

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JULY 27, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
EVAN LANGAN, AICP, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP14-0025 AND SITE DEVELOPMENT PERMIT SDP14-0030 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING AND ATTACHED GARAGE, ON LAND LOCATED WITHIN THE RESIDENTIAL BEACH ROAD 12 (RBR-12) ZONING DISTRICT AS WELL AS THE FLOODPLAIN AND COASTAL OVERLAY DISTRICTS AT 35577 BEACH ROAD

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Coastal Development Permit CDP14-0025 and Site Development Permit SDP14-0030.

PROJECT APPLICANT: Keisker & Wiggle Architects

PROPERTY OWNER: Anthony and Carin Amaradio

REQUEST: Approval of Coastal and Site Development Permits to allow the demolition of a single-family dwelling and the construction of a new, two-story, 4,732 square foot single-family dwelling and attached, 712 square foot garage, on land located in the City's Floodplain and Coastal Overlay Districts as well as the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 35577 Beach Road
Assessor Parcel Number (APN) 691-161-34

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on July 15, 2015, published within a newspaper of general circulation on July 16, 2015, and posted on July 17, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ITEM #2

ENVIRONMENTAL: Pursuant to California Environmental Quality Act (CEQA) Guidelines, staff finds the project is Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that the project proposes the construction of one new single-family dwelling.

ISSUES:

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC), and Local Coastal Plan (LCP)
- Project compliance with City Floodplain Regulations
- Project compatibility with and enhancement of the site and surrounding neighborhood
- Project satisfaction of all required findings pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP) and Site Development Permit (SDP)

BACKGROUND: The subject property is an oceanfront lot comprising 4,983 square feet (.11 acres) and located within the Capistrano Beach Community Association, an established and built-out subdivision of residential single-family and duplex structures. The subject lot is relatively small (approximately 41 feet in width by 120 feet in depth), minimally landscaped and presently developed with a single-story, single-family dwelling comprising 1,710 square feet that would be demolished under the proposed scope of work. Similar residential development is located to the southeast and northwest, railroad tracks and Pacific Coast Highway to the north and sandy beach and the Pacific Ocean to the south.

Adopted zoning for the property is Residential Beach Road 12 (RBR-12) and; the lot is located both within the City's Floodplain and Coastal Overlay Districts (the latter also known as the California Coastal Zone) as well as the appeals jurisdiction of the California Coastal Commission. The "Floodplain Overlay" designation identifies the property as being subject to potential inundation by wave action and requires specific structure design and location requirements enumerated upon elsewhere in this report.

Development Proximity to Pacific Coast Highway/Train Tracks and Potential Impacts from Ambient Noise

The subject property is located adjacent to both train tracks and Pacific Coast Highway (PCH) - designated noise generators pursuant to the Noise Element of the City's adopted General Plan. Moreover, the subject property is zoned for and presently contains a single-family dwelling - a designated "noise sensitive receptor" per the same Element. The City's Community Noise Measurement Survey (1991) established

ambient or baseline noise levels in this and other parts of the community and utilized them to create projections for the area's community noise equivalent level (CNEL) - the average sound level (plus 5 - 10 decibels) in a given area during a 24 hour period. That survey identifies a PCH decibel rating of approximately 65 decibels (dB) within "Zone B" for single-family development and the receipt of a similar amount of sound for properties within close proximity.

That said, the Noise Element recognizes that conventional construction materials and techniques as contained within Chapter 12, Section 1207 of the California Building Code, will normally suffice in reducing interior noise for development within Zone B to acceptable levels (less than 45 decibels). Compliance with standards of the Building Code (via issuance of Building Permits) will ensure by the project's compliance with standards and that any excessive noise is reduced to a level of less than significance.

DISCUSSION: The subject application proposes the demolition of all existing development onsite and the construction of a new single-family dwelling comprising 4,732 (habitable) square feet with an attached, 712 square foot garage. In total, the dwelling would comprise three bedrooms in addition to accessory office and gym space. The structure's garage would provide compliant, covered parking for two vehicles. Overall building height would be 28 feet as measured from a point (baseline) 18 inches above the designated "base flood elevation" (BFE) of 18.00 feet to the highest point on the structure's roof. The roof itself would contain a mixture of pitched and flat elements and covered by clay tiles. The overall architectural style of the dwelling is Italianate derivative, with a façade comprised of stucco, stone veneer and punctuated by arched entryways and window surrounds. New concrete (CMU) property-line walls are proposed in both side-yards, would stand a maximum of six feet in height, be surfaced with stucco and painted to match the new dwelling. Finally, proposed landscaping would cover approximately 20 percent of the area between the front property-line and the structure stringline - exceeding the minimum 10 percent coverage required per the DPZC - and would comprise a variety of native and drought tolerant plantings.

The lot's location fronting Beach Road further dictates that any new development be subject to the standards of Section 9.09.040 of the DPZC, identifying among other things, the seaward limit of development (structure and patio stringlines). The proposed single-family dwelling would be located roughly to the extent of the structure stringline established for its eastern and western property lines (98 and 93 feet ocean-ward of the front property-line respectively). A rear-yard deck is also proposed and mounted atop caissons with a surface elevation of 19.5 feet (18 inches above the established BFE).

Coastal Development Permit CDP14-0025

Pursuant to standards of the DPZC, proposed demolition of a single-family dwelling and/or construction of a new single-family dwelling shall require approval of a CDP. Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Staff's recommended findings to approve the CDP request are enumerated in the attached draft resolution.

Section 9.69.070 of the DPZC further stipulates that findings be made to require or exempt a project from dedicating one of five types of coastal public access (lateral, bluff top, vertical, trail or recreational). As applied to the subject property, only a lateral access dedication would be applicable. However, pursuant to Section 9.27.030 et seq., the project qualifies for an exception from the requirement to dedicate, as public access to the coast exists in close proximity to the north at Capistrano Beach and to the south at Poche Beach. (Attachment 1 - Draft Planning Commission Resolution).

Site Development Permit SDP14-0030

Pursuant to Section 9.31 of the DPZC, development proposed within the City's Floodplain Overlay District shall require approval of a SDP. Moreover, within so-called "coastal high hazard areas," a Base Flood Elevation (BFE) must be established via a

wave run-up report and provide a minimum safe height to which most structures must be elevated above mean sea level (MSL). A study prepared by a California licensed civil engineer has been provided for the subject property and recommends a BFE of 18.00 feet NAVD88 (vertical datum measurement) for the site and which has been corroborated by the City's engineering staff.

As aforementioned, both the main dwelling and seaward deck are designed atop caissons with the lowest horizontal structural member (the dwelling's structure slab) elevated above the BFE and so habitable portions of the building will not absorb force or wave action during storm events. Positioning horizontal structural elements at this elevation further allows the sand below the structure to erode under wave action during storm surges, permitting ocean water to flow under the dwelling and subsequently recede back to the beach. Compliant with Floodplain Overlay standards, the garage of the dwelling is located below the BFE to facilitate access from adjacent Beach Road and includes breakaway paneling to facilitate flow-through of water to the street in the event of violent wave inundation, protecting habitable portions of the structure elevated above (Building Section "B," Sheet A.9 of project plan-set – Attachment 4).

Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a SDP, requiring:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

Staff's recommended findings to approve the SDP request are enumerated in the attached draft resolution.

CORRESPONDENCE: To date, no correspondence has been received concerning the subject project.

The Beach Road Community Association is established as a District and does not have a homeowners association.

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance and Local Coastal Program. As the project complies with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP14-0025 and SDP14-0030 subject to findings and conditions of approval.



Evan Langan, AICP
Associate Planner



Ursula Luna-Reynosa
Director of Community Development

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-07-27-xx

Supporting Documents

2. Vicinity Map
3. Site Photographs
4. Project Plans

RESOLUTION NO. 15-07-27-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP14-0025 AND SITE DEVELOPMENT PERMIT SDP14-0030 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING AND ATTACHED GARAGE, ON LAND LOCATED WITHIN THE RESIDENTIAL BEACH ROAD 12 (RBR-12) ZONING DISTRICT AS WELL AS THE FLOODPLAIN AND COASTAL OVERLAY DISTRICTS AT 35577 BEACH ROAD

Project Applicant: Keisker & Wiggle Architects

Property Owners: Anthony and Carin Amaradio

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for Coastal and Site Development Permits to allow demolition of an existing single-family dwelling and the construction of a new single-family dwelling at 35577 Beach Road (Assessor Parcel Number [APN] 691-161-34); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 27th day of July, 2015, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP14-0025 and Site Development Permit SDP14-0030.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP14-0025 and SDP14-0030 subject to conditions:

ACTION DOCUMENT #1

Findings:

Coastal Development Permit (CDP14-0025)

Demolition of a single-family dwelling, construction of a new single-family dwelling

1. That the proposed project is *in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096)* **in that the proposal will comply with the Dana Point General Plan Land Use Element's Residential 3.5 - 7 DU/AC Land Use Designation and; will be consistent with (Land Use) Policy 1.19, requiring assurance that public safety is provided for in all new seaward construction within the Capistrano Bay District private community and; that the project has been found consistent with all standards of development in the Dana Point Zoning Code, which acts as the Local Coastal Program (LCP) for the site.**
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the subject property is located between the first public roadway and the sea, implementation of the subject project would not alter the intensity of surrounding uses, block or impede public access to Public Trust Lands, and so is in conformance with the public access requirements of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 (a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines in that the application proposes the construction of one, new single-family dwelling.**
4. That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property lies adjacent to the Pacific Ocean, a noted sensitive habitat area, park and recreation area. However, the subject scope-of-work proposes development permitted by the Dana Point Zoning Code and Local Coastal Program, has been reviewed and found by City staff to**

conform to all development standards therein (including structure setbacks from property-lines as well as specific foundation design intended to minimize to the greatest extent feasible, potentially adverse impacts to shoreline processes) and so no such buffer areas from adjacent ESHA are required.

5. That the proposed development will minimize alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the proposed dwelling and related site improvements are or would be elevated atop a caisson foundation to a base flood elevation (BFE) not less than 18 feet (NAVD88 datum) as recommended by a California licensed engineer pursuant to Wave Analysis documentation dated June 17, 2014 (on file with the city).** The elevation of both foundation and structure negates the need for revetments, seawalls and/or general landform alteration via site grading, and serves to minimize risks from any potential geologic and/or erosional or flood forces.
6. That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the subject application proposes construction of a new single-family dwelling within an established community of identical uses.** The surrounding neighborhood is comprised of widely varying architectural styles, a design aesthetic the proposed dwelling will wholly complement. The proposed structure has been found to conform to all standards of development prescribed by its respective zoning district. This conforming addition to the project site constitutes fulfillment of General Plan Land Use and Zoning Code intent for the site, and accordingly enhancement of the property.
7. That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staffs and the Public Works/Engineering Department and found to conform to all applicable standards of development.**

Lateral Access (Exception)

That lateral public access across the subject property is not required

1. That adequate access exists nearby **in that public access to Trust Lands (the beach and ocean) exist within close proximity to the north of the subject property at Capistrano Beach and to the south at Poche Beach.**

Site Development Permit (SDP14-0030)

Development proposed in the Floodplain Overlay District

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that the subject project has been reviewed by City staff and found to conform to both the standards and intent of the Dana Point Zoning Code - specifically siting and design standards stipulated in Section 9.31 (Floodplain Overlay).**
2. That the site is suitable for the proposed development **in that the subject application proposes the construction of a new single-family dwelling on land zoned and subdivided for such a use, located within an established community of like uses.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that the proposed scope-of-work does not conflict with any goal or policy; the proposed dwelling has been found to conform to the prescribed zoning envelope (including overall height, setbacks, etc.) for new structures in the Residential Beach Road 12 (RBR-12) Zoning District.**
4. That the site and structural design are appropriate for the site and function of the proposed use **in that the proposed dwelling would utilize materials, scale and site design that are compatible with its surrounding neighborhood and will be constructed in compliance with the requirements of the Floodplain Overlay District which, among other things, requires that the proposed dwelling be constructed atop caissons founded into the earth and elevated to a height recommended by a qualified engineer that would protect habitable portions of the dwelling from potential inundation by waves.**

Conditions:

A. General:

1. Approval of this application permits the demolition of an existing single-family dwelling and the construction of a new single-family dwelling with attached, two-vehicle garage at 35577 Beach Road. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
7. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
8. Fire sprinklers shall be required for this project and be illustrated in submitted structural or other plans as required by the Building Official and/or the CA Building Code.
9. All improvements authorized under this approval shall comply with 2013 CA Code of Regulations, Parts 1 - 12 and any local amendments thereto as well as with 2013 T-24 Energy Conservation Regulations.
10. All onsite utilities shall be undergrounded.
11. The foundation system shall provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise.
12. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
13. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
14. The owner shall execute and record a deed restriction to include the following restrictions which cannot be removed or changed without prior City amendment to this Coastal Development Permit. The deed restriction shall be recorded, free of prior liens to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney and Community Development Department.
 - a. *The property owner(s) agrees on behalf of themselves and all other successors and assigns, that no shoreline protective device which would substantially alter natural land form along bluffs and cliffs, cause beach erosion or adversely impact the local shoreline sand supply shall ever be constructed to protect the development*

approved pursuant to the permits issued hereunder including, but not limited to, the dwelling, foundation, decks and any other future improvements in the event the development is threatened with damage or destruction from waves, erosion, storm conditions or other oceanographic hazards in the future.

