

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** OCTOBER 26, 2015

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
EVAN LANGAN, AICP, ASSOCIATE PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP15-0010 TO ALLOW  
ADDITIONS TO AN EXISTING SINGLE-FAMILY DWELLING ON LAND  
LOCATED WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4)  
ZONING DISTRICT AT 33801 CABRILLO ISLE

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**RECOMMENDATION:** That the Planning Commission adopt the attached resolution approving Coastal Development Permit CDP15-0010.

**APPLICANT/OWNER:** Terry and Patricia Liebman

**OWNER'S AGENT:** Ty Otjen

**REQUEST:** Approval of a Coastal Development Permit to allow the addition of 659 square feet of floor area, 324 square feet of expanded garage area and a 196 square foot basement at an existing 4,580 square foot single-family dwelling located at 33801 Cabrillo Isle on land located within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 33801 Cabrillo Isle (APN 672-071-20)

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on October 14, 2015, published within a newspaper of general circulation on October 15, 2015, and posted on October 16, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:** Pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15301 (e) (Class 1 – Existing Facilities) in that it proposes a nominal increase in square footage to an existing residential dwelling.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the LCP and DPZC for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject property measures an approximate .38 acres (16,548 square feet) and is located within the Niguel Shores Homeowners Association (HOA), a built-out community of exclusively single-family dwellings. The lot is rectangular in shape, bordered to the north and south by residential dwellings, Cabrillo Isle (street) to the east and downslope, and Breakers Isle (street) to the west. The lot is presently developed with a single-family dwelling, constructed in 1972, comprising a single-story and 4,115 square feet of floor area with an attached 465 square foot two-vehicle garage. The pad portion of the lot is flat with a shallow front yard and a descending slope at the rear. The property is zoned "Residential Single-Family 4" (RSF-4), with an overlay designation of "Planned Residential Development 3" (PRD-3), and is located within the City's Coastal Overlay District (the California Coastal Zone) as well as the Appeals Jurisdiction of the California Coastal Commission.

**DISCUSSION:** The proposed scope of work would add 855 square feet of floor area in the form of an expanded master bedroom and building entryway, a new guest suite (connected to the dwelling via a new covered breezeway) and a 196 square foot basement. The aforementioned guest suite would contain a bathroom and closet space but no kitchen facilities and is not qualified as a "second dwelling unit" pursuant to definitions of the Dana Point Zoning Code. Condition of approval No. 14 has been included in the attached, draft Planning Commission Resolution stipulating that the guest suite shall not be approved as a second dwelling unit unless a third, covered parking space is provided and the unit be made affordable to persons of low and moderate income consistent with the City's adopted Housing Element. The remainder of the dwelling would be remodeled, with numerous reconfigurations of bedrooms and the creation of several new accessory rooms - including an office/crafts room, wine storage, powder room and others. Finally, the dwelling's garage would be reconfigured and expanded to include additional parking and storage space.

With implementation of proposed improvements, the dwelling would remain a single-story and stand approximately 17 feet tall (as measured from the lowest point of the structure at finished grade), well under the maximum potential 28 foot height limit for a dwelling in the RSF-4 Zoning District. The project is found to comply with all other development standards of the Dana Point Zoning Code, including setbacks from

property lines, lot coverage, etc. and no variances or other deviations are requested.

Coastal Development Permit CDP15-0010

Pursuant to Section 9.69.040 of the DPZC, improvements to any structure located within the City's Coastal Overlay District and the appeals jurisdiction of the California Coastal Commission between the sea and the first public road paralleling the sea and resulting in an increase of ten percent or more in floor area, shall require approval of a Coastal Development Permit (CDP). The subject application proposes the addition of 1,179 square feet to an existing 4,580 square foot single-family dwelling, a 26 percent increase in floor area, necessitating a CDP.

Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Staff's recommended findings to approve the CDP request are enumerated in the project's draft resolution (Attachment 1).

**CORRESPONDENCE:** To date, correspondence has been received only from the Niguel Shores HOA, notifying of that body's approval of the project as proposed.

**CONCLUSION:** Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance and Local Coastal Program. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP15-0010 subject to findings and conditions of approval.



Evan Langan, AICP  
Associate Planner



Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 15-10-26-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)
5. Approval Correspondence from Niguel Shores HOA

## RESOLUTION NO. 15-10-26-xx

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING COASTAL DEVELOPMENT PERMIT CDP15-0010 TO ALLOW ADDITIONS TO AN EXISTING SINGLE-FAMILY DWELLING ON LAND LOCATED WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4) ZONING DISTRICT AT 33801 CABRILLO ISLE**

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Terry and Patricia Liebman (collectively, the “Applicant”) are the owners of real property commonly referred to as 33801 Cabrillo Isle (APN 672-071-20) (the “Property”); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow additions to an existing single-family dwelling at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act (“CEQA”), the project is Categorically Exempt Section 15301 (Class 1 – Existing Facilities) in that the project proposes nominal additions to an existing single-family dwelling; and

WHEREAS, the Planning Commission did, on the 26<sup>th</sup> day of October, 2015 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP15-0010.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP15-0010 subject to conditions:

#### Findings:

#### Coastal Development Permit CDP15-0010

1. The proposed use is consistent with the General Plan and Local Coastal Program **in that the proposed remodel and expansion of the subject dwelling would result in new exterior details and materials, color**

## ACTION DOCUMENT NO. 1

and trim, landscaping and an overall architectural style that is complementary to surrounding, existing development and so would further Urban Design Element Goal No. 2 (of the City's adopted General Plan) which states that development should "preserve the individual positive character and identity of the City's communities" by fostering new, aesthetically pleasing residential development that is both compatible and complimentary to surrounding structures.

2. That the proposed development is located within the Coastal Overlay District and is in conformity with the Public Access and Public Recreation policies of Chapter Three of the Coastal Act **in that the proposed development would not alter existing public access or public recreation in the vicinity.**
3. That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) **in that the subject project qualifies for a Categorical Exemption pursuant to Section 15301 (e) (Class 1 – Existing Facilities) of the Guidelines in that it proposes nominal additions to an existing residential dwelling.**
4. That the proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area **in that the subject project proposes additions to an existing single-family dwelling located where no public accessway exists, and so would not result in impacts to public access, nor public views of and along the coast.**
5. That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**
6. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property located within an established**

**residential subdivision with little to no natural landforms present and the proposed development will be constructed in conformance with applicable regulations for flood and fire hazards, minimizing undue risks from flood, fire or other hazards.**

7. That the proposed development will be visually compatible with the character of surrounding areas and, where feasible, will restore and/or enhance visual quality **in that the footprint, massing, story-count, exterior detailing and coloring of the expanded and remodeled dwelling would be consistent with other residential structures in the surrounding neighborhood.**
8. That the proposed development will conform to the General Plan, Zoning Code, Local Coastal Program, applicable Specific Plan(s), or other, applicable adopted plans and programs **in that the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for conformance with applicable documents and, subject to conditions of approval, has been found consistent.**

Conditions:

**A. General:**

1. Approval of this application permits the addition of 659 square feet of floor area, 324 square feet of expanded garage area and a 196 square foot basement at an existing single-family dwelling at 33801 Cabrillo Isle. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point Specific Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location

or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.

4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.



9. The Project shall meet all water quality requirements of the City of Dana Point Municipal Ms4 Permit as required by the State Water Resources Control Board. This compliance shall include incorporation of low impact design (LID) features to the greatest extent practicable.
10. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television/internet services.
11. The applicant shall exercise special care during the construction phase of this project. The applicant shall provide erosion and sediment control. The erosion control measures shall be constructed prior to the start of any other grading operations. The applicant shall maintain the erosion and sediment control devices until the final approval for all permits.
12. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance.
13. All documents prepared by a professional shall be wet-stamped and signed.
14. The Project's proposed guest suite is not approved as, nor shall be utilized as a second dwelling unit (as defined in the Dana Point Zoning Code) unless the structure is first brought into compliance with all design and development standards of the Dana Point Zoning Code and California Building Code.

**B. Prior to Issuance of a Grading Permit**

15. The Applicant shall submit a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The Applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

16. The Applicant shall submit an application for a grading permit, in compliance with City standards, for review and approval by the Director of Public Works. The Applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and Grading Manual, as well as requirements of the City's Municipal Separate Storm Sewer Systems (MS4s) Permit.
17. The Applicant shall submit a geotechnical report (in compliance with City standards) to the Public Works/Engineering Department for review and approval.

**C. Prior to Issuance of a Building Permit**

18. The Applicant shall complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
19. The Applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
20. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and re-compaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

21. Prior to issuance of a building permit for the project, the Applicant shall submit for review and approval by the Planning and (if applicable) Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code and the preliminary landscaping plan approved by the Planning Commission.
22. Building plan check submittal shall include four sets of the following construction documents:
  - *Building Plans*
  - *Energy calculations*
  - *Structural Calculations*
  - *Soils/Geology Report*
  - *Drainage Plan*

**D. Following Issuance of a Building Permit and Prior to Issuance of a Certificate of Occupancy**

23. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual and submitted to the Public Works/Engineering Department for review and approval.
24. The Applicant shall submit a foundation certification (by survey) that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP15-0010. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance, prepared by a licensed civil engineer/surveyor, and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
25. A written approval by the Geotechnical Engineer of Record approving the grading as being in conformance with the approved grading plan from a geotechnical standpoint.
26. A written approval by the Civil Engineer of Record approving the grading as being in conformance with the approved grading plan and which specifically approves construction for all engineered drainage devices and retaining walls.

27. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
28. All permanent Best Management Practices (BMP's) shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
29. The Applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 26<sup>th</sup> day of October, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

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April O'Connor, Chairperson  
Planning Commission

ATTEST:

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Ursula Luna-Reynosa, Director  
Community Development Department



City of Dana Point  
*Coastal Development Permit CDP15-0010*  
Evan Langan, AICP, Associate Planner  
Community Development Department  
33282 Golden Lantern  
Dana Point, CA 92629-1805

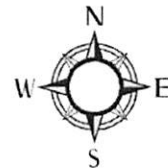
## VICINITY MAP



**Project :** CDP15-0010

**Project Applicant:** Terry and Patricia Liebman

**Location:** 33801 Cabrillo Isle



Supporting Document #2



# PHOTOGRAPHIC LOG

33801 Cabrillo Isle, Dana Point, CA. 92629

RECEIVED

OCT 09 2015

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT

HARTMAN  
BALDWIN  
design/build



AERIAL

Surrounding Area

Supporting Document #3





FRONT ELEVATION - project site (south west side)

33801 Cabrillo Isle, Dana Point, CA. 92629



FRONT ELEVATION - project site (south east side)

33801 Cabrillo Isle, Dana Point, CA. 92629





COURTYARD - project site (south west)

33801 Cabrillo Isle, Dana Point, CA. 92629



REAR VIEW - project site (south west)

33801 Cabrillo Isle, Dana Point, CA. 92629





REAR VIEW - project site (south east)

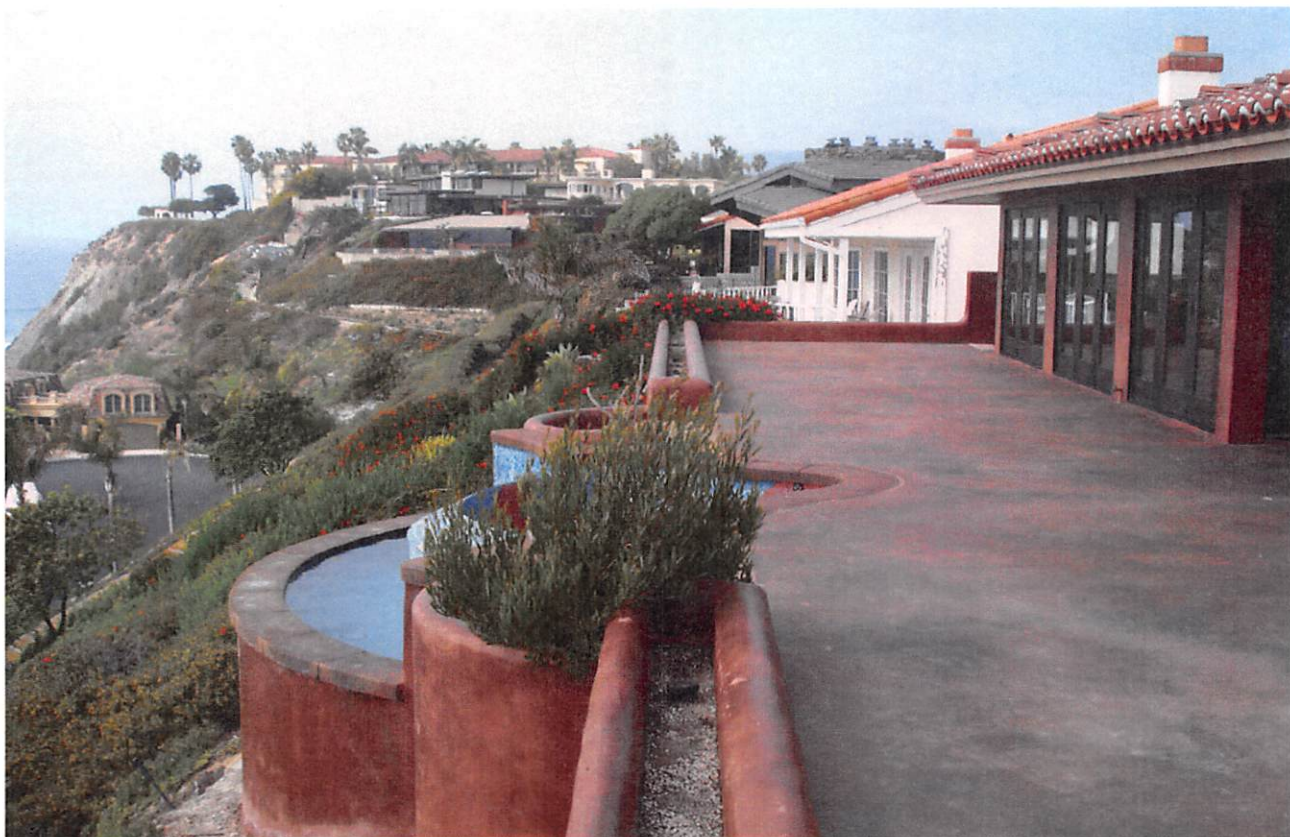
33801 Cabrillo Isle, Dana Point, CA. 92629



