

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: AUGUST 24, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
EVAN LANGAN, AICP, ASSOCIATE PLANNER

SUBJECT: TENTATIVE PARCEL MAP TPM14-0001 AND SITE DEVELOPMENT PERMIT SDP14-0010 FOR THE SUBDIVISION OF ONE VACANT LOT INTO TWO LOTS, IN CONJUNCTION WITH THE CONSTRUCTION OF TWO, DETACHED RESIDENTIAL DUPLEXES ON EACH OF THE NEW LOTS AT 26371 VIA CANON

RECOMMENDATION: That the Planning Commission adopt the attached resolution approving Tentative Parcel Map TPM14-0001 and Site Development Permit SDP14-0010.

PROPERTY OWNER: Loughcal Property, LLC

APPLICANT: Adam Tancredi

REQUEST: Approval of a Tentative Parcel Map and Site Development Permit to allow the subdivision of one lot into two lots, in conjunction with the construction of two, new, detached residential duplexes on each of the new lots, two of which would include roof decks.

LOCATION: 26371 Via Canon
Assessor Parcel Number (APN): 123-141-28

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on August 12, 2015, published within a newspaper of general circulation on August 13, 2015, and posted on August 14, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorical Exempt per Sections 15303 (b) (Class 3 – New Construction or Conversion of Small Structures) and 15315 (Class 15 - Minor Land Divisions).

ITEM #3

ISSUES:

- *Is the project consistent with the City's adopted General Plan and Municipal Code?*
- *Is the project compatible with and an enhancement to the site and surrounding neighborhood?*
- *Does the project satisfy all required findings pursuant to the City's Municipal and Zoning Codes to approve a TPM and SDP?*

BACKGROUND: The subject property measures 26,364 square feet (.54 acres) and is located within the Capistrano Beach community of Dana Point. The lot itself is presently vacant, contains scattered landscaping and slopes steeply downward toward the Pacific Coast Highway onramp to CA Interstate Highway 5 (the 5 Freeway) below. The property fronts Via Canon (street) with neighboring lots to the north and south also developed with residential structures.

The property is zoned "Residential Duplex 14" (RD-14) and, while vacant, the Open Space/Conservation Element of the City's General Plan does not identify the site as containing any Environmentally Sensitive Habitat Area (ESHA) or existing trails, nor is the site envisioned as a potential location for future public trails.

DISCUSSION: The project application includes the subdivision of a, large single lot into two conforming building sites and to be constructed on each, two, detached residential duplexes. The subdivided lots would have direct access from Via Canon and would meet the minimum area and dimensional requirements for parcels in the RD-14 Zoning District (see chart below). Parcel 2 is specifically configured as a "flag lot," with the long and narrow "pole" element designed to provide adequate width for provision of a driveway leading from Via Canon to the interior of the lot, independent of driveway access provided for Parcel 1 (See tentative parcel map, Supporting Document 5).

Minimum Lot Size and Dimensions Residential Duplex 14 (RD-14) Zoning District			
	MIN. REQUIRED	PARCEL 1 (Proposed)	PARCEL 2 (Proposed) **
Lot Area:	5,000 square feet	8,462 square feet	17,902 square feet
Lot Width:	45 feet	55 feet	Average 91 feet **
Lot Depth:	100 feet	154 feet	Average 253 feet **

** In determining width and depth, note that the "pole" element of the lot is removed.

As stated, each subdivided lot/parcel would be developed with a detached duplex (two residential units on each lot and numbered 1 through 4 on submitted plans). Each structure would comprise two stories, three bedrooms and provide compliant parking for two vehicles in a garage, plus one additional (open air) guest space. At this time, the property owner/applicant has elected to not pursue individual ownership (condominiums) of the four residential units and so no subdivision of airspace is proposed. Should individual ownership be desired in the future, submittal of a condominium map in conjunction with covenants, codes and restrictions (CC&Rs) would be required, with approval needed from both the Planning Commission and City Council. Proposed duplex structure compliance with standards of the RD-14 Zoning District follows below:

	REQUIRED	UNIT 1 (PARCEL 1) Proposed	UNIT 2 (PARCEL 1) Proposed
Gross Floor Area	N/A	2,083 square feet + 427 square foot garage	2,120 square feet + 427 square foot garage
Maximum Height	33 feet tall **	24 feet 7 inches tall	24 feet 7 inches tall
Minimum Front Yard Setback	20 feet	20 feet	20 feet
Minimum Side Yard Setback	4 feet	4 feet	4 feet
Minimum Rear Yard Setback	15 feet	15 feet	15 feet

	REQUIRED	UNIT 3 (PARCEL 2) Proposed	UNIT 4 (PARCEL 2) Proposed
Gross Floor Area	N/A	2,089 square feet + 417 square foot garage	1,993 square feet + 425 square foot garage
Maximum Height	33 feet tall **	28 feet 11 inches tall	28 feet 10 inches tall
Minimum Front Yard Setback	20 feet	15 feet (flag lot)	75 feet
Minimum Side Yard Setback	4 feet	4 feet	4 feet
Minimum Rear Yard Setback	15 feet	120 feet	25 feet

** Pursuant to standards of Section 9.05.110 (a)(4) of the DPZC, Parcels 1 and 2 are qualified as "hillside conditions" and so subject to specific design criteria enumerated therein, residential structures may be a maximum of 33 feet in height.

Units 1 and 2 propose sloped, tile roof elements and siding comprised of stucco and stone veneer. Roof decks are proposed for both dwellings - totaling 218 square feet each - and accessed by exterior stairways leading from second floor decks. In compliance with Section 9.05.230 of the Dana Point Zoning Code, the roof decks have been designed so as not to be visible from any side of the structure, using materials that will integrate their design and location with the overall architecture of the two homes.

Units 3 and 4 propose flat roof elements, smooth stucco siding and an overall, squared architectural form. No roof decks are proposed for these structures; however both propose large, downslope facing decks at the second story.

In conjunction with the dwellings, site improvements including new walls and landscaping are proposed. Freestanding and retaining split-face block walls standing a maximum of six feet tall will parallel the driveway for Parcel 2, while an existing wood fence would remain and traverses the northerly length of both Parcels 1 and 2. Extensive new landscaping is proposed in all yards of both parcels and with the intention of screening taller structure elements as viewed from downslope areas. To ensure that landscaping is properly installed and established, a condition of approval has been included in the project's draft resolution requiring that, prior to final project inspection and approval, a licensed landscape architect must certify that all plantings have been installed in compliance with the project's approved landscaping plan.

Tentative Parcel Map TPM14-0001

The subject project proposes the subdivision of one lot into two lots. Section 7.05.060 of the Dana Point Municipal Code stipulates a minimum of 11 findings to approve a subdivision of land, requiring:

- 1. That the proposed map is consistent with the City's General Plan;*
- 2. That the design and improvement of the proposed subdivision is consistent with the City's General Plan;*
- 3. That the site is physically suitable for the proposed type of development;*
- 4. That the requirements of the California Environmental Quality Act have been satisfied;*
- 5. That the site is physically suitable for the proposed density of development;*
- 6. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantial and avoidable injury to fish or wildlife or their habitat;*

7. *That the design of the subdivision and the proposed improvements are not likely to cause serious public health problems;*
8. *That the design of the subdivision and the proposed improvements will not conflict with easements of record or established by court judgment or acquired by the public at large for access through or use of property within the proposed subdivision; or, if such easements exist, that alternate easements for access or for use will be provided and these will be substantially equivalent to ones previously acquired by the public;*
9. *That the design and improvement of the proposed subdivision are suitable for the uses proposed and the subdivision can be developed in compliance with the applicable zoning regulations pursuant to Section 7.05.055;*
10. *That the subdivision is not located in a fee area or, if located in a fee area, the subdivider has met the requirements for payment of the applicable fees or the subdivision would not allow development of a project which would contribute to the need for the facility for which a fee is required;*
11. *That the subdivision is located in an area which has access to adequate utilities and public services to support the development proposed within the subdivision or that the subdivision includes the provisions and improvements necessary to ensure availability of such utilities and services.*

The proposed subdivision conforms to the design and development standards of the Dana Point Municipal and Zoning Codes. Staff's recommended findings to approve the TPM request are provided in the attached draft resolution (Attachment 1 - Draft Planning Commission Resolution).

Site Development Permit SDP14-0010

Pursuant to Section 9.71.020 of the Dana Point Zoning Code (DPZC), a Site Development Permit (SDP) shall be required for all residential development except single-family homes on previously subdivided lots. The subject application proposes the construction of two, detached duplexes and so requires approval of an SDP. Section 9.05.230 of the DPZC stipulates that proposed roof decks (also) require approval of a SDP. Two of the four proposed duplexes - those dwellings proposed for construction on Parcel 1 - include roof decks and so require approval of a SDP.

Section 9.71.050 of the DPZC stipulates a minimum of four findings to approve a SDP request, requiring:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*

3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which is appropriate for the site and function of the proposed use(s), without requiring a particular style or type of architecture.*

The proposed duplex structures and the project's two, proposed roof-decks comply with the development standards and intent of the DPZC. Staff's recommended findings to approve the SDP requests are provided in the attached draft resolution (Attachment 1).

CORRESPONDENCE: To date, no correspondence has been received for this project.

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Municipal and Zoning Codes. As the project has been found to comply with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving TPM14-0001 and SDP14-0010, subject to findings and conditions of approval.


Evan Langan, AICP
Associate Planner


Ursula Luna-Reynosa, Director
Community Development Department

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-08-24-xx

Supporting Documents

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)
5. Tentative Parcel Map 2014-134 (TPM14-0001)

RESOLUTION NO. 15-08-24-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING TENTATIVE PARCEL MAP TPM14-0001 AND SITE DEVELOPMENT PERMIT SDP14-0010 TO ALLOW THE SUBDIVISION OF ONE LOT INTO TWO LOTS, IN CONJUNCTION WITH THE CONSTRUCTION OF TWO, NEW DETACHED RESIDENTIAL DUPLEXES ON EACH OF THE NEW LOTS WITHIN THE RESIDENTIAL DUPLEX 14 (RD-14) ZONING DISTRICT AT 26371 VIA CANON

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, Loughcal Property, LLC, a California Limited Liability Company (the "Applicant"), is the owner of real property commonly referred to as 26371 Via Canon (Assessor Parcel Number [APN] 123-141-28) (the "Property"); and

WHEREAS, the Applicant filed a verified application for a Tentative Parcel Map and Site Development Permit to allow the subdivision of one presently vacant lot into two lots, in conjunction with the construction of two new duplexes, two of which would include roof decks, at the Property; and

WHEREAS, said verified application constitutes a request as provided by Titles 7 and 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the project is categorically exempt per Sections 15303 (b) (Class 3 – New Construction or Conversion of Small Structures) and 15315 (Class 15 - Minor Land Divisions); and

WHEREAS, the Planning Commission did, on the 24th day of August, 2015, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Tentative Parcel Map TPM14-0001 and Site Development Permit SDP14-0010.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves TPM14-0001 and SDP14-0010 subject to conditions:

Findings:

Tentative Parcel Map TPM14-0001

1. That the proposed map is consistent with the City's General Plan in that it satisfies the intent of Goal No. 1 of the Land Use Element which states: *"Achieve a desirable mixture of land uses to meet the residential, commercial, industrial, recreational, open space, cultural and public service needs of the City residents,"* as well as through compliance with standards enumerated in the General Plan's implementing Zoning Code by proposing new lots that conform to dimensional, area and access requirements.
2. That the design and improvement of the proposed subdivision is consistent with the City's General Plan in that the design of the subdivision conforms to design and policy standards of the property's "Residential Duplex 14 DU/AC" General Plan Land Use Designation and in that proposed duplex structures conform to the design and development standards of the General Plan's implementing Zoning Code for new structures in the Residential Duplex 14 (RD-14) District.
3. That the site is physically suitable for the proposed type of development in that each of the two, new lots that would be created comply with design and size requirements for the RD-14 Zoning District and possess topography that would adequately accommodate the two, detached residential duplexes being proposed.
4. That the requirements of the California Environmental Quality Act (CEQA) have been satisfied in that project qualifies for Class 3 (Section 15303 [b] - New Construction or Conversion of Small Structures) and Class 15 (Section 15315 - Minor Land Divisions) Categorical Exemptions.
5. That the site is physically suitable for the proposed density of development in that the two new lots created by the proposed subdivision meet area and dimensional requirements of the RD-14 Zoning District and so are capable of accommodating proposed development in compliance with standards of the Dana Point Zoning Code and; the number of units proposed for each new lot complies with the maximum prescribed density (units per acre or fraction thereof) for the RD-14 Zoning District.
6. That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantial and avoidable injury to fish or wildlife habitat in that the subdivision is

located within an urbanized area and proposed in a location not cited as an environmentally sensitive area (ESA) by the Conservation/Open Space Element of the City's General Plan.

7. That the design of the subdivision and the proposed improvements are not likely to cause serious public health problems **in that the proposed subdivision is found to comply with all applicable standards of design and; all proposed development is permitted in the property's Residential Duplex 14 (RD-14) Zoning District and would be constructed in accordance with contemporary standards of the CA Building Code, ensuring that new structures are not likely to cause serious public health problems to the greatest extent feasible.**
8. That the design of the subdivision and the proposed improvements will not conflict with easements of record or established by court judgment or acquired by the public at large for access through or use of property within the proposed subdivision **in that existing onsite easements have been identified by survey of the subject property, subsequently illustrated on the project's subdivision map and development plans and so ensuring that no conflicts would occur either with subdivision of land or subsequent construction of proposed duplexes or accessory structures.**
9. That the design and improvement of the proposed subdivision are suitable for the uses proposed and the subdivision can be developed in compliance with the applicable zoning regulations **in that the two lots created by the proposed subdivision would comply with the dimensional and area requirements of the RD-14 Zoning District. All proposed development is permitted in the property's zoning district and been found to comply with standards of development.**
10. That the subdivision is not located in a fee area, or if located in a fee area, the subdivider has met the requirements or payment of the applicable fees or the subdivision would not allow development of a project which would contribute to the need for the facility for which a fee is required **in that a condition of approval has been included herein that all project fees as well as improvement or related project bonds will be paid and/or collected prior to issuance of a certificate of occupancy for the property.**
11. That the subdivision is located in an area which has access to adequate utilities and public services to support the development proposed within the subdivision or that the subdivision includes the provisions and improvements necessary to ensure availability of such utilities and services **in that the subdivision and all development are proposed in**

an urbanized area already containing utilities infrastructure and receiving public services. The project has been reviewed by outside agencies and entities (including those responsible for trash collection and water provision) with confirmation included in the record that services can and will be provided to the property and its proposed development.

Site Development Permit SDP14-0010

Construction of two residential duplexes in conjunction with the inclusion of roof-decks on two of the four units.

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that the subject project has been reviewed by City staff and has been found to conform to both the standards and intent of the Dana Point Zoning Code - specifically Sections 9.05.230 (Roof Decks) and 9.09.030 (Development Standards) of the Dana Point Zoning Code.**
2. That the site is suitable for the proposed development **in that the subject application proposes the construction of a two duplex dwellings on land zoned for such a use and located within an established community of like uses. Roof decks are permitted development in all zones subject to approval of this SDP. The proposed roof decks have been found to conform to both the design standards and intent of Section 9.05.230 of the Dana Point Zoning Code.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that the proposed residential duplexes and two roof decks do not conflict with any goal or policy and conform with applicable standards of the Dana Point Zoning Code.**
4. That the site and structural design are appropriate for the site and function of the proposed use **in that the proposed duplexes would utilize materials, scale and site design that are compatible with nearby development and will be constructed in compliance with the requirements of the Dana Point Zoning Code. The two proposed roof decks are architecturally compatible with the duplexes and will appear as an integral part of the roof system. All development proposed is permitted in the RD-14 Zoning District.**

A. General:

1. Approval of this application allows the subdivision of one lot into two lots as described and illustrated on Tentative Parcel Map TPM 14-0001 (Orange County Tentative Parcel Map No. 2014-134), the construction of two, detached residential duplex structures on each of the two new lots and for two of those duplexes (Unit Nos. 3 and 4) to contain roof decks, on presently vacant land at 26371 Via Canon. Subsequent submittals for this project shall be in substantial compliance with the maps and plans presented to the Subdivision Committee (Planning Commission), and in compliance with the applicable provisions of the Dana Point General Plan, Municipal and Zoning Codes.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on approved maps and plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The Applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The Applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the Applicant or the Applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The Applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The Applicant and owner, and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The Applicant and Applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
7. The Final Parcel Map is subject to approval by the City Council. The Final Map must be in substantial compliance with Tentative Parcel Map TPM14-0001 (TPM2014-134), as determined by the Director of Community Development and the Director of Public Works. If the Final Map is approved, the Map shall be recorded with the Office of the County Recorder.
8. The Applicant shall be responsible for coordination with SDG&E, AT&T California, SCWD, Southern California Gas Company, and Cox Communication Services for the provision of all utilities.
9. All proposed utilities within the project shall be installed underground. An approved SDG&E work order and undergrounding plan is required prior to building permit issuance.
10. The Applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The Applicant shall provide erosion control measures and temporary desiltation/detention basins as required. The Applicant shall maintain the temporary basins and erosion control devices until the Director of Public Works approves of the removal of said facilities. Failure to do so shall obligate the City to repair/replace as appropriate and charge the Applicant.

11. Any damage to existing public or adjacent private property facilities shall be repaired or replaced to the satisfaction of the City Engineer.
12. The Applicant shall obtain all applicable permits for the proposed improvements, including any that may be required from outside agencies.
13. All documents prepared by a professional shall be wet-stamped and signed.
14. The Applicant shall contact San Diego Gas and Electric, (SDG&E), holder of the four foot wide pole line easement running westerly on the south facing side of the subject property, to obtain permission to construct a new wall (currently proposed to parallel the proposed driveway for Parcel 2) not to exceed six feet in height along the southerly property line. The wall and location described shall replace that illustrated on the approved plan-set. The final design, color and materials used in the construction of the wall shall be subject to review and approval by the Community Development Department and in substantial conformance with plans approved by the Planning Commission. The applicant/property owner shall provide written documentation from SDG&E as to their final determination as relates to construction and location of the wall.

B. Prior to Issuance of a Grading Permit

15. The Applicant shall submit a grading plan, in compliance with City standards, for review and approval by the Director of Public Works. The Applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
16. The Applicant/owner shall submit an application for a grading permit. The grading permit application, in compliance with City standards, submitted for review and approval by the Director of Public Works. The Applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies, City of Dana Point Municipal Code and the City of Dana Point Grading Manual and City's Municipal Separate Storm Sewer Systems (MS4s) Permit requirements.
17. The Applicant/owner shall submit a geotechnical report in compliance with all the City of Dana Point standards for review and approval.

18. The Applicant shall submit a Final WQMP for review and approval by the Public Works/Engineering Department. The Final WQMP shall include all details necessary to construct and operate and maintain all approved/required best management practice (BMP) installations. Submitted grading, building and landscaping plans, as well as any other construction drawings shall be consistent with the Final (approved) WQMP.
19. The final WQMP shall include a stand-alone Operation and Maintenance (O & M) document in addition to a detailed site plan. An O & M plan template is available at www.danapoint.org/wgrequirements.

C. Prior to Building Plan Check Submittal and/or prior to Issuance of a Building Permit or Release on Certain Related Inspections:

20. Prior to commencement of framing, the Applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of SDP14-0010. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
21. Prior to release of the roof sheathing inspection, the Applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of SDP14-0010. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval before release of final roof sheathing is granted.
22. The Applicant shall complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
23. The Applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify

that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.

24. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and re-compaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.
25. Prior to issuance of a building permit for the project, the Applicant shall submit for review and approval by the Planning and (if applicable) Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code and the Preliminary Landscaping Plan approved by the Planning Commission. Any proposed changes to landscaping either under this or a future discretionary request shall be subject to review/approval by the Planning Division.
26. Building plan check submittal shall include three sets of the following construction documents:
 - *Building Plans*
 - *Energy calculations*
 - *Structural Calculations*
 - *Soils/Geology Report*
 - *Drainage Plan*

D. Prior to Approval of the Final Parcel Map the Applicant Shall Meet the Following Conditions:

27. A Final Map shall be submitted for review and approval in accordance with requirements of the Public Works Department and Community Development Department. The final map must be in substantial compliance with Tentative Parcel Map TPM14-0001 (TPM2014-134), as determined by the Director of Community Development, the Director of Public Works and the City Engineer. Said map shall be prepared as required by the City of Dana Point Subdivision Code.

28. All taxes and fees shall be paid to the County of Orange and the County Treasurer-Tax Collector's Certificate shall be signed.
29. All existing and proposed easements shall be shown and labeled on the Final Map clearly indicating the easement ownership, location, purpose and width. A copy of the recorded easements shall be included along with the plan submittal for review by the City Engineer. The Final Map shall also include a note to identify any easements proposed to be vacated with the Map.
30. Utility easements shall be provided to the specifications of the appropriate utility companies and subject to review and approval by the Director of Public Works.
31. The Applicant shall submit the Final Map to the County of Orange for review and approval. A copy of the approval shall be submitted to the Public Works Department.
32. Applicant shall provide to the City a copy of a current title report not less than six months old and any other survey documentation in relation to the subject subdivision.
33. The approved Fire Master Plan shall be submitted to the City of Dana Point Public Works Department.
34. Prior to the recordation of a subdivision map, a note shall be placed on the map stating that all residential structures shall be protected by an approved automatic fire sprinkler system.
35. All monuments shall be set, or a security provided, to ensure all monuments will be set in accordance with the County of Orange and City of Dana Point standards.
36. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
37. Written approval shall be provided by the Civil Engineer certifying the grading as substantially conforming to the approved grading plan and specifically, construction of line and grade for all engineered drainage devices and retaining walls.
38. All work in the right-of-way shall be completed in conformance with the Encroachment Permit, the Encroachment Permit Conditions.

39. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
40. The Applicant shall submit to the Public Works and Engineering Department, a copy of the recorded Final Map as approved by the City Council and recorded with the Office of the County Recorder.

E. Prior to Issuance of a Certificate of Occupancy

41. This project shall be subject to the requirements of Section 9.55 (Water Efficient Landscape Standards and Requirements) of the Dana Point Zoning Code. Prior to final inspection of framing, the Applicant shall submit for approval, a Final Landscape Plan that provides descriptive and illustrative landscaping information for all properties as well as for adjacent public rights-of-way. The Plan shall further include the location, type, size and quantity of both existing and proposed plantings, an irrigation plan, a copy of this entitlement in its entirety and the specific calculations required by the aforementioned Zoning Code section.
42. A written approval shall be provided by the Geotechnical Engineer of Record certifying that all grading conforms to the approved grading plan.
43. A written approval shall be provided by the Civil Engineer of Record certifying that all grading, construction of line and grade for all engineered drainage devices and retaining walls, conforms to the approved grading plan.
44. All work in the right-of-way shall be completed in conformance with the Encroachment Permit conditions to the satisfaction of the City Engineer.
45. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record and submitted for approval by the Public Works/Engineering Department.
46. All structural and permanent Best Management Practices (BMPs) shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
47. If applicable, the Applicant/owner shall record a standard deed restriction for reliance on a sump pump for site drainage. The deed restriction shall be provided by the Public Works/Engineering Department for signature and recordation by the property owner or lease holder.

48. The Applicant shall submit to the Project Planner, a wet-stamped and signed certification from a licensed landscape architect stipulating that all landscaping is installed in conformance with the project's final landscaping plan. This certification shall be submitted and approved prior to final inspection of the project by the Project Planner (Planning Division).
49. The Applicant shall schedule a final inspection with the Community Development Department at the site that shall include a review of, among other things, landscaping, finished architecture and building materials, as well as compliance with any outstanding project conditions of approval.