- b. The property owner(s) shall be responsible for the removal of any and all pre-existing ocean protective devices directly fronting the subject property at the time they are determined to no longer be required to protect surrounding properties. The property owner shall assume all costs and responsibilities associated with the removal.*
- c. The property owner(s) agrees, on behalf of themselves and all other successors and assigns, that the landowner shall remove the development authorized by this permit, including the dwelling, foundation and decks, in any situation where a government agency with appropriate jurisdiction determines that the structures approved by this permit have been damaged to the point where future occupancy can no longer be permitted and repair cannot be accomplished without contributing significantly to erosion, geologic instability or having a significant adverse impact on local shoreline sand supply.*
- d. The property owner(s) understands that the project site is subject to coastal wave action and that the owner(s) assumes the liability from these hazards.*
- e. The property owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such (coastal wave action) hazards.*
- f. The property owner(s) assume all liability for damages incurred as a result of any required off-site grading.*

B. Prior to Issuance of a Grading Permit:

- 15. The applicant shall submit a Grading Plan to the Public Works/Engineering Department for review and approval. The grading Plan shall comply with City standards and further include all documents as required by current Public Works Department plan check policies, the City of Dana Point Municipal Code and Grading Manual as well as the City's Municipal Separate Storm Sewer Systems (MS4s) Permit.
- 16. The applicant shall submit a geotechnical report in compliance with all City of Dana Point standards.

17. The applicant shall submit a drainage plan in accordance with all City of Dana Point standards for review and approval. The drainage plan shall be reviewed on a time and materials basis. All grading and drainage shall be in compliance with City of Dana Point Standards. All drainage shall be directed to Beach Road in accordance with City of Dana Point Codes and Requirements.

C. Prior to Building Plan Check Submittal and/or prior to issuance of a Building Permit or, prior to release on certain related inspections, the applicant shall meet the following conditions:

18. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
19. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (along with the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
20. The applicant shall submit a final Landscape and Irrigation Plan for review and approval by both the Public Works/Engineering Department and the Planning Division. The plan shall include all proposed and existing plant materials (location, type, size, and quantity), an irrigation plan (if irrigation is proposed), site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with applicable provisions of the Zoning Code, the preliminary plans approved by the Planning Commission and further, recognize the principles of drought tolerant landscaping. Any trees and shrubs proposed within the rear yard beyond the structural string-line shall be a maximum of 42-inches in height.

21. The applicant shall illustrate and identify by description and instrument number the location of all existing easements on the site, grading, and landscaping plans. Any proposed construction within an easement shall be reviewed and approved by said easement holder to the satisfaction of the Public Works and Community Development Departments.
22. Building plan-check submittal shall include four sets of the following construction documents:
 - *Building (structural) plans*
 - *Structural calculations*
 - *Energy calculations*
 - *Soils/geology report*
 - *Drainage plan*
23. All documents prepared by a professional shall be both wet-stamped and signed.
24. The project Coastal Engineer's recommendations, contained in coastal engineering reports and addendums submitted to the City shall be incorporated into and referenced on submitted project plans. The Project Coastal Engineer shall review, sign, and wet-stamp the final building plans and, provide a completed Floodplain Certification form to the City.
25. Review and approval of the subject project by the Orange County Fire Authority (OCFA) is required. The applicant shall submit three separate sets of building plans directly to the OCFA, and subsequently submit to the evidence to the Building/Safety Division of that review and approval.
26. The applicant shall submit payment for all supplemental fees, including school, park, water, sewer and other impact-related fees.
27. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP14-0025 and SDP14-0030. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval. Certification shall verify that the location of the structure is in compliance with the structure and patio string-lines as indicated on the approved plans and the elevation of the grade beams are in compliance with the requirements of the approved Coastal Hazard & Wave Run-Up report dated June 17, 2014.

D. Prior to Issuance of a Certificate of Occupancy

28. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP14-0025 and SDP14-0030. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.
29. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
30. A written approval by the Geotechnical and Civil Engineers of Record shall be provided, approving all grading, drainage and new walls as having been constructed in conformance with approved grading and other construction plans.
31. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. A Federal Emergency Management Agency (FEMA) Elevation Certificate shall be filed for development in the floodplain. The Elevation Certificate shall be prepared in accordance with all City of Dana Point requirements and all applicable FEMA guidelines.
33. The applicant shall contact the Project Planner for a final inspection of the project and property prior to contacting the Building/Safety Division and Public Works/Engineering Department for a final inspection and project sign-off. All landscaping within the front-yard of the subject property shall be installed (per plan) prior to final inspection by the Planning Division.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 27th day of July, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point
CDP14-0025 and SDP14-0030
Evan Langan, AICP, Associate Planner
Community Development Department
33282 Golden Lantern
Dana Point, CA 92629-1805

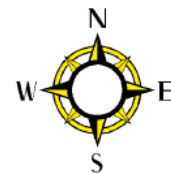
VICINITY MAP



Project : *CDP14-0025 and SDP14-0030*

Project Applicant: *Keisker & Wiggle Architects*

Location: *35577 Beach Road*





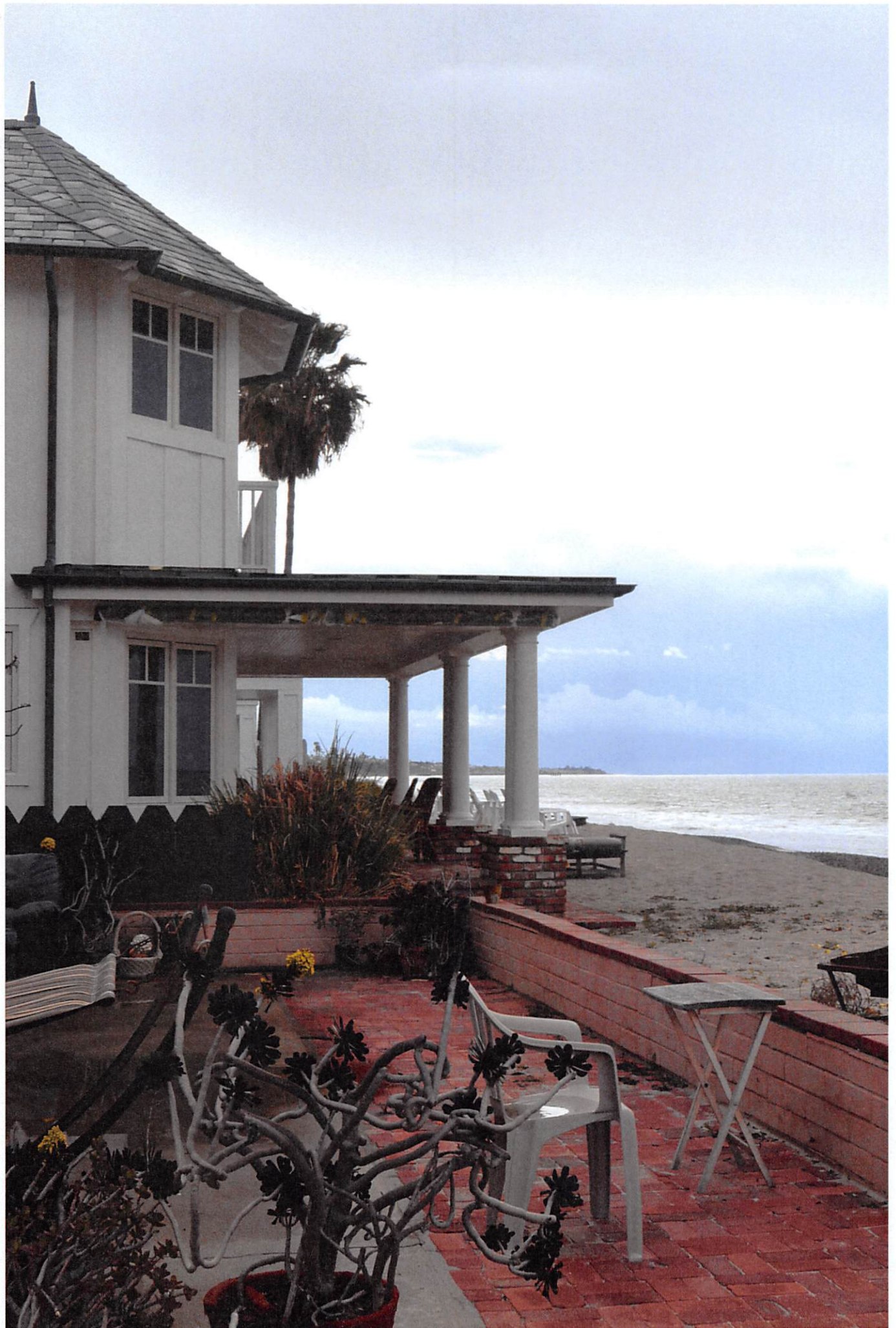
Supporting Document #3





























Amaradio Residence

35577 Beach Road, Capistrano Beach CA

SHEET INDEX

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A.8	EXTERIOR ELEVATIONS
A.9	BUILDING SECTIONS
C.1	CONCEPTUAL GRADING PLAN
L.1	IRRIGATION PLAN
L.2	IRRIGATION DETAILS
L.3	IRRIGATION SPECIFICATIONS
L.4	PLANTING PLAN
L.5	PLANTING DETAILS AND SPECIFICATIONS

Project Summary

THE PROPOSED WORK CONSISTS OF DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE.

Project Data

Project Address: 35577 Beach Road, Capistrano Beach, CA 92624

APN: 691-161-34

Legal Description: L DRN 01-705 ...: 914 LOT 2 TRACT NO 889 BLK 2 LOT 6

Occupancy Group: R-3/U

Construction Type: Type V-B

Automatic Fire Sprinkler System:

Yes. The structure will be protected by a sprinkler system in accordance with NFPA 13D, and the plans will be submitted to and approved by OCFA prior to installation and prior to concealing the pipe in the walls.