REAR VIEW - project site (north east)

33801 Cabrillo Isle, Dana Point, CA. 92629





REAR VIEW - project site (west)

33801 Cabrillo Isle, Dana Point, CA. 92629



REAR VIEW - project site (north)

33801 Cabrillo Isle, Dana Point, CA. 92629





**FRONT VIEW - adjacent property (north west)**

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33791 Cabrillo Isle, Dana Point, CA. 92629



**SIDE VIEW - adjacent property (south west)**

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33791 Cabrillo Isle, Dana Point, CA. 92629



**SIDE VIEW - adjacent property (south east)**

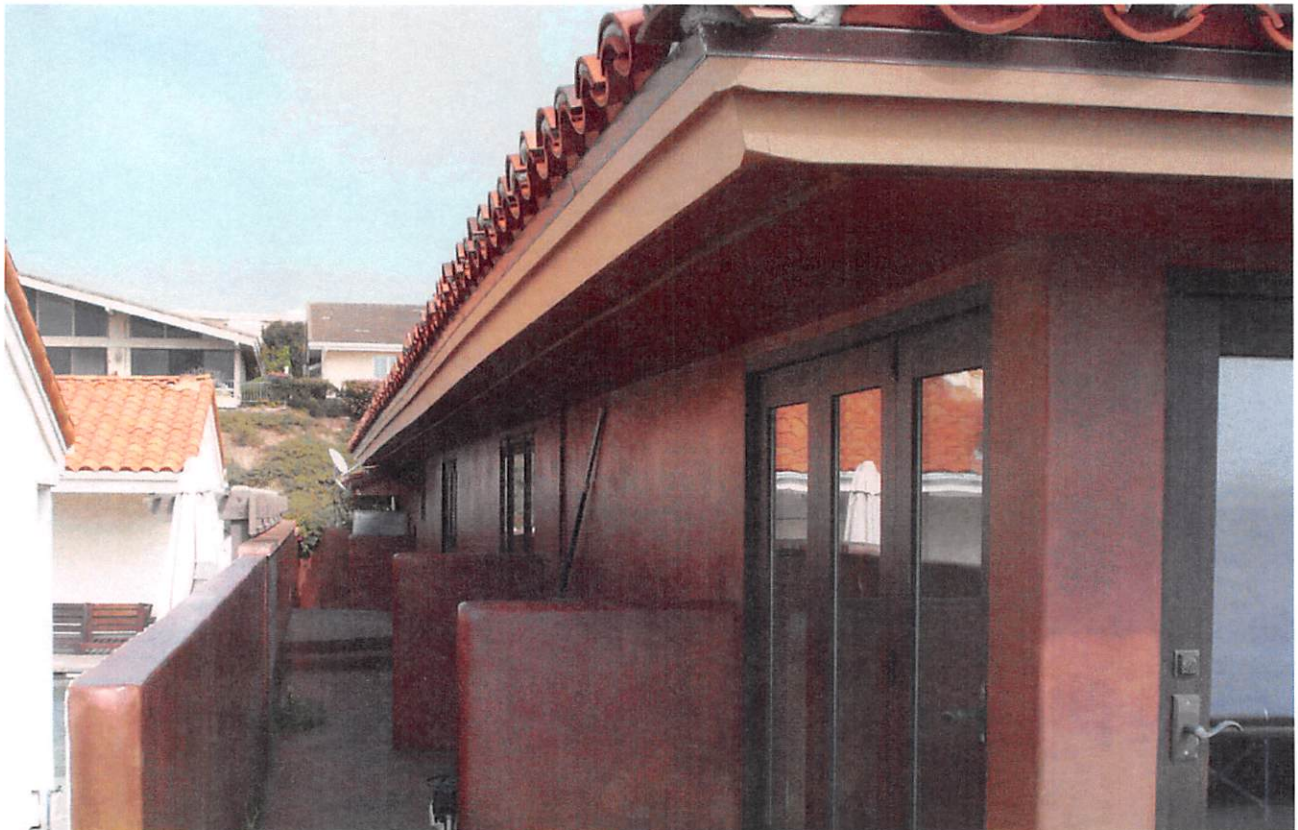
33815 Cabrillo Isle, Dana Point, CA. 92629





**FRONT VIEW - accross the street (east)**

33801 Shackleton Isle, Dana Point, CA. 92629



**FRONT VIEW - accross the street (north)**

33771 Shackleton Isle, Dana Point, CA. 92629



GENERAL NOTES		BEST MANAGEMENT PRACTICES		ENERGY NOTES		BASIC PROJECT INFO		SHEET INDEX	
<div>1. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.</div> <div>2. ALL EXTERIOR WALLS TO BE 2x4 STUDS W/ R-13 BATT INSULATION.</div> <div>3. ALL INTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. - U.N.O.</div> <div>4. ALL INTERIOR WALLS SHALL BE 5/8" GYP. BD. U.N.O.</div> <div>5. ALL BEDROOMS SHALL PROVIDE ONE EGRESS WINDOW MEETING ALL OF THE FOLLOWING: AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT., A MINIMUM CLEAR 24" HEIGHT AND 20 INCH WIDTH, AND A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR. (B10.4)</div> <div>6. PROVIDE AN 18" HIGH PLATFORM FOR WATER HEATER, VENT TO OUTSIDE AIR AND PROVIDE FWT VALVE WITH DRAIN TO OUTSIDE.</div> <div>7. PROVIDE SMOKE DETECTORS AT ALL EXIST'G BEDROOMS. PROVIDE BATTERY POWERED SMOKE DETECTORS @ (E) BEDROOMS, &amp; HARDWARE WITH BATTERY BACK-UP @ (N) BEDROOM(S) &amp; HALL(S).</div> <div>8. CONSTRUCTION HOURS ARE FROM 7:00 AM UNTIL 8:00 PM MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAY OR HOLIDAYS.</div> <div>9. ANY PLUMBING FIXTURES HAVING A FLOOD LEVEL RIM LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER IS REQUIRED TO HAVE A BACK WATER VALVE INSTALLED PER ALL OF THE REQUIREMENTS OF C.P.C. 710.0</div> <div>10. ALL WORK ON THIS PROJECT IS TO BE PERFORMED AND COMPLETED IN CONFORMITY WITH THE MOST RECENT EDITIONS OF THE SAN BERNARDINO COUNTY MUNICIPAL CODE, CALIFORNIA BUILDING, PLUMBING, MECHANICAL, AND ELECTRICAL CODES. ALL WORK IS SUBJECT TO FIELD INSPECTION. ANY APPROVALS THAT APPEAR TO AUTHORIZE NON-CONFORMITY WITH THE ADOPTED STANDARDS ARE NOT VALID. C.B.C. SECTION 106, 106.4.3</div> <div>11. ALL DRAINAGE SHALL BE SLOPED AWAY FROM THE BUILDING AT A MIN 2% FOR HARDSCAPE AND 5% FOR LANDSCAPE FOR THE FIRST 10'-0"</div> <div>NPDES NOTE: THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.</div>		<div>1. PLEASE NOTE THAT CONSTRUCTION HOURS ARE FROM 7:00 AM TO 8:00 PM MONDAY THROUGH SATURDAY. ONLY THAT CONSTRUCTION OR REPAIR THAT DOES NOT EXCEED THE NOISE LEVELS SET BY CITY CODES MAY OCCUR ON SUNDAYS AND NATIONAL HOLIDAYS (A COPY OF THESE LEVELS IS AVAILABLE UPON REQUEST).</div> <div>2. PLEASE REMEMBER TO PRACTICE "BUILDING BETTER STORM WATER QUALITY" BY NOT WASHING DOWN CONTAMINATES INTO THE STREET AND CONTAIN WATER AND CONTAMINATES ON SITE AND PROPERLY REMOVE. KEEP STREET CLEAN AND FREE OF DEBRIS AND NO STORAGE OF CONSTRUCTION MATERIAL, EQUIPMENT, TRAILER, TEMPORARY TOILET FACILITIES. FOR MORE INFORMATION, PLEASE CONTACT ENGINEERING DIVISION AT 949-5465.</div> <div>3. PLEASE CONTACT COMMUNITY SERVICES REGARDING WASTE MANAGEMENT PROGRAM REGARDING DISPOSAL OF CONSTRUCTION MATERIALS AND DEBRIS.</div> <div>4. PLEASE REMEMBER TO KEEP CLEAN CONSTRUCTION SITE AND STORE EQUIPMENT, MATERIALS AND DEBRIS IN THE REAR YARD, OUT OF VIEW FROM THE PUBLIC STREET.</div> <div>5. PLEASE REMEMBER TO BE CONSIDERATE OF NEIGHBORS BY OBSERVING REQUIRED HOURS OF CONSTRUCTION, CLEAN CONSTRUCTION SITES, MAINTAINING LANDSCAPING AND BY COMPLETING THE PROJECT IN A TIMELY MANNER.</div>		<div><b>BUILDING ENVELOPE REQUIREMENTS</b></div> <div>1. BUILDING SHELL SHALL BE SEALED TO 1 CFM 50/FT<sup>2</sup> OR LESS.</div> <div>2. DRYWALL SHALL BE SCREWEDED AND GLUED TO TOP AND BOTTOM PLATES.</div> <div>3. ALL INTERSTITIAL SPACES SHALL BE FIRE-BLOCKED PER BUILDING CODE.</div> <div>4. ALL INSULATION SHALL BE IN FULL CONTACT WITH BOTH INTERIOR AND EXTERIOR AIR BARRIERS.</div> <div>5. WALLS SHALL BE INSULATED WITH BLOWN-IN CELLULOSE INSULATION AT 3.5 PCF OR GREATER.</div> <div>6. ATTICS SHALL BE INSULATED WITH BLOWN-IN CELLULOSE INSULATION TO R-35 OR GREATER.</div> <div>7. EAVE OR GABLE VENTS WITHIN 12" OF INSULATION SHALL BE PROVIDED WITH Baffles TO PREVENT WIND SCOURING OF INSULATION.</div> <div>8. INSULATED WALLS GREATER THAN 12" THICK SHALL BE CONSTRUCTED WITH A SECONDARY AIR BARRIER ON THE INSIDE OF THE EXTERIOR FRAMING.</div> <div>9. ROOF SHALL BE SHEATHED WITH RADIANT-BARRIER PLYWOOD.</div> <div>10. SKYLIGHT SHAFTS AND KNEE WALLS SHALL BE INSULATED TO R-15 MINIMUM. KNEE WALLS AND SHAFTS IN EXCESS OF 24" HIGH SHALL BE PROVIDED WITH AN AIR BARRIER ON THE ATTIC SIDE OF THE WALL. GREATER INSULATION CAN BE USED WITH THICKENED WALLS.</div> <div>11. CEILING ACCESS HATCHES FROM CONDITIONED SPACES SHALL BE INSULATED TO R-15 OR GREATER, AND SHALL BE PROVIDED WITH A CURB TO ALLOW FULL ATTIC INSULATION UP TO THE OPENING.</div> <div>12. INSULATION ASSEMBLIES SHALL BE INSPECTED WITH AN INFRARED CAMERA TO ENSURE CONSISTENT PERFORMANCE WITHIN 10% OF THE DESIGN R-VALUE.</div> <div><b>HVAC SYSTEM REQUIREMENTS</b></div> <div>1. THE AIR DISTRIBUTION SYSTEM SHALL BE SEALED BELOW 60 CFM<sup>3</sup>, OR 6% OF FAN FLOW, WHICHEVER IS LESS.</div> <div>2. SUPPLY DUCTS SHALL BE RUN HOME DIRECTLY TO PLENUM WHERE POSSIBLE.</div> <div>3. DUCT INSULATION SHALL BE R-8.0 OR GREATER.</div> <div>4. DUCT SYSTEM SURFACE AREA SHALL BE MINIMIZED BY SHORTENING DUCTS WHENEVER POSSIBLE.</div> <div>5. ROOM HEATING AND COOLING LOADS SHALL BE DETERMINED BY USING ACCA MANUAL J METHODOLOGY.</div> <div>6. ROOM AIRFLOWS SHALL BE ADJUSTED TO WITHIN 10% OF THE CALCULATED VOLUME FOR EACH ROOM.</div> <div>7. MANUAL BALANCING DAMPERS SHALL BE INSTALLED ON EACH BRANCH DUCT.</div> <div>8. NON-DIFFUSING SUPPLY GRILLES SHALL BE USED TO PROVIDE MAXIMUM THROW DISTANCES.</div> <div>9. SUPPLY GRILLES SHALL NOT HAVE DAMPERS.</div> <div>10. SUPPLY GRILLES SHALL BE SIZED TO PROVIDE DELIVERY VELOCITIES BETWEEN 500 FPM AND 700 FPM.</div> <div>11. SUPPLY GRILLES SHALL BE LOCATED 30 AS TO SUPPLY AIR ONLY TO THE UNOCCUPIED PORTION OF THE ROOM (ABOVE 6 FEET AND WITHIN 12" OF THE WALLS).</div> <div>12. EVAPORATOR AIRFLOW RATES SHALL BE MAINTAINED AT BETWEEN 440 CFM/TON AND 480 CFM/TON (110% TO 120% OF NOMINAL AIR FLOW) FOR ALL DAMPER CONFIGURATIONS.</div> <div>13. BY-PASS DUCTS SHALL NOT BE USED TO REDUCE STATIC PRESSURE.</div> <div>14. HIGH EFFICIENCY FILTRATION SHALL NOT BE USED UNLESS THE SYSTEM IS SPECIFICALLY DESIGNED FOR IT.</div> <div>15. FILTER GRILLES SHALL BE SIZED TO 2 SQUARE FEET PER TON (OR ABOUT 15" X 20" PER TON, OR EQUIVALENT) TO MAINTAIN FILTER VELOCITIES BELOW 300 FPM FOR THE ACTIVE AREA OF THE FILTER AND A STATIC PRESSURE BELOW 0.10" OF WATER COLUMN.</div> <div>16. NEW OR REPLACEMENT COOLING SYSTEMS SHALL HAVE A THERMOSTATIC EXPANSION VALVE (TXV).</div> <div>17. NEW OR REPLACEMENT COOLING SYSTEMS SHALL BE EVACUATED TO 300 MICRONS AND HOLD BELOW 600 MICRONS FOR 5 MINUTES.</div> <div>18. EVAPORATOR COILS AND CONDENSING UNITS SHALL BE MATCHED TO PROVIDE RATED EFFICIENCY AND CAPACITY.</div> <div>19. COOLING SYSTEM LINE-SETS SHALL HAVE R-4.0 INSULATION OR GREATER.</div>		<div>PROJECT TITLE: LIEBMAN RESIDENCE</div> <div>PROJECT ADDRESS: 33801 CABRILLO ISLE DANA POINT CA 92629 672-071-20</div> <div>A.P.N. TRACK 7166, LOT 13</div> <div>LEGAL: TERRY &amp; PATRICIA LIEBMAN</div> <div>CLIENT: HARTMAN-BALDWIN, INC.</div> <div>DESIGNER: 100 W. FOOTHILL BLVD. CLAREMONT, CALIFORNIA 91711 (909) 621-6296 CONTRACTOR'S LICENSE #653340 PROJECT ARCHITECT: TY OTJEN</div> <div><b>ZONING &amp; AGENCY INFORMATION</b></div> <div>CITY/COUNTY: DANA POINT / ORANGE COUNTY</div> <div>ZONING: RSF-4 / PRD 3</div> <div>HOA: NAME: NIGUEL SHORES COMMUNITY ASSOCIATION CONTACT: KAREN DECKER</div> <div>CC&amp;E's: YES</div> <div><b>PROPERTY INFORMATION</b></div> <div>YEAR BUILT: 1972</div> <div>ELECT. PANEL SIZE: T.B.D.</div> <div>SEWER TYPE: PUBLIC</div> <div>SETBACKS: SIDES: 5' REAR: 5' FRONT: 4'</div> <div>MAX HEIGHT: 26' (2 STORIES) (15' AS STATED IN CCR'S)</div> <div>LOT AREA: 16,540 SF</div> <div>EXISTING BLDG. AREA: EXIST'G RESIDENCE AREA 4,115 SF EXIST'G GARAGE 465 SF TOTAL BLD'G AREA 4,580 SF</div> <div>EXISTING LANDSCAPE AREA: EXIST'G LANDSCAPE AREA 7,664 SF TOTAL LANDSCAPE AREA 7,664 SF</div> <div>PROPOSED BLDG. AREA: EXIST'G BLD'G AREA 4,580 SF NEW ADDITION 659 SF NEW BASEMENT 196 SF NEW GARAGE ADDITION 524 SF TOTAL BLD'G AREA 5,769 SF</div> <div>PROPOSED LANDSCAPE AREA: EXIST'G LANDSCAPE AREA 7,642 SF NEW LANDSCAPE AREA 51 SF TOTAL LANDSCAPE AREA 7,693 SF</div> <div>MIN. LANDSCAPE LOT COVERAGE 25% OF 16,540 SF = 4,137 SF</div> <div>TOTAL LANDSCAPE LOT COVERAGE 7,693 SF / 16,540 SF = 46.5%</div> <div>TOTAL ALLOWED LOT COVERAGE 45% OF 16,540 S.F. = 7,446.6 SF</div> <div>EXISTING 4,580 SF / 16,540 SF = 27.7%</div> <div>PROPOSED 5,563 SF / 16,540 SF = 33.6%</div> <div>COVERED PATIO 207 SF</div> <div>COVERED GATENAY 91 SF</div> <div><b>HOME INFORMATION</b></div> <div># OF STORIES: 1 LEVEL</div> <div>BASEMENT: YES</div> <div>SPRINKLED: YES</div> <div>TYPE OF ROOF: CLAY SPANISH TILE</div> <div>ROOF FRAMING: CONVENTIONAL / TRUSSED</div> <div>EXT. WALL FINISH: PLASTER (SMOOTH)</div> <div>INT. WALL FINISH: PLASTER (SMOOTH)</div> <div>EXT. PNT. COND.: GOOD</div> <div>FOUNDATION TYPE: SLAB ON GRADE &amp; RAISED FOUNDATION</div> <div>HVAC: GAS / BASEMENT</div> <div>TYPE OF APPL: GAS &amp; ELECTRIC</div>		<div><b>ARCHITECTURAL</b></div> <div>A1.1 TITLE SHEET</div> <div><b>CIVIL</b></div> <div>1 OF 2 PRELIMINARY GRADING PLAN</div> <div>2 OF 2 TOPOGRAPHIC SURVEY</div> <div>A1.2 NEW SITE PLAN</div> <div>A1.3 CALIFORNIA GREEN BUILDING STANDARDS</div> <div>A2.1 EXISTING SITE PLAN</div> <div>A2.2 EXISTING &amp; DEMO FLOOR PLAN</div> <div>A2.3 EXISTING FRONT &amp; REAR ELEVATIONS</div> <div>A2.4 EXISTING SIDE ELEVATIONS</div> <div>A3.1 NEW FLOOR PLAN</div> <div>A3.2 NEW BASEMENT PLAN</div> <div>A3.5 DEMO SCOPE OF WORK</div> <div>A3.6 NEW FLOOR PLAN SCOPE OF WORK</div> <div>A3.7 ELECTRICAL SCOPE OF WORK</div> <div>A4.1 NEW FRONT &amp; REAR ELEVATION</div> <div>A4.2 NEW SIDE ELEVATION</div> <div>A4.3 NEW SECTIONS</div> <div>A4.4 NEW ROOF PLAN</div> <div><b>STRUCTURAL</b></div> <div>S-01</div> <div><b>LANDSCAPE PLAN</b></div> <div>X-0 TITLE SHEET</div> <div>L-1 CONSTRUCTION PLAN</div> <div>I-1 IRRIGATION PLAN</div> <div>I-2 IRRIGATION PLAN</div> <div><b>VICINITY MAP</b></div>	
SCOPE		CODE INFORMATION		ARCHITECTURAL SYMBOLS		TITLE SHEET			
<div>THE PROJECT CONSISTS OF THE ADDITION OF A THIRD CAR GARAGE, GUEST SUITE AND ADDITION OF A MECHANICAL BASEMENT ADJACENT TO THE REMAINING GARAGE AS WELL AS INTERIOR FINISH WORK IS PROPOSED. IT IS FURTHER REMOVAL OF POOL AND STREET FACING WALL TO PROVIDE SPACE FOR ENTRY AND GUEST SUITE.</div>		<div><b>APPLICABLE CODES:</b></div> <div>THE PROJECT MUST COMPLY WITH THE FOLLOWING CODES:</div> <div>2013 CALIFORNIA RESIDENTIAL CODE</div> <div>2013 CALIFORNIA MECHANICAL CODE</div> <div>2013 CALIFORNIA PLUMBING CODE</div> <div>2013 CALIFORNIA ELECTRICAL CODE</div> <div>2013 CALIFORNIA ENERGY CODE</div> <div>2013 CALIFORNIA GREEN BUILDING CODE</div>		<div><b>BUILDING SECTION</b></div> <div>SECTION INDICATOR</div> <div>SHEET NUMBER</div> <div><b>DETAIL REFERENCE</b></div> <div>DETAIL NUMBER</div> <div>SHEET NUMBER</div> <div><b>OFFSET REFERENCE</b></div> <div>DIFFERENTIAL IN FLOOR LEVEL OR FINISH SURFACE</div>		<div><b>REVISION REFERENCE</b></div> <div>REVISION NUMBER</div> <div>REFER TO TITLE SHEET</div> <div><b>INTERIOR ELEV. REFERENCE</b></div> <div>INT. ELEV VIEW</div> <div>SHEET NUMBER</div> <div><b>ROOF SLOPE REF</b></div>			

