

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: OCTOBER 12, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP15-0007 TO ALLOW EXPANSION OF AN EXISTING, SINGLE-FAMILY DWELLING AND ATTACHED GARAGE ON A COASTAL BLUFF WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4) ZONING DISTRICT AT 37 MONARCH BAY DRIVE

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Coastal Development Permit CDP15-0007.

APPLICANT/OWNER: Bernie Walsh

OWNER'S AGENT: Stan Andrade (Andrade Architects)

REQUEST: Approval of a Coastal Development Permit to allow the addition of 1,664 square feet of floor area as well as a new, 904 square foot, three-vehicle garage, to an existing, 4,093 square foot single-family dwelling located on a coastal bluff within the City's Coastal Overlay District and the appeals jurisdiction of the California Coastal Commission.

LOCATION: 37 Monarch Bay Drive
Assessor Parcel Number (APN): 670-141-35

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on September 30, 2015, published within a newspaper of general circulation on October 1, 2015, and posted on October 2, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (Class 1 – Existing Facilities) in that the project proposes nominal additions to an existing single-family dwelling.

ITEM #4

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan, Local Coastal Program (LCP) and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The subject property measures 20,473 square feet (.47 acres) and is located within the Monarch Bay Homeowner's Association (HOA) on land containing a coastal bluff as defined in the Dana Point Zoning Code (DPZC). The lot is presently developed with a 4,093 square foot, single-story, single-family dwelling with attached 675 square foot, two-vehicle garage originally constructed in 1965. The property fronts Monarch Bay Drive to the north, is bordered to the east and west by other residential dwellings and with the aforementioned coastal bluff (and the Pacific Ocean beyond) to the south. The lot is zoned as Residential Single-Family 4 (RSF-4) and located both within the City's Coastal Overlay District (the California Coastal Zone) and the appeals jurisdiction of the California Coastal Commission.

Previous Approval

- In July 2015, the Planning Commission approved Coastal Development Permit CDP14-0019 and Minor Site Development Permit SDP14-0029(M) to allow the demolition of the property's existing dwelling and construction of a new single-family dwelling. The Applicant has elected to not build that project in favor of the current proposal and a condition of approval has accordingly been included in the attached, draft resolution that should this application be approved, CDP14-0019 will become null and void.

DISCUSSION: The subject project would add 1,664 square feet of floor area to the dwelling in the form of a new recording studio, bonus room, storage area, utility and bathrooms. The studio would be partially subterranean, with a finished floor approximately five feet lower than the rest of the dwelling. Remaining rooms, including bedrooms and the structure's existing kitchen, would be remodeled, with some walls removed and others reconfigured. The dwelling's present bedroom count of four would be unchanged and the structure would remain single-story. Finally, a new, 675 square foot garage is proposed with compliant parking for three vehicles.

The exterior of the dwelling would be updated, with a more modern façade comprised of stone veneer and stucco and a new, flat roof. Pursuant to Section 9.05.110, building height shall be measured from the lower of finished or natural grade at the bottom of a dwelling's pad. The addition of the aforementioned recording studio will create a new,

"lowest" grade elevation for the property and so increase the overall height of the structure to 16 feet. However, as the height "increase" would occur below grade, the visible height of the dwelling from the street or surrounding properties would be unchanged.

As stated, the property contains a coastal bluff as defined in the DPZC. Geotechnical documentation has been submitted that defines the edge of the coastal bluff and further, that a total development setback of 28 feet is appropriate and safe for the property. The existing dwelling is located well arrears of the setback line and no encroachment into the setback is proposed. The structure and all expansion in floor area comply with standards of the Dana Point Zoning Code as relates to development on a coastal bluff. Existing irrigation and non-native landscaping within the setback from edge of bluff are proposed to be removed and replaced with a drought tolerant and California native pallet. Finally, an existing pathway traversing the rear-yard would be maintained and repaired in place with new "floating" (no footings) teak wood planks and bordered by several non-irrigated planter boxes.

Coastal Development Permit CDP15-0007

The subject application proposes floor area additions as well as an increase in overall structure height exceeding 10 percent, both triggers requiring approval of a Coastal Development Permit for properties located within the City's Coastal Overlay District and appeals jurisdiction of the California Coastal Commission. Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that a project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*

5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

The subject project is found to comply with applicable standards of the Dana Point Zoning Code/Local Coastal Program and so recommended findings to approve the CDP request are included in the project's draft resolution (Attachment 1).

CORRESPONDENCE: To date, correspondence has been received only from the Monarch Bay Homeowner's Association, notifying of that entity's approval of the project as proposed.

CONCLUSION: As the project has been found to comply with applicable standards of development and findings can be made for approval of the (CDP) request, staff recommends the Planning Commission adopt the attached resolution, approving Coastal Development Permit CDP15-0007.


Evan Langan, AICP
Associate Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-10-12-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)
5. Approval Correspondence from Monarch Bay HOA

RESOLUTION NO. 15-10-12-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING COASTAL DEVELOPMENT PERMIT CDP15-0007 APPROVING EXPANSION OF AN EXISTING, SINGLE-FAMILY DWELLING AND ATTACHED GARAGE ON A COASTAL BLUFF WITHIN THE RESIDENTIAL SINGLE FAMILY-4 (RSF-4) ZONING DISTRICT AT 37 MONARCH BAY DRIVE

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Bernie Walsh (the “Applicant”) is the owner of real property commonly referred to as 37 Monarch Bay Drive (APN 670-141-35) (the “Property”); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit to allow additions to an existing single-family dwelling on a coastal bluff at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (“CEQA”), the project is Categorically Exempt Section 15301 (Class 1 – Existing Facilities) in that the project proposes nominal additions to an existing single-family dwelling, and;

WHEREAS, the Planning Commission did, on the 12th day of October, 2015 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP15-0007.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP15-0007 subject to conditions:

Findings:

Coastal Development Permit CDP15-0007

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the project is located between the nearest public roadway and the sea or shoreline, the property is an already developed lot zoned for residential use, located within a private, gated community that does not contain public access ways or areas of recreation.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project is qualified as Categorically Exempt from review under CEQA pursuant to Section 15301 (Class 1 – Existing Facilities) in that the project proposes nominal additions to an existing single-family dwelling.**
4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that while the subject project is identified in the Conservation/Open Space Element of the Dana Point General Plan as containing**

environmentally sensitive habitat area (a coastal bluff), all proposed development would occur on already developed portions of the lot containing no habitat area and would result in no adverse impacts to existing habitat, including the coastal bluff.

5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that all proposed development would occur on already developed portions of the property, resulting in no impacts to the property's remaining natural landforms. The project will be constructed in conformance with applicable, contemporary regulations for flood and fire, minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the project proposes additions to an existing single-family dwelling and will utilize materials and methods conforming to the development and design standards of the Dana Point Zoning Code and so resulting in development of the property in a manner that is complementary to surrounding development.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staffs as well as the Public Works/Engineering Department and found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.**

Conditions:

A. General:

1. Approval of this application permits the addition of 1,664 square feet of floor area as well as an attached, 904 square foot, three-vehicle garage to an existing single-family dwelling on a coastal bluff at 37 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point Specific Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. Prior Authorizations Are Voided:

By approval of this permit, all rights and/or entitlements that may exist relative to the City's approval of Coastal Development Permit CDP14-0019 and Site Development Permit SDP14-0029(M) and Resolution No. 15-07-13-17 are hereby extinguished and are null and void, effective immediately.

4. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
5. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.

6. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
7. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
8. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
9. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
10. The project shall meet all water quality requirements of the City of Dana Point Municipal Ms4 Permit as required by the State Water Resources Control Board. This compliance shall include incorporation of low impact design (LID) features to the greatest extent practicable.
11. A grading permit shall be obtained from the Public Works/Engineering Department prior to commencement of any construction or demolition activities.

12. The Applicant shall limit all construction activities within the area of the setback from edge of coastal bluff. The coastal bluff in its entirety shall be protected at all times from potential erosion as relates to construction activities.
13. The Applicant shall exercise special care during the construction phase of the project. The Applicant shall provide erosion and sediment control measures. The erosion control measures shall be constructed and in place prior to commencement of grading operations. The Applicant shall maintain erosion and sediment control devices until final project approvals are granted.
14. The Applicant shall illustrate the line of the property's approved 28 foot total setback from edge of bluff on all plans submitted to the City for review.
15. Per Dana Point Zoning Code Section 9.27.030, no new structure foundations shall be permitted within the 28 foot total setback from edge of coastal bluff.
16. Any proposed changes to landscaping within the area of the property's approved setback from edge of coastal bluff, either under this or a future discretionary request, shall be subject to review and approval by the Planning Division.
17. All documents prepared by a professional shall be wet-stamped and signed.
18. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions to the satisfaction of the City Engineer.

B. Prior to Issuance of a Grading Permit

19. The Applicant shall submit a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The Applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.

20. The Applicant shall submit for review and approval by the Public Works/Engineering Department, a geotechnical report in compliance with all City of Dana Point standards
21. The Applicant shall complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.

C. Prior to Building Plan Check Submittal:

22. Building plan check submittal shall include four sets of the following construction documents:
 - *Building Plans*
 - *Energy calculations*
 - *Structural Calculations*
 - *Soils/Geology Report*
 - *Drainage Plan*
23. The Applicant shall complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
24. The Applicant's Civil Engineer shall complete the City's Certification Form for Rough Grading (document) for review and approval by the City Engineer. The rough certification document shall approve grading as completed in conformance with the approved Grading Plan, certify that the elevation of the graded pad is in compliance with the vertical (grade) position and, to the satisfaction of the City Engineer and the Director of Community Development, document all pad grades to the nearest 0.1-feet.
25. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report shall include the results of all field density testing, depth of reprocessing and re-compaction, as well as a map depicting the limits of grading, locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, have been completed in conformance with the recommendations of the preliminary geotechnical report.

26. The Applicant shall submit for review and approval by the Planning and (if applicable) Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code, preliminary plans approved by the Planning Commission, as well as the following:

All landscaping proposed within the rear half of the property shall comply with the following:

- *All plantings proposed within the 28 foot setback from edge of bluff shall be of a variety that is both CA native and drought tolerant.*
- *No more than 50 percent of the area of the setback from the property's edge of bluff shall be comprised of hardscape.*
- *No new irrigation is permitted within the area of the setback from edge of bluff.*

D. Following Issuance of a Building Permit:

27. Prior to commencement of framing, the Applicant shall submit a foundation certification - by survey - that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP15-0007. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance, prepared by a licensed civil engineer/surveyor, and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
28. The Applicant's Geotechnical Engineer of Record shall provide to both the Public Works/Engineering Department and the Planning Division, written certification that final grading was completed in conformance with the approved grading plan.
29. The Applicant's Civil Engineer of Record shall provide to the Public Works/Engineering Department and the Planning Division, written certification that final grading, all engineered drainage devices and retaining walls were completed in conformance with the approved grading plan.
30. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record and provided to the Public Works/Engineering Department for review and approval.

E. Prior to issuance of a Certificate of Occupancy

31. All permanent Best Management Practices (BMP's) shall be installed and in-place and approved by either the project Landscape Architect or the Civil Engineer of Record.
32. The Applicant shall execute the City's standard deed restriction and submit to the Planning Division for review, approval. The deed restriction shall stipulate the following:
 - *That the Applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards;*
 - *That the Applicant unconditionally waives any claim of liability on the part of the City or any other public agency from any damage from such hazards;*
 - *That the Applicant assumes all liability for damages incurred as a result of any required off-site grading.*
33. The Applicant shall submit to the Project Planner, a wet-stamped and signed certification from a licensed landscape architect stipulating that all landscaping was installed in conformance with the project's Final Landscaping Plan. This certification shall be submitted and approved prior to final inspection of the project by the Project Planner.
34. The Applicant shall schedule a final site inspection from the Community Development Department that shall include a review of the completed project and its compliance with approved plans - including landscaping, finished architecture and materials and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 12th day of October, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point