Building Code:

- 2013 California Residential Code (CRC)
- 2013 California Mechanical Code (CMC)
- 2013 California Plumbing Code (CPC)
- 2013 California Electrical Code (CEC)
- 2013 California Green Building Standards Code (CGBSC)
- 2008 California Energy Efficiency Standards (CEES)
- The City of Dana Point Local Ordinances

Zoning:

- Base Zone: RBR 12
- Ordinance: Residential Beach Road 12DU/AC

Setbacks:

- Front: 20'
- Rear: 98' (measurement from roadside property line to structure string line along: west property line)
- 93' (measurement from roadside property line to structure string line along: east property line)
- 121' (measurement from roadside property line to patio string line along: west property line)
- 118' (measurement from roadside property line to patio string line along: east property line)

Height Limits:

	Maximum	Proposed
Roof pitch less than 3/12 slope	24'-0"	23'-6"
Roof pitch between 3/12 and 6/12 slope	26'-0"	25'-11"
Roof pitch over 6/12 slope	28'-0"	27'-11"

Owner:

Rockridge 96 Asset Management, LTD
30731 Paseo Elegancia, San Juan Capistrano, CA 92675
949.487.9696

Architect:

KEISKER & WIGGLE ARCHITECTS, INC.
26961 Camino de Estrella, Suite 200
Capistrano Beach, California 92624
949.388.1250 info@kw-architects.com

Area Calculation

Site Area: 5,006 SF

Existing Area Calculation

Total Livable Area: 1,145 SF
Garage: 565 SF
Hardscape Area: 1,668 SF
Landscape Area: 203 SF

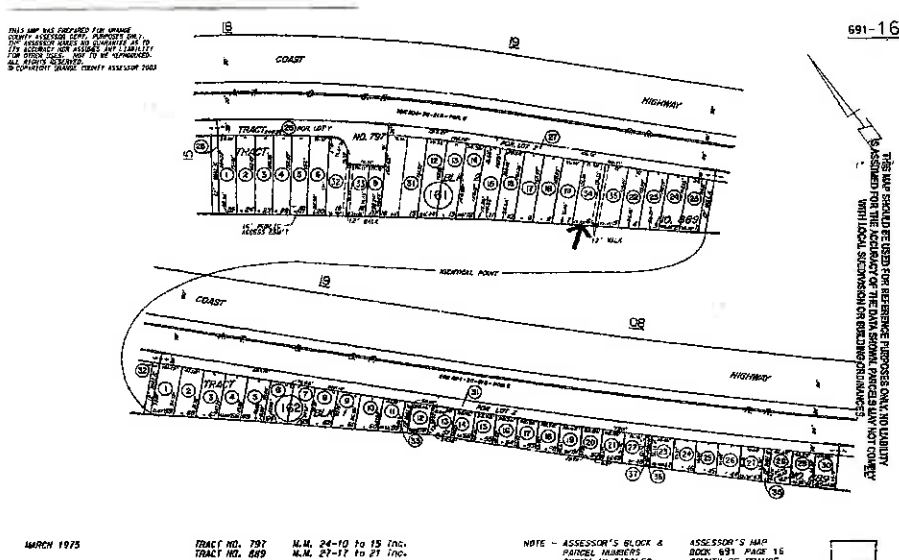
Proposed Area Calculation

Total Livable Area: 4,158 SF (Main Level: 1,716 SF/Upper Level: 2,442 SF)
Garage: 712 SF
Balcony: 290 SF (Upper Level)
Storage: 574 SF
Hardscape Area: 2,069 SF

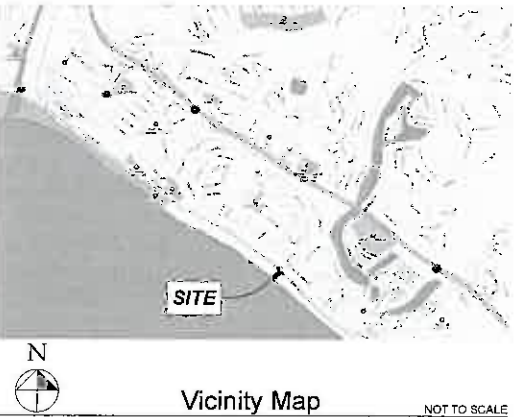
Total lot area between front property line and structure string line = 830 SF
Total landscape area between front property line and structure string line = 164 SF
Percentage of landscaping from front property line to structure string line = 19.7%

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COMMUNITY DEVELOPMENT
DEPARTMENT

Reference: Coastal Development Permit CDP14-0025 and Site Development Permit SDP14-0030.



Lot Location Map



Vicinity Map



Amaradio Residence

35577 Beach Road, Capistrano Beach CA

PROJECT OWNER:
Tony & Carin Amaradio
30731 Paseo Elegancia, San Juan Capistrano, CA 92675
P: 949.975.7900

Keisker & Wiggle Architects
26961 Camino de Estrella
Suite 200,
Capistrano Beach,
California 92624
P: 949/388-1250
F: 949/388-2760
C: email@kw-architects.com

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PLANNING CORRECTIONS	20 MAY 2015

Title Sheet

A.1

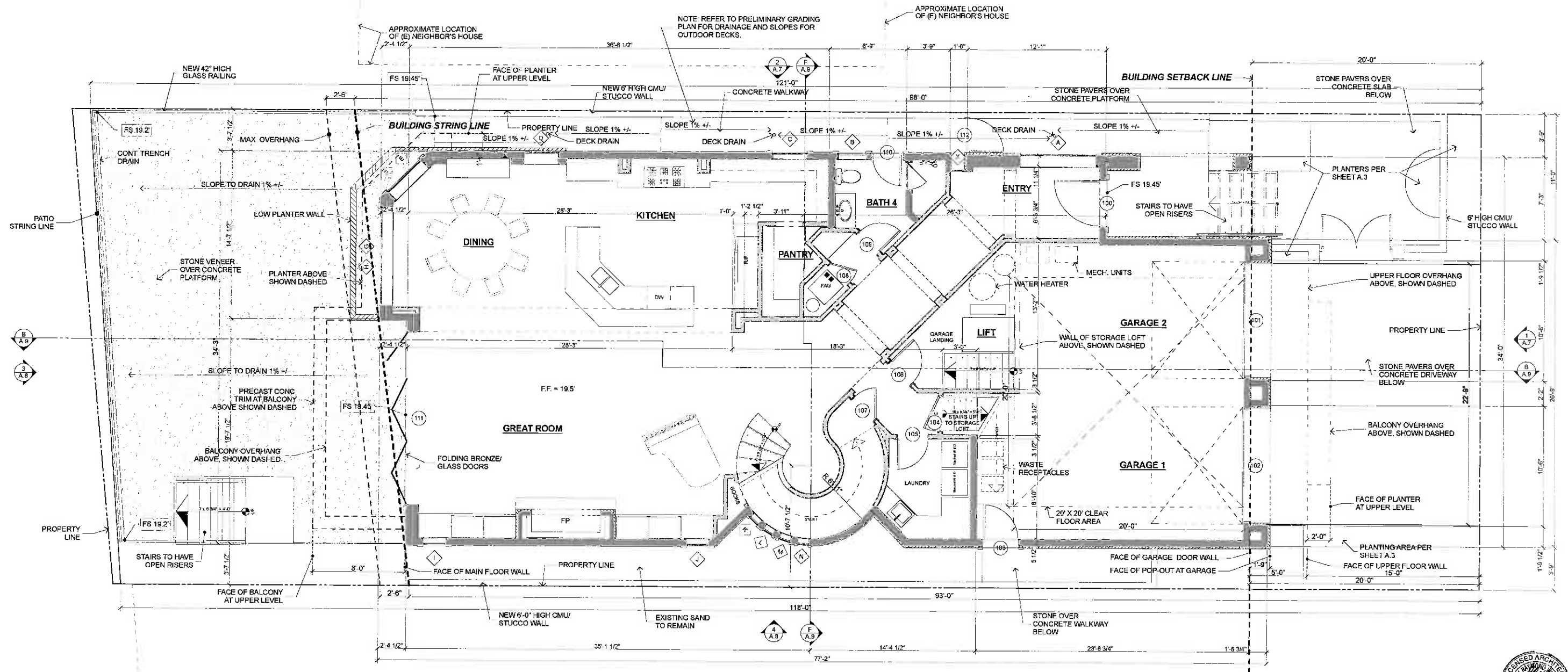


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P.949.975.7900

SCALE: 1/4" = 1'-0"

A.3

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PLANNING CORRECTIONS	20 MAY 2015



Main Level Floor Plan

SCALE: 1/4" = 1'-0"

NOTE: THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PILINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.060(1).



Amaradio Residence

35577 Beach Road, Capistrano Beach CA

Tony & Carin Amaradio

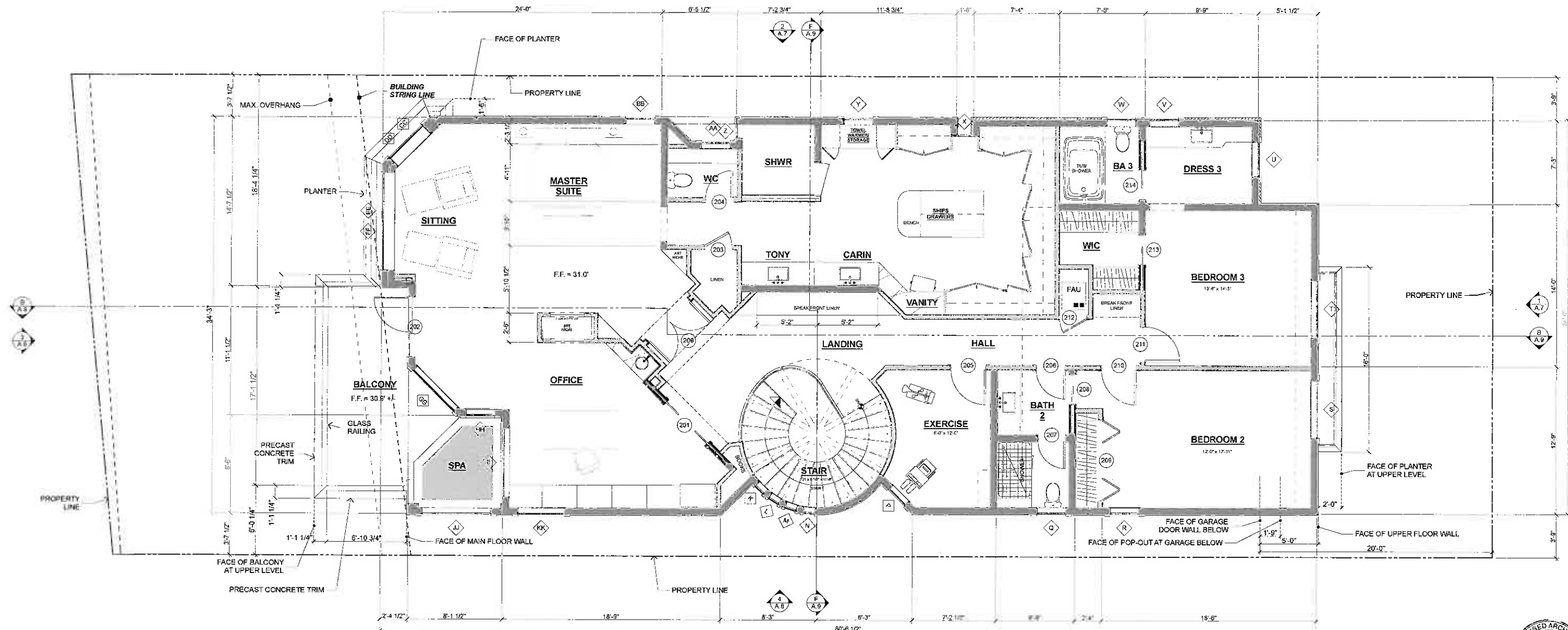
30731 Paseo Elegancia, San Juan Capistrano, CA 92675
P: 949.975.7900

Keisker & Wiggle Architects
25961 Camino de Estrella
Suite 200
Capistrano Beach, California 92624
P: 949/388-1250
F: 949/388-2760
E: email@kw-architects.com

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Main Level Floor Plan

A.4



Upper Level Floor Plan

SCALE 1/4" = 1'-0"

NOTE: THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PILINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.060(f)(1).



