

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: SEPTEMBER 28, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP14-0027 AND VARIANCE 14-0005 TO ALLOW CONSTRUCTION OF FOUNDATION IMPROVEMENTS (CAISSONS), EXPANSION OF AN EXISTING SECOND-STORY BALCONY AS WELL AS ADDITIONAL FLOOR-AREA TO AN EXISTING SINGLE-FAMILY DWELLING WITH A NONCONFORMING COASTAL BLUFF SETBACK IN THE RESIDENTIAL SINGLE-FAMILY 3 (RSF-3) ZONING DISTRICT AT 35011 CAMINO CAPISTRANO

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Coastal Development Permit CDP14-0027 and Variance V14-0005.

APPLICANT/OWNER: Mae Kalb 2004 Trust FBO Steven C. Kalb

OWNER'S AGENT: Strucco Engineering & Construction

REQUEST: Approval of a Coastal Development Permit and Variance to allow the conversion of 712 square feet of crawl space into habitable space and the addition of caissons within a setback from the edge of a coastal bluff, in conjunction with an expanded second-story balcony and interior remodel of an existing, nonconforming single-family dwelling located on a coastal bluff in the City's Coastal Overlay and the appeals jurisdiction of the California Coastal Commission.

LOCATION: 35011 Camino Capistrano
Assessor Parcel Number (APN): 123-372-01

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on September 16, 2015, published within a newspaper of general circulation on September 17, 2015, and posted on September 18, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

Item #4

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15301 (e) (Class 1 – Existing Facilities).

ISSUES:

- Project consistency with the development standards of the Dana Point General Plan, Local Coastal Program (LCP) and Zoning Code (DPZC).
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP) and Variance (V).
- Project compatibility with and enhancement of the site, surrounding neighborhood.

BACKGROUND: The subject property comprises a single, legal building site totaling 10,773 square feet (.25 acres). The lot fronts Camino Capistrano (street) to the north, an unimproved portion of Pines Park to the west, a single-family dwelling to the east and a coastal bluff (with Pacific Coast Highway located below) to the south. Unique among properties in Capistrano Beach, the coastal bluff turns at the southwest corner of the property and roughly follows the top of a shallow canyon at the border between the property and Pines Park - effectively wrapping the rear and westerly sides of the property. It is this unusual coastal bluff condition (and the development standards such a topographical feature dictates), that results in most of the property and existing dwelling lying within the property's required setback from the edge of the coastal bluff.

The lot presently contains a two-story single-family dwelling comprising 2,704 square feet of habitable floor area with an attached 686 square foot, two-vehicle garage originally constructed in 1959. Per adopted maps, the subject property is zoned as "Residential Single-Family 3" (RSF-3), stipulating a maximum density of three units per acre, is located within the City's Coastal Overlay District (the CA Coastal Zone) as well as the appeals jurisdiction of the California Coastal Commission. Per the City of Dana Point Biological Resources Survey (The Planning Center, 1991), the property is not designated as supporting environmentally sensitive habitat area (ESHA).

DISCUSSION: In 2008, the Planning Commission approved a Coastal Development Permit and Variance to demolish the property's existing dwelling and construct a new, 5,522 square foot, single-family residence with attached 727 square foot, three-vehicle garage within the coastal bluff setback. The Planning Commission ultimately found that the unique topographic constraints of the property, in combination with required structure setbacks, rendered the property effectively unbuildable without the granting of a variance from standards. The approved project was not acted upon and was allowed to expire.

The current application proposes to maintain and modify the property's existing dwelling by converting crawl space to 712 square feet of new habitable floor area. The remainder of the first floor of the structure would be remodeled to include a new master bedroom, bathroom, laundry and exercise rooms. The compliant, two-vehicle garage at this level would remain. The upper story of the structure would be similarly remodeled and include new or reconfigured bedrooms, a kitchen, office and storage spaces. An existing deck at this level would be expanded, with access provided from the new "great room" at the rear of the floor-plan. The new floor area would be added within the dwelling's existing footprint. The overall height of the structure would be unchanged and remain two stories.

To support the added weight and foundation of proposed floor area (the former crawl space) and expanded deck at the second story, caissons are proposed at various locations within and outside of the structure's footprint. Structural documentation has been submitted and reviewed by the City's Engineering staff with a determination that the number and location of caissons proposed are the minimum feasible to allow for the proposed scope of work.

Finally, the exterior of the dwelling would be resurfaced with new paint, stucco and stone trim. New landscaping and irrigation are proposed in the property's front-yard. On those sides of the lot containing a coastal bluff, all existing irrigation and any invasive/non-native plantings will be removed.

Coastal Development Permit CDP14-0027

Pursuant to Section 9.69.040 (b)(1) of the Dana Point Zoning Code, improvements proposed to any structure located on a beach, wetland, or seaward of the mean high tide line, or where the structure or proposed improvement would encroach within 50 feet of the edge of a coastal bluff as described in Chapters 9.27 and 9.75, shall require approval of a CDP. The subject project proposes new floor area, an expanded deck and foundation improvements within the setback from the edge of a coastal bluff and so requires approval of a CDP.

Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*

3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Staff's recommended findings to approve the CDP request are enumerated in the attached draft resolution.

Variance V14-0005

The subject application proposes the addition of new floor area (the conversion of crawl space into habitable space) as well as foundation improvements within the property's setback from edge of coastal bluff. Section 9.27.030 of the Dana Point Zoning Code stipulates a minimum bluff edge setback for the subject property of 25 feet. Geotechnical documentation has been submitted to the City and which delineates the boundaries and the edge of the property's coastal bluff. The majority of the existing dwelling as well as the aforementioned improvements, specifically new caissons supporting the proposed interior remodel and expanded second-story deck, would be located within the 25 foot setback.

The topography of the subject property and resulting configuration of setbacks are such that strict application of the 25 foot setback standard would disallow almost any improvements to the existing dwelling. Indeed, if the lot were presently vacant, the aforementioned standards would only permit a dwelling 17 feet in width and with a maximum footprint of 1,479 (habitable) square feet - while still requiring a variance to provide compliant parking within a 20 foot-wide, two-vehicle garage. Typical dwellings in the vicinity of the subject property far exceed a 1,479 square foot footprint and so strict application of the setback standards would deprive the Applicant of privileges enjoyed by others under identical zoning classification.

The property's coastal bluff wraps the entire western and southern boundaries of the lot (Attachment 4 – Project Plans). The property measures an average depth of approximately 201 feet and an average width of approximately 54 feet. That, coupled with the minimum required setbacks, results in a unique and extraordinary condition placing the majority of the property within the area of the required setbacks. All changes proposed to the dwelling's floor-plan would occur within the structure's existing footprint and no expansion is proposed. Caissons would serve to support and protect the foundation of the dwelling while facilitating proposed improvements to the floor-plan.

Notably, while the variance request would allow improvements and development encroachment along the property's western boundary-line, the dwelling would maintain a 40 foot setback from edge of bluff along the property's south (ocean-facing) bluff edge. Finally, existing, native and mature landscaping would be protected to the greatest extent feasible, minimizing landform alteration (through reduced grading and fill) in accordance with Section 9.27.030 (c)(5)(B).

Section 9.67.050 of the DPZC stipulates eight findings for approval of a variance, requiring:

- 1. That the strict or literal interpretation and enforcement of the specified regulation(s) would result in practical difficulty or unnecessary physical hardships inconsistent with the objectives of this Chapter; and*
- 2. That there are exceptional or extraordinary circumstances or conditions applicable to the subject property or to the intended use of the property which do not apply generally to other properties in the same zoning district; and*
- 3. That the strict or literal interpretation and enforcement of the specified regulation(s) would deprive the applicant of privileges enjoyed by the owners of other properties in the same zoning district with similar constraints; and*
- 4. That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties in the same zoning district with similar constraints; and*
- 5. That the variance request is made on the basis of a hardship condition and not as a matter of convenience; and*
- 6. That the granting of the variance will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity;*

7. *That the variance approval places suitable conditions on the property to protect surrounding properties and does not permit uses which are not otherwise allowed in the zone;*
8. *That granting the variance would not result in adverse impacts, either individually or cumulatively, to coastal access, public recreation opportunities, or coastal resources, and the development would be consistent with the policies of the Local Coastal Program certified land use plan.*

Staff finds the variance request both necessary and supported by evidence in the record. Draft findings to recommend for approval are enumerated in the attached draft resolution.

CORRESPONDENCE: To date, no correspondence has been received regarding this project.

The property is not located within a homeowner's association (HOA).

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the Dana Point Local Coastal Program/Zoning Code. As the project has been found to comply with all standards of development and findings can be made for all requests, staff recommends the Planning Commission adopt the attached resolution, approving Coastal Development Permit CDP14-0027 and Variance V14-0005.


Evan Langan, AICP
Associate Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-09-28-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)

Wm. D. Lane

John F. Gandy

RESOLUTION NO. 15-09-28-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING COASTAL DEVELOPMENT PERMIT CDP14-0027 AND VARIANCE V14-0005 TO ALLOW FOUNDATION IMPROVEMENTS (CAISSONS), EXPANSION OF AN EXISTING SECOND-STORY BALCONY AS WELL AS ADDITIONAL FLOOR AREA TO AN EXISTING SINGLE-FAMILY DWELLING WITH A NONCONFORMING COASTAL BLUFF SETBACK IN THE RESIDENTIAL SINGLE-FAMILY 3 (RSF-3) ZONING DISTRICT AT 35011 CAMINO CAPISTRANO

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, Mae Kalb 2004 Trust FBO Steven C. Kalb (the "Applicant") is the owner of real property commonly referred to as 35001 Camino Capistrano (APN 123-372-01) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Coastal Development Permit and Variance to allow for improvements to an existing single-family dwelling on land containing a coastal bluff at the Property; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Zoning Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Sections 15301 (e) (Class 1 – Existing Facilities) and 15305 (a) (Class 5 - Minor Alterations in Land Use Limitations) of the CEQA Guidelines in that the project proposes improvements to an existing single-family dwelling as well as a variance not resulting in the creation of a new parcel; and

WHEREAS, the Planning Commission did, on the 28th day of September, 2015 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP14-0027 and Variance V14-0005.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A. The above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP14-0027 and V14-0005 subject to conditions:

Findings:

Coastal Development Permit CDP14-0027

1. That the project is in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 Cal. Code of Regulations/13096) **in that the site and architectural design of proposed improvements, other than the requested variance for which supportive findings are made herein, are found to comply with all development standards of the Dana Point General Plan and Zoning Code (the latter acting as the Local Coastal Program for the property) and; will further General Plan Urban Design Element Goal No. 2, which states that development should “*preserve the individual positive character and identity of the City’s communities*” by effecting new, aesthetically pleasing development of the subject property that is compatible and complimentary to surrounding structures.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that the project is not located between the first public roadway and the sea or shoreline, that the property is an already developed lot zoned for residential use and located on land that does not contain public accessways or areas of recreation. Moreover, adequate public access to the coast or areas of recreation exist nearby at City, County and State beaches and parks, and accordingly, the project conforms to the public access and recreation policies of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies as Categorically Exempt from review under CEQA pursuant to Section 15301 (e) (Class 1 – Existing Facilities) and 15305 (a) (Class 5 - Minor Alterations in Land Use Limitations) of the CEQA Guidelines in that the project proposes improvements to an existing single-family dwelling as well as a variance not resulting in the creation of a new parcel.**

4. That the project has been sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property is an already developed parcel containing no environmentally sensitive habitat area (ESHA) and accordingly, proposed improvements would not result in adverse impacts.**
5. That the project minimizes the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the subject site is an already developed property containing a single-family dwelling. Proposed improvements to the structure, including new floor area and foundation work, would for the most part occur within the existing footprint and so minimizing grading and general landform disturbance to the greatest extent feasible, while simultaneously protecting the property from future erosion, property slippage or any potential geologic instability. All improvements will be constructed in conformance with applicable regulations for flood and fire and so minimizing undue risks from these or other hazards.**
6. That the project is visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the subject project would remodel an existing single-family dwelling utilizing materials and methods that conform to the development and design standards of the Dana Point Zoning Code and so resulting in redevelopment of the property in a manner that is complementary to surrounding development.**
7. That the project conforms with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs **in that the subject project has been reviewed by the Planning and Building/Safety Divisions as well as the Public Works/Engineering Department and, other than the requested variance from standards, been found to conform with applicable requirements of the Dana Point Zoning Code (which serves as the implementing document for the General Plan and Local Coastal Program for the subject property). There are no adopted specific plans that apply to the subject property.**

Variance V14-0005

1. That strict or literal interpretation and enforcement of the specified regulations would result in practical difficulty or unnecessary physical hardships inconsistent with the objectives of this Chapter **in that strict application of the standards of the Local Coastal Program and Zoning Code (specifically the required coastal bluff edge setbacks) to the unique topographic conditions of the subject property would only allow for a dwelling 17 feet in width and a maximum footprint of 1,479 (habitable) square feet - while still requiring a variance to provide compliant parking within a 20 foot-wide, two-vehicle garage. Typical dwellings in the vicinity of the subject property far exceed a 1,479 square foot footprint and so strict application of the setback standards would deprive the Applicant of privileges enjoyed by others under identical zoning classification.**
2. That there are exceptional or extraordinary circumstances or conditions applicable to the subject property or to the intended use of the property which do not apply generally to properties in the same zoning district **in that the subject property contains a significant topographical feature (a coastal bluff) that borders both the southern and western boundaries of the subject property, mandating a bluff edge setback that would deny the Applicant the ability to remodel, expand or redevelop the subject property without a request for a variance from standards.**
3. That the strict or literal interpretation and enforcement of the specified regulation(s) would deprive the applicant of privileges enjoyed by the owners of other properties in the same zoning district with similar constraints **in that there are few area properties with similar, topographic features that establish required coastal bluff edge setbacks encompassing nearly the entire property. Strict application of bluff edge setbacks would deny the Applicant the ability to modify the subject dwelling in any meaningful way. The present variance would result in development that is similar in size and scale to neighboring, like-zoned properties while minimizing landform alteration and preserving (to the greatest extent feasible) existing, native and mature landscaping.**

4. That the granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties in the same zoning district with similar constraints **in that the topography of the subject property and the development constraints it creates, would preclude nearly any modifications to existing development without the requested variance from standards.**
5. That the Variance request is made on the basis of a hardship condition and not as a matter of convenience **in that the subject property is bordered along its southern and western boundaries by a coastal bluff and so carries an otherwise mandatory setback from all edges of that bluff. Strict application of current setback requirements would render nearly any modification of the property's existing dwelling impossible without a variance request.**
6. That the granting of the Variance will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity **in that the request will allow the subject property to be redeveloped in a manner consistent with the goals and standards of the General Plan and Zoning Code. The remodeled and expanded dwelling will be compatible in both size and configuration with existing, surrounding development and constructed using contemporary materials and methods and in conformance with current building codes.**
7. That the Variance request places suitable conditions on the property to protect surrounding properties and does not permit uses which are not otherwise allowed in the zone **in that specific conditions for geotechnical stability, landscaping and site drainage have been included and, coupled with standard conditions of approval, will ensure that surrounding properties and uses are not adversely affected with implementation of the subject project.**
8. That granting of the Variance will not result in adverse impacts, either individually or cumulatively, to coastal access, public recreation opportunities, or coastal resources, and the development would be consistent with the policies of the Local Coastal Program certified land use plan **in that the subject project proposes modifications to an existing dwelling located where no public accessway or recreation areas exist, and so would not result in either individual or cumulative adverse impacts. With the exception of the variance request, the proposed scope of work conforms to all standards of development.**

Conditions:

A. General:

1. Approval of this application permits the conversion of 712 square feet of crawl space into habitable space and the addition of caissons within a setback from the edge of a coastal bluff, in conjunction with an expanded second-story balcony and interior remodel of the existing dwelling located at 35011 Camino Capistrano. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point Specific Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void,

or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

6. The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The Applicant and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. An Encroachment Permit shall be obtained prior to any work within the City Right-of-Way.
10. The Applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant shall provide erosion control measures of a type, size and location as approved by the Director of Public Works. The erosion control measures shall be shown and specified on the grading plan and shall be constructed to the satisfaction of the Director of Public Works prior to the start of any other grading operations. Prior to the removal of any erosion control devices so constructed, the area served shall be protected by additional drainage facilities, slope erosion control measures and other methods as may be required by the Director of Public Works. The Applicant shall maintain the erosion control devices until the Director of Public Works approves of the removal of said facilities.

11. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
12. The Applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of all utilities.
13. The Applicant or successor in interest shall prepare a Waste Management Plan to the City's C&D official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.
14. The Applicant shall submit payment for any applicable development impact fees prior to issuance of a building permit.
15. All documents prepared by a professional shall be wet-stamped and signed.
16. Any proposed changes to landscaping located within the property's setback from edge of bluff, either under this or a future discretionary request shall be subject to review/approval by the Planning Division.

B. Prior to Issuance of a Grading Permit

17. The Applicant shall submit an application for a grading permit as well as a grading plan for review and approved by the Public Works/Engineering Department. Both the grading permit application and grading plan shall include all documents as required by current Public Works Department's plan-check policies, the City of Dana Point Municipal Code, Grading Manual and Municipal Separate Storm Sewer Systems (MS4s) Permit.
18. The Applicant shall submit a geotechnical report in compliance with all City of Dana Point standards for review and approval by the Public Works/Engineering Department.

C. Prior to Issuance of a Building Permit:

19. Building plan check submittal shall include four sets of the following construction documents:
- *Building Plans*
 - *Energy calculations*
 - *Structural Calculations*
 - *Soils/Geology Report*
 - *Drainage Plan*

D. Following Issuance of a Building Permit:

20. Prior to commencement of framing, the Applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP14-0027. The City's standard "Line & Grade Certification" form shall be obtained at time of permit issuance, prepared by a licensed civil engineer/surveyor and delivered to the City of Dana Point Building and Planning Divisions for review and approval.
21. The Applicant shall complete rough grading (establishment of building pads) in accordance with approved plans and reports.
22. The Applicant shall submit a rough grade certification for review and approval by the City Engineer (Public Works/Engineering Department). The rough grade certification provided by the project civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall stipulate all grading as conforming to the approved grading plan and shall document all pad grades to the nearest 0.1-feet and that the elevation of the graded pad complies with the vertical (grade) position approved for the project.
23. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and re-compaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation

recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

24. The Applicant shall submit for review and approval by the Planning and (if applicable) Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code, preliminary plans approved by the Planning Commission, as well as the following:

- *All proposed plantings within 25 feet of the edge of the property's coastal bluff shall be of a variety that is both CA native and drought tolerant.*
- *Any existing irrigation within 25 feet of the edge of the property's coastal bluff shall be removed and; no new irrigation is permitted within the area of the setback from edge of bluff.*

E. Prior to issuance of a Certificate of Occupancy

25. The Applicant shall execute the City's standard deed restriction and submit to the City and through City staff, the City Attorney, for review and approval. The deed restriction shall stipulate the following:

- *That the Applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards;*
- *That the Applicant unconditionally waives any claim of liability on the part of the City or any other public agency from any damage from such hazards;*
- *That the Applicant assumes all liability for damages incurred as a result of any required off-site grading.*

26. A Final Geotechnical Report shall be prepared by the project geotechnical consultant (in accordance with the City of Dana Point Grading Manual) and submitted to the Public Works/Engineering Department for review and approval.

27. The Geotechnical Engineer of Record shall provide written certification of all grading as being in conformance with the approved grading plan.
28. The project Civil Engineer of Record shall provide documentation that stipulates grading, construction of line and grade for all engineered drainage devices as well as retaining walls as being in conformance with the approved grading plan.
29. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions to the satisfaction of the City Engineer.
30. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
31. All permanent best management practices (BMP's) shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
32. The Applicant shall submit to the Project Planner, a wet-stamped and signed certification from a licensed landscape architect stipulating that all landscaping was installed in conformance with the project's final landscaping plan. This certification shall be submitted and approved prior to final inspection of the project by the Project Planner (Planning Division).
33. All structural BMPs shall be constructed and installed in conformance with approved plans and specifications.
34. The Applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finish architecture/materials, approved through discretionary action, and compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 28th day of September, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point

Coastal Development Permit CDP14-0027 and Variance V14-0005

Evan Langan, AICP, Associate Planner

Community Development Department

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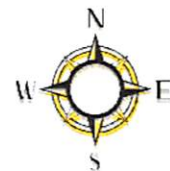
VICINITY MAP



Project : CDP14-0027 and V14-0005

Applicant: Mae Kalb 2004 Trust FBO Steven C. Kalb

Location: 35011 Camino Capistrano



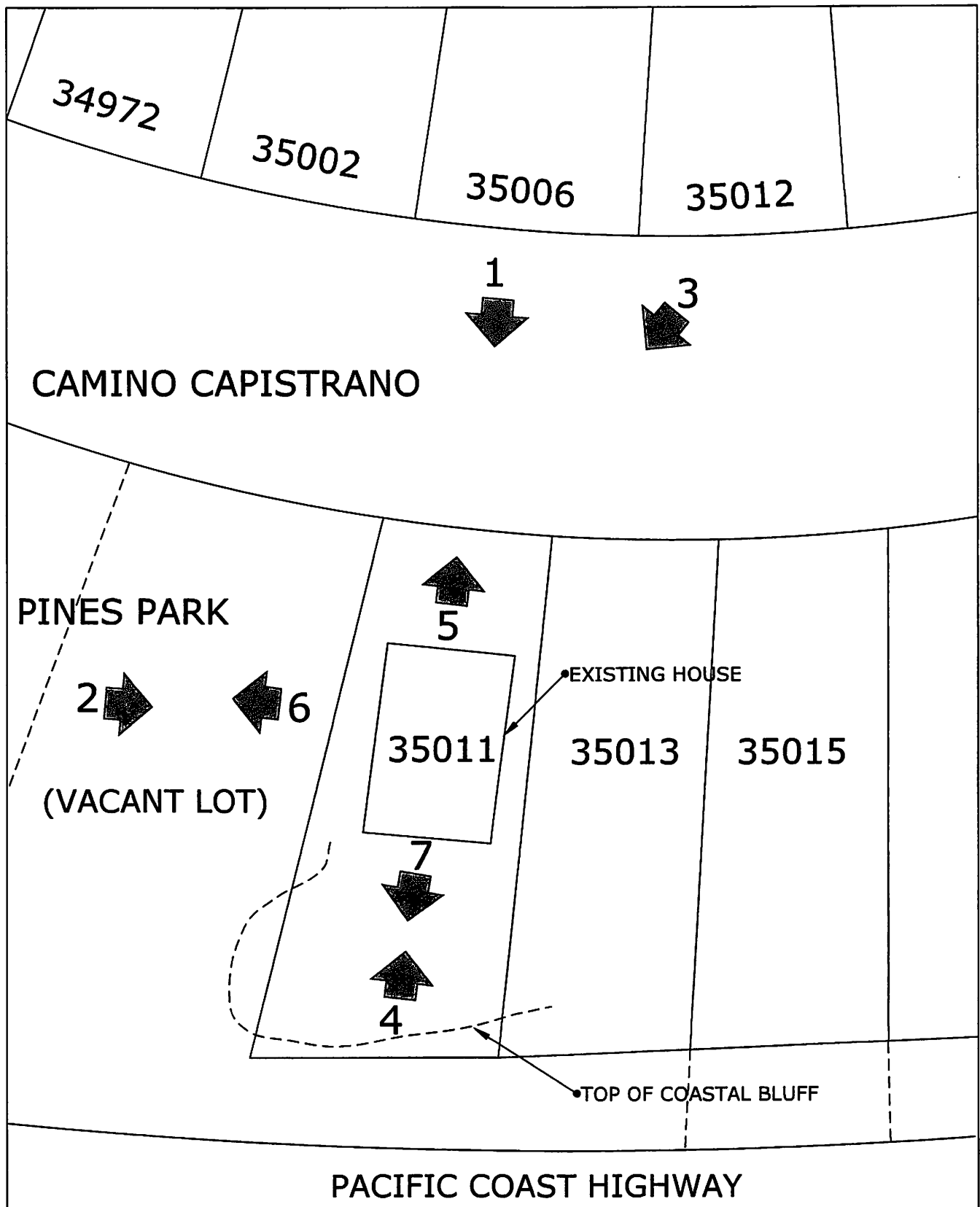


PHOTO MAP - PROPOSED KALB REMODEL
35011 CAMINO CAPISTRANO Supporting Document #3

11/26/14

11/26/14





11/26/14



11/26/14



Photo # 5



Photo # 6

11/26/14



Photo # 7

PROJECT DIRECTORY

DESIGNER:
STRUCCO
ENGINEERING & CONSTRUCTION
3303 So. CAMINO REAL
SAN CLEMENTE, CA. 92672
Ph: (949) 498-7636

CONTRACTOR:
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3303 So. CAMINO REAL
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STRUCTURAL ENGINEER:
ARCON
STRUCTURAL ENGINEERS, INC.
22391 GILBERTO, SUITE E
RANCHO SANTA MARGARITA,
CA. 92688
Ph: (949) 766-5102

HVAC:
ALL CLIMATES CONTROLLED
123 W. AVENIDA SANTIAGO
SAN CLEMENTE, CA. 92672
PHONE: 949-361-4339
LICENSE: 736103

GEOLOGIST:
SOUTH COAST GEOTECHNICAL SERVICES
24632 SAN JUAN AVENUE
SUITE 100
DANA POINT, CA. 92629
PHONE: 949-374-4100
LICENSE: CE900

SINGLE FAMILY RESIDENCE REMODEL
KALB RESIDENCE

LOT 1, BLOCK 1, TRACK: 883
LOT 8
APN 123-372-01

35011 CAMINO CAPISTRANO
CAPISTRANO BEACH, CA. 92624

RECEIVED

SEP 11 2013
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

PROJECT WILL COMPLY WITH THE:

2013 CALIFORNIA RESIDENTIAL CODE (CRC)
2013 CALIFORNIA MECHANICAL CODE (CMC)
2013 CALIFORNIA PLUMBING CODE (CPC)
2013 CALIFORNIA ELECTRICAL CODE (CEC)
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)
THE CITY OF DANA POINT LOCAL ORDINANCES

PROJECT CALCULATIONS

EXISTING FIRST FLOOR LIVABLE 2,023 SQ. FT.
EXISTING BASEMENT LEVEL LIVABLE 681 SQ. FT.
EXISTING UNUSED CRAWLSPACE 712 SQ. FT.
EXISTING GARAGE 686 SQ. FT.
EXISTING SIDE BALCONY 298 SQ. FT.

