

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** JULY 27, 2015

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT  
URSULA LUNA-REYNOSA, DIRECTOR  
EVAN LANGAN, AICP, ASSOCIATE PLANNER

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP15-0005 AND SITE DEVELOPMENT PERMIT SDP15-0015 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING AND ATTACHED GARAGE, ON LAND LOCATED WITHIN THE RESIDENTIAL BEACH ROAD 12 (RBR-12) ZONING DISTRICT AS WELL AS THE FLOODPLAIN AND COASTAL OVERLAY DISTRICTS AT 35415 BEACH ROAD

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**RECOMMENDATION:** That the Planning Commission adopt the attached Draft Resolution approving Coastal Development Permit CDP15-0005 and Site Development Permit SDP15-0015.

**APPLICANT:** Brandon Architects (Tyler Wilson)

**PROPERTY OWNER:** Mike Murray

**REQUEST:** Approval of Coastal and Site Development Permits to allow the demolition of a single-family dwelling and the construction of a new, two-story, 3,623 square foot single-family dwelling and attached, 515 square foot garage, on land located in the City's Floodplain and Coastal Overlay Districts as well as the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 35415 Beach Road  
Assessor Parcel Number (APN) 691-152-06

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on July 15, 2015, published within a newspaper of general circulation on July 16, 2015, and posted on July 17, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ITEM #3**



**ENVIRONMENTAL:**

Pursuant to California Environmental Quality Act (CEQA) Guidelines, staff finds the project is Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that the project proposes the construction of one new single-family dwelling.

**ISSUES:**

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC), and Local Coastal Plan (LCP)
- Project compliance with City Floodplain Regulations
- Project compatibility with and enhancement of the site and surrounding neighborhood
- Project satisfaction of all required findings pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP) and Site Development Permit (SDP)

**BACKGROUND:** The subject property is an oceanfront lot comprising 4,513 square feet (.10 acres) located within the Capistrano Beach Community Association, an established and built-out subdivision of residential single-family and duplex structures. The subject lot is relatively small (approximately 35 feet in width by 132 feet in depth), minimally landscaped and presently developed with a two-story, single-family dwelling comprising 1,800 square feet that would be demolished under the proposed scope of work. Similar residential development is located to the southeast and northwest, railroad tracks and Pacific Coast Highway to the north and sandy beach and the Pacific Ocean to the south.

Adopted zoning for the property is Residential Beach Road 12 (RBR-12) and the lot is located both within the City's Floodplain and Coastal Overlay Districts (the latter also known as the California Coastal Zone) as well as the appeals jurisdiction of the California Coastal Commission. The "Floodplain Overlay" designation identifies the property as being subject to potential inundation by wave action and requires specific structure design and location requirements enumerated upon elsewhere in this report.

*Development Proximity to Pacific Coast Highway/Train Tracks and Potential Impacts from Ambient Noise*

The subject property is located adjacent to both train tracks and Pacific Coast Highway (PCH) - designated noise generators pursuant to the Noise Element of the City's adopted General Plan. Moreover, the subject property is zoned for and presently contains a single-family dwelling - a designated "noise sensitive receptor" per the same Element. The City's Community Noise Measurement Survey (1991) established



ambient or baseline noise levels in this and other parts of the community and utilized them to create projections for the area's community noise equivalent level (CNEL) - the average sound level (plus 5 - 10 decibels) in a given area during a 24 hour period. That survey identifies a PCH decibel rating of approximately 65 decibels (dB) within "Zone B" for single-family development and the receipt of a similar amount of sound for properties within close proximity.

That said, the Noise Element recognizes that conventional construction materials and techniques as contained within Chapter 12, Section 1207 of the California Building Code, will normally suffice in reducing interior noise for development within Zone B to acceptable levels (less than 45 decibels). Compliance with standards of the Building Code (via issuance of Building Permits) will ensure by the project's compliance with standards and that any excessive noise would be reduced to a level of less than significance.

**DISCUSSION:** The subject application proposes the demolition of all existing onsite development and the construction of a new single-family dwelling comprising 3,623 square feet and an attached, 515 square foot garage. The dwelling would contain four bedrooms in addition to accessory dining and media rooms. The structure's garage would provide compliant, covered parking for two vehicles. Additional, open-air parking for two vehicles (dedicated to the property by easement) exists on the landward side of Beach Road. Overall building height would be 28 feet as measured from a point (baseline) 18 inches above the designated "base flood elevation" (BFE) of 18.00 feet to the highest point on the structure's roof. The roof itself would contain a mixture of pitched and flat elements. The overall architectural style of the dwelling would be contemporary, with a façade comprised of smooth stucco, wood paneling and glass. New, six foot concrete masonry (CMU) property-line walls are proposed within both side-yards and would be surfaced with stucco and painted to match the new dwelling. Finally, a variety of CA native and drought tolerant plantings would cover approximately 19 percent of the area between the front property line and the "structure stringline" (oceanfront setback) - exceeding the minimum 10 percent minimum coverage required by the DPZC.

The lot's location fronting Beach Road further dictates that any new development be subject to the standards of Section 9.09.040 of the DPZC, identifying among other things, the seaward limit of development (structure and patio stringlines). The proposed single-family dwelling would be located roughly to the extent of the structure stringline established for its eastern and western property lines (112 and 113 feet ocean-ward of the front property-line respectively). A rear-yard deck is also proposed atop caissons with a surface elevation of 19.5 feet (18 inches above the established BFE).

#### Coastal Development Permit CDP15-0005

Pursuant to standards of the DPZC, proposed demolition of a single-family dwelling and/or construction of a new single-family dwelling shall require approval of a CDP. Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP,



requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform to Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available, which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Staff's recommended findings to approve the CDP request are enumerated in the attached draft resolution.