DRAFT

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 24th day of August, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairwoman
Planning Commission

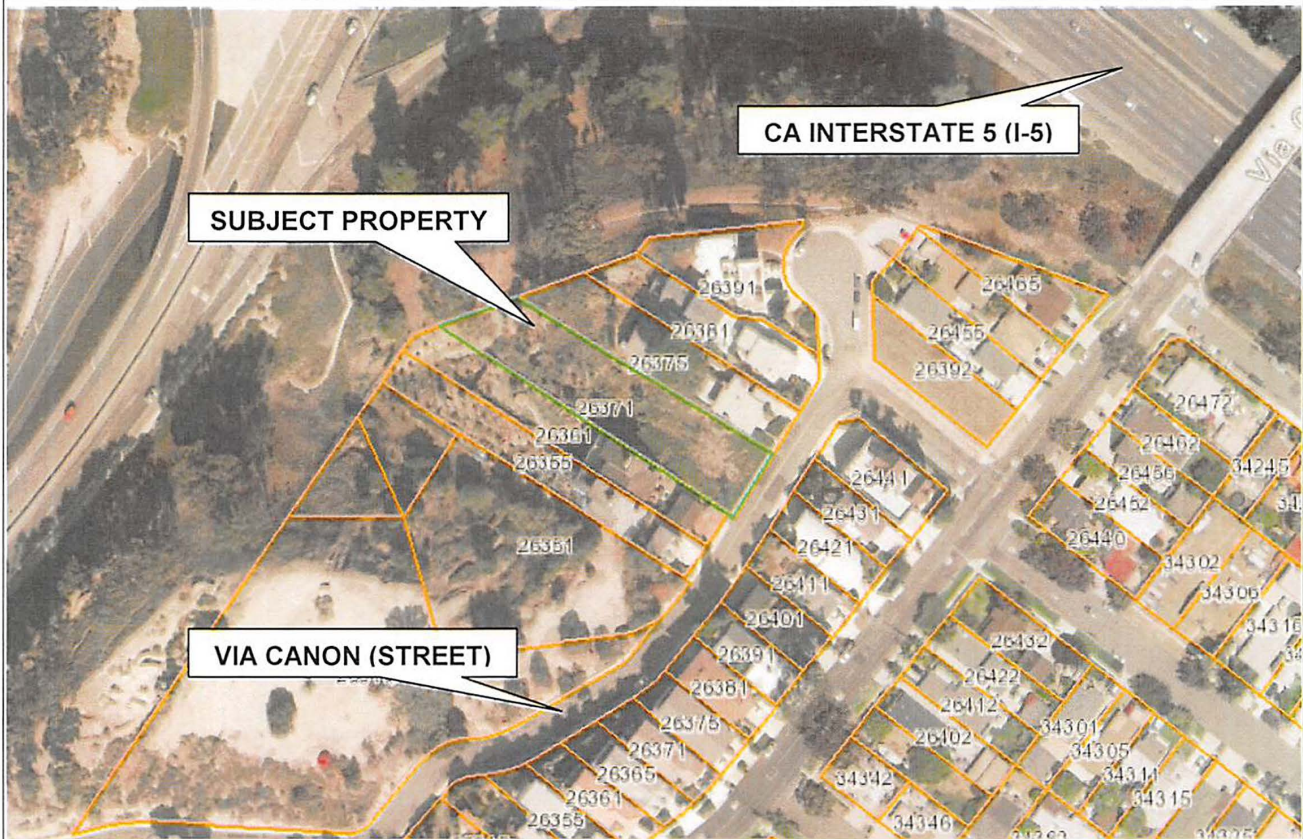
ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point
TPM14-0001 and SDP14-0010
Evan Langan, AICP, Associate Planner
Community Development Department
33282 Golden Lantern, Suite 209
Dana Point, CA 92629-1805

VICINITY MAP



Project : *TPM14-0001 and SDP14-0010*

Property Owner: *Loughcal Property, LLC*

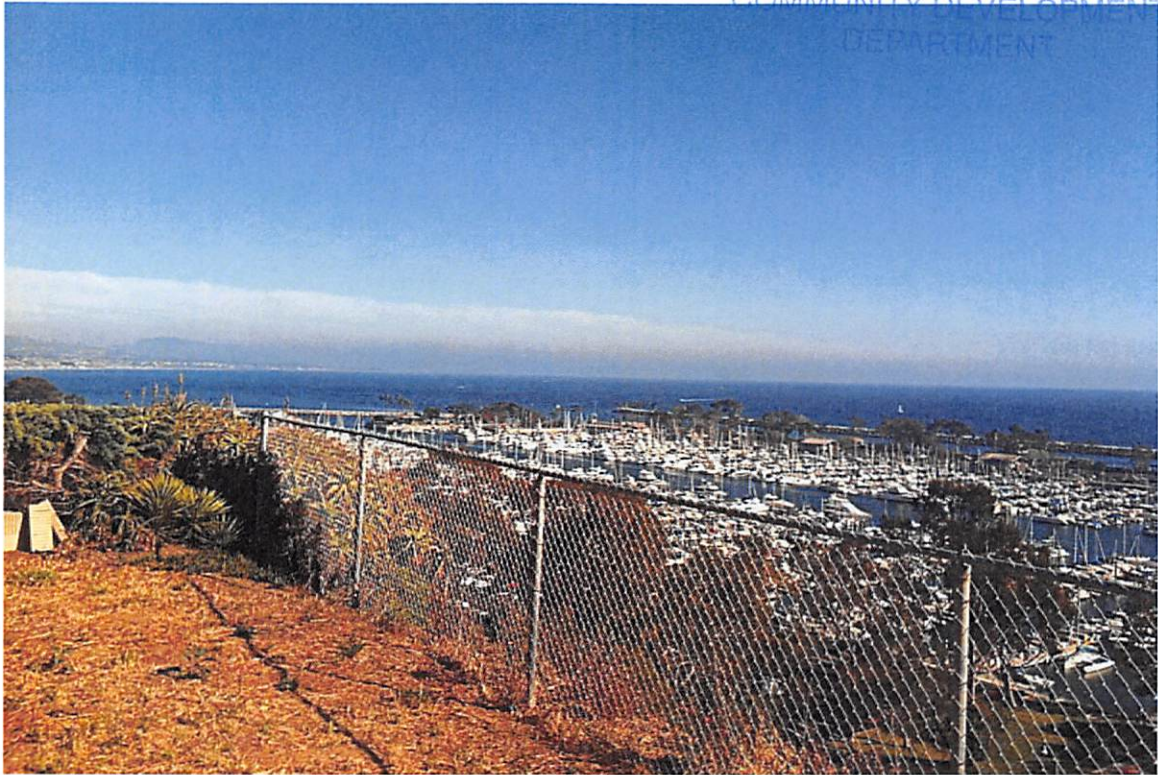
Location: *26371 Via Canon*



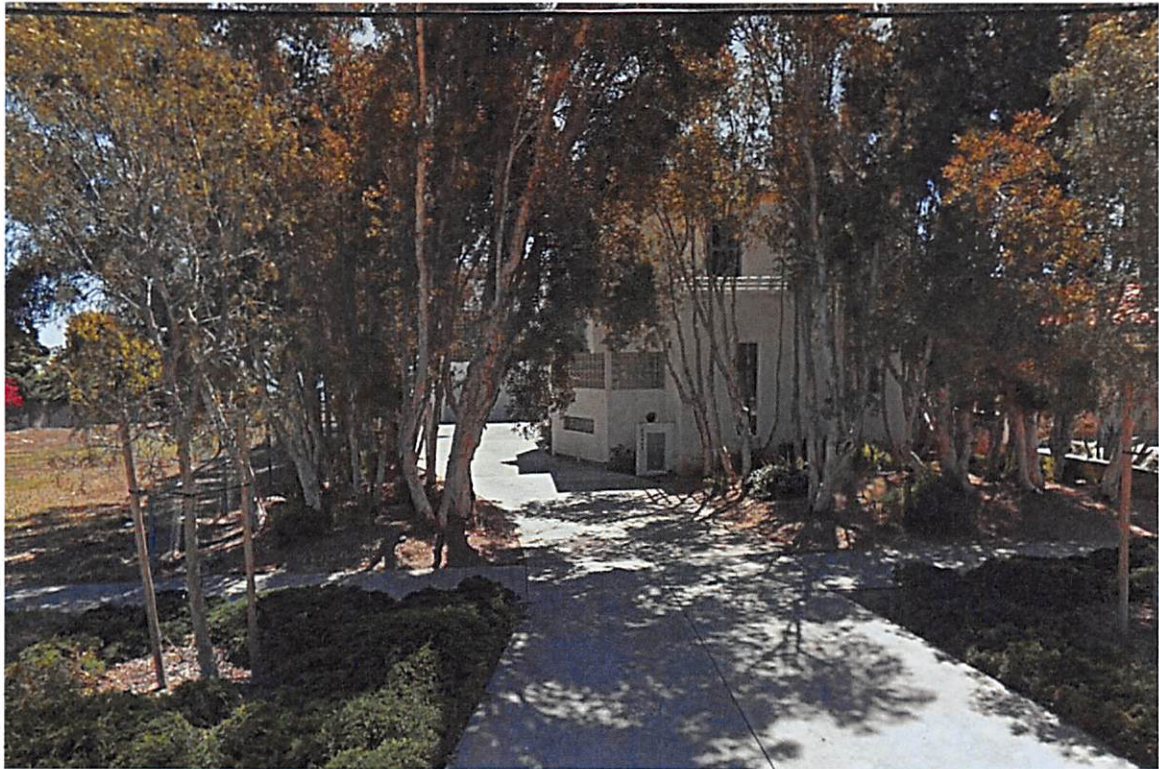
RECEIVED

JUL 02 2015

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT



REAR VIEW- BLUFF TOP



FRONT ELEVATION- ADJACENT PROPERTY



FRONT ELEVATION- DIRECTLY ACROSS FROM PROPERTY



FRONT ELEVATION- ADJACENT TO PROJECT



FRONT ELEVATION- SITE LOCATION

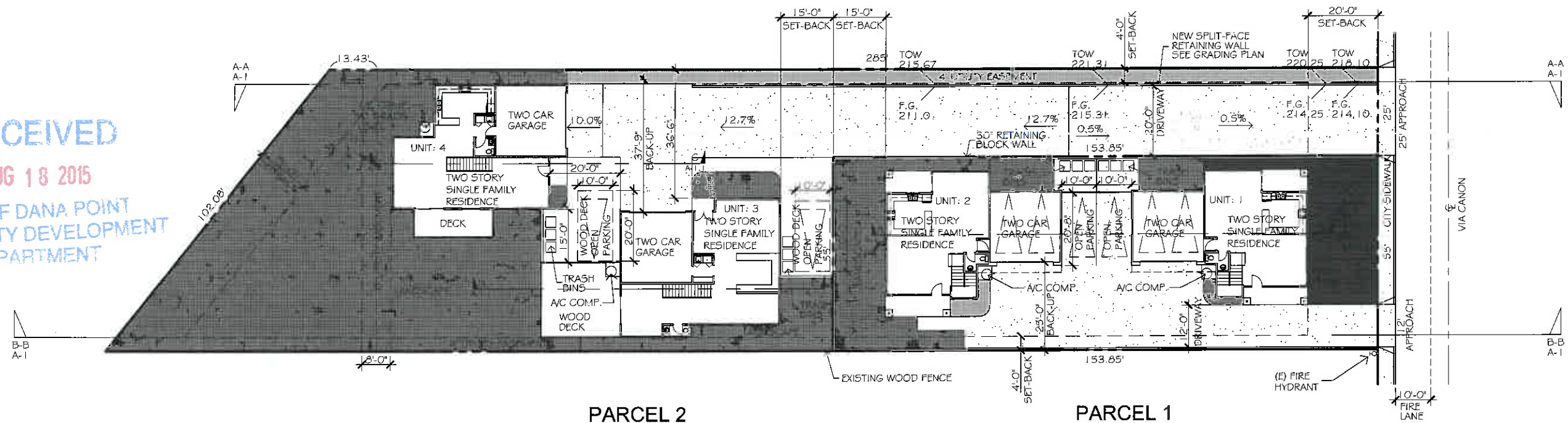


SIDE ELEVATION- ADJACENT PROPERTY

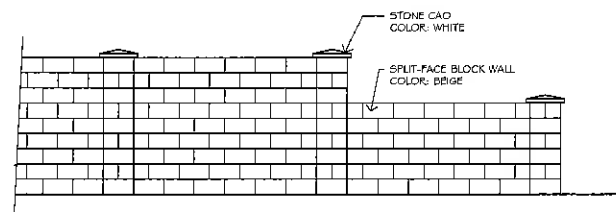
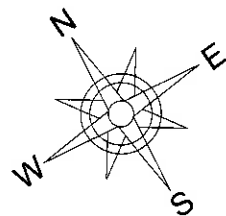


SIDE ELEVATION- ADJACENT PROPERTY

RECEIVED
AUG 18 2015
 CITY OF DANA POINT
 COMMUNITY DEVELOPMENT
 DEPARTMENT



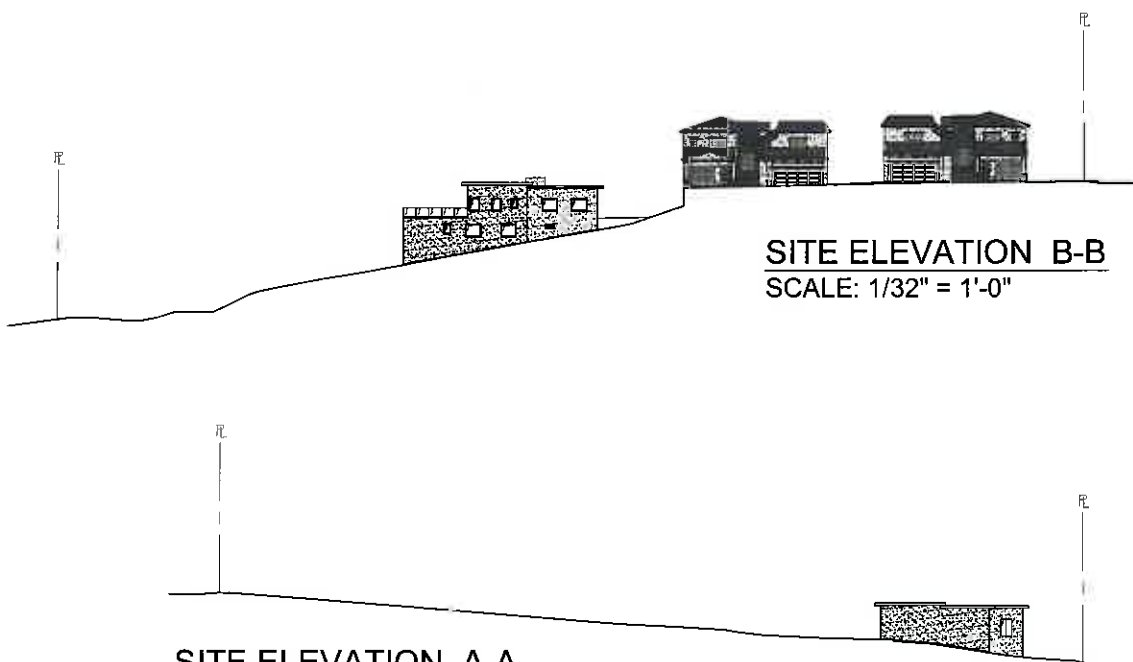
SITE PLAN
 SCALE: 1/16" = 1'-0"



TYPICAL RETAINING WALL ELEVATION

PLANS TO COMPLY WITH THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), 2013 EDITION OF THE CALIFORNIA RESIDENTIAL CODE (CRC), 2013 EDITION OF THE CALIFORNIA MECHANICAL CODE (CMC), 2013 EDITION OF THE CALIFORNIA PLUMBING CODE (CPC), 2013 EDITION OF THE CALIFORNIA ELECTRIC CODE (CEC), 2010 EDITION OF THE CALIFORNIA ENERGY CODE (TITLE 24) AND THE 2013 EDITION OF THE CALIFORNIA GREEN CODE (CAL-GREEN).

SCOPE OF WORK:
 TWO DETACHED TWO STORY WOOD FRAMED RESIDENTIAL DUPLEX. EACH UNIT TO HAVE THREE BEDROOMS AND THREE AND ONE HALF BATHS. UNITS 1 AND 2 WITH A 218 S.F. ROOF DECK. UNITS 3 AND 4 WITH DECKS OVER FIRST FLOOR. UNITS 3 AND 4 ARE BUILT OVER SLOPES, REQUIRING RETENTION WALLS WITHIN THEIR DESIGN.

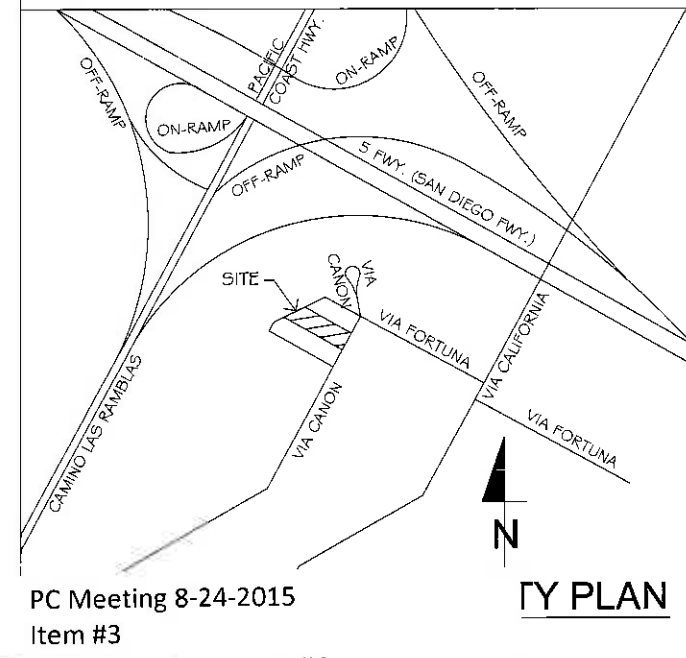


SITE ELEVATION B-B
 SCALE: 1/32" = 1'-0"



SITE ELEVATION A-A
 SCALE: 1/32" = 1'-0"

TWO DETACHED RESIDENTIAL DUPLEX	
ZONING: RD-14	PROJECT ADDRESS: 26371 VIA CANON DANA POINT, CA. 92624
OCCUPANCY: R-3	PARCEL 1:
CONSTRUCTION TYPE: VB	LOT AREA: 8462 S.F.
OWNER:	AREA OF UNIT 1:
LOUGHCAL PROPERTY'S, LLC 4667 MACARTHUR BLVD SUITE 240 NEWPORT BEACH, CA 92660 PHONE: (714) 328-3600	FIRST FLOOR: 913 S.F.
DESIGNER:	SECOND FLOOR: 1170 S.F.
FERNANDO MIAGANY 9815 CARMENITA RD. UNIT D WHITTIER, CA. 90605 PHONE: (562) 479-1896	TOTAL LIVING AREA: 2083 S.F.
TOTAL LOT AREA:	FRONT PORCH: 110 S.F.
PARCEL 1 AREA: 8462 S.F.	REAR PATIO: 20 S.F.
TOTAL BUILDING FOOTPRINT: 3098 S.F.	GARAGE: 427 S.F.
LOT COVERAGE: 36.6%	AREA OF UNIT 2:
LANDSCAPE AREA: 2515 S.F.	FIRST FLOOR: 950 S.F.
LANDSCAPE PERCENTAGE: 29.7%	SECOND FLOOR: 1170 S.F.
PARCEL 2 AREA: 17902 S.F.	TOTAL LIVING AREA: 2120 S.F.
TOTAL BUILDING FOOTPRINT: 3818 S.F.	FRONT PORCH: 55 S.F.
LOT COVERAGE: 21.3%	REAR PATIO: 20 S.F.
LANDSCAPE AREA: 7341 S.F.	GARAGE: 427 S.F.
LANDSCAPE PERCENTAGE: 41.0%	PARCEL 2:
	LOT AREA: 17902 S.F.
	AREA OF UNIT 3:
	FIRST FLOOR: 1206 S.F.
	SECOND FLOOR: 883 S.F.
	TOTAL LIVING AREA: 2089 S.F.
	FRONT PORCH: 22 S.F.
	GARAGE: 417 S.F.
	AREA OF UNIT 4:
	FIRST FLOOR: 1115 S.F.
	SECOND FLOOR: 878 S.F.
	TOTAL LIVING AREA: 1993 S.F.
	FRONT PORCH: 40 S.F.
	GARAGE: 425 S.F.