EXISTING SIDE BALCONY
TO BE REMOVED 119 SQ. FT.

NEW REAR BALCONY (ADDITION) 238 SQ. FT.
NEW FRONT BALCONY (ADDITION) 44 SQ. FT.

NEW CONVERTED LIVABLE AREA 712 SQ. FT.

NEW TOTAL LIVABLE AREA 3,416 SQ. FT.
NEW TOTAL BALCONY AREA 282 SQ. FT.

LOT COVERAGE:

TOTAL MAIN FLOOR AREA = 2,023 SQ. FT.
TOTAL LOT AREA = 10,773 SQ. FT.

LOT COVERAGE = 18.800%
ALLOWABLE LOT COVERAGE = 35.00%

PERCENTAGE OF INTERIOR WALLS
TO BE REMOVED / REPLACED = 43.6%

PERCENTAGE OF EXTERIOR WALLS
TO BE REMOVED / REPLACED = 21.7%

MAXIMUM ROOF HEIGHT FROM
TOP OF CONC. FLR. LOWER LEVEL = 20'-1 1/2"

PROJECT DESCRIPTION

1. REMOVE PORTION OF EXISTING BALCONY.
2. ADDITION TO EXISTING BALCONY.
3. REMODEL EXISTING RESIDENCE AND GARAGE AREAS.
4. RE-ROOF EXISTING ROOF WITH CONC. TILE ROOFING.
5. CONVERT 712 SQ. FT. OF UNINHABITABLE CRAWL SPACE TO HABITABLE AREA.
6. FOUNDATION UNDERPINNING.
7. RELOCATE EXISTING POSTS AT NW SIDE BALCONY.
8. NEW FRONT BALCONY AND PLANTER BOX.

PROJECT DATA

PROJECT ADDRESS:

35011 CAMINO CAPISTRANO
CAPISTRANO BEACH, CA. 92624

LEGAL DESCRIPTION:

APN: 123-372-01
LOT 1, BLOCK 1
TRACK: 883
ZONE: RESIDENTIAL
SINGLE FAMILY 3 (RSF-3)
OCCUPANCY: R3

PROPERTY OWNER:

STEVE and WENDY KALB
5670 WYNN ROAD
LAS VEGAS, NEVADA 89118
Phone: 702-241-6252
Email: steve@kalblv.com

LOT AREA:

10,773 S.F.

CONSTRUCTION TYPE:

V-B - FULL SPRINKLED
UNDER SEPARATE PERMIT

NUMBER OF STORIES:

(2) MAIN FLOOR and BASEMENT

GENERAL NOTES:

1. ALL ADDITIONS AND MODIFICATIONS SHALL BE PROTECTED PER NPFA 13D AND THE ORANGE COUNTY FIRE AUTHORITY (OCFA). A STATE LICENSED CALIFORNIA C-16 FIRE SPRINKLER CONTRACTOR OR STATE LICENSED FIRE PROTECTION ENGINEER TO PROVIDE PLANS AS A DEFERRED SUBMITTAL WITH OCFA APPROVAL PRIOR TO INSTALLATION OF THE FIRE SPRINKLER SYSTEM.
2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

INDEX OF DRAWINGS

ARCHITECTURAL:

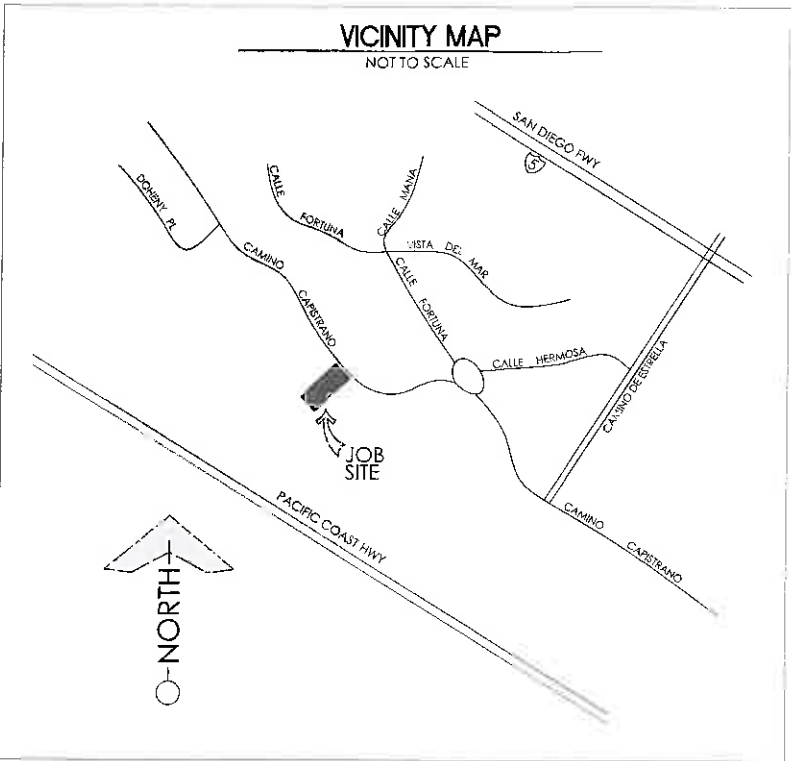
- T-1 TITLE SHEET
- A-1.1 SITE PLAN
- A-1.2 FOUNDATION PLAN
- A-2.1 DEMOLITION PLAN
- A-3.1 NEW FLOOR DIMENSION PLAN
- A-3.2 NEW FLOOR KEYNOTE PLAN
- A-4.1 EXTERIOR ELEVATIONS
- A-5.1 TYPICAL SECTIONS
- A-5.2 ROOF PLAN
- A-6.1 REFLECTIVE CEILING PLANS
- A-7.1 DOOR / WINDOW SCH. / INTER. ELEV.

LANDSCAPE:

- CS-1 COVER SHEET
- C-1 CONSTRUCTION PLAN
- C-2 CONSTRUCTION DETAILS
- L 1-1 IRRIGATION PLAN AND LEGENDS
- L 1-2 IRRIGATION NOTES AND DETAILS
- L 1-3 IRRIGATION DETAILS
- L 1-4 IRRIGATION DETAILS
- P-1 PLANTING PLAN AND LEGEND
- P-2 PLANTING DETAILS

CIVIL:

TOPOGRAPHIC SURVEY
GRADING AND DRAINAGE PLAN



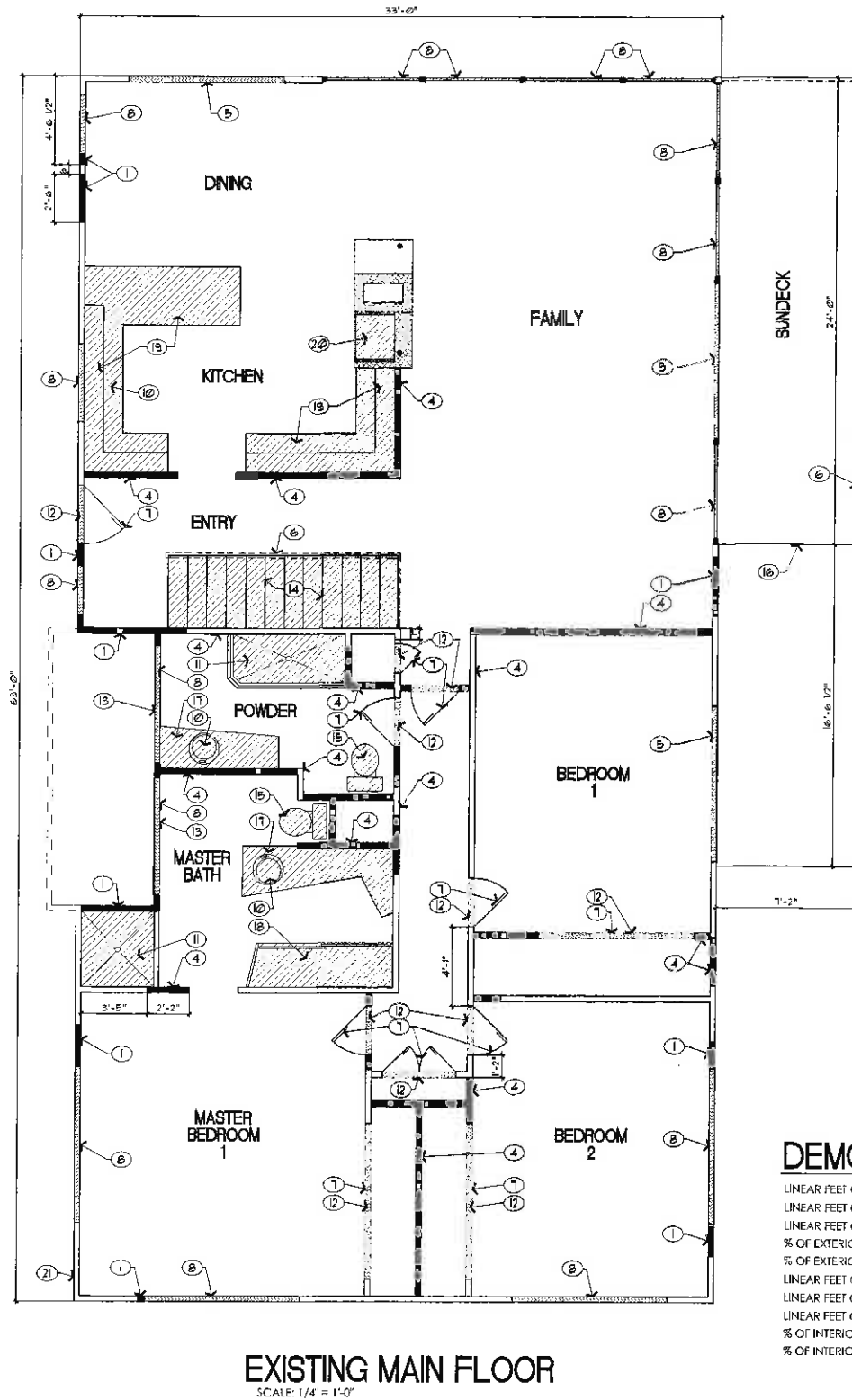
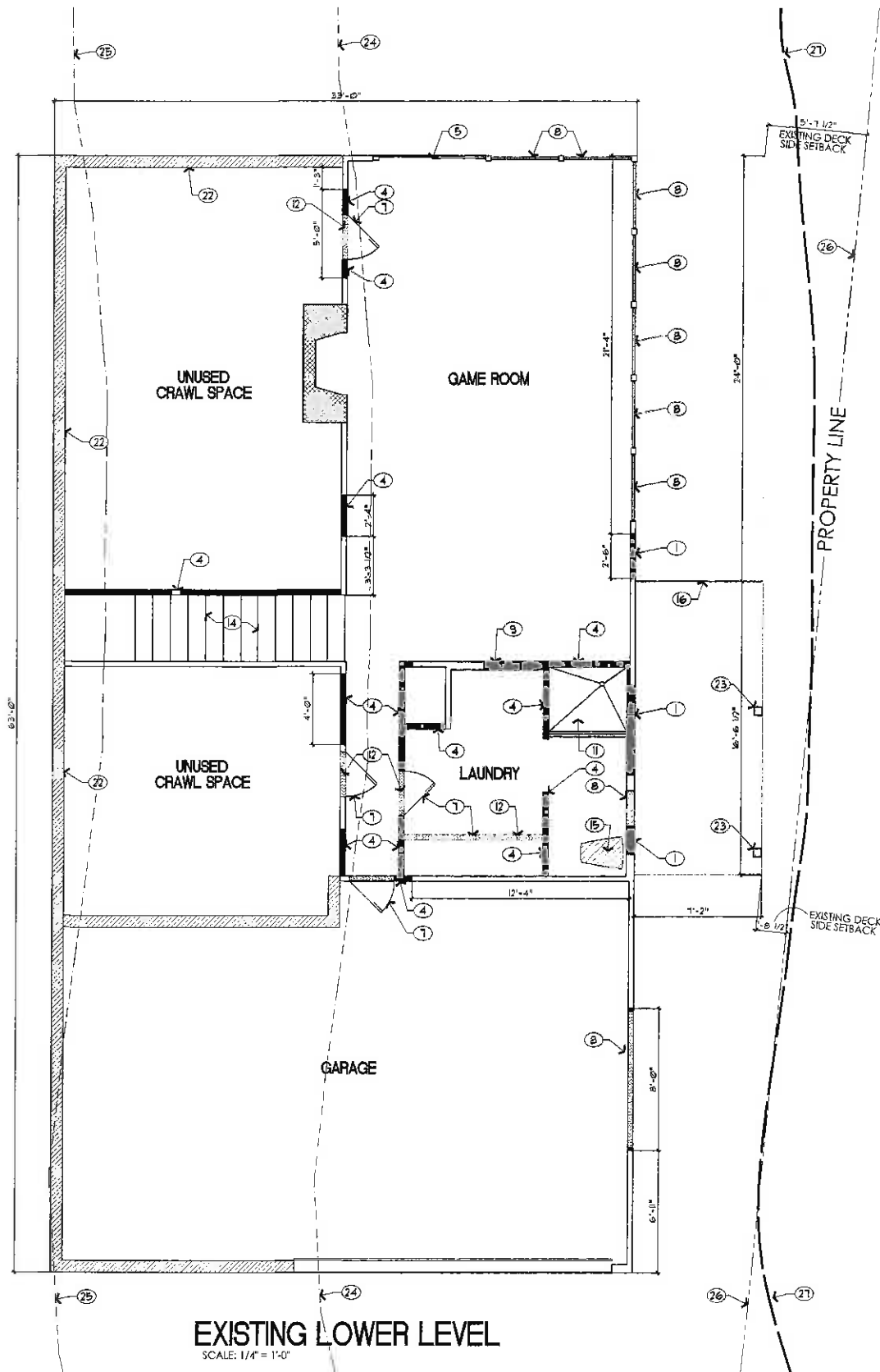
KALB RESIDENCE REMODEL
LOT 1, BLK. 1
35011 CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92624

9 - 9 - 15
140416-1

123-372-01
TITLE SHEET

NO SCALE

T - 1



DEMO PLAN KEYNOTES

1. REMOVE EXISTING STUCCO, DRYWALL AND WOOD STUDS.
2. REMOVE EXISTING STUCCO AND DRYWALL ONLY.
3. REMOVE EXISTING STUCCO ONLY.
4. REMOVE EXISTING PORTION OF INTERIOR WALL.
5. REMOVE EXISTING SLIDING GLASS DOOR.
6. EXISTING HANDRAIL AND GUARDRAIL UPGRADES FOR CODE COMPLIANCE.
7. REMOVE EXISTING DOOR UNIT.
8. REMOVE EXISTING WINDOW UNIT.
9. REMOVE EXISTING PLUMBING WALL AND CAP OFF UNUSED PLUMBING LINES.
10. REMOVE EXISTING SINK AND CAP OFF PLUMBING.
11. REMOVE EXISTING SHOWER STALL, PLUMBING, FLOORING AND WAINSCOT.
12. REMOVE EXISTING PORTION OF WALL AND HEADER ABOVE EXISTING DOOR UNIT.
13. REMOVE EXISTING PORTION OF WALL AND HEADER ABOVE EXISTING WINDOW UNIT.
14. REMOVE EXISTING WOOD STAIRS.
15. REMOVE EXISTING TOILET AND CAP OFF PLUMBING.
16. EXISTING BALCONY BEAM JOISTS AND FLOOR PLANKS TO REMAIN.
17. REMOVE EXISTING CABINET, COUNTER TOP AND BATHROOM SINK AND CAP OFF PLUMBING LINES.
18. REMOVE EXISTING CLOSET CABINET.
19. REMOVE EXISTING CABINETS, COUNTER TOPS AND UPPER CABINETS.
20. REMOVE EXISTING DBLE. OVEN.
21. RELOCATE EXISTING ELECTRICAL METER BOX.
22. EXISTING FOUNDATION WALL AND FOOTINGS VARY IN DEPTH.
23. EXISTING DECK POST TO BE RELOCATED.
24. BLUFF 25' SETBACK LINE (SEE SITE PLAN SHEET A-1.1).
25. BLUFF 40' SETBACK LINE (SEE SITE PLAN SHEET A-1.1).
26. PROPERTY LINE SEE SITE PLAN SHEET A-1.1.
27. BLUFF EDGE SEE SITE PLAN SHEET A-1.1.

DEMO LEGEND

| | |
|--|--|
| EXISTING WALLS TO REMAIN | |
| EXISTING WALL TO BE REMOVED | |
| EXISTING WINDOW OR DOOR OPENING TO BE REMOVED | |
| EXISTING FOUNDATION WALL | |
| EXISTING CABINET, PLUMBING FIXTURE, FLOOR DECKING AREA AND STAIRWELL AREAS TO BE REMOVED | |
| EXISTING HIREPLACE STRUCTURE TO REMAIN | |

DEMO NOTES :

| | |
|--|--------|
| LINEAR FEET OF EXISTING EXTERIOR WALLS | 374 |
| LINEAR FEET OF EXTERIOR WALLS TO BE REMOVED / REPLACED | 81.16 |
| LINEAR FEET OF EXTERIOR WALLS TO REMAIN UNCHANGED | 292.84 |
| % OF EXTERIOR WALLS TO BE REMOVED / REPLACED | 21.7% |
| % OF EXTERIOR WALLS TO REMAIN UNCHANGED | 78.3% |
| LINEAR FEET OF EXISTING INTERIOR WALLS | 319.33 |
| LINEAR FEET OF INTERIOR WALLS TO BE REMOVED / REPLACED | 139.41 |
| LINEAR FEET OF INTERIOR WALLS TO REMAIN UNCHANGED | 187.75 |
| % OF INTERIOR WALLS TO BE REMOVED / REPLACED | 43.6% |
| % OF INTERIOR WALLS TO REMAIN UNCHANGED | 56.4% |