Section 9.69.070 of the DPZC further stipulates that findings be made to require or exempt a project from dedicating one of five types of coastal public access (lateral, bluff top, vertical, trail or recreational). As applied to the subject property, only a lateral access dedication would be applicable. However, pursuant to Section 9.27.030 et seq., the project qualifies for an exception from the requirement to dedicate, as public access to the coast exists in close proximity to the north at Capistrano Beach and to the south at Poche Beach. (Attachment 1 - Draft Planning Commission Resolution).



### Site Development Permit SDP15-0015

Pursuant to Section 9.31 of the DPZC, development proposed within the City's Floodplain Overlay District shall require approval of a SDP. Moreover, within so-called "coastal high hazard areas," a Base Flood Elevation (BFE) must be established via a wave run-up report and provide a minimum safe height to which most structures must be elevated above mean sea level (MSL). A study prepared by a California licensed civil engineer has been provided for the subject property and recommends a BFE of 18.00 feet NAVD88 (vertical datum measurement) for the site - an elevation corroborated by the City's engineering staff.

As aforementioned, both the main dwelling and seaward deck are designed atop caissons (concrete piles) with the lowest horizontal structural member (the dwelling's structure slab) elevated above the BFE so that habitable portions of the building will not absorb force or wave action during storm events. Positioning horizontal structural elements at this elevation further allows the sand below the structure to erode under wave action during storm surges, permitting ocean water to flow under the dwelling and subsequently recede back to the beach. Compliant with Floodplain Overlay standards, the garage of the dwelling is located below the BFE to facilitate access from adjacent Beach Road. To allow protection from potential wave forces, a channel system has been included and which would funnel water under the garage and up through a blowout grate to the street beyond and so protecting habitable portions of the structure elevated above (Detail "A," Sheet A-0 of project plan-set – Attachment 4).

Section 9.71.050 of the DPZC stipulates a minimum of four findings for approval of a SDP, requiring:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*
3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which are appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture.*

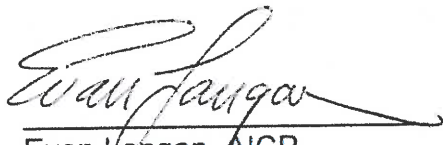
Staff's recommended findings to approve the SDP request are enumerated in the attached draft resolution.


**CORRESPONDENCE:** To date, no correspondence has been received concerning the subject project.

The Beach Road Community Association is established as a District and does not have a homeowners association.



**CONCLUSION:** Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance and Local Coastal Program. As the project complies with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP15-0005 and SDP15-0015 subject to findings and conditions of approval.

  
Evan Langan, AICP  
Associate Planner

  
Ursula Luna-Reynosa  
Director of Community Development

**ATTACHMENTS:**

Action Documents

1. Draft Planning Commission Resolution No. 15-07-27-xx

Supporting Documents

2. Vicinity Map
3. Site Photographs
4. Project Plans



**RESOLUTION NO. 15-07-27-xx**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT CDP15-0005 AND SITE DEVELOPMENT PERMIT SDP15-0015 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING AND ATTACHED GARAGE, ON LAND LOCATED WITHIN THE RESIDENTIAL BEACH ROAD 12 (RBR-12) ZONING DISTRICT AS WELL AS THE FLOODPLAIN AND COASTAL OVERLAY DISTRICTS AT 35415 BEACH ROAD**

**Project Applicant:** Brandon Architects (Tyler Wilson)  
**Property Owner:** Mike Murray

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for Coastal and Site Development Permits to allow demolition of an existing single-family dwelling and the construction of a new single-family dwelling at 35415 Beach Road (Assessor Parcel Number [APN] 691-152-06); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 27<sup>th</sup> day of July, 2015, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP15-0005 and Site Development Permit SDP15-0015.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP15-0005 and SDP15-0015 subject to conditions:



Findings:

Coastal Development Permit (CDP15-0005)

*Demolition of a single-family dwelling, construction of a new single-family dwelling*

1. That the proposed project is *in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096)* in that the proposal will comply with the Dana Point General Plan Land Use Element's Residential 3.5 - 7 DU/AC Land Use Designation and; will be consistent with (Land Use) Policy 1.19, requiring assurance that public safety is provided for in all new seaward construction within the Capistrano Bay District private community and; that the project has been found consistent with all standards of development in the Dana Point Zoning Code, which acts as the Local Coastal Program (LCP) for the site.
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) **in that while the subject property is located between the first public roadway and the sea, implementation of the subject project would not alter the intensity of surrounding uses, block or impede public access to Public Trust Lands, and so is in conformance with the public access requirements of Chapter Three of the California Coastal Act.**
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) **in that the project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 (a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines in that the application proposes the construction of one, new single-family dwelling.**
4. That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources **in that the subject property lies adjacent to the Pacific Ocean, a noted sensitive habitat area, park and recreation area. However, the subject scope-of-work proposes development permitted by the Dana Point Zoning Code and Local Coastal Program, has been reviewed and found by City staff to**



conform to all development standards therein (including structure setbacks from property-lines as well as specific foundation design intended to minimize to the greatest extent feasible, potentially adverse impacts to shoreline processes) and so no such buffer areas from adjacent ESHA are required.

5. That the proposed development will minimize alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the proposed dwelling and related site improvements are or would be elevated atop a caisson foundation to a base flood elevation (BFE) not less than 18 feet (NAVD88 datum) as recommended by a California licensed engineer pursuant to Wave Analysis documentation dated March 20, 2015 (on file with the city).** The elevation of both foundation and structure negates the need for revetments, seawalls and/or general landform alteration via site grading, and serves to minimize risks from any potential geologic and/or erosional or flood forces.
6. That the proposed development will be visually compatible with the character of surrounding areas and, where feasible, will restore and enhance visual quality in visually degraded areas **in that the subject application proposes construction of a new single-family dwelling within an established community of identical uses.** The surrounding neighborhood is comprised of widely varying architectural styles, a design aesthetic the proposed dwelling will wholly complement. The proposed structure has been found to conform to all standards of development prescribed by its respective zoning district. This conforming addition to the project site constitutes fulfillment of General Plan Land Use and Zoning Code intent for the site, and accordingly enhancement of the property.
7. That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs **in that the subject project has been reviewed by Planning and Building/Safety Division staffs and the Public Works/Engineering Department and found to conform to all applicable standards of development.**