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Claremont, CA 91711  
ph: (909) 621-6296  
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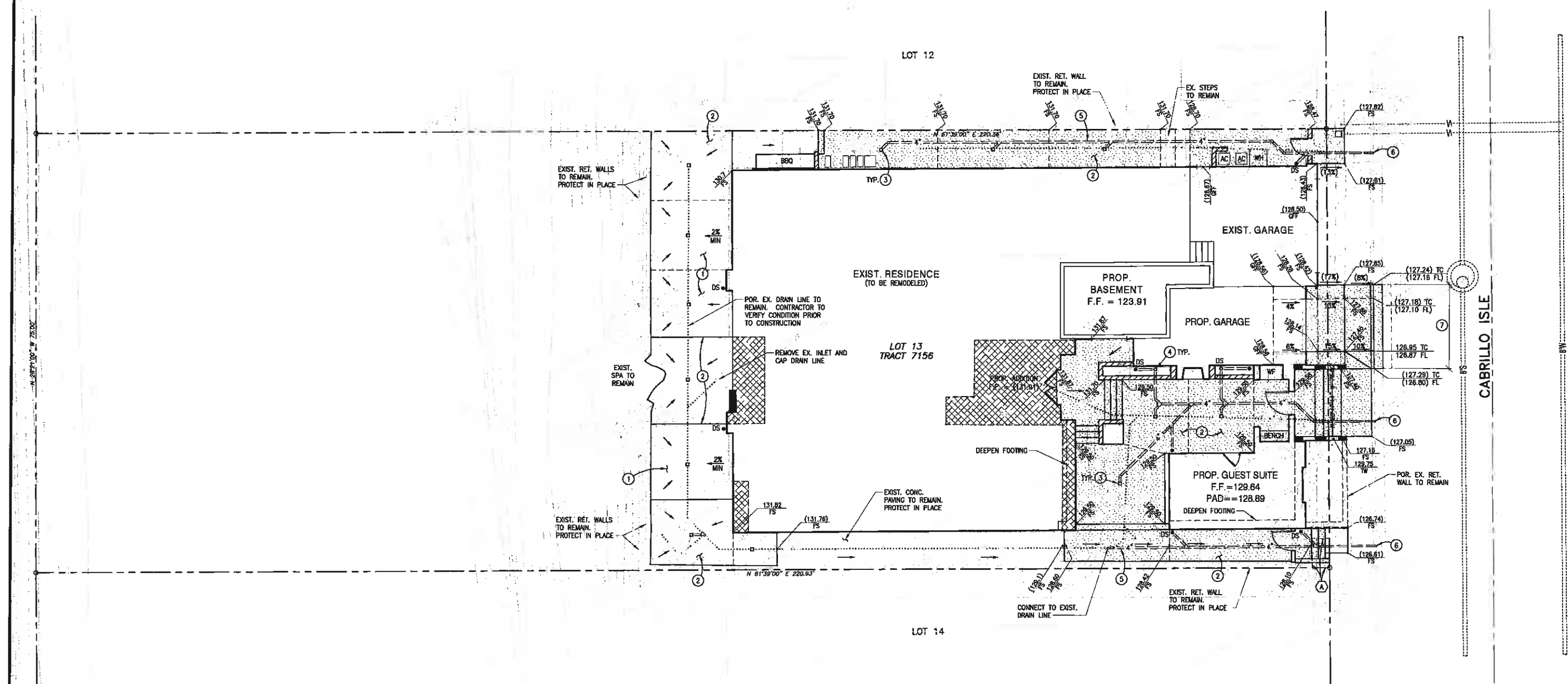
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Project Title: LIEBMAN RESIDENCE

Issue Date: 09/30/2015

Job # 281

A1.1



PRELIMINARY EARTHWORK QUANTITY ESTIMATE

EARTHWORK	CUT	FILL
EXCAVATION	60 CY	-
EMBANKMENT	-	20 CY
OVEREXCAVATION/RECOMPACTION	180 CY	180 CY
EXPORT	-	40 CY
TOTAL	240 CY	240 CY

CONSTRUCTION NOTES

- 1- CONSTRUCT STONE PAVING OVER EXIST. CONCRETE.
- 2- CONSTRUCT HARDSCAPE.
- 3- INSTALL 6" DECK DRAIN.
- 4- INSTALL 4" ATRIUM DRAIN.
- 5- INSTALL 4" PVC SCH 40 OR SDR 35 PVC PIPE DRAIN SYSTEM.
- 6- CONSTRUCT CURB OUTLET.
- 7- CONSTRUCT DRIVE APPROACH.

LEGEND

100	EXISTING CONTOUR	F.F.	PROPOSED FINISHED FLOOR
100.00	PROPOSED CONTOUR	INV	INVERT OF PIPE
	SPOT ELEVATION	TG	TOP OF GRATE
	PROPOSED CONCRETE PAVING	P.L.	PROPERTY LINE
FM	PROP. FORCE MAIN	TW	TOP OF WALL
4"	PROPOSED STORM DRAIN	TF	TOP OF FOOTING
SUB	PROP. SUBDRAIN	BW	BOTTOM OF WALL
	PROPOSED BEARING/RETAINING WALL	W.F.	WATER FEATURE
	EXISTING SCREEN WALL	T.P.	TOP OF PLASTER
	PROPOSED SCREEN WALL	P.A.	PLANTER AREA
	PROPOSED RETAINING WALL	F.P.	FIRE PIT
PAD	PROPOSED PAD ELEVATION		GRADING LIMITS
T/SLAB	PROPOSED TOP OF SLAB	T.G.B.	TOP OF GRADE BEAM
FS	PROPOSED FINISHED SURFACE	L.P.	LOW POINT
FG	PROPOSED FINISHED GROUND		