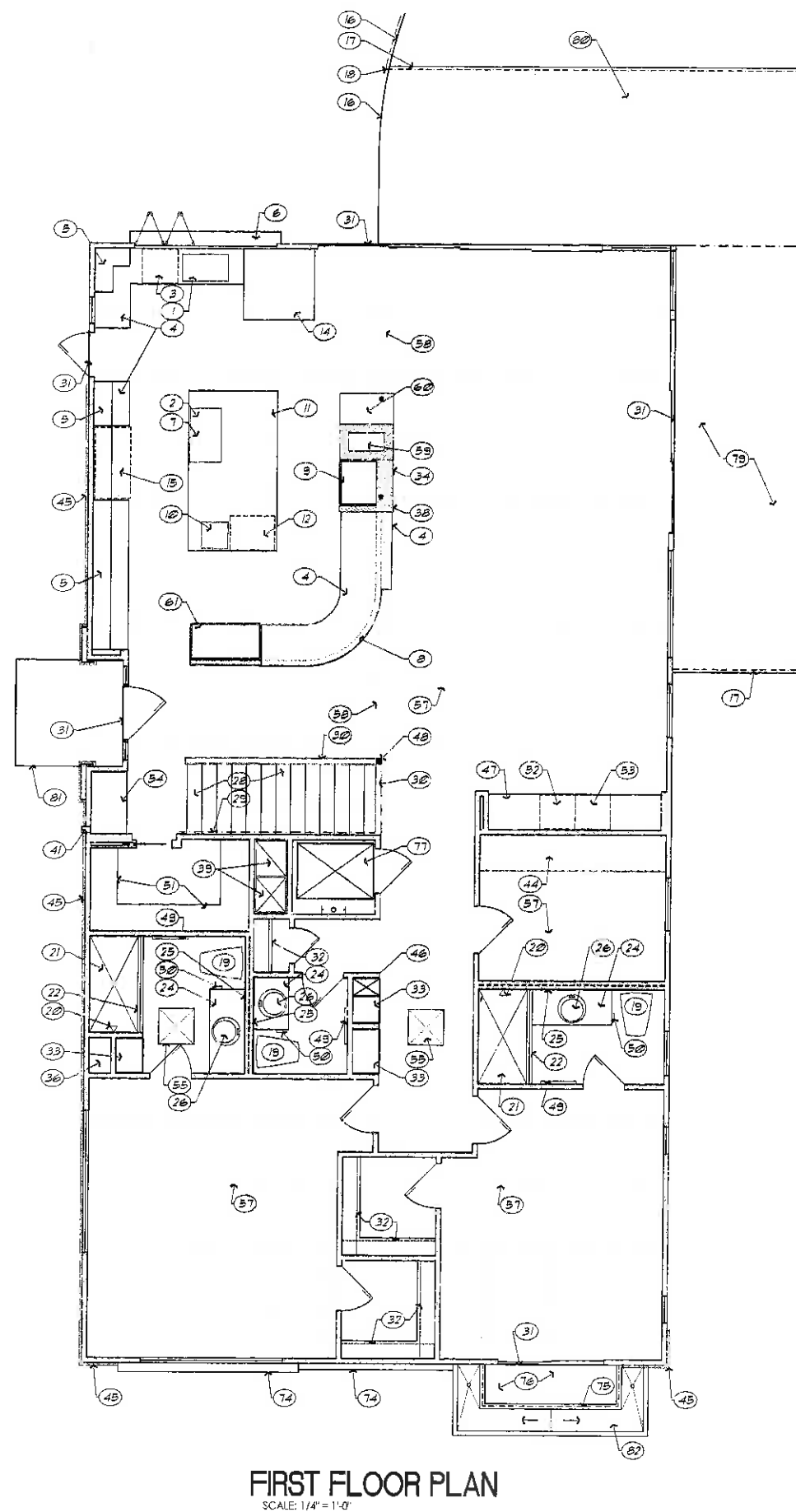
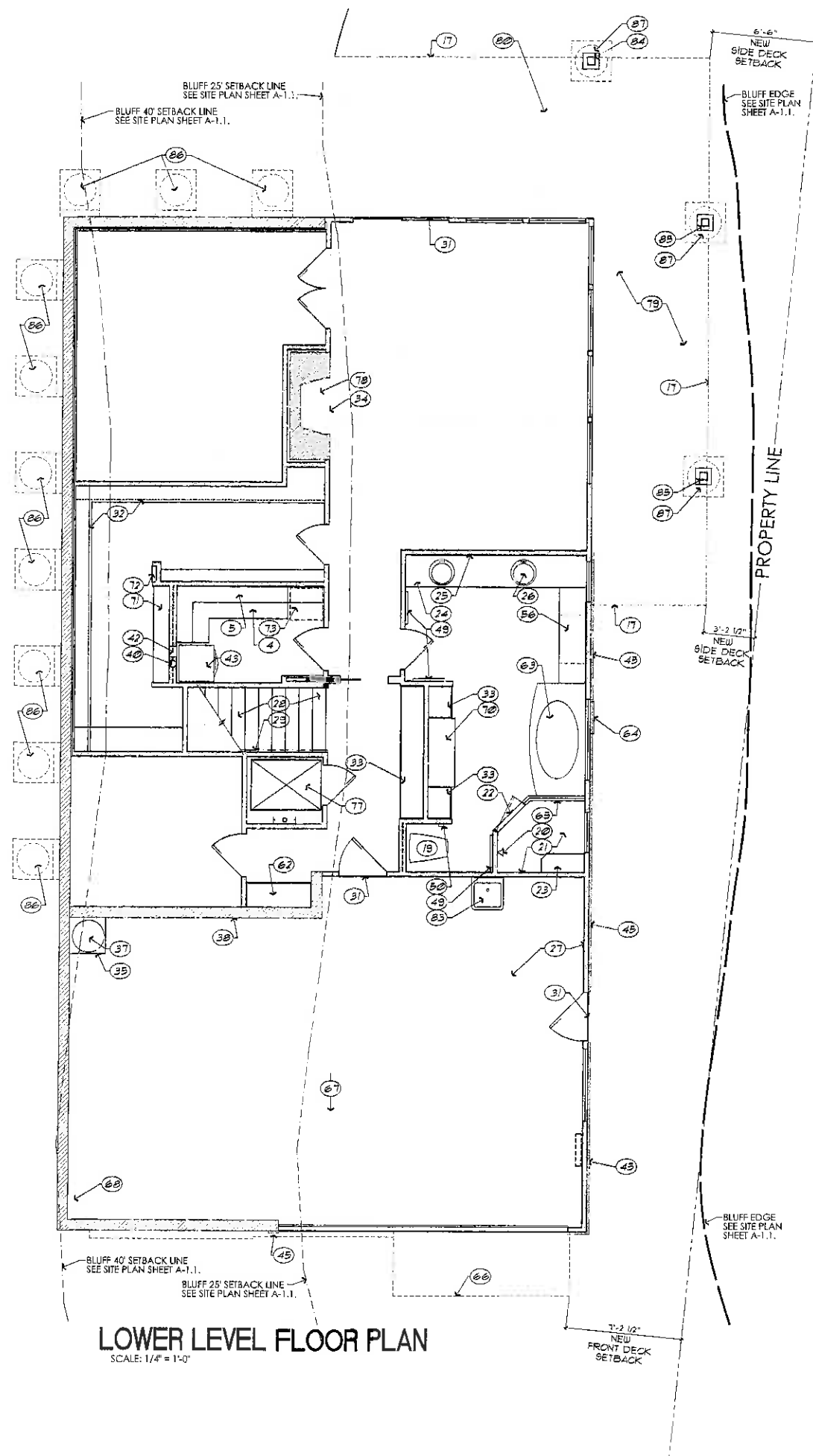
KALB RESIDENCE REMODEL
LOT 1, BLK. 1
35011 CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92624

PROJECT NO: 140416-1
JOB NO: 140416-1

DEMOLITION
FLOOR
PLANS

DRAWING SCALE: 1/4" = 1'-0"
SHEET NO: 1

A-2.1



FLR. PLAN KEYNOTES:

- KITCHEN SINK w/ GARB. DISP. (PER OWNER).
- COOK TOP RANGE w/ HOOD. (PER OWNER).
- DISHWASHER LOCATION.
- COUNTER TOP @ 36" A.F.F. - MATERIAL (PER OWNER).
- WALL MOUNTED UPPER CABINETS. SEE INTER. ELEV.
- EXTERIOR LAMAL COUNTER AT 42" (PER OWNER).
- EXHAUST HOOD ABOVE COOK TOP RANGE (MUST OVERLAP RANGE SIDES BY 3" EACH SIDE)
- 2x4 STUD FRAME PONY WALL UNDER COUNTER TOP. VERIFY HGT. w/ CABINET MAKER.
- DOUBLE OVENS. (PER OWNER).
- ISLAND SINK w/ GARB. DISP. (PER OWNER).
- ISLAND COUNTER TOP @ 36" A.F.F. (PER OWNER).
- VEGETABLE REFRIGERATOR DRAWER (PER OWNER).
- PANTRY SHELVING PAINTED. (PER OWNER).
- 42" HGT. COUNTER TOP.
- 48" WIDE REFRIG. / FREEZER LOCATION. (PER OWNER).
- EDGE OF CONC. PATIO.
- EDGE OF WOOD DECK BALCONY.
- NEW 42" HGT. GUARDRAIL PER CODE (PER OWNER).
- WATER CLOSET. (PER OWNER).
- SHOWER HEAD PER OWNER. VERIFY HGT. & LOCATION.
- SHOWER WAINSCOT AT 7'-0" HGT. AND SLOPED WATERPROOF FLOORING (PER OWNER).
- 4" HGT. SHOWER DADA TO MATCH SHOWER WALLS.
- SHOWER SEAT AT 20" HGT. w/ WATERPROOF FINISH SLOPE TO DRAIN TO SHOWER FLOOR.
- BATH BASE CABINETS w/ COUNTER TOP @ 36" A.F.F.
- MIRROR (PER OWNER). SEE INTERIOR ELEVATIONS.
- BATHROOM SINK (PER OWNER).
- 5/8" GYPSUM BOARD, TYPE "X" ONE HOUR RATED @ ALL GARAGE WALLS AND CEILING CONSTRUCTED WITH WOOD. CONC. WALLS TO REMAIN UNCOVERED.
- STEPS: w/ EQ. RISERS AND TREADS - SEE SECTION DETAIL.
- HANDRAIL AT 34" ABOVE NOSE OF TREADS TYPE BY OWNER (PER CODE). OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
- GUARDRAIL AT 42" ABV. FLR. BY OWNER PER CODE. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
- EDGE OF INTERIOR FLOORING PROVIDE THRESHOLD BY DOOR MANUFACTURE.
- CLOSET MEDITE SHELVING AND METAL ROD.
- LINEN CABINET w/ MEDITE MATERIAL SHELVES.
- FLAT SCREEN T.V. LOCATION. (PER OWNER).
- 18" HGT. PLYWOOD PLATFORM WITH 5/8" TYPE "X" DRYWALL FINISH, UNDER WATER HEATER.
- VOID SPACE.
- WATER HEATER SEE PLUMBING PLANS.
- EXISTING WALL TO REMAIN.
- AIR CONDITION DUCT CHASE SEE MECHANICAL PLANS.
- DRYER VENT CONNECTION LOCATION. VERIFY w/ MANUFACTURE FOR RECOMMENDED LOCATION.
- DRYER VENT TERMINATION LOCATION TO EXTERIOR.
- WASHER BOX LOCATION, SEE PLUMBING PLANS.
- STACKED WASHER AND DRYER LOCATION.
- 30" HGT. BUILT-IN DESK (PER OWNER).
- FLAT STONE VENEER (PER OWNER). SEE EXTERIOR ELEVATIONS.
- LAUNDRY CHUTE. SEE INTERIOR ELEVATIONS.
- ENTERTAINMENT WALL CABINET. SEE INTERIOR ELEVATIONS.
- STRUCTURAL WOOD POST SEE STRUCTURAL DRAWINGS.
- TOWEL BAR (PER OWNER) VERIFY LOCATION AND PROVIDE SOLID BACKING FOR SUPPORT.
- TISSUE PAPER HOLDER LOCATION.
- PAINTED MEDITE SHELVING (PER OWNER).
- UNDER COUNTER WINE COOLER (PER OWNER).
- UNDER COUNTER BEVERAGE COOLER (PER OWNER).
- BUILT-IN WINE COOLER UNIT (PER OWNER).
- SKYLIGHT WINDOW UNIT (PER OWNER).
- MAKE-UP VANITY COUNTER TOP @ 30" HGT. AND OPEN KNEE SPACE (PER OWNER).
- EXISTING EXPOSED WOOD BEAM RAFTERS TO REMAIN.
- EXISTING EXPOSED WOOD RIDGE BEAM TO REMAIN.
- EXISTING CHIMNEY SMOKE STACK TO REMAIN.
- EXISTING FIRE PLACE OPENING TO REMAIN.
- BUILT-IN APPLIANCE PANTRY (PER OWNER).
- LINEN CABINET AND LAUNDRY CHUTE COLLECTION BIN.
- WHIRLPOOL TUB (PER OWNER).
- WHIRLPOOL TUB MOTOR ACCESS w/ KEYED STAINLESS STEEL DOOR FOR SERVICE.
- PONY WALL UNDER SHOWER GLASS ENCLOSURE. UNITS OF BALCONY ABOVE.
- GARAGE CONC. SLAB SLOPED AT 1/8" PER FT.
- NEW ELECTRICAL PANEL LOCATION.
- NEW ELECTRIC METER LOCATION.
- MAKE-UP VANITY COUNTER TOP @ 30" HGT. AND OPEN KNEE SPACE (PER OWNER).
- BUILT-IN ADJUSTABLE SHOE SHELVING (PER OWNER).
- BUILT-IN IRONING BOARD w/ ELECT. VERIFY HGT. LOCATION WITH OWNER.
- FULL HGT. REFRIGERATOR (PER OWNER).
- STUCCO FINISHED LOW WALL WITH SLOPED TOP. PROVIDE "BITUTHENE" LAYER UNDER STUCCO TOP. LAP SIDES 6".
- NEW BALCONY GUARDRAIL @ 42" HGT. (PER CODE).
- NEW BALCONY DECKING PER OWNER.
- "GARAVENTA" ELEVATOR (STYLE 1) 50" x 56-1/4" R.O. CAR SIZE = 36" x 48" SEE MANUFACTURERS SPECIFICATIONS.
- EXISTING CMU FIREPLACE TO REMAIN.
- EXISTING WOOD BALCONY DECKING TO BE REPAIRED AS NEEDED. TO BE DETERMINED DURING CONSTRUCTION.
- NEW WOOD DECK BALCONY.
- NEW STOOP SEE LANDSCAPE PLANS BY OTHERS.
- NEW PLANTER BOX WITH DRAINAGE PIPING TO GROUND LEVEL SEE PLUMBING PLANS.
- NEW MOP SINK PER OWNER.
- NEW STRUCTURAL POST (SEE STRUCTURAL DRAWINGS).
- RELOCATED STRUCTURAL POST (SEE STRUCTURAL DRAWINGS).
- NEW CAISSONS SEE STRUCTURAL PLAN SHEET S3.
- NEW CAISSONS UNDER WOOD POST SEE STRUCTURAL PLAN SHEET S3.

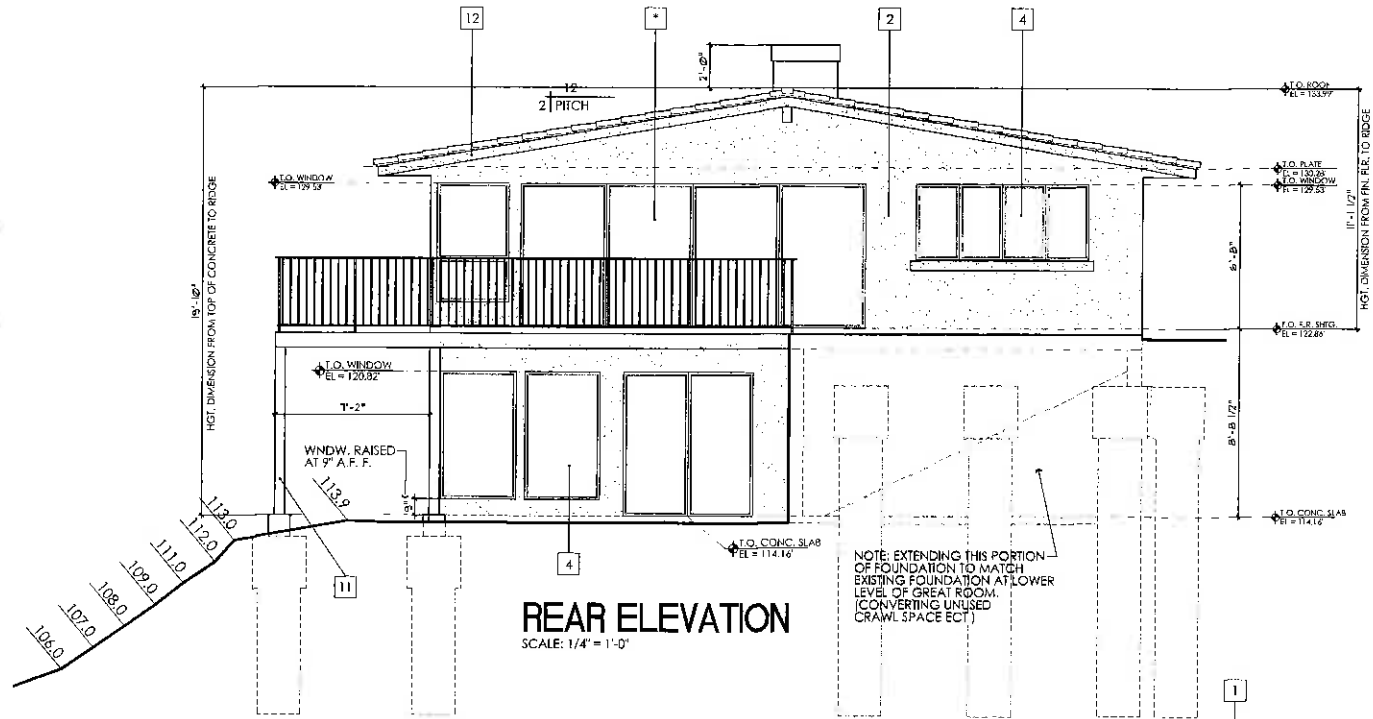
KALB RESIDENCE REMODEL
LOT 1, BLK. 1
35011 CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92624

FLR. DATE: 9 - 9 - 15
JOB NO.: 140416-1

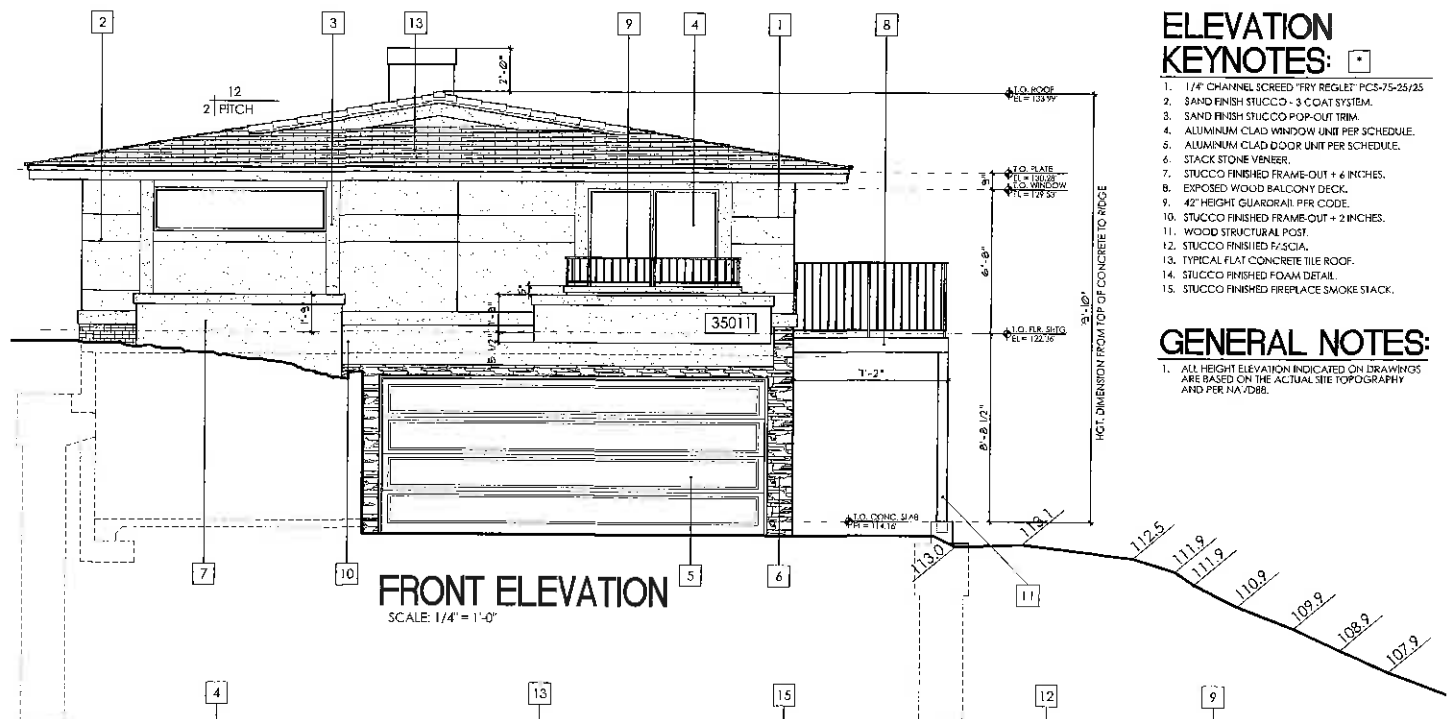
NEW FLOOR
KEYNOTES
PLAN

SCALE: 1/4" = 1'-0"

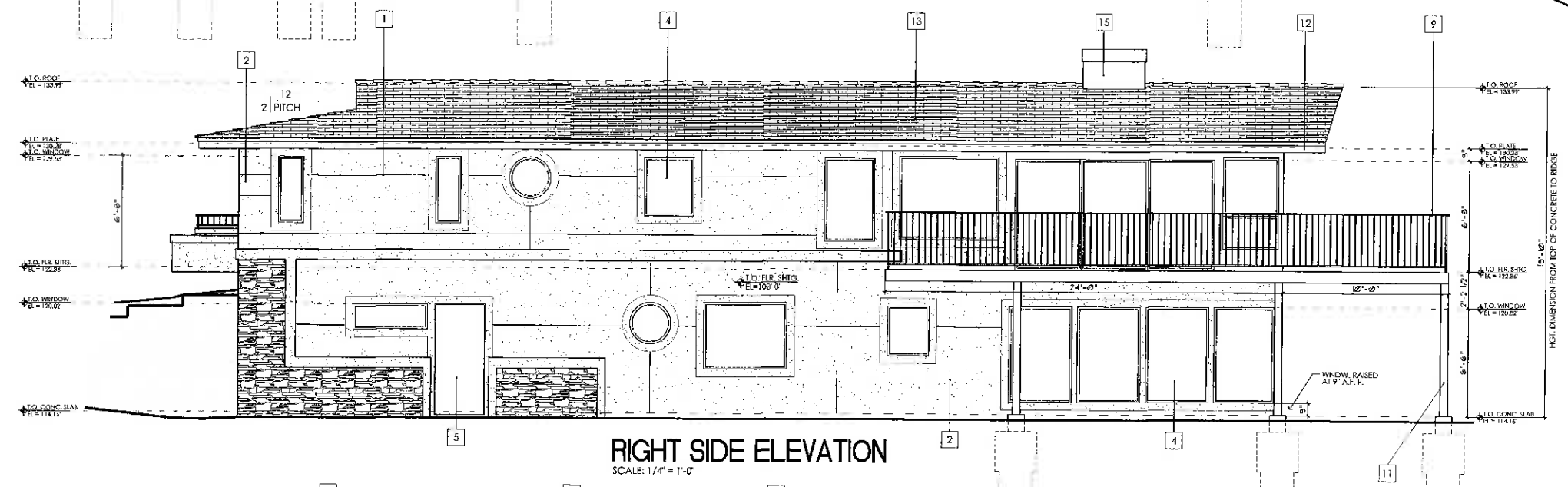
A-3.2



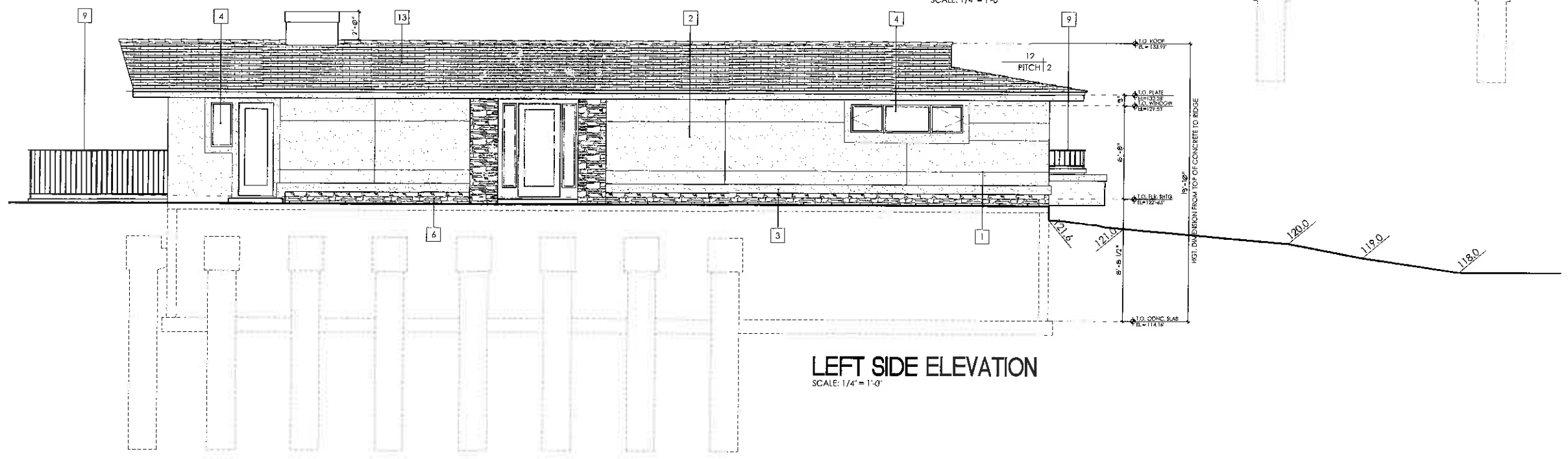
REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

- ELEVATION KEYNOTES:**
1. 1/4" CHANNEL SCREED "FRY REGLET" PCS-75-25/25
 2. SAND FINISH STUCCO - 3 COAT SYSTEM
 3. SAND FINISH STUCCO POP-OUT TRIM
 4. ALUMINUM CLAD WINDOW UNIT PER SCHEDULE
 5. ALUMINUM CLAD DOOR UNIT PER SCHEDULE
 6. STACK STONE VENEER
 7. STUCCO FINISHED FRAME-OUT + 6 INCHES
 8. EXPOSED WOOD BALCONY DECK
 9. 42" HEIGHT GUARDRAIL PER CODE
 10. STUCCO FINISHED FRAME-OUT + 2 INCHES
 11. WOOD STRUCTURAL POST
 12. STUCCO FINISHED FASCIA
 13. TYPICAL FLAT CONCRETE TILE ROOF
 14. STUCCO FINISHED FOAM DETAIL
 15. STUCCO FINISHED PRELACE SMOKE STACK

- GENERAL NOTES:**
1. ALL HEIGHT ELEVATION INDICATED ON DRAWINGS ARE BASED ON THE ACTUAL SITE TOPOGRAPHY AND PER N.A. 708.