Lateral Access (Exception)

*That lateral public access across the subject property is not required*

1. That adequate access exists nearby in that **public access to Trust Lands (the beach and ocean) exist within close proximity to the north of the subject property at Capistrano Beach and to the south at Poche Beach.**

Site Development Permit (SDP15-0015)

*Development proposed in the Floodplain Overlay District*

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code **in that the subject project has been reviewed by City staff and found to conform to both the standards and intent of the Dana Point Zoning Code - specifically siting and design standards stipulated in Section 9.31 (Floodplain Overlay).**
2. That the site is suitable for the proposed development **in that the subject application proposes the construction of a new single-family dwelling on land zoned and subdivided for such a use, located within an established community of like uses.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines **in that the proposed scope-of-work does not conflict with any goal or policy; the proposed dwelling has been found to conform to the prescribed zoning envelope (including overall height, setbacks, etc.) for new structures in the Residential Beach Road 12 (RBR-12) Zoning District.**
4. That the site and structural design are appropriate for the site and function of the proposed use **in that the proposed dwelling would utilize materials, scale and site design that are compatible with its surrounding neighborhood and will be constructed in compliance with the requirements of the Floodplain Overlay District which, among other things, requires that the proposed dwelling be constructed atop caissons founded into the earth and elevated to a height recommended by a qualified engineer that would protect habitable portions of the dwelling from potential inundation by waves.**



Conditions:

**A. General:**

1. Approval of this application permits the demolition of an existing single-family dwelling and the construction of a new single-family dwelling with attached, two-vehicle garage at 35415 Beach Road. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.



The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its offers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
7. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
8. Fire sprinklers shall be required for this project and be illustrated in submitted structural or other plans as required by the Building Official and/or the CA Building Code.
9. All improvements authorized under this approval shall comply with 2013 CA Code of Regulations, Parts 1 - 12 and any local amendments thereto as well as with 2013 T-24 Energy Conservation Regulations.
10. All onsite utilities shall be undergrounded.
11. The foundation system shall provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise.
12. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
13. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.



14. The owner shall execute and record a deed restriction to include the following restrictions which cannot be removed or changed without prior City amendment to this Coastal Development Permit. The deed restriction shall be recorded, free of prior liens to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney and Community Development Department.
  - a. *The property owner(s) agrees on behalf of themselves and all other successors and assigns, that no shoreline protective device which would substantially alter natural land form along bluffs and cliffs, cause beach erosion or adversely impact the local shoreline sand supply shall ever be constructed to protect the development approved pursuant to the permits issued hereunder including, but not limited to, the dwelling, foundation, decks and any other future improvements in the event the development is threatened with damage or destruction from waves, erosion, storm conditions or other oceanographic hazards in the future.*
  - b. *The property owner(s) shall be responsible for the removal of any and all pre-existing ocean protective devices directly fronting the subject property at the time they are determined to no longer be required to protect surrounding properties. The property owner shall assume all costs and responsibilities associated with the removal.*
  - c. *The property owner(s) agrees, on behalf of themselves and all other successors and assigns, that the landowner shall remove the development authorized by this permit, including the dwelling, foundation and decks, in any situation where a government agency with appropriate jurisdiction determines that the structures approved by this permit have been damaged to the point where future occupancy can no longer be permitted and repair cannot be accomplished without contributing significantly to erosion, geologic instability or having a significant adverse impact on local shoreline sand supply.*
  - d. *The property owner(s) understands that the project site is subject to coastal wave action and that the owner(s) assumes the liability from these hazards.*
  - e. *The property owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such (coastal wave action) hazards.*
  - f. *The property owner(s) assume all liability for damages incurred as a result of any required off-site grading.*



**B. Prior to Issuance of a Grading Permit:**

15. The applicant shall submit a Grading Plan to the Public Works/Engineering Department for review and approval. The grading Plan shall comply with City standards and further include all documents as required by current City Public Works Department plan check policies, the City of Dana Point Municipal Code and Grading Manual as well as the City's Municipal Separate Storm Sewer Systems (MS4s) Permit.
16. The applicant shall submit a geotechnical report in compliance with all City of Dana Point standards.
17. The applicant shall submit a drainage plan in accordance with all City of Dana Point standards for review and approval. The drainage plan shall be reviewed on a time and materials basis. All grading and drainage shall be in compliance with City of Dana Point Standards. All drainage shall be directed to Beach Road in accordance with City of Dana Point Codes and Requirements.

**C. Prior to Building Plan Check Submittal and/or prior to issuance of a Building Permit or, prior to release on certain related inspections, the applicant shall meet the following conditions:**

18. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
19. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (along with the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.



20. The applicant shall submit a final Landscape and Irrigation Plan for review and approval by both the Public Works/Engineering Department and the Planning Division. The plan shall include all proposed and existing plant materials (location, type, size, and quantity), an irrigation plan (if irrigation is proposed), site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with applicable provisions of the Zoning Code, the preliminary plans approved by the Planning Commission and further, recognize the principles of drought tolerant landscaping. Any trees and shrubs proposed within the rear yard beyond the structural string-line shall be a maximum of 42-inches in height.
21. The applicant shall illustrate and identify by description and instrument number the location of all existing easements on the site, grading, and landscaping plans. Any proposed construction within an easement shall be reviewed and approved by said easement holder to the satisfaction of the Public Works and Community Development Departments.
22. Building plan-check submittal shall include four sets of the following construction documents:
  - *Building (structural) plans*
  - *Structural calculations*
  - *Energy calculations*
  - *Soils/geology report*
  - *Drainage plan*
23. All documents prepared by a professional shall be both wet-stamped and signed.
24. The project Coastal Engineer's recommendations, contained in coastal engineering reports and addendums submitted to the City shall be incorporated into and referenced on submitted project plans. The Project Coastal Engineer shall review, sign, and wet-stamp the final building plans and, provide a completed Floodplain Certification form to the City.
25. Review and approval of the subject project by the Orange County Fire Authority (OCFA) is required. The applicant shall submit three separate sets of building plans directly to the OCFA, and subsequently submit to the evidence to the Building/Safety Division of that review and approval.
26. The applicant shall submit payment for all supplemental fees, including school, park, water, sewer and other impact-related fees.



27. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP15-0005 and SDP15-0015. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval. Certification shall verify that the location of the structure is in compliance with the structure and patio string-lines as indicated on the approved plans and the elevation of the grade beams are in compliance with the requirements of the approved Coastal Hazard & Wave Run-Up report dated March 20, 2015.

**D. Prior to Issuance of a Certificate of Occupancy**

28. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP15-0005 and SDP15-0015. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.
29. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
30. A written approval by the Geotechnical and Civil Engineers of Record shall be provided, approving all grading, drainage and new walls as having been constructed in conformance with approved grading and other construction plans.
31. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. A Federal Emergency Management Agency (FEMA) Elevation Certificate shall be filed for development in the floodplain. The Elevation Certificate shall be prepared in accordance with all City of Dana Point requirements and all applicable FEMA guidelines.
33. The applicant shall contact the Project Planner for a final inspection of the project and property prior to contacting the Building/Safety Division and Public Works/Engineering Department for a final inspection and project sign-off. All landscaping within the front-yard of the subject property shall be installed (per plan) prior to final inspection by the Planning Division.



PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 27<sup>th</sup> day of July, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

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April O'Connor, Chairperson  
Planning Commission

ATTEST:

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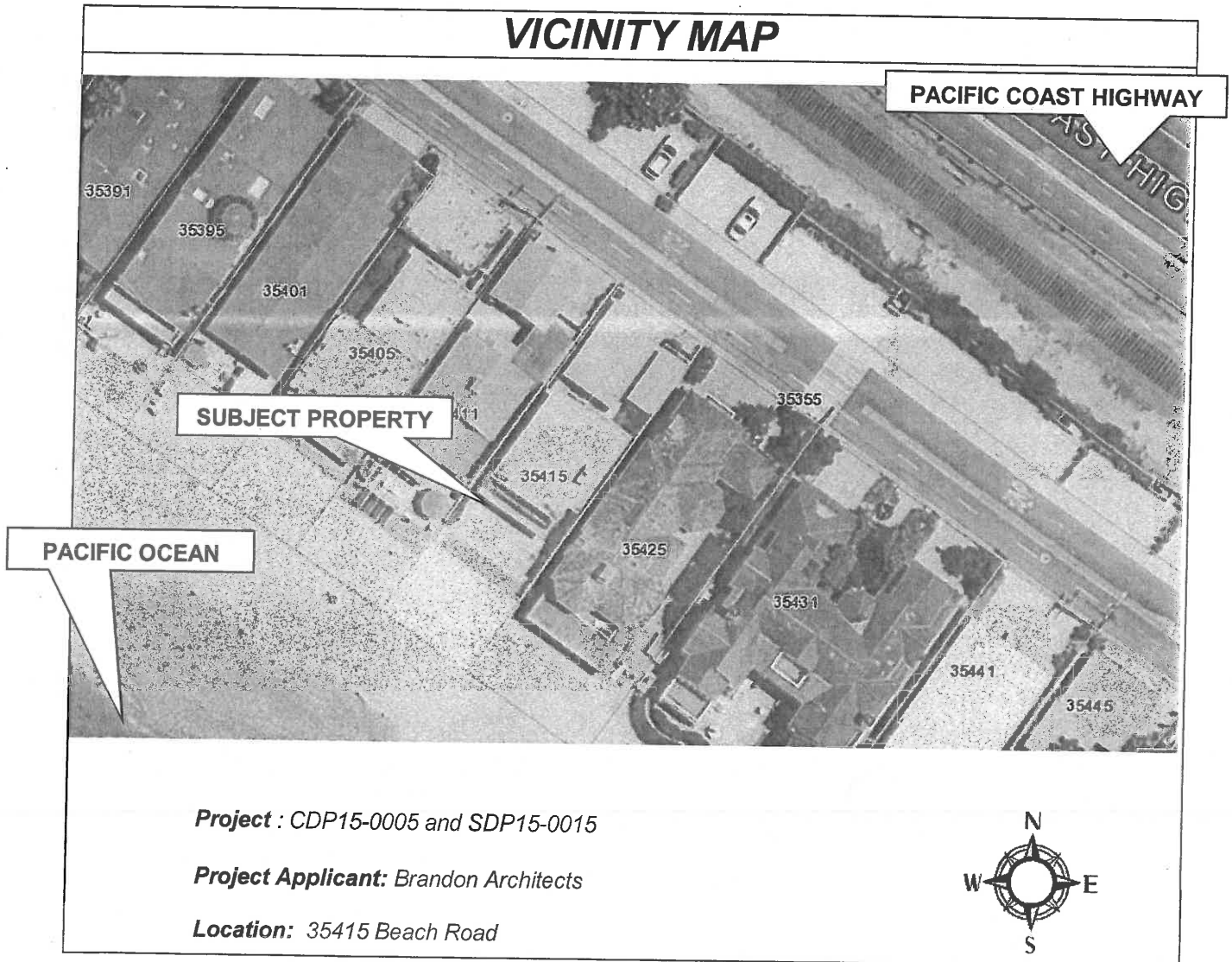
Ursula Luna-Reynosa, Director  
Community Development Department





City of Dana Point  
**CDP15-0005 and SDP15-0015**  
Evan Langan, AICP, Associate Planner  
Community Development Department  
33282 Golden Lantern  
Dana Point, CA 92629-1805