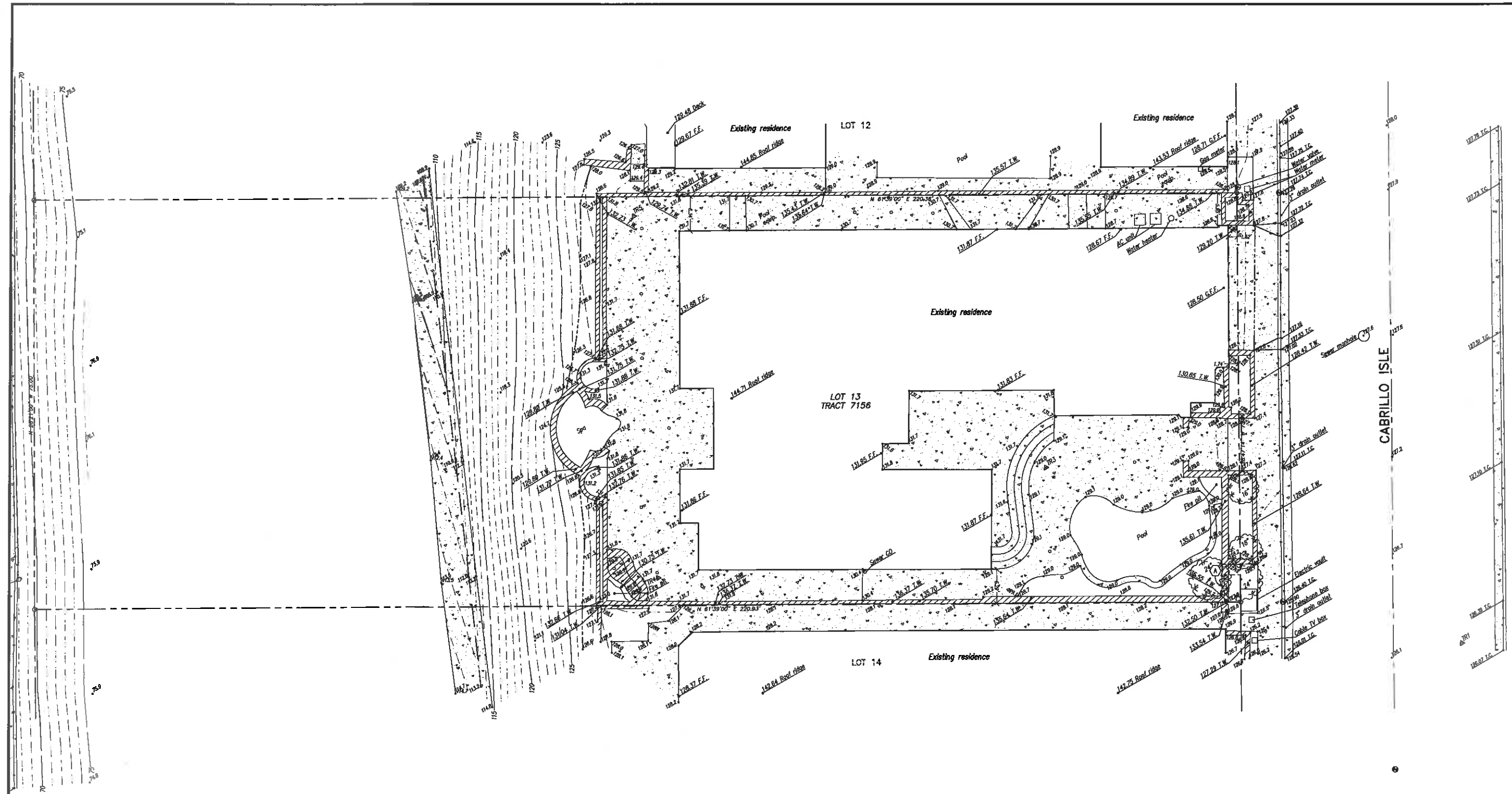
EASEMENT NOTES

- A- 3' EASEMENT OF SAN DIEGO GAS AND ELECTRIC COMPANY, FOR PUBLIC UTILITIES AS RECORDED 05/10/197 IN BOOK 9834 PAGE 816, OF OFFICIAL RECORDS. (PARTICULARS REGARDING NO STRUCTURES, NO TREES, NO INCREASE OR DECREASE IN SURFACE ELEVATIONS WITHIN SAID EASEMENT)
- B- LOT 13 SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS AS AMENDED ON 01/14/1991, AS INSTRUMENT # 91-18686, OF OFFICIAL RECORDS.

**NOTE TO CONTRACTOR:**  
CIVIL ENGINEER OF RECORD APPROVAL REQUIRED PRIOR TO BACKFILL OF ALL DRAIN PIPES, CONTACT CIVIL ENGINEER TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF DRAIN SYSTEM.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1"=8'	DESIGNED: A.T.	DRAWN: A.A.	CHECKED: A.T.	PLANS PREPARED BY: TOAL ENGINEERING, INC. 139 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 Tel: (949) 492-8598 Fax: (949) 498-8625	BENCHMARK: O.C.S.B.M.: 3K-47-92 DATUM: NAVD 88 ELEVATION: 145.103 FT. ADJUSTED: 1999	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE: CITY PLANNING DEPARTMENT	PLANS REVIEWED BY: CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES 33282 GOLDEN LANTERN DANA POINT, CA 92629 MATTHEW V. SINACORI, CITY ENGINEER RCE #99239 EXP. 06/30/17 THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.	CITY OF DANA POINT PRELIMINARY GRADING PLAN 33801 CABILLO AISLE, DANA POINT, CA LOT 13, TRACT 7154 A.P.N.: 672-071-20	PLAN CHECK NO.: ENG XX-XXXX 1 OF 2 SHEETS
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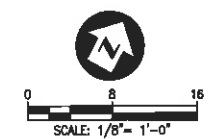


EASEMENT NOTE:  
THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT.  
UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

BOUNDARY NOTE:  
THE PLAT SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD  
BOUNDARY TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT  
SHALL NOT BE CONSIDERED THE FINAL BOUNDARY, AND A BOUNDARY  
SURVEY IS RECOMMENDED PRIOR TO DESIGN OR CONSTRUCTION OF  
IMPROVEMENTS.

EASEMENT NOTES

- (A) 3' EASEMENT OF SAN DIEGO GAS AND ELECTRIC COMPANY, FOR PUBLIC UTILITIES AS RECORDED 05/10/1997 IN BOOK 9634 PAGE 816, OF OFFICIAL RECORDS. (PARTICULARS REGARDING NO STRUCTURES, NO TREES, NO INCREASE OR DECREASE IN SURFACE ELEVATIONS WITHIN SAID EASEMENT)
- (B) LOT 13 SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS AS AMENDED ON 01/14/1991, AS INSTRUMENT # 91-18686, OF OFFICIAL RECORDS.



Viktor P. Meum LS 8682

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: 1"=8'	DESIGNED: V.M.	DRAWN: M.F.	CHECKED: V.M.
DATE: 08/13/15			
PROJECT NO.: 15568			DATE 59275 R.C.E. NO.

PLANS PREPARED BY:  
**TOAL ENGINEERING, INC.**  
139 AVENIDA NAVARRO  
SAN CLEMENTE, CA 92672  
Tel: (949) 492-8588  
Fax: (949) 498-8625

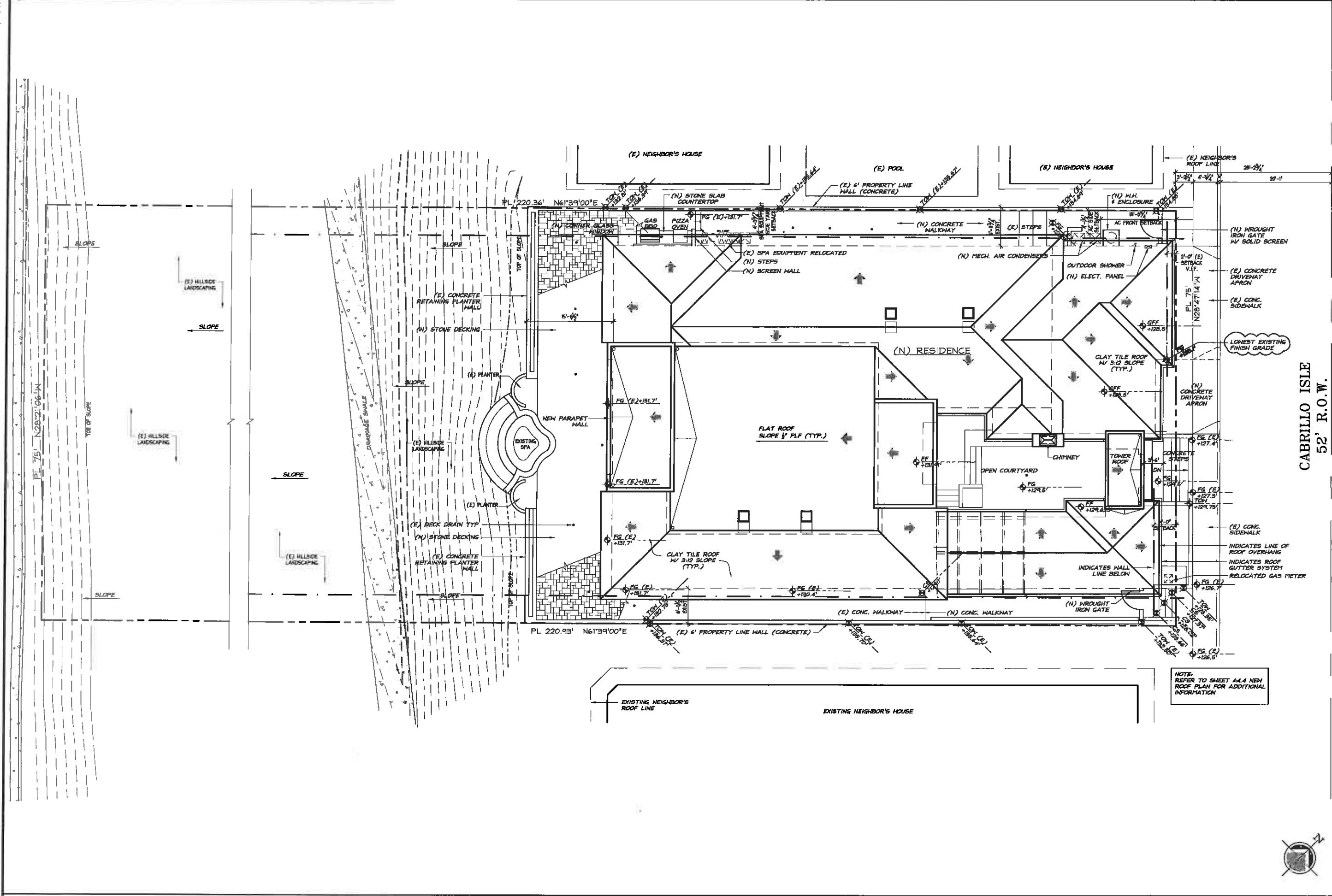
BENCHMARK  
O.C.S.B.M.: 3K-47-92  
DATUM: NAVD 88  
ELEVATION: 145.103 FT.  
ADJUSTED: 1999

APPROVED BY THE CITY OF DANA POINT  
PLANNING DEPARTMENT  
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS  
THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:  
CITY PLANNING DEPARTMENT DATE

PLANS REVIEWED BY:  
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES  
33282 GOLDEN LANTERN  
DANA POINT, CA 92624  
MATTHEW V. SINACORI, CITY ENGINEER  
RCE #58239 EXP. 06/30/17  
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CITY OF DANA POINT  
TOPOGRAPHIC SURVEY  
33801 CABILLO AISLE, DANA POINT, CA  
LOT 13, TRACT 7154  
A.P.N.: 672-071-20

PLAN CHECK NO.  
ENG XX-XXXX  
2 OF 2 SHEETS



NEW SITE PLAN

CABRILLO ISLE  
52' R.O.W.

NEW SITE PLAN  
LIEBMAN RESIDENCE  
SHEET A1.2  
DATE: 09/30/2015  
BY: [Signature]

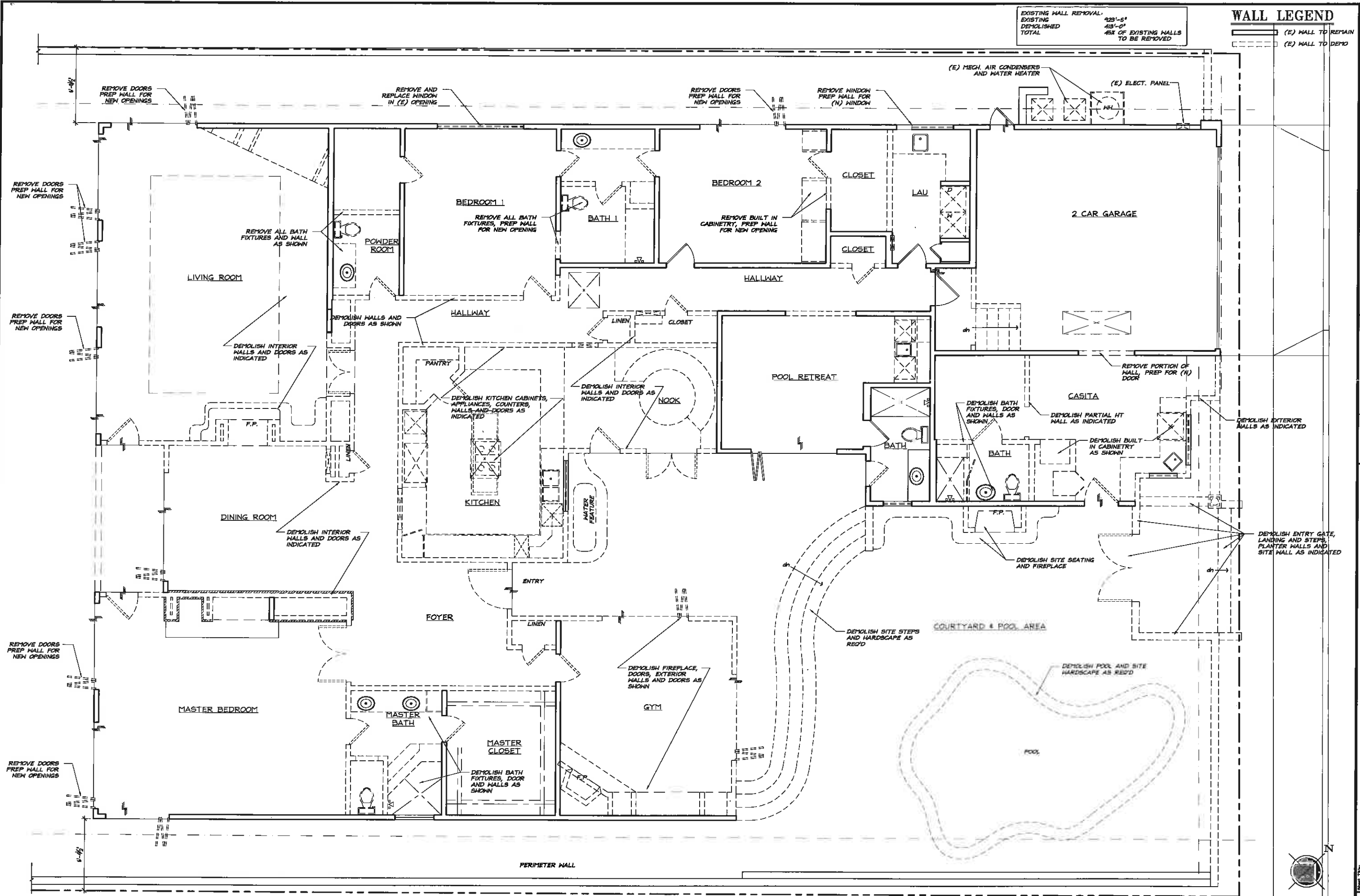
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SHOULD BE MAINTAINED  
AT ALL TIMES.