PC Meeting 8-24-2015
 Item #3
 Supporting Document #4

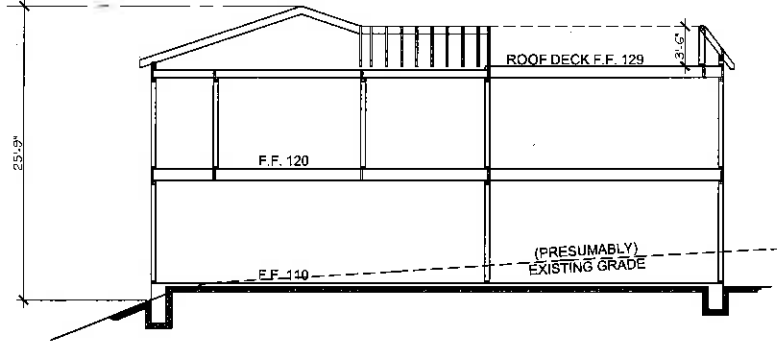
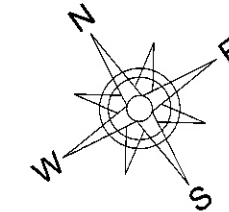
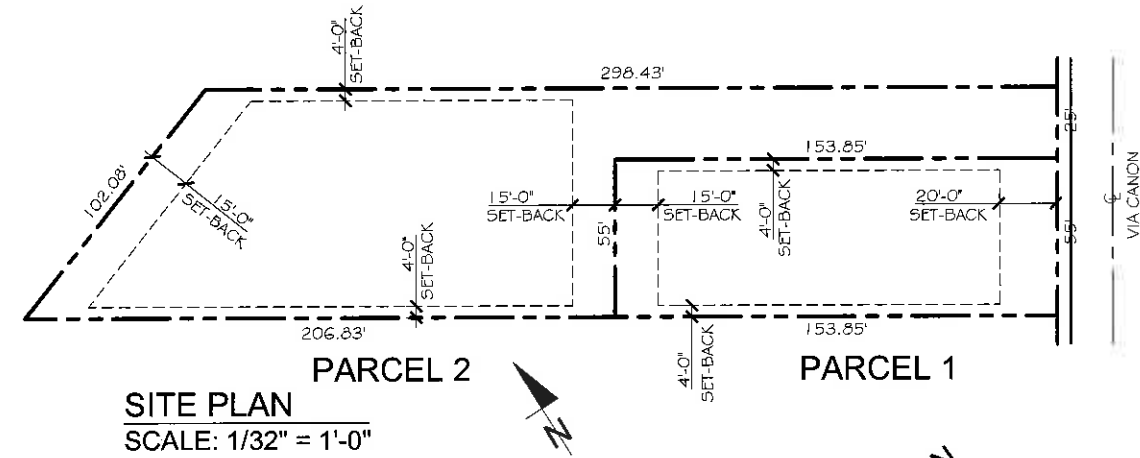
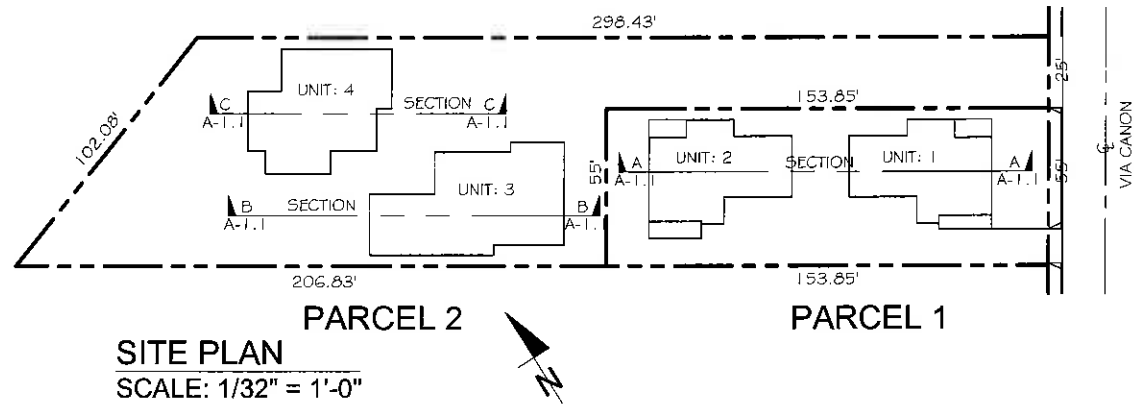
DRAWN BY:
 FERNANDO MIAGANY
 9815 CARMENITA RD. UNIT D
 WHITTIER, CA 90605
 PHONE: (562) 479-1896

INDEX:
 A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
 A-10 EAST AND WEST ELEVATIONS: UNIT 4
 A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

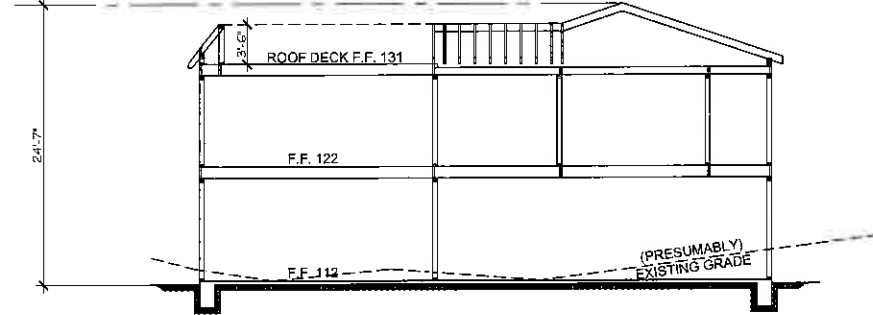
INDEX:
 A-1 SITE PLAN
 A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
 A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
 A-3 ELEVATIONS: UNIT 1
 A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
 A-5 ELEVATIONS: UNIT 2
 A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
 A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
 A-8 EAST AND WEST ELEVATIONS: UNIT 3

DATE:	2/07/14	5/09/14	6/27/15
--------------	---------	---------	---------

TWO DETACHED RESIDENTIAL DUPLEX
 ADDRESS: 26371 VIA CANON DANA POINT, CA 92624
 OWNERS: LOUGHCAL PROPERTY'S, LLC
 ADDRESS: 4667 MACARTHUR BLVD SUITE 240 NEWPORT BEACH, CA 92660
 PHONE: (714) 328-3600
 LEGAL: LOT 32 OF TRACT 735
 APN: 123-141-28



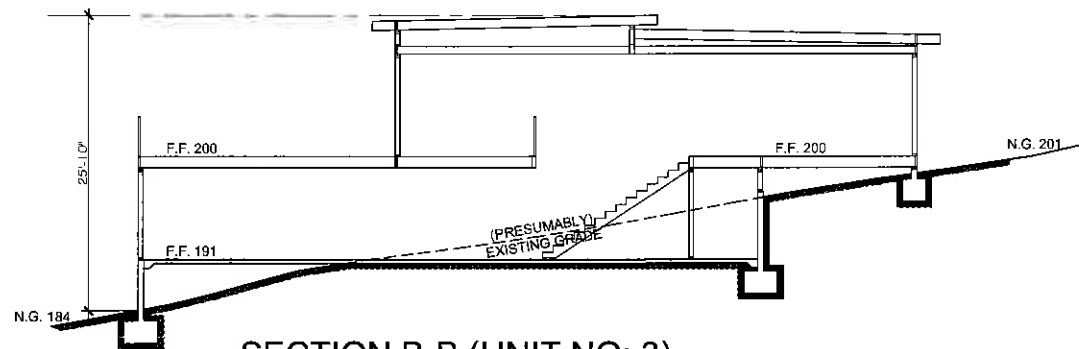
SECTION A-A (UNIT NO: 2)
SCALE: 1/8" = 1'-0"



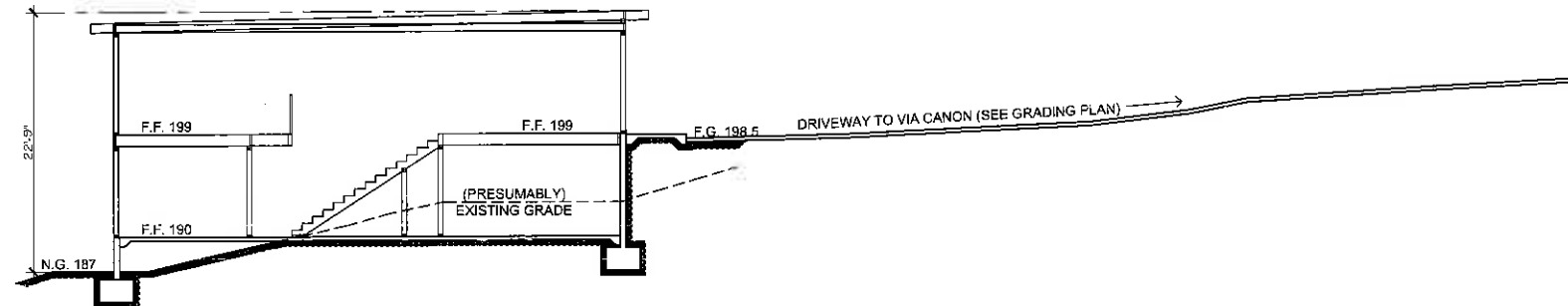
SECTION A-A (UNIT NO: 1)
SCALE: 1/8" = 1'-0"

DEVELOPMENT STANDARD MATRIX:

	STANDARD LOT: REQUIRED:	FLAG LOT: REQUIRED:	LOT 1: PROPOSED:	FLAG LOT 2: PROPOSED:
MINIMUM LOT SIZE:	5000 S.F.	5000 S.F.	8462 S.F.	17902 S.F.
MINIMUM LOT WIDTH:	45 FT.	25 FT.	55 FT.	25 FT.
MINIMUM LOT DEPTH:	100 FT.	100 FT.	153.85 FT.	206.83 FT.
MAXIMUM LOT COVERAGE:	50%	50%	36.6%	21.3%
MINIMUM LAND AREA PER UNIT:	2500 S.F.	2500 S.F.	4231 S.F.	8951 S.F.
MAXIMUM HEIGHT:	31 FT.	29 FT.	24'-7"	28'-11"
MINIMUM FRONT YARD SETBACK:	20 FT.	15 FT.	20 FT.	15 FT.
MINIMUM SIDE YARD SETBACK:	4 FT.	4 FT.	4 FT.	4 FT.
MINIMUM REAR YARD SETBACK:	15 FT.	15 FT.	15 FT.	15 FT.
MINIMUM LANDSCAPE COVERAGE:	15 %	15%	30.5%	41.4%
MINIMUM BUILDING SEPERATION:	10 FT.	10 FT.	20 FT.	15 FT.



SECTION B-B (UNIT NO: 3)
SCALE: 1/8" = 1'-0"



SECTION C-C (UNIT NO: 4)
SCALE: 1/8" = 1'-0"

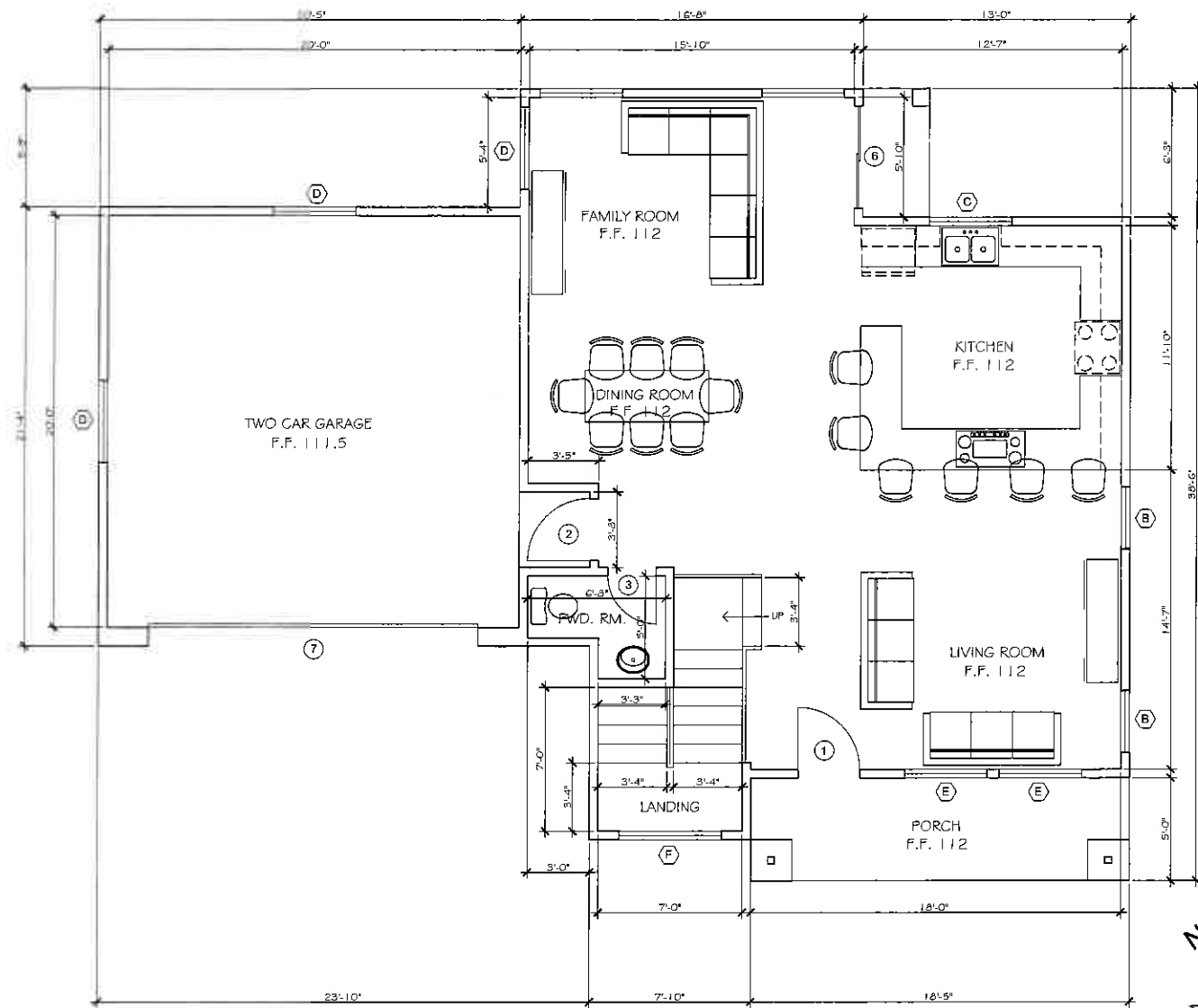
DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 478-1886

INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

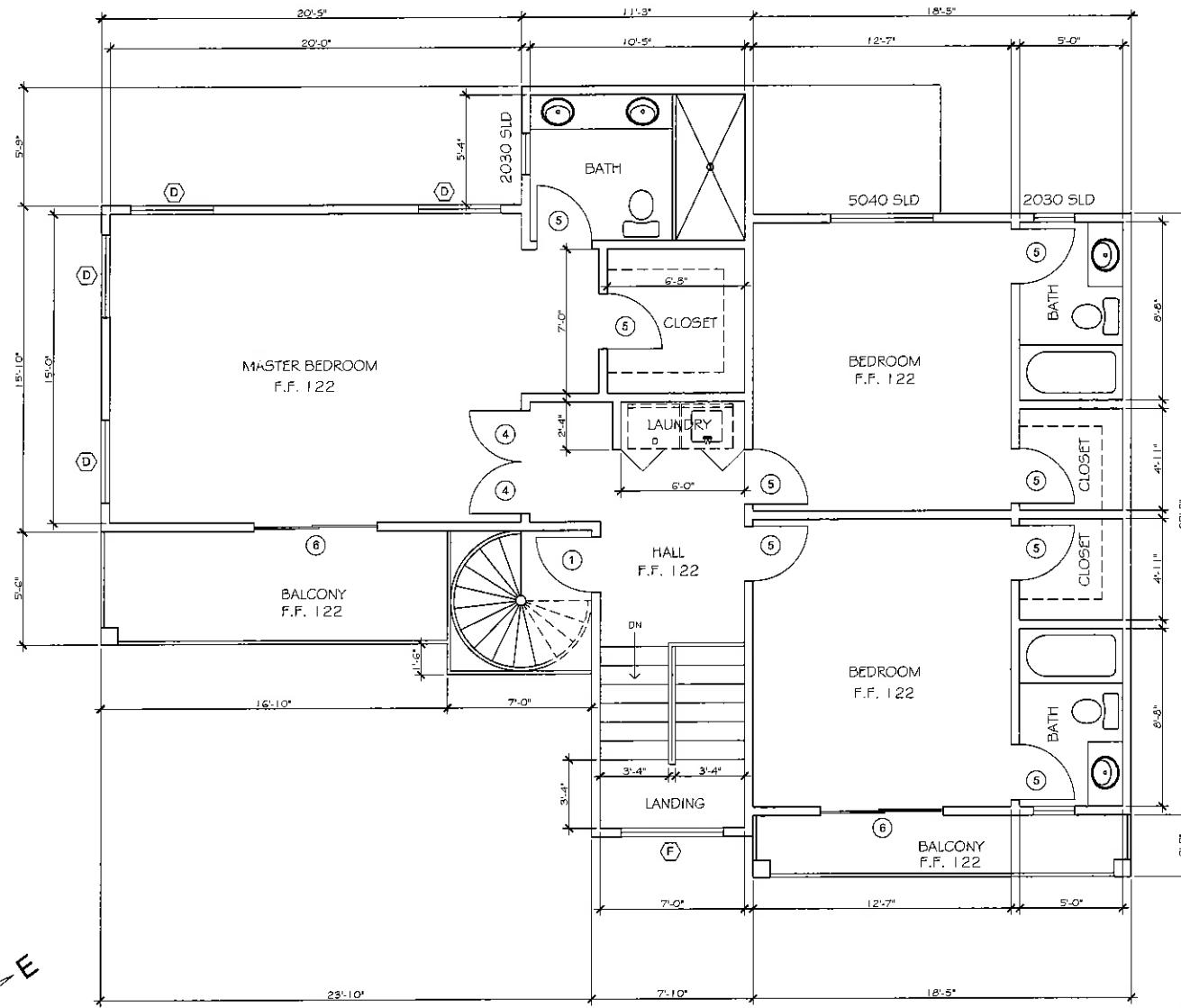
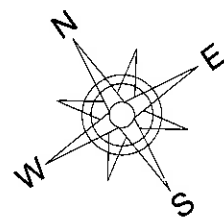
DATE:	2/07/14	5/09/14	6/27/15		
--------------	---------	---------	---------	--	--

TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHAL PROPERTY'S, LLC
ADDRESS: 4687 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28



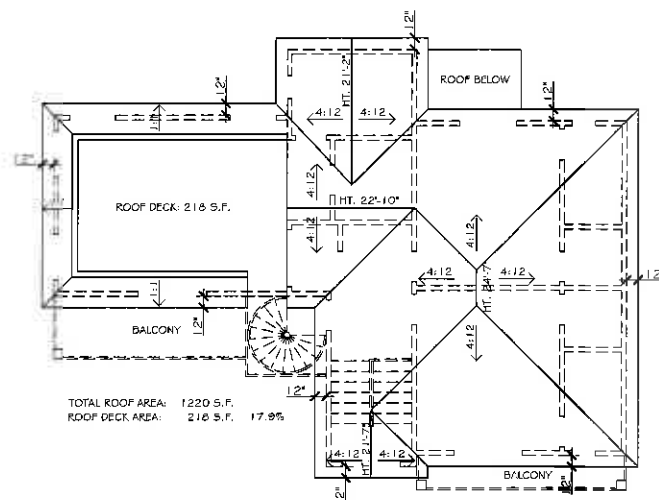
FIRST FLOOR PLAN (UNIT NO: 1)
SCALE: 1/4" = 1'-0"

913 S.F.



SECOND FLOOR PLAN (UNIT NO: 1)
SCALE: 1/4" = 1'-0"

1170 S.F.



ROOF PLAN (UNIT NO: 1)
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE PER UNIT

SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL	
		W	H		DOOR	FRAME
①	2	3'-0"	6'-8"	SWINGING - SINGLE (SOLID CORE)	WOOD	WOOD
②	1	3'-0"	6'-8"	SWINGING - SINGLE (SOLID CORE) SELF CLOSING	WOOD	WOOD
③	1	2'-4"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
④	2	2'-6"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
⑤	8	2'-8"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
⑥	1	5'-0"	6'-8"	SLIDING GLASS DOOR	TEMP. GLASS	WOOD
⑦	3	6'-0"	6'-8"	SLIDING GLASS DOOR	TEMP. GLASS	WOOD
⑧	1	16'-0"	7'-0"	ROLL-UP GARAGE DOOR	ALUM.	WOOD

WINDOW SCHEDULE PER UNIT

SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL		NOTES
		W	H		FRAME & SASH	GLASS	
Ⓐ	3	2'-0"	3'-0"	SLIDING	VINYL	TEMP. D. G.	OBSURED
Ⓑ	2	3'-0"	4'-0"	SLIDING	VINYL	D. G.	
Ⓒ	1	4'-0"	3'-0"	SLIDING	VINYL	D. G.	
Ⓓ	9	4'-0"	4'-0"	SLIDING	VINYL	D. G.	
Ⓔ	2	4'-0"	5'-0"	SLIDING	VINYL	D. G.	
Ⓕ	1	5'-0"	6'-0"	FIXED GLASS	VINYL	TEMP. D. G.	

NOTE:
IN ALL BEDROOMS PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
1. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 S.F.
2. A MINIMUM CLEAR HEIGHT OF 24".
3. A MINIMUM CLEAR WIDTH OF 20".
2. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.

DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 479-1886

INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

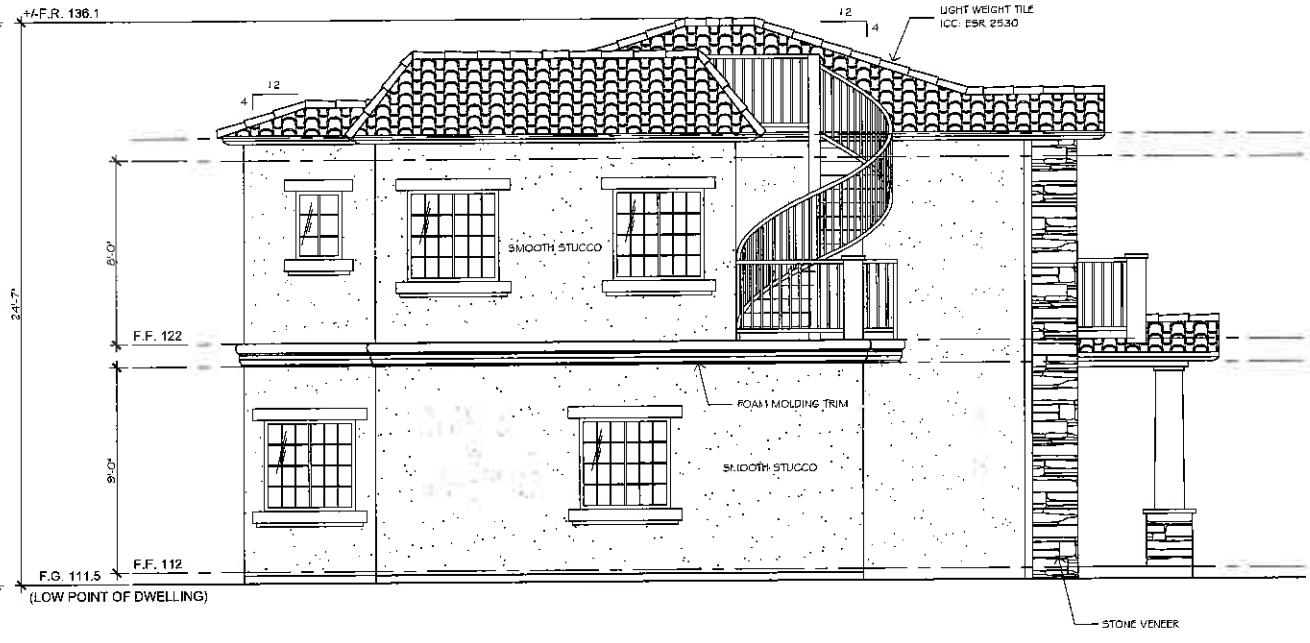
DATE: 2/07/14
5/09/14
6/27/15

TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHCAL PROPERTIES, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28



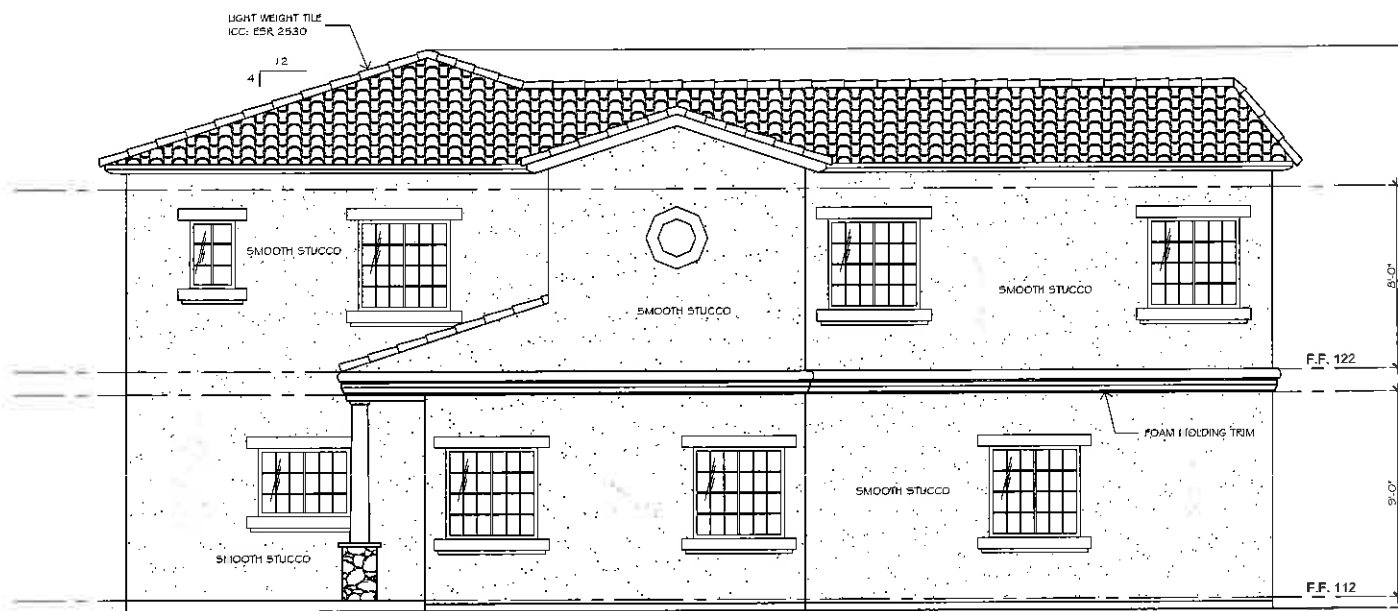
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 1