KALB RESIDENCE REMODEL
LOT 1, BLK. 1
35011 CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92624

9 - 9 - 15
140416-1

123-372-01
EXTERIOR ELEVATIONS
DRAWN'S SCALE: 1/4" = 1'-0"

A-4.1

PROJECT DIRECTORY

DESIGNER:
STRUCCO
ENGINEERING & CONSTRUCTION
3303 So. CAMINO REAL
SAN CLEMENTE, CA. 92672
Ph. (949) 498-7636

CONTRACTOR:
STRUCCO
ENGINEERING & CONSTRUCTION
3303 So. CAMINO REAL
SAN CLEMENTE, CA. 92672
Ph. (949) 498-7636

STRUCTURAL ENGINEER:
ARCON
STRUCTURAL ENGINEERS, INC.
22391 GILBERTO, SUITE F
RANCHO SANTA MARGARITA,
CA. 92688
Ph. (949) 766-5102

HVAC:
ALL CLIMATES CONTROLLED
123 W. AVENIDA SANTIAGO
SAN CLEMENTE, CA 92672
PHONE: 949-361-4339
LICENSE: 736103

GEOLOGIST:
SOUTH COAST GEOTECHNICAL SERVICES
24432 SAN JUAN AVENUE
SUITE 100
DANA POINT, CA 92629
PHONE: 949-374-4100
LICENSE: CE900

SINGLE FAMILY RESIDENCE REMODEL
KALB RESIDENCE

LOT 1, BLOCK 1, TRACK: 883
LOT 8
APN 123-372-01

35011 CAMINO CAPISTRANO
CAPISTRANO BEACH, CA. 92624

RECEIVED

SEP 11 2015
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

PROJECT WILL COMPLY WITH THE:

2013 CALIFORNIA RESIDENTIAL CODE (CRC)
2013 CALIFORNIA MECHANICAL CODE (CMC)
2013 CALIFORNIA PLUMBING CODE (CPC)
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2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)
THE CITY OF DANA POINT LOCAL ORDINANCES

PROJECT CALCULATIONS

| | |
|---------------------------------|---------------|
| EXISTING FIRST FLOOR LIVABLE | 2,023 SQ. FT. |
| EXISTING BASEMENT LEVEL LIVABLE | 681 SQ. FT. |
| EXISTING UNUSED CRAWLSPACE | 712 SQ. FT. |
| EXISTING GARAGE | 686 SQ. FT. |
| EXISTING SIDE BALCONY | 298 SQ. FT. |

| | |
|--|-------------|
| EXISTING SIDE BALCONY TO BE REMOVED | 119 SQ. FT. |
|--|-------------|

| | |
|------------------------------|-------------|
| NEW REAR BALCONY (ADDITION) | 238 SQ. FT. |
| NEW FRONT BALCONY (ADDITION) | 44 SQ. FT. |

| | |
|----------------------------|-------------|
| NEW CONVERTED LIVABLE AREA | 712 SQ. FT. |
|----------------------------|-------------|

| | |
|------------------------|---------------|
| NEW TOTAL LIVABLE AREA | 3,416 SQ. FT. |
| NEW TOTAL BALCONY AREA | 282 SQ. FT. |

LOT COVERAGE:

| | |
|-------------------------|----------------|
| TOTAL MAIN FLOOR AREA = | 2,023 SQ. FT. |
| TOTAL LOT AREA = | 10,773 SQ. FT. |

| | |
|--------------------------|---------|
| LOT COVERAGE = | 18.800% |
| ALLOWABLE LOT COVERAGE = | 35.00% |

| | |
|--|-------|
| PERCENTAGE OF INTERIOR WALLS TO BE REMOVED / REPLACED = | 43.6% |
|--|-------|

| | |
|--|-------|
| PERCENTAGE OF EXTERIOR WALLS TO BE REMOVED / REPLACED = | 21.7% |
|--|-------|

| | |
|---|------------|
| MAXIMUM ROOF HEIGHT FROM TOP OF CONC. FLR. LOWER LEVEL = | 20'-1 1/2" |
|---|------------|

PROJECT DESCRIPTION

1. REMOVE PORTION OF EXISTING BALCONY.
2. ADDITION TO EXISTING BALCONY.
3. REMODEL EXISTING RESIDENCE AND GARAGE AREAS.
4. RE-ROOF EXISTING ROOF WITH CONC. TILE ROOFING.
5. CONVERT 712 SQ. FT. OF UNINHABITABLE CRAWL SPACE TO HABITABLE AREA.
6. FOUNDATION UNDERPINNING.
7. RELOCATE EXISTING POSTS AT NW SIDE BALCONY.
8. NEW FRONT BALCONY AND PLANTER BOX.

PROJECT DATA

PROJECT ADDRESS:

35011 CAMINO CAPISTRANO
CAPISTRANO BEACH, CA. 92624

LEGAL DESCRIPTION:

APN: 123-372-01
LOT 1, BLOCK 1
TRACK: 883
ZONE: RESIDENTIAL
SINGLE FAMILY 3 (RSF-3)
OCCUPANCY: R3

PROPERTY OWNER:

STEVE and WENDY KALB
5670 WYNN ROAD
LAS VEGAS, NEVADA 89118
Phone: 702-241-6252
Email: steve@kalblv.com

LOT AREA:

10,773 S.F.

CONSTRUCTION TYPE:

V-B - FULL SPRINKLED
UNDER SEPARATE PERMIT

NUMBER OF STORIES:

(2) MAIN FLOOR and BASEMENT

GENERAL NOTES:

1. ALL ADDITIONS AND MODIFICATIONS SHALL BE PROTECTED PER NFPA 13D AND THE ORANGE COUNTY FIRE AUTHORITY (OCFA). A STATE LICENSED CALIFORNIA C-16 FIRE SPRINKLER CONTRACTOR OR STATE LICENSED FIRE PROTECTION ENGINEER TO PROVIDE PLANS AS A DEFERRED SUBMITTAL WITH OCFA APPROVAL PRIOR TO INSTALLATION OF THE FIRE SPRINKLER SYSTEM.
2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

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CIVIL:

TOPOGRAPHIC SURVEY
GRADING AND DRAINAGE PLAN

KALB RESIDENCE REMODEL
LOT 1, BLK. 1
35011 CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92624

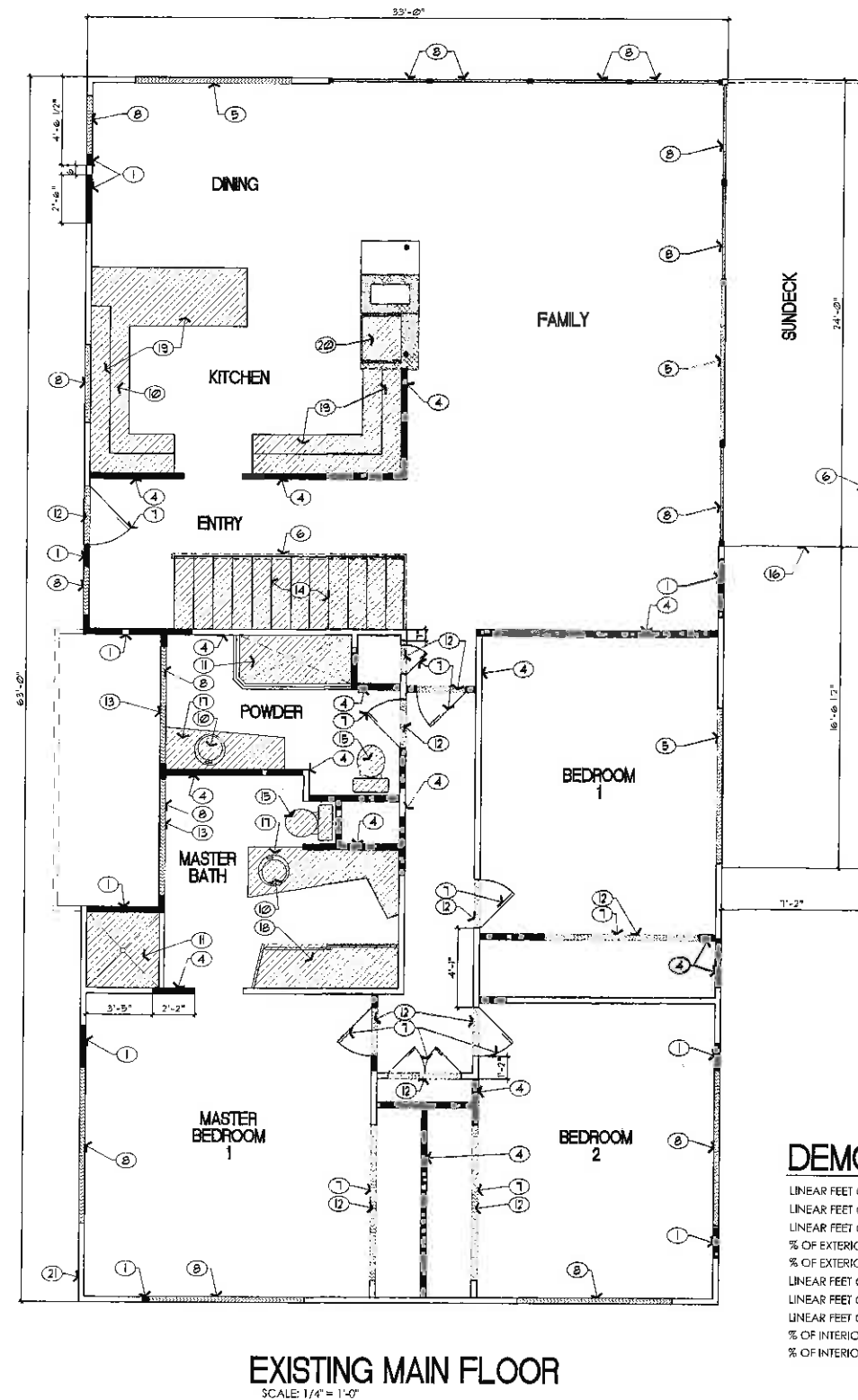
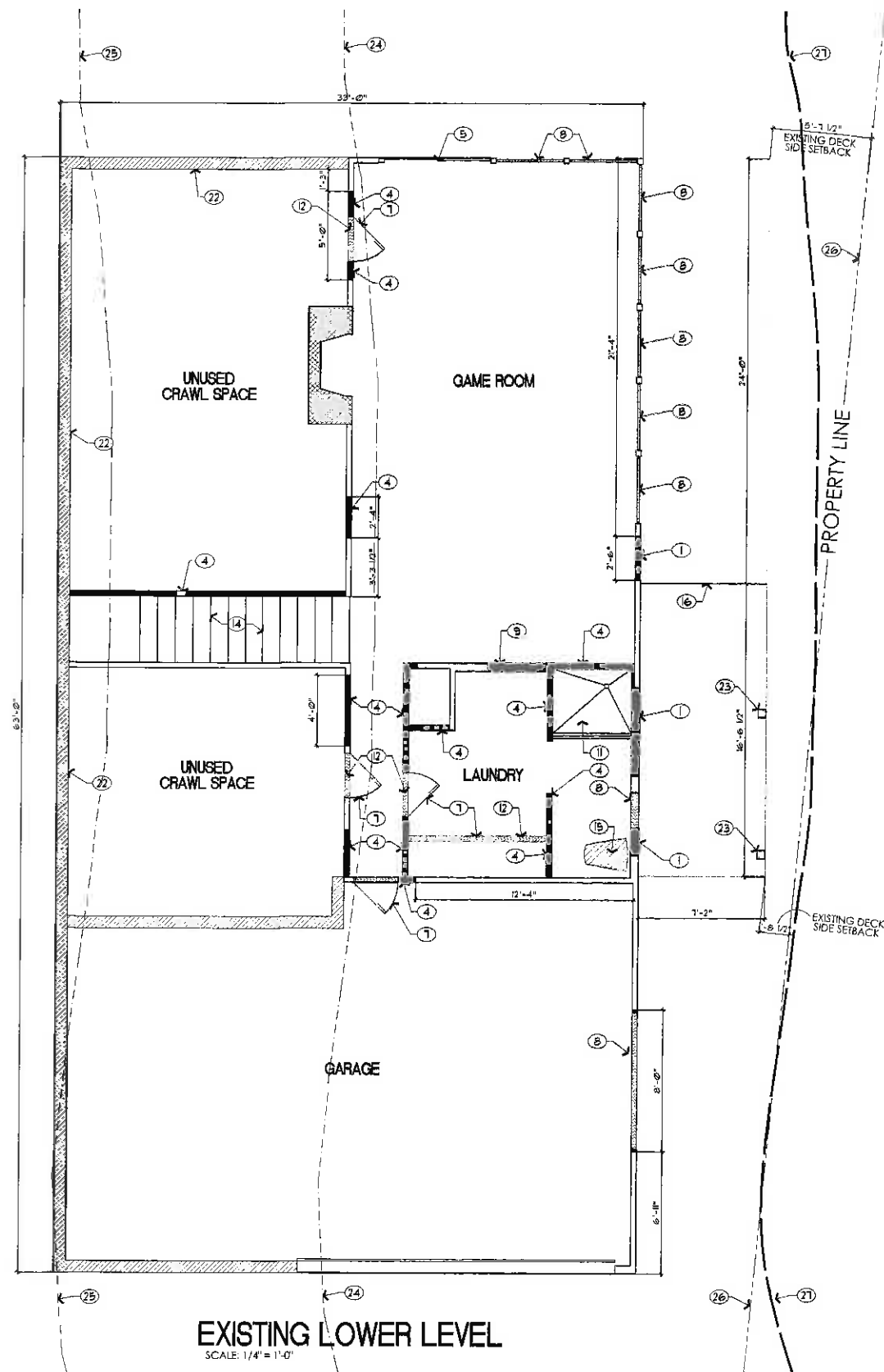
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TITLE
SHEET

NO SCALE







T - 1



DEMO PLAN KEYNOTES

1. REMOVE EXISTING STUCCO, DRYWALL AND WOOD STUDS.
2. REMOVE EXISTING STUCCO AND DRYWALL ONLY.
3. REMOVE EXISTING STUCCO ONLY.
4. REMOVE EXISTING PORTION OF INTERIOR WALL.
5. REMOVE EXISTING SLIDING GLASS DOOR.
6. EXISTING HANDRAIL AND GUARDRAIL UPGRADES FOR CODE COMPLIANCE.
7. REMOVE EXISTING DOOR UNIT.
8. REMOVE EXISTING WINDOW UNIT.
9. REMOVE EXISTING PLUMBING WALL AND CAP OFF UNUSED PLUMBING LINES.
10. REMOVE EXISTING SINK AND CAP OFF PLUMBING.
11. REMOVE EXISTING SHOWER STALL, PLUMBING, FLOORING AND WAINSCOT.
12. REMOVE EXISTING PORTION OF WALL AND HEADER ABOVE EXISTING DOOR UNIT.
14. REMOVE EXISTING PORTION OF WALL AND HEADER ABOVE EXISTING WINDOW UNIT.
15. REMOVE EXISTING WOOD STAIRS.
16. REMOVE EXISTING TOILET AND CAP OFF PLUMBING.
16. EXISTING BALCONY BEAM JOISTS AND FLOOR PLANKS TO REMAIN.
17. REMOVE EXISTING CABINET, COUNTER TOP AND BATHROOM SINK AND CAP OFF PLUMBING LINES.
18. REMOVE EXISTING CLOSET CABINET.
19. REMOVE EXISTING CABINETS, COUNTER TOPS AND UPPER CABINETS.
20. REMOVE EXISTING OVEN.
21. RELOCATE EXISTING ELECTRICAL METER BOX.
22. EXISTING FOUNDATION WALL AND FOOTINGS VARY IN DEPTH.
23. EXISTING DECK POST TO BE RELOCATED.
24. BLUFF 25' SETBACK LINE
(SEE SITE PLAN SHEET A-1.1).
25. BLUFF 40' SETBACK LINE
(SEE SITE PLAN SHEET A-1.1).
26. PROPERTY LINE SEE SITE PLAN SHEET A-1.1
27. BLUFF EDGE SEE SITE PLAN SHEET A-1.1

DEMO LEGEND

- | | |
|--|---|
| EXISTING WALLS TO REMAIN |  |
| EXISTING WALL TO BE REMOVED |  |
| EXISTING WINDOW OR DOOR OPENING TO BE REMOVED |  |
| EXISTING FOUNDATION WALL |  |
| EXISTING CABINET, PLUMBING FIXTURE, FLOOR DECKING AREA AND STAIRWELL AREAS TO BE REMOVED |  |
| EXISTING FIREPLACE STRUCTURE TO REMAIN. |  |

DEMO NOTES :

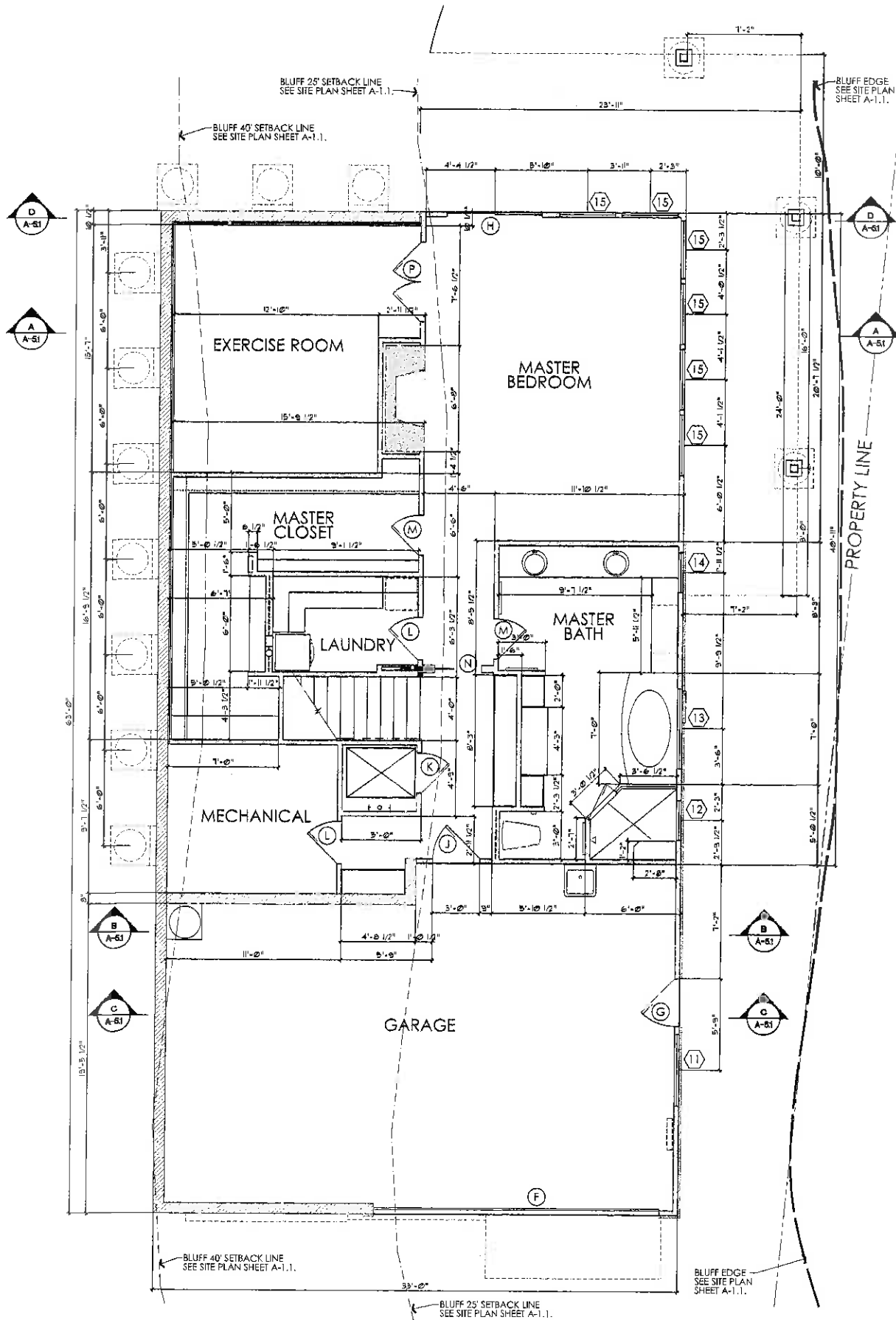
| | |
|--|--------|
| LINEAR FEET OF EXISTING EXTERIOR WALLS | 374 |
| LINEAR FEET OF EXTERIOR WALLS TO BE REMOVED / REPLACED | 81.16 |
| LINEAR FEET OF EXTERIOR WALLS TO REMAIN UNCHANGED | 292.84 |
| % OF EXTERIOR WALLS TO BE REMOVED / REPLACED | 21.7% |
| % OF EXTERIOR WALLS TO REMAIN UNCHANGED | 78.3% |
| LINEAR FEET OF EXISTING INTERIOR WALLS | 319.33 |
| LINEAR FEET OF INTERIOR WALLS TO BE REMOVED / REPLACED | 139.41 |
| LINEAR FEET OF INTERIOR WALLS TO REMAIN UNCHANGED | 187.75 |
| % OF INTERIOR WALLS TO BE REMOVED / REPLACED | 43.6% |
| % OF INTERIOR WALLS TO REMAIN UNCHANGED | 56.4% |

