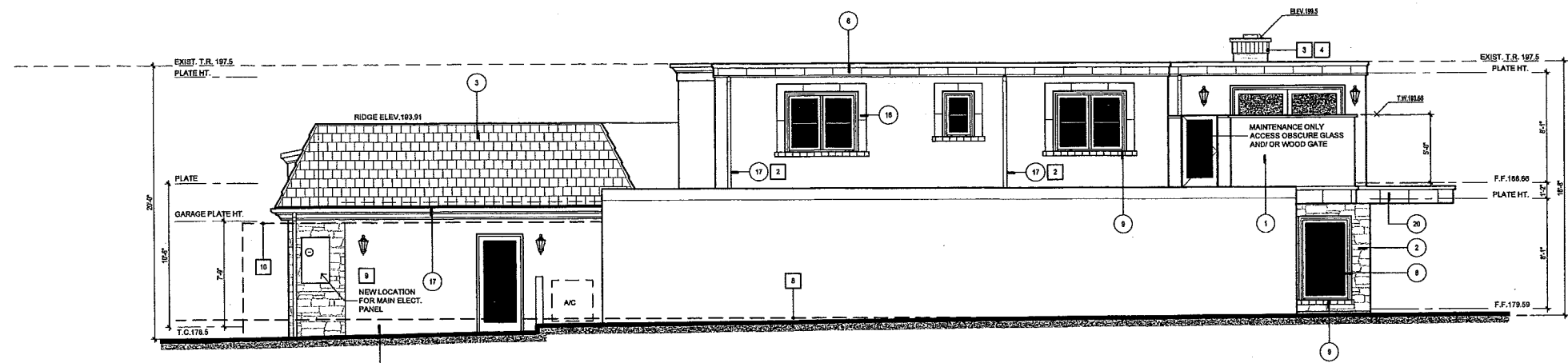
MATERIAL SCHEDULE

ITEM	MATERIAL	COLOR
1	walls	stucco Sierra Madre ECC-46-1 Behr
2	walls	stone - two finishes - rough and random - smooth the cut Limestone
3	roofing	slate American Slate Custom Gray blend
4	roofing	build-up roofing Charcoal/ Medium Gray
5	fascia	stucco Eagle Ridge ECC-46-2 Behr
6	fascia	stone or cast concrete Limestone
7	entry door	wood/ glass/ wrought iron walnut/ natural/ black patina/
8	window/ door trim	wood/ alumin. clad Oxford Ivy - Semco window/ doors
9	window sill	stone Limestone
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11	NA	
12	chimney	stone - rough and random Limestone
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16	window surround	stone Limestone
17	gutters	copper natural
18	aveling at entry door	glass/ wrought iron sand blasted/ black patina
19	corbels	wood driftwood stain
20	balcony/ ledge	stone or cast concrete Limestone

NOTE:
EXTERIOR LATH: PROVIDE TWO LAYERS OF GRADE "D" PAPER OVER ALL
WOOD BASE SHEATHING. (CBC 2810.1)
EXTERIOR CEMENT PLASTER APPLICATION TO BE 7/8" THICK (3) THREE
LAYERS WITH FINISH LAYER TO BE SELECTED BY OWNER.



EXISTING RIGHT ELEVATION 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION 1/4" = 1'-0"

ELEVATION NOTES

- 1 3" ØVC DOWNSPOUT IN WALL
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- 3 PROVIDE APPROVED SPARK ARRESTOR (SPARK ARRESTOR SHALL HAVE A MIN. NET OPENING FOUR TIMES THAT OF THE CHIMNEY)
- 4 CHIMNEY SHALL EXTEND 2'-0" ABOVE ROOF LINE WITHIN 10'-0" RADIUS MAX. 3'-0" ABOVE MAX. BLDG. HT. OR AS NOTED
- 5 4" GUARDRAIL INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SHALL BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS THROUGH
- 6 SKYLIGHT
- 7 PROPERTY WALL
- 8 EXISTING GRADE
- 9 MAIN ELECTRICAL PANEL VERIFY LOCATION W/ ELECTRIC CO.
- 10 EXISTING SLUMP BLOCK WALL

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LOT 44, TRACT 7205, APN 672-131-44

ELEVATIONS



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SCALE: 1/4" = 1'-0"
DATE: 3/22/16
SHEET #:

A7



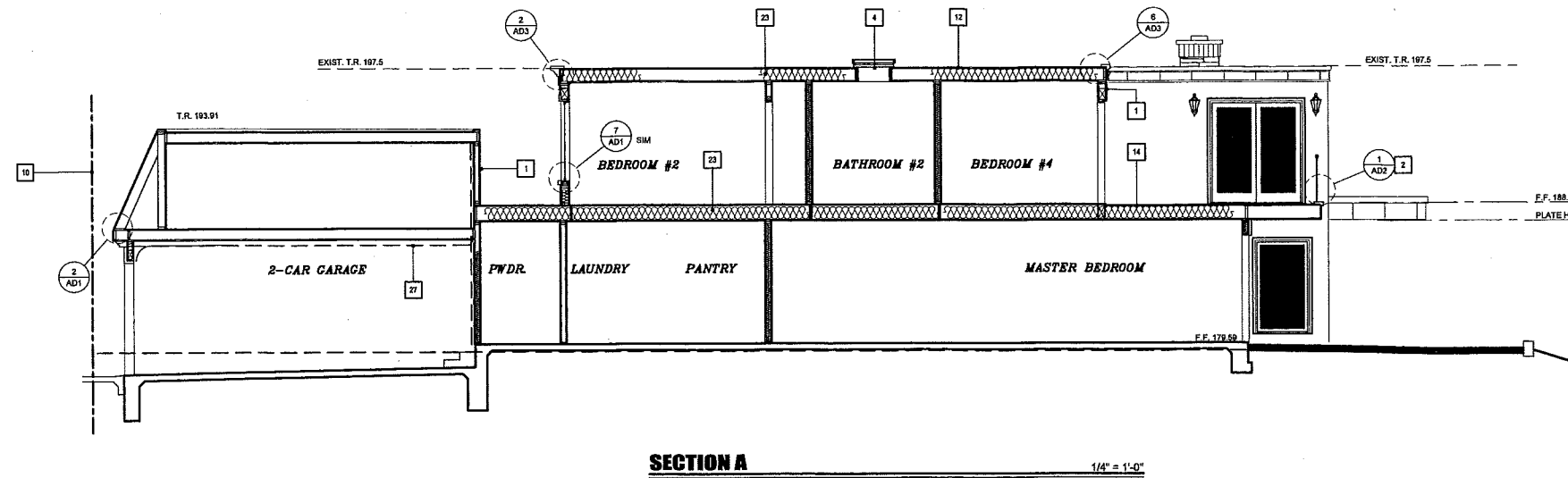
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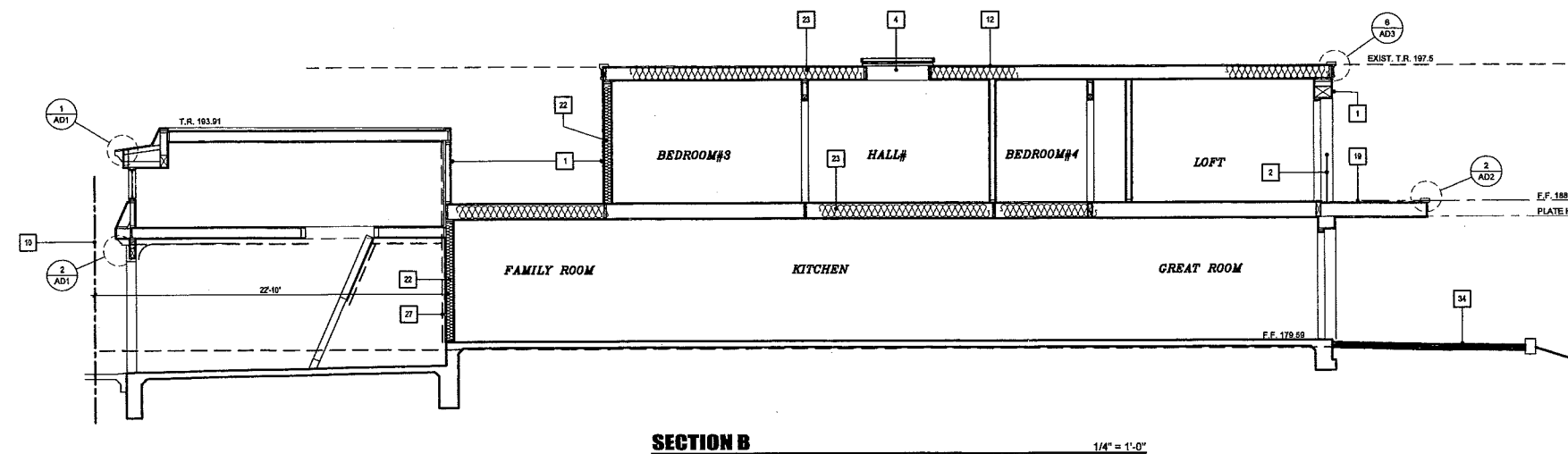
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23752 HOBART WAY
DANA POINT, CA
LOT 44, TRACT 7203, APN 672-131-44