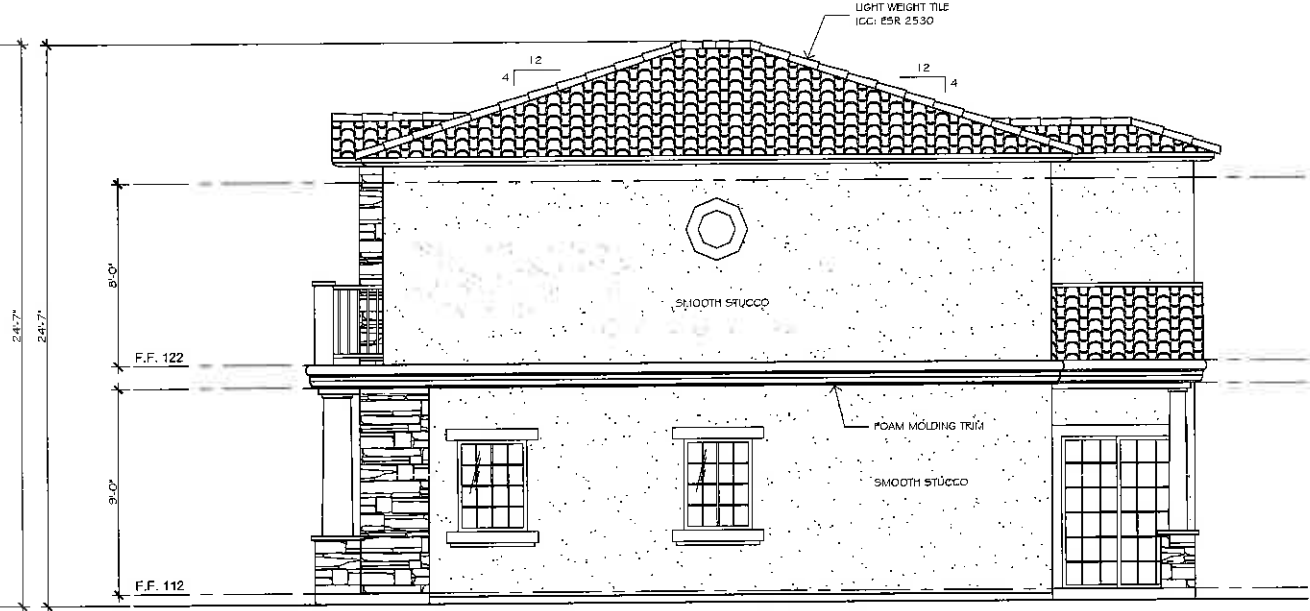
WEST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 1



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 1



EAST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 1

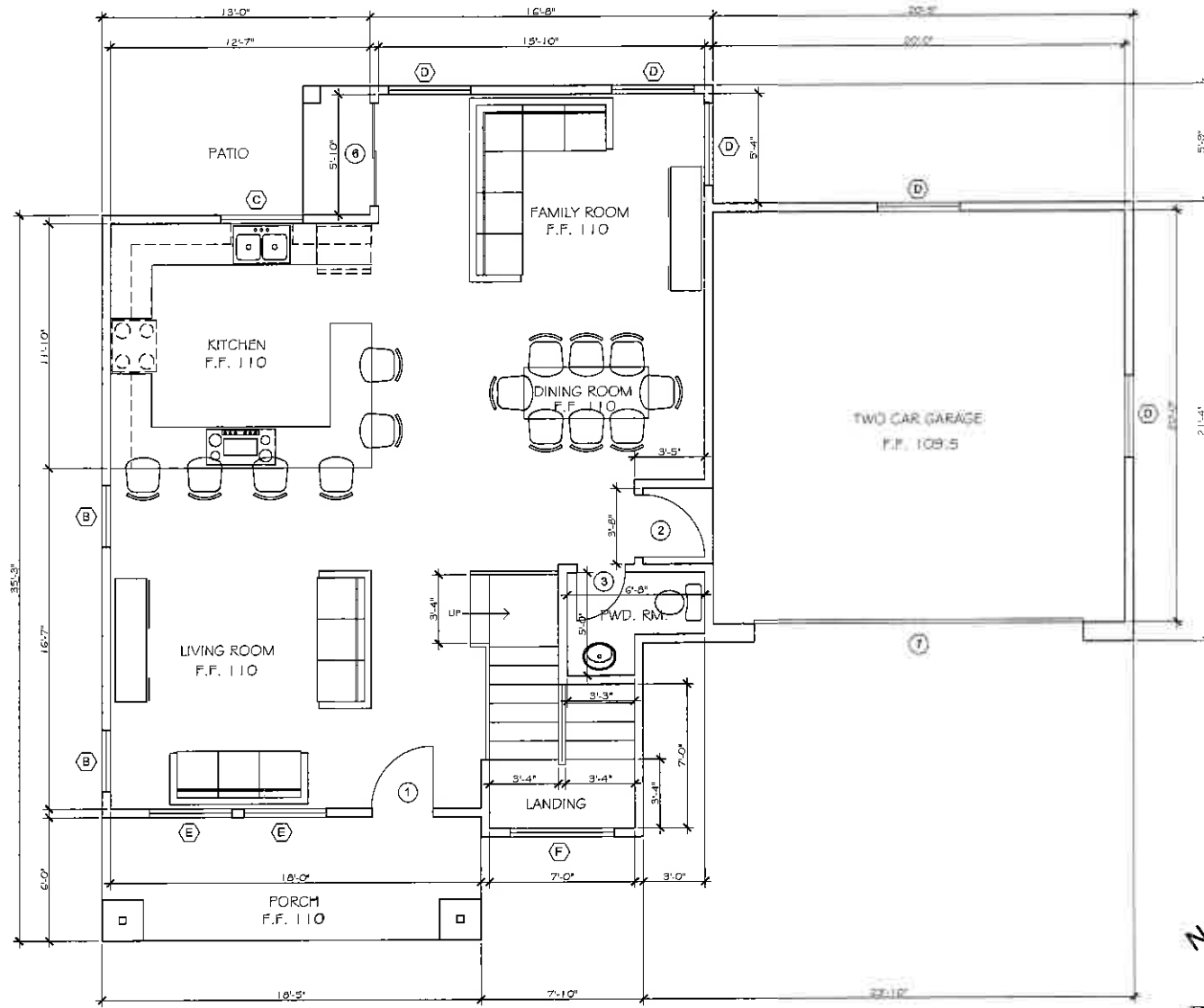
DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 479-1896

INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

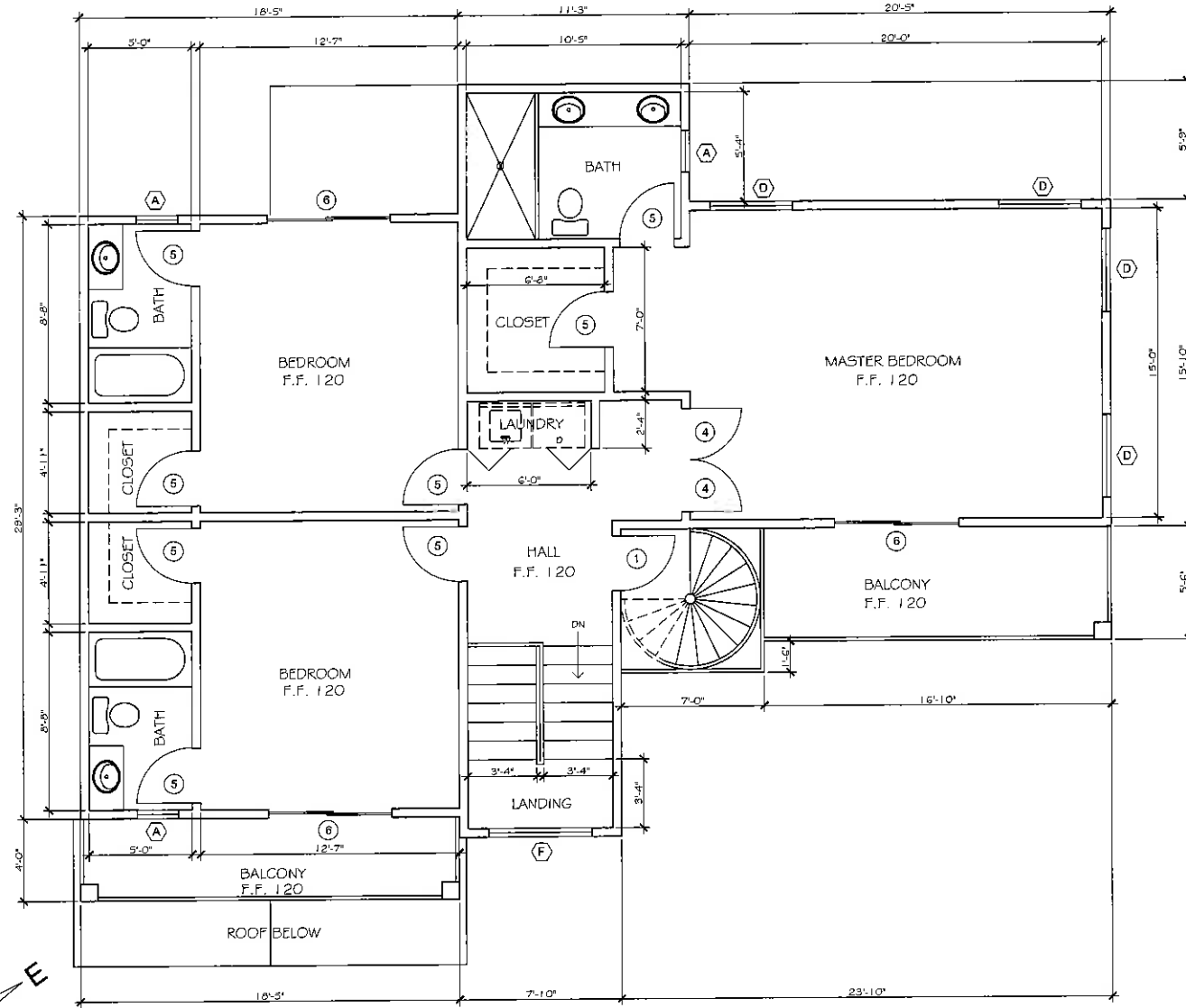
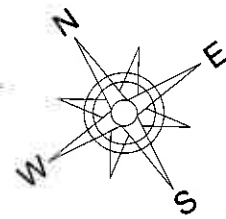
DATE:	2/07/14
	5/09/14
	6/27/15

TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGICAL PROPERTY'S, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28



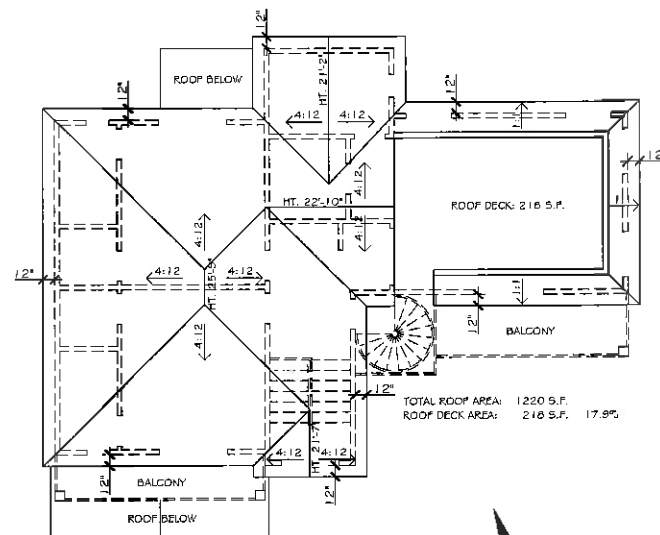
FIRST FLOOR PLAN (UNIT NO: 2)
SCALE: 1/4" = 1'-0"

950 S.F.



SECOND FLOOR PLAN (UNIT NO: 2)
SCALE: 1/4" = 1'-0"

1170 S.F.



ROOF PLAN (UNIT NO: 2)
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE PER UNIT

SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL	
		W	H		DOOR	FRAME
1	2	3'-0"	6'-8"	SWINGING - SINGLE (SOLID CORE)	WOOD	WOOD
2	1	3'-0"	6'-8"	SWINGING - SINGLE (SOLID CORE) SELF CLOSING	WOOD	WOOD
3	1	2'-4"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
4	2	2'-6"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
5	8	2'-8"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
6	1	5'-0"	6'-8"	SLIDING GLASS DOOR	TEMP. GLASS	WOOD
7	3	6'-0"	6'-8"	SLIDING GLASS DOOR	TEMP. GLASS	WOOD
8	1	16'-0"	7'-0"	ROLL-UP GARAGE DOOR	ALUM.	WOOD

WINDOW SCHEDULE PER UNIT

SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL		NOTES
		W	H		FRAME & SASH	GLASS	
A	3	2'-0"	3'-0"	SLIDING	VINYL	TEMP. D. G.	OBSCURED
B	2	3'-0"	4'-0"	SLIDING	VINYL	D. G.	
C	1	4'-0"	3'-0"	SLIDING	VINYL	D. G.	
D	9	4'-0"	4'-0"	SLIDING	VINYL	D. G.	
E	2	4'-0"	5'-0"	SLIDING	VINYL	D. G.	
F	1	5'-0"	6'-0"	FIXED GLASS	VINYL	TEMP. D. G.	

NOTE:
IN ALL BEDROOMS PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
1. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 S.F.
2. A MINIMUM CLEAR HEIGHT OF 24".
3. A MINIMUM CLEAR WIDTH OF 20".
2. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.

DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 479-1896

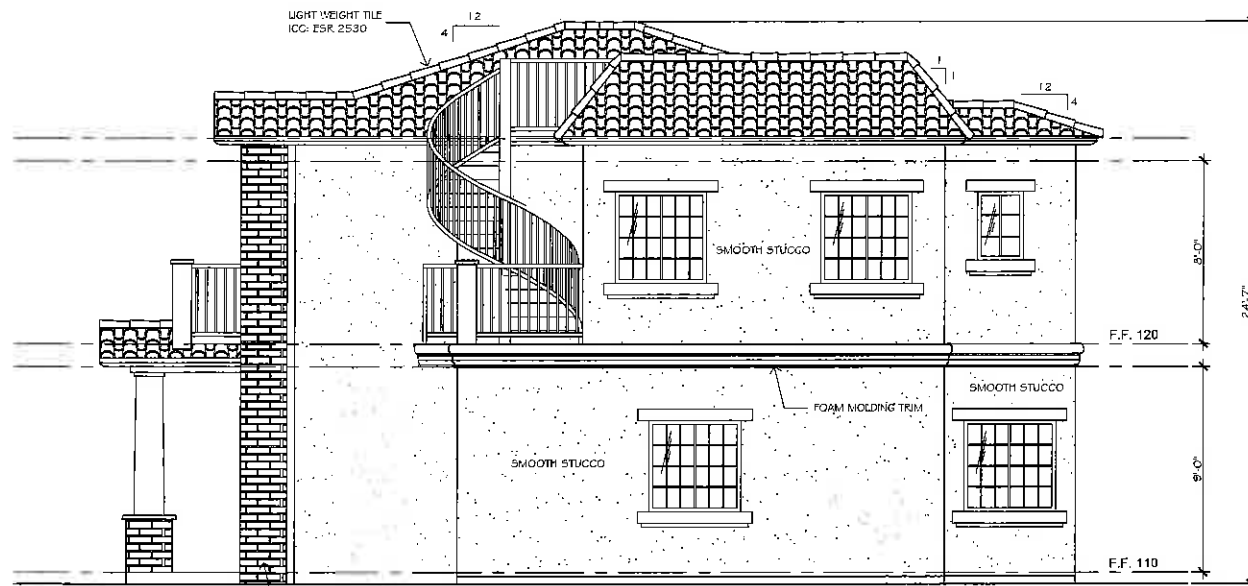
INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

DATE:	2/07/14
	5/09/14
	6/27/15

TWO DETACHED RESIDENTIAL DUPLEX

ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGICAL PROPERTY'S, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28



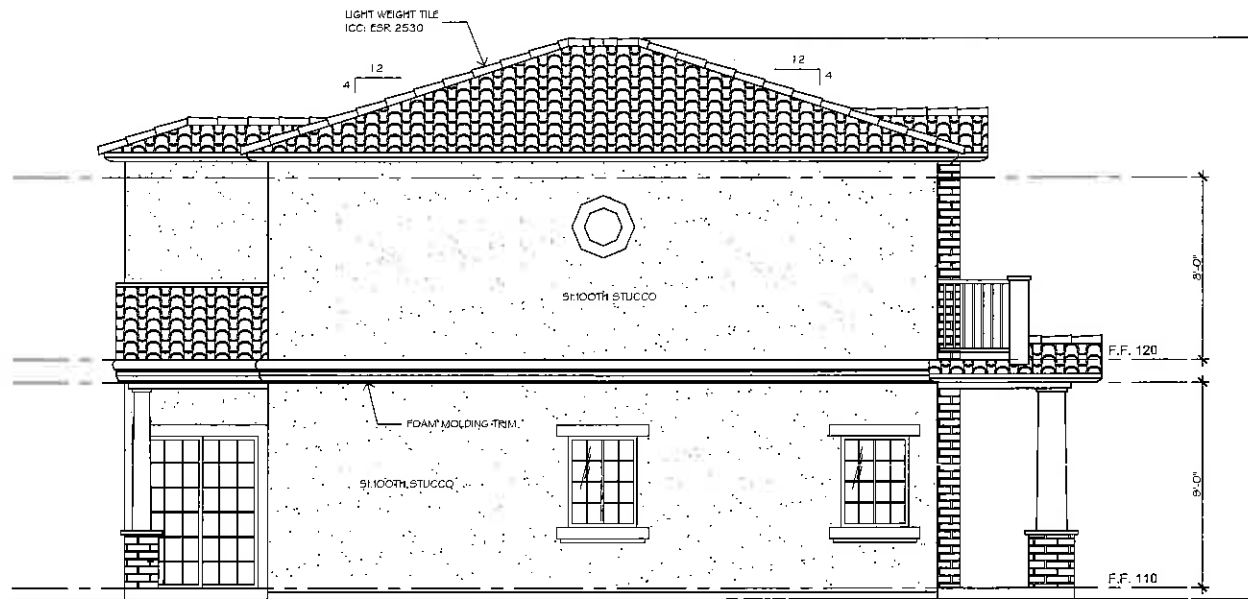
EAST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 2



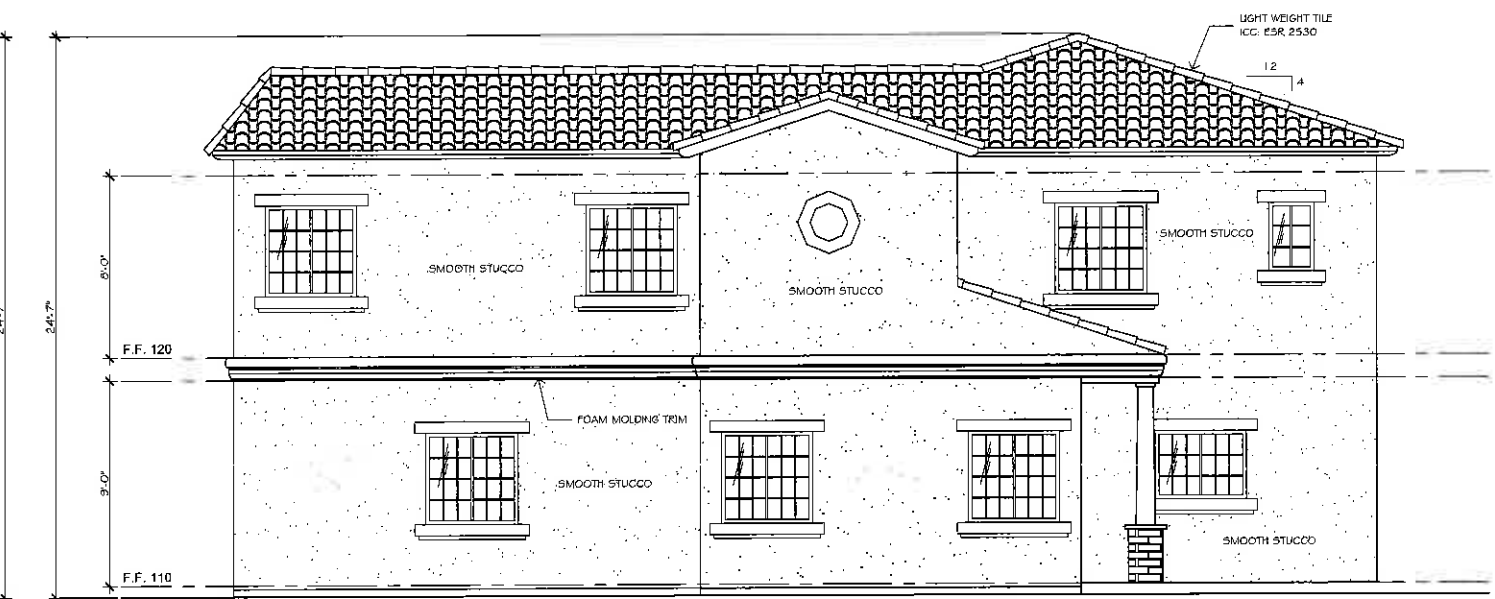
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 2



WEST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 2



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 2

DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 479-1886

INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

DATE:	2/27/14
	5/09/14
	6/27/15

TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHAL PROPERTIES, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28