Coastal Development Permit CDP15-0007

Evan Langan, AICP, Associate Planner

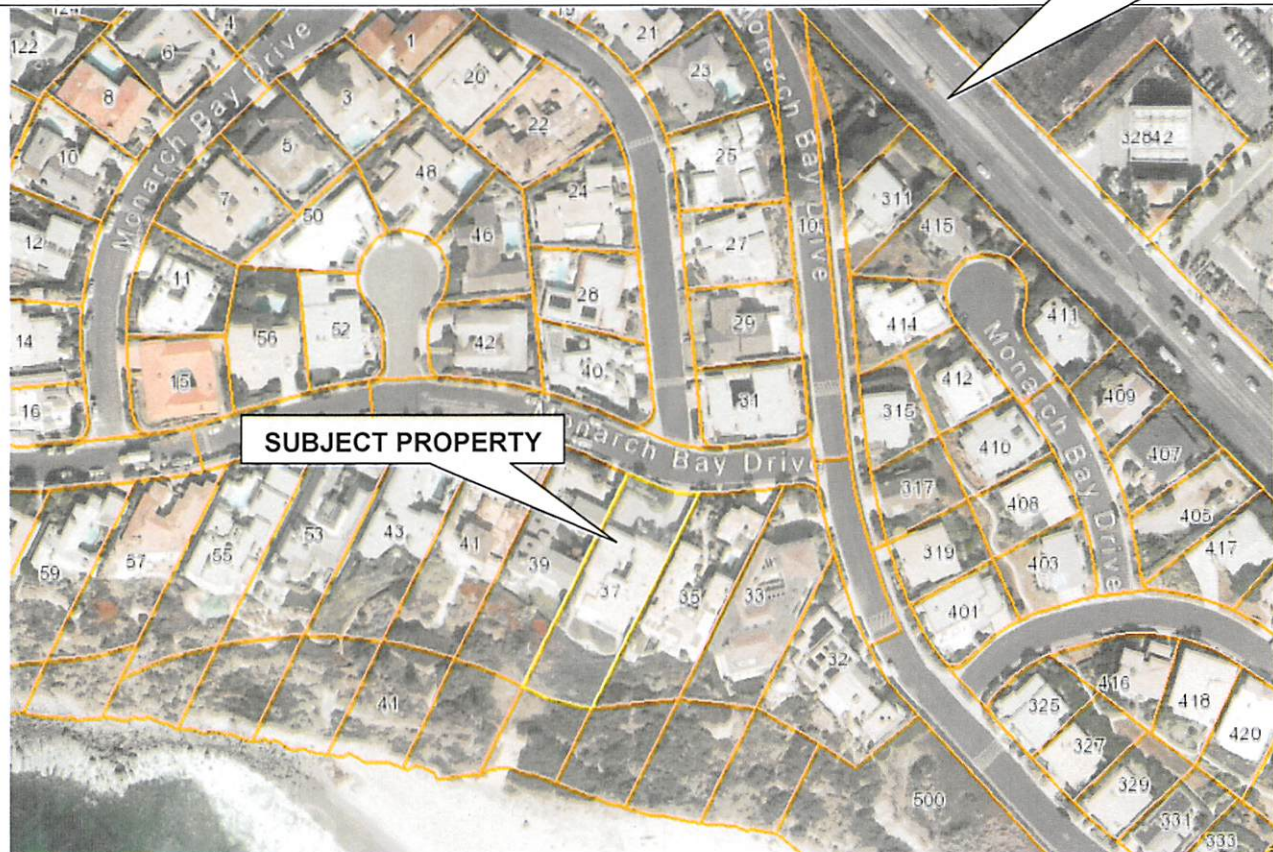
Community Development Department

33282 Golden Lantern

Dana Point, CA 92629-1805

VICINITY MAP

PACIFIC COAST HIGHWAY





Supporting Document #3

JOB # 1352
DATE 09-08-15

PH-1

FRONT ELEVATION OF PROJECT SITE

WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA 92629

LEGAL DESCRIPTION: APN 670-141-35



ANDRADE ARCHITECTS, INC.

2880 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.715.7474
FAX: 949.715.7475
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JOB # 1352
DATE 09-08-15

PH-2

REAR ELEVATION OF PROJECT SITE

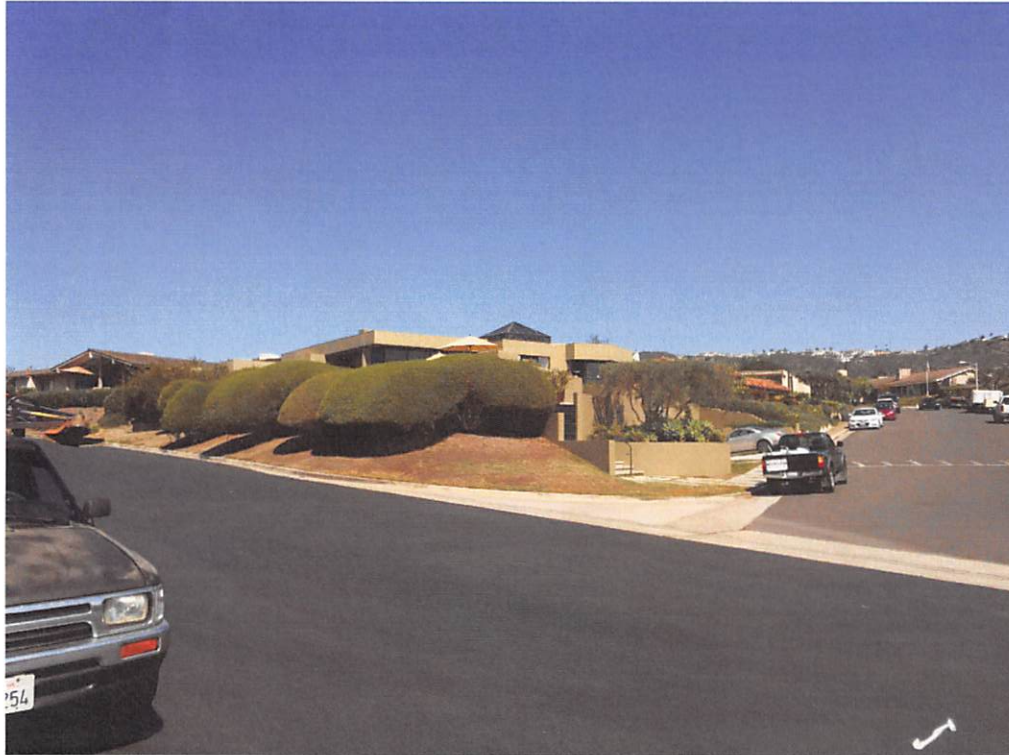
WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA 92629
LEGAL DESCRIPTION: APN 670-141-35



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LEFT



RIGHT

JOB # 1352
DATE 09-08-15

PH-3

FRONT ELEVATION OF PROPERTIES
DIRECTLY ACROSS THE STREET FROM THE
SUBJECT PROPERTY

WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA 92629
LEGAL DESCRIPTION: APN 670-141-35



ANDRADE ARCHITECTS, INC.

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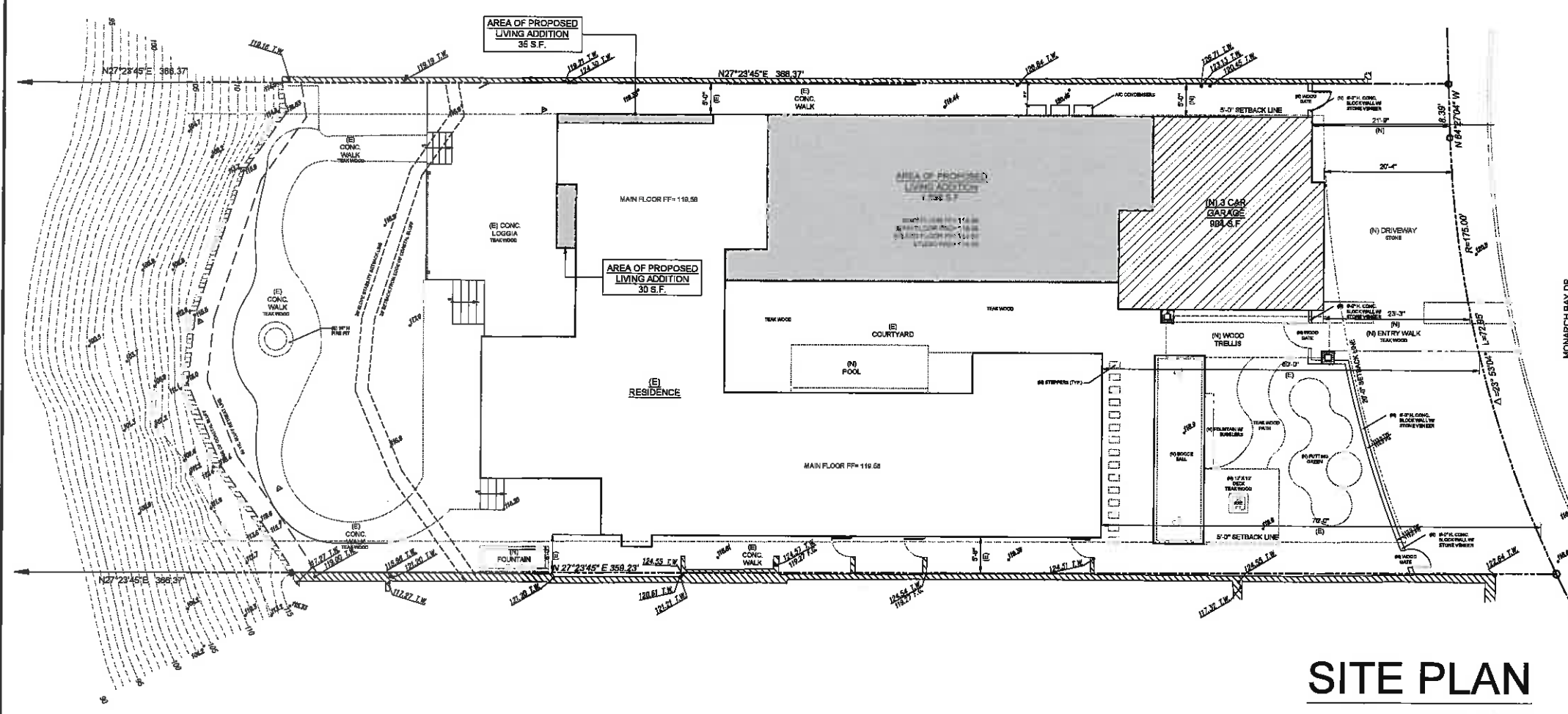
SEP 11 2015