SECTION NOTES

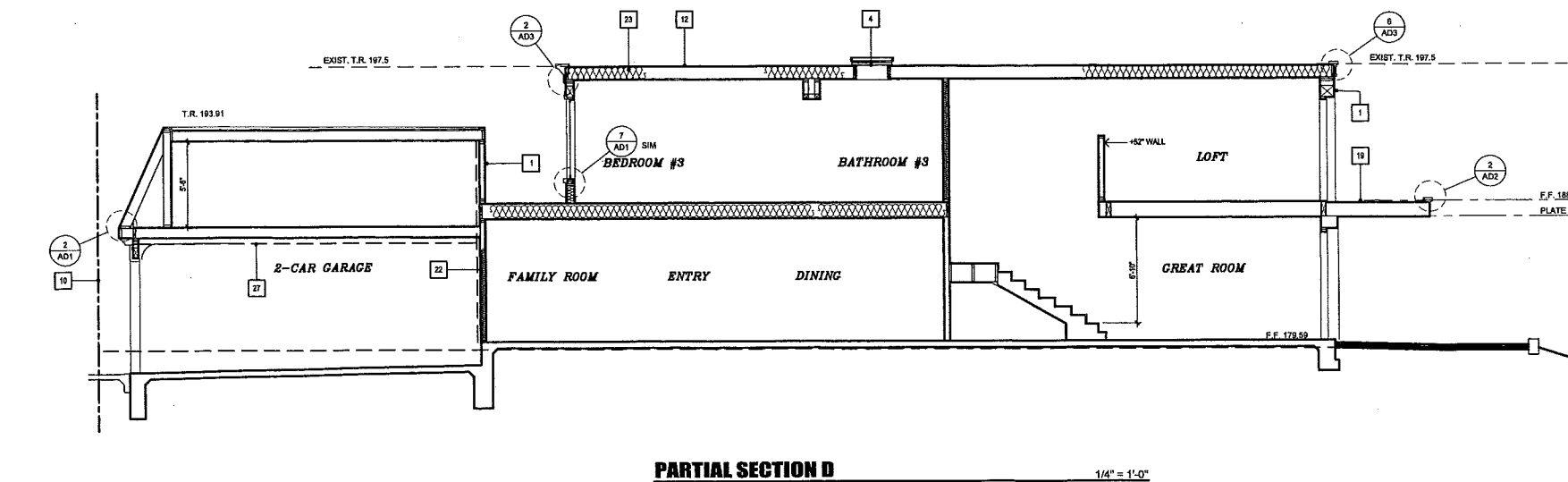
- 1 EXTERIOR STUCCO.
- 2 4" GUARDRAIL. SEE ALSO NOTE 3
- 3 36" HANDRAIL. INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SHALL BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS THROUGH
- 4 SKYLIGHT SHAFT
- 5 EXISTING GRADE
- 6 LINE OF MAXIMUM BUILDING HEIGHT
- 7 ALL RIDGE ELEVATIONS ARE TO THE TOP OF FINISH MATERIAL (E.G. ROOF TILE)
- 8 FINISH GRADE
- 9 LINE OF SETBACK
- 10 PROPERTY LINE
- 11 TOP OF SLOPE
- 12 FLAT ROOF (SEE ROOF PLAN)
- 13 STONE VENEER
- 14 STONE TILE OVER MER-KOTE WATER PROOF DECKING SYSTEM ICBO#389
- 15 WOOD CORBEL
- 16 HIDDEN GUTTER
- 17 EXISTING SLUMP BLOCK WALL
- 18 LOW PROFILE SOLAR PANELS
- 19 LEDGE
- 20 R-15 INSULATION (2X4 FRAMING)
- 21 R-19 INSULATION
- 22 R-21 INSULATION (2X8 FRAMING)
- 23 R-30 INSULATION
- 24 5/8" GYPSUM BOARD
- 25 3/4" CDX TAG
- 26 3/4" GYP. CRETE OVER 3/4" STRUCTURAL II PLYWOOD
- 27 PROVIDE 5/8 INCH TYPE "X" GYP. BD. AT WALLS AND CEILING OF GARAGE. ANY USABLE SPACE UNDER STAIRS AND ELEVATOR SHAFT BOTH SIDES (SEE NOTE G13 SHEET AN)
- 28 3/4" PLYWOOD WITH TAG
- 29 STONE & SETTING BED
- 30 PARTIALLY SUNKEN SPA. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 31 SUNKEN CONVERSATION AREA. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 32 GAS ONLY FIRE PIT. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 33 CAISSON & GRADE BEAM. UNDER SEPARATE PERMIT. SEE DRAWINGS BY OTHERS
- 34 CONCRETE PAVING - SEE LANDSCAPE DRAWINGS
- 35 ATTIC ACCESS LADDER
- 36 ROOF ACCESS HATCH



SECTION A 1/4" = 1'-0"



SECTION B 1/4" = 1'-0"



PARTIAL SECTION D 1/4" = 1'-0"

SECTIONS



PROJECT # 14-09
REVISIONS NO.

SCALE: 1/4" = 1'-0"
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A8



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LOT 44, TRACT 7203, APN G72-131-44

**ARCHITECTURAL
DETAILS**

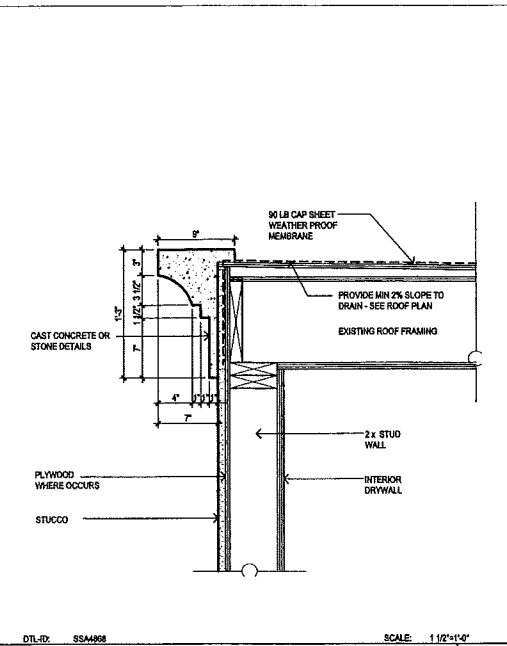


PROJECT # 14-09
REVISIONS ND.