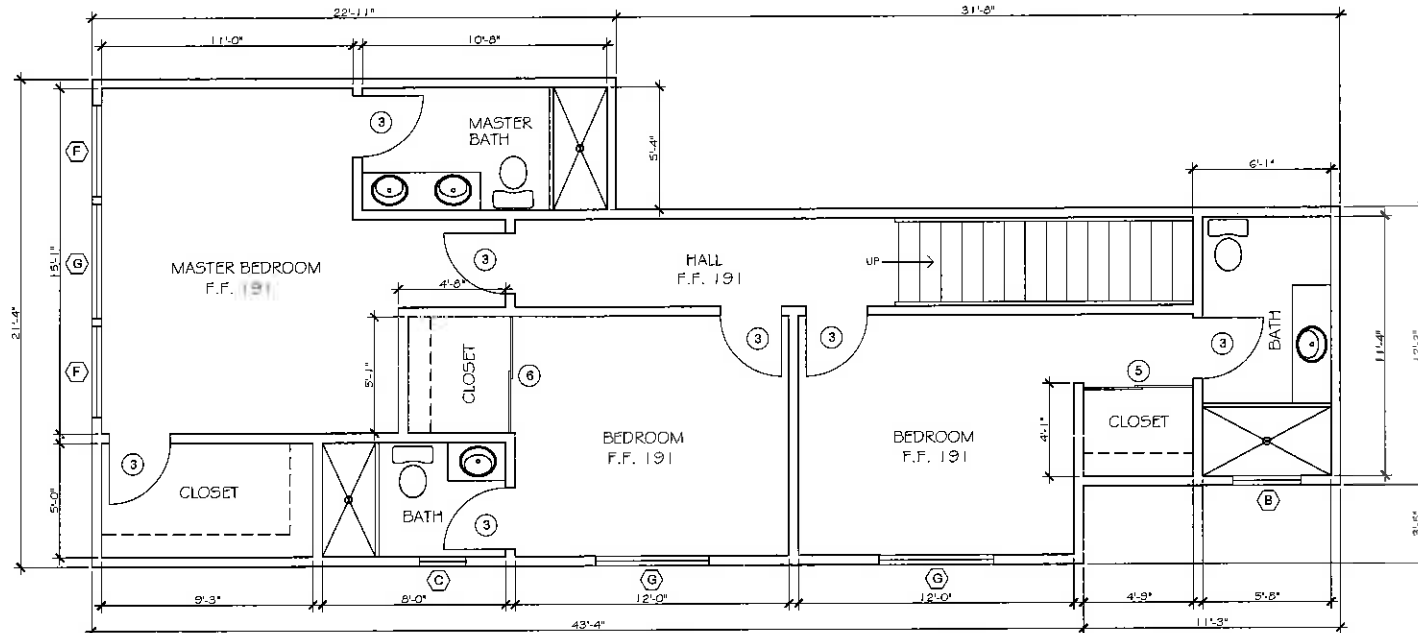
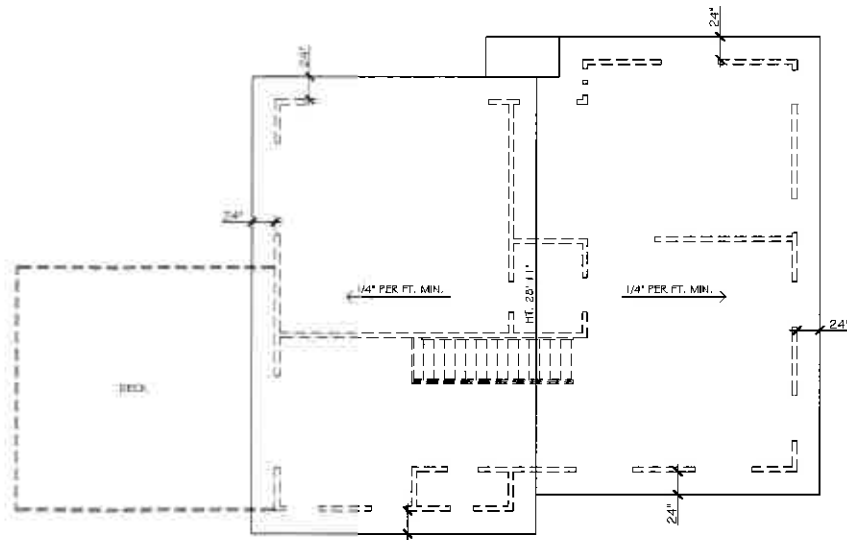
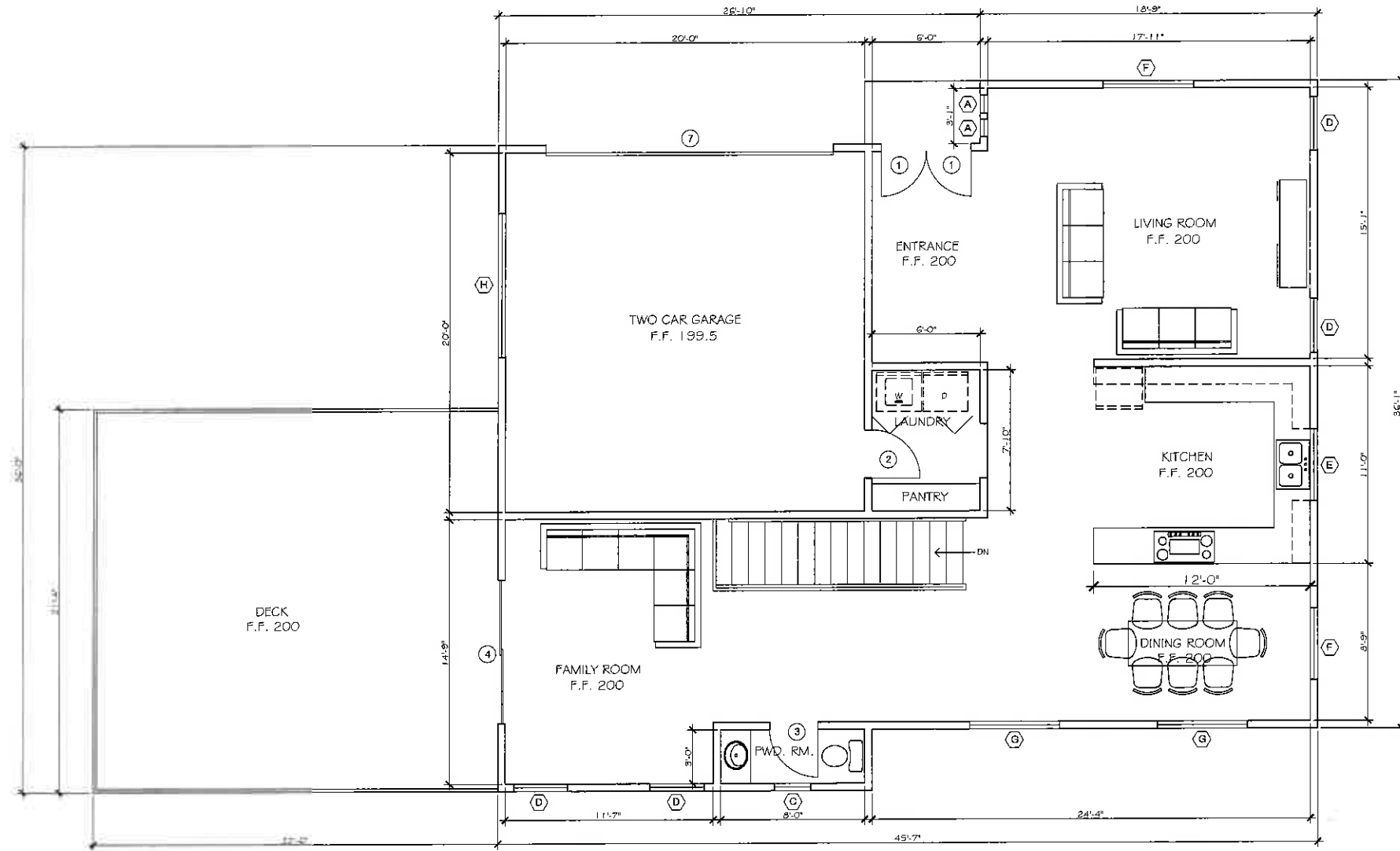
DOOR SCHEDULE PER UNIT

SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL	
		W	H		DOOR	FRAME
①	1	2'-6"	6'-8"	SWINGING - SINGLE (SOLID CORE)	WOOD	WOOD
②	1	2'-8"	6'-8"	SWINGING - SINGLE (SOLID CORE) SELF CLOSING	WOOD	WOOD
③	7	2'-8"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
④	1	8'-0"	6'-8"	SLIDING GLASS DOOR	TEMP. GLASS	WOOD
⑤	1	4'-8"	6'-8"	SLIDING MIRRORED GLASS DOOR	TEMP. GLASS	WOOD
⑥	1	5'-0"	6'-8"	SLIDING MIRRORED GLASS DOOR	TEMP. GLASS	WOOD
⑦	1	16'-0"	7'-0"	ROLL-UP GARAGE DOOR	ALUM.	WOOD

WINDOW SCHEDULE PER UNIT

SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL		NOTES
		W	H		FRAME & SASH	GLASS	
Ⓐ	2	1'-0"	4'-0"	FIXED GLASS	VINYL	TEMP. D. G.	
Ⓑ	1	3'-0"	1'-0"	SLIDING	VINYL	TEMP. D. G.	OBSCURED
Ⓒ	2	2'-0"	3'-0"	SLIDING	VINYL	TEMP. D. G.	OBSCURED
Ⓓ	4	3'-0"	4'-0"	SLIDING	VINYL	D. G.	
Ⓔ	1	4'-0"	3'-0"	SLIDING	VINYL	D. G.	
Ⓕ	4	4'-0"	4'-0"	SLIDING	VINYL	D. G.	
Ⓖ	5	5'-0"	4'-0"	SLIDING	VINYL	D. G.	
Ⓗ	1	8'-0"	2'-0"	FIXED GLASS	VINYL	D. G.	

NOTE:
 IN ALL BEDROOMS PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
 1. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 S.F.
 2. A MINIMUM CLEAR HEIGHT OF 24".
 3. A MINIMUM CLEAR WIDTH OF 20".
 4. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.



DRAWN BY:
 FERNANDO MIAGANY
 9815 CARMENTA RD. UNIT D
 WHITTIER, CA 90605
 PHONE: (562) 478-1886

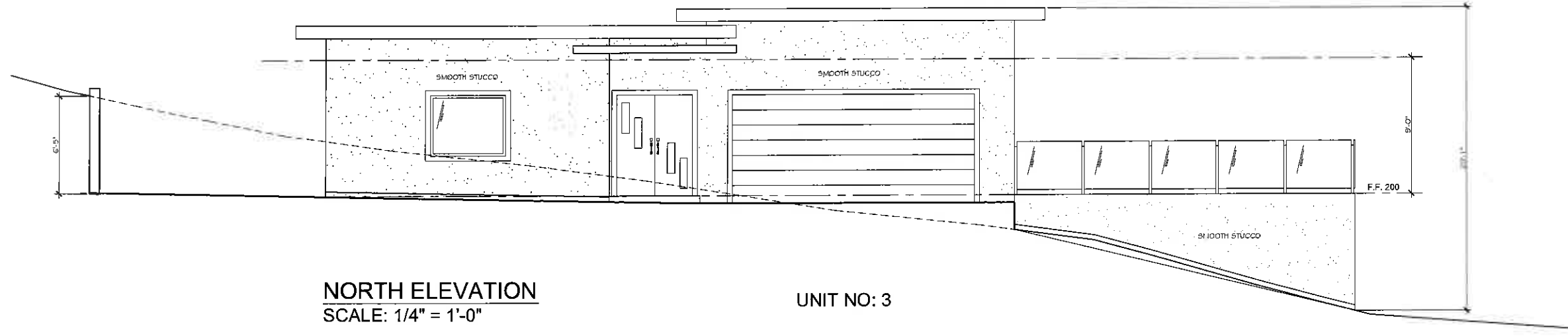
INDEX:
 A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
 A-10 EAST AND WEST ELEVATIONS: UNIT 4
 A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
 A-1 SITE PLAN
 A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
 A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
 A-3 ELEVATIONS: UNIT 1
 A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
 A-5 ELEVATIONS: UNIT 2
 A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
 A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
 A-8 EAST AND WEST ELEVATIONS: UNIT 3

DATE:	2/07/14	5/09/14	6/27/15

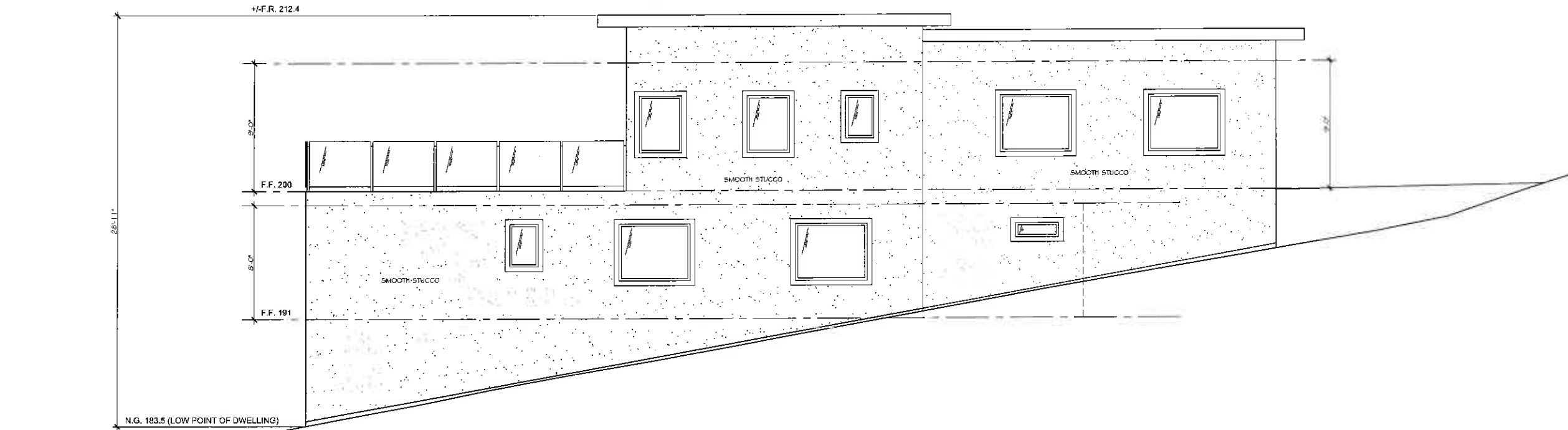
TWO DETACHED RESIDENTIAL DUPLEX

ADDRESS: 26371 VIA CANON
 DANA POINT, CA 92624
 OWNERS: LOUGHICAL PROPERTIES, LLC
 ADDRESS: 4667 MACARTHUR BLVD SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (714) 328-3600
 LEGAL: LOT 32 OF TRACT 735
 APN: 123-141-28



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 3



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 3

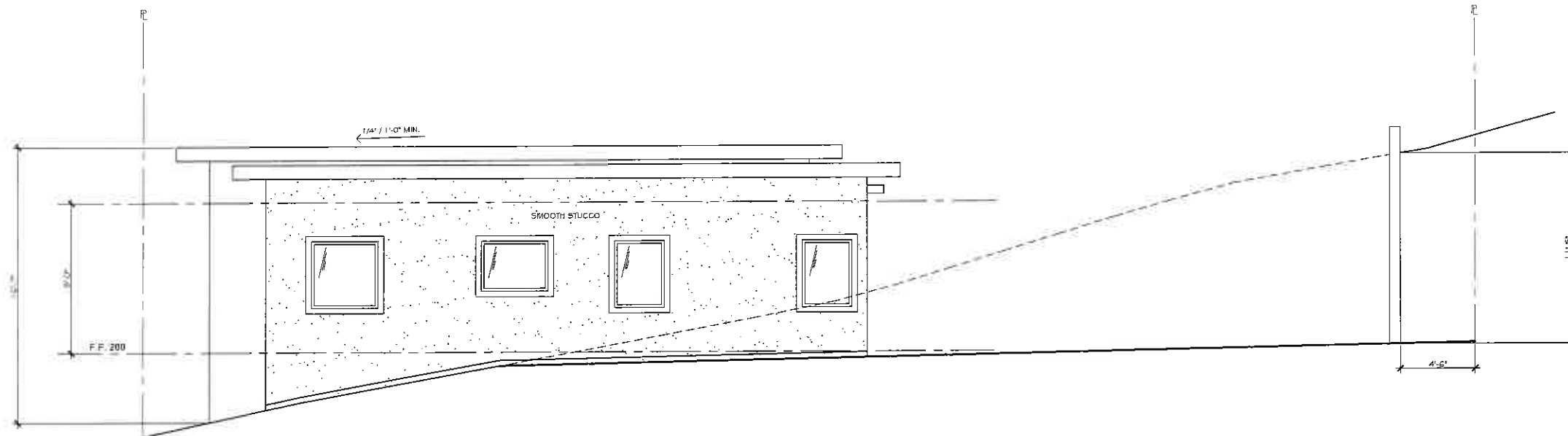
DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 475-1896

INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

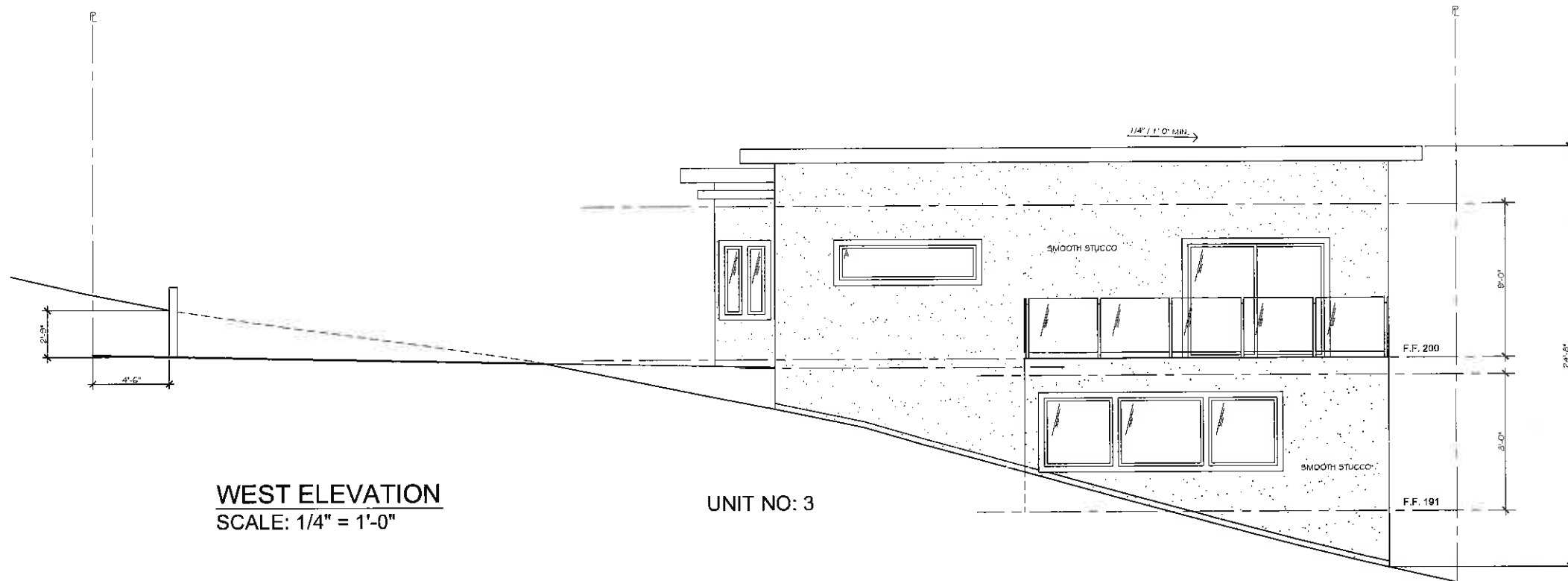
DATE:
2/07/14
5/09/14
6/27/15

TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHAL PROPERTY'S, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 92 OF TRACT 735
APN: 123-141-28



EAST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 3



WEST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 3

TWO DETACHED RESIDENTIAL DUPLEX

ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHICAL PROPERTY'S, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92680
PHONE: (714) 328-3800
LEGAL: LOT 32 OF TRACT 795
APN: 123-141-28

DATE:

2/07/14

5/09/14

6/27/15

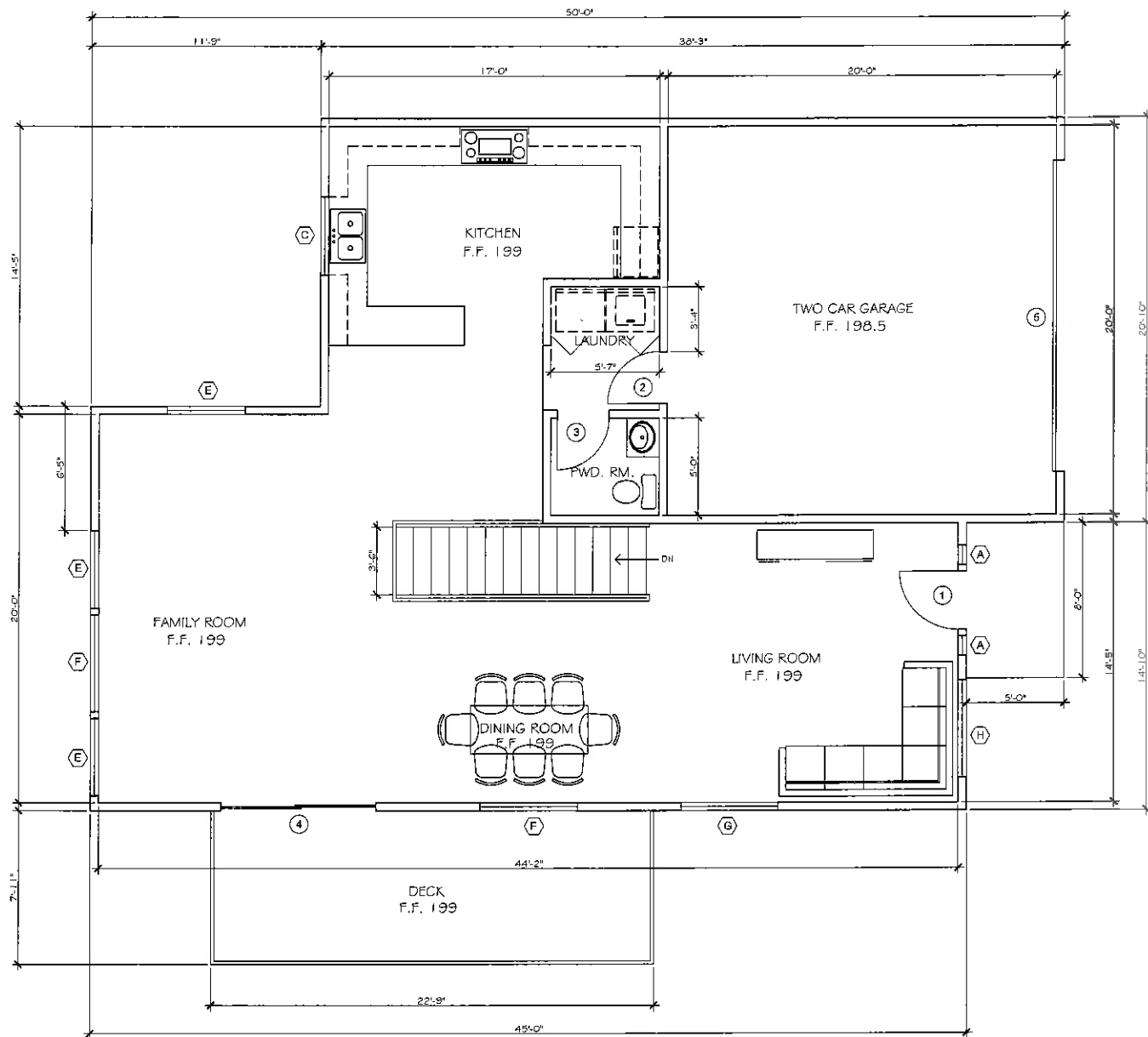
INDEX:

- A-1 SITE PLAN
- A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
- A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
- A-3 ELEVATIONS: UNIT 1
- A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
- A-5 ELEVATIONS: UNIT 2
- A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
- A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
- A-8 EAST AND WEST ELEVATIONS: UNIT 3

INDEX:

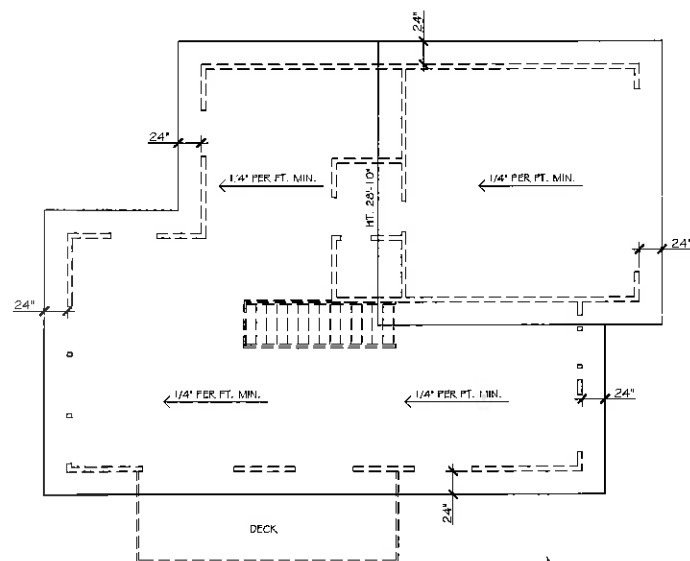
- A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
- A-10 EAST AND WEST ELEVATIONS: UNIT 4
- A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (662) 478-1886



