CITY OF DANA POINT PLANNING COMMISSION AGENDA REPORT

DATE:

SEPTEMBER 28, 2015

TO:

DANA POINT PLANNING COMMISSION

FROM:

COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: SITE DEVELOPMENT PERMIT SDP15-0027 TO ALLOW THE CONSTRUCTION OF A NEW, DETACHED DWELLING UNIT IN CONJUNCTION WITH ADDITIONS TO AN EXISTING SINGLE-FAMILY DWELLING IN THE RESIDENTIAL DUPLEX (RD-14) ZONING

DISTRICT AT 27071 CAMINO DE ESTRELLA

RECOMMENDATION:

That the Planning Commission adopt the attached Draft

Resolution approving Site Development Permit SDP15-0027.

APPLICANT/OWNER:

David Kennedy

REQUEST:

Approval of a Site Development Permit to allow the construction of a new, 1,261 square foot detached dwelling unit with attached 666 square foot three-vehicle garage, in conjunction with the addition of 116 square feet to an existing

single-family dwelling.

LOCATION:

27071 Camino de Estrella

Assessor Parcel Number (APN): 123-340-34

NOTICE:

Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on September 16, 2015, published within a newspaper of general circulation on September 17, 2015, and posted on September 18, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the

Dana Point Library.

ENVIRONMENTAL:

Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling.

Item #3

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC for approval of a Site Development Permit (SDP).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The subject property measures 6,500 square feet (.15 acres) and is presently developed with a single family dwelling comprising 814 square feet (originally constructed in 1946), a detached, two-vehicle garage and a small shed at the rear of the property. The remainder of the lot is covered by a mixture of landscaping, a lengthy driveway leading to the aforementioned garage as well as turnaround space located immediately behind the dwelling.

Pursuant to adopted City maps, the subject property is zoned as "Residential Duplex 14" (RD-14) and is not located within the City's Coastal Overlay District (the California Coastal Zone) or a homeowner's association (HOA).

The proposed scope of work would demolish the existing shed and two-vehicle garage, remodel the property's existing single-family dwelling and construct a new, detached residential unit at the rear of the property. Pursuant to Section 9.71.020 of the DPZC, construction of a new duplex (whether the units are attached or detached) shall require approval of a Site Development Permit (SDP).

DISCUSSION:

As stated, the subject project proposes the construction of a new residential dwelling unit. The structure would comprise two stories, two bedrooms and 1,261 square feet of habitable floor area with an attached, 666 square foot three-vehicle garage. Two of the garage's three stalls would service the new unit; the third stall would provide parking for the property's existing dwelling. As this arrangement is somewhat unusual, a condition of approval (No. 21 in the attached draft resolution) has been included requiring clear visual assignment of parking spaces to the respective dwelling unit they serve. The new duplex structure would stand 25 feet eight inches tall with a sloped roof pitched at 3.25:12, well under the maximum, potential height of 28 feet permitted in the property's RD-14 Zoning District.

The property's existing dwelling would be remodeled and expanded by 116 square feet to include a new laundry room and bathroom, as well as new single-vehicle garage. The remainder of the interior would be reconfigured, resulting in a larger living-room and kitchen. The dwelling would remain single-story and contain two bedrooms. Overall

structure height would remain unchanged at 12 feet tall. Finally, new landscaping would be added throughout the property and the aforementioned shed at the rear of the property would be removed. All proposed development is allowed in the property's RD-14 Zoning District and complies with standards of the DPZC.

Site Development Permit SDP15-0027

The subject application proposes the construction of a new, detached dwelling unit (an addition to the property's existing single-family dwelling) and so pursuant to Section 9.71.020 of the DPZC, shall require approval of a Site Development Permit. Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a SDP, requiring:

- 1. Compliance of the site design with development standards of this Code.
- 2. Suitability of the site for the proposed use and development.
- 3. Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.
- 4. Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.

Staff's recommended findings to approve the SDP request are enumerated in the attached draft resolution.

<u>CORRESPONDENCE</u>: To date, one item of correspondence has been received from the public (Attachment 5 - Public Correspondence).

<u>CONCLUSION</u>: Staff finds that the subject project is consistent with the policies and provisions of the Dana Point General Plan and Zoning Code. As the project has been found to comply with all standards of development and findings can be made for approval of the request, staff recommends the Planning Commission adopt the attached resolution, approving Site Development Permit SDP15-0027.

Evan Langan, AICP

Associate Planner

Ursula Luna-Reynosa, Director Community Development Department

Planning Commission Agenda Report SDP15-0027 September 28, 2015 Page 4

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-09-28-xx

Supporting Documents

- 2. Vicinity Map
- 3. Site Photos
- 4. Project Plans (architectural only)
- 5. Public Correspondence

RESOLUTION NO. 15-09-28-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT SDP15-0027 TO ALLOW THE CONSTRUCTION OF A NEW, DETACHED DWELLING UNIT IN CONJUNCTION WITH ADDITIONS TO AN EXISTING SINGLE-FAMILY DWELLING IN THE RESIDENTIAL DUPLEX (RD-14) ZONING DISTRICT AT 27071 CAMINO DE ESTRELLA

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, David Kennedy (the "Applicant") is the owner of real property commonly referred to as 27071 Camino de Estrella (APN 123-340-34) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Site Development Permit to allow the construction of a new, detached dwelling unit in conjunction with additions to an existing dwelling unit at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the project is Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 28th day of September, 2015 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Site Development Permit SDP15-0027.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves SDP15-0027 subject to conditions:

Findings:

Site Development Permit SDP15-0027

- 1. Compliance of the site design with the standards of the Dana Point Zoning Code in that all proposed development is permitted in the property's Residential Duplex 14 (RD-14) Zoning District, subject to approval of a SDP. The subject project has been reviewed by Planning and Building/Safety Divisions as well as the Public Works/Engineering Department and found to conform to all standards of development.
- 2. That the site is suitable for the proposed use and development in that the subject project proposes the construction of a new, residential duplex providing at least 2,500 square feet of land area per unit as required in the property's RD-14 Zoning District.
- 3. That the project complies with all elements of the General Plan as well as applicable provisions of the City's Urban Design Guidelines in that the proposal "achieves design excellence in site planning, architecture, landscape architecture and signage in new development and modifications to existing development." The proposed duplex has been designed to complement existing, vicinity residential development in both form and mass, and coupled with new or additional site landscaping, constitutes an overall enhancement of the subject property.
- That the site and structural design are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, in that the proposed development is permitted within the property's RD-14 Zoning District and been found to conform to all applicable standards therein.

Conditions:

A. General:

1. Approval of this application permits the construction of a new, 1,261 square foot detached dwelling unit with attached 666 square foot three-vehicle garage, in conjunction with the addition of 116 square feet to an existing single-family dwelling at 27071 Camino de Estrella. Subsequent submittals shall be in substantial compliance with the plans presented to the Planning Commission and in compliance with applicable provisions of the Dana Point Zoning Code.

- 2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
- 3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
- 4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
- 5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.
- 6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The

Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

- 7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
- 8. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
- 9. An Encroachment Permit shall be obtained prior to any work within Public Rights-of-Way.
- 10. The Applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant shall provide erosion control measures and devices and shall maintain such until the Director of Public Works approves their removal.
- 11. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
- 12. The Applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of all utilities.
- 13. The Applicant or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.
- 14. The Applicant shall submit payment for any and all applicable development impact fees prior to issuance of a building permit.
- 15. All documents prepared by a professional shall be wet-stamped and signed.

B. Prior to Issuance of a Building Permit:

- 16. Building plan check submittal shall include four sets of the following construction documents:
 - Building Plans
 - Energy calculations
 - Structural Calculations
 - Soils/Geology Report
 - Drainage Plan
- 17. The Applicant shall submit for review and approval by the Planning and Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code and the preliminary plan approved by the Planning Commission.

C. Following Issuance of a Building Permit:

- 18. Prior to commencement of framing, the Applicant shall submit a foundation certification for both onsite dwellings, by survey that the structures will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of SDP15-0027. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
- 19. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the new, two-story duplex at the rear of the subject property is in compliance with plans approved by the Planning Commission and the structure heights included as part of SDP15-0027. No height certification shall be required for the property's existing, single-story dwelling. The City's standard "Height Certification" form, obtained at time of permit issuance, shall be completed by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.