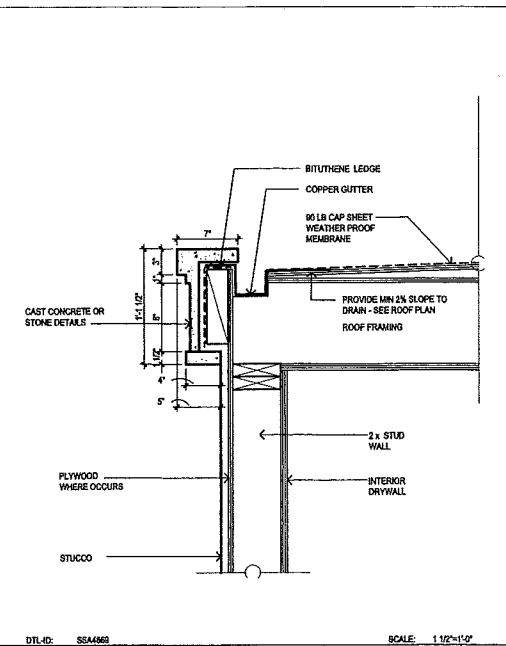
SCALE: SEE DWG
DATE: 3/2/2016
SHEET #:

AD1

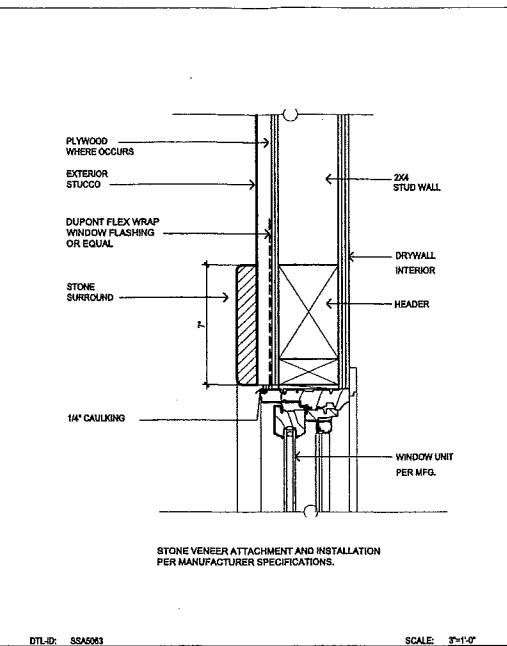
COP15-0015



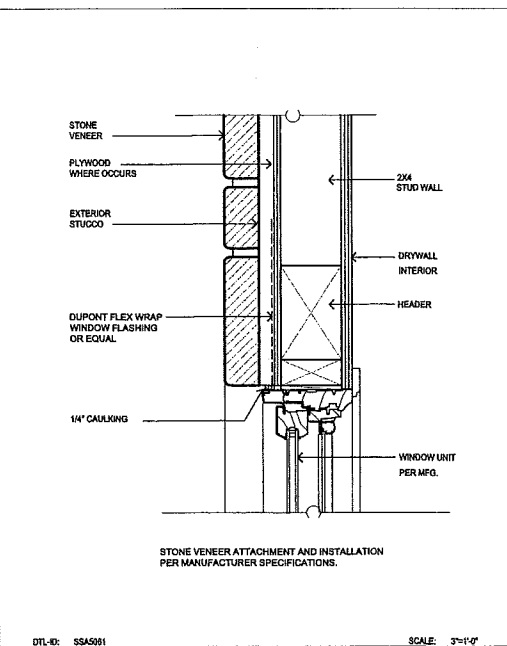
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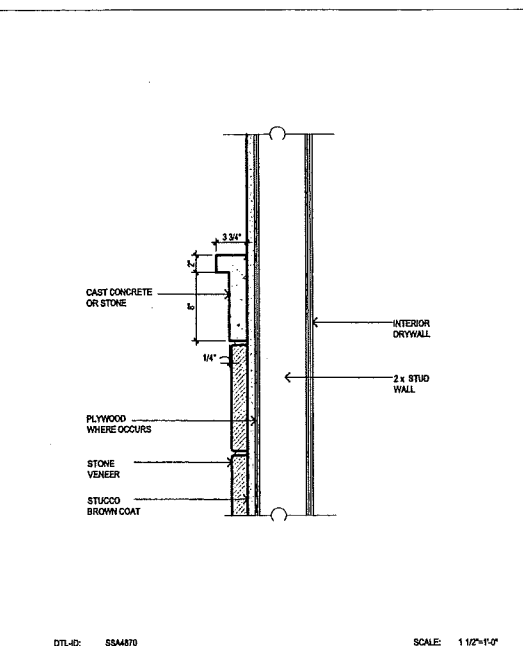
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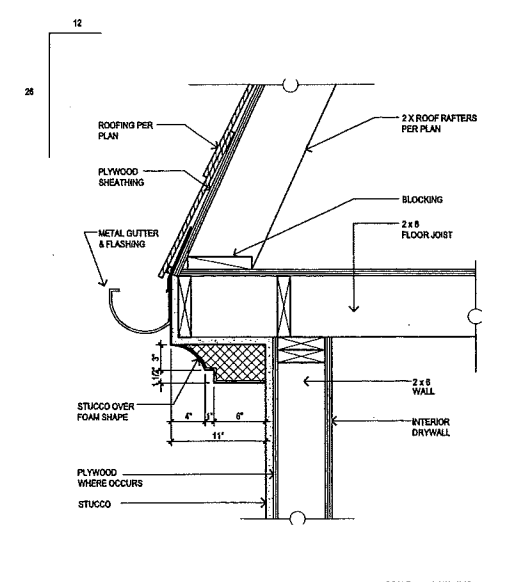
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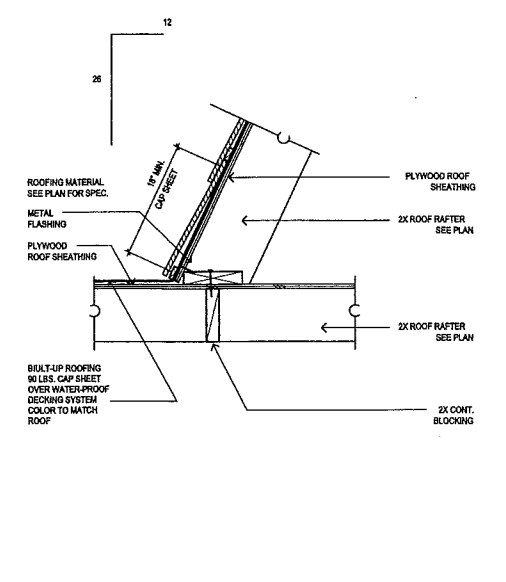
DTL-ID: SS491 SCALE: 3"=1'-0" **12**



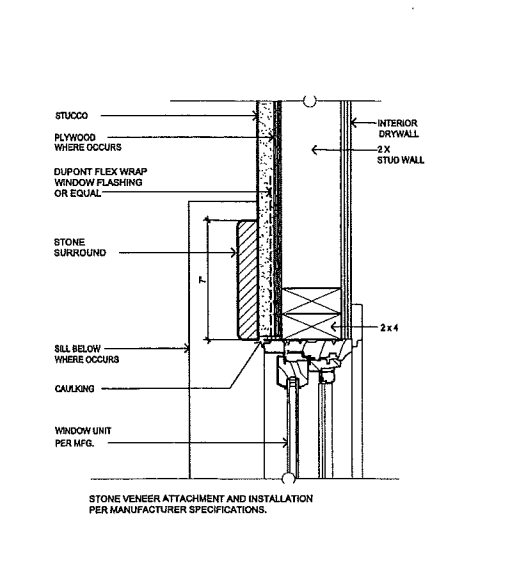
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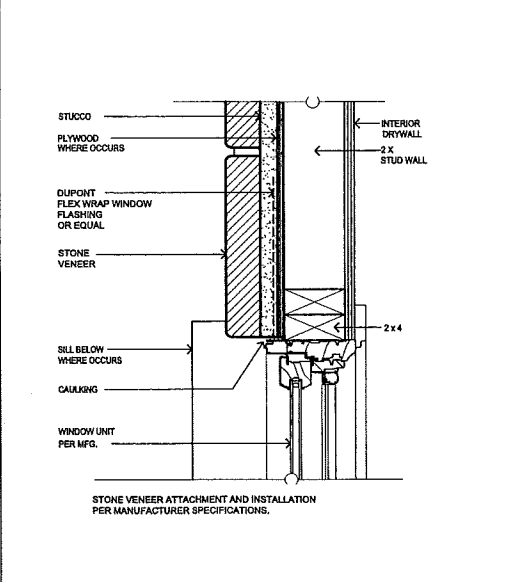
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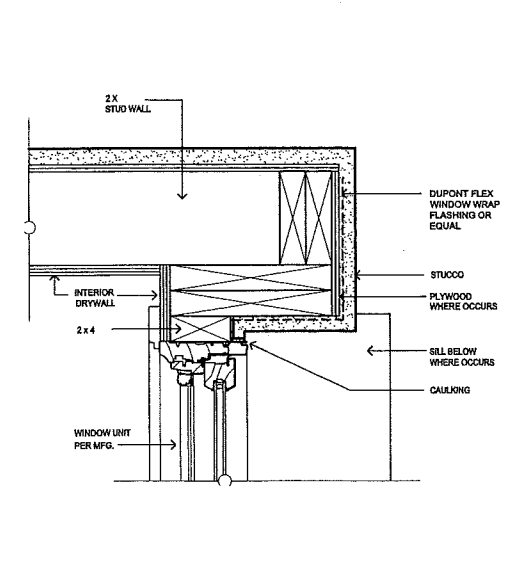
DTL-ID: SS482 SCALE: 1 1/2"=1'-0" **5**