## VICINITY MAP





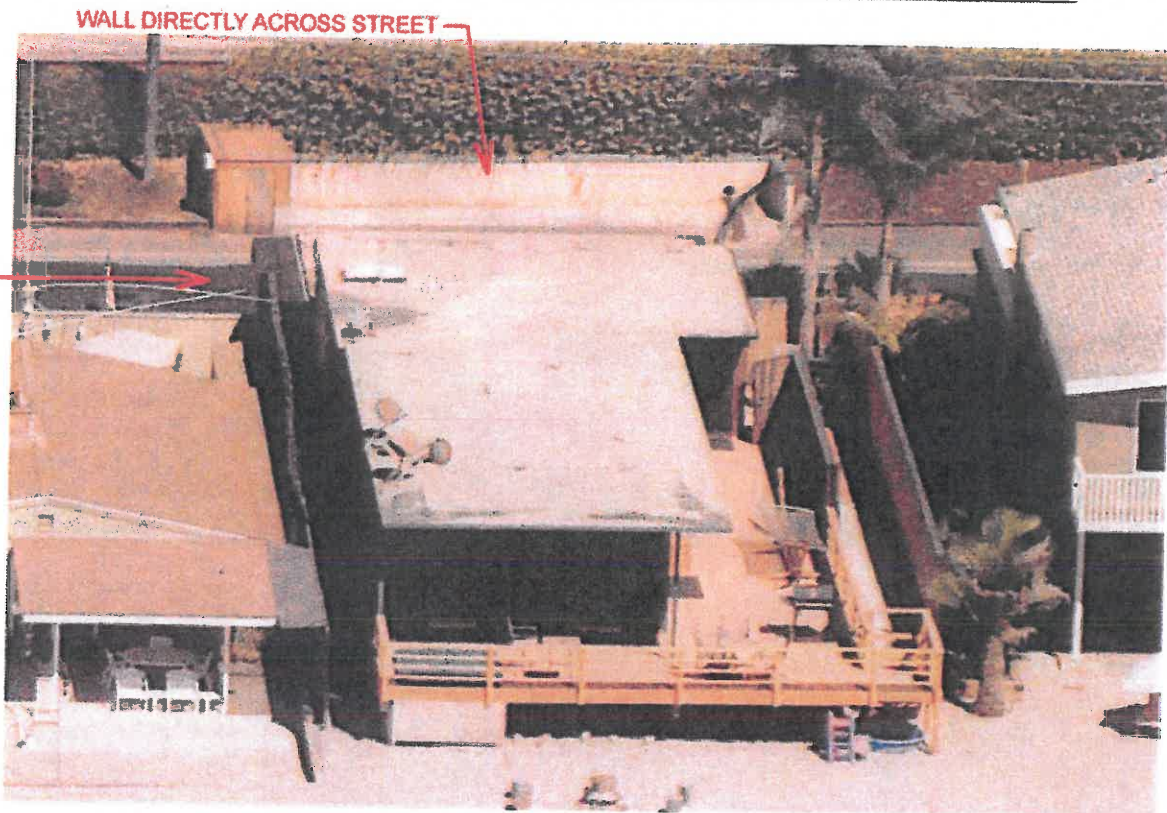


RECEIVED

OCT 27 2014

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT

FRONT ELEVATION



VIEW OF WALL DIRECTLY ACROSS BEACH ROAD

## PHOTOGRAPHIC LOG OF EXISTING CONDITIONS

### Amaradio Residence

35577 Beach Road, Capistrano Beach, CA 92624

October 23, 2014

Keisker &  
Wiggle  
Architects INC.  
949/388-1250

page 1 of 4

Supporting Document #3





FRONT ELEVATION - 35575 BEACH ROAD



FRONT ELEVATION - 35581 BEACH ROAD

## PHOTOGRAPHIC LOG OF EXISTING CONDITIONS

### **Amaradio Residence**

35577 Beach Road, Capistrano Beach, CA 92624

October 23, 2014

**Keisker &  
Wiggle  
Architects**  
949/388-1250

page 2 of 4





REAR ELEVATION

**PHOTOGRAPHIC LOG OF EXISTING CONDITIONS**

**Amaradio Residence**

35577 Beach Road, Capistrano Beach, CA 92624

October 23, 2014

**Keisker &  
Wiggle  
Architects<sup>LLC</sup>**  
949/388-1250  
page 3 of 4





SIDE ELEVATIONS - 35575 (L) & 35577 (R)



SIDE ELEVATIONS - 35581 (L) & 35577 (R)