KALB RESIDENCE REMODEL
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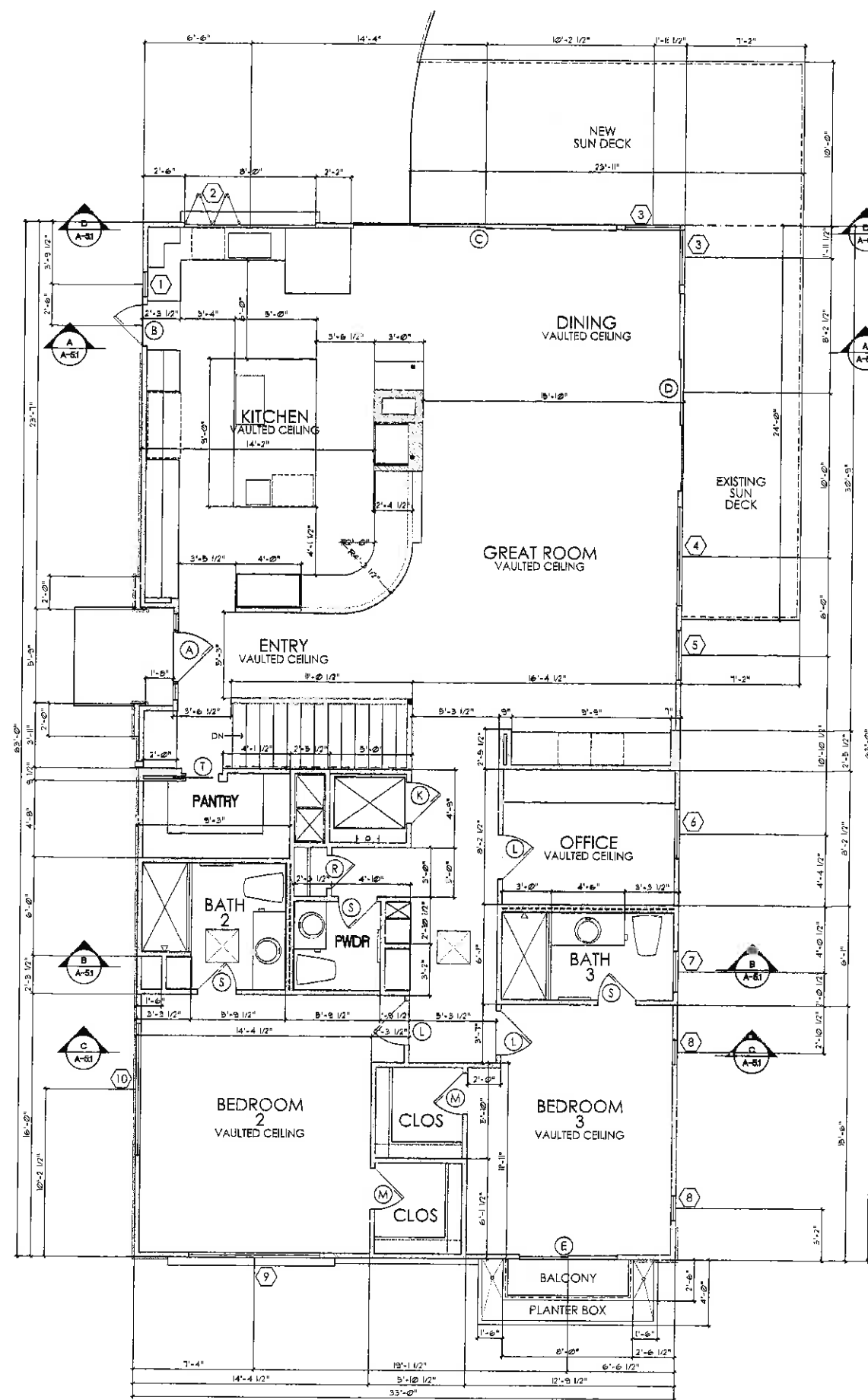
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123-372-01
DEMOLITION
FLOOR
PLANS

A-2.1



LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLR. PLAN GEN. NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2013 EDITION OF THE C.R.C. BUILDING CODE AND ALL LOCAL AND STATE AGENCIES HAVING JURISDICTION.
2. SUB-CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS PRIOR TO COMMENCING WITH ANY WORK.
3. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD. UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL COORDINATE ANY REQUIREMENTS FOR BUILT-INS, EQUIPMENT, POWER, WATER, ETC., WITH THE OWNER.
5. WHERE WALLS OCCUR AT BATHROOM, KITCHEN, WATER HEATER ROOMS, AND LAUNDRY ROOM, PROVIDE WATER RESISTANT GYPSUM BOARD.
6. PROVIDE ONE HOUR RATED 5/8" GYPSUM BOARD AT ALL WALLS AND CEILING AREAS OF GARAGE AND STORAGE AREAS WITHIN GARAGE.
7. SUB-CONTRACTORS SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANYTHING FOUND TO BE IN CONFLICT WITH ANY OF THE ABOVE MENTIONED PRIOR TO COMMENCING WITH ANY WORK.
8. ALL DRYWALL CORNERS SHALL BE 3/4" BULLNOSE.
9. PROVIDE SOUND INSULATION AT ALL BATHROOMS.
10. FOAM PLASTIC, EXCEPT WHERE OTHERWISE NOTED, SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY MIN. 1/2" GYPSUM BOARD OR AN APPROVED FINISH MATERIAL.
11. WITHIN ATTIC CRAWL SPACES WHERE ENTRY IS MADE ONLY FOR SERVICE OF UTILITIES, FOAM PLASTICS SHALL BE PROTECTED AGAINST IGNITION BY 1-1/2" RATED THICK MINER UL FIBER INSULATION, 1/4" THICK WOOD STRUCTURAL PANELS, 3/8" INCH PARTICLE BOARD, 1/4" INCH HCL BOARD, 5/8" INCH GYPSUM BOARD, OR CORROSION RESISTANT STEEL HAVING A BASE METAL THICKNESS OF 0.016 INCH.
12. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS, CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIREBLOCKED AT INTERVALS NOT EXCEEDING 10 FEET, BATT OR BLANKETS OF MINERAL OF GLASS FIBER OR OTHER APPROVED NON-ORGANIC MATERIALS SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND CONE CEILINGS.
 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
 4. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE IRC SECTION R1003.19.

FIREPLACE NOTES:

- ALL FIREPLACES SHALL COMPLY W/ THE FOLLOWING:
1. ALL OPENINGS SHALL HAVE SOLID DOORS SUCH AS GLASS, SOLID STEEL, OR CAST IRON.
 2. GAS PIPED FIREPLACES SHALL BE NOTED TO HAVE DAMPERS PERMANENTLY BLOCKED OPEN.
 3. IF THE FIREPLACE IS LOCATED IN A SLEEPING ROOM, OR AN ADJACENT BATHROOM, THEN A PERMANENT, UNOBSTRUCTED FRESH AIR SUPPLY SHALL BE PROVIDED DIRECTLY FROM THE EXTERIOR OF THE STRUCTURE TO THE BOX.
 4. TIGHT FITTING, CLOSEABLE METAL OR GLASS DOOR.
 5. OUTSIDE AIR INTAKE WITH DAMPER CONTROL.
 6. FLUE DAMPER AND CONTROL.

DOOR NOTES:

1. FRONT ENTRY DOOR SHALL HAVE WEATHER STRIPPING & METAL THRESHOLD AND BE PROVIDED W/ A LOCKSET.
2. PROVIDE PRIVACY LOCKS AT ALL BEDROOM AND BATHROOM DOORS.
3. ALL EXTERIOR DOORS SHALL HAVE WEATHER STRIPPING & METAL THRESHOLD AND BE PROVIDED W/ A LOCKSET.

SMOKE ALARMS

- SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1. IN EACH SLEEPING ROOM.
 2. OUTSIDE OF AND IN THE IMMEDIATE VICINITY OF EACH SLEEPING AREA.
 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS.
- ALL ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM ACTIVATE ALL OF THE ALARMS IN THE DWELLING.

GLASS NOTE:

- ALL GLASS SLIDING AND SWINGING DOORS AT TUBS, AND SHOWER ENCLOSURES, AND ANY GLAZING WITHIN A 24" ARC OF A DOOR, AND ANY GLAZING WITHIN 18" OF FLOOR LEVEL SHALL BE (TEMPERED GLAZED.)

WINDOW NOTES:

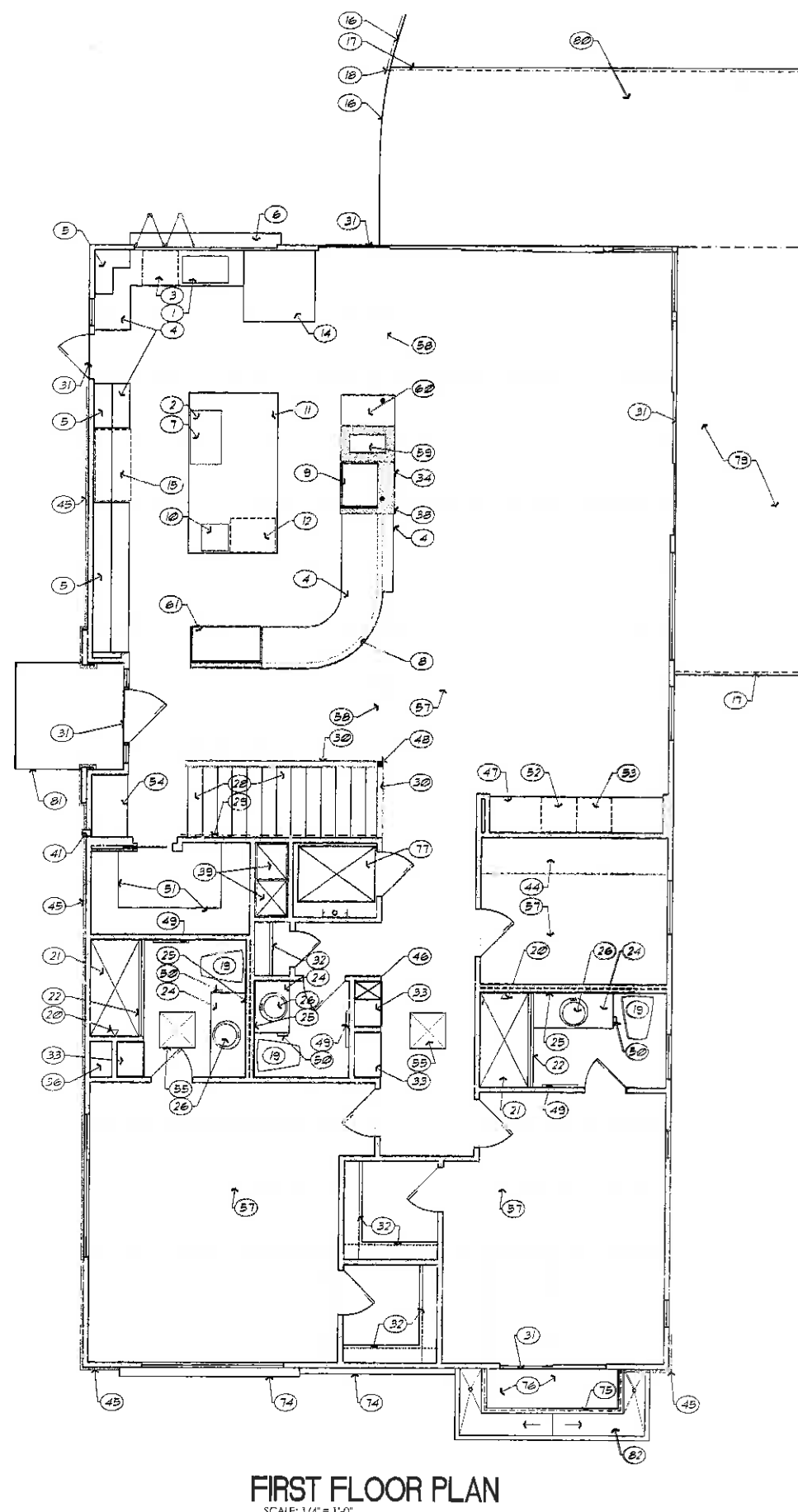
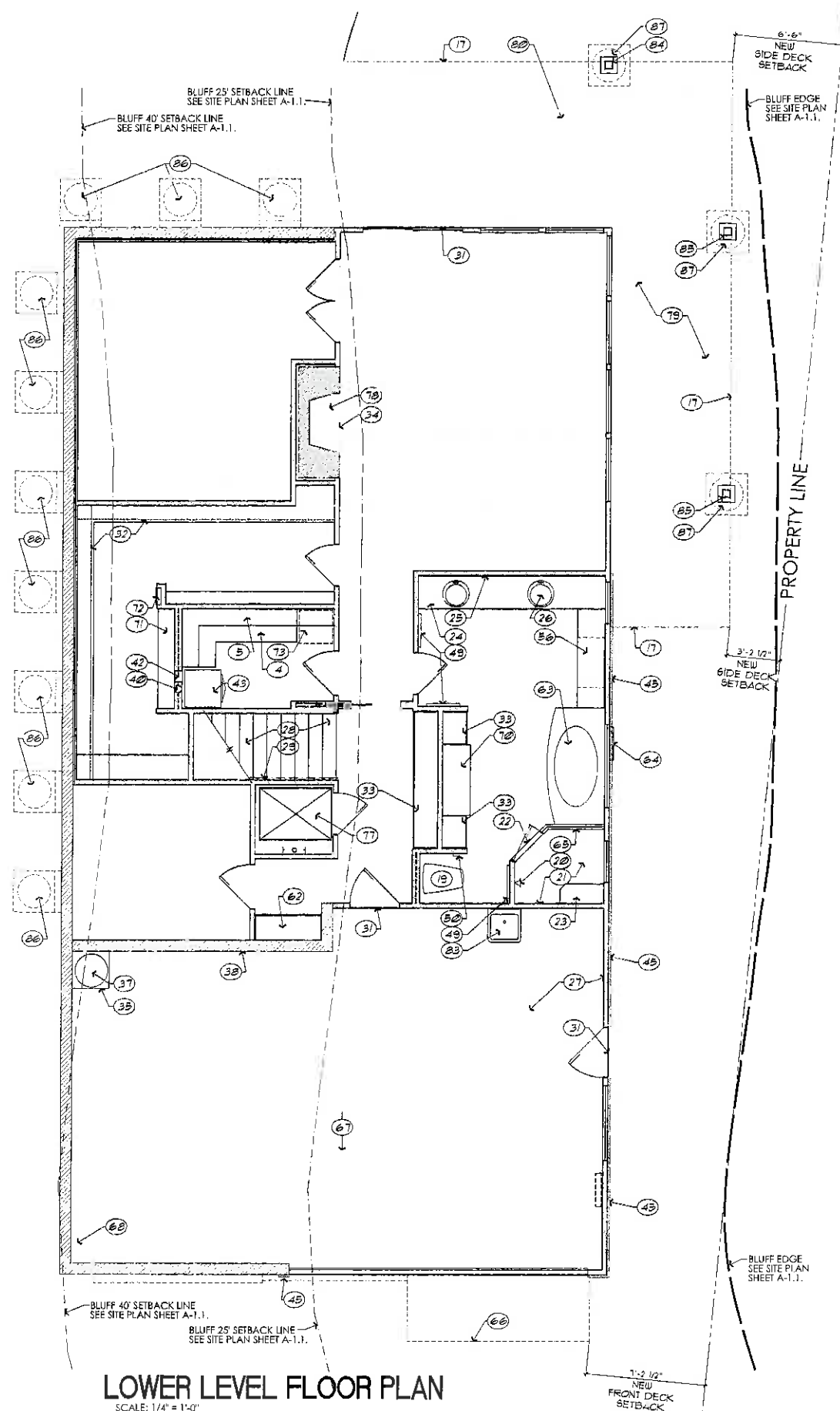
1. ALL WINDOWS TO BE THERMAL PANE GLASS DUO-PANE (U.N.O.)

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NEW
DIMENSIONED
FLOOR PLANS

A-3.1



FLR. PLAN KEYNOTES:

- KITCHEN SINK w/ GARB. DISP. (PER OWNER).
- COOK TOP RANGE w/ HOOD. (PER OWNER).
- DISHWASHER LOCATION.
- COUNTER TOP @ 36" A.F.F. - MATERIAL (PER OWNER).
- WALL MOUNTED UPPER CABINETS. SEE INTER. ELEV.
- EXTERIOR LAMAI COUNTER AT 42" (PER OWNER).
- EXHAUST HOOD ABOVE COOK TOP RANGE (MUST OVERLAP RANGE SIDES BY 3" EACH SIDE)
- 2x4 STUD FRAME PONY WALL UNDER COUNTER TOP VERIFY HGT. w/ CABINET MAKER
- DOUBLE OVENS. (PER OWNER)
- ISLAND SINK w/ GARB. DISP. (PER OWNER).
- ISLAND COUNTER TOP @ 36" A.F.F. (PER OWNER)
- VEGETABLE REFRIGERATOR DRAWER (PER OWNER).
- PANTRY SHELVING PAINTED. (PER OWNER)
- 42" HGT. COUNTER TOP.
- 48" WIDE REFRIG. / FREEZER LOCATION. (PER OWNER).
- EDGE OF CONC. PATIO.
- EDGE OF WOOD DECK BALCONY.
- NEW 42" HGT. GUARDRAIL PER CODE (PER OWNER).
- WATER CLOSET. (PER OWNER)
- SHOWER HEAD PER OWNER VERIFY HGT. & LOCATION
- SHOWER WAINSCOT AT 7'-0" HGT. AND SLOPED WATERPROOF FLOORING (PER OWNER).
- 4" HGT. SHOWER DAM. TO MATCH SHOWER WALLS.
- SHOWER SEAT AT 20" HGT. w/ WATERPROOF FINISH SLOPE TO DRAIN TO SHOWER FLOOR
- BATH BASE CABINETS w/ COUNTER TOP @ 36" A.F.F.
- MIRROR (PER OWNER). SEE INTERIOR ELEVATIONS.
- BATHROOM SINK (PER OWNER).
- 5/8" GYPSUM BOARD. TYPE "X" ONE HOUR RATED @ ALL GARAGE WALLS AND CEILING CONSTRUCTED WITH WOOD. CONC. WALLS TO REMAIN UNCOVERED.
- STEPS: w/ EQ. RISERS AND TREADS - SEE SECTION DETAIL.
- HANDRAIL AT 34" ABOVE NOSE OF TREADS TYPE BY OWNER (PER CODE). OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
- GUARDRAIL AT 42" ABV. FLR. BY OWNER-PER CODE OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH
- EDGE OF INTERIOR FLOORING PROVIDE THRESHOLD BY DOOR MANUFACTURE.
- CLOSET MEDITE SHELVING AND METAL ROD.
- LINEN CABINET w/ MEDITE MATERIAL SHELVES.
- FLAT SCREEN T.V. LOCATION. (PER OWNER).
- 18" HGT. PLYWOOD PLATFORM WITH 5/8" TYPE "X" DRYWALL FINISH. UNDER WATER HEATER.
- VOID SPACE.
- WATER HEATER SEE PLUMBING PLANS.
- EXISTING WALL TO REMAIN.
- AIR CONDITION DUCT CHASE SEE MECHANICAL PLANS.
- DRYER VENT CONNECTION LOCATION. VERIFY w/ MANUFACTURE FOR RECOMMENDED LOCATION.
- DRYER VENT TERMINATION LOCATION TO EXTERIOR.
- WASHER BOX LOCATION. SEE PLUMBING PLANS.
- STACKED WASHER AND DRYER LOCATION.
- 30" HGT. BUILT-IN DESK (PER OWNER).
- FLAT STONE VENEER (PER OWNER). SEE EXTERIOR ELEVATIONS.
- LAUNDRY CHUTE. SEE INTERIOR ELEVATIONS.
- ENTERTAINMENT WALL CABINET. SEE INTERIOR ELEVATIONS.
- STRUCTURAL WOOD POST SEE STRUCTURAL DRAWINGS.
- TOWEL BAR (PER OWNER) VERIFY LOCATION AND PROVIDE SOLID BACKING FOR SUPPORT.
- ISSUE PAPER HOLDER LOCATION.
- PAINTED MEDITE SHELVING (PER OWNER).
- UNDER COUNTER WINE COOLER (PER OWNER).
- UNDER COUNTER BEVERAGE COOLER (PER OWNER).
- BUILT-IN WINE COOLER UNIT (PER OWNER).
- SKYLIGHT WINDOW UNIT (PER OWNER).
- MAKE-UP VANITY COUNTER TOP @ 30" HGT. AND OPEN KNEE SPACE (PER OWNER).
- EXISTING EXPOSED WOOD BEAM RAFTERS TO REMAIN.
- EXISTING EXPOSED WOOD RIDGE BEAM TO REMAIN.
- EXISTING CHIMNEY SMOKE STACK TO REMAIN.
- EXISTING FIRE PLACE OPENING TO REMAIN.
- BUILT-IN APPLIANCE PANTRY (PER OWNER).
- LINEN CABINET AND LAUNDRY CHUTE COLLECTION BIN.
- WHIRLPOOL TUB (PER OWNER).
- WHIRLPOOL TUB MOTOR ACCESS w/ KEYED STAINLESS STEEL DOOR FOR SERVICE.
- PONY WALL UNDER SHOWER GLASS ENCLOSURE.
- LIMITS OF BALCONY ABOVE.
- GARAGE CONC. SLAB SLOPED AT 1/8" PER FT.
- NEW ELECTRICAL PANEL LOCATION.
- NEW ELECTRIC METER LOCATION.
- MAKE-UP VANITY COUNTER TOP @ 30" HGT. AND OPEN KNEE SPACE (PER OWNER).
- BUILT-IN ADJUSTABLE SHOE SHELVING (PER OWNER).
- BUILT-IN IRONING BOARD w/ ELECT. VERIFY HGT. LOCATION WITH OWNER.
- FULL HGT. REFRIGERATOR (PER OWNER).
- STUCCO FINISHED LOW WALL WITH SLOPED TOP. PROVIDE "BITUTHENE" LAYER UNDER STUCCO TOP. LAP SIDES 6".
- NEW BALCONY GUARDRAIL @ 42" HGT. (PER CODE).
- NEW BALCONY DECKING PER OWNER.
- "GARAVENTA" ELEVATOR (STYLE 1 U) 50" x 56-1/4" R.O. CAR SIZE = 36" x 48" SEE MANUFACTURERS SPECIFICATIONS.
- EXISTING CMU FIREPLACE TO REMAIN.
- EXISTING WOOD BALCONY DECKING TO BE REPAIRED AS NEEDED. TO BE DETERMINED DURING CONSTRUCTION.
- NEW WOOD DECK BALCONY.
- NEW STOOP SEE LANDSCAPE PLANS BY OTHERS.
- NEW PLANTER BOX WITH DRAINAGE PIPING TO GROUND LEVEL SEE PLUMBING PLANS.
- NEW MOP SINK PER OWNER.
- NEW STRUCTURAL POST (SEE STRUCTURAL DRAWINGS).
- RELOCATED STRUCTURAL POST (SEE STRUCTURAL DRAWINGS).
- NEW CARSSONS SEE STRUCTURAL PLAN SHEET S3.
- NEW CARSSONS UNDER WOOD POST SEE STRUCTURAL PLAN SHEET S3.