D. Prior to Issuance of a Certificate of Occupancy

- 20. A Final Geotechnical Report (drafted in accordance with the City of Dana Point Grading Manual) shall be provided to the Public Works/Engineering Department by the project geotechnical consultant.
- 21. Final construction plans shall clearly assign each garage parking space to the dwelling unit it serves. The exterior of each garage shall be clearly addressed.
- 22. A written approval shall be provided to the Public Works/Engineering Department by the Geotechnical Engineer of Record stipulating that all grading has been completed in conformance with the approved grading plan.
- 23. All structural Best Management Practices (BMP's) shall be constructed and installed in conformance with approved plans and specifications.
- 24. The Applicant shall schedule a final inspection by the Community Development Department that shall include a review of approved development, landscaping, finish architecture/materials and general compliance with any outstanding project conditions of approval.

Commission	SED, APPROVED, AN of the City of Dana F following vote, to wit:	D ADOPTED at a reg Point, California, held o	n this 28 th day of September,
	AYES:		
	NOES:		
	ABSENT:		
	ABSTAIN:		
			April O'Copper Chairperson
			April O'Connor, Chairperson Planning Commission
ATTEST:			
	-Reynosa, Director Development Departme	ent	



City of Dana Point

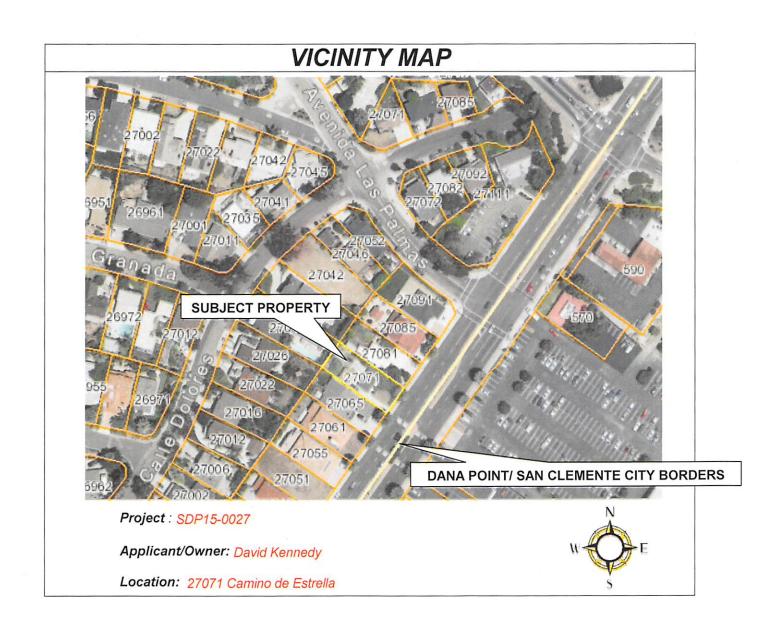
Site Development Permit SDP15-0027

Evan Langan, AICP, Associate Planner

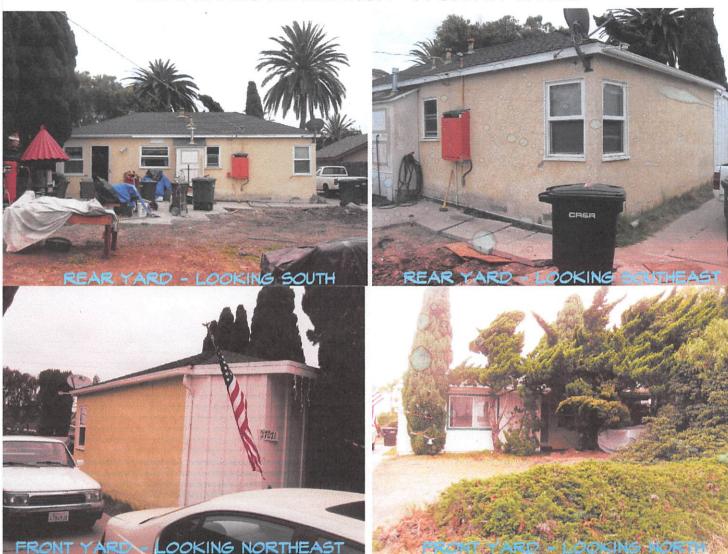
Community Development Department

33282 Golden Lantern, Suite 209

Dana Point, CA 92629-1805



27071 CAMINO DE ESTRELLA - PROPERTY



These drawings / plans and related specifications are in general conformance with local building code requirements as well as the 2013 California Building Standards Code: 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code,

2013 California Plumbing Code, 2013 California Energy Code,

2013 California Fire Code, 2013 California Green Building

Standards Code.

Signed:

WILLIAM J. STOFFREGEN - PLAN PREPARER

6/26/15 DATE

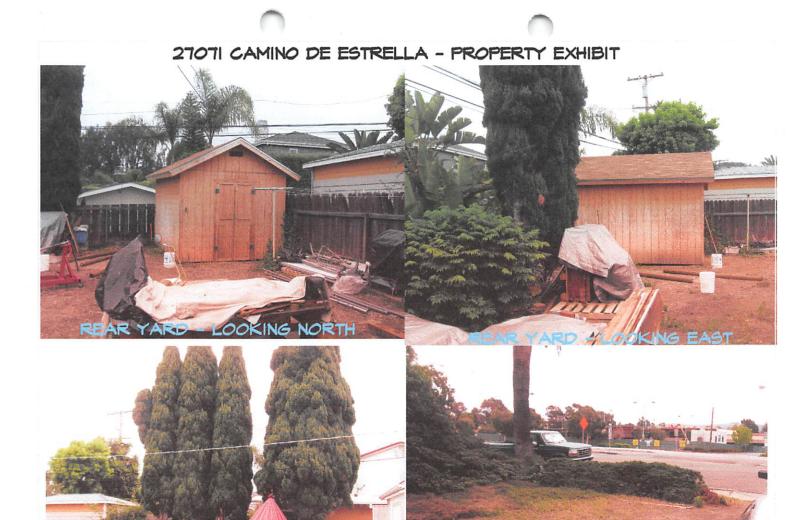
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24972 Southant C+

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These drawings / plans and related specifications are in general conformance with local building code requirements as well as the 2013 California Building Standards Code: 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Energy Code, 2013 California Fire Code, 2013 California Green Building Standards Code.

Signed:

WILLIAM J. STOFFREGEN - PLAN PREPARER

6/26/15 DATE

Firm Name:

CAD Works

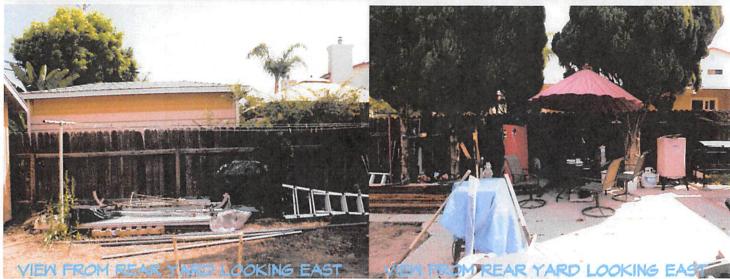
Firm Address:

24972 Southport St. Laguna Hills, CA 92653

949-230-8042

27071 CAMINO DE ESTRELLA - PROPERTY EXHIBIT





These drawings / plans and related specifications are in general conformance with local building code requirements as well as the 2013 California Building Standards Code: 2013 California Building Code, 2013 California Residential Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Energy Code, 2013 California Fire Code, 2013 California Green Building Standards Code.

Signed:

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WILLIAM J. STOFFREGEN - PLAN PREPARER

6/26/15 DATE

Firm Name:

CAD Works

Firm Address:

24972 Southport St. Laguna Hills, CA 92653

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ROOF NOTES

ATTIC VENTILATION CALCULATIONS

GALVANIZED ATTIC VENTS BY: CONSTRUCTION METALS, INC. 800-576-9810 WWW.CONSTRUCTIONMETALS.COM

NEW DUPLEX BUILDING

I. SABLE VENT:
(4) REGURED SIZE: 14"M x 18"h
APPROX. FREE AREA = 100 SQ, IN, 2. DORMER VENT (I) REGUIRED SIZE: 18% x 9% APPROX. FREE AREA = 75 SQ. IN.

3. COMPUTATION 864 SQ. FT. ATTIC - 300 = 2,88 SQ. FT. (415 SQ. IN.) OF FREE AREA REQUIRED.

(4) 14"x18" 6ABLE VENT = 400 50. IN. FREE AREA (1) 16"x9" 6ABLE VENT = 75 60. IN. FREE AREA

TOTAL FREE AREA PROVIDED: 415 5Q. IN. (3.9 5Q. FT.)