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

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SEP 11 2015

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



SITE PLAN

SCALE: 1/8"=1'-0"

PROJECT DESCRIPTION

REMODEL AND ROOM ADDITION OF AN EXISTING SINGLE FAMILY RESIDENCE INCLUDING NEW UTILITY ROOM, NEW BOWLING, NEW STUDIO, AND NEW 3 CAR GARAGE. LANDSCAPE IMPROVEMENTS INCLUDING NEW POOL, NEW FOUNTAIN, NEW BOCCIE COURT, NEW FIRE PIT.

PROJECT DATA

APN: 073-141-35
LOT: 12
TRACT: 3838
ZONE: RSF-4
OCCUPANCY: R-SU
CONSTRUCTION TYPE: VS NON-SPRINKLED

SQUARE FOOTAGES

	EXISTING	PROPOSED	TOTAL
LIVING:	2,083 S.F.	1,128 S.F.	3,211 S.F.
GARAGE:	875 S.F.	875 S.F.	1,750 S.F.
LOT AREA:			20,800 S.F.
BUILDING AREA:	4,758 S.F.	1,387 S.F.	6,145 S.F.
LOT COVERAGE:	23%	29%	

AREA CALCULATION

AREA	AREA	AREA
EXISTING AREA	15,043 S.F.	
PROPOSED AREA	1,128 S.F.	
TOTAL AREA	16,171 S.F.	
LANDSCAPE AREA	1,128 S.F.	
LANDSCAPE AREA	1,128 S.F.	
LANDSCAPE AREA	1,128 S.F.	

PROJECT DIRECTORY

PROPERTY OWNER:
BERNARD WALSH
WALSH INVESTMENTS URBAL LLC
37 MONARCH BAY DR.
DANA POINT, CA 92629
P: (949) 726-5076

ARCHITECT:
ANDRADE ARCHITECTS, INC.
2540 SOUTH COAST HIGHWAY
LAGUNA BEACH, CA 92651
P: (949) 716-7474
F: (949) 716-7475
PLANS SIGNED BY:
STANLEY ANDRADE

CIVIL ENGINEERS:
ROBIN S. HARRIS & ASSOC., INC.
204 E. 17TH ST. SUITE 205
COSTA MESA, CA 92627
P: (949) 546-1182

SOILS ENGINEERS:
CARL SCHREINER
SOUTH COAST GEOTECHNICAL
SERVICES
2400 SAN JUAN AVE SUITE 100
DANA POINT, CA 92629
P: (949) 374-4100

VICINITY MAP



SHEET INDEX

ARCHITECTURAL	PROJECT DATA
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A.100	DEMOLITION PLAN
A.101	1ST FLOOR PLAN
A.102	2ND FLOOR PLAN
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.203	EXTERIOR ELEVATIONS
A.204	EXTERIOR ELEVATIONS
A.205	EXTERIOR ELEVATIONS
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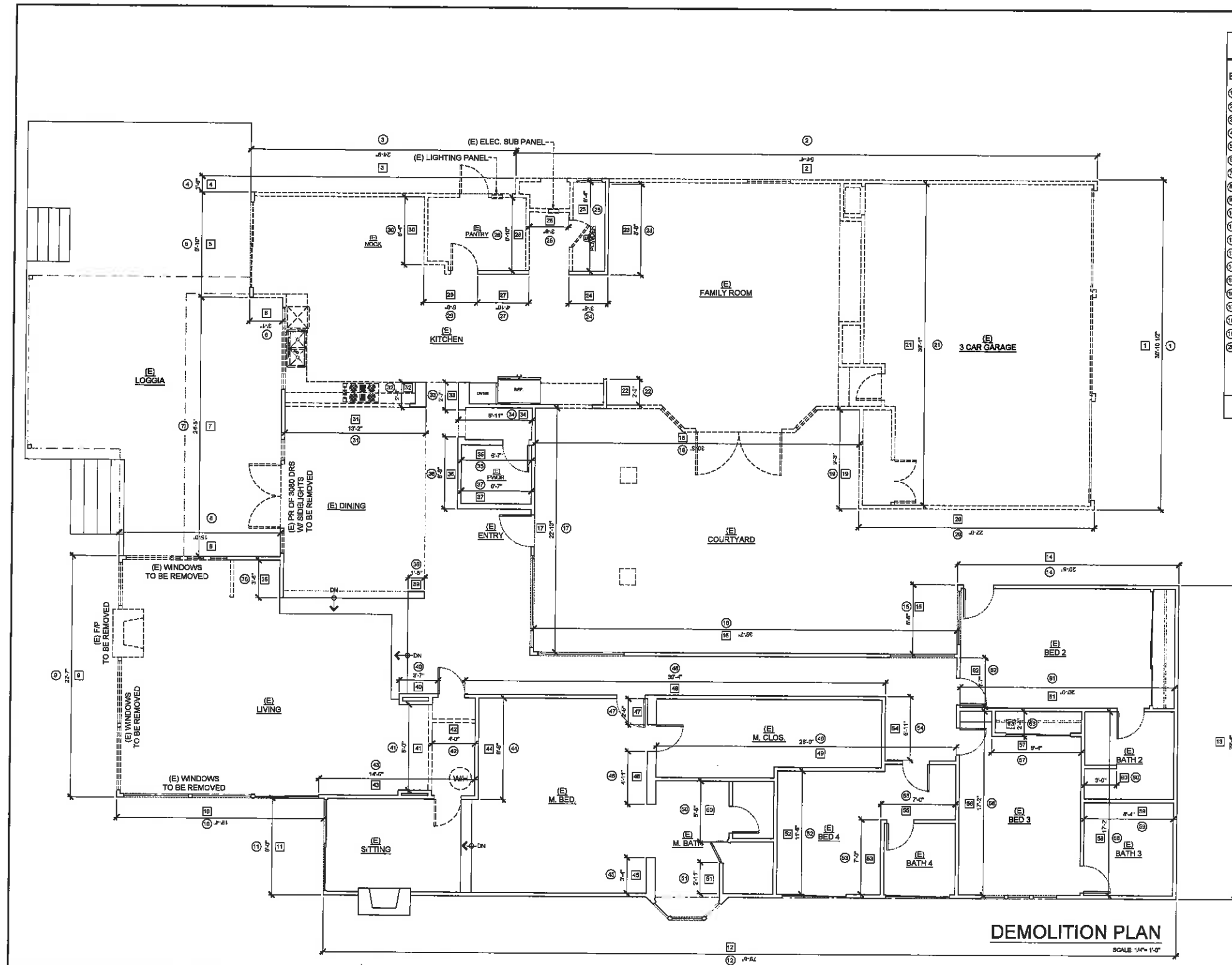
ANDRADE ARCHITECTS, INC.
2540 SOUTH COAST HIGHWAY
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WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA 92629