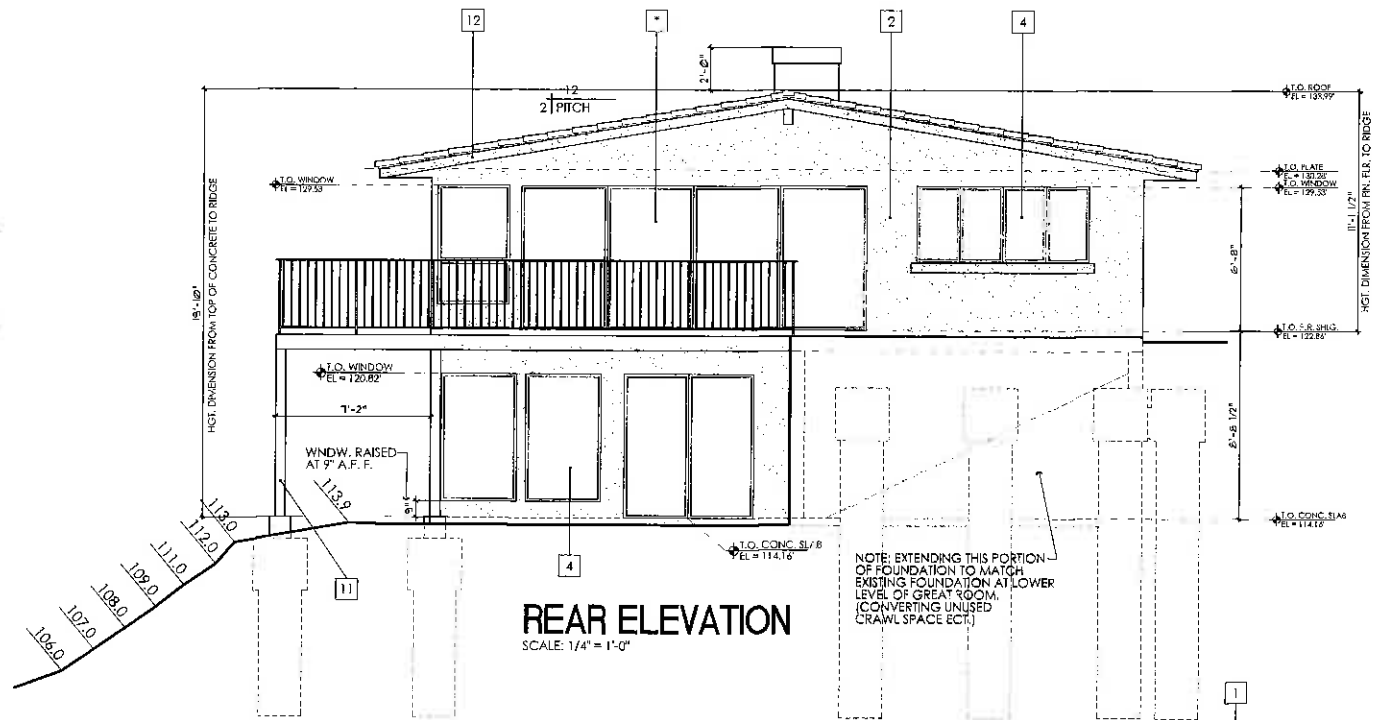
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PLOT DATE: 9 - 9 - 15
JOB NO.: 140416-1

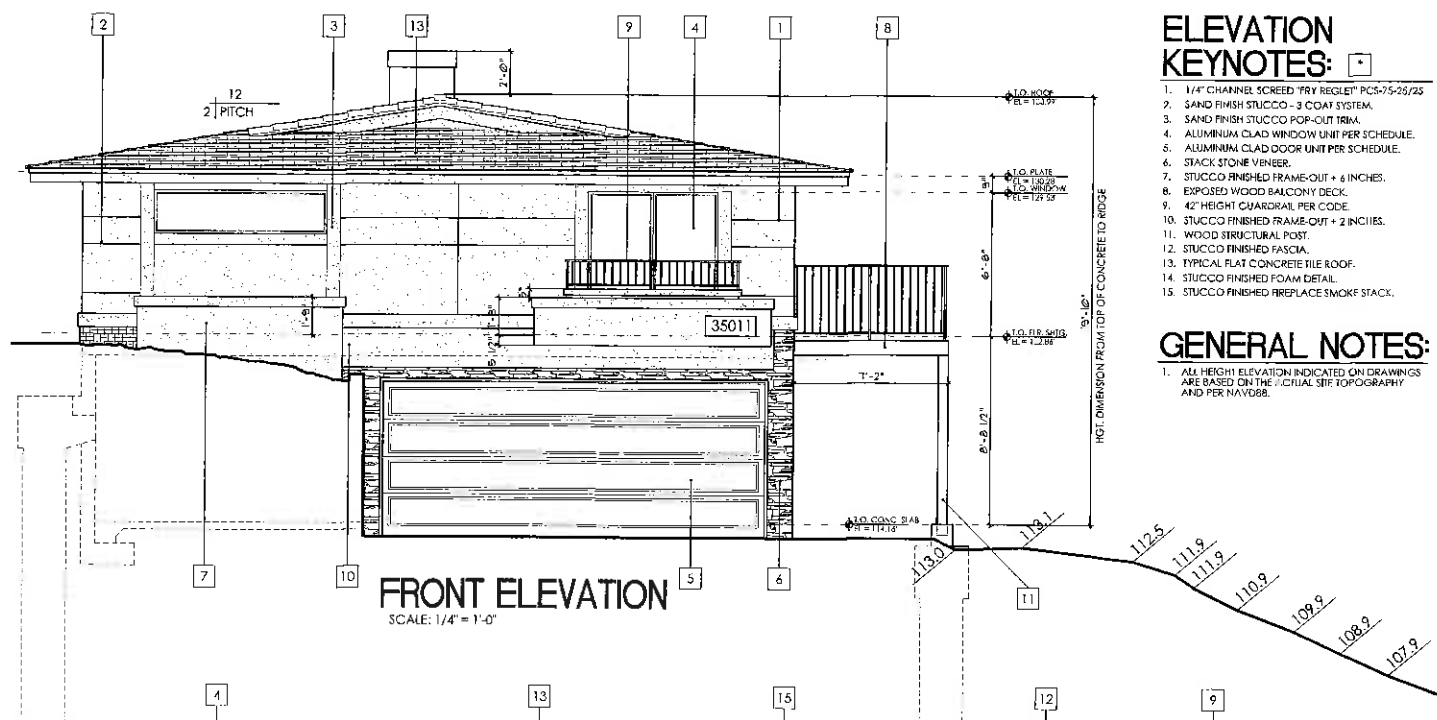
123-372-01
NEW FLOOR KEYNOTES PLAN

DRAWING SCALE: 1/4" = 1'-0"

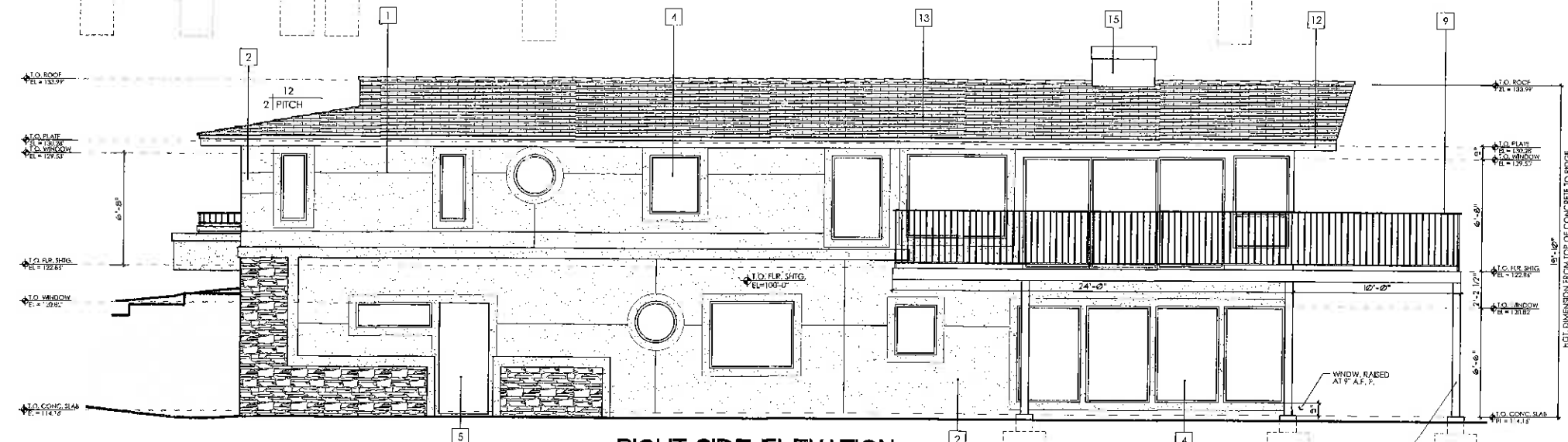
A-3.2



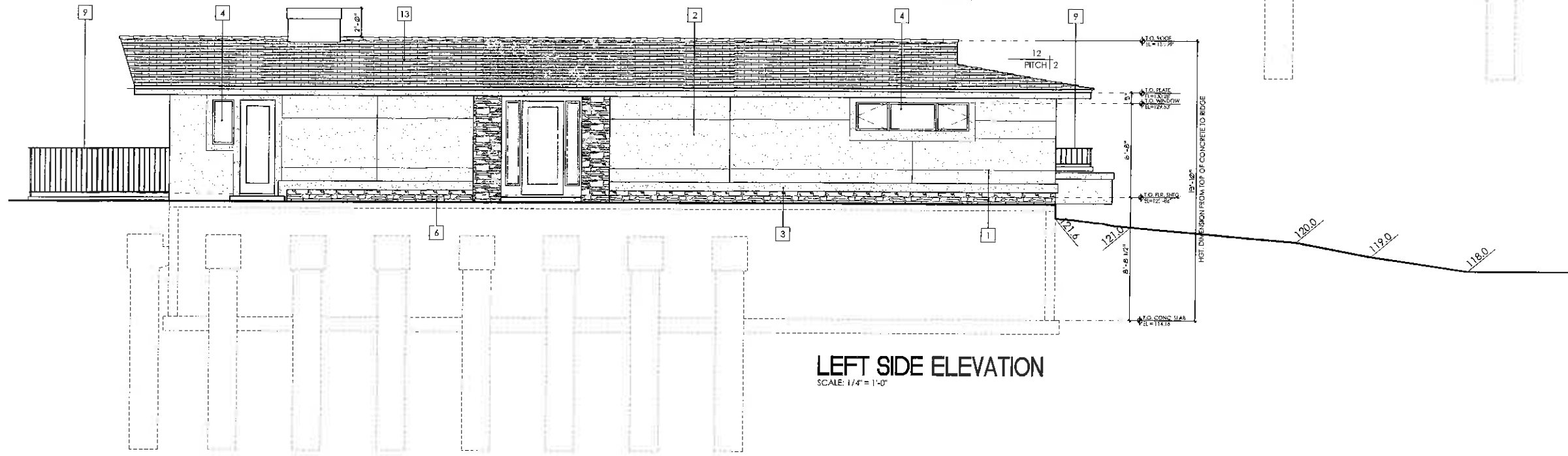
REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

- ELEVATION KEYNOTES:**
1. 1/4" CHANNEL, SCALED "TRY REGLET" PCS-75-25/25
 2. SAND FINISH STUCCO - 3 COAT SYSTEM
 3. SAND FINISH STUCCO POP-OUT TRIM
 4. ALUMINUM CLAD WINDOW UNIT PER SCHEDULE
 5. ALUMINUM CLAD DOOR UNIT PER SCHEDULE
 6. STACK STONE VENEER
 7. STUCCO FINISHED FRAME-OUT + 6 INCHES
 8. EXPOSED WOOD BALCONY DECK
 9. 42" HEIGHT QUADRILAR PER CODE
 10. STUCCO FINISHED FRAME-OUT + 2 INCHES
 11. WOOD STRUCTURAL POST
 12. STUCCO FINISHED FASCIA
 13. TYPICAL FLAT CONCRETE TILE ROOF
 14. STUCCO FINISHED FOAM DETAIL
 15. STUCCO FINISHED FIREPLACE SMOKE STACK

GENERAL NOTES:

1. ALL HEIGHT ELEVATION INDICATED ON DRAWINGS ARE BASED ON THE ACTUAL SITE TOPOGRAPHY AND PER NAVD83.

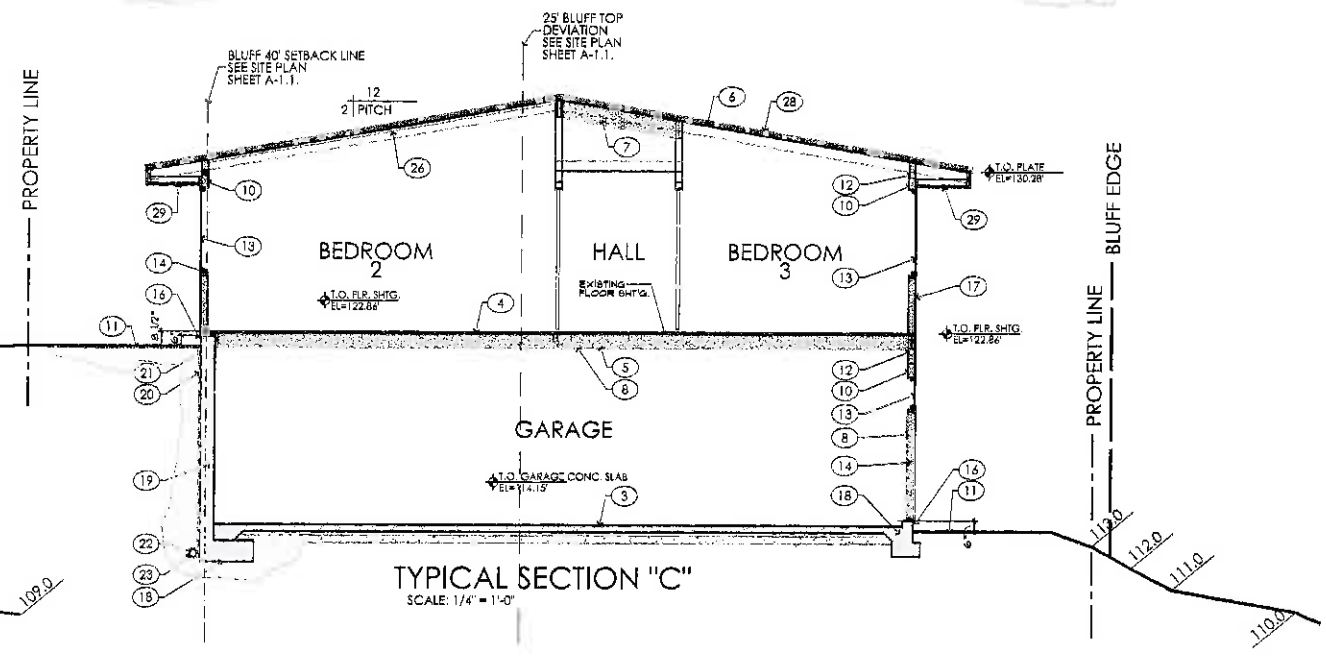
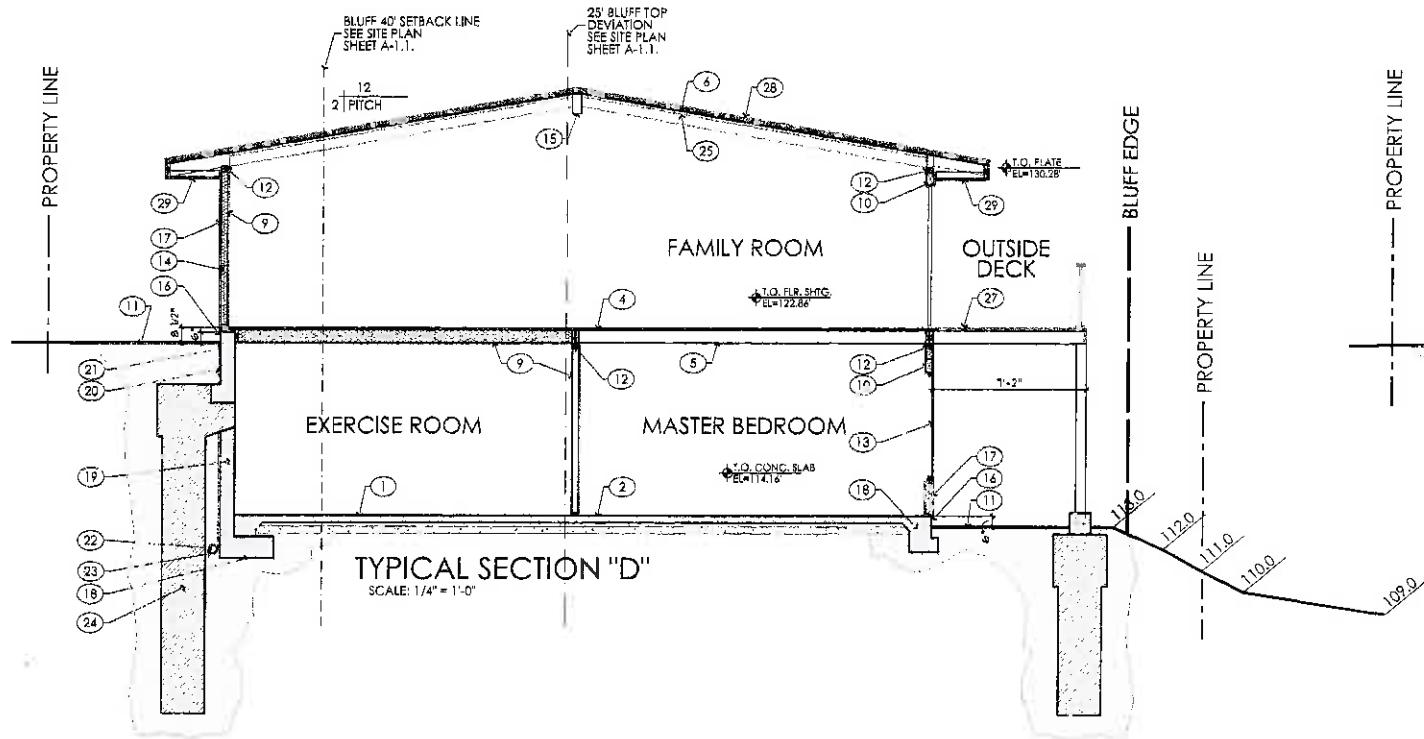
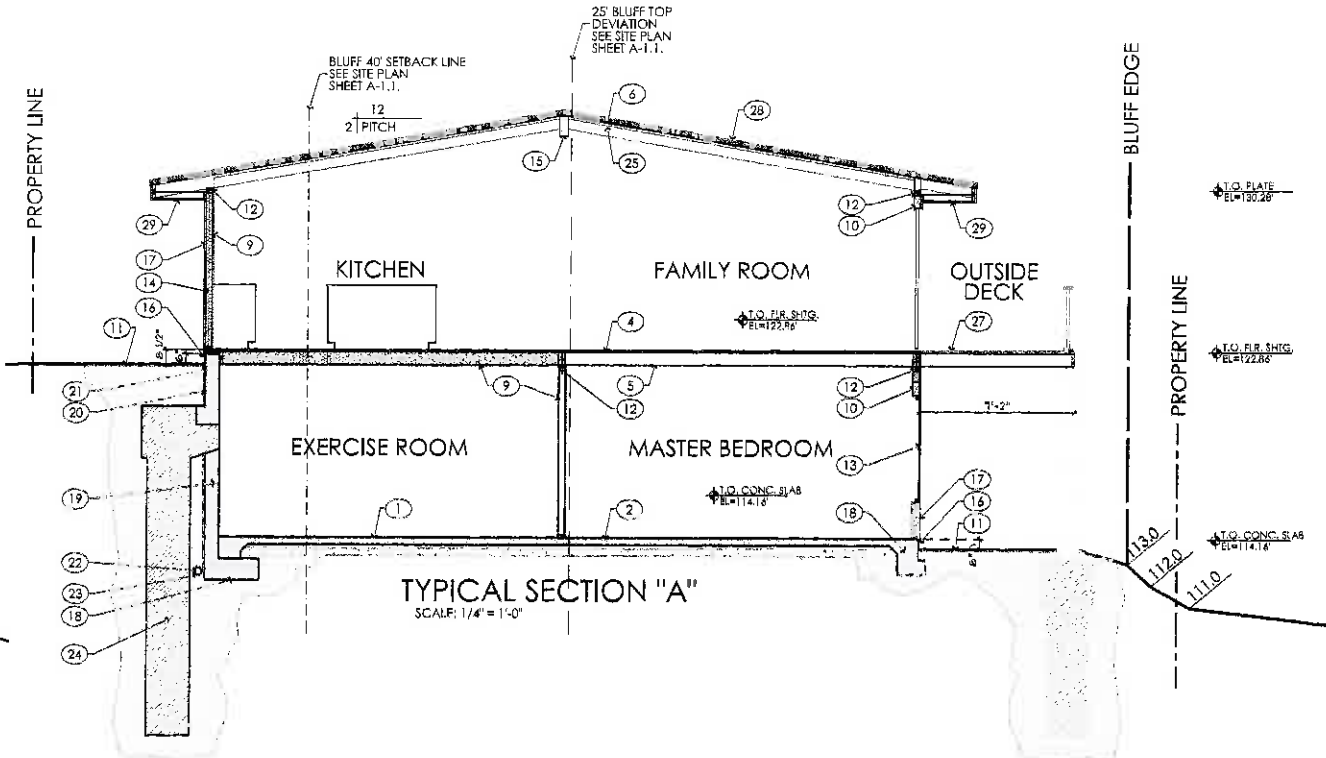
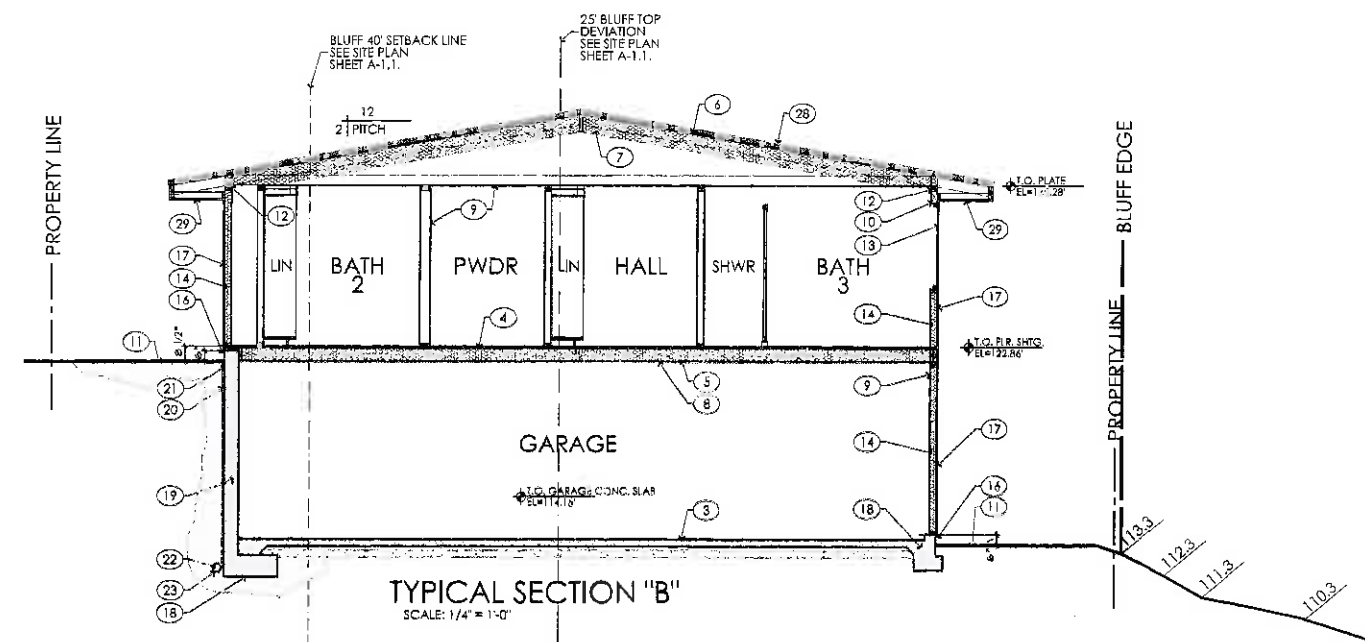
KALB RESIDENCE REMODEL
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DANA POINT, CALIFORNIA 92624