Amaradio Residence

35577 Beach Road, Capistrano Beach CA

Tony & Carin Amaradio

30731 Paseo Elegancia, San Juan Capistrano, CA 92675
P. 949.975.7900

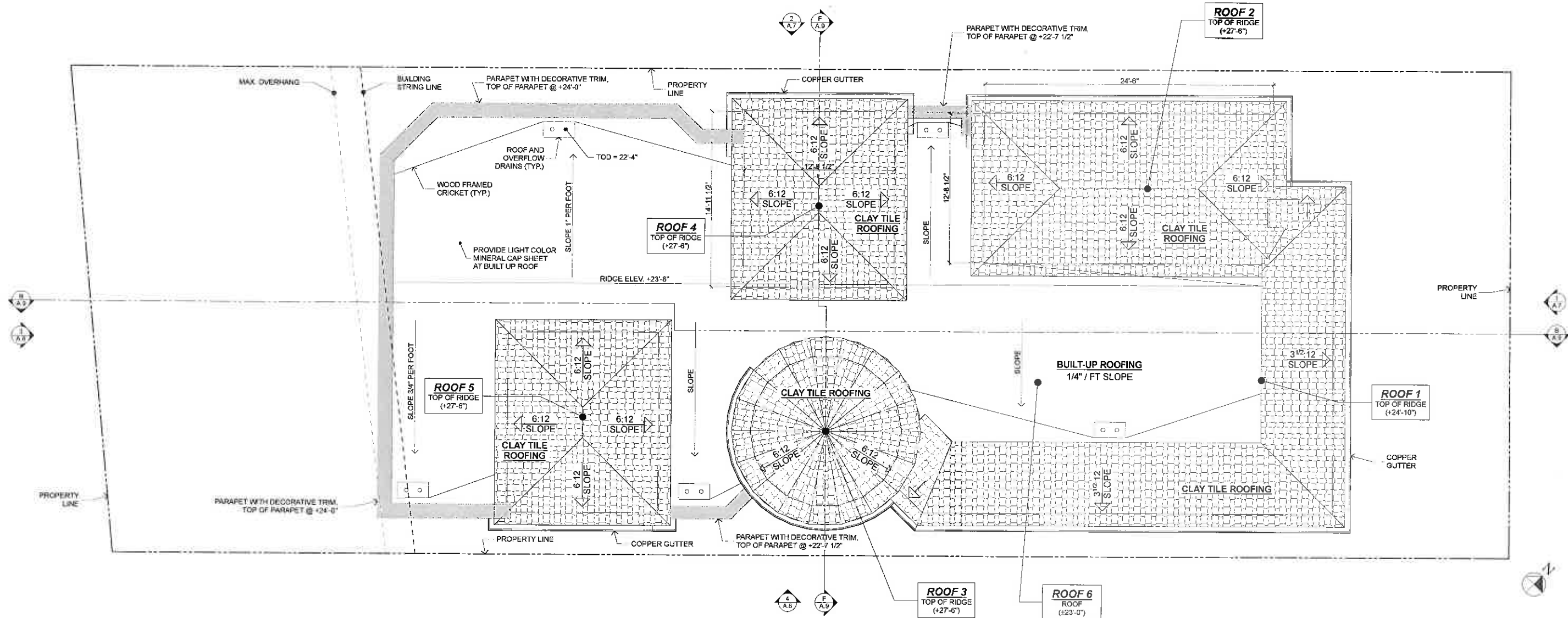
Keisker & Wiggle Architects
26961 Camino de Estrella
Suite 200
Capistrano Beach,
California 92624
P. 949/388-1250
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Upper Level Floor Plan

A.5



ROOF AREA CALCULATIONS

ROOF 1 (3 1/2:12 SLOPE)	415 SF	14.5%
ROOF 2 (6:12 SLOPE)	400 SF	14.0%
ROOF 3 (6:12 SLOPE)	208 SF	7.2%
ROOF 4 (6:12 SLOPE)	258 SF	9.0%
ROOF 5 (6:12 SLOPE)	262 SF	9.1%
ROOF 6 (1/4:12 SLOPE)	1,324 SF	46.2%
TOTAL AREA	2,867 SF	100%

NOTE: THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PILINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.060(f)(1).

Amaradio Residence

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30731 Paseo Elegancia, San Juan Capistrano, CA 92675
P: 949.975.7900

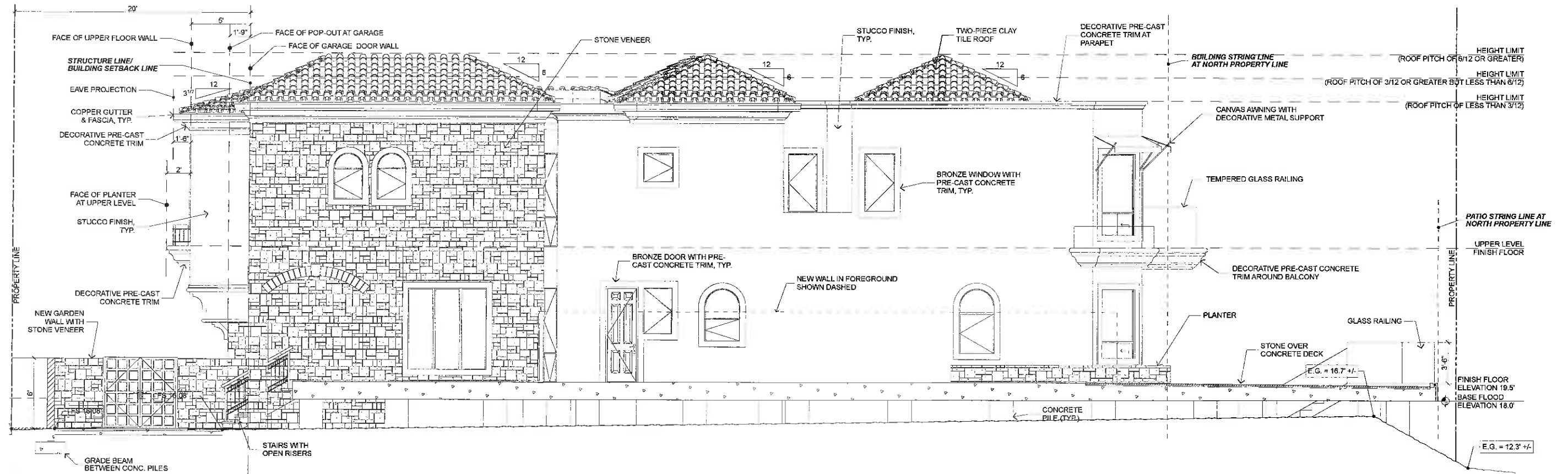
Keisker & Wiggle Architects
26961 Camino de Estrella
Suite 200
Capistrano Beach, California 92624
P: 949/388-1250
F: 949/388-2760
E: email@kw-architects.com

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Roof Plan

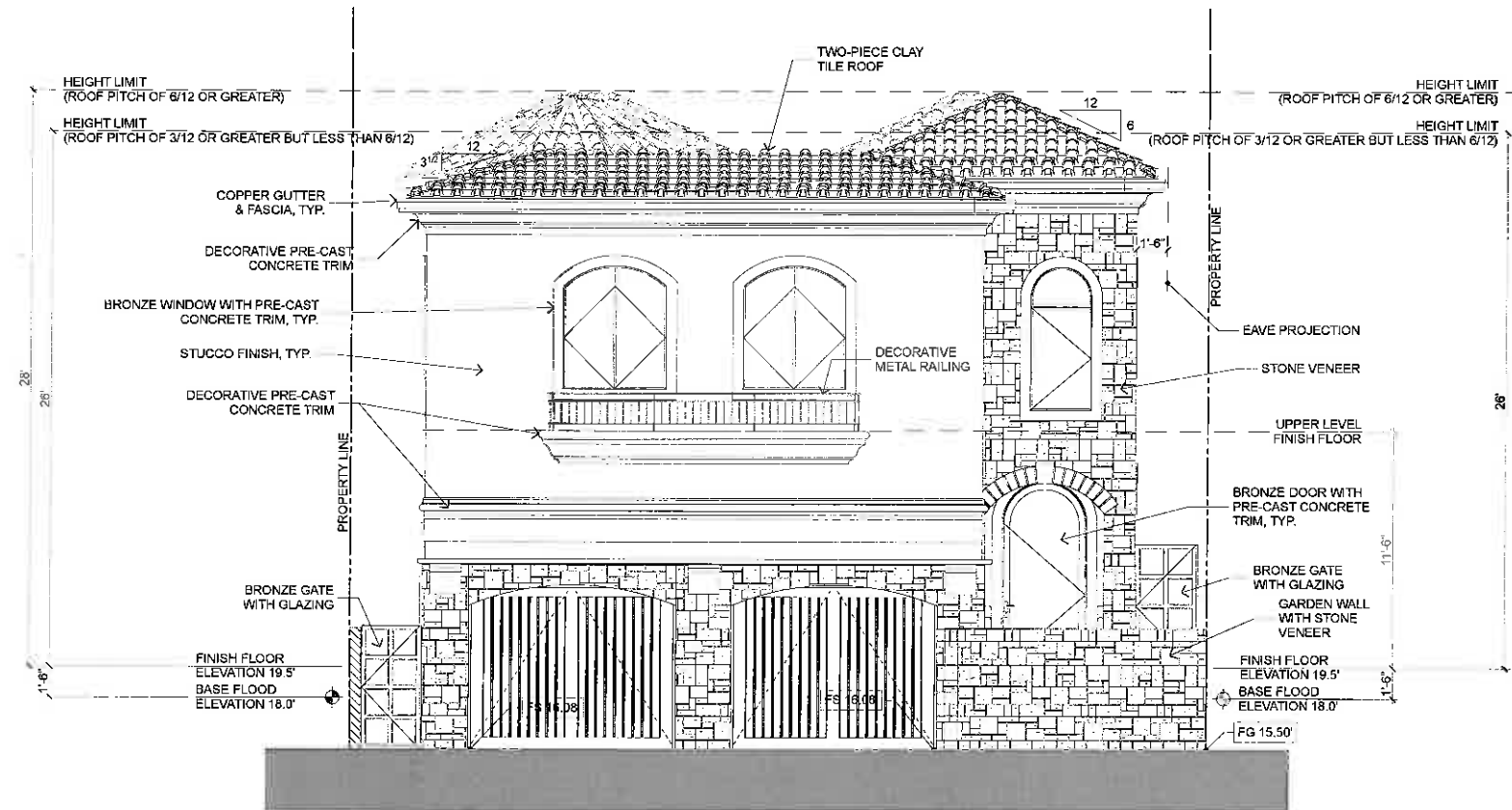
A.6

A.7 Exterior Elevations - Plotted on 6" x 12" at 1/8" = 1'-0" DIM. File Path: \\volcano\projects\ED4\A.7\Project Documents\1408 Amaradio House\Road\1408 ABR Model 2014-10-20.dwg



2 Right Side Elevation

SCALE: 1/4" = 1'-0"



1 Street Exterior Elevation

SCALE: 1/4" = 1'-0"

NOTE: THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PILINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.060(D)(1).



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35577 Beach Road, Capistrano Beach CA

Tony & Carin Amaradio

30731 Paseo Elegancia, San Juan Capistrano, CA 92675
P. 949.975.7900

Keisker & Wiggle Architects
26961 Camino de Estrella
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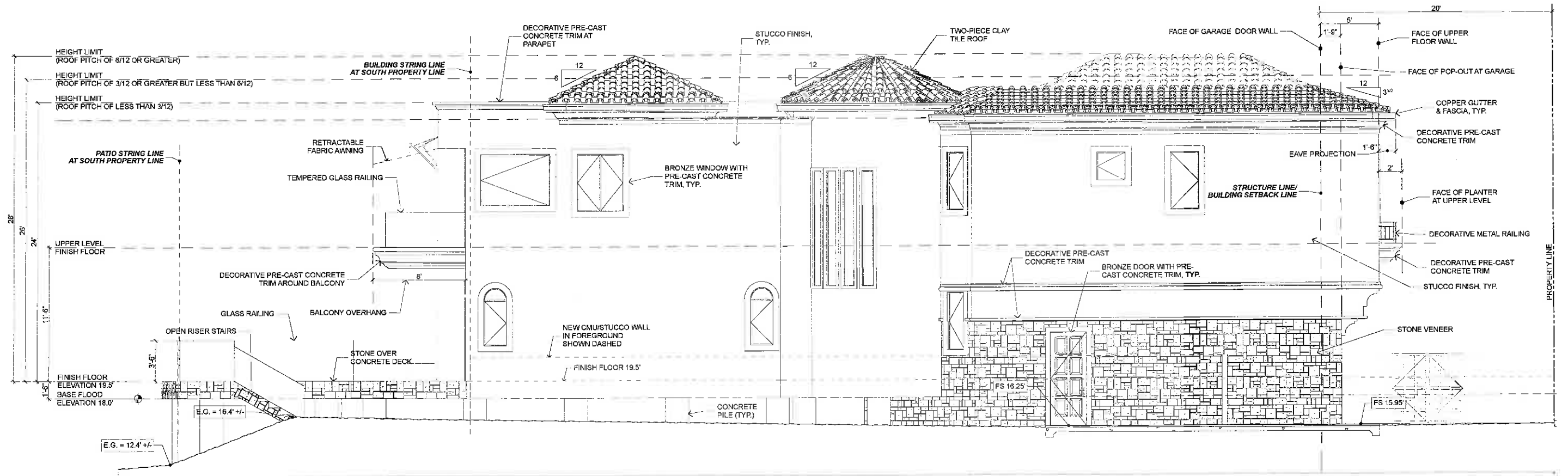
By entering all data in this sheet, the Architect hereby certifies that the information is true and correct and that the Architect is not aware of any other information that would affect the design or construction of the project.