SECOND FLOOR PLAN (UNIT NO: 4)
SCALE: 1/4" = 1'-0"

1115 S.F.



ROOF PLAN (UNIT NO: 4)
SCALE: 1/8" = 1'-0"

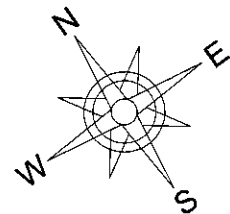
DOOR SCHEDULE PER UNIT

SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL	
		W	H		DOOR	FRAME
①	1	3'-0"	6'-8"	SWINGING - SINGLE (SOLID CORE)	WOOD	WOOD
②	1	2'-8"	6'-8"	SWINGING - SINGLE (SOLID CORE) SELF CLOSING	WOOD	WOOD
③	7	2'-8"	6'-8"	SWINGING - SINGLE (HOLLOW CORE)	WOOD	WOOD
④	1	6'-0"	6'-8"	SLIDING GLASS DOOR	TEMP. GLASS	WOOD
⑤	1	16'-0"	7'-0"	ROLL-UP GARAGE DOOR	ALUM.	WOOD

WINDOW SCHEDULE PER UNIT

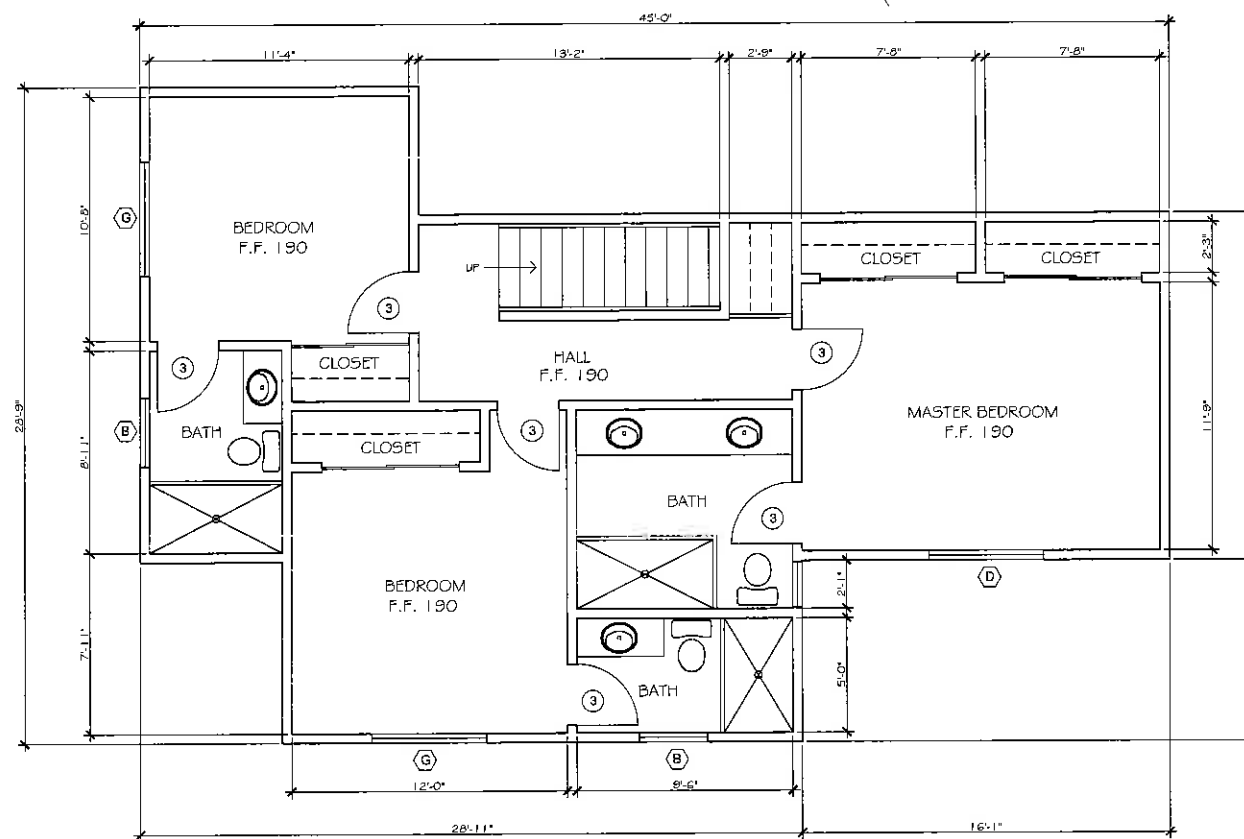
SYMBOL	QUANTITY	SIZE		TYPE	MATERIAL		NOTES
		W	H		FRAME & SASH	GLASS	
Ⓐ	2	1'-0"	6'-0"	FIXED GLASS	VINYL	TEMP. D. G.	TEMPERED GLASS
Ⓑ	2	3'-0"	3'-0"	SLIDING	VINYL	TEMP. D. G.	OBSURED TEMPERED GLASS
Ⓒ	1	4'-0"	3'-0"	SLIDING	VINYL	TEMP. D. G.	
Ⓓ	1	5'-0"	4'-0"	SLIDING	VINYL	D. G.	
Ⓔ	3	4'-0" 4'-0"	3'-0" 2'-10"	SLIDING WITH FIXED GLASS	VINYL	D. G.	TEMPERED GLASS
Ⓕ	2	5'-0"	6'-0"	FIXED GLASS	VINYL	D. G.	TEMPERED GLASS
Ⓖ	2	5'-0" 5'-0"	3'-0" 2'-10"	SLIDING WITH FIXED GLASS	VINYL	D. G.	TEMPERED GLASS
Ⓗ	1	5'-0"	6'-0"	SLIDING	VINYL	D. G.	TEMPERED GLASS

NOTE:
IN ALL BEDROOMS PROVIDE ONE OPENABLE ESCAPE WINDOW MEETING ALL OF THE FOLLOWING:
1. A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 S.F.
2. A MINIMUM CLEAR HEIGHT OF 24".
3. A MINIMUM CLEAR WIDTH OF 20".
2. THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR.



FIRST FLOOR PLAN (UNIT NO: 4)
SCALE: 1/4" = 1'-0"

878 S.F.



DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 479-1896

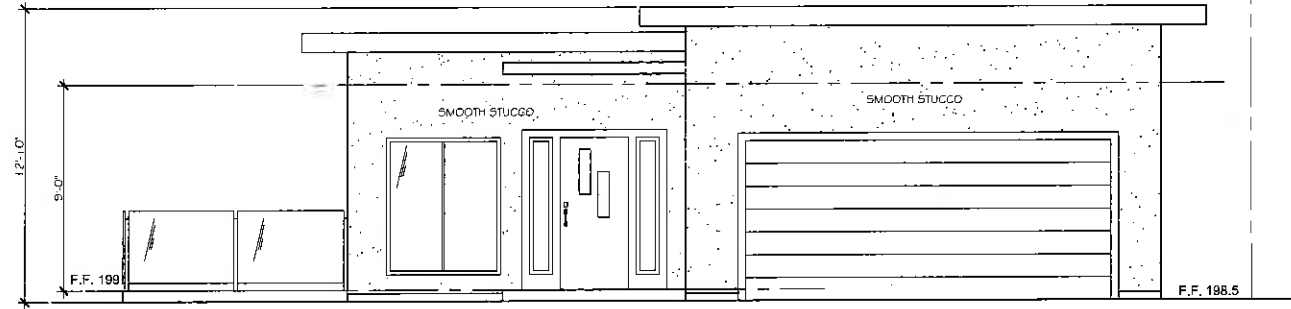
INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

DATE:
2/07/14
5/09/14
6/27/15

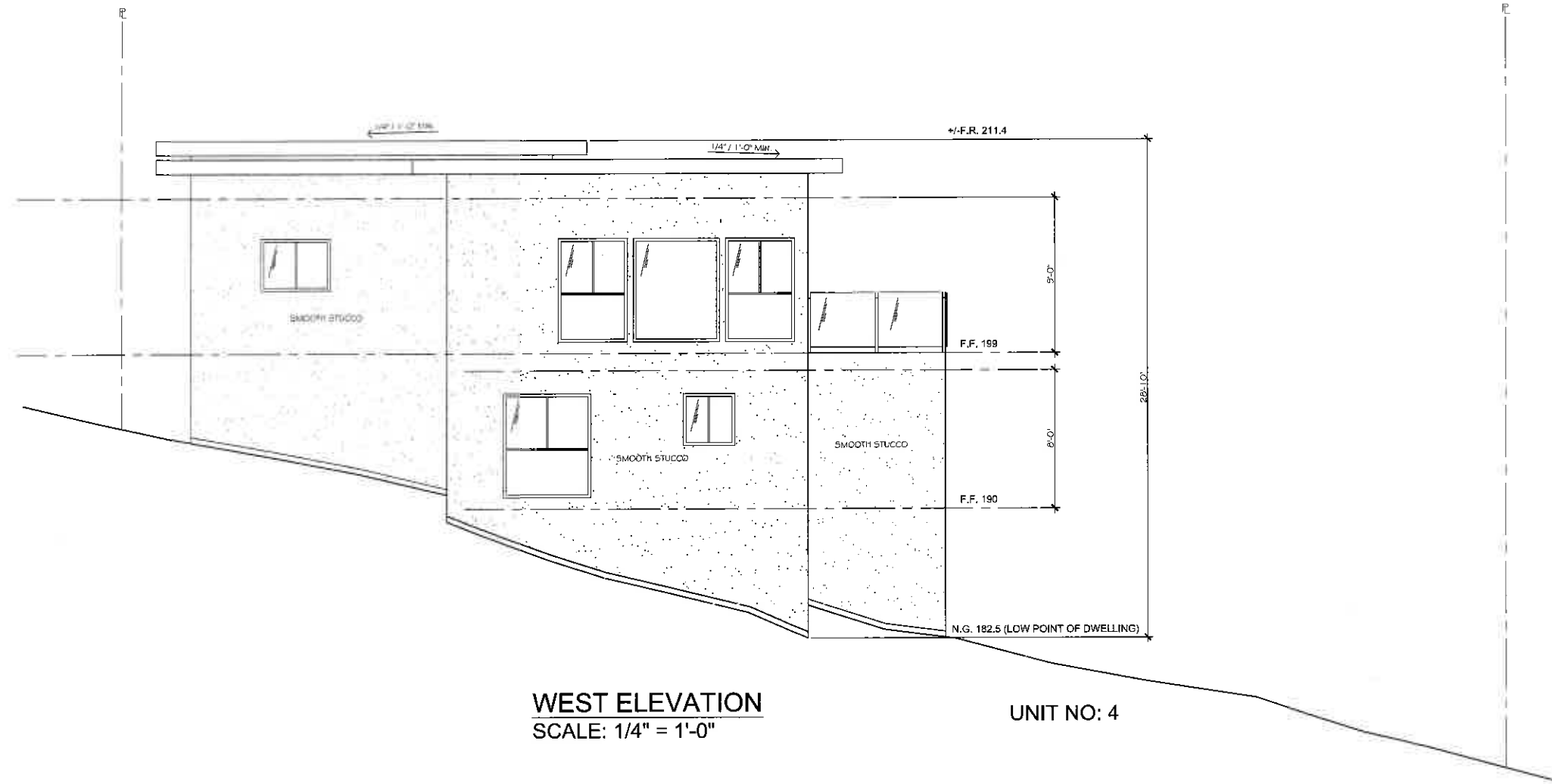
TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHICAL PROPERTIES, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28





EAST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 4



WEST ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 4

DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 478-1896

INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

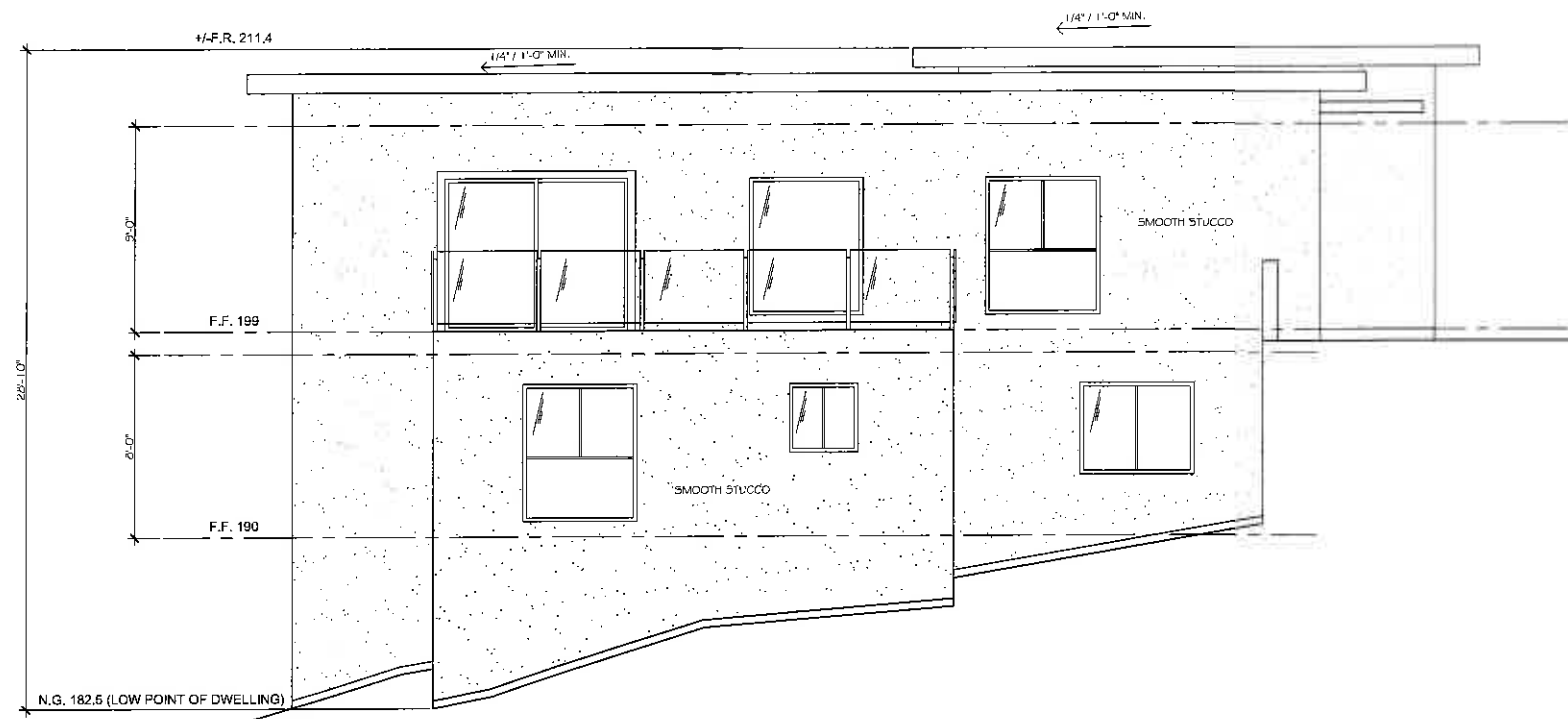
INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

DATE:
2/27/14
5/09/14
6/27/15

TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHCAL PROPERTY'S, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28

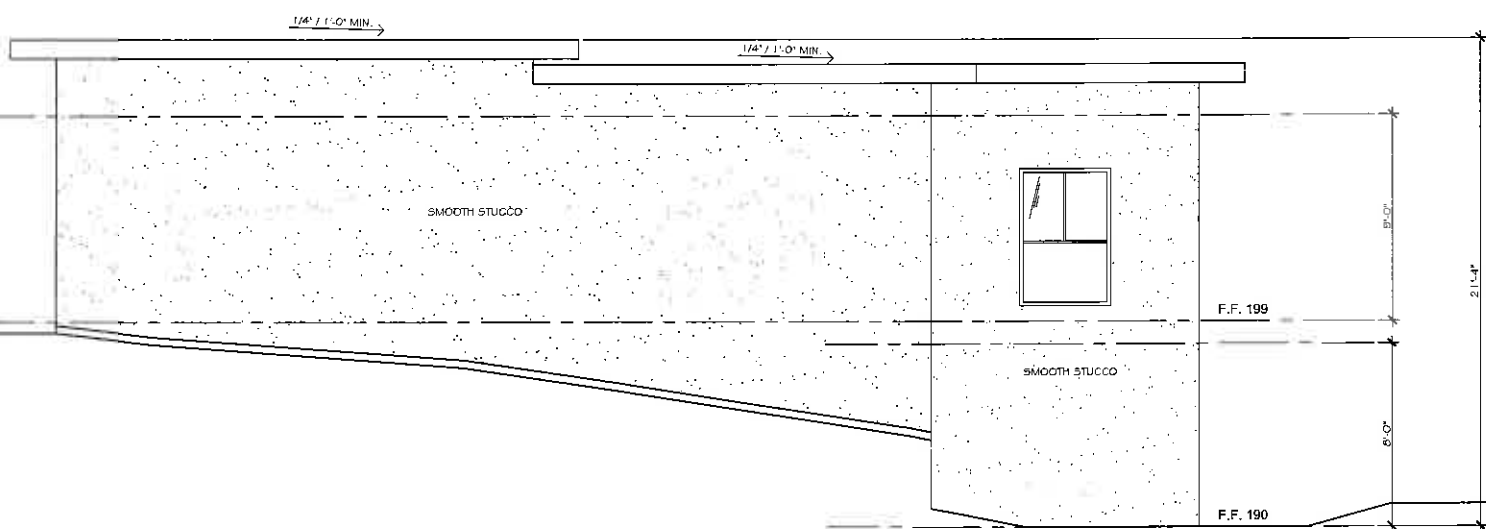
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 4



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

UNIT NO: 4



DRAWN BY:
FERNANDO MIAGANY
9815 CARMENITA RD. UNIT D
WHITTIER, CA 90605
PHONE: (562) 479-1898

INDEX:
A-9 FLOOR PLANS AND ROOF PLAN: UNIT 4
A-10 EAST AND WEST ELEVATIONS: UNIT 4
A-11 NORTH AND SOUTH ELEVATIONS: UNIT 3

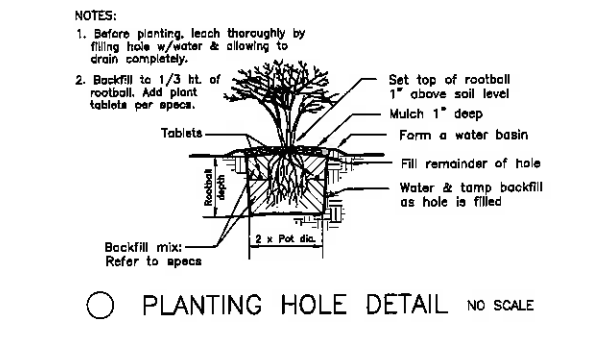
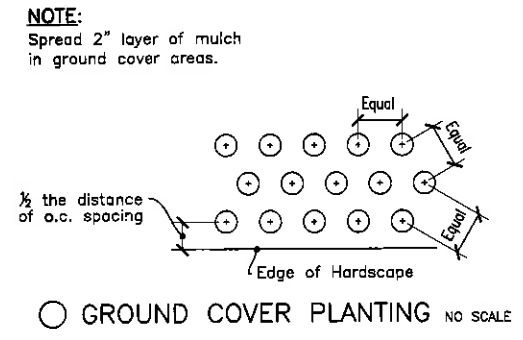
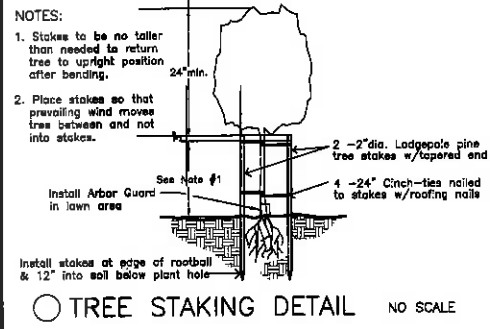
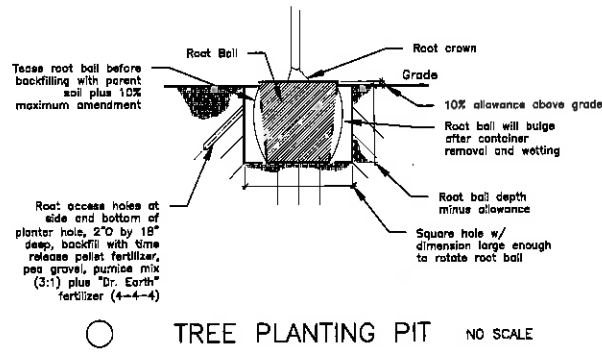
INDEX:
A-1 SITE PLAN
A-1.1 DIMENSIONAL SITE PLAN, SECTIONS, AND DEVELOPMENT STANDARD MATRIX
A-2 FLOOR PLANS AND ROOF PLAN: UNIT 1
A-3 ELEVATIONS: UNIT 1
A-4 FLOOR PLANS AND ROOF PLAN: UNIT 2
A-5 ELEVATIONS: UNIT 2
A-6 FLOOR PLANS AND ROOF PLAN: UNIT 3
A-7 NORTH AND SOUTH ELEVATIONS: UNIT 3
A-8 EAST AND WEST ELEVATIONS: UNIT 3

DATE:	
2/27/14	
5/09/14	
6/27/15	

TWO DETACHED RESIDENTIAL DUPLEX
ADDRESS: 26371 VIA CANON
DANA POINT, CA 92624
OWNERS: LOUGHICAL PROPERTIES, LLC
ADDRESS: 4667 MACARTHUR BLVD SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (714) 328-3600
LEGAL: LOT 32 OF TRACT 735
APN: 123-141-28

PLANTING SPECIFICATIONS

- I. PREPARATION:**
- A. Coordination:** All irrigation work shall be completed and approved by the Owner's representative prior to starting planting work.
- B. Soil Test:** contractor is to supply complete soil test, including pH, nutrients, texture, salinity, etc., as per Note II A-2 below.
- II. PLANTING:**
- A. Soil Preparation:**
- Cultivate all lawn and planting areas to a depth of 6 inches. Dispose of all debris and rocks over 3 inches in size.
 - Soil amendments and quantities shall be determined by soil analysis. The Contractor shall take 2 samples from 2 different areas 6 to 12 inches deep and submit these to a local agricultural soil testing laboratory, who shall test for nutrients, pH, soil texture, and acids. A copy of the test results and amendment recommendations shall be sent directly to the Owner's representative. For bidding purposes, the following shall be used: (quantities per 1000 s.f.)
 - 4 c.y. soil amendment
 - 150 lbs. soil conditioner
 - 100 lbs. agricultural gypsum
 - Spread soil amendments evenly over all areas and till into top 4 inches of soil.
- B. Finish Grading:**
- Grade all lawn and planting areas to smooth, uniform levels or slopes without abrupt changes of surface. Soil areas adjacent to buildings shall be graded to allow free flow of water to drainage devices.
 - Finish grade after adding soil amendment and settlement shall be one inch below curbs, headers, and paving in lawn areas, and two inches below in planting areas.
- C. Shrub and Tree Planting:**
- Planting pits shall be as shown on detail. Backfill mix shall be determined by soil test per section A-2 above. For bidding purposes, the following mix shall be used:
 - 6 parts by volume rock-free on-site soil
 - 4 parts by volume soil amendment
 - Plant tablets shall be installed in plant pits as shown on detail. Tablets shall be Gro-Power 7-gram tablets at the following rates:
 - 1-gallon plant = 2 tablets
 - 5-gallon plant = 6 tablets
 - 15-gallon plant = 12 tablets
 - Water each plant immediately after planting. Apply water in such a manner as to not disturb backfill and in such a quantity that all materials in hole are wet.
 - Trees shall be staked per detail. Remove all nursery stakes and ties.
 - Agaves and Succulents soil amendment to be mixed at a rate of $\frac{1}{2}$ Whitney Farms Citrus, Palm & Cactus Mix (or equivalent product) to $\frac{2}{3}$ native soil, or per manufacturers specs. Plant tablets to be added at $\frac{1}{2}$ the rate of suggestion in step 2.
- III. MISCELLANEOUS:**
- A. Cleanup:** Upon completion of all planting work and before final acceptance, Contractor shall remove all material and debris resulting from his work. Remove all tags, labels, nursery stakes, and ties from plants. All paved areas shall be swept clean and site left in a neat and acceptable condition as approved by Owner's representative.
- B. Guarantees:** Contractor shall guarantee all plants, 15-gallon and larger for a period of one year. All other plants shall be guaranteed for a period of 90 days. Plants which die or lose more than 30% of their original leaves during this period shall be replaced by the Contractor. Replacements shall be made within 7 days of written notification to Contractor.
- C. Maintenance:**
- Entire project shall be satisfactorily maintained for a period of sixty (60) days prior to final approval.
 - 30 days after planting, fertilize all lawn and ground cover areas with 16-6-8 commercial fertilizer at the rate of 6 lbs. per 1,000 s.f. (apply per mfr's instructions.).