LOT DATE: 9-9-15
JOB NO.: 140416-1

APN #: 123-372-01
SHEET TITLE: EXTERIOR ELEVATIONS

DRAWING SCALE: 1/4" = 1'-0"

A-4.1



BUILDING SECT. KEYNOTES:

1. NEW 4" THICK CONCRETE FLOOR SEE STRUCTURAL FOUNDATION PLAN.
2. EXISTING 4" THICK CONCRETE SLAB.
3. EXISTING 4" THICK CONCRETE GARAGE SLAB.
4. EXISTING FLOOR SHEATHING TO REMAIN.
5. EXISTING BEAM FLOOR JOISTS TO REMAIN.
6. PLYWOOD ROOF SHEATHING SEE STRUCTURAL.
7. R-30 ROOF INSULATION.
8. 5/8" TYPE "X" DRYWALL ONE HOUR RATED.
9. 5/8" DRYWALL TYPICAL U.N.O. AT WALLS AND CEILING.
10. WOOD HEADER (SEE STRUCTURAL).
11. FINISH GRADE: LEVEL MIN. 6" BELOW TOP OF SLAB.
12. 2x DRIE TOP PLATE.
13. WINDOW UNIT (PER PLAN).
14. 2x STUD FRAME WALL WITH BATT INSULATION.
15. WOOD BEAM SEE STRUCTURAL PLANS.
16. PROVIDE A CORROSION-RESISTANT METAL WEEP SCREEN (3 1/2" VERT. X 26 GAUGE) AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM A 653. PLACE SCREEN MINIMUM 4" ABOVE EARTH AND 2" ABOVE PAVED SURFACES. THE WEATHER RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE. DO NOT COVER THE WEEP HOLES. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREEN.
17. EXTERIOR WALL CONSTRUCTION: 3-COAT 7/8" THICK PORTLAND CEMENT PLASTER OVER CORROSION-RESISTANT METAL LATH OVER MINIMUM 1/2" WEATHER-RESISTANT SHEATHING PAPER. 6/32" PLYWOOD SHEATHING FASTENED AT MINIMUM 6" O.C. EDGES AND 12" O.C. FIELD (UNOT) TO THE WALL FRAMING WITH 8d COMMONS 0" 2x WALL STUDS SPACED AT NOT MORE THAN 16" O.C. UNLESS NOTED OTHERWISE ON THE PLANS.
18. CONCRETE FOOTING SEE STRUCTURAL PLANS.
19. CONCRETE WALL SEE STRUCTURAL DRAWINGS.
20. "MIRADRAIN" PRE-FAB DRAINAGE COMPOSITE OVER URETHANE PLASTICS U-7010 SINGLE COMPONENT LIQUID POLYURETHANE WATER PROOFING LIQUID.
21. "URETHANE PLASTIC" U-7010 SINGLE COMPONENT LIQUID WATER PROOFING LIQUID ON CONCRETE WALL AND FOOTING.
22. 6" DIAMETER PERFORATED DRAIN PIPE SLOPE AS REQUIRED FOR DRAINAGE (LAY PIPE SO AS PERFORATIONS FACE BOTTOM).
23. FABRIC TO LAP DRAINAGE PIPE.
24. NEW CARSON SEE STRUCTURAL DRAWINGS.
25. EXISTING WOOD TONGUE AND GROOVE CEILING.
26. WOOD TONGUE AND GROOVE CEILING.
27. EXISTING WOOD DECKING TO BE REPAIR/RED.
28. CONCRETE TILE ROOFING.
29. STUCCO OVER HIGH RIBBED METAL LATH.

SECTION GEN. NOTES:

1. ALL HEIGHT ELEVATIONS INDICATED ON DRAWINGS ARE IN CONJUNCTION WITH 1000'-0" HEIGHT ELEVATION INDICATED ON THE TYPICAL SECTION PLAN SHEETS.
2. ALL INTERIOR NON-LOAD BEARING WALLS MUST BE 3/4" SEPARATED FROM ALL TRUSS OR JOIST FRAMING ABOVE.
3. ALL EXTERIOR STUD WALLS & AIR CONDITIONED OR HEATED SPACES TO BE INSULATED AS PER SCHEDULE PROVIDED.
4. PROVIDE 5/8" GYP. BOARD AT ALL INTERIOR WALLS AND ALL INTERIOR CEILING AREAS U.N.O.
5. PROVIDE SOUND INSULATION BETWEEN FLOORS.
6. UNLESS NOTED OTHERWISE ON THE PLANS, PROVIDE AND INSTALL ALL METAL FLASHING IN ACCORDANCE WITH THE CURRENT EDITION OF THE ARCHITECTURAL SHEET METAL MANUAL PUBLISHED BY "SMACNA" (THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION).
7. FLASHINGS SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS, AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER PENETRATIONS THROUGH THE ROOF PLANE. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHICHEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS, WHERE FLASHING IS OF METAL, USE CORROSION-RESISTANT NO. 26 GALVANIZED STEEL GAUGE.
8. DRAFTSTOPPING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R302.12.
9. FIREBLOCKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R302.11.
10. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.
11. ROOF AREA DRAFTSTOPPING REQUIREMENTS: (SEE SECTION 718.4.3) DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET.

BLDG SECT. GEN. NOTES

1. ALL HEIGHT ELEVATION INDICATED ON DRAWINGS ARE BASED ON THE ACTUAL SITE TOPOGRAPHY AND PER NAVD83.
2. ALL INTERIOR NON-LOAD BEARING WALLS MUST BE 3/4" SEPARATED FROM ALL TRUSS OR JOIST FRAMING ABOVE.
3. ALL EXTERIOR STUD WALLS & AIR CONDITIONED OR HEATED SPACES TO BE INSULATED AS PER SCHEDULE PROVIDED.
4. PROVIDE 5/8" GYP. BOARD AT ALL INTERIOR WALLS AND ALL NEW INTERIOR CEILING AREAS U.N.O.

INSULATION LEGEND

- | | |
|------------------------------|-----------------|
| 1. 2X4 EXTERIOR WALLS = | R-22 INSULATION |
| 2. 2X4 EXTERIOR WALLS = | R-22 INSULATION |
| 3. LIVABLE CEILING = | R-38 INSULATION |
| 4. LIVABLE FLOOR w/ GARAGE = | R-19 INSULATION |

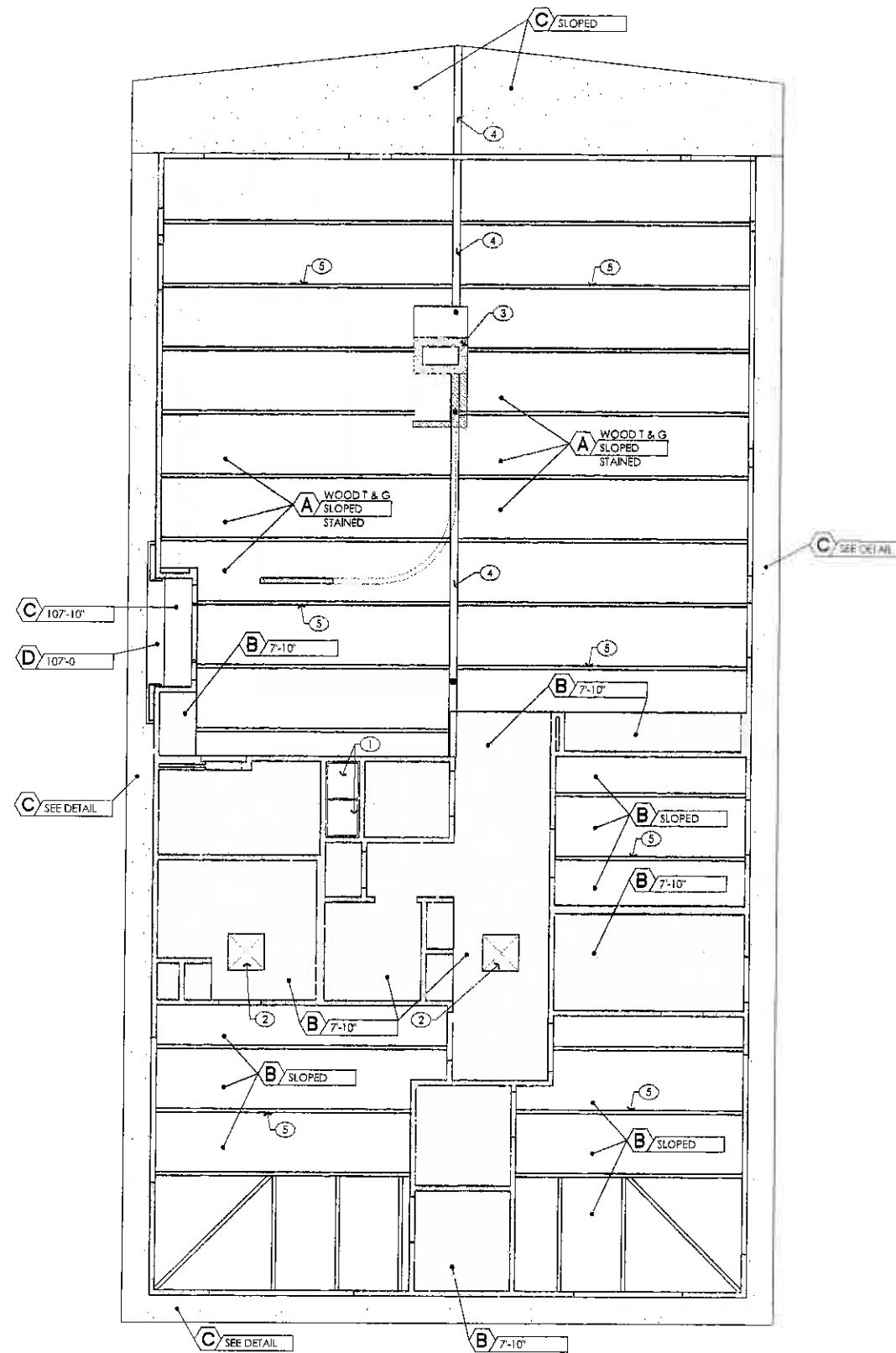
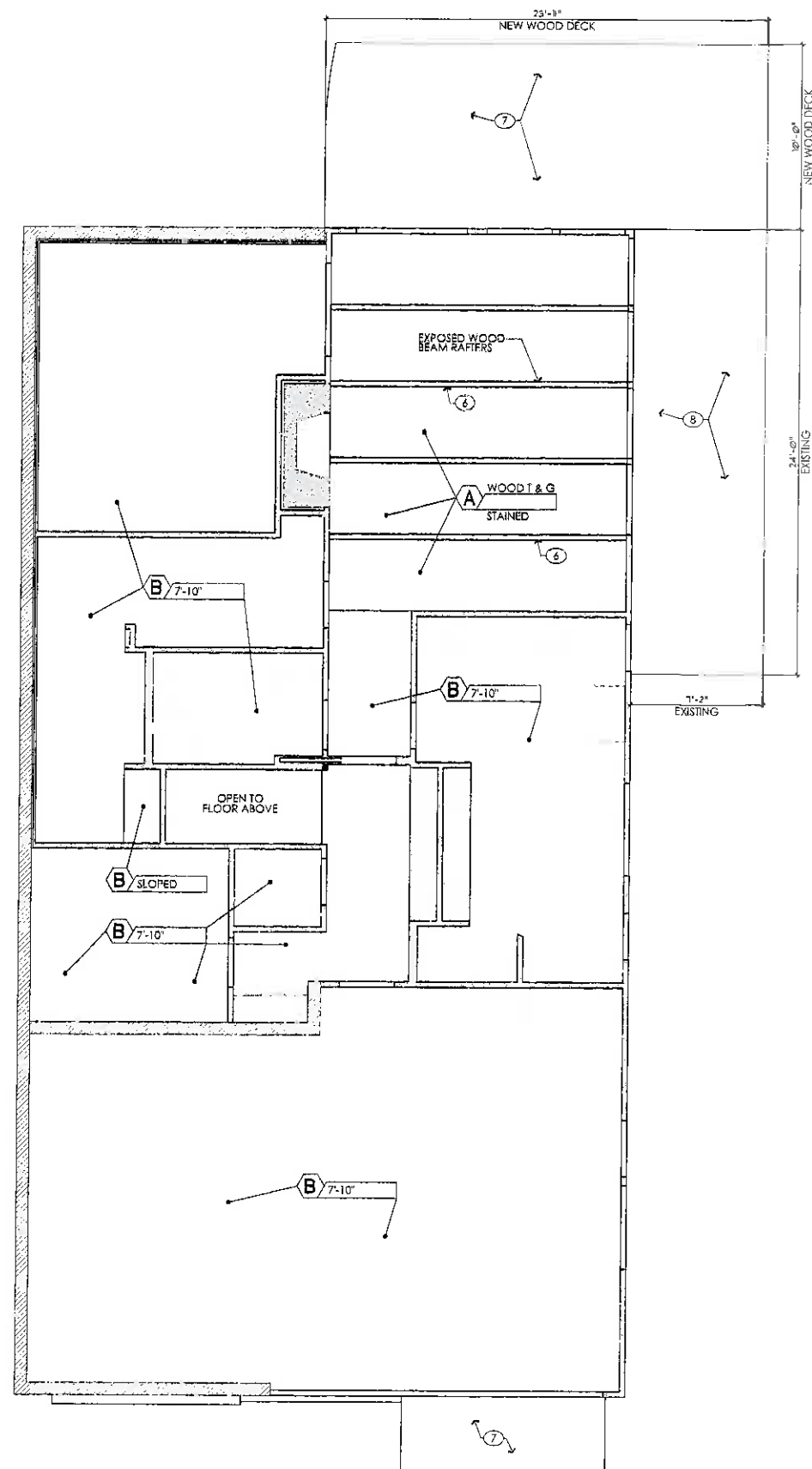
KALB RESIDENCE REMODEL
LOT 1, BLK. 1
35011 CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92624

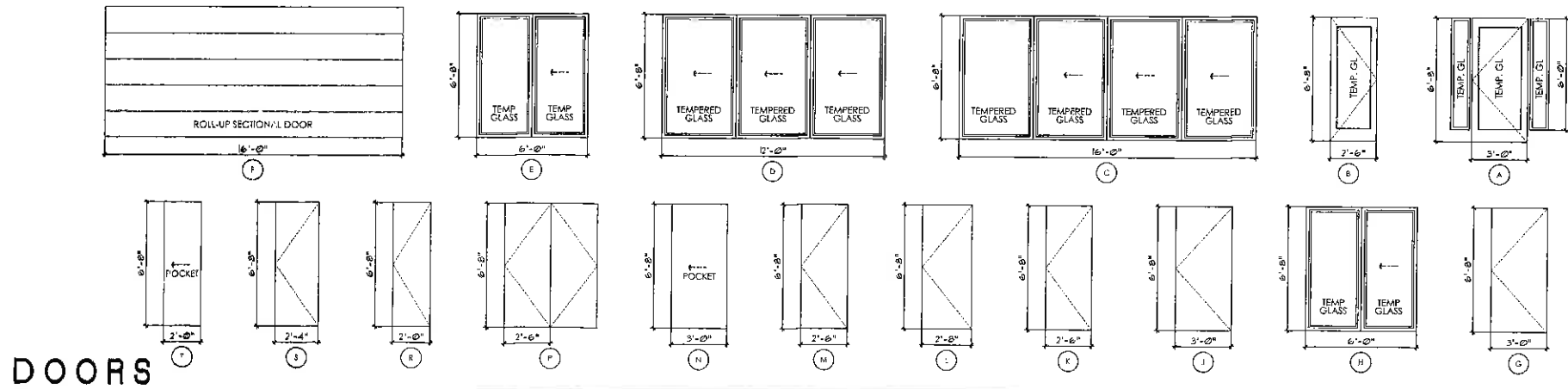
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TYPICAL
SECTION
PLAN

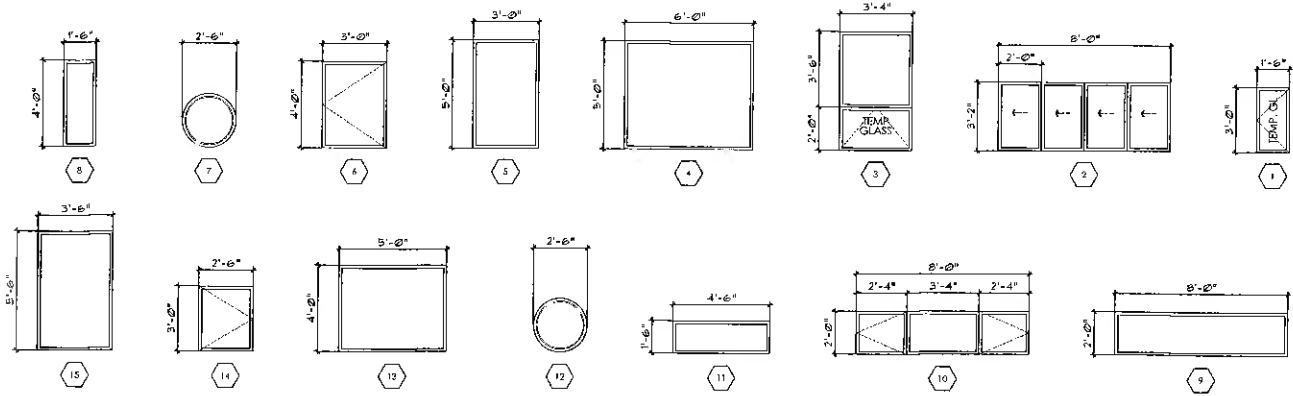
SCALE: 1/4" = 1'-0"

A-5.1

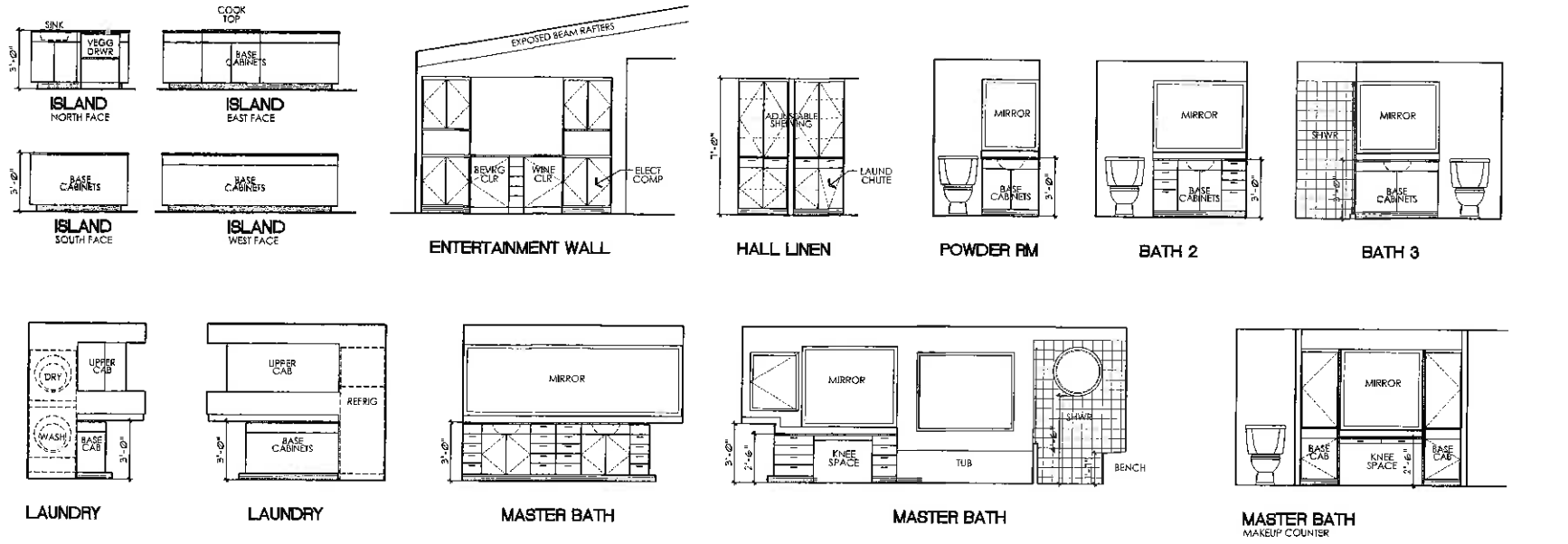
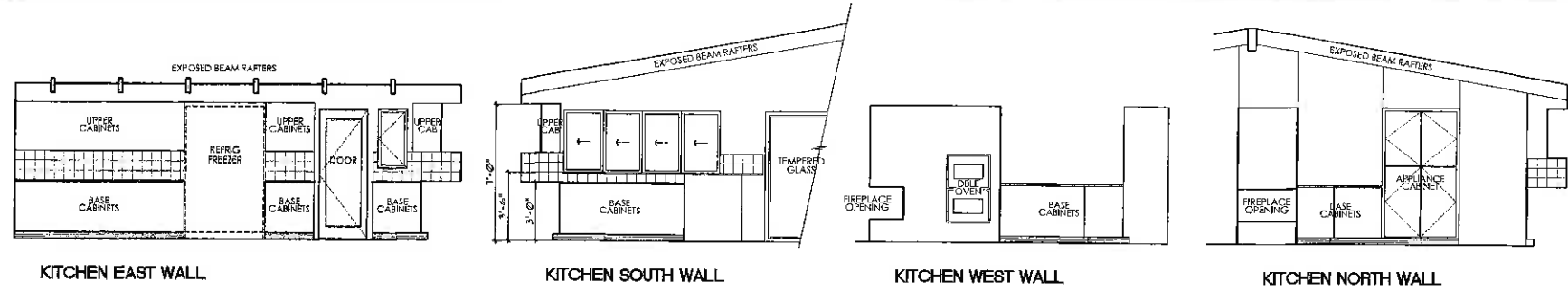