PROJECT DATA
SITE PLAN

REVISIONS

DRAWN BY: KA
CHECKED BY: KA
DATE: 09/04/15
JOB #: 1505
SHEET: A.001



EXTERIOR WALL DEMOLITION CALCULATION	
EXISTING WALLS	DEMO WALLS
1 30'-10 1/2"	1 30'-10 1/2"
2 5'-4"	2 5'-4"
3 2'-0"	3 2'-0"
4 1'-8"	4 1'-8"
5 9'-10"	5 9'-10"
6 5'-1"	6 5'-1"
7 2'-0"	7 2'-0"
8 15'-0"	8 15'-0"
9 22'-7"	9 22'-7"
10 10'-4"	10 10'-4"
11 9'-0"	11 9'-0"
12 7'-6"	12 7'-6"
13 22'-4"	13 22'-4"
14 22'-8"	14 22'-8"
15 6'-0"	15 6'-0"
16 30'-7"	16 30'-7"
17 22'-10"	17 22'-10"
18 30'-3"	18 30'-3"
19 9'-0"	19 9'-0"
20 22'-0"	20 22'-0"
TOTAL 425.7' FT OF EXTERIOR WALL = 100%	
TOTAL PROPOSED EXTERIOR DEMOLITION WALL = 167.3' FT	
167.3' / 425.7' = 39% PROPOSED EXTERIOR DEMOLITION WALL	

INTERIOR WALL DEMOLITION CALCULATION	
EXISTING WALLS	DEMO WALLS
21 30'-1"	21 30'-1"
22 2'-0"	22 2'-0"
23 8'-0"	23 8'-0"
24 3'-8"	24 3'-8"
25 8'-4"	25 8'-4"
26 3'-4"	26 3'-4"
27 4'-10"	27 4'-10"
28 6'-10"	28 6'-10"
29 6'-0"	29 6'-0"
30 6'-4"	30 6'-4"
31 13'-2"	31 13'-2"
32 2'-4"	32 2'-4"
33 2'-7"	33 2'-7"
34 6'-11"	34 6'-11"
35 6'-7"	35 6'-7"
36 3'-8"	36 3'-8"
37 1'-0"	37 1'-0"
38 5'-7"	38 5'-7"
39 6'-0"	39 6'-0"
40 4'-0"	40 4'-0"
41 14'-0"	41 14'-0"
42 9'-8"	42 9'-8"
43 3'-4"	43 3'-4"
44 4'-11"	44 4'-11"
45 2'-0"	45 2'-0"
46 38'-4"	46 38'-4"
47 28'-0"	47 28'-0"
48 6'-0"	48 6'-0"
49 2'-11"	49 2'-11"
50 11'-0"	50 11'-0"
51 7'-0"	51 7'-0"
52 5'-11"	52 5'-11"
53 7'-0"	53 7'-0"
54 17'-2"	54 17'-2"
55 17'-2"	55 17'-2"
56 6'-4"	56 6'-4"
57 3'-0"	57 3'-0"
58 20'-0"	58 20'-0"
59 41'-7"	59 41'-7"
60 2'-4"	60 2'-4"
TOTAL 367.3' FT OF EXTERIOR WALL = 100%	
TOTAL PROPOSED EXTERIOR DEMOLITION WALL = 86.5' FT	
86.5' / 367.3' = 23.5% PROPOSED EXTERIOR DEMOLITION WALL	