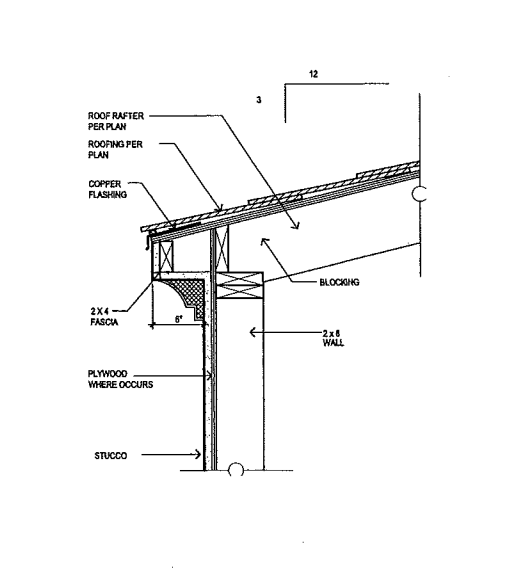
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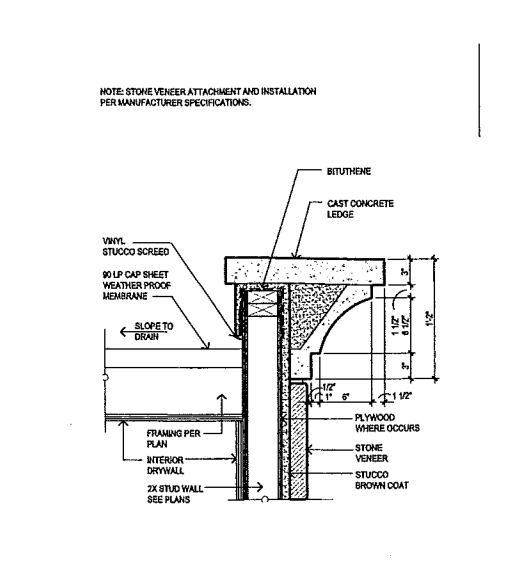
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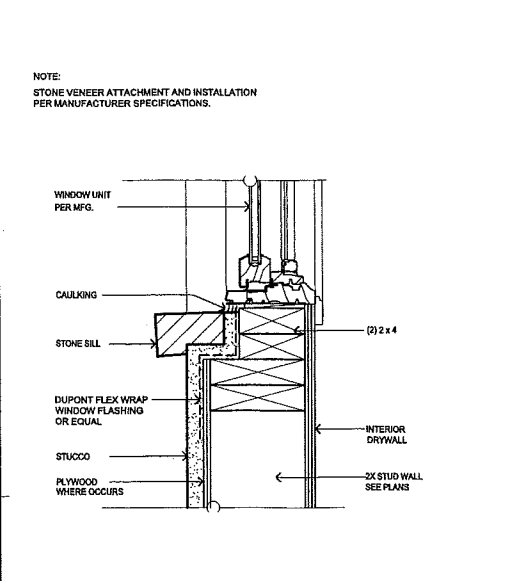
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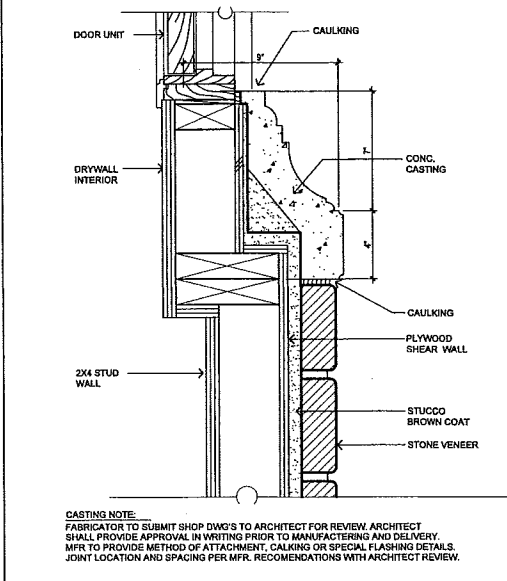
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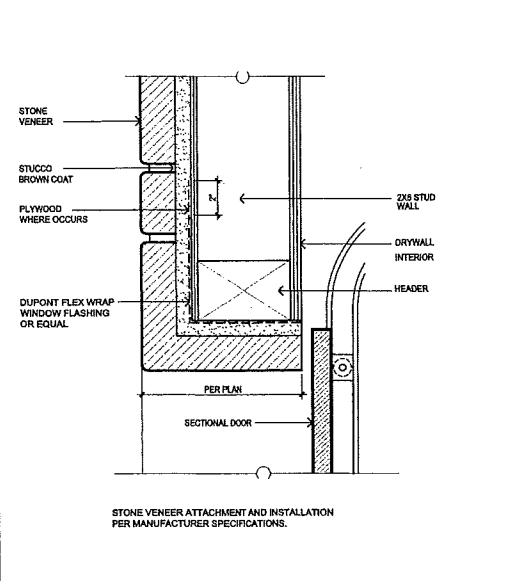
DTL-ID: SS489 SCALE: 1 1/2"=1'-0" **7**



DTL-ID: SS494 SCALE: 3"=1'-0" **10**



DTL-ID: 14-09 DET1 SCALE: 3"=1'-0" **13**



DTL-ID: SS497 SCALE: 3"=1'-0" **13**



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SHELL REMODEL
23762 HOBART WAY
DANA POINT, CA
LOT 44, TRACT 7203, APN 672-131-44

**ARCHITECTURAL
DETAILS**



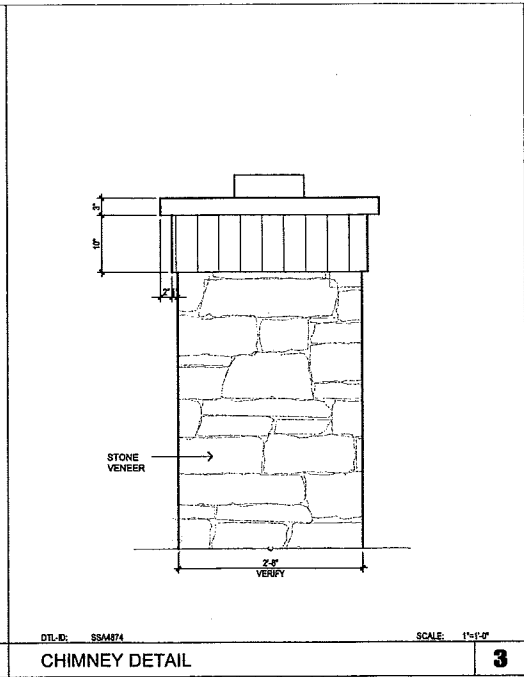
PROJECT # 14-09

REVISIONS NO.