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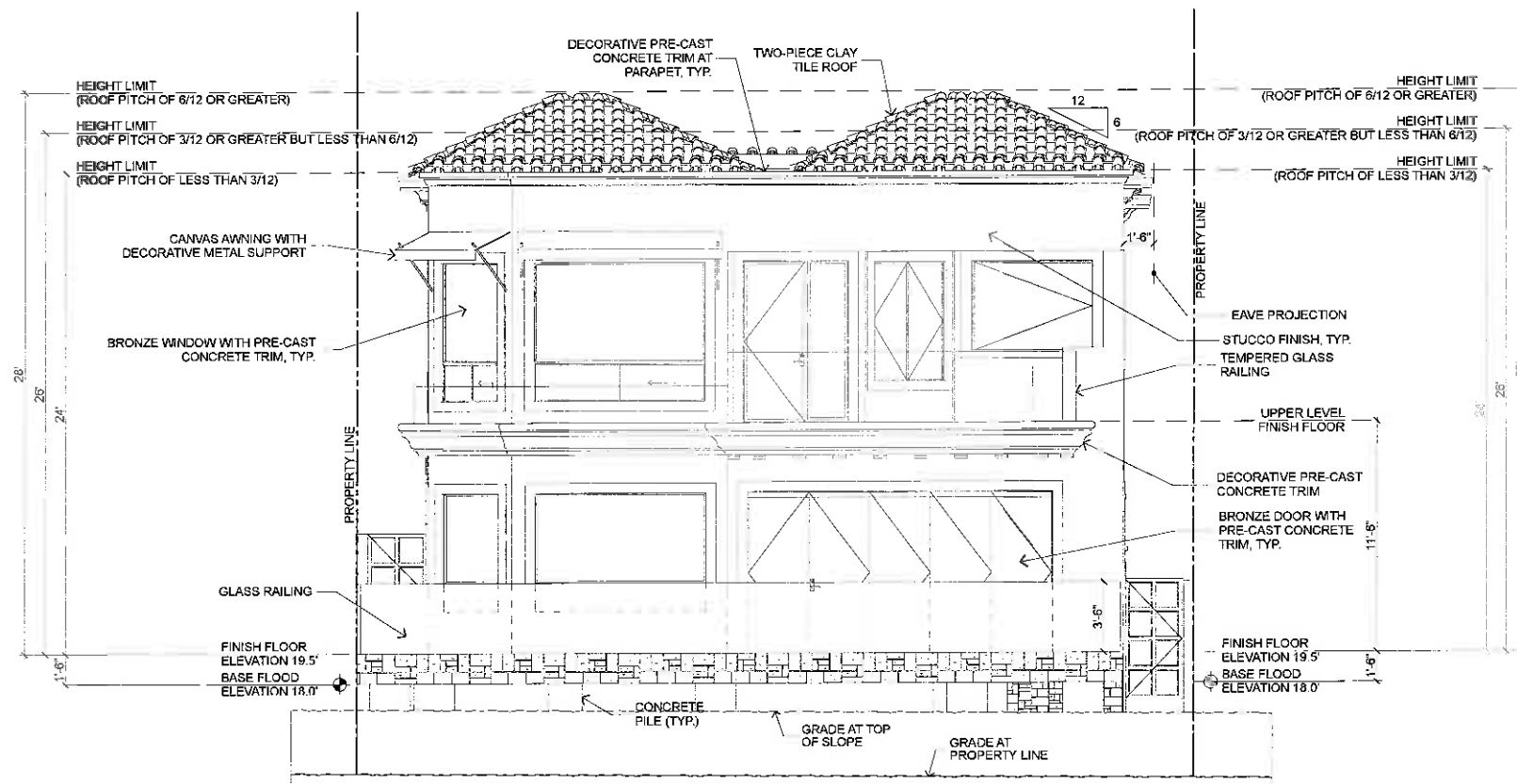
Exterior Elevations

SHEET
A.7



4 Left Side Elevation

SCALE: 1/4" = 1'-0"



3 Beach Elevation

SCALE: 1/4" = 1'-0"

NOTE: THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PILINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.060(f)(1).



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30731 Paseo Elegancia, San Juan Capistrano, CA 92675
P. 949.975.7900

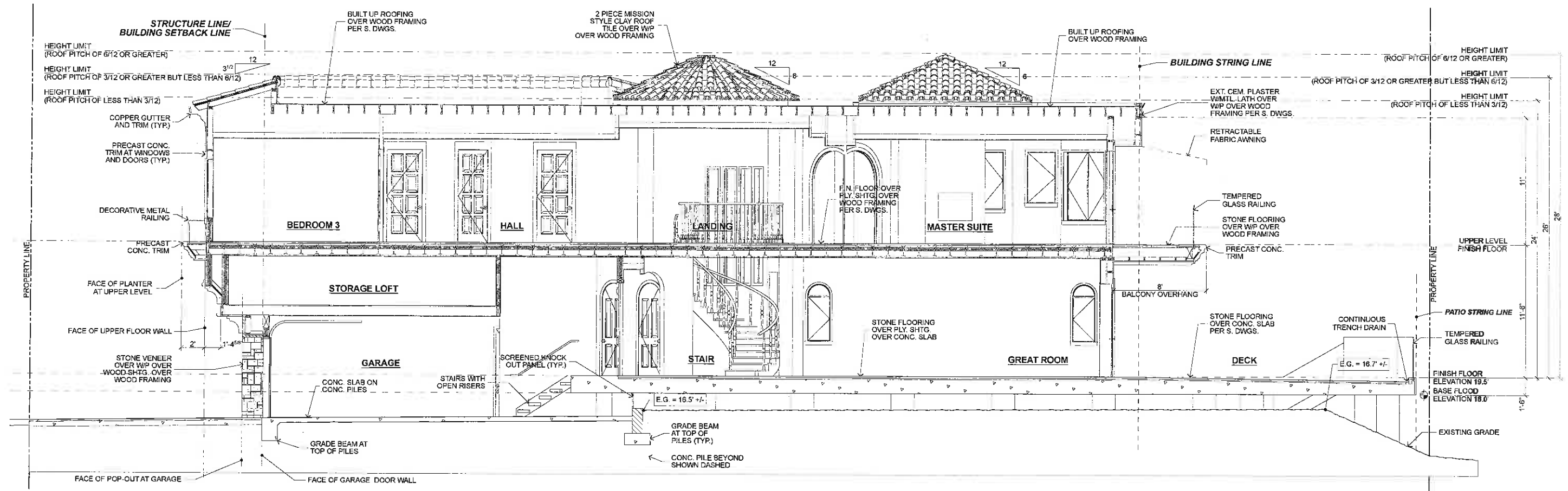
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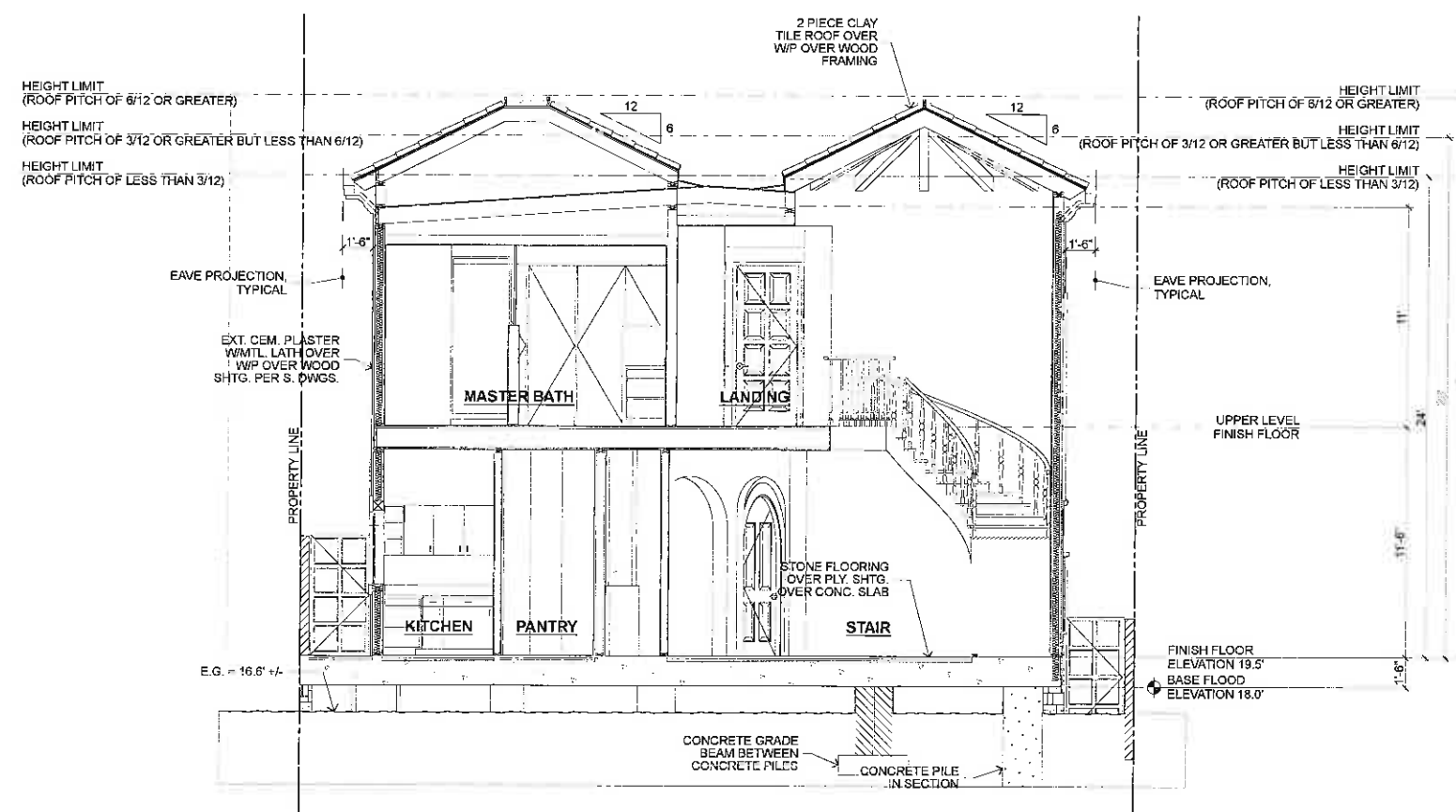
Exterior Elevations

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A.8



B Building Section

SCALE: 1/4" = 1'-0"



F Building Section

SCALE: 1/4" = 1'-0"

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Amaradio Residence

35577 Beach Road, Capistrano Beach, CA

Tony & Carin Amaradio

30731 Paseo Elegancia, San Juan Capistrano, CA 92675
7949.975.7900

Keisker & Wiggle Architects
26961 Camino de Estrella
Suite 200,
Capistrano Beach,
California 92624
P. 949/388-1250
F. 949/388-2760
E. email@kw-architects.com