TOTAL LANDSCAPE AREA

LOT 1
Total landscape area: 2515 sq. ft.
Planted area shown: 993 sq. ft.
Landscape area by home owner: 1522 sq. ft.

LOT 2
Total landscape area: 7341 SQ FT

PLANT LIST/LEGEND

TREES:

ALIAS	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	COMMENTS	WUCOLS		
						L	M	H
Arb.mar.	Arbutus 'Marina'	Marina Arbutus Tree	2	24" box	Multi-Trunk		x	
Gre.rob.	Grevillea robusta	Silk oak	3	15-gal.	Std.	x		
Lep.RG.Tree	Leptospermum scoparium 'Ruby Glow'	Ruby Glow Tea Tree	2	15-gal.	Std.			x
Lop.con.	Lophostemon confertus	Brisbane Box	8	15-gal.	Std.			x

SHRUBS:

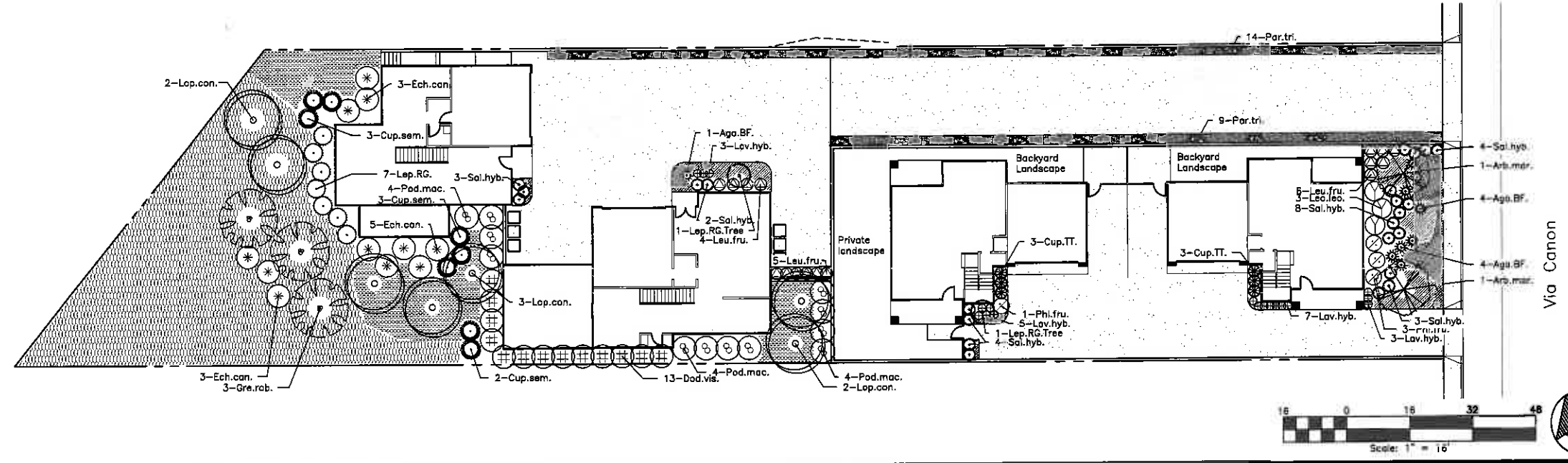
ALIAS	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	COMMENTS	WUCOLS		
						L	M	H
Aga.BF.	Agave 'Blue Flame'	Blue Flame Agave	9	5-gal.		x		
Cup.sem.	Cupressus sempervirens	Italian cypress	8	15-gal.			x	
Cup.TT.	Cupressus sempervirens 'Tiny Tower'	Tiny Tower Italian cypress	6	5-gal.		x		
Dod.vis.	Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush	13	5-gal.		x		
Ech.con.	Echium candicans	Pride of Madeira	11	5-gal.			x	
Lav.hyb.	Lavendula munstead	Munstead Lavender	18	1-gal.		x		
Leo.lea.	Leonotis leonurus	Lion's Tail	3	5-gal.		x		
Lep.RG.	Leptospermum scoparium 'Ruby Glow'	Ruby Glow Tea Tree	7	5-gal.	Shrub form			x
Leu.fru.	Leucophyllum frutescens 'Compacta'	Compact Texas Ranger	15	5-gal.			x	
Phi.fru.	Phlomis fruticosa	Jerusalem Sage	4	5-gal.			x	
Pod.mac.	Podocarpus macrophyllus	Yew Pine	8	15-gal.				x
Sal.hyb.	Salvia greggii 'Furman's Red'	Furman's Red Autumn Sage	24	5-gal.				x

VINES & ESPALIERS:

ALIAS	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	COMMENTS	WUCOLS		
						L	M	H
Par.tri.	Parthenocissus tricuspidata	Boston Ivy	24	5-gal.	Train on wall		x	

GROUND COVERS:

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	WUCOLS		
					L	M	H
[Symbol]	Dymondia margaritae	Silver Carpet	Flats	Plant at 12" o.c.	x		
[Symbol]	Carpobrotus chilensis	Ice Plant	Flats	Plant at 12" o.c.	x		
[Symbol]	Lantana 'Spreading White'	White Lantana	Flats	White blooms		x	
[Symbol]	Osteospermum fruticosum	Trailing African Daisy	Flats	Plant at 12" o.c.		x	
[Symbol]	Gravel mulch over landscape fabric	Arizona Cobble	1.5" - 3"	From Southwest Boulder			



REVISIONS	BY

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ROYAL OAK DESIGN AND COMPANY. ANY REPRODUCTION OR USE OF ANY OTHER WORK WITHOUT THE WRITTEN CONSENT OF ROYAL OAK DESIGN AND COMPANY IS PROHIBITED. THE USER OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE JOB SITE AND ANY DESIGN CHANGES PRIOR TO COMMENCEMENT OF THE WORK.

ROYAL OAK DESIGN
Sylvia E. Lyons, Landscape Architect #1549
2456 Hummingbird Way
La Verne, CA 91730-2371
Telephone: (909) 993-4158
Email: royaloakdesign@verizon.net

LANDSCAPE PLANTING PLAN
PROJECT: 4 SINGLE FAMILY HOMES
ADDRESS: 26371 VIA CANYON, DANA POINT 92624
DEVELOPER: NEW CENTENNIAL DEV. PARTNERS
4687 MCARTHUR BLVD #240, NEWPORT 92660

DRAWN	S.I.
DATE	10/23/2014
SCALE	1/16" = 1' - 0"
JOB NO.	5077
SHEET	

L-1

TENTATIVE PARCEL MAP 2014-134

SHEET 1 OF 6

RECEIVED
AUG 18 2015
CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

ASSESSOR'S PARCEL NUMBER 123-141-28
ZONING RESIDENTIAL DUPLEX 14(RD-14)
LAND USE DESIGNATION RES 7-14, RESIDENTIAL 7-14 DU/AC

TOTAL LOT AREA 26,364 SF 0.61 ACRES
NUMBER OF PARCELS 2
PARCEL 2 AREA 17,902 SF 0.41 ACRES
PARCEL 1 AREA 8,462 SF 0.20 ACRES

CONTOUR INTERVALS 2 FEET

PROPERTY OWNER:

LOUGHCAL PROPERTY, LLC
4687 MAC ARTHUR BOULEVARD
SUITE 240
NEWPORT BEACH, CA 92660
(714) 328-3600

SUBDIVIDER:

THE KENNETH GROUP
1318 CONCORD AVE.
FULLERTON, CA 92831
Attn: JOSE NAVARETTE
(213) 308-6108

MAP PREPARED BY:

PAUL C. BERGER, PE
9264 SVL BOX
VICTORVILLE, CA 92395
(760)963-6815

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 32 AND THAT PORTION OF LOT 16 IN BLOCK 21 OF TRACT NO. 735, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 22, PAGES 21 T 28 INCLUSIVE OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER IN SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 16; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT 16, TO THE MOST WESTERLY CORNER OF LOT 32 IN SAID BLOCK OF SAID TRACT; THENCE NORTHWESTERLY ALONG THE WESTERLY PROLONGATION OF THE SOUTHWESTERLY LINE OF SAID LOT 32, A DISTANCE OF 75.78 FEET; THENCE EASTERLY IN A DIRECT LINE, TO A POINT ON THE NORTHEASTERLY LINE OF SAID LOT 16, DISTANCE NORTHWESTERLY THEREON, 13.43 FEET FROM SAID MOST EASTERLY CORNER, THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE TO THE POINT OF BEGINNING.

DRAINAGE NOTE:

THERE ARE NO EXISTING DRAINAGE COURSES RUNNING THROUGH THE PROPERTY. IMPROVEMENTS TO VIA CANNON INCLUDING CURB AND GUTTERS DIVERTS STORM WATER FLOWS AWAY FROM THE PROPERTY.

UTILITIES

WATER SOUTHCOAST WATER DISTRICT
SEWER SOUTHCOAST WATER DISTRICT
ELECTRIC SAN DIEGO GAS & ELECTRIC
GAS SAN DIEGO GAS & ELECTRIC
TELEPHONE AT&T
CABLE COX CABLE

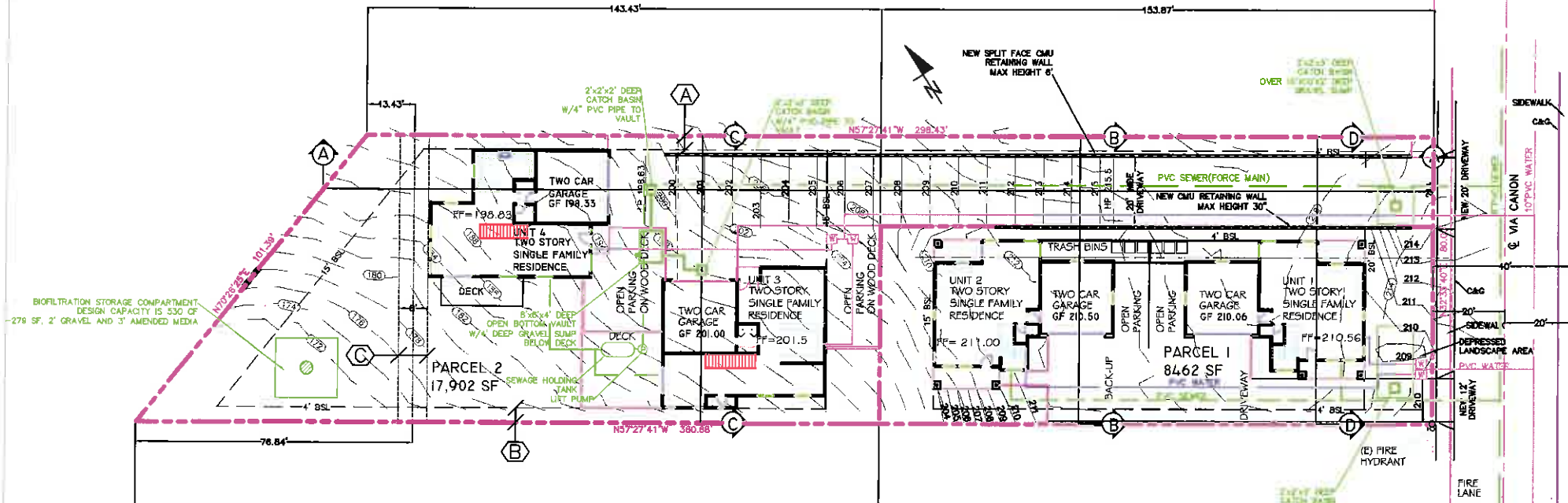
OWNER'S STATEMENT

I HEREBY STATE THAT I AM THE SOLE OWNER OF THIS PROPERTY, AND THAT I CONSENT TO THE FILING OF THIS TENTATIVE MAP.

LOUGHCAL PROPERTY, LLC
GERRY LOUGHLAN
MANAGER

TABLE OF CONTENT

TENTATIVE PARCEL MAP	1 OF 6
LOT/SUBDIVISION ANALYSIS	2 OF 6
SECTIONS	3 OF 6
PRELIMINARY GRADING PLAN	4 OF 6
PRELIMINARY UTILITY PLAN	5 OF 6
WQMP PLAN	6 OF 6



SITE PLAN
SCALE: 1" = 20'-0"

TENTATIVE PARCEL MAP

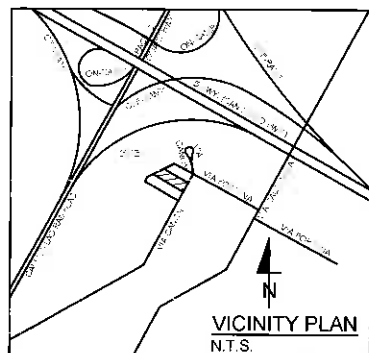
GRAPHIC SCALE



1 INCH = 20 ft.

LEGEND
SPILT FACE CMU WALL
B.S.L. BUILDING SETBACK LINE

(A) 4' POLE LINE EASEMENT GRANTED TO SAN DIEGO CONSOLIDATED GAS & ELECTRIC COMPANY PER BOOK 198, PAGE 455 O.R.
(B) 4' POLE LINE EASEMENT GRANTED TO SAN DIEGO CONSOLIDATED GAS & ELECTRIC COMPANY PER BOOK 203, PAGE 272 O.R.
(C) POLE LINES AND CONDUITS POLE LINES AND CROSS ARMS EASEMENT GRANTED TO PACIFIC TELEPHONE AND TELEGRAPH COMPANY PER BOOK 2201, PAGE 170 O.R. AND BOOK 78, PAGE 459 O.R.



PC Meeting 8-24-2015
Item #3
Supporting Document #5

DATE	BY	REVISION	DATE	BY	REVISION

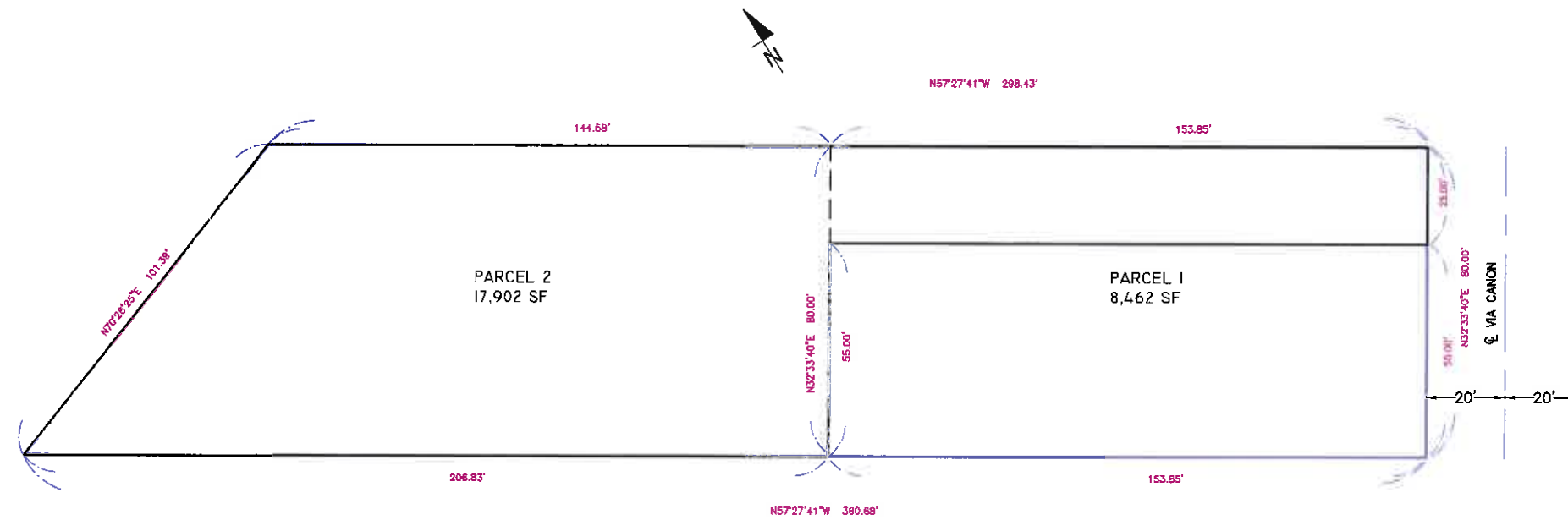


PAUL BERGER & ASSOCIATES
PREPARED BY:

PAUL C. BERGER

R.C.E. NO. 20239
EXP. DATE 9-30-15

TENTATIVE PARCEL MAP 2014-134



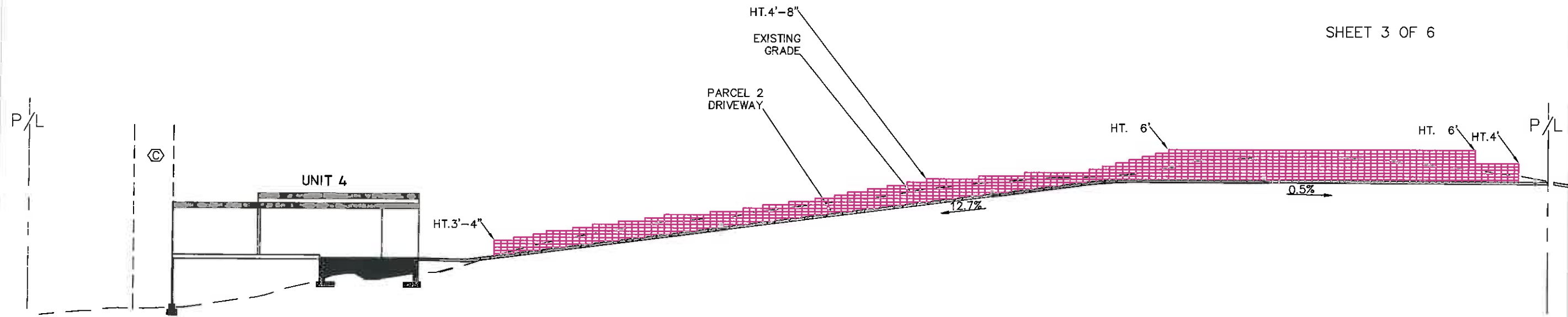
LOT/SUBDIVISION ANALYSIS
SCALE: 1" = 20'-0"

NO.	BY	DATE	REVISION	DATE

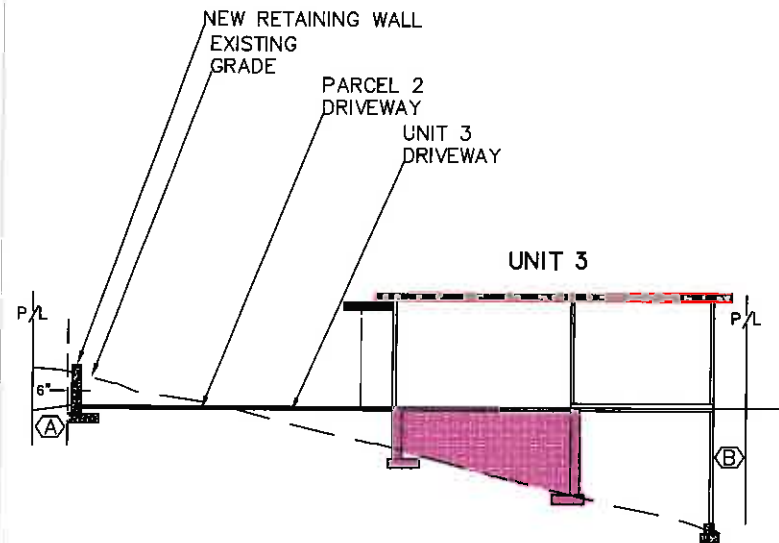


PAUL BERGER & ASSOCIATES
PREPARED BY:

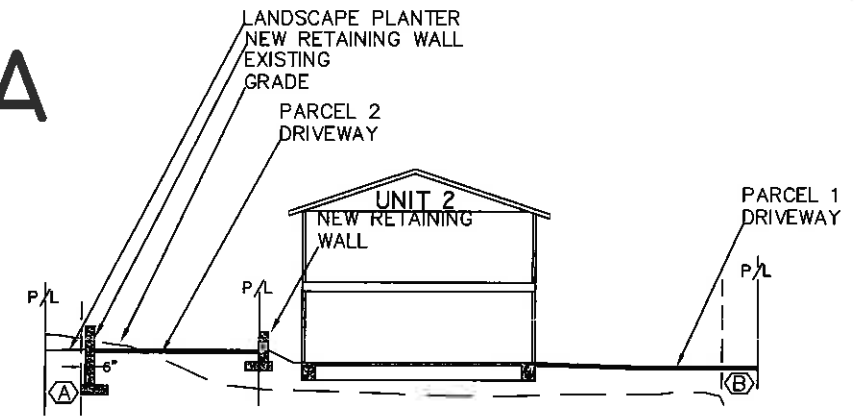
PAUL C. BERGER
R.C.E. NO. 20239
EXP. DATE 9-30-15



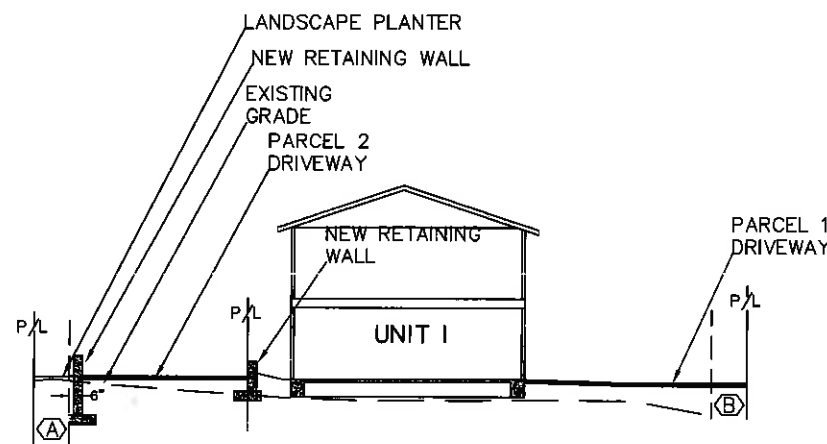
SECTION A-A
SCALE 1" = 10'