SCALE:  
1/8"=1'-0"  
781

A1.2



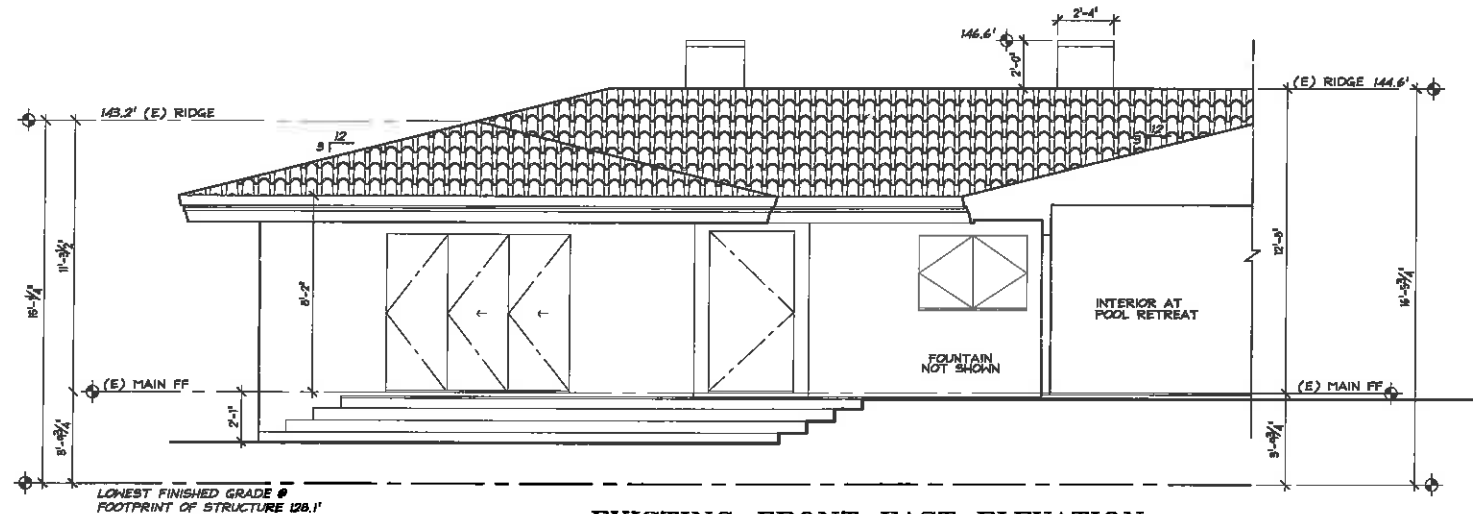


EXISTING FLOOR PLAN

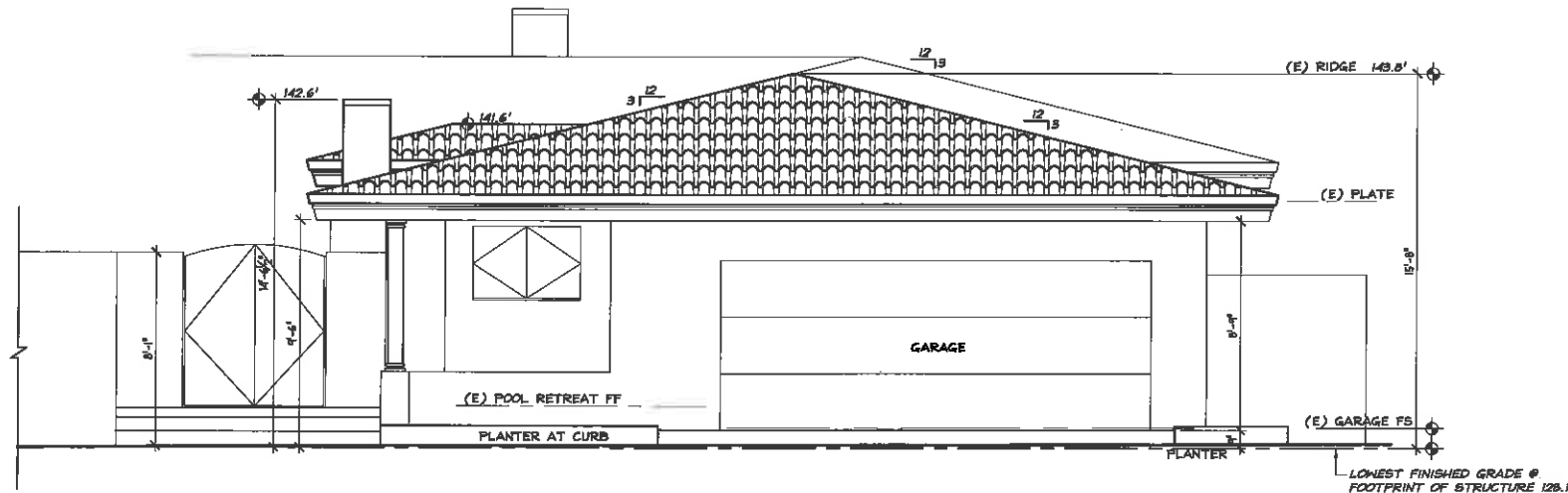
EXISTING & DEMO FLOOR PLAN PROJECT TITLE: <b>LIEBMAN RESIDENCE</b> 35801 GABRIELLO ISLE DANA POINT, CA 92626		SHEET NO. <b>A2.2</b>	
DATE: 09/30/2015		SCALE:	
DRAWN BY:		CHECKED BY:	
DESIGNED BY:		APPROVED BY:	

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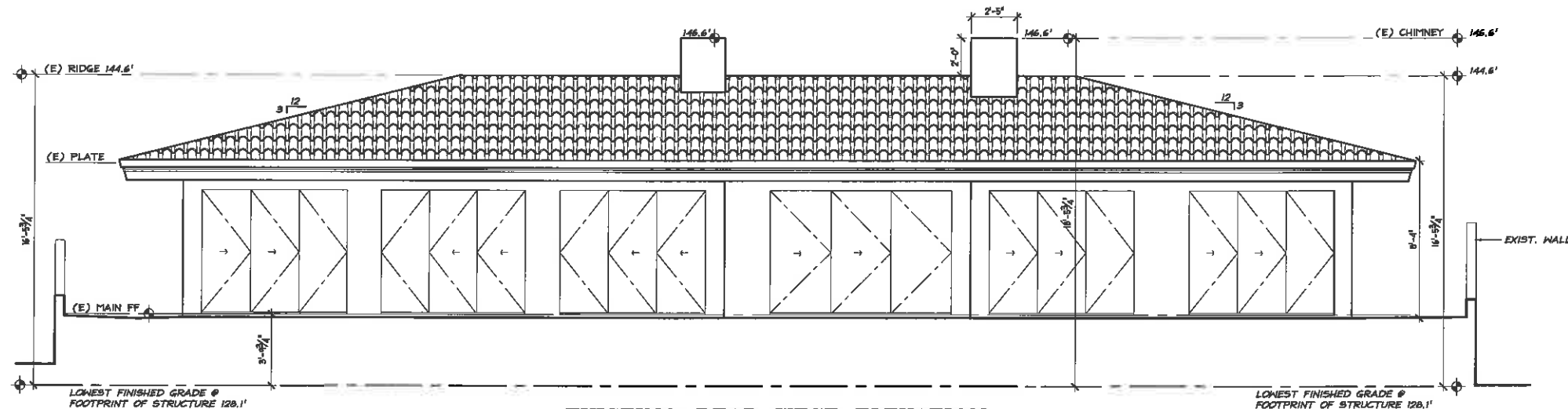
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 100 W. Foothill Blvd.  
 Claremont, CA 91711  
 ph: (909) 621-6296  
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EXISTING FRONT EAST ELEVATION  
SCALE: 1/4"=1'-0"



EXISTING FRONT EAST ELEVATION  
SCALE: 1/4"=1'-0"



EXISTING REAR WEST ELEVATION  
SCALE: 1/4"=1'-0"

# EXISTING ELEVATIONS

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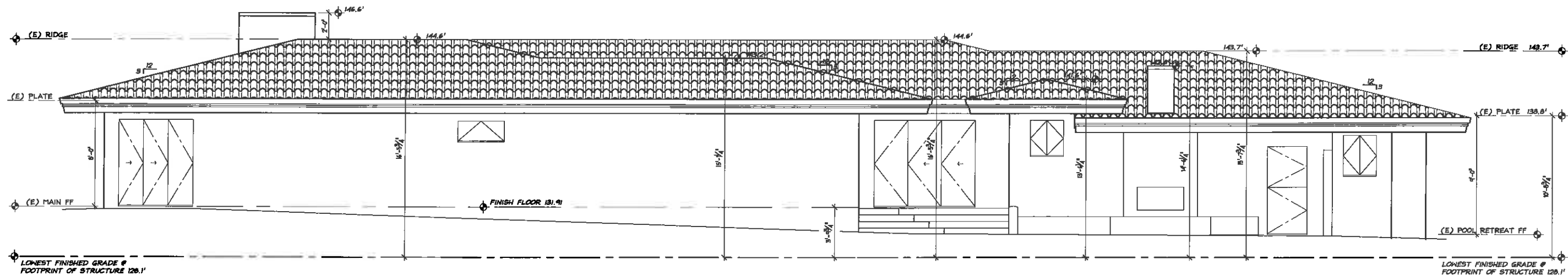
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EXISTING FRONT & REAR ELEVATIONS

**LIEBMAN RESIDENCE**  
3800 S. GARDEN ST.  
DANA POINT, CA 92629

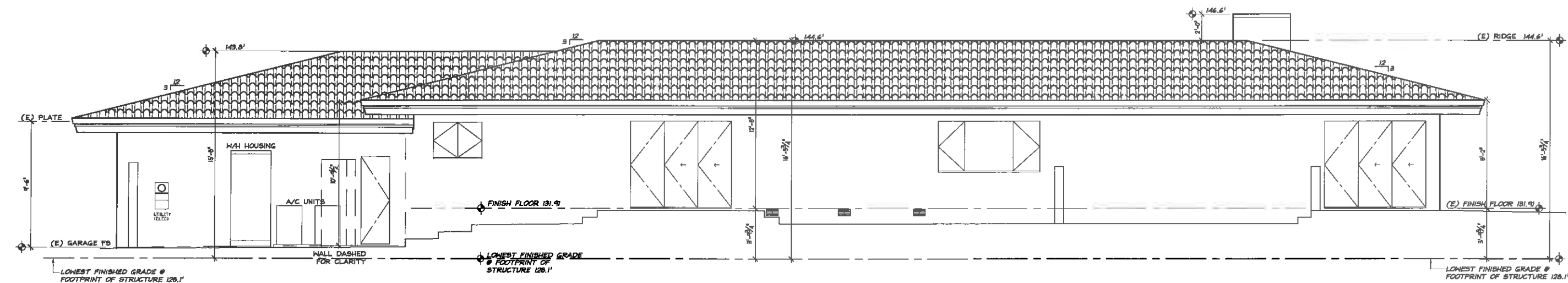
06/30/2015

A2.3



EXISTING SIDE SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SIDE NORTH ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

SCALE: 1/4" = 1'-0"

781

A2.4

EXISTING SIDE ELEVATIONS

LIEBMAN RESIDENCE

HARTMAN  
BALDWIN  
design/build

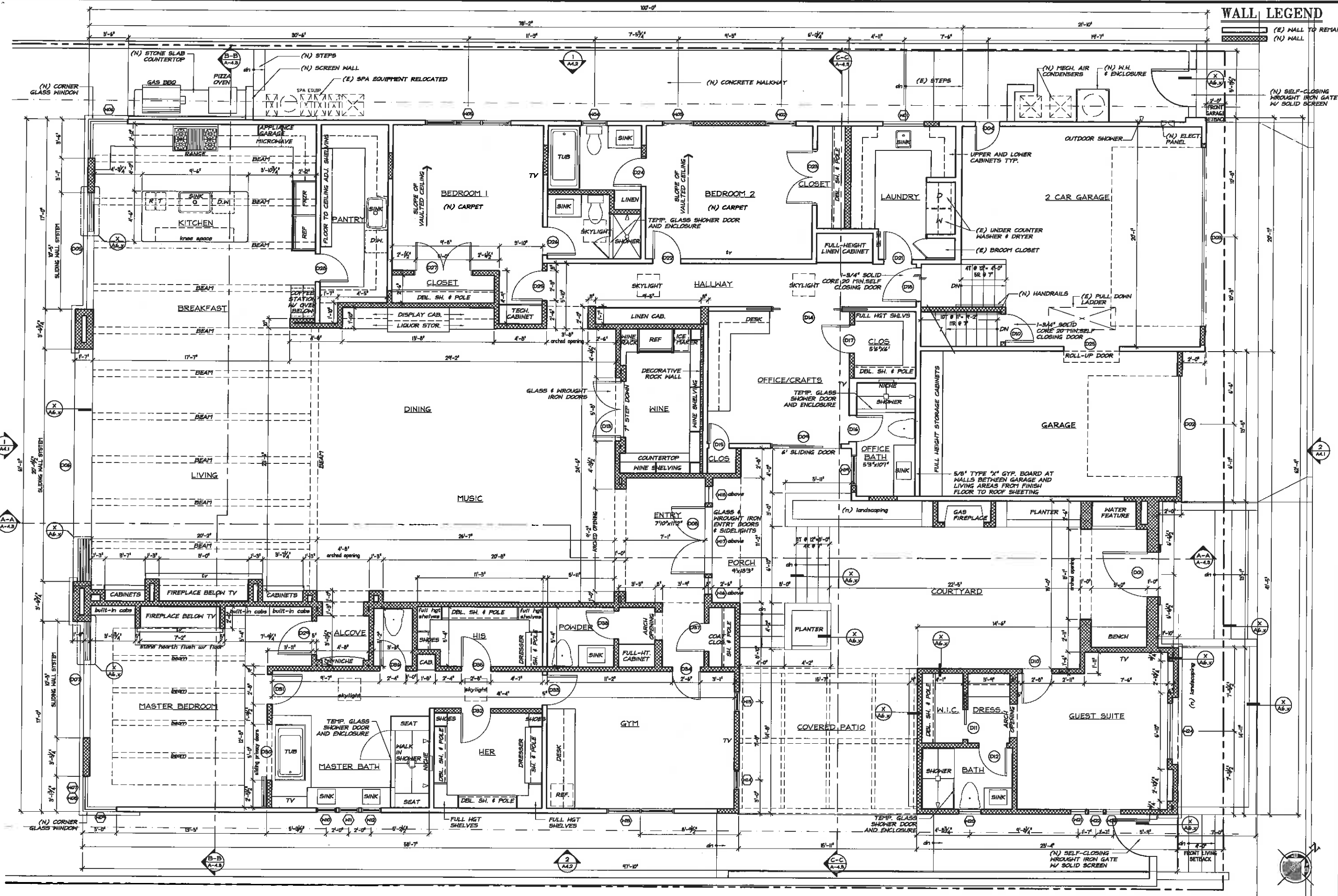
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Revision/Date