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Building Sections

A.9

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IRRIGATION LEGEND

SYMBOL	MPG	DESCRIPTION	PSI	GPM	RAD	PATTERN
	RAIN BIRD	RUB-S-C-1402 ROOT WATERING SERIES (2) PER TREE/PALM	30	0.50	--	FLOOD
	RAIN BIRD	1002-1402 POP-UP FLOOD BUBBLER	30	0.25	--	FLOOD
	RAIN BIRD	100-ASVF SERIES 1" IRRIGATION REMOTE CONTROL VALVE				
	RAIN BIRD	XACZ-100-PRF CONTROL ZONE KIT (FOR DRIP IRRIGATION) WITH 1" ASVF VALVE AND 1" PRESSURE REGULATING (40PSI) FILTER				
	AS APPROVED	DENOTES PVC TO COPPER CONNECTION. TYPE 'K' COPPER PIPE TO BE INSTALLED BY PLUMBER WITH STUB-OUT AT BASE OF HOUSE AND STUB-OUT AT SECOND LEVEL PLANTER. CONNECTION FROM COPPER PIPE TO PVC BY LANDSCAPE CONTRACTOR.				
	NIBCO	T-800-A LINE 9/16" BALL VALVE				
	FEBCO	765T VACUUM BREAKER PREVENTION DEVICE - 3/4"				
	EXISTING	3/4" IRRIGATION WATER METER VERIFY LOCATION IN FIELD.				
	RAIN BIRD	ESP-SMTEI SMART MODULAR CONTROL SYSTEM (4 STATION WITH (3) 3-STATION EXPANSION MODULES) INDOOR WALL MOUNT AUTOMATIC IRRIGATION CONTROLLER. REFER TO CONTROLLER NOTES FOR ADDITIONAL INFORMATION. SYSTEM INCLUDES WEATHER SENSOR. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. MOUNT ON INSIDE OF GARAGE - FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT. (WEATHER-BASED).				
	RAIN BIRD	DENOTES XBS-100 1/2" BLACK STRIPE TUBING FOR DRIP WITH 1/8" TUBING AND XERI-BUBBLERS TO POTS AT SECOND LEVEL.				
	AS APPROVED	PRESSURE MAINLINE PVC SCH 40 1-1/4", SOLVENT WELD, BURY MIN. 24" BELOW GRADE.				
	AS APPROVED	NON-PRESSURE LATERAL SCHEDULE 40, BURY MIN. 18". SIZE AS INDICATED ON PLANS.				
	AS APPROVED	PIPE SLEEVING PVC SCH 40, EXTEND MIN. 12" BEYOND EDGE OF PAVING (2 X DIAMETER OF PIPE - TYPICAL). SIZE AND QUANTITY NOTED ON PLANS. (2" SL = 2" SLEEVE, (2) 2" SL = 2" SLEEVES, ETC.)				
	AS APPROVED	WIRE SLEEVING PVC SCH 40, EXTEND MIN. 12" BEYOND EDGE OF PAVING. BURY MINIMUM 12" BELOW GRADE.				
	VALVE SEQUENCE NUMBER					
	FLOW IN GPM					
	HYDROZONE					
	VALVE SIZE					

IRRIGATION NOTES

- ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCH. 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGES AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY GENERAL CONTRACTOR. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- UTILIZE RAIN BIRD PVB PROFESSIONAL SERIES VALVE BOXES, MODEL NO. PVB8TD.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.

NOTE: IRRIGATION PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING IN ORDER TO AVOID OBJECTS LIKE LIGHT STANDARDS, TRANSFORMER PADS, EQUIPMENT VAULTS, SUB-SURFACE ROCK TOO LARGE TO REMOVE, ETC. AS LONG AS ALL PLANTS RECEIVE THE PROPER NUMBER OF EMITTERS PER SCHEDULE.

CONTROLLER LOCATION:

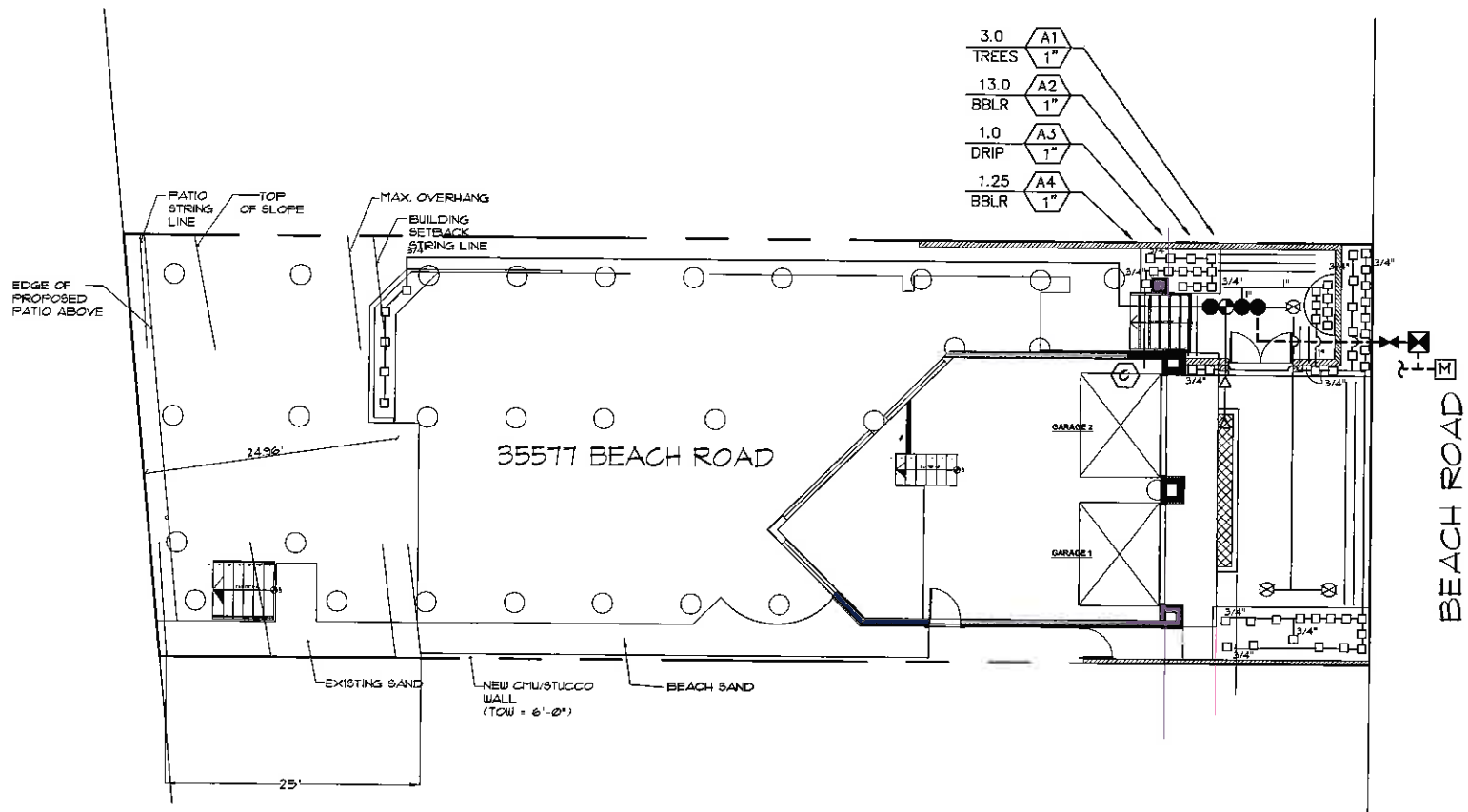
120 VOLT 2 AMP 60 CYCLE POWER AVAILABLE. LOCATE CONTROLLER ON GARAGE WALL AS APPROVED BY OWNER. IRRIGATION CONTRACTOR TO MAKE FINAL HOOK-UP.

POINT OF CONNECTION:

TEE OFF OF EXISTING DOMESTIC WATER METER INTO HOUSE AND PROVIDE VACUUM BREAKER, BALL VALVE AND MAINLINE AS SHOWN. LOCATE ALL EQUIPMENT AND VALVES IN SHRUB AREAS. DRAWING SHOWN FOR CLARITY ONLY. FIELD VERIFY CONDITIONS PRIOR TO STARTING ANY WORK.

STATIC PRESSURE 60 PSI
SYSTEM DESIGN PRESSURE 50 PSI
MAXIMUM DEMAND 13.0 GPM

LANDSCAPE CONTRACTOR TO VERIFY STATIC WATER PRESSURE AND IS TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO MAY RESULT IN CHANGES TO IRRIGATION SYSTEM AT NO ADDITIONAL COST TO OWNER.



WATER USE CALCULATIONS

PROJECT LANDSCAPE AREA: 302 SQUARE FEET
PROJECT IS LESS THAN 2500 SF. AND IS THEREFORE EXEMPT FROM AB1681 WATER EFFICIENT LANDSCAPE GUIDELINES

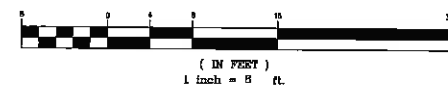
PRESSURE LOSS CALCULATIONS

WORST CASE	VALVE #A2 13.0 GPM
WATER METER	1.60
VACUUM BREAKER	0.00
1-1/4" SCH. 40 PVC MAINLINE (30 LF)	0.30
LATERALS	1.00
FITTINGS	0.30
REMOTE CONTROL VALVE	2.10
REQUIRED OPERATING PRESSURE	30.00
ELEVATION LOSS	0.00
TOTAL PRESSURE LOSS	45.30
STATIC PRESSURE	60.00
RESIDUAL PRESSURE	14.70

PROJECT DATA:

SHRUB AREA: 302 SF.
TURF AREA: 0 SF.
TOTAL LANDSCAPE AREA: 302 SF.

IRRIGATION PLAN GRAPHIC SCALE



REVISIONS	BY

Hourian Associates
Landscape Architecture
107 AVENIDA MIRAMAR
SAN DIEGO, CA 92122
TEL 619-494-3423 FAX 619-494-3423
CA Lic. 136



IRRIGATION PLAN
AMARADIO RESIDENCE
35577 Beach Road, Capistrano Beach

DATE: 2-23-16
DRAWN BY: mla
JOB NO.:
SCALE: 1/8" = 1'-0"

SHEET NO.
L-1
SHEETS

HOURLIAN ASSOCIATES, LANDSCAPE ARCHITECTS, LICENSED PROFESSIONAL ARCHITECTS, 1133
1133 AVENIDA MIRAMAR, SUITE D, SAN CLEMENTE, CALIFORNIA 92672
TEL: 949-461-5623 FAX: 949-461-5622
WWW.HOURLIANASSOCIATES.COM

IRRIGATION SPECIFICATIONS

PART 1 - GENERAL CONDITIONS

1.1 Description:

- A. Work Included: Provide all labor, materials, transportation, and services necessary to furnish and install irrigation systems as shown on the drawings and described herein.

1.2 Quality Assurance:

- A. Manufacturer's Directions: Manufacturer's directions and detailed drawings shall be followed in all cases where the manufacturers of articles used in this contract furnish directions covering points not shown in the drawings and specifications.
- B. Ordinances and Regulations: All local, municipal and state laws, and rules and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these specifications and their provisions shall be carried out by the Contractor. Anything contained in these specifications shall not be construed to conflict with any of the above rules and regulations or requirements of the same. However, when these specifications and drawings call for or describe materials, workmanship, or construction of a better quality, higher standard, or larger size than is required by the above rules and regulations, the provisions of these specifications and drawings shall take precedence.
- C. Explanation of Drawings:

1. Due to the scale of the drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. The Contractor shall carefully investigate the structural and finished conditions affecting all of his work and plan his work accordingly, furnishing such fittings, etc. as may be required to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation systems, planting, and architectural features.
2. The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences, or discrepancies in area dimensions exist that might not have been considered in the irrigation design. Such obstructions or differences should be brought to the attention of the Owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.

1.3 Submittals:

A. Material List:

1. The Contractor shall furnish the articles, equipment, materials, or processes specified by name in the drawings and specifications. No substitution will be allowed without prior written approval by the Landscape Designer.
2. Equipment or materials installed or furnished without prior approval of the Landscape Designer may be rejected and the Contractor required to remove such materials from the site at his own expense.
3. Manufacturer's warranties shall not relieve the Contractor of his liability under the guarantee. Such warranties shall only supplement the guarantee.