SECTION C-C
SCALE 1" = 10'



SECTION B-B
SCALE 1" = 10'



SECTION D-D
SCALE 1" = 10'

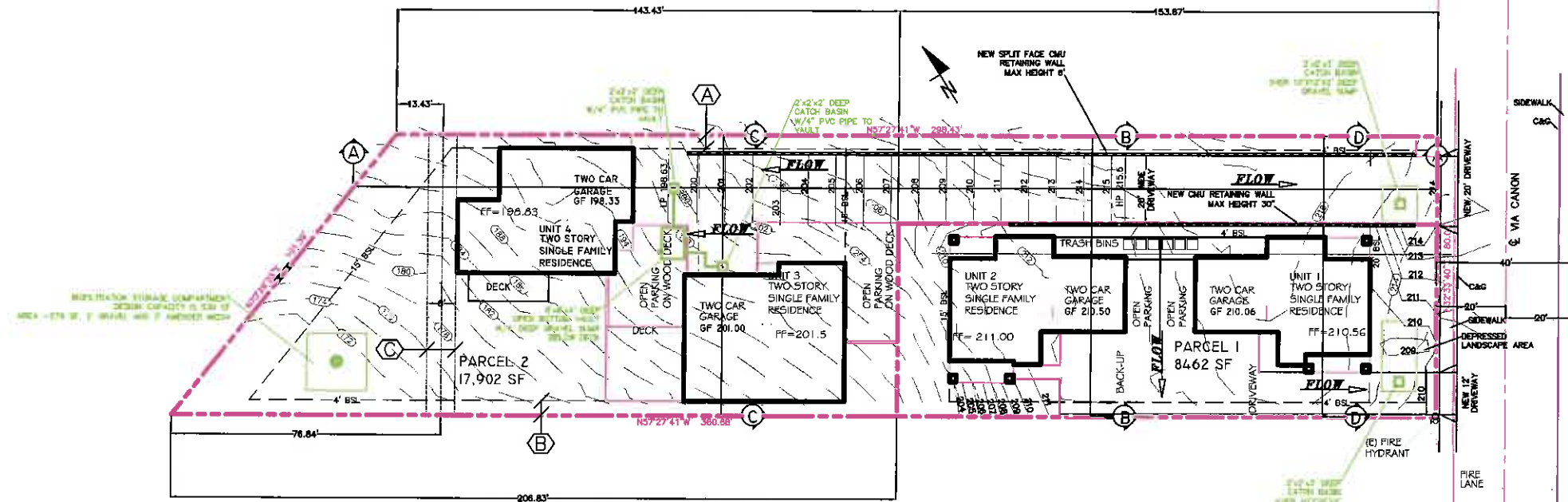
TENTATIVE PARCEL MAP
2014-134

NO.	BY	DATE	REVISION	APP.	DATE

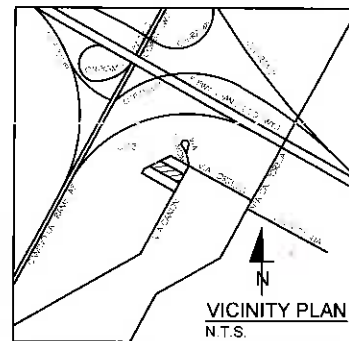


PAUL BERGER & ASSOCIATES
PREPARED BY:

PAUL C. BERGER
R.C.E. NO. 20239
EXP. DATE 9-30-15



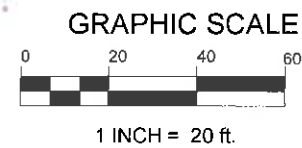
SITE PLAN
SCALE: 1" = 20'-0"



LEGEND
 SPLIT FACE CMU WALL
 B.S.L. BUILDING SETBACK LINE

- 4' POLE LINE EASEMENT GRANTED TO SAN DIEGO CONSOLIDATED GAS & ELECTRIC COMPANY PER BOOK 198, PAGE 455 O.R.
- 4' POLE LINE EASEMENT GRANTED TO SAN DIEGO CONSOLIDATED GAS & ELECTRIC COMPANY PER BOOK 203, PAGE 272 O.R.
- POLE LINES AND CONDUITS POLE LINES AND CROSS ARMS EASEMENT GRANTED TO PACIFIC TELEPHONE AND TELEGRAPH COMPANY PER BOOK 2201, PAGE 170 O.R. AND BOOK 78, PAGE 459 O.R.

PRELIMINARY GRADING PLAN



DIRT QUANTITIES

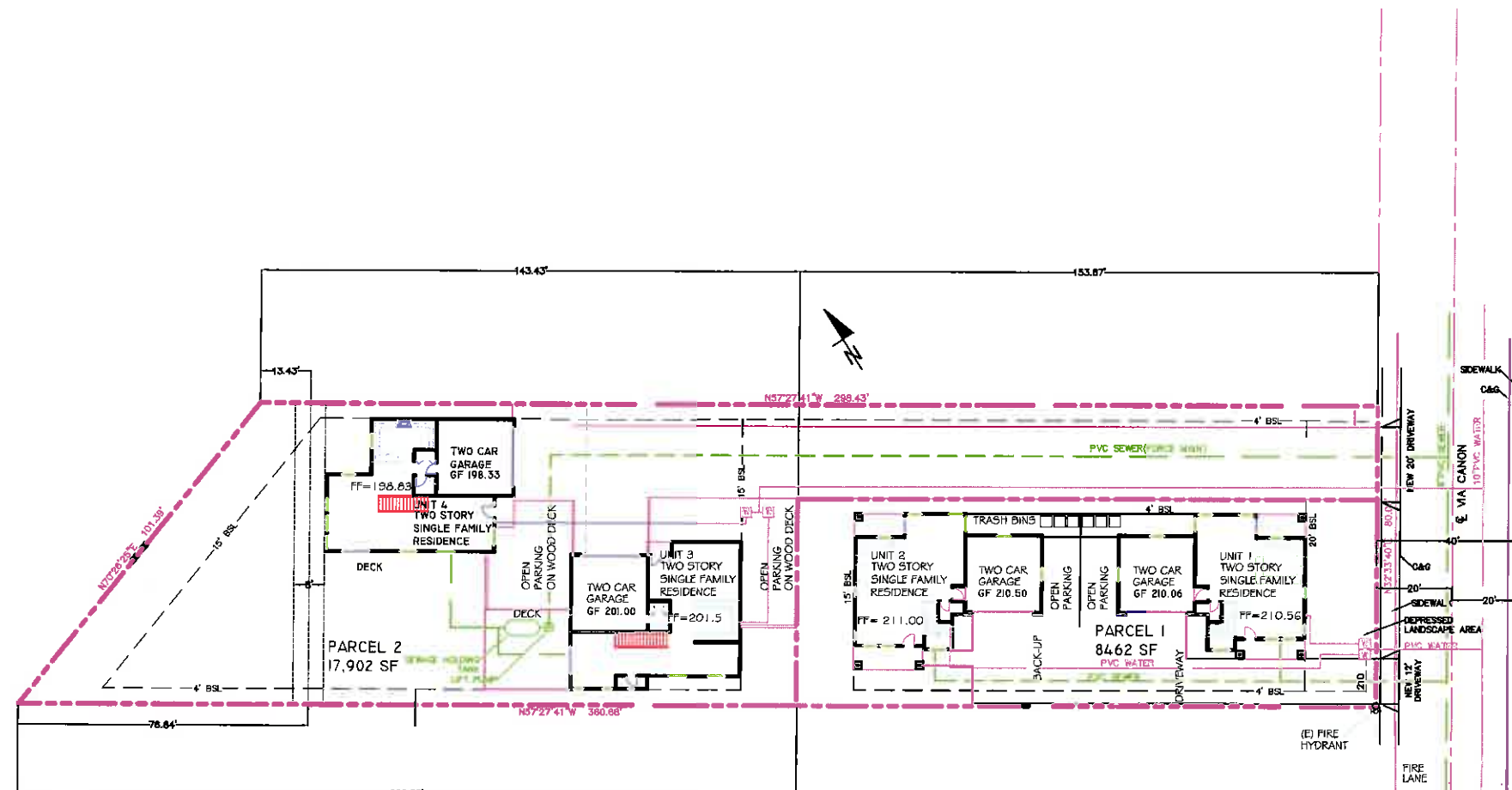
EXCAVATION	750 CY
FILL	600 CY
IMPORT	0 CY

DATE	BY	DATE	BY	DATE	BY

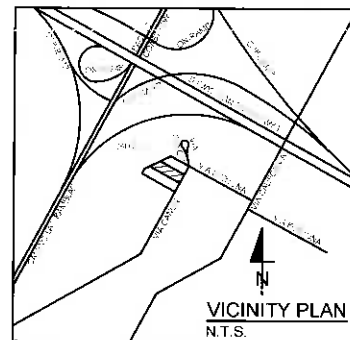
REGISTERED PROFESSIONAL ENGINEER
 PAUL C. BERGER
 C 20239
 EXPIRES 06/30/25
 CIVIL
 STATE OF CALIFORNIA

PAUL BERGER & ASSOCIATES
 PREPARED BY:

PAUL C. BERGER
 R.C.E. NO. 20239
 EXP. DATE 9-30-15



SITE PLAN
SCALE: 1" = 20'-0"



VICINITY PLAN
N.T.S.

PRELIMINARY UTILITY PLAN

- LEGEND
 SPLIT FACE CMU WALL
 B.S.L. BUILDING SETBACK LINE

GRAPHIC SCALE

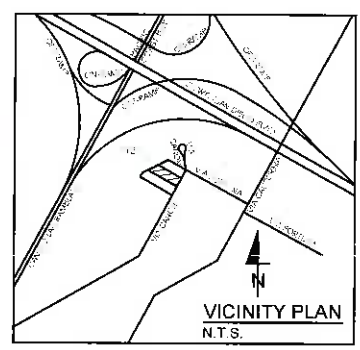
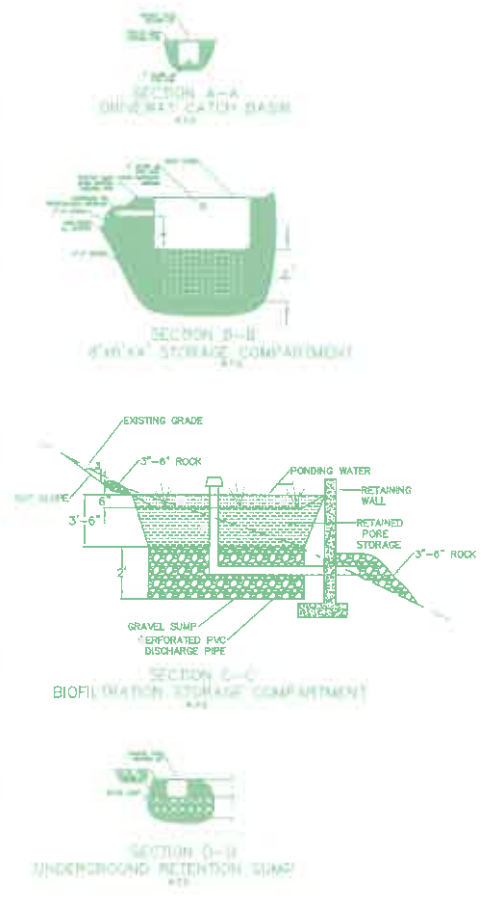
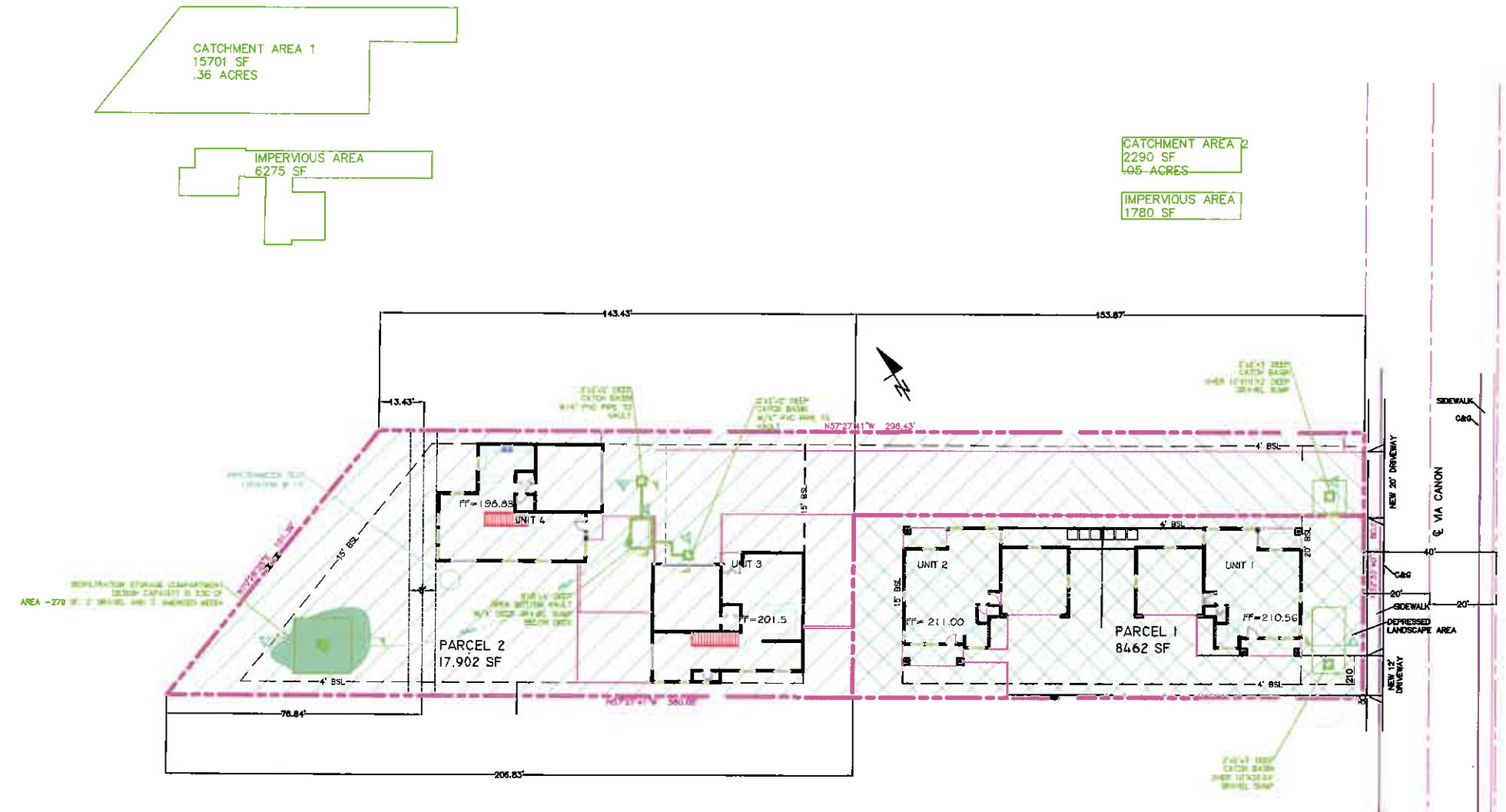


1 INCH = 20 ft.

NO.	DATE	BY	CHECKED	APPROVED	CITY

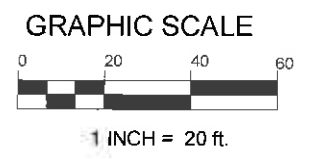


PAUL BERGER & ASSOCIATES
 PREPARED BY:
 PAUL C. BERGER
 R.C.E. NO. 20239
 EXP. DATE 9-30-15



WATER QUALITY MANAGEMENT PLAN

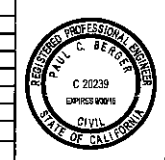
LEGEND
 SPLIT FACE CMU WALL
 B.S.L. BUILDING SETBACK LINE



CATCHMENT AREA 3
 8360 SF
 19 ACRES

IMPERVIOUS AREA
 5896 SF

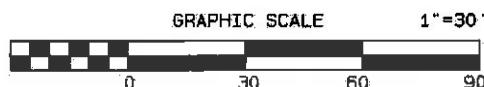
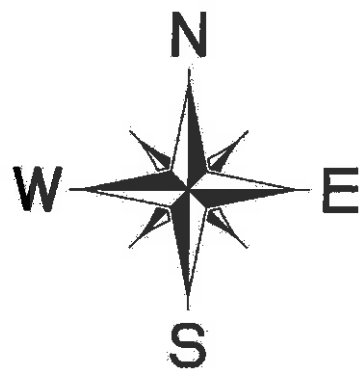
NO.	BY	DATE	REVISION	APP.	DATE



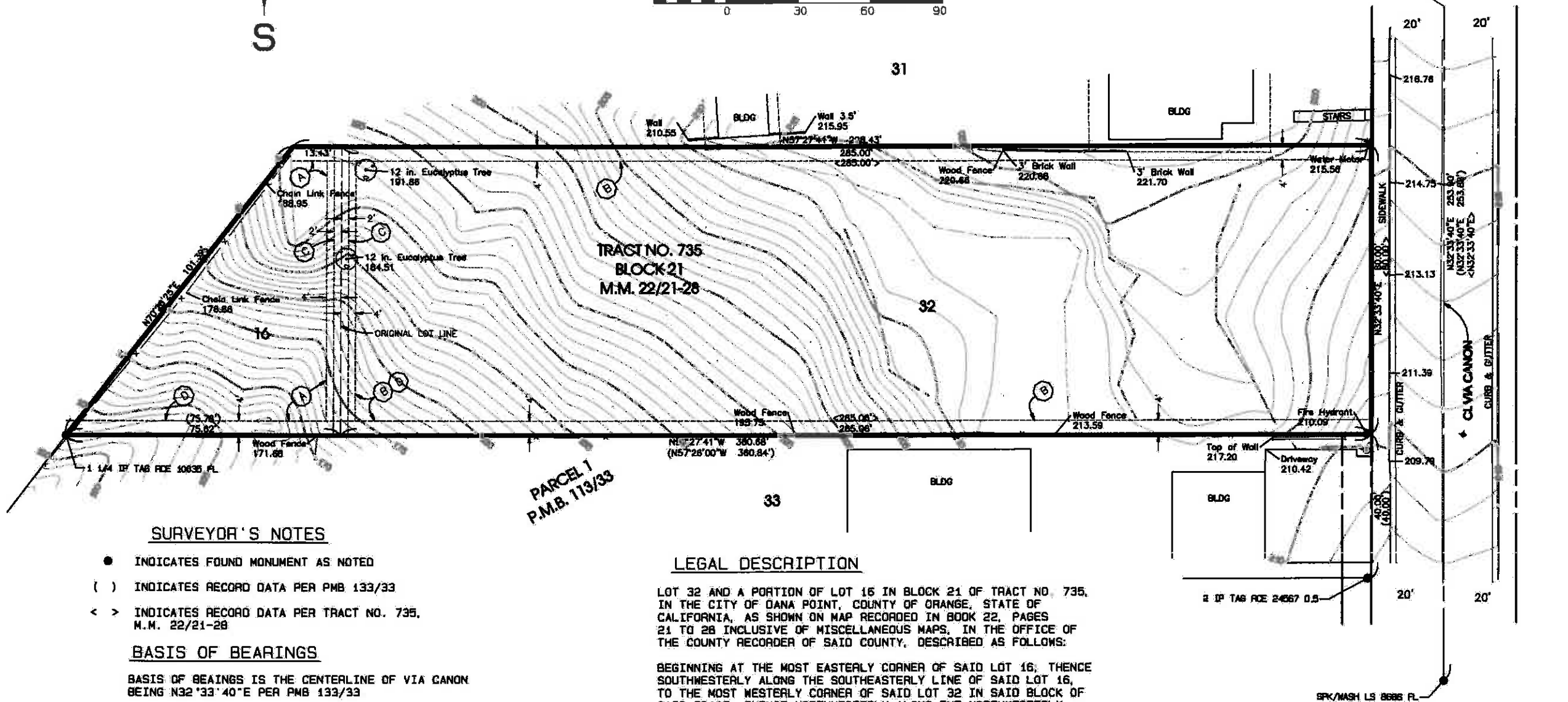
PAUL BERGER & ASSOCIATES
 PREPARED BY:
 PAUL C. BERGER
 R.C.E. NO. 20239
 EXP. DATE 9-30-15

TOPOGRAPHY MAP

LOT 32 AND A PORTION OF LOT 16 IN BLOCK 21 OF TRACT NO. 735, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN BOOK 22, PAGES 21 TO 28 INCLUSIVE OF MISCELLANEOUS MAPS.



- LEGEND**
- W WATER VALVE
 - I GUY WIRE
 - ⊕ POWER POLE
 - ⊕ WATER METER
 - ⊕ EUCALYPTUS TREE
 - 100 CONTOURS
 - 100 1' INTERVAL



SURVEYOR'S NOTES

- INDICATES FOUND MONUMENT AS NOTED
- () INDICATES RECORD DATA PER PMB 133/33
- < > INDICATES RECORD DATA PER TRACT NO. 735, M.M. 22/21-28

BASIS OF BEARINGS

BASIS OF BEARINGS IS THE CENTERLINE OF VIA CANON BEING N32°33'40"E PER PMB 133/33

BENCHMARK DATA

BENCHMARK IS ORANGE COUNTY NGS 3 B 50
ELEV= 16.99
DATUM = NAVD 88

EASEMENT NOTES

- (A) 4' EASEMENT TO FIRST NATIONAL BANK OF SANTA ANA FOR UTILITIES PER BK 78, PAGE 331 REC. 05-10-1929
- (B) 4' EASEMENT TO FIRST NATIONAL BANK OF SANTA ANA FOR UTILITIES PER BK 78, PAGE 459 REC. 02-10-1930
- (C) 2' EASEMENT TO FIRST NATIONAL BANK OF SANTA ANA FOR POLE LINES PER BK 203, PAGE 272 REC. 10-01-1928
- (D) 4' EASEMENT TO SAN DIEGO CONSOLIDATED GAS & ELECTRIC CO. FOR POLE LINES PER BK 198, PAGE 455 REC. 10-01-1928

LEGAL DESCRIPTION

LOT 32 AND A PORTION OF LOT 16 IN BLOCK 21 OF TRACT NO. 735, IN THE CITY OF DANA POINT, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN BOOK 22, PAGES 21 TO 28 INCLUSIVE OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF SAID LOT 16; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT 16, TO THE MOST WESTERLY CORNER OF SAID LOT 32 IN SAID BLOCK OF SAID TRACT; THENCE NORTHWESTERLY ALONG THE NORTHWESTERLY PROLONGATION OF THE SOUTHWESTERLY LINE OF SAID LOT 32, A DISTANCE OF 75.78 FEET; THENCE EASTERLY, IN A DIRECT LINE, TO A POINT IN THE NORTHEASTERLY LINE OF SAID LOT 16, DISTANT NORTHWESTERLY THEREON, 13.43 FEET FROM SAID MOST EASTERLY CORNER, THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE, TO THE POINT OF BEGINNING.



THIS MAP REPRESENTS A FIELD TOPOGRAPHY PERFORMED BY MYSELF OR UNDER MY DIRECTION COMPLETED ON OCTOBER 9, 2013.

BRIAN T. HESS
PLS 8136

REVISION	DATE	BY
26371 VIA CANON		
DANA POINT, CA 92624		
APN 123-141-28		
DATE:	05-18-2014	H ESS D E V E L O P M E N T I N C. 28039 SCOTT RD STE 0987 HARRIETA, CA 92583
SCALE:	1"=30'	
DR BY:	BTH	
CK BY:	BTH	
W.S.:	13-0044	DRAWING 13044T0
SHEET 1		OF 1