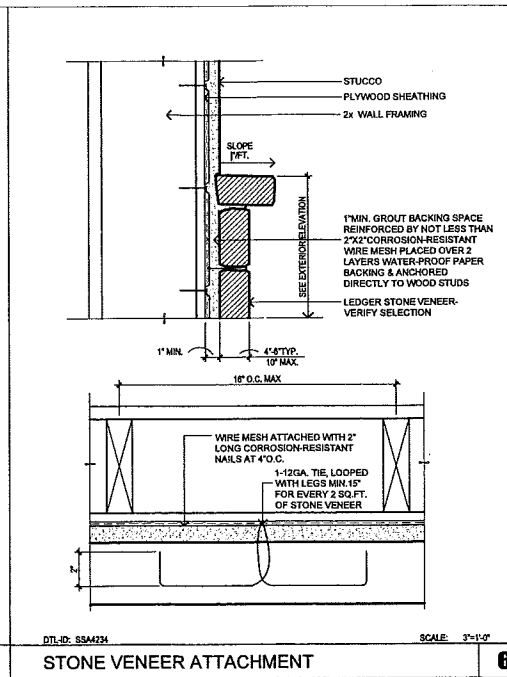
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DATE: 3/2/2016
SHEET #:

AD2

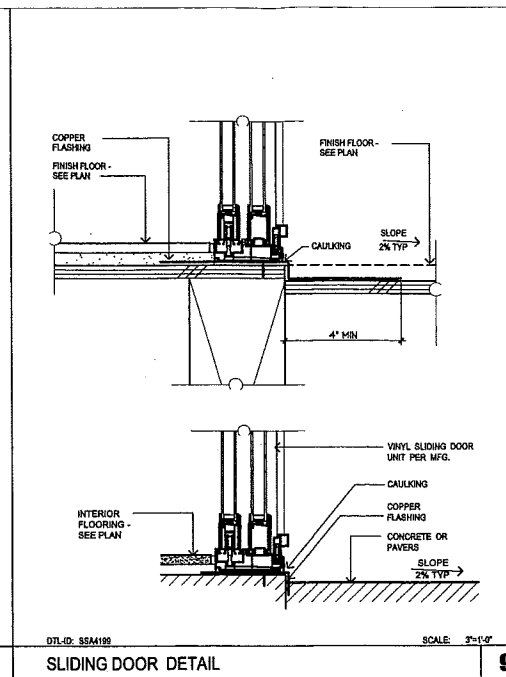
CDP15-0015



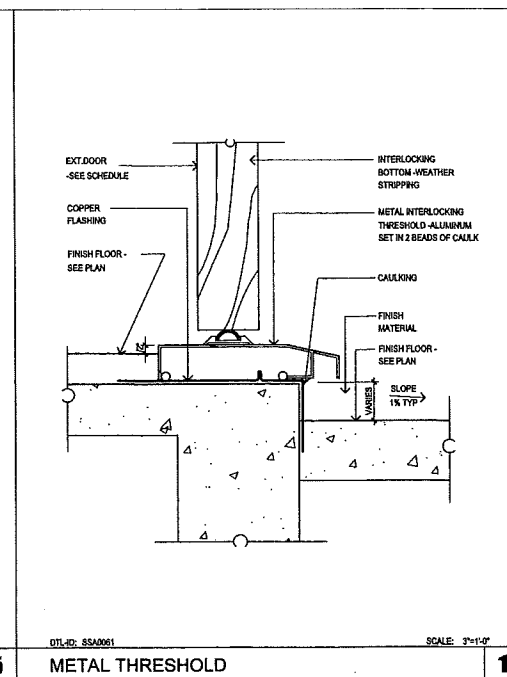
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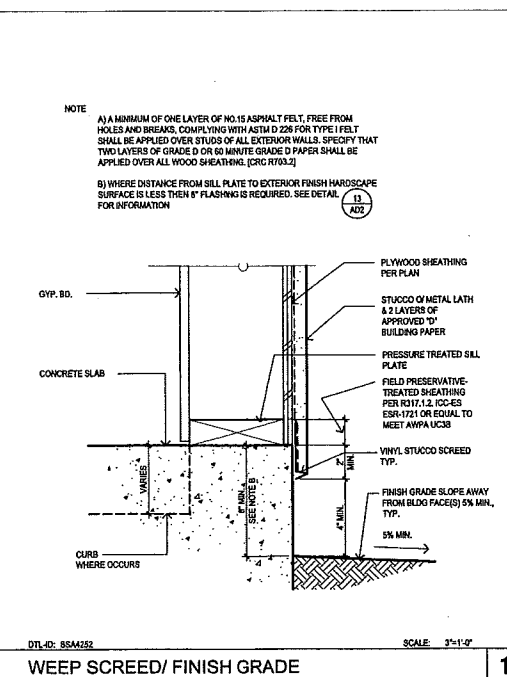
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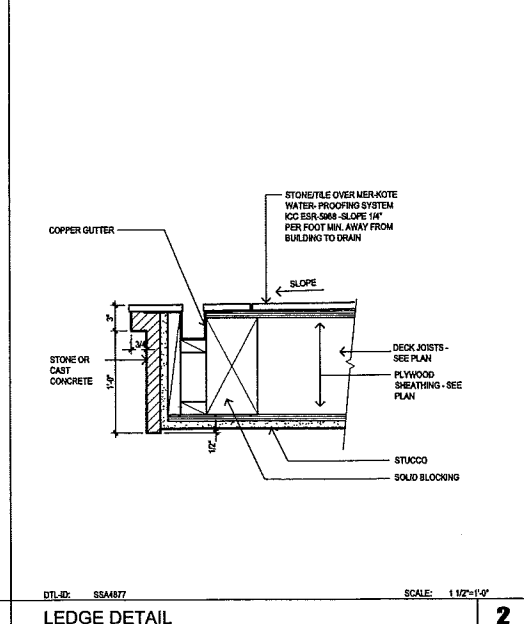
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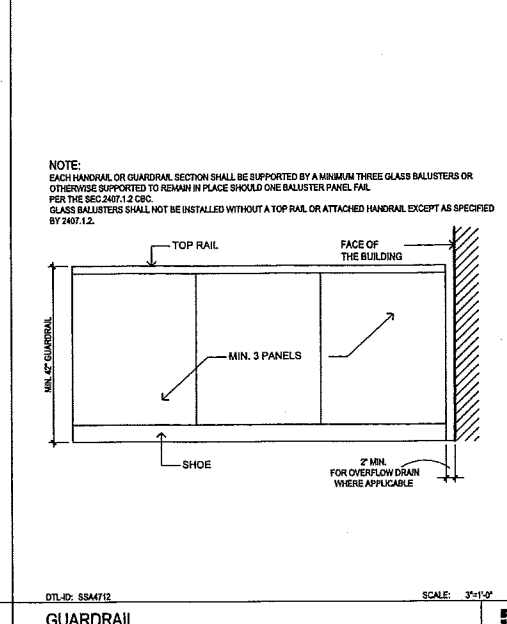
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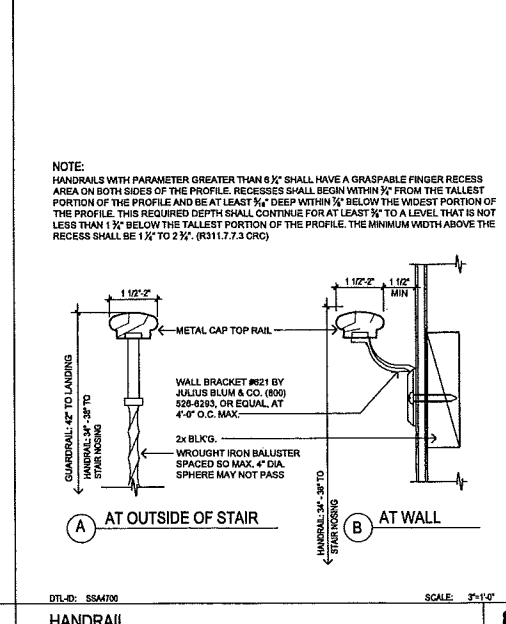
DTL-ID: SSM152 SCALE: 3/4"=1'-0" **15**