Sheet Title  
Issue Date  
09/30/2015  
D.B.  
781

P:\Project Information\Hartman\_Baldwin\_Terry\_2014\Hartman Baldwin 3 ARCHITECTURE 3 WORKING DRAWINGS\Hartman Baldwin 3.dwg 10/18/2015 2:28 PM



WALL LEGEND

(E) WALL TO REMAIN  
(N) WALL

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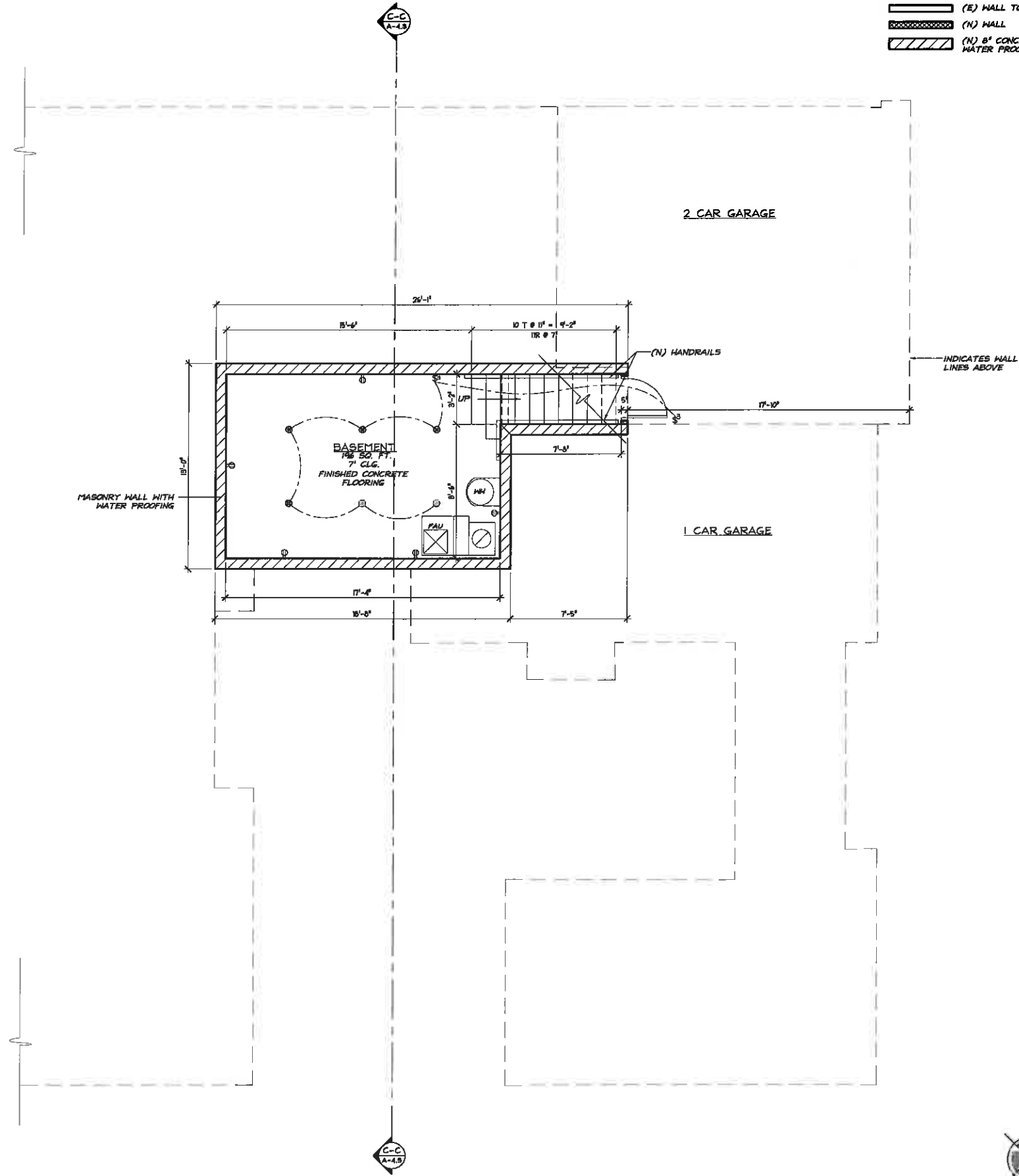
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**NEW FLOOR PLAN**  
**LIEBMAN RESIDENCE**  
38801 CARRILLO ISLE  
DANA POINT, CA 92629

Sheet Title: 09/30/2015  
Scale: 1/4"=1'-0"  
Job #: 781

**A3.1**

NEW FLOOR PLAN



**WALL LEGEND**

(E) WALL TO REMAIN

(N) WALL

(N) 8" CONCRETE WALL W/ WATER PROOFING

**HARTMAN  
BALDWIN**  
design/build

100 W. Foothill Blvd.  
Claremont, CA 91711  
ph: (909) 621-6296  
fx: (909) 621-9987

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Revision

Revision/Date

Sheet Title

NEW BASEMENT PLAN

Project Title

LEIBMAN RESIDENCE

35401 CARROLL ISLE  
DANA POINT, CA 92629

Issue Date

09/30/2016

Scale

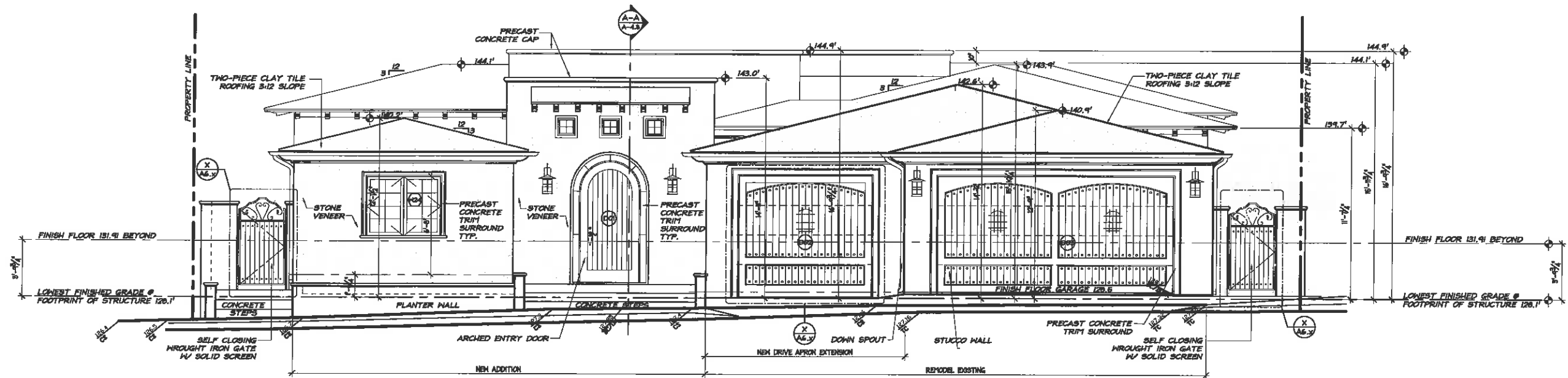
1/4"=1'-0"

781

A3.2

**NEW BASEMENT PLAN**





FRONT EAST ELEVATION

2 SCALE: 1/4"=1'-0"

**HARTMAN  
BALDWIN**  
design/build

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Remarks:

Revisions/Notes:

NEW FRONT & REAR ELEVATION

LIEBMAN RESIDENCE  
35801 CABRILLO BLVD  
DANA POINT, CA 92629

Sheet Title:

Issue Date: 09/30/2015

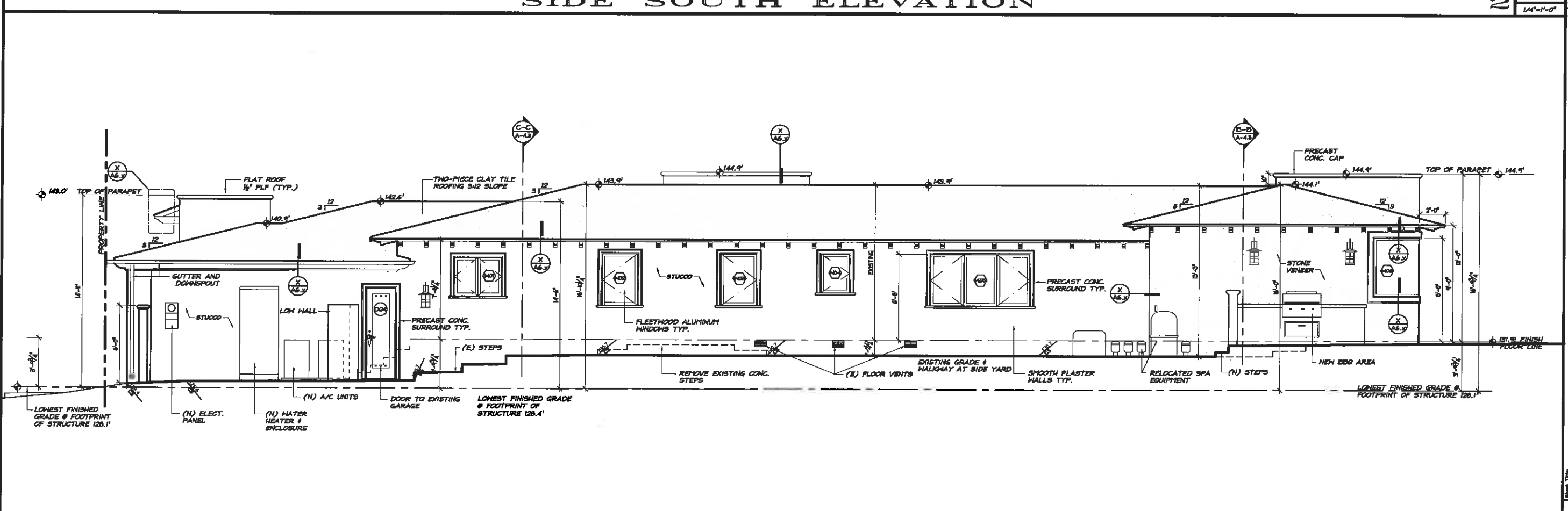
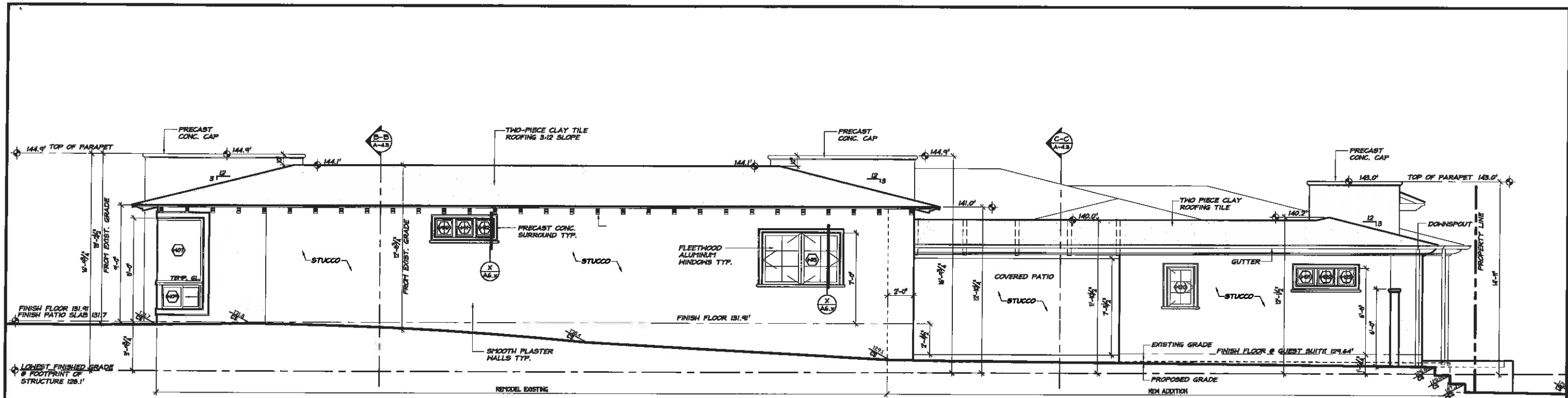
D.P.:

Sheet:

REAR WEST ELEVATION

1 SCALE: 1/4"=1'-0"

A4.1



100 W. Foothill Blvd.  
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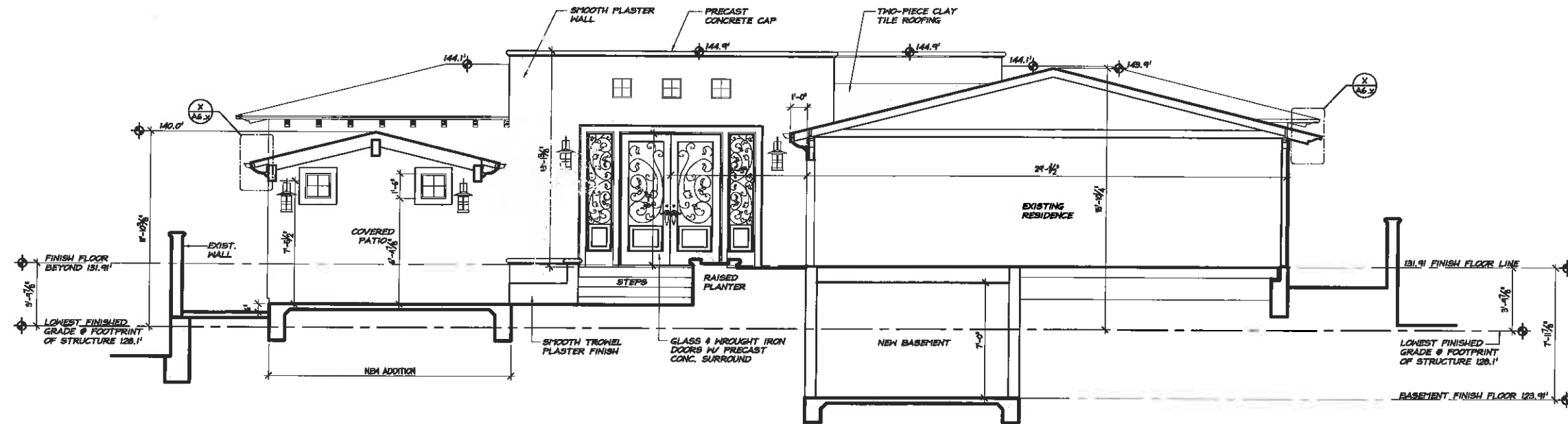
NEW SIDE ELEVATIONS