## PHOTOGRAPHIC LOG OF EXISTING CONDITIONS

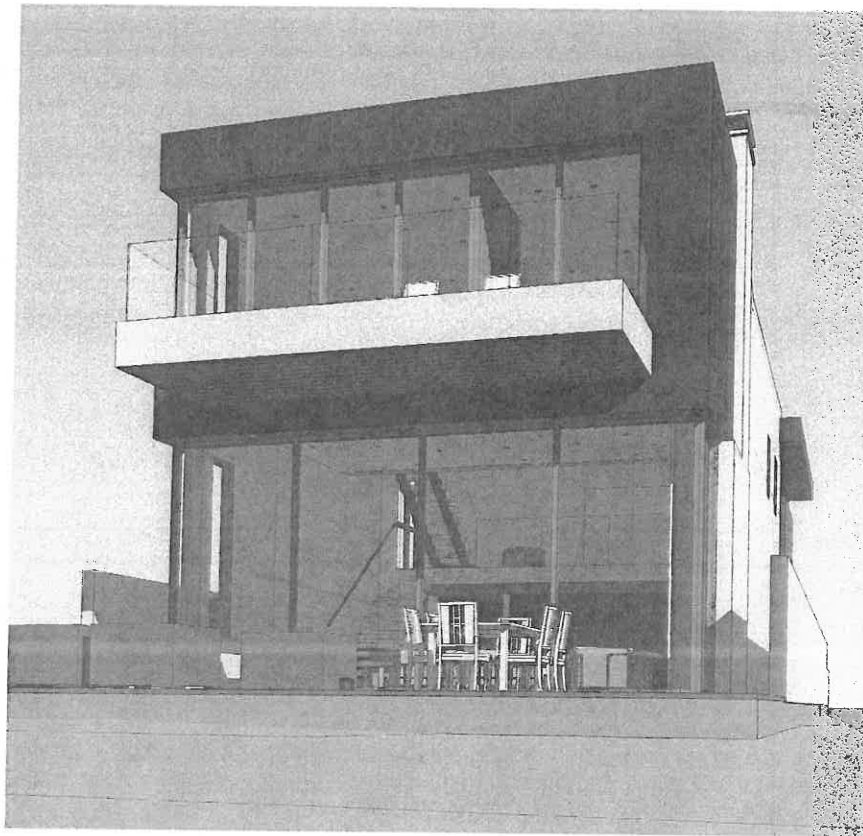
### **Amaradio Residence**

35577 Beach Road, Capistrano Beach, CA 92624

October 23, 2014

Keisker &  
Wiggle  
Architects<sup>LLC</sup>  
949/388-1250  
page 4 of 4





35415 BEACH ROAD, DANA POINT CA. 92624

SHEET #	DRAWING TITLE
T-1	TITLE SHEET
T-1.1	GENERAL ARCHITECTURAL NOTES
A-0	ARCHITECTURAL SITE PLAN
L-1	LANDSCAPE PLAN
G-2	PRELIMINARY GRADING PLAN
A-1	3-DIMENSIONAL VIEWS
A-2	FIRST & SECOND LEVEL FLOOR PLAN
A-3	ROOF PLAN & DETAILS
A-4	FRONT & LEFT ELEVATIONS & MATERIAL SCHEDULE
A-5	REAR & RIGHT ELEVATIONS
A-6	BUILDING SECTIONS
S-1.1	CAISSON PLAN
S-1.2	FOUNDATION PLAN
TOPO	TOPOGRAPHIC MAP

PROJECT NAME  
BEACH ROAD RESIDENCE

STATUS  
FIRST CHECK



BRANDON ARCHITECTS, INC.

BRANDON ARCHITECTS, INC.  
smart design — better living

3001 Red Hill Ave. Bldg. 1 Sm. 102  
Costa Mesa, CA 92626  
P. 714.754.4000 F. 714.754.4004  
[www.BrandonArchitects.com](http://www.BrandonArchitects.com)

V1 CAPITAL LLC,  
3001 RED HILL AVE BLDG. 1  
STE 102 COSTA MESA CA  
92626 P: 888.557.2872

**BEACH ROAD RESIDENCE**  
35415 BEACH ROAD DANA POINT CA 92624

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

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REVISION	DATE
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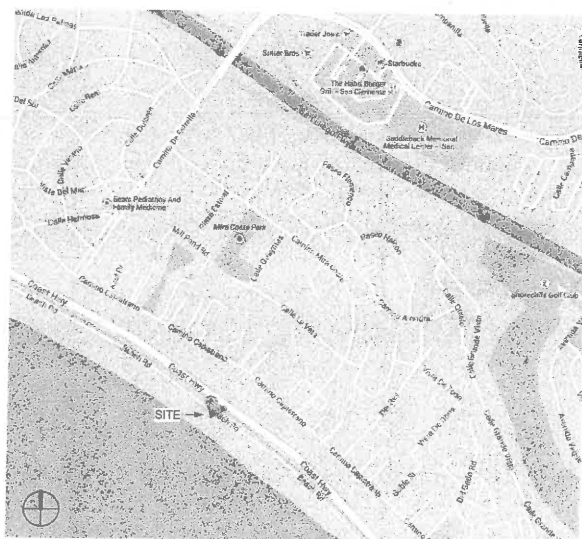
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RECEIVED  
JUL 20 2015  
CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT



THE SUBJECT PROPERTY IS LOCATED IN DANA POINT, CA ON BEACH ROAD SOUTH OF PACIFIC COAST HIGHWAY. THE LOT IS APPROXIMATELY 35' WIDE BY 131' DEEP. IT IS ZONED RNR-12 AND IS APPRX. 4.65 S.F. THERE IS AN EXISTING SINGLE FAMILY RESIDENCE TO BE DEMOLISHED. CLIENT PROPOSES TO CONSTRUCT A NEW 4 BEDROOM HOME WITH 2 BATHS, 1 CAR GARAGE, 2 CARPORTS, 100 SQ. FT. OF LIVING TO BE WOOD FRAMED WITH A CONCRETE CAISSON FOUNDATION. THE PROJECT WILL BE COMPLETED WITHIN 9 MONTHS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: AMPLIFIED INDOOR/OUTDOOR LIVING SPACES WITH EQUILIBRIUM FLOOR PLAN; MULTILEVEL TERRACE LEVELS WITH STAIRS; MAXIMIZED VIEWS FROM LIVING SPACES AS WELL AS OUTDOOR PATIO; FULLY FINISHED KITCHEN WITH STONE TOPPING ISLAND; THE FORM OF A 2-CAR GARAGE. THE EXTERIOR WILL BE PRIMARILY STUCCO SIDING WITH SOME USE OF BRASS AND METAL. THE HOME WILL HAVE APPROXIMATELY 4 BEDROOMS, 5 BATHS, A SMALL LOFT AND A MEDIA ROOM.