NEW ADDITION

1. DORMER VENT:
(3) REQUIRED 51ZE: 18 x 4 h
APPROX. FREE AREA = 75 SQ. IN.

2. COMPUTATION 393 SQ. FT. ATTIC - 900 = 1,11 SQ. FT. (168 SQ. IN.) OF FREE AREA REGUIRED.

(9) 16"x4" 1/2 ROUND DORMER VENT = 225 9g, IN. FREE AREA

TOTAL FREE AREA PROVIDED: 225 SQ. IN. (1.56 SQ. FT.)

ATTIC VENTILIATION CALCS, PER CBC R806.2

LAMINATED ASPHALT SHINGLES INSTALLATION NOTES

LAMINATED ASPHALT SHINGLE ROOF BY: 'GAF' - 'TIMBERLINE NATURAL SHADOM' CLASS A ROOF CODE: ICC ESR 9261 (12/2014) COLOR: MEATHERED WOOD WEIGHT OF TILE: 360 LBS. PER SQUARE

PROVIDE 5:8" CDX PLYWOOD SHEATHING AT ROOF (INCLUDING OVERHANGS)

TILE NAILING: IO PENNY, II GAUGE, CORROSIVE RESISTANT BOX NAILS: 2 PER TILE

PROVIDE 30# FELT INDERLAYMENT LAPPED 2" HORIZ, 4-4" VERT, INSTALL PER MFR, SPECS.

5. SHINGLES TO BE INSTALLED PER MFR. SPECIFICATIONS AND DETAILS.

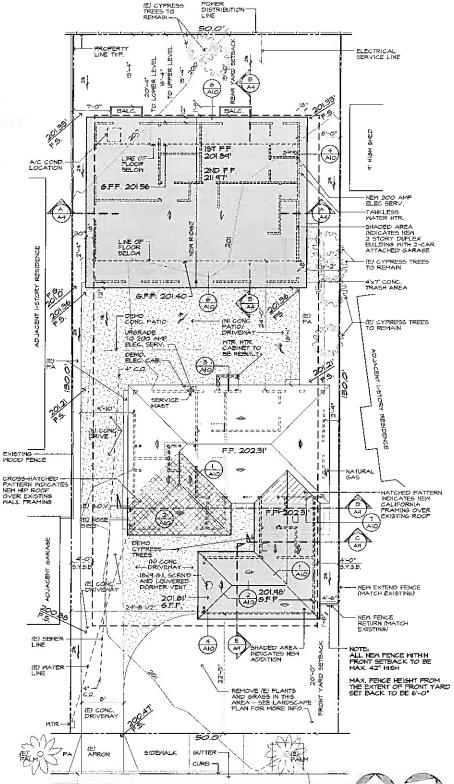
NOTE: DISTORTIONS IN THE UNDREATMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.

ALL VENTS TO BE PROTECTED WITH MAX. I/4" NON-COMBUSTABLE, CORROSION-RESISTANT, METAL MESH.

PLASHING AT VALLEY AND VERTICAL CONFIGURATIONS WILL BE IN ACCORDANCE WITH CBC 2013

ALL FASCIAS TO BE PROVIDED WITH SEAMLESS, GI. METAL, OR VINYL RAINGUITERS AND DOWNSPOUTS, PAINT TO MATCH FASCIA, (NOT SHONN FOR CLARITY), STYLE, OGEE

NOTE SEE ARCH'L DETS FOR ROOF VENT PIPE PENETRATIONS AND OTHER FLASHING DETAILS



SITE PLAN / ROOF PLAN

(N) NEW

CAMINO DE ESTRELLA

(E) EXISTING

(R) RELOCATE / TO BE RELOCATED

SITE / FLOOR PLAN KEY

IIII NEW WALL

. _ . EXIST'G WALL

REMOVED

ROOF, CONC TO BE REMOVED

LEGAL DESCRIPTION

LOT 34, TRACT 883 CITY OF DANA POINT COUNTY OF ORANGE CALIFORNIA APN: 123-340-34

OWNER & PROJECT ADDRESS

MR. DAVID KENNEDY 2707L CAMINO DE ESTRELLA DANA POINT, CA 92624 (949) 813-8826

SCOPE OF WORK

NEW DUPLEX BUILDING

- DEMO ENSTING I CAR GARAGE AND SHOP
 NEM 1251 SQ. FT. 2-STORY ACCESSORY BUILDING
 FEATURING. 2 BEDROOMS, 2 1/2 BATHS, KITCHEN,
 LIVING ROOM, BALCONY, 2 CAR GARAGE
 NEM CONCRETE DRIVENIAY
 NEM 200 AMP ELECTRICAL SERVICE
 NEM ELECTRICAL TURNACE (PAU) AND A/C
 NEM ELECTRICAL TURNACE (PAU) AND A/C
 NEM ELECTRICAL TURNACE (PAU) AND A/C

NEW ADDITION

- NEW ADDITION

 DEMO, PAGONRY FIREPLACE
 DEMO PORCH ROOF (FLAT)
 DEMO, FLAT ROOF OVER BEDROOM I
 NEN ONE CAR GARAGE
 NEW BATTON
 NEW BATTON
 REMODELY
 REMODELY
 NEW LAWDRY
 NEW ADDRIVE HEATER CLOSET
 NEW HEATER SERVICE AND MAST
 NEW ADDRIVE BEDROOM
 NEW ASPHALT SHINGLE ROOFING
 NEW ROOF FASCIAS

DEFERRED SUBMITTALS

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENSINEER OF RECORD AND FRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVED BY THE CITY.

FIRE SPRINKLER NOTES

ALL NEW STRUCTURES SHALL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED PER NFPA IS-DE STANDARDS AND COUNTY OF ORANGE REQUIREMENTS. FIRE SPRINKLER FLANS SHALL BE SUBMITTED, AND APPROVED BY THE BY THE CITY OF DANA POINT PRIOR TO FRAMING INSPECTION.

- I. WHEN SPRINKLERS ARE REQUIRED, THEY SHALL BE APPROVED BY THE DANA POINT FIRE DEPARTMENT
- 2. SEPARATE FIRE SPRINKLER PLANS INCLUDING HYDROCALCS ARE TO BE SUMMITTED TO THE BUILDING DEPARTMENT AND MUST BE APPROVED PRIOR TO COMMENCEMENT OF INSTALLATION.
- SPRINKLERS MUST BE INSTALLED BY A LICENSED C-16 CONTRACTOR.
- 5. FIRE SPRINKLER PLAN MILL HAVE A DEPERRED SUBMITTAL

CONSULTANTS

DRAFTING / DESIGN

CAD WORKS - RESIDENTIAL DESIGN 24972 SOUTHFORT ST. LAGUNA HILLS, CA 92653 949 - 290 - 8042

STRUCTURAL ENG.

CORE STRUCTURE, INC. 3505 CADILLAC AVE, BUILDING O COSTA MESA, CA 92646 949 - 954 - 7244

SOILS ENGINEER

DAVID H. LEE # ASSOCIATES, INC. 230It MOULTON PARKWAY, SUITE D-I2 LAGUNA HILLS, CA 92653 949 - 461 - 5690

TITLE 24

SOUTHLAND ENERGY CONSULTANTS 1491 GLENNEYRE STREET LAGUNA BEACH, CA 92651 949 - 497 - 3591

ANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED, NO SOLID MASTE, FETROLISM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTO MASTE MAYERIALS, OR MASTE-MATER GENERATED ON CONSTRUTIO

SITE DRAINAGE NOTES

- ALL SURFACE MATER SHALL DRAIN AMAY FROM STRUCTURES,

NOTE: PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET

ALL SIMPSON CONNECTORS ICC-ES ESR-2585

SEPARATE PERMIT(S) IS/ARE REQUIRED FOR PATIO COVERS, FENCES, SMIMMING POOL, RETAINING WALL DEMOLITION, ETC.

MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION PER CH. I DIV. II. SEC. RIO6.L2 OF THE CRO

ALL DIMENSIONS, CLEARANCES, FRAMING MEMBER SIZES AND CONFIGURATIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.

NEM GARAGE:

NEW BALCONIES:

TABULATIONS NEW DUPLEX BUILDING

168 50, FT. NEW LOWER FLOOR PLAN 1,261 SQ. FT. TOTAL LIVABLE

SHEET INDEX SITE DEVELOPMENT PLAN

TOTAL SHEETS

TITLE/SITE & ROOF PLAN/NOTES/TABS, EXISTING PLAN

NEW ACCESSORY BUILDING

NEW ADDITION / REMODEL

FLOOR PLAN ELEVATIONS / SECTIONS

AREA CALCULATIONS

LANDSCAPE PLAN

FLOOR PLANS CROSS-SECTIONS ELEVATIONS

36 SQ. FT. GROSS FLOOR AREA FIRE SPRINKLERED: 1910 50 FT

MAIN BUILDING / NEW ADDITION EXISTING LIVABLE: 814 SQ. FT. NEW ADDITION: + 116 5Q, FT. TOTAL LIVABLE

LOT DATA.