**LIEBERMAN RESIDENCE**  
 33801 CARIBLLO BLVD  
 BANA POINT, CA 92423

09/30/2015

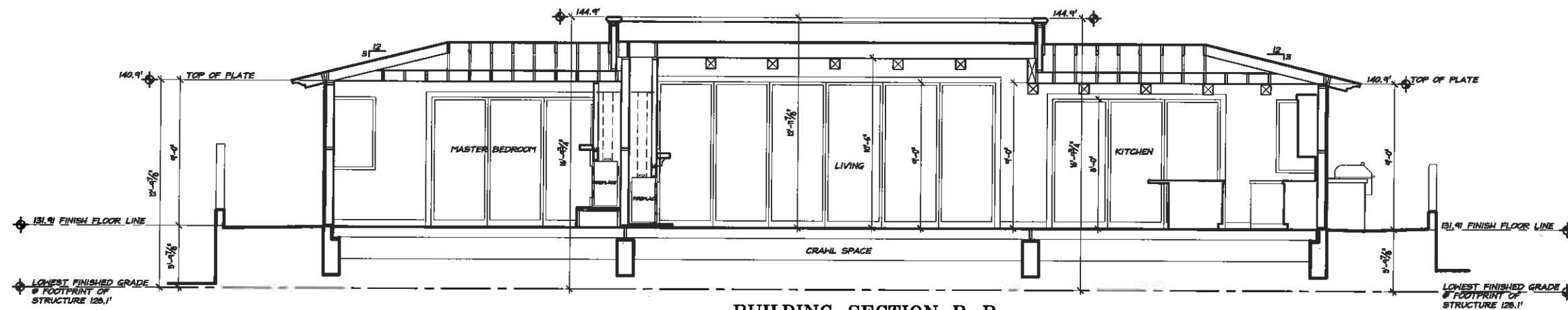
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**A4.2**



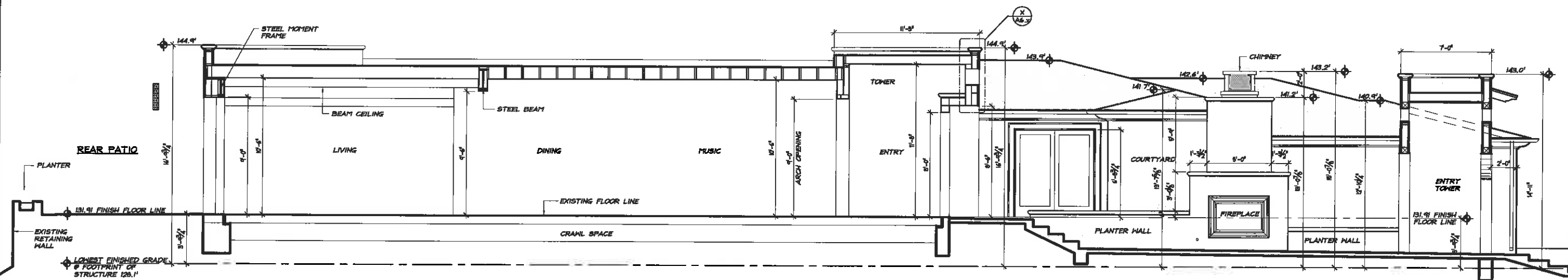
**BUILDING SECTION C-C**

SCALE: 1/4" = 1'-0"



**BUILDING SECTION B-B**

SCALE: 1/4" = 1'-0"



**BUILDING SECTION A-A**

SCALE: 1/4" = 1'-0"

**NEW SECTIONS**

**HARTMAN  
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Revisions

Revision/Date

**NEW SECTIONS**

**LIEBMAN RESIDENCE**

38801 CASABLANCO ISLE  
DANA POINT, CA 92629

Sheet Title

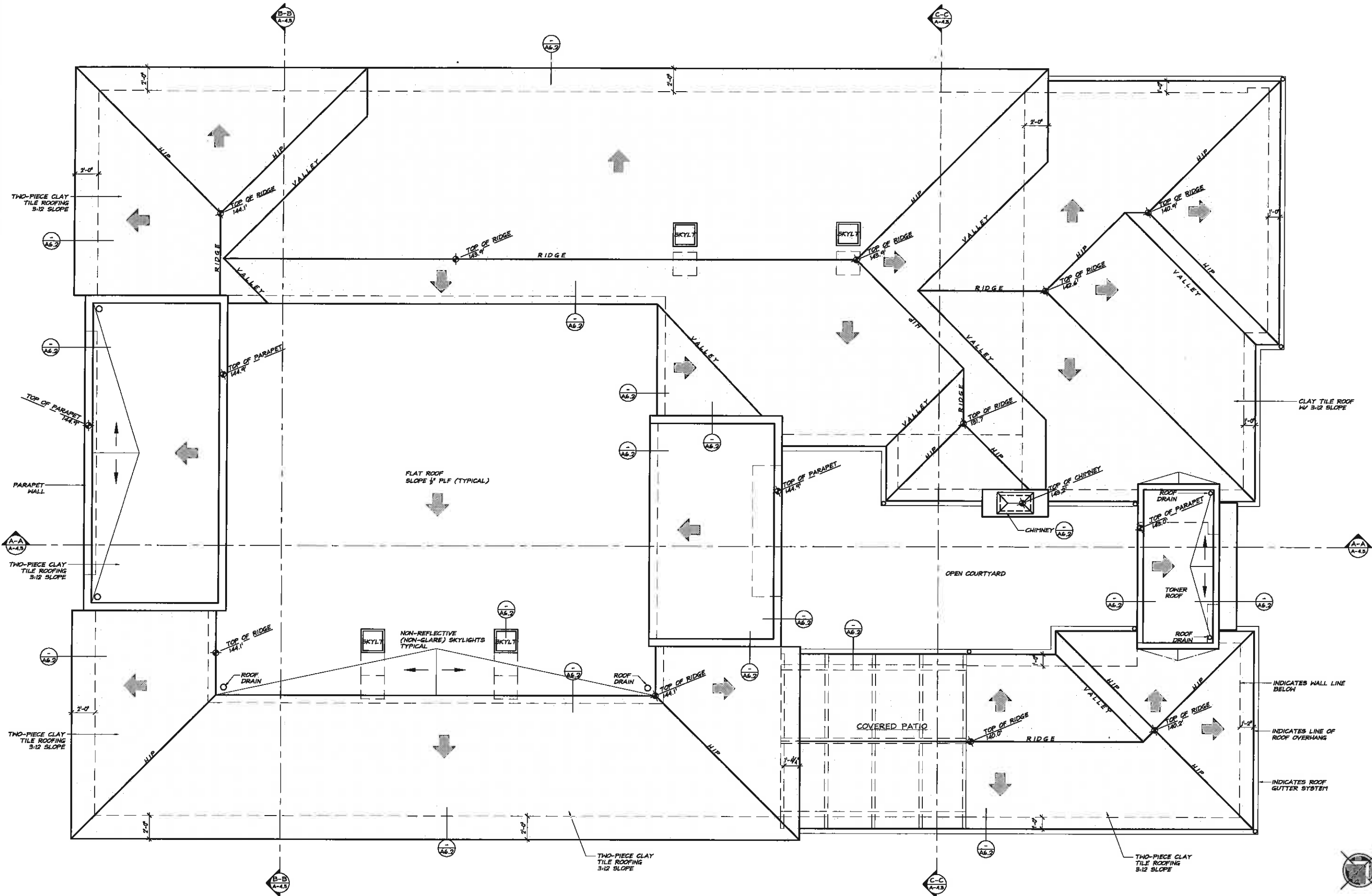
Date: 08/30/2015

D.B.

781

A4.3

SCALE:  
1/4" = 1'-0"



NEW ROOF PLAN

SCALE:  
1/4"=1'-0"

Sheet  
781

Project  
A4.4

NEW ROOF PLAN

LIEBMAN RESIDENCE  
33801 CURETTO BLVD  
DANA POINT, CA 92629

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Author/Checker  
Hartman Baldwin

Project  
LIEBMAN RESIDENCE  
33801 CURETTO BLVD  
DANA POINT, CA 92629

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# LIEBMAN RESIDENCE

## PRODUCTION LANDSCAPE PLANS

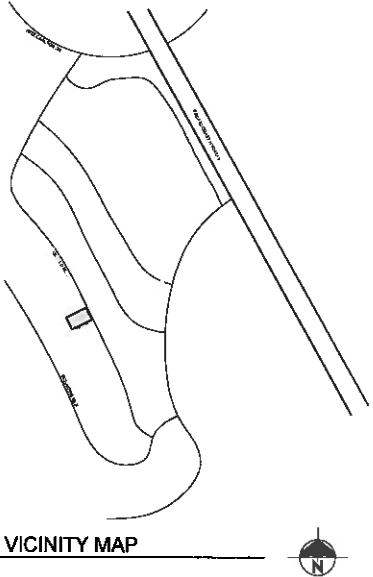
33801 CABRILLO ISLE,  
DANA POINT, CA

QUESTIONS REGARDING LANDSCAPE PLANS  
CONTACT: CHRIS SOLTIS  
909-610-772

### SHEET INDEX:

- X-0 TITLE SHEET
- L-1 PRELIMINARY LANDSCAPE PLAN
- I-1 PRELIMINARY IRRIGATION PLAN
- I-2 PRELIMINARY IRRIGATION DETAILS

PROJECT DATA +/- 16,547 SF	
DESCRIPTION	QUANTITY
EXISTING LANDSCAPE	7,555 SF
PROPOSED PLANTING AREA	220 SF
TOTAL LANDSCAPE AREA	7,775 SF (47%)



809 WEST 9TH STREET  
UPLAND, CALIFORNIA  
91785  
P. 909.346.1111  
chris@soltislandscape.com  
kelly@soltislandscape.com

NO.	REVISIONS

PROJECT OWNER  
**TERRY AND PATTI LIEBMAN**  
7 BRIDGINGTON  
LAGUNA NIGUEL, CA  
92677

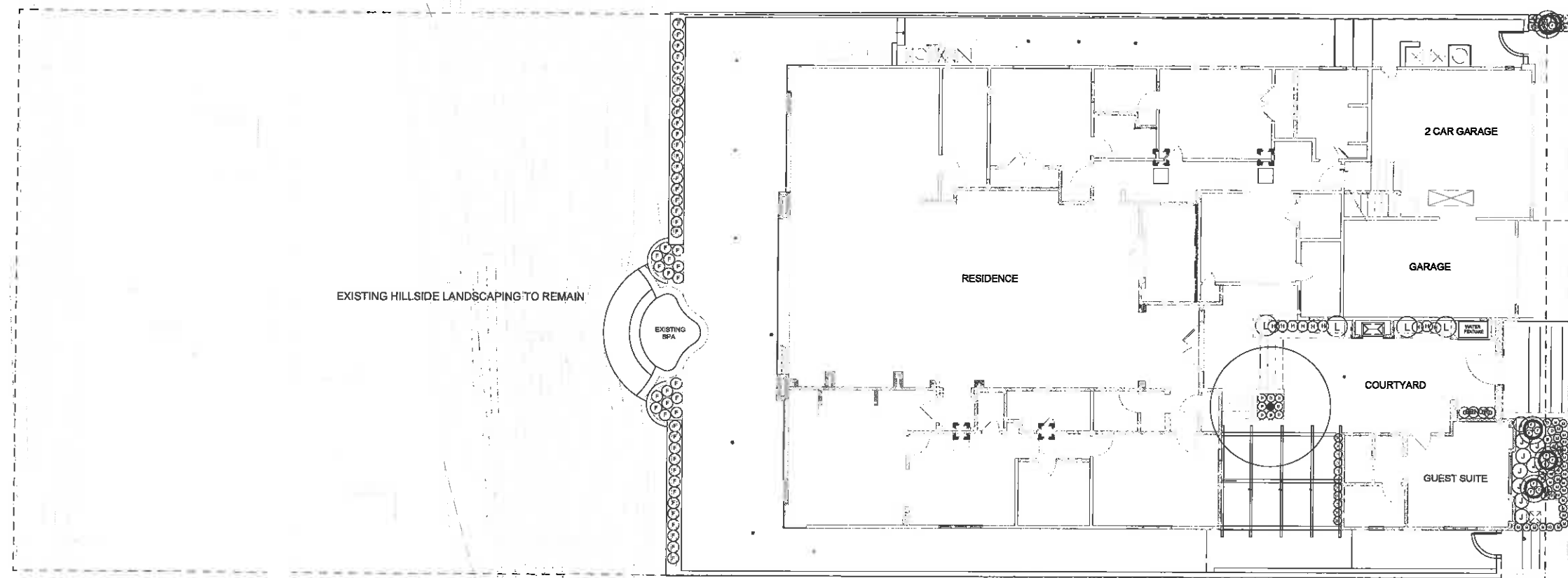
PROJECT TITLE  
**DANA POINT**  
**33801 CABRILLO ISLE**  
**DANA POINT, CA**

SHEET TITLE:  
**TITLE SHEET**



DRAWN BY: K.E.  
CHECKED BY: C.M.S./D.R.B.  
DATE: August 17, 2015  
JOB NO: DD2014-33

SHEET:  
**X-0**  
SHEETS 1 OF 4



TREE SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION	WUCOLS	QUANTITY
⦿	OLEA EUROPAEA 'MONTRA'	LITTLE OLIVE DWARF OLIVE	5 GAL.	TREE	MEDIUM	4
⦿	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE TREE	24" BOX	MULTI	MEDIUM	1