WALL LEGEND

— EXISTING WALL TO REMAIN

- - - EXISTING WALL TO BE DEMOLISHED

300 SOUTH COAST HIGHWAY
LARKSPUR, CA 94027
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ANDRADE ARCHITECTS, INC.

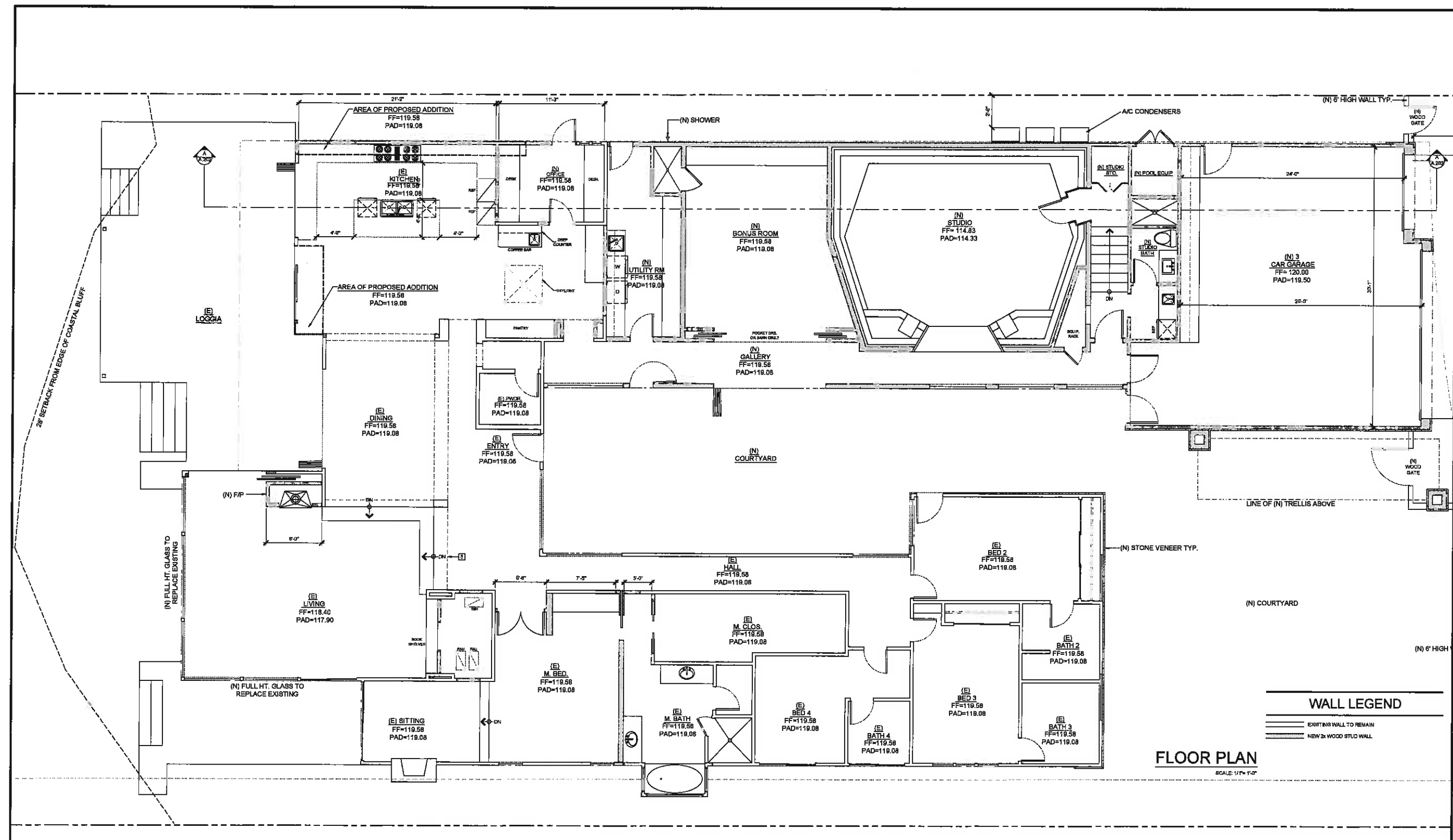
WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA. 92629


DEMOLITION PLANS

REVISIONS

DRAWN BY: KA
CHECKED BY: SA
DATE: 10/15/10
JOB #: 1000000000
SHEET: 1 OF 1

A.100



 2800 SOUTH COUNTY HIGHWAY
LAGUNA BEACH, CA 92651
PHONE 949.753.7474
FAX 949.753.7476
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ANDRADE ARCHITECTS, INC.

ANDRADE ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY FIRM. WE EMPLOY A DIVERSE GROUP OF ARCHITECTS AND DESIGNERS. WE ARE CURRENTLY ACCEPTING QUALIFIED ARCHITECTS AND DESIGNERS FOR ALL TYPES OF PROJECTS. WE OFFER A COMPETITIVE SALARY AND BENEFIT PACKAGE. IF YOU ARE INTERESTED IN JOINING OUR TEAM, PLEASE SEND US YOUR RESUME AND PORTFOLIO TO: ANDRADE ARCHITECTS, INC., 2800 SOUTH COUNTY HIGHWAY, LAGUNA BEACH, CA 92651. WE WILL REVIEW YOUR APPLICATION AND CONTACT YOU IF WE ARE INTERESTED. NO PHONE CALLS, PLEASE.

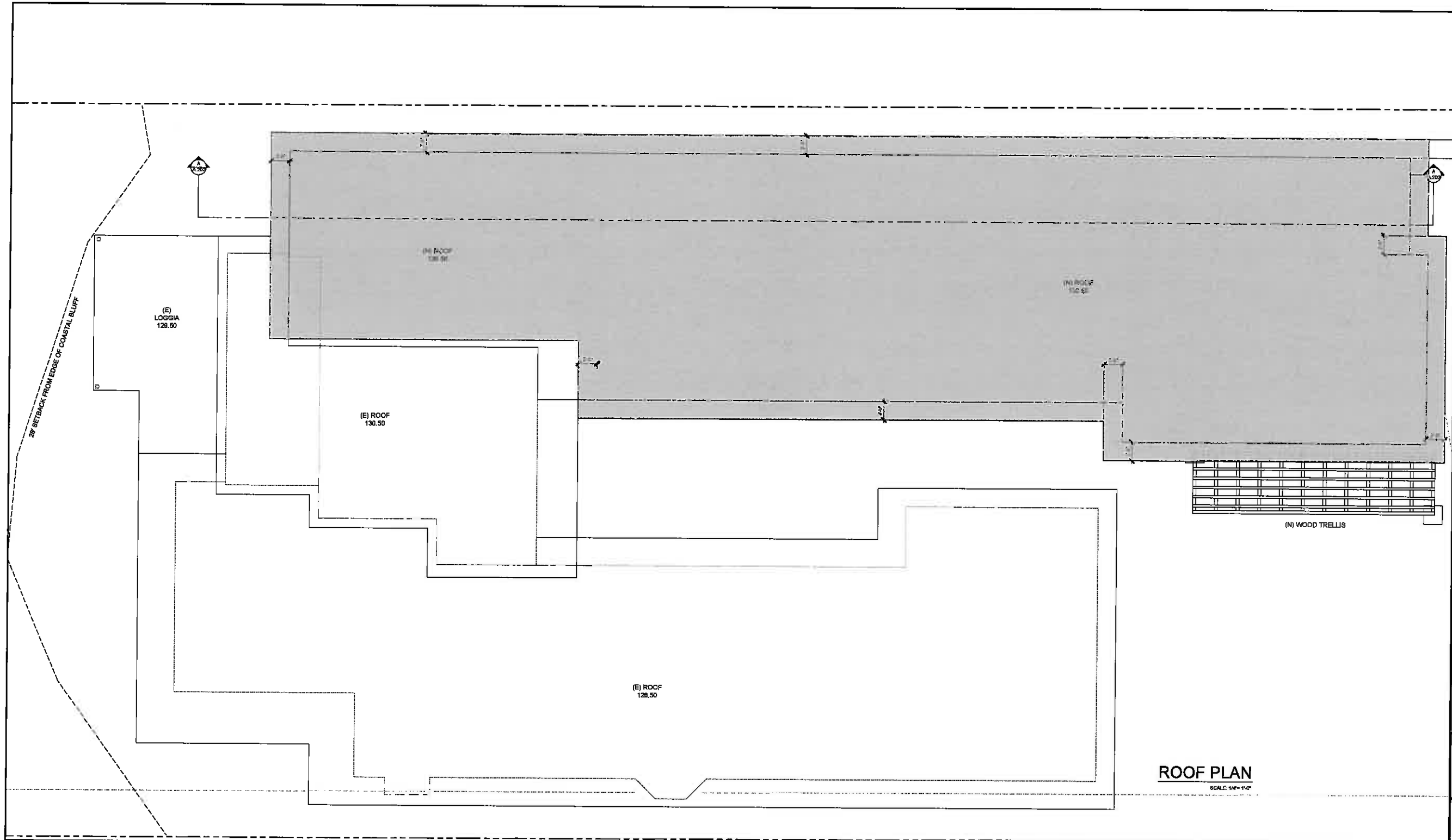
WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA. 92629

FLOOR PLAN

REVISIONS

AWN BY: KA
ECKED BY: SA
TE: 08/04/15
EET: 1352

A.101



ANDRADE ARCHITECTS, INC.
200 SOUTH COAST HIGHWAY
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ANDRADE ARCHITECTS, INC.

WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA. 92629

ROOF PLAN

REVISIONS

DRAWN BY: KA
CHECKED BY: KA
DATE: 08/01/12
SHEET: 102

A.102

(N) COASTAL BLUFF CALIFORNIA NATIVE PLANT PALETTE

PLAN SYMBOL:	BOTANICAL NAME:	COMMON NAME:	GROWTH HABIT:
SHRUBS:			
(S)	BACCHARIS PILULARIS	DWARF COYOTE BUSH (PILON POINT)	2'H
(C)	CAEMISSONIA CHERANTHIFOLIA	BEACH PRIMROSE	6"-1'H
(DU)	DUDLEYA VIRENS	BRIGHT GREEN DUDLEYA	12'H
(G)	EROPHYLLUM CONFERTIFOLIUM	GOLDEN YARROW	6"-1'H
(F)	FESTUCA CALIFORNICA	CALIFORNIA FESCUE (HORSE MOUNTAIN GRASS)	2'H
(P)	FESTUCA CALIFORNICA	CALIFORNIA FESCUE (SERPENTINE BLUEZ)	2'H
(H)	HESTERALOE	RED YUCCA	18'H
(N)	HEUCHERA MAXIMA	ISLAND ALUM ROOT	18'H
(L)	LEUCOMELANDIA	GRANT RYE	4'H
(M)	MELICA CALIFORNICA	CALIFORNIA MELIC	2'H
(M)	MIMULUS PUNICUS	RED MONKEY FLOWER	2'H
(CP)	PELLAEA ANDROMEDIFOLIA	COFFEE FERN	1'H
(P)	PERNETIUM BISTACELM	FOUNTAIN	2'H
(M)	PRIMULA HETEROPHYLLUS	MARGARITA BOP	2'H
(R)	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	4'H

GROUND COVER:			
(C)	CAREX PANVA	CALIFORNIA MEADOW RIDGE	8-12"H
(C)	CELANOTHUS GIBBOSUS HORIZONTALIS	CALIFORNIA WILD LILAC (YAMBER POINT)	2'H
(E)	ERIGERON GLAUCUS	SEASIDE DAISSIES	8"H

(N) FRONT YARD PLANT PALETTE

PLAN SYMBOL:	BOTANICAL NAME:	COMMON NAME:	GROWTH HABIT:
TREES:			
(A)	AGAVE FLEXUOSA	'JEDDA'S DREAM' DAWAR	8'H, 8'W
(B)	BAUBERIA GALPNI	RED ORCHID TREE	10'H, 8'W
(L)	LAGERSTROMIA HYBRID	GRAPE MYRTLE (DWARF)	8'H, 10'W
(P)	PITTOSPORUM TENUIFOLIUM	KORLAU 'MARJORIE CHANDY'	8'H, 8'W
(P)	PUNICA GRANATUM (MINIATURE)	POMEGRANATE 'WONDERFUL'	8'H, 4'W
(V)	VITEX TRIFOLIA PURPUREA	ARABIAN LILAC	10-15'H, 8'W
SHRUBS:			
(A)	AGASTACHE AURANTIACA 'ORANGE'	ORANGE HUMMINGBIRD MINT	18"H X 2'W
(A)	AGAVE ATTENUATE	FOXTAIL AGAVE (VARIETAL)	4'H
(A)	AELONIUM ARBOREUM DECORUM	SUNBURST & SCHNAPPSKOPF	18"H
(A)	ANEOZANTHOS	KANGAROO PAW (RED)	8'H X 2'W
(A)	ARTIC-HORE	ARTIC-HORE	4'H X 8-8'W
(D)	DANIELLA TAIWANICA	WHITE STRIPED TASMAN VARIETAL	1'H X 8'W
(D)	EDMUNDSONIA HYEMALIS	HONSETAL BAMBOO	2'H
(D)	FAUCONIA ATYCA 'JULIANGOL'	RED CLIMBING BAMBOO	8-8'H
(D)	FUSCHIA BOLIVIANA	RED BOLIVIAN FUSCHIA	12'H X 8'W
(D)	HEUCHERISUM PETIOLARE	LICORICE PLANT (VARIETAL)	3'H
(D)	HEUCHERISUM ITALICUM	CURRY PLANT	2'H X 2'W
(D)	HEIBOLUS SYRACUS 'BLUE SHARDON'	NOTWOOD THREE ROSE OF SHARDON	8'H X 8'W
(D)	HOSTA	BLUE ANGEL & EARTH ANGEL	2'H X 8'W
(D)	MANOIA DOMESTICA	'EMERALD SEA'	4-5'H, 3'W
(D)	PHLOMUM	'EMERALD SEA'	4-5'H
(D)	PHLOMUM TENAX NEW ZEALAND PLANT	ATRO-PURPUREUM	8-8'H
(D)	PHLOMUM TENAX NEW ZEALAND PLANT	JACK SPARLT	18"H, 8'W
(D)	PHLOMUM TENAX NEW ZEALAND PLANT	YELLOW WAVE	4-5'H
(D)	PHYLLIS ALASKENSIS	CHINESE LANTERN PLANT	2-3'H, 8'W
(D)	SANSEVERIA TREFASCATA	SILVER SHARK MOONSHINE	1-2'H
MISCELLANEOUS:			
(V)	VEGETABLES/HERBS		
(P)	POTS/URNS	CORDYLINE 'CABINET' W/ SUCULENTS	

GRASSES:			
(A)	ARISTIDA PURPURA	PURPLETHREAWN	1'H, 8'W
(A)	ARISTIDATHERMUM BLATIS	BULBULOUS OAT GRASS	12-18"H
(A)	BELODRIUM VARIETAL	JAPANESE BEDGE 'MUREAU'	1'H, 8'W
(A)	CYMBOPOGON CITRATUS	LIMON GRASS	2'H
(A)	HAKONECHLOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	18"H, 8'W
(A)	IMPERATA	JAPANESE BLOOD GRASS	18"H, 8'W
(A)	LEPISUS CONDESKATUS	GIANT RYE GRASS 'CANYON PRINCE'	4'H, 3'W
(A)	OPHOPOGON JAPONICUS	MONDO GRASS	12-18"H, 8'W
(A)	MULLEBERGIA RIGENS	DEER GRASS	3'H, 3'W
(A)	STIPA ARUNDINACEA	PHEASANT TAILS	5'H X 2'W

VINES:			
(B)	BOUSAINVILLEA TROPICANA	MR. ALICE BOUSAINVILLEA	
(B)	CLIGURITA PEPO OYSTERA	GOLDEN FELD PUMPKIN (BICOLOR)	
(B)	MAGNOLIA 'CUMBER' (ESP.)	MAGNOLIA DWARF LITTLE GEM	
(B)	PASSIFLORA CARRULEA	BLUE PASSION VINE	
(B)	VITIS VINIFERA 'BLACK MONK'	EUROPEAN GRAPE VINE	