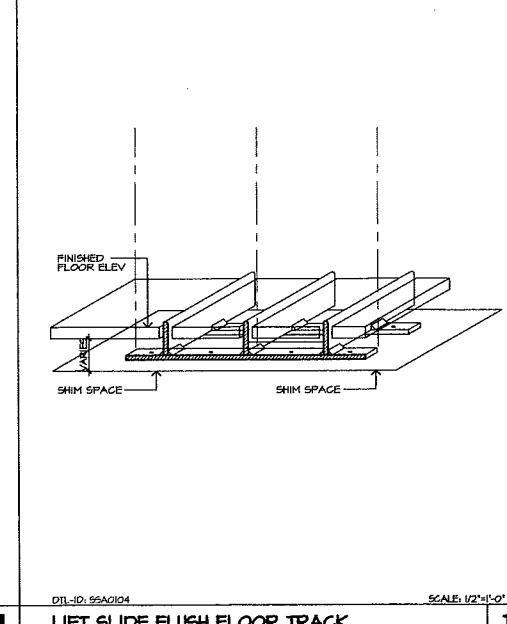
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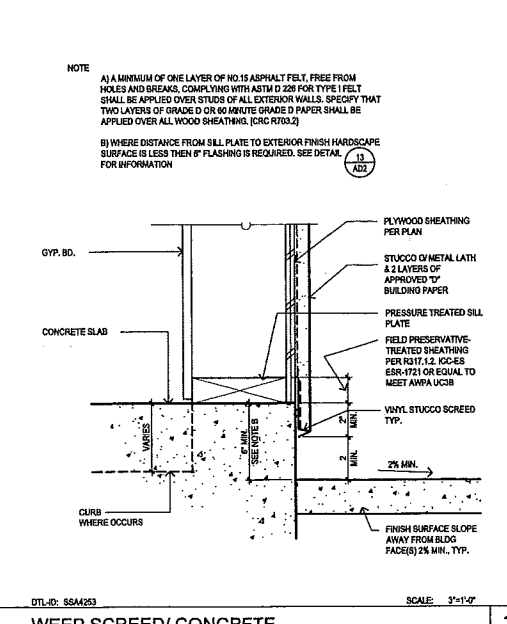
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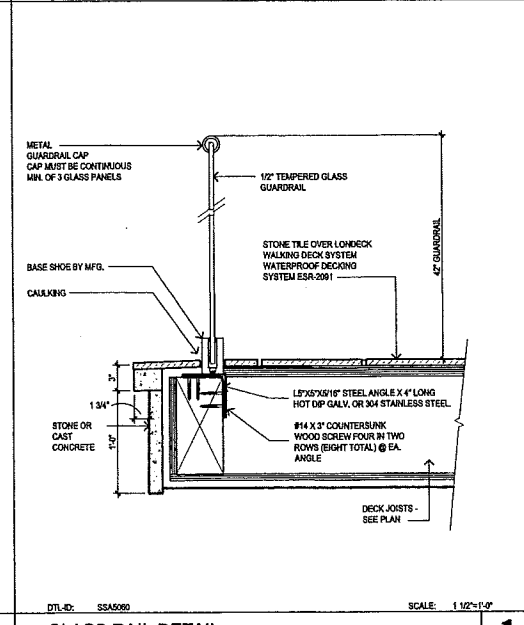
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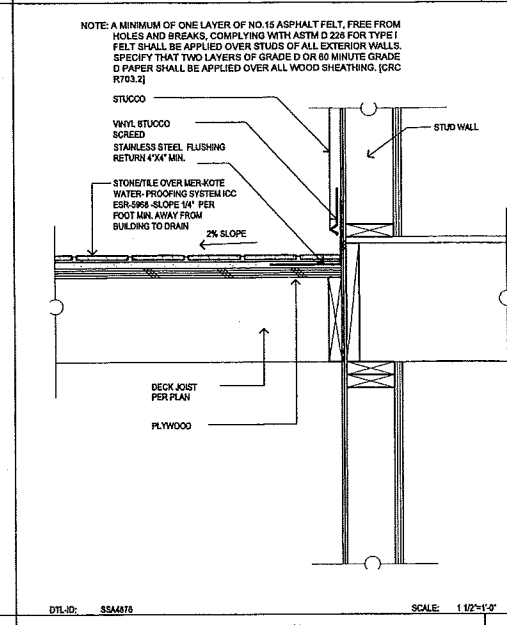
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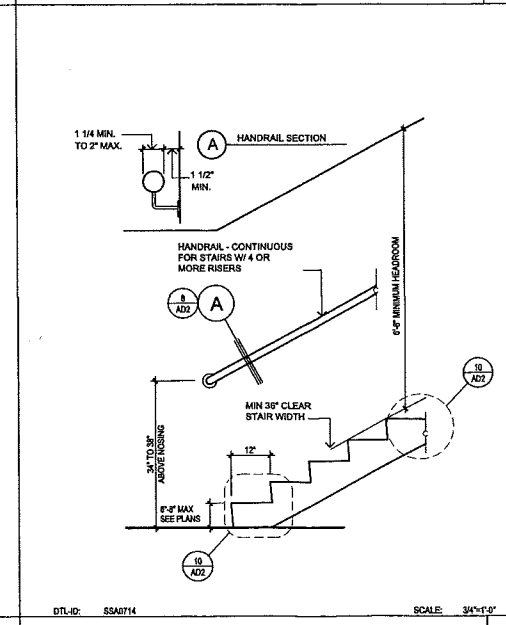
DTL-ID: SSM423 SCALE: 3/4"=1'-0" **14**



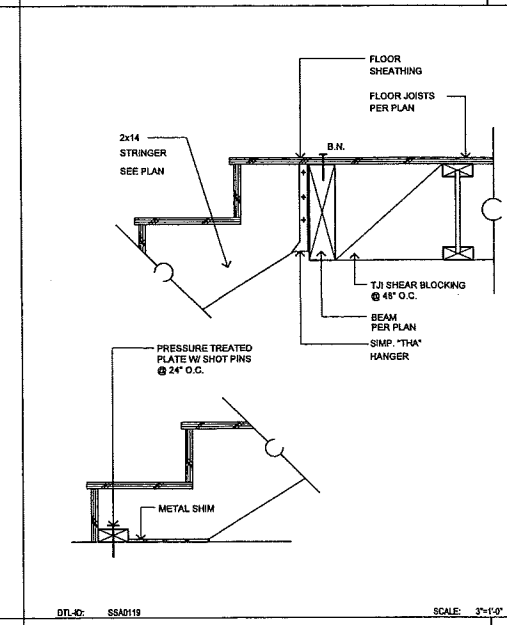
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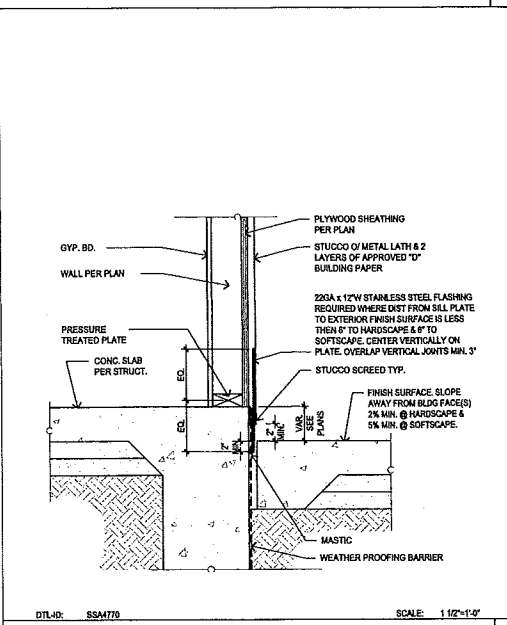
DTL-ID: SSM478 SCALE: 1/2"=1'-0" **4**