LOT SIZE: 6,500 SQ. FT. EXISTING STORAGE SHED: 120 SQ. FT. INCL. STOR, SHED EXISTING LOT COVERAGE: 934 5Q, FT.

NEW LOT COVERAGE: 2,456 5Q, PT. 37.7%

EXISTING HARDSCAPE: 1,219 SQ. FT. 18,8% NEW HARDSCAPE. 1,848 SQ, FT. 28,5%

LANDSCAPE COVERAGE: 1,758 SQ. FT.

NOTES

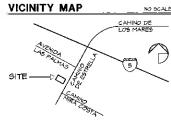
TOTAL HARDSCAPE:

OCCUPANCY GROUP NUMBER OF STORIES: TYPE OF CONSTRUCTION: V-B

FIRE SPRINKLERS:

REGUIREMENTS OF TITLE 24 REALATING TO ENERGY CONSERVATION HAVE BEEN TAKEN INTO CONSIDERATION.

MAXIMUM LOT COVERAGE: 50%



rese crawings / plans and related specifications are in meral conformance with local building cone requirements

Signed: WILLIAM J. STOFFREGEN - PLAN PREPARER
Firm Name: CAD Works 24972 Southport St Laguna Hills, CA 92653 940-230-8042 irm Address:

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666 SQ. FT.

2,291 SQ. FT. 35,3%

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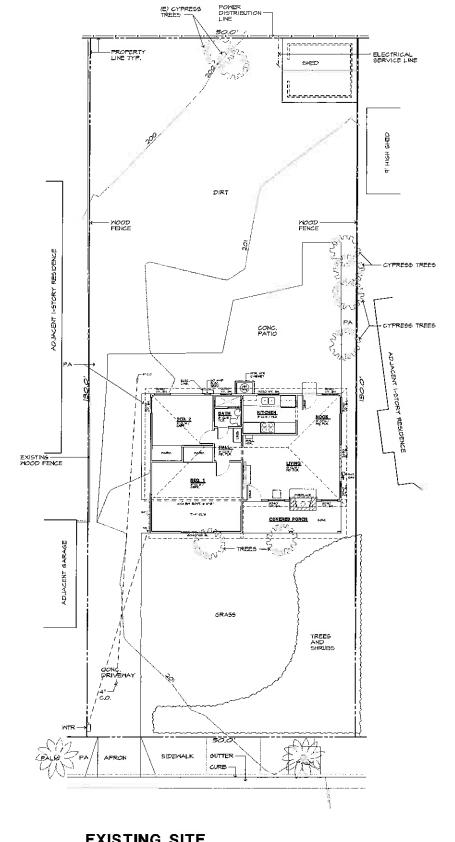
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DOCUMENT **PORTING**

N.J.STOFFREGEI 8/15/15

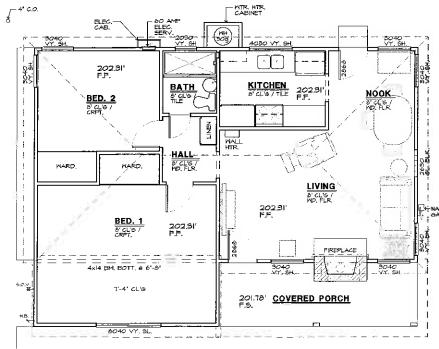
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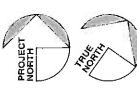


EXISTING SITE

SCALE: 1/0" = 1'-0"



EXISTING PLAN



Signec: WILLIAM J. STOFFRECEN - DESIGN / PLAN PREPARER DATE
Firm Name: CAD Wicks
Eym Address: 24972 Southpart III.
Leguno Mills, CA. 52653
949-230-8042

W.J.STOFFREGEN 8/15/15 AS NOTED

CAD WORKS
Residential Design

27071 Camino De Extrella

New Duplex Building & Addition At

SITE

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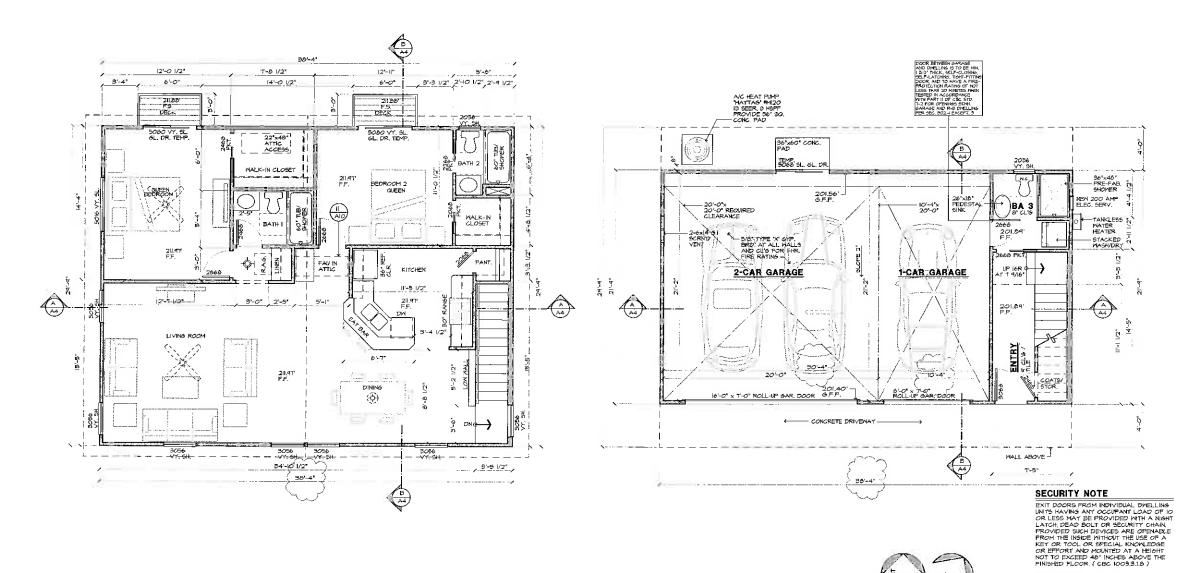
PLAN

EXISTING

CA 92624

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NEW LOWER LEVEL

WINDOW AND DOOR NOTES

ALL NEW MINDOWS AND FRENCH DOORS TO HAVE TEMPERED DUAL-FAME GLASHING WITH FLOWER THE MANNE ACTIVITY OF THE MANNE ACTIVITY OF THE ALLASE ATTRICATED DESCRIPTION OF THE VARIONAL PRESTRATION ARTINS CONCIL (NITRO.) AND SHOUND CONFILMANCE WITH ENERGY CODES

PROVIDE CAULKING / APPROVED SEALANT AROUND HINDOMS AND DOORS INTERIOR DOORS ARE TO HAVE RAISED PANELING

AD WORKS
Residential Design
24972 Southrort St.
Lapman Hills, CA 92653
949-2210-8942

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SEE TITLE 24 SHEET FOR MINIMUM WINDOW AND DOOR PERFORMANCE ALL EXTERIOR DOORS TO BE SOLID CORE

ALL EXTERIOR DOORS TO BE SOLID CORE
THE LOAD REPERSANCE OF EASE MODE.
MATCH LOAD SHALL BE DETERMINED IN
ACCORDANCE MITH SOME DETERMINED IN
ACCORDANCE MITH SOME DETERMINED IN
HAND 12" ADAPT ADAPT OF ACCORDING SHALL
BE 34" HIMMAN ADOVE THE ROOM FINISH
FLOWED THAT ACCORDING SHALL
BE 34" HIMMAN ADOVE THE ROOM FINISH
FLOW BANFACE, OFFENDED SECTIONS OF
THAT ALLOY FASSANCE OF A SPHERE
SHALL ALLOY FASSANCE OF A SPHERE
HAT ALLOY FASSANCE OF A SPHERE
HAT ALLOY FASSANCE OF A SPHERE
HAT SHALL OF FINISHES PLOOR.

2" MAX TRESPOLD TO STORPS A FINISHED

1/21 MAX THRESHOLD TO STOOPS / FINISHED SURFACES AT ALL DOORS THAT SHING CUTSIDE

\$ NOICATES ESREES INDOME
SECAPE OR RESCLE INIDOME SHALL HAVE A
MINIMIN NET CLEAR OPENABLE AREA OF 5.7

G. FT. THE WINIMIN NET CHEMPLABLE NEIGHT
DIMENSION SHALL BE 24' INCHES, THE MINIMIN
MET CLEAR OFFINABLE WINITED HALL BE 20'
INCHES, MEN WINDOMS ARE FROMIDED AS A
MEANS OF SECAPE OR RESCLE, THEY SHALL
HAVE A FINISHED SILL PEIGHT NOT MORE THAN
A4' INCHES SHOVE THE FLOOR.