GROUND COVER:			
(A)	ARCTOTICA CALENDULA	CAPE WEED	6-12"H
(A)	ARTEMISA VERICOLOR	SEADAM	6-12"H
(A)	DIABLO TUMBLUR	FISHBONE FLORA	8"H
(A)	DYMONDIA MARGARETE	DYMONDIA	3'H

AREA CALCULATION

TOTAL LOT AREA: 20,500 SF

TOTAL BUILDABLE AREA: 15,842 SF (77%)

• BUILDING AREA: 9,903 SF (48%)

• LANDSCAPE AREA: 5,739 SF (28%)

TOTAL LANDSCAPE AREA PROPOSED FOR THE WHOLE PROPERTY: 8,739 SF

• HARDSCAPE: 4,168 SF (48%)

• LANDSCAPE AREA: 4,571 SF (52%)

REAR YARD LANDSCAPING AREA CALCULATIONS

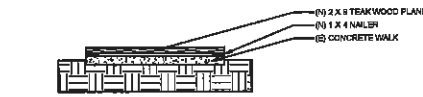
AREA OF APPROVED REAR YARD SETBACK FROM EDGE OF COASTAL BLUFF: 2185 SF

• LANDSCAPING AREA: 1,428 SF (65%)

• 528 SF CALIFORNIA NATIVE PLANT MATERIAL (CENTER PLANTER AREA) (SEE COASTAL BLUFF CALIFORNIA NATIVE PLANT PALETTE)

• 800 SF CALIFORNIA NATIVE PLANT MATERIAL (PERIMETER PLANTER AREA) (SEE COASTAL BLUFF CALIFORNIA NATIVE PLANT PALETTE)

• HARDSCAPE AREA: 760 SF (35%)

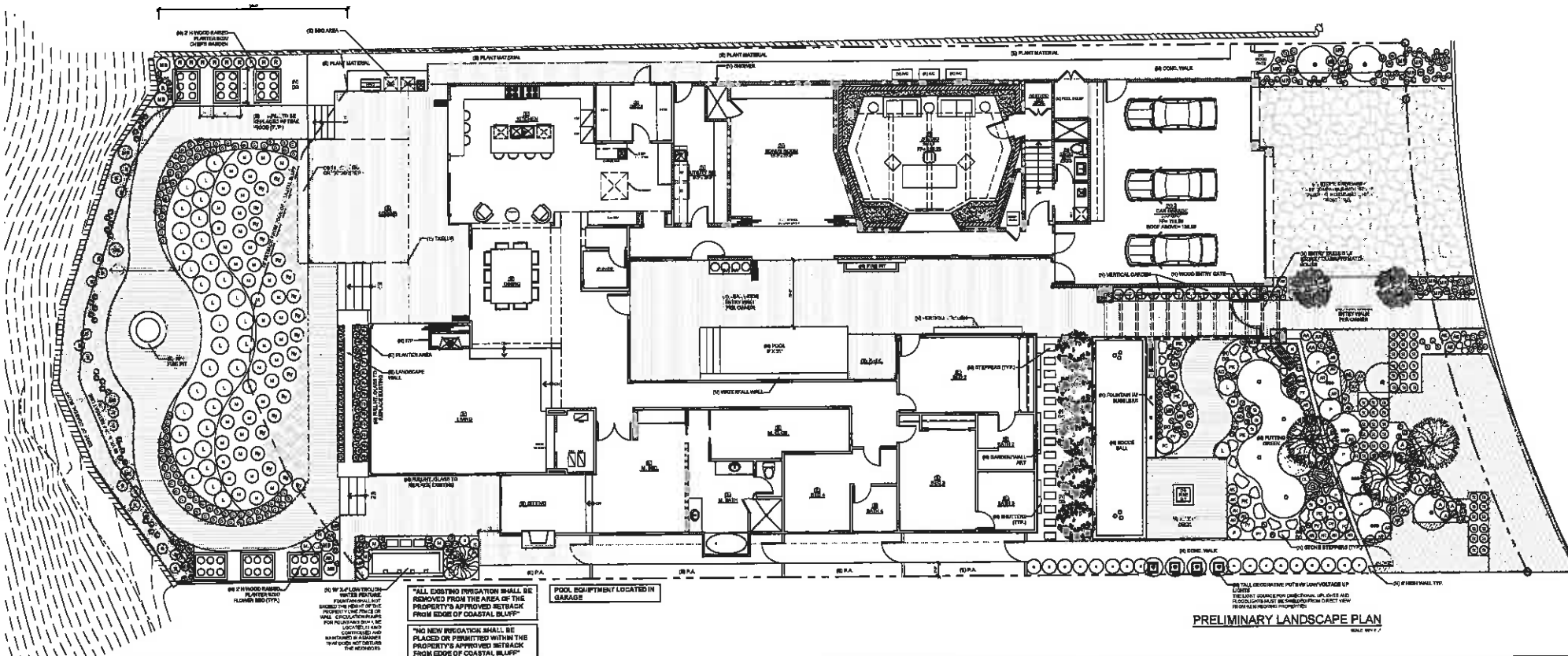


PROPOSED WOOD WALK

SECTION

SCALE: 1/2" = 1'-0"

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PRELIMINARY LANDSCAPE PLAN

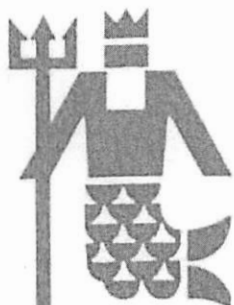
WALSH RESIDENCE
37 MONARCH BAY DRIVE
DANA POINT, CA. 92629

PRELIMINARY LANDSCAPE PLAN

REVISIONS

DRAWN BY: DM
CHECKED BY: KA
DATE: 06/04/16
SHEET: 101

L.101



Monarch Bay Association

April 28, 2015

Walbern Investments USA, LLC
c/o Bernie Walsh
29222 Rancho Viejo Road, Suite 207
San Juan Capistrano, CA 92675

via e-mail

RE: 37 MONARCH BAY DRIVE
REMODEL PLANS- BY ANDRADE ARCHITECTS 4/21/15

Dear Mr. Walsh,

Thank you for attending the Monarch Bay Association Architectural Control Committee meeting yesterday with your Architect Stan Andrade to review your home remodel plans dated April 21, 2015. As you know, the Committee reviewed and approved these design plans as submitted, noting that the materials board is still needed and the landscape plans will be reviewed as submitted at the May ACC meeting. Two sets of stamped/approved remodel plans were given to Stan Andrade following the meeting.

We thank you for your on-going cooperation. We wish you luck with your project and look forward to receiving these additional details.

Respectfully,

THE MONARCH BAY ASSOCIATION
ARCHITECTURAL CONTROL COMMITTEE

CC: Board
Architectural Control Committee
MB/037/arch/remodel approval/04.28.15

Supporting Document #5