B. Record Drawings:

1. The Contractor shall make neat and legible annotations thereon daily as the work proceeds, showing the work as actually installed. These drawings shall be available at all times for inspection and shall be kept in a location available to the Landscape Architect.

C. Operation and Maintenance:

1. Prepare and deliver to the Owner within ten calendar days prior to completion of construction, a hard cover binder with three rings each containing the following information:
- a. Catalog and parts sheets on every material and equipment installed under this contract.
- b. Guarantee statement (Section 1.05).
- c. Complete operating and maintenance instructions on all major pieces of equipment.
- D. Equipment to be Furnished:
1. Supply to the Owner as part of this contract the following tools:
- a. Two sets of special tools required for removing, disassembling, and adjusting each type of sprinkler and valve installed under this contract.
- c. Two keys for each automatic controller or enclosure.

1.4 Product Protection, Storage, and Handling:

- A. Handling of PVC Pipe and Fittings: The Contractor is cautioned to exercise care in handling, loading, unloading, and storing of PVC pipe and fittings. All PVC pipe shall be transported in a vehicle which allows the length of pipe to lie flat so as not to subject it to undue bending or concentrated external load at any point. Any section of pipe that has been dented or damaged will be discarded, and if installed, shall be replaced with new piping.

1.5 Guarantee:

- A. The guarantee for the sprinkler irrigation system shall be made in accordance with the attached form. The general conditions and supplementary conditions of these specifications shall be filed with the Owner or his representative prior to acceptance of the irrigation system.

GUARANTEE FOR SPRINKLER IRRIGATION SYSTEM

We hereby guarantee that the sprinkler system we have furnished and installed is free from defects in materials and workmanship, and the work has been completed in accordance with the drawings and specifications. We agree to repair or replace any defects in material or workmanship which may develop during the period of one year from the date of acceptance and also to repair or replace any damage resulting from the repairing or replacing of such defects at no additional cost to the Owner. We shall make repairs or replacements within a reasonable time after receipt of written notice from the Owner. In the event of our failure to make such repairs or replacements within a reasonable time after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefore upon demand.

(The above statement is to be followed by the project name, location, signature, address, and telephone number of Irrigation Contractor, in addition to the date of acceptance).

PART 2 - MATERIALS

- 2.1 General: Use only new materials of brands and types noted on the drawings, specified herein, or approved equals.

A. PVC pressure Main Line Pipe and Fittings:

1. Pipe shall be made from an NSF approved Type 1, Grade I, PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements as set forth in Federal Specification PS-22-70 (Solvent Weld Pipe) with an appropriate standard dimension (S.D.R.).
2. PVC solvent-weld fittings shall be Schedule 40, 1-2, 11-1 NSF approved conforming to ASTM test procedure D2466.
3. Solvent cement and primer for PVC solvent-weld pipe and fittings shall be of the type and installation methods prescribed by the manufacturer.
4. All PVC pipe must bear the following markings:
- a. Manufacturer's name
- b. Nominal pipe size
- c. Schedule or class
- d. Pressure rating in PSI
- e. NSF (National Sanitation Foundation) approval
- f. Date of extrusion

B. Control Wiring:

1. Connections between the automatic controllers and the electric control valves shall be made with direct burial copper wire AWG-U.F. 600 volt. Pilot wires sharing the same automatic controller shall be the same color. Common wire shall be white in color with a stripe to match the pilot wires with which it is circled on the same controller. Provide different colors for each controller installed on the same project. Install wire in accordance with valve manufacturer's specifications and wire chart. In no case shall wire size be less than No.14.
2. Wiring shall occupy the same trench and shall be installed along the same route as pressure supply or lateral lines wherever possible.
3. Where more than one wire is placed in a trench, the wiring shall be taped together at intervals of ten feet.
4. An expansion curl shall be provided at each wire connection. Expansion curl shall be of sufficient length at each splice connection at each electric control valve so that in case of repair, the valve bonnet may be brought to the surface without disconnection of the control wires. Control wires shall be laid loosely in trench without stress or stretching of control wire conductors.
5. All fittings shall bear the manufacturer's name or trademark, material designation, size, applicable I.P.S. schedule and NSF seal of approval.

C. PVC Non-Pressure Lateral Line Piping:

1. Pipe shall be made from NSF approved, Type 1, Grade II, PVC compound conforming to ASTM resin specification D1784. All pipe must meet requirements set forth in Federal Specifications PS-22-70 with an appropriate standard dimension ratio.
2. Except as noted in paragraphs 1 of 2 of Section 2.01C, all requirements for non-pressure lateral line pipe and fittings shall be the same as for solvent-weld pressure main line pipe and fittings as set forth in Section 2.01B of these specifications.

D. Ball Valve:

1. Ball valves 3-inches and smaller shall be similar to those manufactured by Nilco or approved equal.
2. All ball valves shall be installed per manufacturers specifications.

E. Automatic Controller:

1. Final location of automatic controller shall be approved by the Owner's authorized representative prior to installation.

F. Electric Control Valves:

1. Unless otherwise noted on plan or construction details, all electric control valves shall have a manual flow adjustment.
2. Provide and install one control valve box for each electric control valve.
3. All splices shall be made with Rainbird ST-03UL Snap-Tite wire connector with PT/SS sealer or approved equal. Use one wire connector per wire splice.
4. Field splices between the automatic controller and electric control valves will not be permitted without prior approval of the Landscape Architect.

G. Control Valve Boxes:

1. Use 10" x 10 1/4" round box for all gate valves, Carson Industries 910-12B with green bolt down cover or approved equal. Extension sleeve shall be PVC-8-inch minimum size.
2. Use 9-1/2" x 16" x 11" rectangular box for all electric control valves, Carson Industries 1419-12B with green bolt down cover or approved equal.

H. Sprinkler Heads:

1. All sprinkler heads shall be of the size, type, and deliver the same rate of precipitation with the diameter (or radius) of spray, pressure, and discharge in G.P.M., as shown on the drawings and/or specified in these special provisions.
3. Riser/swing joint assemblies shall be fabricated in accordance with the irrigation construction details shown on the drawings.

PART 3 - EXECUTION

3.1 Inspection:

A. Site Conditions:

1. Coordinate installation of sprinkler irrigation materials, including pipe so there shall be no interference with utilities or other construction or difficulty in planting trees, shrubs, and groundcovers.
2. The Contractor shall carefully check all grades to satisfy himself that he may safely proceed before starting work on the sprinkler irrigation system.

3.2 Preparation:

A. Physical Layout:

1. Prior to installation, the Contractor shall stake out all pressure supply lines, routing, and location of sprinkler heads.

B. Water Supply:

1. Connections shall be made at approximate locations as shown on the drawings. Contractor is responsible for minor changes caused by actual site conditions.

3.3 Installation:

A. Trenching:

1. Dig trenches straight and support pipe continuously on bottom of trench. Lay pipe to an even grade. Trenching excavation shall follow layout indicated on the drawings and as noted.

B. Backfilling:

1. The trenches shall not be backfilled until all required tests are performed. Trenches shall be carefully backfilled with the excavated materials approved for backfilling, consisting of earth, loam, sandy clay, sand or other approved materials, free from large clods of earth or stones. Backfill shall be mechanically compacted in landscaped areas to a dry density equal to adjacent undisturbed soil in planting areas. Backfill will conform to adjacent grades without dips, sunken areas, humps, or other surface irregularities.
2. A fine granular material backfill will be initially placed on all lines. No No foreign matter larger than 1/2-inch in size will be permitted in the initial backfill.
3. If settlement occurs and subsequent adjustments in pipe, valves, sprinkler heads, lawn, or planting or other construction as necessary, the Contractor shall make all required adjustments without cost to the Owner.

C. Trenching and Backfill Under Paving:

1. Trenches located under areas where paving, asphaltic concrete or concrete will be installed shall be backfilled with sand (a layer six-inches below the pipe and 3-inches above the pipe), and compacted in layers to 95% compaction, using manual or mechanical tamping devices. Trenches for piping shall be compacted to equal the compaction of the existing adjacent undisturbed soil and shall be left in a firm unyielding condition. The sprinkler irrigation Contractor shall set in place, cap, and pressure test all piping under paving prior to the paving work.
2. Generally, piping under existing walks is done by jacking, boring, or hydraulic driving, but where any cutting or breaking of sidewalks and/or concrete is necessary it shall be done and replaced by the Contractor as part of the contract cost. Permission to cut or break sidewalks and/or concrete shall be obtained from the Landscape Architect. No hydraulic driving will be permitted under new concrete paving.

- E. Line Clearance: All lines shall have a minimum clearance of 6 inches from each other and from lines of other trades. Parallel lines shall not be installed directly over one another.

F. Automatic Controller: Install per manufacturer's instructions.

G. High Voltage Wiring for Automatic Controller:

1. 120-volt power connection to the automatic controller shall be provided by the irrigation Contractor.

2. All electrical work shall conform to local codes, ordinances, and union authorities having jurisdiction.

H. Flushing of System:

1. After all new sprinkler pipe lines and risers are in place and connected, all necessary diversion work has been completed, and prior to installation of sprinkler heads, the control valves shall be opened and a full head of water used to flush out the system.
2. Sprinkler heads shall be installed only after flushing of the system has been completed.

I. Sprinkler Heads:

1. Install the sprinkler heads as designated on the drawings. Sprinkler heads to be installed in this work shall be equivalent in all respects to those itemized in the irrigation equipment legend.

- 3.5 Existing Trees: Where it is necessary to excavate adjacent to existing trees, the Contractor shall use all possible care to avoid injury to trees and tree roots. Excavation in areas where 2-inch and larger roots occur shall be done by hand. All roots 2-inches and larger in diameter, except directly in the path of pipe or conduit, shall be tunneled under and shall be heavily wrapped with burlap to prevent scarring or excessive drying. Where a ditching machine is run close to trees having roots smaller than 2 inches in diameter, the wall of the trench adjacent to the tree shall be hand trimmed, making clean cuts through. Roots 1/2 inch and larger in diameter shall be pointed with two coats of tree seal, or equal. Trenches adjacent to trees should be closed within 24-hours, and where this is not possible, the side of the trench adjacent to the tree shall be kept shaded with burlap or canvas.

3.6 Field Quality Control:

A. Adjustment of the System:

1. The Contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, and buildings as much as possible.

B. Testing of Irrigation System:

1. The Contractor shall request the presence of the Landscape Designer in writing of least 48 hours in advance of any testing.
2. Test all pressure lines under hydrostatic pressure of 150 PSI and prove watertight.
3. Sustain pressure in tested lines for not less than two hours. If leaks develop, replace joints and repeat test until entire system is proven watertight.
4. Contractor shall furnish force pump and all other test equipment necessary.

3.7 Maintenance:

- A. The entire sprinkler irrigation system shall be under full automatic operation for a period of seven days prior to any planting and for 90 days after inspection to begin maintenance period.

- 3.8 Clean-up: Cleanup shall be made on each portion of work progresses. Refuse and excess dirt shall be removed from the site. All walks and paving shall be broomed or washed down, and any damage sustained on the work of others shall be repaired to original conditions.

3.9 Final Observation Prior to Acceptance:

- A. The Contractor shall operate each system in its entirety for the Owner or Landscape Designer at the time of final inspection. Any items deemed not acceptable by the qualified observer shall be reworked to the complete satisfaction of the Owner or Landscape Designer.

3.10 Observation:

- A. No observation will commence without record drawings. In the event the Contractor calls for an observation without record drawings, without completing previously noted corrections, or without preparing the system for observation, he shall be responsible for reimbursing the Landscape Designer at the rate per hour (portal to portal) plus transportation costs, for the inconvenience. No further observations will be scheduled until this charge has been paid.

REVISIONS	BY

Hourlian Associates
Landscape Architecture

LOT AVENIDA MIRAMAR
SUITE D
SAN CLEMENTE, CA 92672
TEL: 949-461-5623
FAX: 949-461-5622
CA, U.S.A.