PLUMBING NOTES

ACCESS PAREL (12"x12" J REQUIRED FOR TUB TRAP SLIP-JOINT OR USE NON-SLIP (MELCED) JOINTS,

IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESCURE BALANCED OR THERWOSTATIC HIXING VALVES, MAX TEMP. 1201. FER CPC SEC. 414-5 4 416.0 ALL HOSE BIBBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE.

ANTI-SEPECH CEVICE.

GAS VENTS AND HON-COMBUSTIBLE PIPING
IN WALLS PASSING THROUGH 3 FLOORS OR
LESS SHALL BE EFFECTIVELY DRAFTSTOPPED AT EACH FLOOR OR CEILING

PROVIDE HARDIBACKER CEMENT, MATERIRESISTANT BACKING BOARD AS BASE FOR TILE OR WALL PARELS FOR TILE OR SHOULD SIVE OF THE CONTRACT OF THE CONTR SHOWER ENCLOSURES OF COMPARTMENT MALLS.

HOT MOFPED SHOWER PAN SHALL DE INSPECTED UPON COMPLETION OF HOT MOFPING AND SHALL BE FILLED WITH WATER FOR INSPECTION. ALL PIL OF LISHIFS TO BE 181 ABOVE

FLOOR IN GARAGE - CMC 308.1		
FIXTURE TYPE	MAX, FLOW RATE	
MATER CLOSETS	1.26 6AL. P / FI	
RESIDENTIAL LAVATORY AND KITCHEN FAUCETS	15 6AL, AT 60	
SINGLE SHOMER HEAD	2 6PM AT 80 F	
MULTIPLE SHOWER HEADS	2 SPM AT AC F	
DISHMASHERS AND CLOTH		

MECHANICAL NOTES

PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUST - 4" DIA, MIN.

TRYER VENT SHALL HAVE BACKDRAFT DAMPER.

DAMPER.

PROVIDE A 14"KB" OPENING WITH A METAL
GRILLE REERT (100 50. IN. CLR. NET.)

ABOVE DOOR FOR REQUIRED MAKE-UP AIR.

WALL NOTES

36"×48" — PRE-FAB. SHONER

TANKLESS A MATER S HEATER

NEN 200 AMP ELEC. SERV.

EXIT NOTE

THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL

THE ERRESS DOOR SHALL BE SIDE-HINGED AND SMALL PROVIDE A MINIMM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OFFENDED ON DESCRIPTION SHALL NOT BE LESS THAN TO IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. CEG SEC, RSTIL2

SPECIFICATIONS FOR LATH, PLASTER AND DEVINALL SHALL CONFORM TO THE REGULARDISTS OF CAC CHAPTER TO ANY PLANSING DEALINGTE OR VENT FIFE OUT THROUGH STUD MALL SHALL BE 256 STUD MALLS OR THO 234 MALLS (AITH-PLYMODE) SHARP FARE, ON NON-

PROVIDE 2 LAYERS OF GRADE D PAPER

WALL INSULATION NOTES

R-IS BATT INSULATION 9 2x4 EXT. NAULS R-IS BATT INSULATION & 2x6 EXT. MALLS R-30 BATT INSULATION & CEILINGS ALL INSULATION MATERIALS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450

STUCCO NOTES

MISC. NOTES

"TEMP." INDICATES MINDOMS REQUIRING SAFET GLAZING (TEMPERED.)

CONCRETE PADS FOR AIR CONDITIONING UNITS TO BE 4' MIN, ABOVE FINISH GRACE.

TILE INSTALLATION SHALL BE IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS OF THE TILE COUNCIL OF AVERICA AND HANDBOOK FOR CERAMIC TILE INSTALLATION. PROVIDE YEATHER STRIPS AT THE ATTIC ACCESS PANEL TO PREVENT BACKDRAFT

PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET

These drawings / plans and related specifications are in janged conformance with local building code requirements as well as the 2013 Collibraria Biokiding Standard's Code: 2013 Collibraria Building Code, 2013 Collibraria Petistential Codes 2013 Collibraria Elettrical Code, 2013 Collibraria Mechanical Codes 2013 Collibraria Elettrical Code, 2013 Collibraria Mechanical Codes 2013 Collibraria Plumbing Code, 2013 Collibraria Free Code, 2012 Collibraria Free Code, 2012 Collibraria Green Building Standards Code.

Signed: WILLIAM J. STOFFREGEN - DESIGN / PLAN PREPARER DATE

Firm Name: CAD Works Firm Address: 24972 Southport S Logune Hills, CA 92653 949-230-8042 W.J.STOFFREGEN 8/15/15 AS NOTED

A2

NEW UPPER LEVEL

INSULATION NOTES

SEE TITLE 24 NOTES FOR REQUIREMENTS

CAD WORKS
Residential Design
24972 boutboot St.
Lagund Illis, CA 92653
949-230-8042

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Point, CA 92624

FRAMING NOTE

FIRE BLOCK STUD MALLS
(AT IO' INTERVALS [HORIZ.

** VERT]. BIOLOGED AND
CONCEALED SPACES, AND
CONCEALED SPACES, AND
AT CPENINGS AROUND VENTS,
PIPES, DUCTS, CHIMNEYS, BETWEEN
ATTIC AND CHIMNEY CHASE, AT
STAIR STRINGERS, AND SIMILAR
PLACES AT CEILING AND FLOOR
LEVELS.

EXTERIOR FINISH NOTES

ALL EXPOSED WOOD TO BE 545
PROVIDE 2 LAYERS OF GRADE D
PAPER (PELT) OVER PLYWOOD
SHEAR WALLS

ALL EXTERIOR WALL FINISHES SHALL BE IN ACCORDANCE WITH CBC AND TITLE 24

ALL TRIM 4'-O" OR LESS FROM IST FLOOR LINE TO BE WOOD W STUCCO U.N.O. TRIM ABOVE 4'-O" CAN BE FOAM

ALL DOOR AND WINDOW
TRIM TO BE STUCCOED OVER
U.N.O.

STUCCO LATH AND DRYWALL SHALL BE NAILED TO TOP AND BOTTOM PLATES ALL EXPOSED WOOD PENETRATING STUCCO TO BE 6.1. FLASHED AT PENETRATION

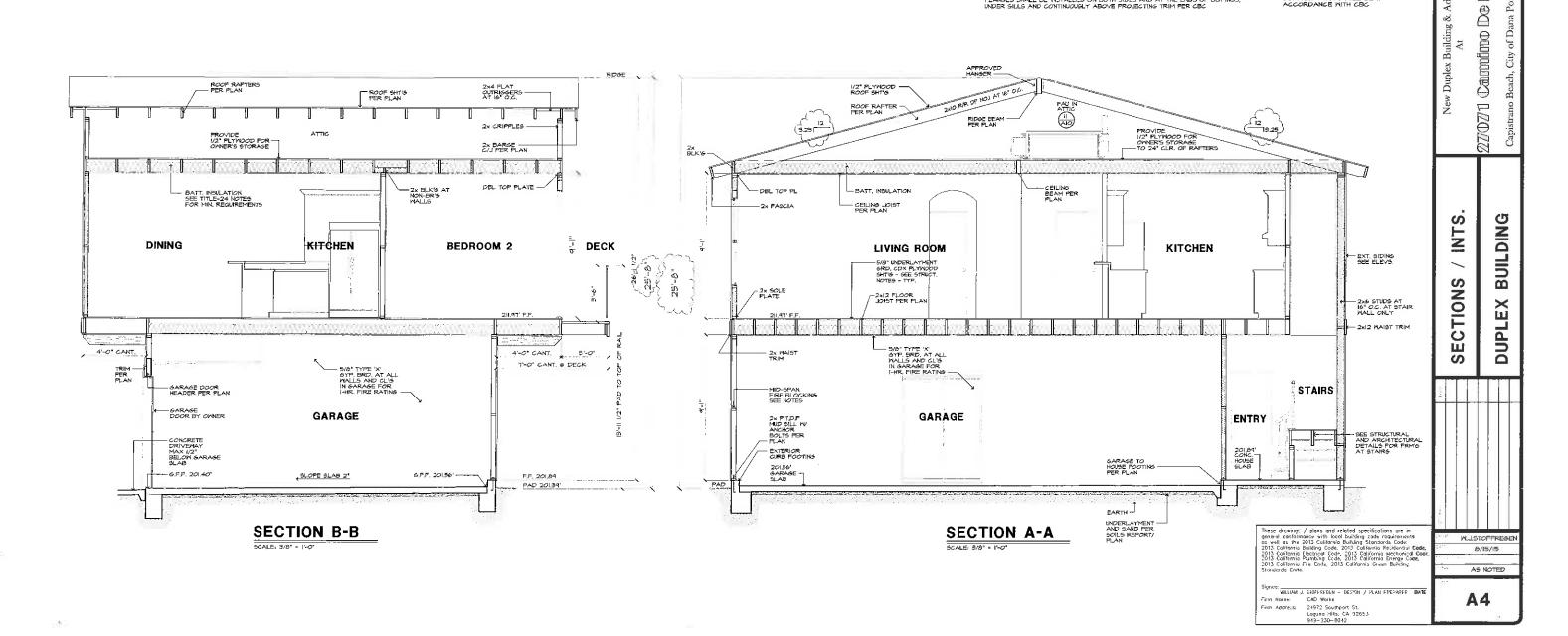
PROVIDE 2" CLR. FROM STUCCOED TRIM TO MINDOW FRAMES