SHRUB SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION	WUCOLS	QUANTITY
Ⓐ	PHORMIUM TENAX 'JACK SPRATT'	JACK SPRATT NEW Z. FLAX	1 GAL.	SHRUB	MEDIUM	10
Ⓑ	HEUCHERA 'PLUM PUDDING'	PURPLE HEUCHERA	1 GAL.	PERENNIAL	MEDIUM	25
Ⓒ	GARDENIA 'RADICANS'	PROSTRATE GARDENIA	1 GAL.	SHRUB	MEDIUM	5
Ⓓ	JASMINUM	NIGHT BLOOMING JASMINE	5 GAL.	TRELLIS	MEDIUM	1
Ⓔ	ROSMARINUS OFFICINALIS 'PROSTRATUS'	PROSTRATE ROSEMARY	1 GAL.	SHRUB	MEDIUM	3
Ⓕ	CALIBRACHOA 'MILLION BELLS'	MILLION BELLS (PURPLE)	1 GAL.	PERENNIAL	MEDIUM	61
Ⓖ	EQUISETUM	HORSETAIL	1 GAL.	PERENNIAL	MEDIUM	5
Ⓗ	AGAPANTHUS AFRICANUS 'PETERPAN'	DWARF AGAPANTHUS	1 GAL.	PERENNIAL	MEDIUM	9
Ⓘ	DICHONDRA	SILVERFALLS	1 GAL.	PERENNIAL	MEDIUM	11
Ⓙ	LAVENDULA STOECHAS	SPANISH LAVENDER	1 GAL.	PERENNIAL	MEDIUM	9
Ⓚ	SANSEVIERIA TRIFASCIATA	SNAKE PLANT	1 GAL.	PERENNIAL	MEDIUM	11
Ⓛ	CORDYLINA AUSTRALIS	CORDYLINA	1 GAL.	SHRUB	MEDIUM	4

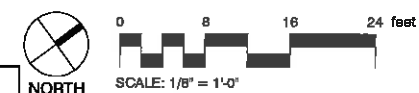
GROUNDCOVER SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION	WUCOLS	QUANTITY
Ⓜ	SENECIO MANDRALISCAE	BLUE CHALKSTICKS	1 GAL.	SUCCULENT	LOW	31

POT SCHEDULE		
SYMBOL		QUANTITY
⦿	POTS TO BE SELECTED BY LANDSCAPE ARCHITECT AND OR ARCHITECT	4

MULCH		QUANTITY
NOTE:	FRONT 3 PLANTERS TO RECIEVE 3" OF WOOD MULCH *DO NOT MULCH POTS	1 CY

DRAINAGE	
NOTE:	ALL PLANTERS TO RECIEVE 3" ATRIUM DRAIN TO TIE INTO EXISTING DRAINAGE SYSTEM

PROJECT DATA		+/- 16,547 SF
DESCRIPTION	EXISTING LANDSCAPE	7,555 SF
PROPOSED PLANTING AREA	TOTAL LANDSCAPE AREA	220 SF
		7,775 SF (47%)



889 WEST 8TH STREET  
UPLAND, CALIFORNIA 91786  
P. 909.346.1111  
chris@soltislandscape.com  
kelly@soltislandscape.com

NO.	REVISIONS
1.	TOOK OUT BLOOD GRASS 11.06.2014
2.	ADDED EXISTING SPA TO PLAN 11.08.2014
3.	City comments-Add # of of landscape area Added more plant material

PROJECT OWNER:  
TERRY AND PATTI LIEBMAN  
7 BRIDGINGTON  
LAGUNA NIGUEL, CA 92677

PROJECT TITLE:  
DANA POINT  
33801 CABRILLO ISLE  
DANA POINT, CA

SHEET TITLE:  
PRELIMINARY  
LANDSCAPE  
PLAN



DRAWN BY: K.E.

CHECKED BY: C.M.S./D.R.B.

DATE: AUGUST 17, 2015

JOB NO: D02014-35

SHEET:

L-1

SHEETS 2 OF 4



869 WEST 8TH STREET  
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91786  
P. 808.348.1111  
info@soltislandscape.com  
kelly@soltislandscape.com

NO.	REVISIONS
1.	TOOK OUT BLOOD GRASS 11.06.2014
2.	ADDED EXISTING SPA TO PLAN 11.08.2014
3.	City comments-Add all of landscape area Added more plant material.

PROJECT OWNER:  
**TERRY AND PATTI LIEBMAN**  
7 BRIDGINGTON  
LAGUNA NIGUEL, CA  
92677

PROJECT TITLE:  
**DANA POINT**  
33801 CABRILLO ISLE  
DANA POINT, CA

SHEET TITLE:  
**PRELIMINARY  
IRRIGATION  
PLAN**



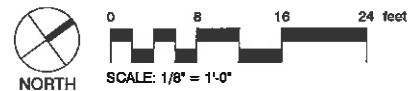
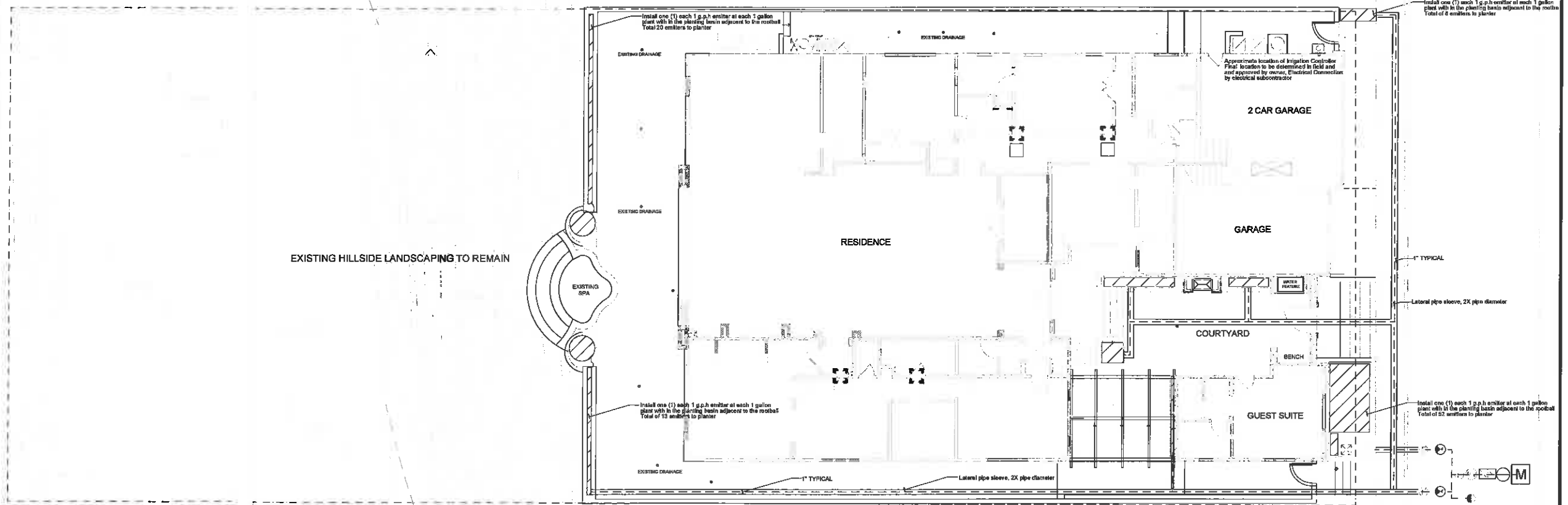
DRAWN BY: K.E.

CHECKED BY: C.M.F./J.R.B.

DATE: AUGUST 17, 2015

JOB NO: DD2014-33

SHEET:  
**1-1**  
SHEETS 3 OF 4



#### DRAINAGE

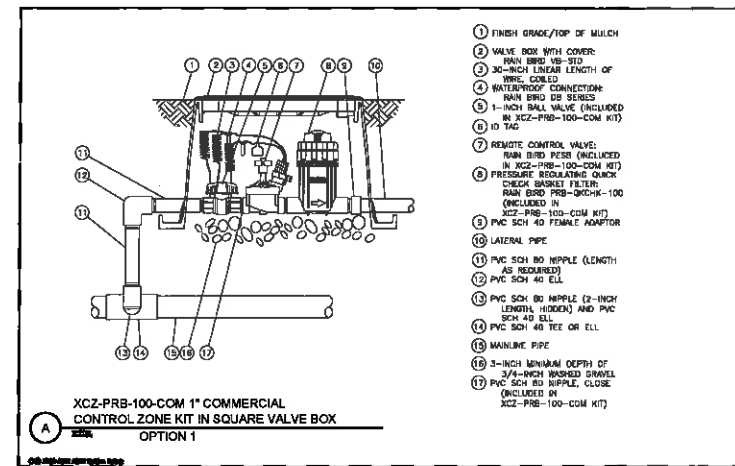
NOTE: ALL PLANTERS TO RECIEVE 3" ATRIUM DRAIN TO TIE INTO EXISTING DRAINAGE SYSTEM

#### IRRIGATION NOTES

- ALL LANDSCAPING AND IRRIGATION SYSTEMS MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS
- THE IRRIGATION DESIGNER OR LANDSCAPE ARCHITECT SHALL PERFORM ONE OR MORE SITE OBSERVATIONS DURING THE SYSTEM INSTALLTION TO CHECK FOR ADHERENCE TO THE DESIGN, INCLUDING THE PROPER INSTALLATION OF THE BACKFLOW PREVENTION EQUIP., MAIN LINE, LATERALS, VALVES, SPRINKLER HEADS, DRIP IRRIGATION EQUIPMENT, CONTROL WIRE, CONTROLLERS, SENSORS AND SHOULD ASSURE THAT THE INTENT OF THE IRRIGATION DESIGN HAS BEEN PRESERVED
- THE IRRIGATION SYSTEM HAS BEEN DESIGNED TO ELIMINATE ANY AND ALL RUNOFF OR OVERSPRAY ONTO IMPERMEABLE SURFACES INCLUDING BUT NOT LIMITED TO SIDEWALKS, ALLEYS, STREETS AND FENCING.
- LOCATE ALL BUBBLERS AND EMITTERS AS SHOWN PER OR JUST OUTSIDE PLANT ROOTBALL BUT WITHIN THE PLANTING BASIN

#### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/DESCRIPTION
P.O.C.	Point of Connection
M	1" Irrigation Water Meter
□	1" Backflow Device
□	1" Fetsco 820V-QT-RP
□	1" Backflow Device
□	Orbweid 2000K - 1" normally closed solenoid master valve
□	Rain Bird F801SP 3/4" PVC Flow Flow Sensor
□	Rain Bird ESP-20-JMET - 12 Stations w/ ESP-20-JMET and ESP-20-JMET-2, 8 and 12 station modules, Rain Bird ET-CLX - ET Water Manager Cartridge
□	Rain Bird WQ2-RPC Wireless Rain/Freeze Sensor
□	Rain Bird 100-FEB Valve
□	Remote control valve w/ NDS Pro 314 BIC - 1/4" x 1/2" rectangular valve box
□	Rain Bird XC2-PR3 100-CCM
□	Remote Control Zone Val w/ NDS Pro 314 BIC
□	1/4" x 1/2" rectangular valve box
□	Rain Bird quick coupler 44-RC
□	Quick coupler w/ NDS Pro 111 BIC - 1/2" round valve box
□	Pull-box NDS Pro 111 BIC - 1/2" round valve box
NOT SHOWN	Rain Bird MDQFCAP w/ NDS Pro 6" round valve box
NOT SHOWN	Diffusive Flush Valve cap in compression fitting coupler
NOT SHOWN	Rain Bird AR Valve IG w/ NDS Pro 6" round valve box
NOT SHOWN	1" Air Relief Valve lid with 6" drip valve box
NOT SHOWN	Rain Bird PFR-FRA-12 w/ XB-20PC emitter
NOT SHOWN	Emitters for point to point drip (1 per shrub)
NOT SHOWN	Rain Bird RWS-B-1402 BUBBLER
NOT SHOWN	Rain Bird 12" XT-700 Distributing Tubing
NOT SHOWN	Irrigation Lateral Line (PVC 50% 40 (12" below grade)
NOT SHOWN	PVC 50% 40 irrigation pipe. Only lateral irrigation pipe sizes 1" and above are included on the plan, with all others being 3/4"
NOT SHOWN	Irrigation Mainline (PVC Schedule 40 (18" below grade)
NOT SHOWN	All mainline is 1" unless unless otherwise specified
NOT SHOWN	Pipe Sleeve (PVC Schedule 40)
NOT SHOWN	Sleeve shall be 24" below finished surface. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeve material. Exposed sleeves 18 inches beyond edges of paving or construction. Sleeve shall be 2 times the pipe's diameter.
Valve Callout	Valve Number Valve Flow Valve Size







Niguel Shores Community Association  
33654 Niguel Shores Drive  
Dana Point, California 92629-4221  
(949) 493-0122 • Fax (949) 388-7892

September 10, 2015

Liebmann, Terry and Patricia  
7 Bridington  
Laguna Niguel, CA 92677

RE: Tract 7156 / Lot 013 – 33801 Cabrillo Isle  
SUB: CHANGE ORDER  
Original Approval Date: 03/16/2015  
Original Approval Details: 318 sq.ft. addition to living area  
590 sq.ft. addition to garage area  
88 sq.ft. covered gateway  
Hardscape  
Softscape  
Change Requested: Separate drive approaches combined into one  
Garage and guest suites swapped in location  
196 sq.ft. basement

An approval issued by the Architectural Committee does not relieve the applicant from the obligation to abide by all of the Association's recorded governing documents or adopted rules, architectural or otherwise, even if not directly or specifically noted as a condition of approval.

Dear Mr. and Mrs. Liebmann,

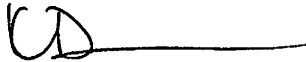
Your above-referenced change order was reviewed by the Niguel Shores' Architectural Committee on September 8, 2015, and has been approved. All conditions issued as part of the March 16, 2015 approval still apply, along with the following additional condition:

Supporting Document #5

- The finish floor elevation measurements throughout the plan set will reflect the measurements provided by the surveyor

If you have any questions regarding this letter, please contact the NSCA Management Office for assistance.

Sincerely,  
On Behalf of the Architectural Committee

A handwritten signature in black ink, appearing to be 'KD' followed by a horizontal line.

Karen Decker  
*Community Association Manager*

Enclosure: Conditional Approval Letter dated March 18, 2015