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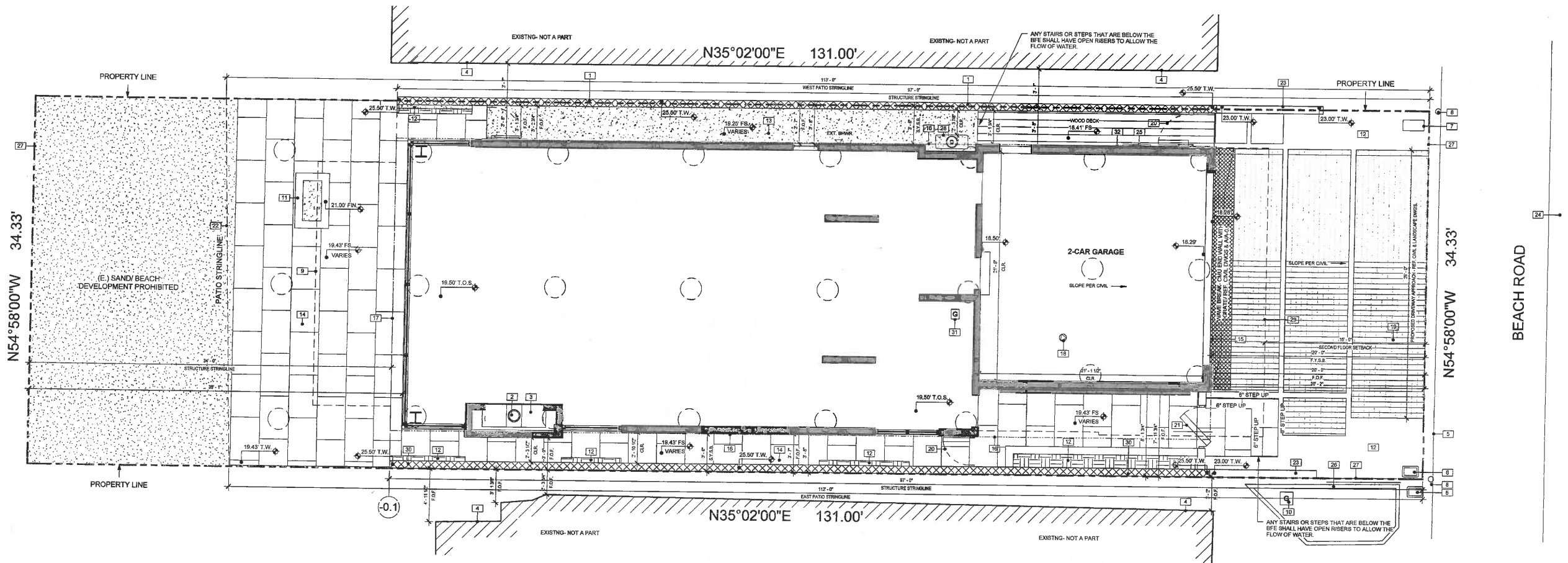
**Supporting Document #4**  
PC Meeting 7-27-2015 – Item #3

T-1









TRUE NORTH PROJECT NORTH  
1 ARCHITECTURAL SITE PLAN  
1/4" = 1'-0"

NOTE:  
TRASH TO BE LOCATED AND SCREENED IN THE DEDICATED PARKING SPOTS OF THE PROPERTY AT  
OPPOSITE SIDE OF THE BEACH ROAD.

SURVEY BASE ELEVATION:  
ELEVATIONS ARE TAKEN FROM SEA LEVEL 0'-0"

B.F.E HEIGHT REQUIREMENTS:  
THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST  
FLOOR EXCLUDING THE PILERS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE  
BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.000(1)

NOTES NOTE:  
"THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO  
SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE  
MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY  
CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE  
STREET, GUTTER OR STORM DRAIN SYSTEM."

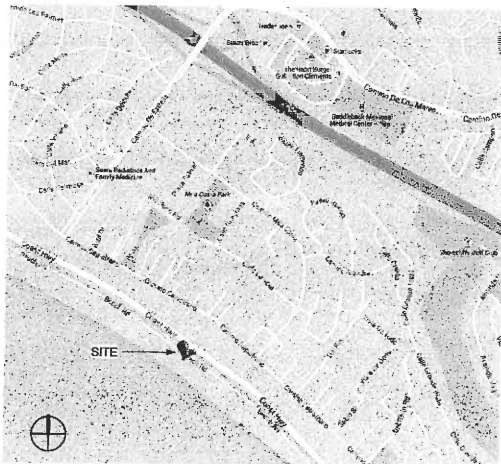
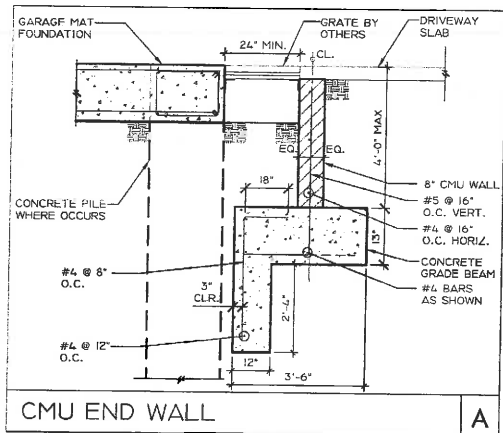
DIMENSION NOTE:  
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.)  
TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY  
CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