FLASHING NOTE

FLASHING NOTE 2

FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERINGTERS OF EXTERIOR DOOR AND NINDOWN ASSEMBLED, PRINCERATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOPS, CHINNEY, PORCHES, DECKS, BALCONIES, AND SHILLAR PROJECTIONS AND AT BUILT-IN WITHERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL, FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND AT THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM PER CBC

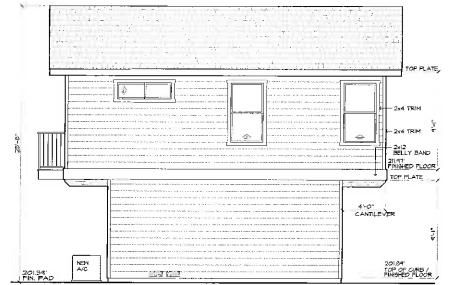
FLASHING AT VALLEY AND VERTICAL CONFIGURATIONS WILL BE IN ACCORDANCE WITH CBC



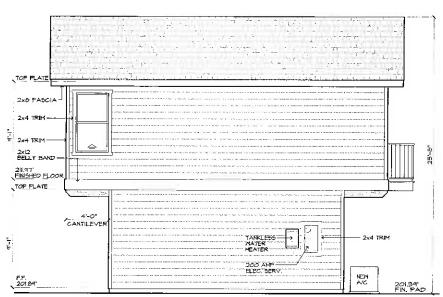
FLASHING NOTE 2

FLASHING NOTE 2

"LASHING SHALL BE INSTALLED IN SIGH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERINETERS OF EXTERIOR DOOR AND INIDOWN ASSEMBLES, FENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLES, EXTERIOR WALL INTERSECTIONS WITH ROOTS, CHINNEY, PORCHES, DECKS, BALCONES, AND SIMILAR PROJECTIONS AND A SILIL. THE WALL FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND AT THE EMAIL BE LASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND AT THE EMBOS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING TRIM PER CEC



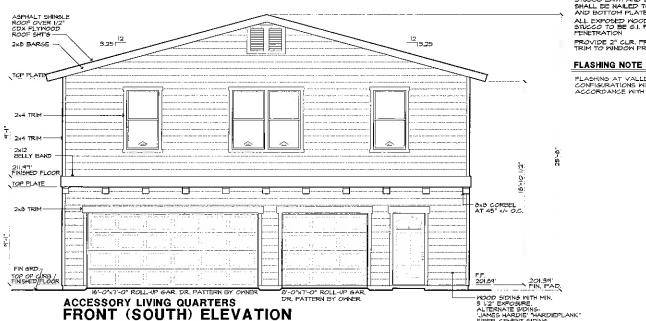
ACCESSORY LIVING QUARTERS LEFT (WEST) ELEVATION



ACCESSORY LIVING QUARTERS RIGHT (EAST) ELEVATION



ACCESSORY LIVING QUARTERS REAR (NORTH) ELEVATION



EXTERIOR FINISH NOTES

ALL EXPOSED WOOD TO BE 545 PROVIDE 2 LAYERS OF GRADE D PAPER (FELT) OVER PLYMOOD SHEAR WALLS

ALL EXTERIOR WALL FINISHES SHALL BE IN ACCORDANCE WITH CBC AND TITLE 24

ALL TRIM 4'-O" OR LESS FROM IST FLOOR LINE TO BE WOOD W/ STUCCO U.N.O. TRIM ABOVE 4'-O" CAN BE FOAM

ALL DOOR AND WINDOW TRIM TO BE STUCCOED OVER U.N.O.

STUCCO LATH AND DRYMALL
SHALL BE NAILED TO TOP
AND BOTTOM PLATES
ALL EXPOSED WOOD PENETRATING
STUCCO TO BE 6.1. FLASHED AT
PENETRATION

PROVIDE 2" CLR. FROM STUCCOED TRIM TO WINDOW PRAMES

FLASHING AT VALLEY AND VERTICAL CONFIGURATIONS WILL BE IN ACCORDANCE WITH CBC

These drawings / plans and related specifications are in general curformance with local building code requirements as well as the 2.13 Celifornia Building Clandards Code. 2013 Colfornia Building Clandards Code. 2013 Colfornia Building Clandards Code. 2013 Colfornia Building Cland. 2013 Celifornia Cede. 2013 Celifornia Cede. 2013 Celifornia Charles Code. 2013 Celifornia Charles Code.

Signed:

MILLIAM J. STOFFREGEN - DESIGN / FLAX PRIPARES DATE

Firm Norrie: UAO Works

Firm Address: 249/2 Southpert St. Lugunn Hills, CA 92653 949-230 - 8042

W.J.STOFFREGEN 8/15/15 AS NOTED

CAD WORK
Residential Design

Camilino De Estrella

 \Box 2707

Car

BUILDING

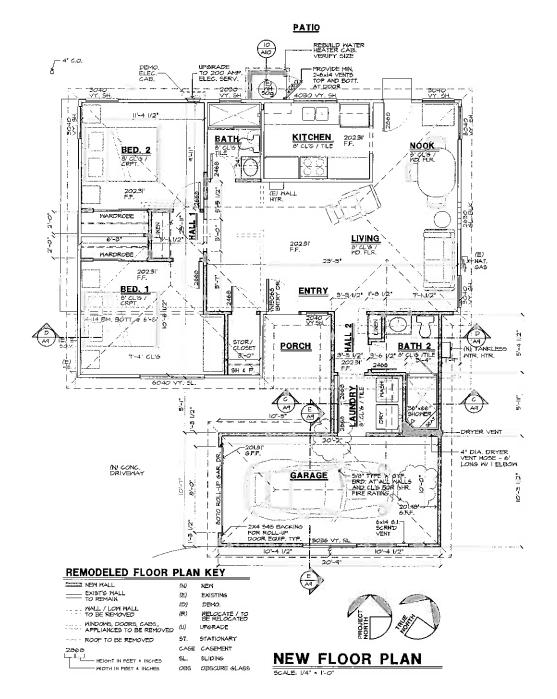
DUPLEX

ELEVATIONS

New Duplex Building & Addition At

CA

A5



WINDOW AND DOOR NOTES

ALL NOT INVOORS AND INSIGH DOCKS TO HAVE TEMPERED DUAL-FARM SLATING WITH LOWH IT MANAGED THE MANAGED CERTIFIED BY THE MANAGED CERTIFIED BY THE MANAGED AND SHATING CONCIL MIRRO AND SHOPMAN COMPLIANCE WITH THE DISCOVERY COOKES

PROVIDE CAULKING / APPROVED SEALANT AROUND MINDOMS AND DOORS INTERIOR DOORS ARE TO HAVE RAISED PANELING

WORKS ential Design

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Estrella

Cammino

2707 Capistra

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ADDITION

BUILDING

MAIN

CA

SEE TITLE 24 SHEET FOR MINIMUM WINDOW AND DOOR PERFORMANCE

ALL EXTERIOR DOORS TO BE SOLID CORE THE LOAD RESISTANCE OF 6LASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1900

ACCOMMENTATION STATE 1900
WEERE A MINOR SELL 15 LOCATED HISHER
THAN 12" ABOVE ACADOM CRADE OR
HISHED BEFORE AT THE PROPERTY OR
HISHED BEFORE
TO THE COPE SHAPE
TO THE COPE SHAPE
THOUGH SHAPE
THE MINOR SHALL NOT PERMIT OPENINGS
THAT ALLOH PASSAGE OF 4" SPEREY
WEIGHT SUCH OPENINGS
THAT ALLOH PASSAGE OF 4" SPEREY
WEIGHT SUCH OPENINGS
THAT ALLOH PASSAGE OF 4" SPEREY
WEIGHT SUCH OPENINGS
THAT ALLOH PRINGED ARE LOCATED
WHITE SUCH OPENINGS
THISHED THOUGHT