DTL-ID: SSM474 SCALE: 3/4"=1'-0" **7**



DTL-ID: SSM419 SCALE: 3/4"=1'-0" **10**



DTL-ID: SSM479 SCALE: 1/2"=1'-0" **13**



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23762 HOBART BAY
DANA POINT, CA
LOT 44, TRACT 7203, APN 672-131-44

**ARCHITECTURAL
DETAILS**

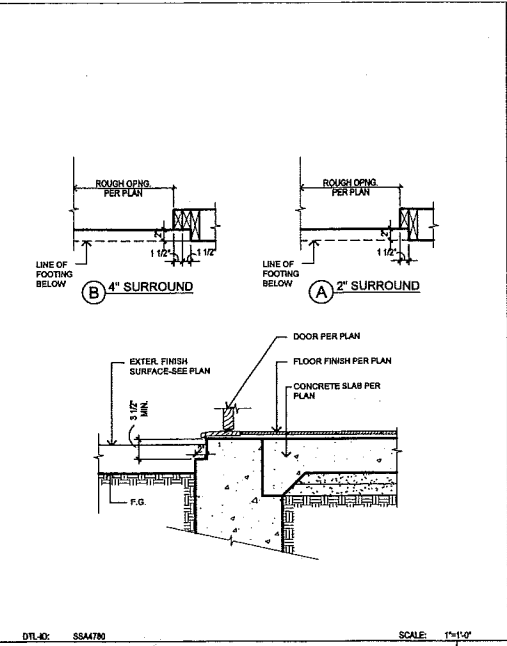


PROJECT # 14-09
REVISIONS NO.

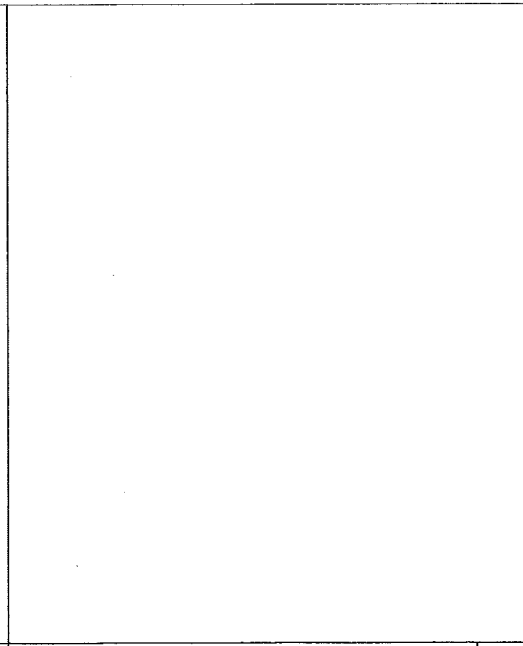
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DATE: 3/22/16
SHEET #:

AD3

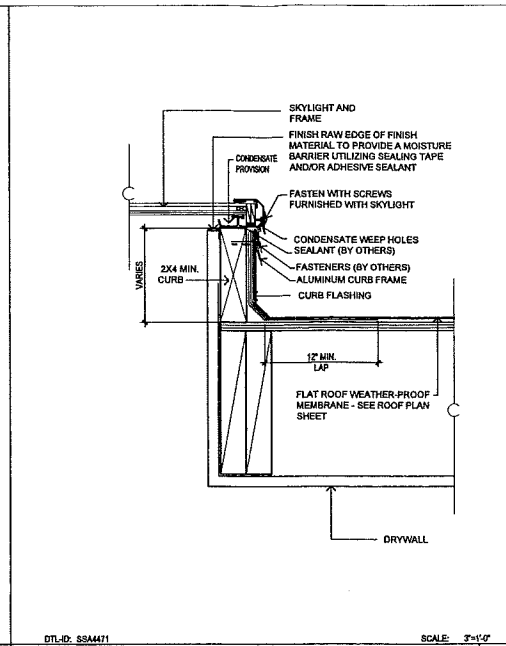
CDP15-0015



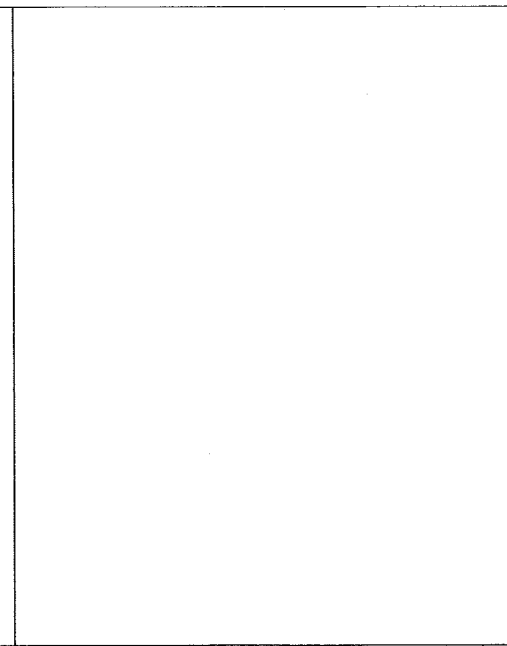
6 FOOTING STEP @ THRESHOLD 3



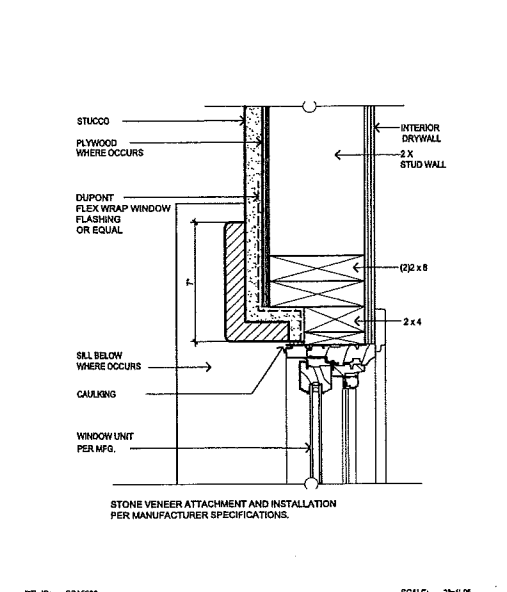
5 CIRCULAR STAIRS



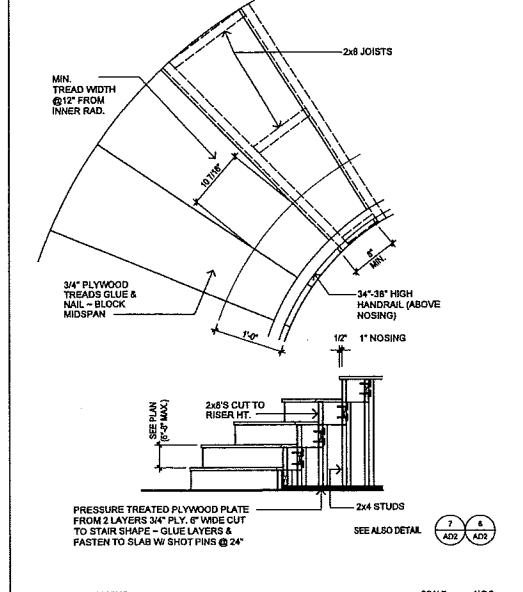
9 SKYLIGHT DETAIL



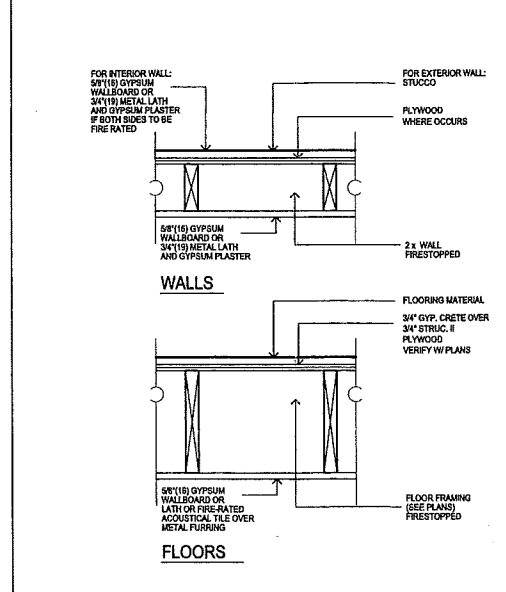
11 FIRE-RESISTANT 1HR. RATED CONSTRUCTION 8