IRRIGATION SPECIFICATIONS

AMARADIO RESIDENCE
35577 Beach Road, Capistrano Beach

DATE:	2-23-15
DRAWN BY:	mdm
JOB NO.:	
SCALE:	N.T.S.

SHEET NO.	
L-3	
OF	SHEETS

1. THE FOLLOWING ARE MINIMUM REQUIREMENTS AND SHALL GOVERN, EXCEPT AS EXCEEDED BY REQUIREMENTS OF OTHER CONTRACT DOCUMENTS AND/OR BUILDING LAWS, RULES, AND ORDINANCES.
2. THE WORK OF THIS SECTION INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE LANDSCAPE WORK AS SHOWN ON THE DRAWINGS AND AS HEREIN SPECIFIED.
3. ALL SCALED DIMENSIONS ON DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND SHALL IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS.
4. MATERIALS AND WORKMANSHIP SHALL, AT A MINIMUM, CONFORM TO CALIFORNIA LANDSCAPE CONTRACTORS ASSOCIATION STANDARDS.
5. UNTIL ALL WORK IS COMPLETED AND ACCEPTED BY THE OWNER AND THEIR REPRESENTATIVE, LANDSCAPE CONTRACTOR SHALL ASSUME ALL RISKS AND BEAR ALL LOSSES TO HIS MATERIALS AND EQUIPMENT.
6. THE LANDSCAPE CONTRACTOR SHALL REPAIR WORK DAMAGED BY HIM OR MAKE PAYMENT FOR SUCH REPAIR. SHOULD THE LANDSCAPE CONTRACTOR HAVE HIS WORK DAMAGED BY ANOTHER CONTRACTOR, HE IS TO MAKE ARRANGEMENTS WITH THE OTHER CONTRACTOR FOR THE CONTRACTOR'S REPAIR OR THAT CONTRACTOR'S PAYMENT OF THE REPAIR.
7. LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL AND PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION. (ANY SUBSTITUTION IN PLANT MATERIAL IS NOT PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER'S AUTHORIZED REPRESENTATIVE).
8. ALL INSPECTIONS WILL BE MADE BY THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST INSPECTION AT LEAST TWO WORKING DAYS (48 HOURS) IN ADVANCE OF THE TIME THE INSPECTION IS REQUIRED.
9. THE CONTRACTOR SHALL HAVE SECURED ANY PERMITS OR CERTIFICATES REQUIRED BY CITY, COUNTY OR STATE AUTHORITIES PRIOR TO CONSTRUCTION.

THE FOLLOWING SOIL PREPARATION IS FOR BIDDING PURPOSES ONLY. SOIL ANALYSIS RECOMMENDATIONS SHALL SUPERSEDE SPECIFICATION RECOMMENDATIONS.

1. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SOIL SAMPLE FROM THE SITE TO SOIL TESTING LAB. THIS SAMPLE SHALL BE OBTAINED BY THE CONTRACTOR. SOIL TESTS SHALL BE COMPLETED PRIOR TO THE BEGINNING OF THE LANDSCAPE WORK. THE COST OF SOIL TESTING SHALL BE INCLUDED IN THE LANDSCAPE PLANTING BID.
2. SOIL IN ALL PLANTING AREAS SHOWN ON PLANS SHALL BE LOOSENED TO A DEPTH OF 4 TO 8 INCHES BELOW FINISH GRADE. ALL DEBRIS, FOREIGN MATTER AND STONES OVER 1-1/2" IN DIAMETER SHALL BE REMOVED.
3. ALL SHRUBS, TREES, AND GROUND COVER AREAS- GRADE TO FINISH GRADE. FINISH GRADE SHALL BE 1" BELOW FINISH SURFACE ALLOWING FOR AMENDMENT, THEN INCORPORATE EVENLY INTO THE TOP 4" TO 6", THE FOLLOWING FOR EACH 1,000 SQUARE FOOT AREA:
 - A) PER SOILS REPORT

BACKFILL

4. ALL TREES, SHRUBS, AND VINES ARE TO BE BACKFILLED WITH MIX DESCRIBED BELOW. THIS MIX SHALL BE VERIFIED OR MODIFIED AFTER SOILS TEST.
- A) 6 PARTS OF ROCK-FREE ON-SITE SOIL.
 - B) 4 PARTS NITROLIZED SHAVINGS OR EQUAL.
 - C) 18 LBS. OF GRO-POWER PLUS PER CUBIC YARD.

1. ON-SITE SOILS - USE EXISTING ON-SITE SOIL WHICH HAS BEEN STOCKPILED AND IDENTIFIED FOR USE AS TOP SOIL FOR PLANTING PURPOSES TO THE MAXIMUM EXTENT POSSIBLE.
2. USE ONLY TOPSOIL MATERIALS WHICH HAVE BEEN APPROVED BY THE LANDSCAPE ARCHITECT.

3. REMOVE ALL DEBRIS, WOOD, OIL, WEEDS, AND OTHER FOREIGN MATTER WHICH MAY BE DETRIMENTAL TO PLANT GROWTH.
4. REMOVE CONTAMINATED AND REJECTED SOIL MATERIALS FROM THE SITE AND DISPOSE OF AT A LEGAL DUMPING AREA.

IMPORTED SOILS - PROVIDE SANDY TEXTURED MATERIAL FROM AN APPROVED SOURCE. USE MATERIALS WHICH DO NOT EXCEED THE FOLLOWING LIMITS.

1. SILT PLUS CLAY CONTENTS - 15 PERCENT BY WEIGHT.
2. BORON CONTENT - 1 PART PER MILLION AS MEASURED ON THE SATURATION EXTRACT.
3. SODIUM ABSORPTION RATION (SAR) - 3.0 MILLIONS PER CENTIMETER AT 25 DEGREES CENTIGRADE.

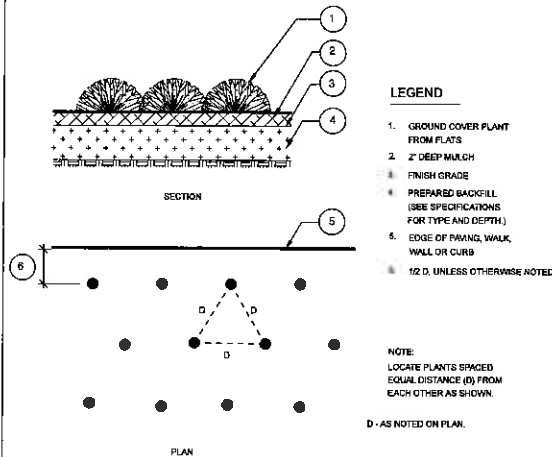
ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT SHALL BE AS PER MANUFACTURER'S RECOMMENDATION.

AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE TO BE REMOVED FROM THE SITE.

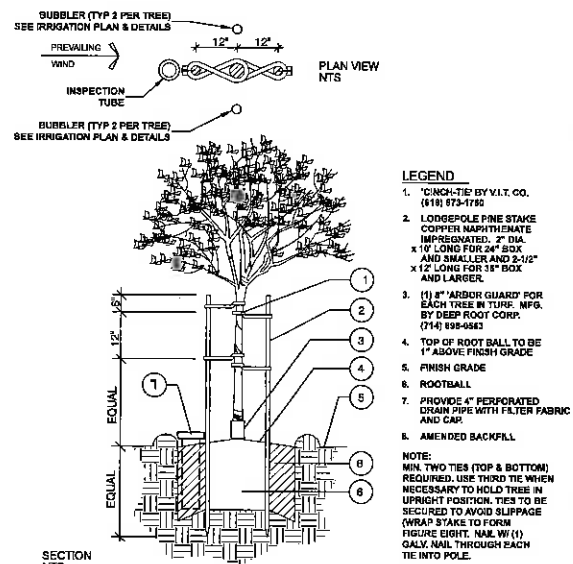
1. CONTINUOUSLY MAINTAIN ALL AREAS INCLUDED IN THE CONTRACT DURING THE PROGRESS OF THE WORK, THE MAINTENANCE PERIOD AND UNTIL FINAL ACCEPTANCE OF THE WORK.
2. AFTER ALL WORK INDICATED ON THE DRAWINGS OR HEREIN SPECIFIED HAS BEEN COMPLETED, INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT, MAINTAIN ALL PLANTED AREAS FOR A PERIOD OR (90) DAYS.
3. TREES AND SHRUB CARE:
 - A) WATERING: MAINTAIN A LARGE ENOUGH WATER BASIN AROUND PLANTS SO THAT ENOUGH WATER CAN BE APPLIED TO ESTABLISH MOISTURE THROUGH THE MAJOR ROOT ZONE. WHEN HAND WATERING, USE A WATER WAND TO BREAK THE WATER FORCE.
4. GROUND COVER CARE:
 - A) APPLY A PRE-EMERGENT HERBICIDE HAVING A LIFE NOT LESS THAN 6 MONTHS TO ALL BROADLEAF GROUND COVER AREAS. HERBICIDE SHALL BE REGISTERED FOR USE IN GROUND COVER AND APPLIED PER MANUFACTURER'S RECOMMENDATIONS.
 - B) REMOVE TRASH WEEKLY.
 - C) EDGE GROUND COVER TO KEEP WITHIN PRESCRIBED AREAS AND TRIM TOP GROWTH AS NECESSARY TO ACHIEVE AN OVERALL EVEN APPEARANCE.
 - D) EXTERMINATE GOPHERS AND MOLES AND REPAIR DAMAGE.

ALL PLANT MATERIAL UNDER 15 GAL. SIZE TO BE GUARANTEED FOR A PERIOD OF (30) DAYS FROM THE DATE OF ACCEPTANCE. ALL 15 GAL. AND LARGER SIZE PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF PROJECT.

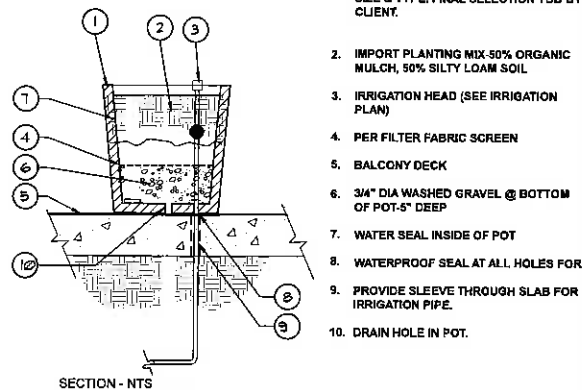
AFTER ALL WORK HAS BEEN ACCOMPLISHED AND THE MAINTENANCE PERIOD HAS BEEN COMPLETED, THE LANDSCAPE ARCHITECT SHALL INSPECT THE WORK FOR FINAL ACCEPTANCE.



D	GROUNDCOVER PLANTING DETAIL
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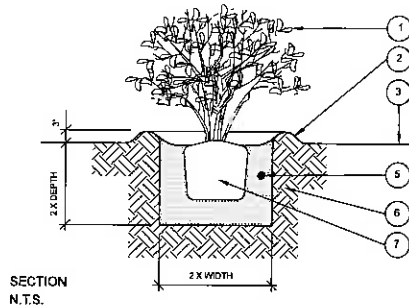


A TREE PLANTING DETAIL -DOUBLE STAKE



- SHIM POTS AS NECESSARY TO LEVEL PLANTER TOPS

B POT PLANTING DETAIL



SECTION
N.T.S.

- LEGEND**
1. 1, 5 OR 15 GAL. SHRUB
 2. WATER BASIN 3" MIN. DEPTH
 3. FINISH GRADE.
 4. AMENDED BACKFILL - SEE SPECIFICATIONS
 5. 21 GRAM PLANT TABLET - SEE SPECIFICATIONS
 6. EXISTING SOIL
 7. ROOT BALL

C	SHRUB PLANTING DETAIL
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Hourian Associates
Landscape Architecture
LOT AVENIDA MIRAVAR
SUITE D
SAN CLEMENTE, CA 92612
TEL 949-484-8623
FAX 949-484-8682



PLANTING DETAILS & SPECS

AMARADIO RESIDENCE
335577 Beach Road, Capistrano Beach

DATE: _____

DRAWN BY:

JOB NO. :

SCALE 1

AS NOTED

SHEET NO.

1