DOORS



WINDOWS



INTERIOR ELEVATIONS

| DOOR SCHEDULE | | | NOTES | |
|---------------|----------------|---|--|--|
| SYMBOL | WIDTH X HEIGHT | TYPE | REMARKS | NOTES |
| A | 3'-0" x 6'-8" | 1-3/4" x 6'-8" CONTEMP. STYLE ENTRY SWING GL. DRS. | DOOR AND WINDOW UNITS TO BE MULLED TOGETHER AS ONE UNIT THRESHOLD BY MANUFACTURER | TEMPERED GLASS ALL UNITS 1" KEYS DEAD BOLT LOCK |
| B | 7'-6" x 6'-8" | EXTERIOR CONTEMP. STYLE 1-3/4" THICK SWING DOOR W/ INSUL. GLASS | METAL CONTEMPORARY STYLE (PER OWNER) | TEMPERED GLASS w/ 1" KEYS DEAD BOLT LOCK |
| C | 16'-0" x 6'-8" | EXTERIOR (A) 4'-0" x 6'-8" CONTEMP. STYLE (XXXX) TEMP. GL. SL. DRS. | SLIDING GLASS DOORS THRESHOLD BY MANUFACTURER | TEMPERED GLASS w/ KEYS DEAD BOLT LOCK |
| D | 12'-0" x 6'-8" | EXTERIOR (B) 4'-0" x 6'-8" CONTEMP. STYLE (XXX) TEMP. GL. SL. DRS. | SLIDING GLASS DOORS THRESHOLD BY MANUFACTURER | TEMPERED GLASS w/ KEYS DEAD BOLT LOCK |
| E | 6'-0" x 6'-8" | EXTERIOR CONTEMP. STYLE (XX) TEMP. GL. SL. DRS. | SLIDING GLASS DOORS THRESHOLD BY MANUFACTURER | TEMPERED GLASS w/ KEYS DEAD BOLT LOCK |
| F | 16'-0" x 7'-0" | METAL GARAGE ROLL-UP DOOR | METAL ROLL-UP DOOR | INSULATED |
| G | 3'-0" x 6'-8" | EXTERIOR METAL 1-3/4" THICK SWING DOOR | METAL DOOR (PER OWNER) WOOD FRAME THRESHOLD BY MANUFACTURER | 1" KEYS DEAD BOLT LOCK |
| H | 4'-0" x 6'-8" | EXTERIOR CONTEMP. STYLE (XX) TEMP. GL. SL. DRS. | SLIDING GLASS DOORS THRESHOLD BY MANUFACTURER | TEMPERED GLASS w/ KEYS DEAD BOLT LOCK |
| I | 2'-0" x 6'-8" | INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE W/ SELF-CLOSER | ONE HOUR FIRE RATED DOOR THRESHOLD BY MANUFACTURER | KEYED DEAD BOLT LOCK |
| J | 2'-0" x 6'-8" | INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE | USED AT ELEVATOR. SEE MANUFACTURER'S RECOMMENDATIONS FOR ANY SPECIFIC HARDWARE REQUIREMENTS. | |
| K | 2'-0" x 6'-8" | INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| L | 2'-0" x 6'-8" | INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| M | 2'-0" x 6'-8" | INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| N | 3'-0" x 6'-8" | INTERIOR POCKET DOOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| P | 5'-0" x 6'-8" | (1-PAIR) 2'-0" x 6'-8" INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| R | 2'-0" x 6'-8" | INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| S | 2'-0" x 6'-8" | INTERIOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| T | 2'-0" x 6'-8" | INTERIOR POCKET DOOR (PER OWNER) 1-3/8" THICK SOLID CORE | PAINT GRADE | |
| V | | | | |

| WINDOW SCHEDULE | | | NOTES | |
|-----------------|----------------|-----------------------|---|----------|
| SYMBOL | WIDTH X HEIGHT | TYPE | REMARKS | NOTES |
| 1 | 1'-6" x 3'-0" | CASEMENT UNIT | SEE ELEVATION | TEMPERED |
| 2 | 8'-0" x 3'-2" | (4) UNIT BIFOLDING | SEE ELEVATION | |
| 3 | 3'-4" x 5'-8" | STACKED FIXED UNITS | SEE ELEVATION | TEMPERED |
| 4 | 6'-0" x 5'-0" | FIXED UNIT | SEE ELEVATION | |
| 5 | 3'-0" x 5'-0" | FIXED UNIT | SEE ELEVATION | |
| 6 | 3'-0" x 4'-0" | CASEMENT | SEE ELEVATION | |
| 7 | 2'-6" x ROUND | FIXED UNIT | SEE ELEVATION | |
| 8 | 1'-6" x 4'-0" | FIXED UNIT | SEE ELEVATION | |
| 9 | 8'-0" x 2'-0" | FIXED UNIT | SEE ELEVATION | |
| 10 | 8'-0" x 2'-0" | DBL. CASEMENT PICTURE | 2'-4" x 2'-0" CASEMENT / 3'-4" x 2'-0" PICTURE / 7'-4" x 2'-0" CASEMENT | |
| 11 | 4'-6" x 1'-6" | FIXED UNIT | SEE ELEVATION | |
| 12 | 2'-6" x ROUND | FIXED UNIT | SEE ELEVATION | |
| 13 | 5'-0" x 4'-0" | FIXED UNIT | SEE ELEVATION | |
| 14 | 2'-4" x 3'-0" | CASEMENT | SEE ELEVATION | |
| 15 | 3'-4" x 5'-4" | FIXED UNIT | SEE ELEVATION | |
| 16 | | | | |

INTERIOR ELEVATION GEN. NOTES:

- CABINET MANUFACTURER TO SUPPLY DETAILED DRAWINGS AND SPECIFICATIONS FOR OWNER APPROVAL.
- ALL COUNTER TOP AND BACK SPLASH TO BE OWNER SELECTED.
- SHOWER HEAD HGT. LOCATIONS TO BE AS PER OWNER SPECIFICATIONS. VERIFY ALL WITH OWNER BEFORE INSTALLATION.
 - TYPICAL SHOWER HEAD HEIGHTS TO BE AT 75" A.F.F.
 - SLIDING BAR w/ ADJUSTABLE SHOWER HEAD TO BE AT 92" HGT. A.F.F. w/ APPROX. 27" LONG BAR.
 - OVERHEAD SHOWER RAIN HEAD.
- ENTERTAINMENT CABINET WALL TO BE COORDINATED WITH ANY OWNER SELECTED AUDIO / VIDEO COMPONENTS AND APPLIANCES.
- LAUNDRY ROOM COUNTER TOP AND 4" BACK SPLASH TO BE OWNER SELECTED FORMICA.
- BATHROOM MIRRORS ARE TO BE WITHIN A DECORATIVE FRAME TO BE SELECTED BY THE OWNER.



KALB RESIDENCE REMODEL
LOT 1, BLK. 1
35011 CAMINO CAPISTRANO
DANA POINT, CALIFORNIA 92624

9 - 9 - 15
140416-1

ANN # 123-372-01
INTERIORS
DR & WNDW
SCHEDULE
DRAWING SCALE: 1/4" = 1'-0"

A-7.1

LANDSCAPE CONSTRUCTION DOCUMENTS FOR:

KALB RESIDENCE

Dana Point, California 92624

OWNER:

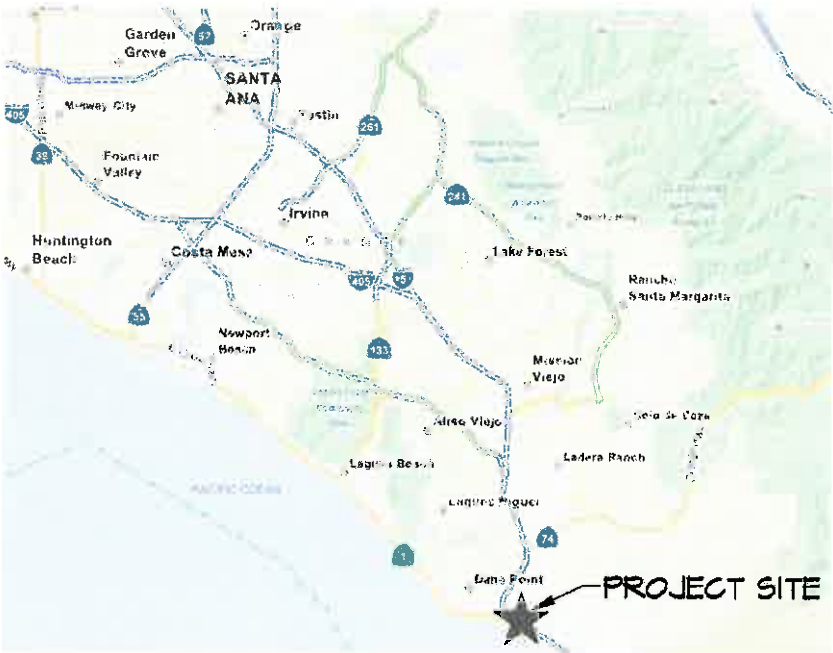
Kalb Residence

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J. DONALD HENRY
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2246 N. Santiago Street
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VICINITY MAP



LOCATION MAP



GENERAL / CONSTRUCTION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH SITE SUPERINTENDENT, APPROPRIATE AGENCIES AND PLANS FOR LOCATION OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC., SHALL BE SET IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
4. REFER TO CITY AND/OR COUNTY STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.
5. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
6. ALL DIMENSIONS ARE FROM OUTSIDE FACE OF PAVING, WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
7. PRIOR TO INSTALLATION OF ANY CONSTRUCTION ITEM, FORMS WITH STEEL IN PLACE AND COMPACTED SUBGRADE COMPLETE SHALL BE OBSERVED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
8. CONTRACTOR SHALL SUBMIT 4" x 4" SAMPLES, OR AS NOTED IN THE SPECIFICATIONS, OF ALL PAVING FINISHES AND COLORS WITH JOINTS IN PLACE. ALL SAMPLES SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
9. ALL WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS.
10. ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
11. PROVIDE FELT EXPANSION JOINT WITH SEALANT WHERE PAVING ABUTS CURBING, BUILDINGS AND COLUMNS, AND STRUCTURES. VERIFY COLOR OF SEALANT WITH OWNER'S AUTHORIZED REPRESENTATIVE.

SHEET INDEX

| SHEET | DESCRIPTION |
|-------|-----------------------------|
| CS-1 | COVER SHEET |
| C-1 | CONSTRUCTION PLAN |
| C-2 | CONSTRUCTION DETAILS |
| LI-1 | IRRIGATION PLAN AND LEGENDS |
| LI-2 | IRRIGATION NOTES |
| LI-3 | IRRIGATION DETAILS |
| LI-4 | IRRIGATION DETAILS |
| P-1 | PLANTING PLAN AND LEGEND |
| P-2 | PLANTING DETAILS |

PRELIMINARY - FOR REVIEW ONLY

TITLE

COVER SHEET

Scale
Drawn by: JDD
Checked by: JDD
Project No.: 201415

O.G. NO.

CS-1

EDGE OF COASTAL BLUFF
PER SOIL ENG.

A.P.N. 123-401-02

EDGE OF COASTAL
BLUFF (IN-A
COASTAL CANYON)

LOT 1 Existing residence
BLOCK 1
TRACT 883

Existing residence
LOT 2, BLOCK 1,
TRACT 883
A.P.N. 123-372-02

CAMINO CAPISTRANO
CAMINO CAPISTRANO

CONSTRUCTION LEGEND

| SYM. | DESCRIPTION | REMARKS |
|------|--------------------------------|--|
| 1 | Entry Walk Way (New) | Decorative Concrete. |
| 2 | Entry Walk Way Steps (New) | To Match Entry Walk Way. |
| 3 | Low Terrace Planter Wall (New) | CMU Block Wall with Stucco or Stone Veneer finish to match house. |
| 4 | 6-foot Tall Wall (New) | CMU Block Wall with Stucco or Stone Veneer to match Terrace Planter Walls. |
| 5 | Driveway (New) | Decorative Concrete. |
| 6 | Side Yard Gate (New) | Wood or Tubular Steel. |
| 7 | Side Yard Walk Way (New) | Decorative Concrete. |
| 8 | Retaining Wall (Existing) | Stucco to match Terrace House. |

GRADING NOTES:

- 1) BACKFILL ALL TRENCHES W/ SAND OR 90% COMPACTED FILL.
 - 2) USE SDR 35 DRAINLINE W/ MANUFACTURER RECOMMENDED PIPE FITTINGS.
 - 3) PRIOR TO GRADING ANY EXCAVATION, CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, SEPTIC TANKS, SEEPAGE PITS OR ANY OTHER BELOW GRADE ITEMS.
- NOTE 1: THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER.
- NOTE 2: A SEPARATE PERMIT IS/ARE REQUIRED FOR ACCESSORY BUILDING, SWIMMING POOL, SHORING RETAINING AND BLOCK WALLS OVER 3 FT. TALL (MEASURED FROM BOTTOM OF FOOTING), PATIO COVERS AND DEMOLITION.

0 4' 8' 12' 20'



OWNER:

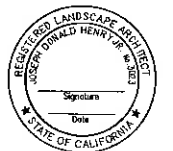
Kalb Residence

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ISS. ED

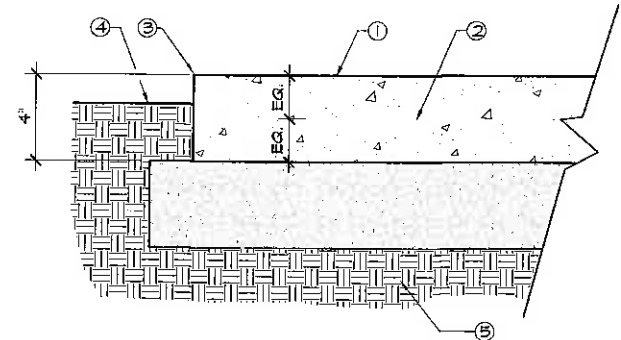


TITLE
**CONSTRUCTION
PLAN**

Scale 1/8" = 1'-0"
Drawn by JDC
Checked by JDC
Printed by 201415

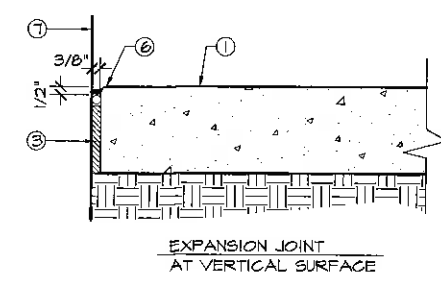
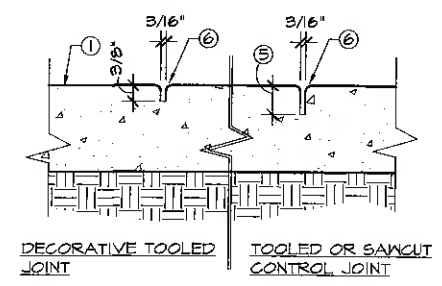
D. G. NO. **C-1**

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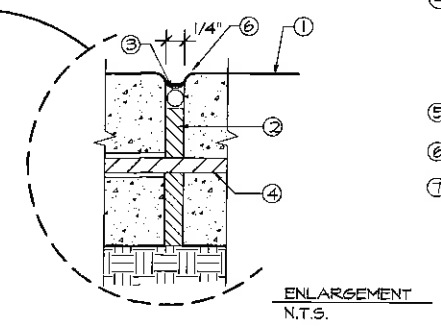
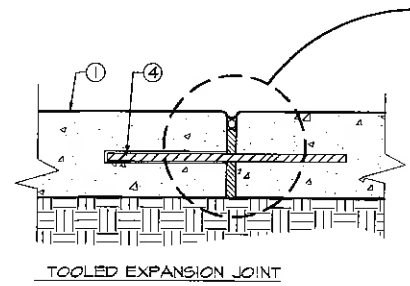


- LEGEND**
- ① CONCRETE PAVING. FOR COLOR AND FINISH REFER TO SHEET C-1.
 - ② COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
 - ③ TOOLED EDGE. SEE PAVING JOINT DETAIL THIS SHEET.
 - ④ FINISH GRADE 2" CLR. SHRUB/GROUND COVER AREAS & 1" IN TURF AREAS.
 - ⑤ PREPARED SUB-BASE BASE PER GEOTECHNICAL REPORT.

1 CONCRETE PAVING
SCALE: 3" = 1'-0"

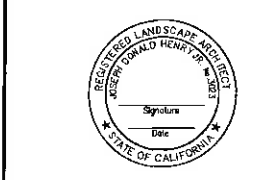


- LEGEND**
- ① CONCRETE PAVING. FOR COLOR AND FINISH, SEE PAVING SCHEDULE, SHEET C-1.
 - ② 1/4" EXPANSION MATERIAL.
 - ③ 3/8" EXPANSION MATERIAL W/ BACKER ROD AND 'TRAFFIC CAULK' JOINT SEALANT TO MATCH CONC. COLOR.
 - ④ 1/2" DIA. x 24" LONG SMOOTH STEEL DOWEL @ 18" O.C. FOR PEDESTRIAN 5/8" DIA. x 24" LONG SMOOTH STEEL DOWEL @ 18" O.C. FOR VEHICULAR. USE "SPEED DOWEL" BY AZTEC CONCRETE ACCESSORIES.
 - ⑤ 1/3rd DEPTH OF THE PAVING THICKNESS.
 - ⑥ 1/4" TOOLED RADIUS.
 - ⑦ VERTICAL SURFACE.



2 PAVING JOINTS
SCALE: 3" = 1'-0"

PRELIMINARY - FOR REVIEW ONLY



TITLE

CONSTRUCTION DETAILS

Scale ASS. O. N.
Dra. B. JDD
C. e. ed B. JDD
Pr. B. N. 201415

D. G. NO. **C-2**

1. VERTICAL OBSTRUCTIONS (FIRE HYDRANTS, TREES, LIGHT POLES, ETC.) INTERFERE WITH THE SPRINKLER HEAD PATTERN OF COVERAGE, ADJUST SPRINKLER SYSTEM LAYOUT BY INSTALLING A QUARTER CIRCLE, HALF CIRCLE OR ADJUSTABLE CIRCLE SPRINKLER HEAD ON EACH SIDE OF OBSTRUCTION IN ORDER TO PROVIDE PROPER COVERAGE. PERFORM SPRINKLER LAYOUT ADJUSTMENT AT NO COST TO THE OWNER.
2. SPRINKLER SYSTEM IS BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. REFER TO POINT-OF-CONNECTION NOTES. VERIFY PERMANENT WATER PRESSURE PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME FULL RESPONSIBILITY FOR REVISIONS.
3. THE 120-VOLT ELECTRICAL POWER SUPPLY TO THE AUTOMATIC CONTROLLER WILL BE PROVIDED BY GENERAL CONTRACTOR. CONNECT FINAL HOOK-UP FROM THE ELECTRICAL POWER OUTLET TO AUTOMATIC CONTROLLER.
4. THIS DESIGN IS DIAGRAMMATIC. PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY. INSTALL PIPING AND IRRIGATION FACILITIES WITHIN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS BETWEEN SPRINKLER SYSTEM, LANDSCAPE PLANTING AND ARCHITECTURAL FEATURES.
5. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE. ALL SPRINKLER HEADS THAT DO NOT DRAIN DIRECTLY BACK TO THE LANDSCAPE AND ARE NEAR ANY IMPERMEABLE LANDSCAPE (HARDSCAPE) NEED TO BE LOCATED A MINIMUM OF 6-INCHES FROM HARDSCAPE.
6. DO NOT WILLFULLY INSTALL SPRINKLER SYSTEM AS INDICATED ON DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT EXISTING OBSTRUCTIONS, GRADE DIFFERENCES IN AREA DIMENSIONS, AND OTHER SITE SPECIFIC INFORMATION THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE OF SUCH OBSTRUCTIONS OR DIFFERENCES FOR RESOLUTION. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, ASSUME FULL RESPONSIBILITY FOR REVISIONS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL LOCATIONS, ETC. COORDINATE WORK WITH GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES, ETC.
8. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED CONTROL WIRE SLEEVES UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS.
9. INSTALL PIPING, RELATED MATERIALS AND EQUIPMENT AS SHOWN ON THE DRAWINGS. USE TEFLON TAPE ON PVC MALE PIPE THREADS, INCLUDING SPRINKLER SWING JOINT AND VALVE ASSEMBLIES. DO NOT USE PIPE DOPE.
10. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO INSTALLATION OF ANY ELECTRIC CONTROL VALVES, BACKFLOW PREVENTER, QUICK COUPLING VALVES AND OTHER PRESSURE SIDE IRRIGATION FACILITIES.
11. THE ESTABLISHMENT OF AUTOMATIC SEASONAL ADJUSTMENTS AND BASIC CONTROLLER PROGRAMMING IS THE RESPONSIBILITY OF THE CONTRACTOR. MAKE ARRANGEMENTS WITH A HUNTER FIELD TECHNICIAN FOR A SITE VISIT ON INSTRUCTION OF ESTABLISHING AUTOMATIC CONTROLLER BASIC PROGRAMMING INFORMATION AND AUTOMATIC SEASONAL SCHEDULING. CONTROLLER PROGRAMMING INFORMATION REQUIRED INCLUDES, BUT IS NOT LIMITED TO; PRECIPITATION RATES, PLANT WATER-USE FACTORS, SYSTEM EFFICIENCY RATINGS, FLOW SENSOR CALIBRATION, AND MONTHLY HISTORIC DATA.

1. PROVIDE DRIPLINE EMITTER TUBING SYSTEM FOR PLANTING AREAS AS SHOWN ON DRAWINGS.
2. DRIPLINE IS SHOWN DIAGRAMMATICALLY FOR CLARITY. INSTALL DRIPLINE TUBING AND NON-PRESSURE LATERAL LEAD LINE PIPING IN LANDSCAPE AREAS AND ADJACENT TO SELECTED PLANT MATERIAL AS SHOWN IN DETAILS.
3. DRIPLINE TUBING, AS SHOWN DIAGRAMMATICALLY ON PLANS WITH THE VARIOUS HATCHES INDICATING SEPARATION FROM STATION ASSIGNMENT, CONNECTS TO THE NON-PRESSURE LATERAL LEAD LINE FROM THE ECV AND PRESSURE REGULATOR SERVING THE DESIGNATED DRIP AREA.
4. DRIPLINE VALVE STATION CALLOUTS INDICATE THE APPROXIMATE SIZE OF THE DRIPLINE AREA OF COVERAGE ASSIGNED TO EACH VALVE. THE APPROXIMATE LENGTH OF DRIPLINE TUBING ASSIGNED TO EACH VALVE STATION IS PROVIDED FOR ESTIMATE PURPOSES ONLY. CONTRACTOR SHALL PROVIDE AND INSTALL THE REQUIRED AMOUNT OF DRIPLINE TUBING AS REQUIRED TO PROPERLY IRRIGATE ASSIGNED LANDSCAPE AREAS WITH THE EMITTER SPACING AND DRIPLINE TUBING ROW SPACING AS INDICATED IN THE EQUIPMENT LEGEND ON THIS SHEET.
5. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTER SPACING, AND ADDITIONAL INFORMATION.
6. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS.
7. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS.
8. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING TO TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND THIS SHEET.
9. PROVIDE TWO (2) EMISSION OUTLET EMITTERS TO LARGE (5 GAL) SHRUBS, AND PROVIDE FOUR (4) EMISSION OUTLET EMITTERS TO 15 GAL SHRUBS/TREES, SPACED EQUALLY AT 12-INCHES CLEAR FROM STEM AS DIRECTED BY LANDSCAPE ARCHITECT. CONNECT DRIP EMITTERS AND PVC DISTRIBUTION TUBING TO DRIPLINE TUBING WITH BARBED ADAPTER.
10. PROVIDE ONE (1) EMISSION OUTLET EMITTER TO EVERY VINE LOCATED WITHIN DRIPLINE AREA, SPACED AT 6-INCHES CLEAR FROM STEM. CONNECT DRIP EMITTERS AND PVC DISTRIBUTION TUBING TO DRIPLINE

1. LANDSCAPES SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT; RESETTling REPLENISHING MULCH; FERTILIZING; PRUNING; AND WEEDING IN ALL LANDSCAPE AREAS.

2. WHENEVER POSSIBLE, REPAIR OF THE IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENT SPECIFICATION.

1. AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE STATE OF CALIFORNIA LANDSCAPE AUDITOR HANDBOOK.
2. AUDITS SHALL BE CONDUCTED BY A STATE CERTIFIED LANDSCAPE IRRIGATION AUDITOR AT LEAST ONCE EVERY FIVE YEARS AND SUBMITTED TO THE LOCAL WATER PURVEYOR.

1. PROVIDE SOIL SPECIFICATIONS IF IMPORT SOIL OR PROVIDE SOIL ANALYSIS IF USING ON SITE SOIL. THE SOIL INFORMATION MUST INCLUDE: SOIL TEXTURE (% OF ORGANIC MATTER), INFILTRATION RATE (OR ESTIMATED RANGE), PH & TOTAL SOLUBLE SALTS, INDICATE IF MULCH, SOIL AMENDMENTS OR OTHER MATERIAL WILL BE USED OR REQUIRED.

D. G. NO. **LI-2**

PRELIMINARY - FOR REVIEW ONLY