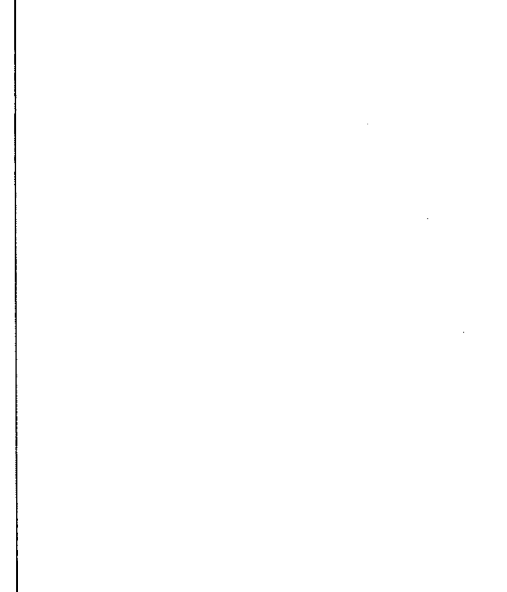
2 STONE VENEER AT WINDOW/DOOR



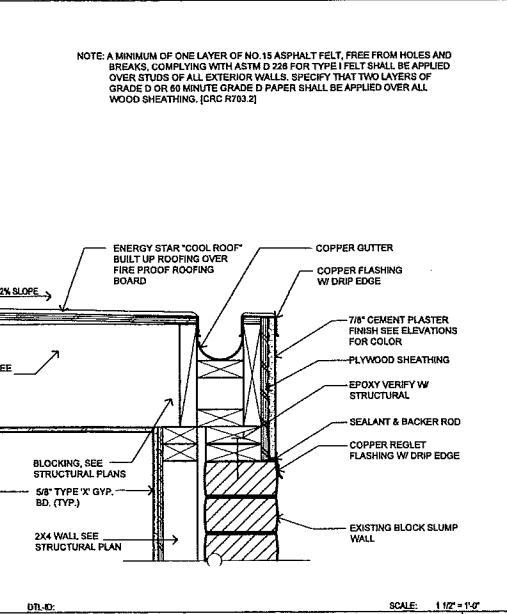
7 FRAMING @ SLUMP WALL



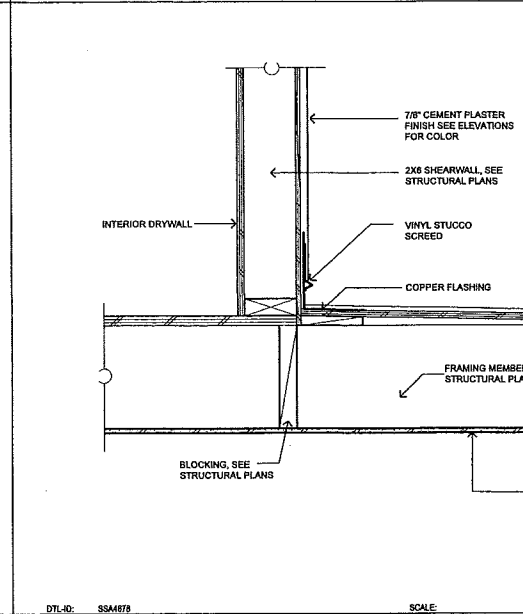
14 WALLS FLOORS



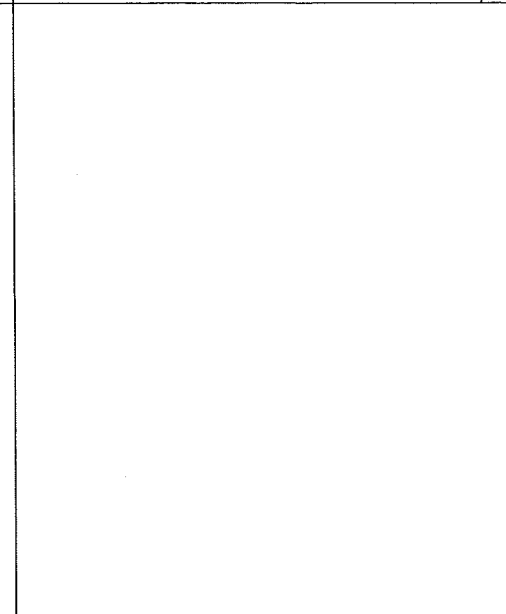
13 FLOORS



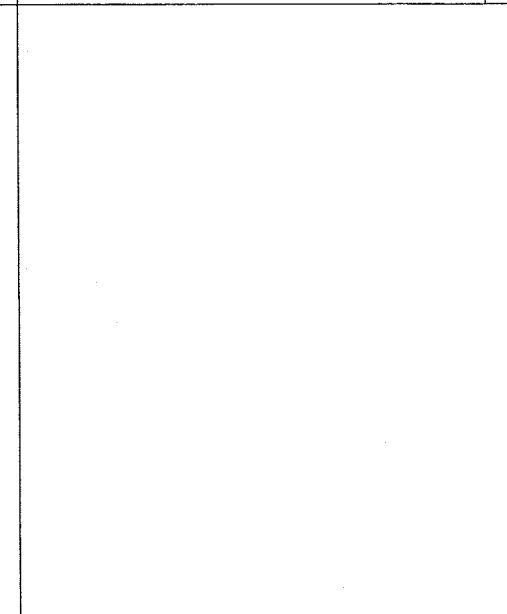
10 FRAMING @ SLUMP WALL



2 STONE VENEER AT WINDOW/DOOR



8 FIRE-RESISTANT 1HR. RATED CONSTRUCTION



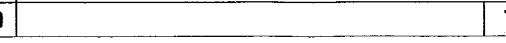
5 CIRCULAR STAIRS



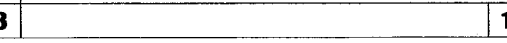
3 FOOTING STEP @ THRESHOLD



9 SKYLIGHT DETAIL



14 WALLS FLOORS



13 FLOORS



Niguel Shores Community Association
33654 Niguel Shores Drive
Dana Point, California 92629-4221
(949) 493-0122 • Fax (949) 388-7892

**EXTERIOR MODIFICATION APPLICATION
APPROVAL PENDING – NOTICE OF REQUIRED CONDITIONS**

Date: 01/07/2016	Tract 7203 / Lot 044
Applicant Name: Shekell, Robert	
NSCA Address: 23762 Hobart Bay	
Mailing Address:	

RECEIVED
MAR 03 2016
**CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT**

Submittal Date: 11/20/2015 – move to final review 01/04/2016
Project Description: Remodel

Approval of your requested project is pending completion of the following conditions:

- A revised plan set will be submitted to the AC. The revision must eliminate all items in the rear yard. Rear yard modifications are not approved.
- Copy of a city of Dana Point stamped approved plan set – *Rule 3105, Rule 3106*
This condition must be met prior to the AC granting final approval
- Payment of the construction deposit (\$5000.00) and processing fee (\$2000.00) – *Rule 3181*
Payment will not be accepted until AC has verified that no deviations from the Association conditionally approved plan set exist within the City approved plan set.
- Recording of a Covenant Running with the Land that will require the property to adhere to the existing front building setback for side entering garage structures (*Rule 3159.7*) and preventing the conversion of the front concrete entry pads into buildable space/obstructing parking

The conditions of approval listed above must be completed within 12 months of the date of this notice or the pending approval is void and the application deemed disapproved.

Projects commenced prior to completing the above required conditions of approval are in violation of Rule 3103 and therefore subject to a recorded 'Cease and Desist' order, a hearing before the NSCA Board of Directors and additional fines as outlined under Rule 2711.