(12" MAX THRESHOLD TO STOOPS / FINISHED SURPACES AT ALL DOORS THAT SWING OUTSIDE

ONSIDE

I' MAX, THRESHOLD TO STOOPS / PINISHED SURFACES AT ALL DOORS THAT SWING INSIDE OR SLIDE

ALL GLAZING AT WINDOWS TO HAVE MINIMUM ONE TEMPERED PANE PER LIGHT FOR 20 MINITE RATING

MINDOM EGRESS * INDICATES EGRESS WINDOW

T ROBLATES EGREES INNOOMS SHALL HAVE A SECAPE OR RESCLE INNOOMS SHALL HAVE A SE ANY THE MISHAM IN PROPERTIES AND A SE ANY THE MISHAM IN PROPERTIES A RESENT DIMENSION SHALL BE 20" MICHES, THE MINIMA NET CLEAR OFFENABLE RIDTH SHALL BE 20" NICHES, HERV MILDOMS ARE PROVIDED AS A MEXICA OF ESCAPE OR RESCLE, THEY SHALL ANY SHALL SHAPPE OR RESCREEN THOSE THAN ANY SHAPPE SHAPPE OR SHAPPE THAN ANY SHAPPE SHAPPE OF THE PROPERTIES AND THE SHAPPE OF THE PROPERTIES AND THE SHAPPE OF THE PROPERTIES AND THE PROPERT

PLUMBING NOTES

ACCESS PANEL (12*x12") REQUIRED FOR TUB TRAP SLIP-JOINT OR USE NON-SLIP (MELDED) JOINTS.

IN SHORERS AND TID-SHOKER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERHOSTATIC HIXINS VALVES. MAX TEMP. 1201. PER OPC SEC. 414.5 a 418.0 ALL HOSE BIBDS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE.

GAS VENTS AND NON-COMPUSTIBLE FIRING IN MALLS PASSING THROUGH 3 FLOORS OR LESS SHALL BE EFFECTIVELY DRAFT-STOPFED AT EACH FLOOR OR CEILING

PROVIDE HARDIBACKER CEMENT, MATER-RESISTANT BACKING BOARD AS BASE. FOR TILE OR MALL PANELS FOR TUB OR SHOWER EXCLOSURES OR MATER CLOSET COMPARTMENT HALLS.

HOT MOPPED SHOWER PAN SHALL BE INSPECTED UPON COMPLETION OF HOT MOPPING AND SHALL BE FILLED WITH MATER FOR INSPECTION.

PER 4909.1 OF GBC: FIXTURE TYPE	MAX, FLOW RAT	
MATER CLOSETS	1.28 GAL. P / F	
RESIDENTIAL LAVATORY AND KITCHEN FAIGETS	15 6AL. AT 60	
SINGLE SHOWER HEAD	2 GPM AT 80	
MULTIPLE SHOWER HEADS	COMBINED	
DISHMASHERS AND CLOTHES WASHERS SHA BE ENERGY STAR COMPLIANT		

MECHANICAL NOTES

PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUST - 4" DIA, MIN. PROVIDE DRYER EXHAUST TO OUTSIDE AIR. DRYER VENT SHALL HAVE BACKDRAFT DAMPER.

PROVIDE A LANG" OFENING WITH A METAL GRILLE INSERT (100 50. IN. CLR. NET) ABOVE DOOR FOR REQUIRED MAKE-UP AIR

WALL NOTES

SPECIFICATIONS FOR LATH, PLASTER AND DRYMALL SHALL CONFORM TO THE REGUIREMENTS OF CRC CHAPTER 1 ANY PLUMBING DRAINPIPE OR VENT PIPE CUT THROUGH STUD MALL SHALL BE 2x6 STUD MALLS OR TWO 2x4 MALLS WITH PLYMODD SHEAR PANEL ON NON-PLYMODD SHEAR PANEL ON NON-PLIMBING WALL

PROVIDE 2 LAYERS OF GRACE D FAPER

WALL INSULATION NOTES

R-19 SATT INSULATION 0 2x4 EXT, VIALLS
R-19 EATT INSULATION 0 2x6 EXT, VIALLS
R-20 EATT INSULATION 0 2X6 EXT, VIALLS
R-20 EATT INSULATION 0 2ELINES
ALL INSULATION INSTERIALS SHALL HAVE A
FLANE-SPREAD REATING NOT TO EXCEED 25
AND A SHOCKED DESIGN OF TO EXCEED 480
EXTERNAL SHAPE OF THE SHAPE AND THE T

STUCCO NOTES

MEATHER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION MO2-I OF THE CALIF. BUILDING GODE AND, WHEN APPLIED OVER WOOD BASE SHEATHING. SHALL INCLIDE TWO (2) LAYERS OF GRADE 'D' PAPER

MISC. NOTES

TEMP. INDICATES WINDOWS REQUIRING SAFETY GLAZING (TEMPERED)

CONCRETE PADS FOR AIR CONDITIONING UNITS TO BE 4' MIN, ABOVE FINISH GRADE.

TILE INSTALLATION SHALL BE IN ACCORDANCE MITH DETAILS AND SPECIFICATIONS OF THE TILE COUNCIL OF AMERICA AND HANDBOOK FOR CERAMIC TILE INSTALLATION.

PROVIDE YEATHER STRIPS AT THE ATTIC ACCESS FANEL TO PREVENT BACKDRAFT

FROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET

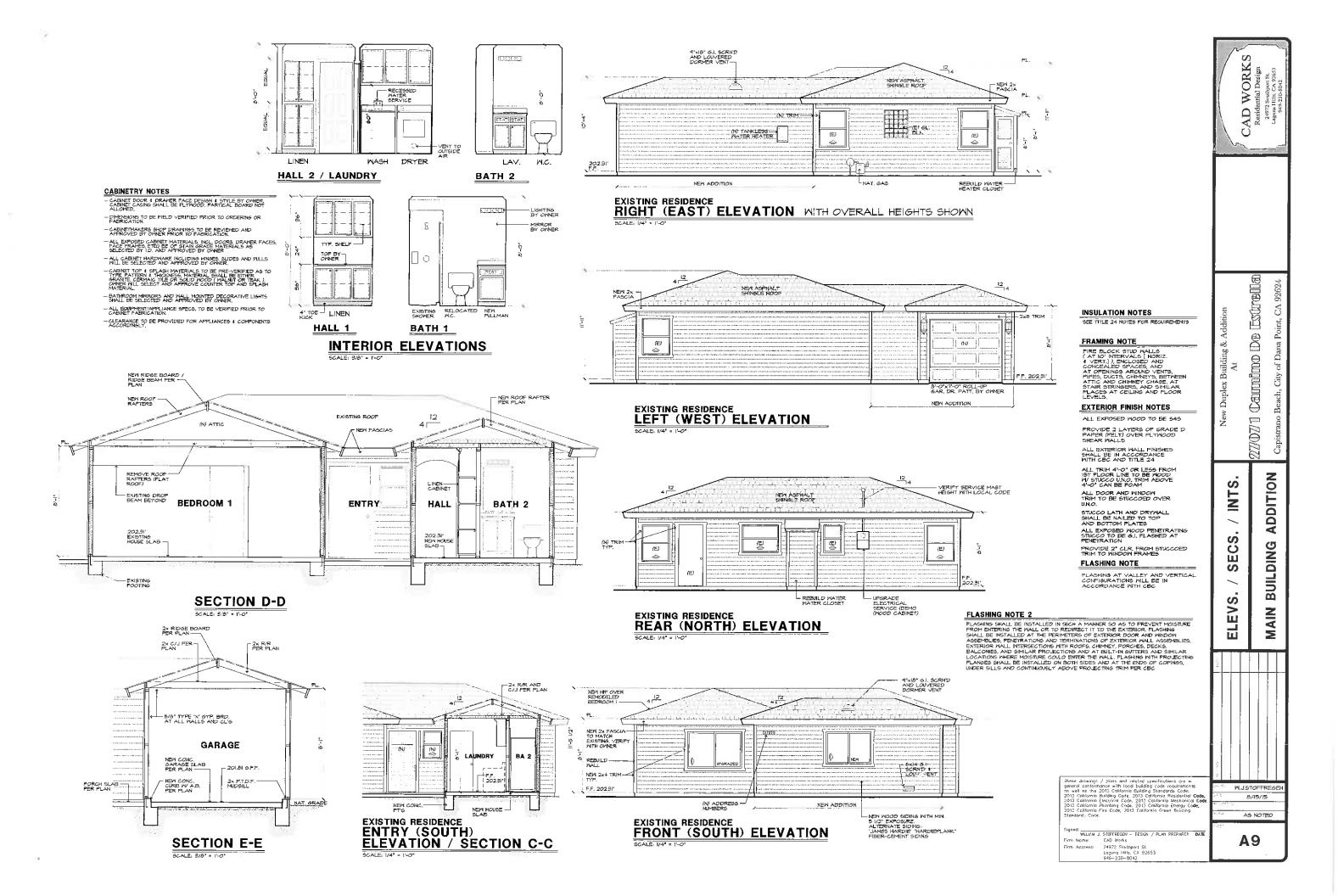
These drawings / plans and related specifications are in general conformance with local building code requirements on well as the 2013 Colifornia Building Standards Code. 2013 Colifornia Building Standards Code. 2013 Colifornia Electrical Code. 2013 Colifornia Petridential Code. 2013 Colifornia Methanical Code. 2013 Colifornia Fertical Code. 2013 Colifornia Francy. Code. 2013 Colifornia Francy. Code. 2013 Colifornia Francy. Code. 2013 Colifornia Francy. Code. 2013 Colifornia Francy.

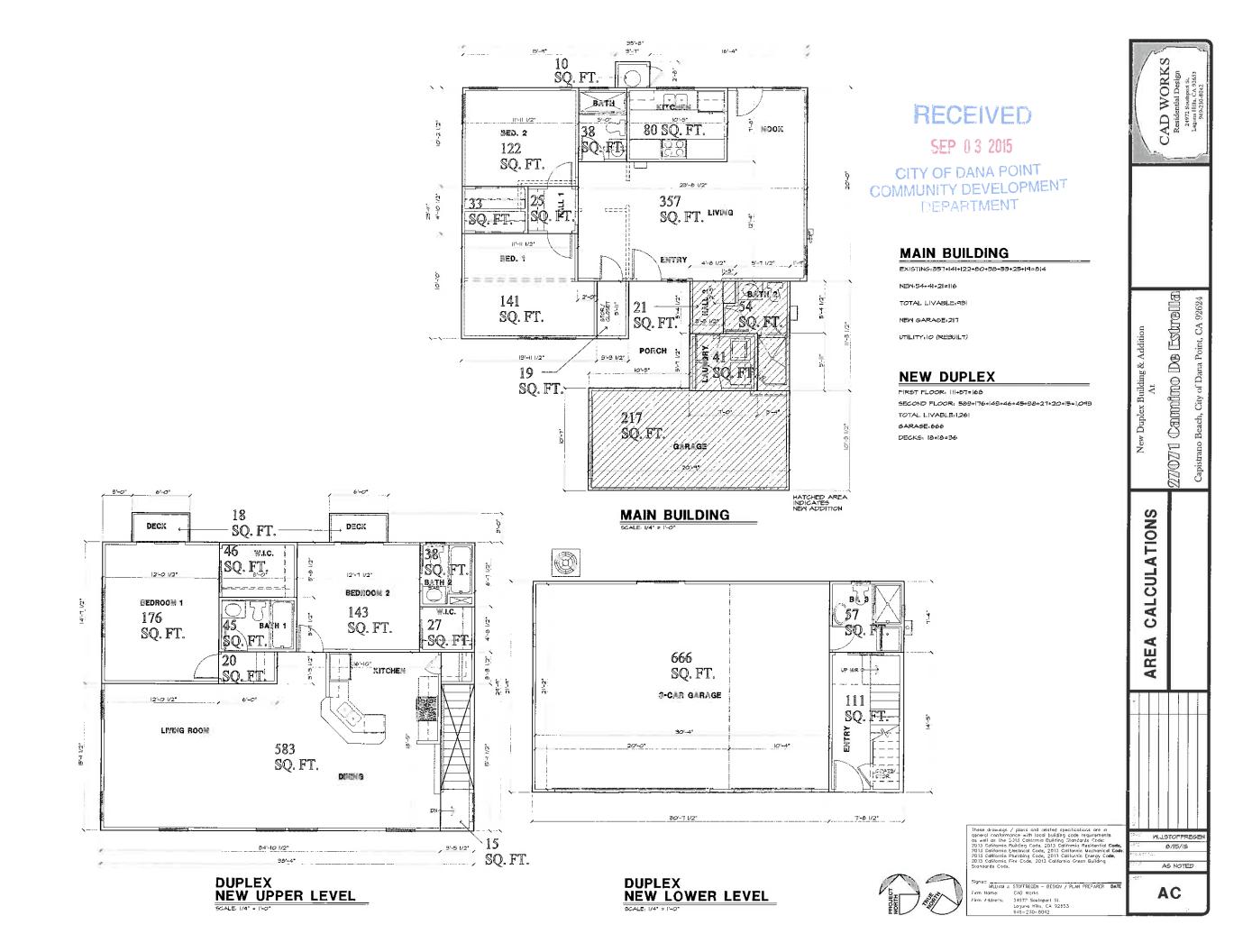
Signed: WILLIAM J. STOFFREGEN — DESIGN / PLAN PREPARER DATE CAD Works Firm Name:

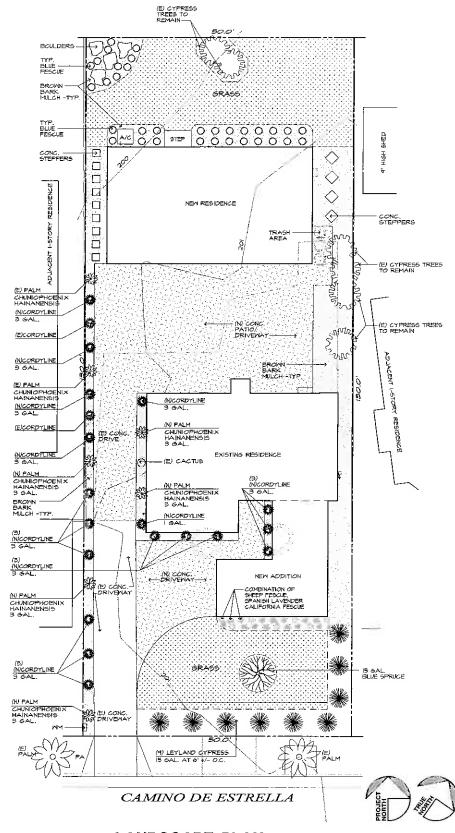
Firm Address: 24972 Southport St. Loguna hills, CA 92693 949-236-8042

W.J.STOFFREGE 8/15/15 AS NOTED

A7







LANDSCAPE PLAN

Signed:
WILLIAM J. STOFFREGEN - FLAN PREPARER
Firm Name: CAD Works
Firm Address* 24972 Southport \$1.
Logium Hills, CA 92653
349-230-8042

AS NOTED **L1**

W.J.STOFFREGEN 8/15/15

CAD WORKS
Residential Design

27071 Camino De Estrella

PLAN

LANDSCAPE

DANA POINT, CA 92629

RECEIVED

SEP 2 2 2015

PATTENTION: EVAN LANCAN, AICPCOMMUNITY DEVELOPMENT
PASSOCIATE PLANNER DEPARTMENT
COMMUNITY DEVELOPMENT DEPT

REFERENCE NOTICE OF PUBLIC HEARING ON SITE

DEVELOPMENT PERMIT SDP 15-0027, HEARING

DATE 9/28/15, WE WISH TO GO ON RECORD

OPPOSING A PERMIT TO CONSTRUCT A NEW

DETACHED DWELLING UNIT IN CONTUNCTION

WITH ADDITIONS TO AN EXISTING SINGLE FAMILY

DUELLING.

OUR OSSECTION IS THAT THIS NEIGHBORDOOD

IS ALREADY ONE OF THE MOST DONSELY POPULATED

AREAS OF THE CITY AND INCREASING THE DENSITY

IS NOT A DESIRABLE POLICY IF WE ARE TO MAINTAIN

OUR EXISTING SMALL TOWN ATMOSPHERE AS A

COMMUNITY.

SINCERELY,

BILL & MACCIE CUNNING 27011 CALLE GRANADA CAPISTRANO BOACH, CA 9264

Bie Dung

Supporting Document 5