#### KEYNOTE LEGEND

1	(N) SHOWN PROPERTY LINE WALL UNDER CONSTRUCTION BUILT BY NEIGHBOR, COMMON WALL AGREEMENT SIGNED.
2	FIREPLACE - PRE-FABRICATED GAS ONLY, "SCREENED" COFFERED (SEE DET. 2245-1) FACTORY BUILT FIREPLACES, C-MINNERS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND APPROVED INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY WITH THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
3	EXPRESSED SLAB ON FIREPLACE - COOK WITH GENERAL CONTRACTOR, REF. STRUCT. DWGS.
4	EXISTING STRUCTURE - NOT A PART
5	CURB
6	(E) WATER METER LOCATION TO BE REMOVED (REF. SURVEY & CIVIL DWGS.)
7	(E) MAIL BOX
8	(E) FRENCH DRAIN
9	OUTLINE OF OVERHANGS, DECKS OR EAVES ABV
10	(E) GAS METER LOCATION (REF. SURVEY & CIVIL DWGS.)
11	PROVIDE GAS SHUT-OFF FOR EXTERIOR USE PART PER OWNER
12	PLANTED AREA - COORDINATE WITH LANDSCAPE DESIGNER
13	HARDSCAPE - COLORADO BLOCK CONCRETE (AS SELECTED PER LAND. DESIGNER)
14	HARDSCAPE - STONE/PAVING PAVING OVER CONCRETE SLAB (AS SELECTED PER LAND. DESIGNER)
15	FRONT YARD SETBACK
16	GRASS YARD SETBACK
17	STRUCTURE STRINGLINE SETBACK
18	(E) SEWER C.O. LOCATION TO BE REMOVED/RELOCATED (REF. SURVEY & CIVIL DWGS.)
19	(E) DRIVEWAY AND CURB CUT TO BE REPAIRED/RELOCATED - REF. CIVIL & LANDSCAPE DWGS.
20	(N) GATE - PER LANDSCAPE DESIGNER (MAX. 6' HT. ABOVE NATURAL GRADE)
21	CUSTOM ENTRY GATE - SEE W. WALLS, C.O. TO PROVIDE SHOP DWGS. FOR ARCH. APPROVAL
22	PATIO STRINGLINE
23	LANDSCAPE BLOCK WALL, 4" MAX ABV. WS. - REF. LD. DWGS.
24	GUTTER
25	(N) ELECTRICAL SERVICE AND MAIN SERVICE PANEL, 400 AMP MAX, MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION
26	(E) BRICK PLANTER WALL - NOT A PART
27	PROPERTY LINE
28	A/C CONDENSER UNIT - SIZE YTD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D (SOUND ATT. REQ'D. BY C.A.B.)
29	LINE OF SECOND FLOOR ABOVE
30	(N) PROPERTY LINE WALL - CMU WITH STUCCO FINISH - 8" MAX ABV. WS.
31	(E) GAS METER LOCATION TO BE REMOVED (REF. SURVEY & CIVIL DWGS.)
32	(N) GAS METER LOCATION (REF. CIVIL DWGS.)

#### BUILDING AREA SCHEDULE

NAME	AREA	COMMENTS
FIRST FLOOR	1438 SF	
LOFT	59 SF	
MASTER SUITE	822 SF	
SECOND FLOOR	1245 SF	
	3600 SF	
2-CAR GARAGE	512 SF	
Grand total	4072 SF	



METAL GRATE- DTL. A/A-0
CONCRETE
PLANTER
STONE TILE
MASONRY - CONCRETE BLOCK
SAND
WOOD DECK
GRANITE COBBLESTONE

PROJECT NAME  
BEACH ROAD RESIDENCE

STATUS  
FIRST CHECK

BRANDON ARCHITECTS, INC.

OWNER INFORMATION:  
V1 CAPITAL LLC  
3001 RED HILL AVE BLDG. 1  
STE 102 COSTA MESA, CA 92626  
P: 714.754.4004 F: 714.754.4004  
www.BrandonArchitects.com

35415 BEACH ROAD DANA POINT CA 92624

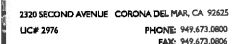
ARCHITECTURAL SITE PLAN

ORIGINAL SIGNATURE

REVISIONS  
NO. REVISION DATE

JOB NO. 35415-01  
DATE 07/17/15  
SHEET NO. A-0





## Summary



SCALE:  $1/8" = 1'-0"$



L-1

BEACH ROAD RESIDENCE - DANA POINT - LANDSCAPE ARCHITECTURE



SYMBOL	NAME	SIZE	COMMENTS
PALMS:			
HOW FOR	HOWEA FORSTERIANA KENTIA PALM	PER PLAN	-
VINES:			
(T)	TRACHELOSERPUM JASMINIODES STAR JASMINE	5 GAL.	STAKED
HEDGES:			
(FN-G)	FICUS MICROCARPA NITIDA 'GREEN GEM' FICUS 'GREEN GEM'	15 GAL.	TO BE MAINTAINED A 6' HIGH MAX. ABOVE GRADE
(SF)	SEMIARUNDINARIA FASTUOSA VIRIDIS GREEN TEMPLE BAMBOO	15 GAL.	AVAIL. THRU: INSTANT JUNGLE INT. (714) 850-9227
SHRUBS:			
(E)	AEONIUM ARBOREUM 'ZWARTKOP' AEONIUM	1 GAL.	-
(O)	AEONIUM URIBICUM SALAD BOWL	1 GAL.	-
(AA-N)	AGAVE ATTENUATA 'NOVA' BLUE FOX TAIL AGAVE	15 GAL.	-
(AAN)	AGAVE ATTENUATA 'NOVA' BLUE FOX TAIL AGAVE	5 GAL.	-
(PBA)	PHORMIUM 'BLACK ADDER' BLACK NEW ZEALAND FLAX	5 GAL.	-
	SENECIO MANDRALISCAE SENECIO	1 GAL.	@ 8" O.C.
GROUNDCOVERS:			
	SYNTHETIC TURF ON PUTTING GREEN AVAILABLE THRU: BOONE ACTION TURF 1700 N. MAIN ST. ORANGE, CA 92665		TO BE INSTALLED BY: BOONE ACTION TURF 1-888-528-8873
ALL SHRUB AREAS	2" THICK WALK-ON BARK MULCH SUBMIT SAMPLE FOR APPROVAL		

## ZONING INFORMATION

LOT TOTAL BUILDING AREA = 4,072 S.F.

FRONT SETBACK: 20'-0"  
REAR SETBACK: STRINGLINE = 97' FROM ROADSIDE PROPERTY LINE  
LEFT SETBACK: 3'-6"  
RIGHT SETBACK: 3'-6"

PERMEABLE SURFACE: 386 MIN. REQ. (10%) **688 S.F. PROPOSED (17.8%)**  
BUILDING & HARDSCAPE: 3,174 S.F. (82.2%)

REFERENCE COASTAL DEVELOPMENT PERMIT CDP15-0005

**GENERAL PLANTING NOTES:**

- |   |   |   |   |
|---|---|---|---|
| 1 | PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN AN AGRONOMIC SOIL REPORT AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.         | 9 | LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION. THE FOLLOWING MINIMUM CRITERIA SHALL BE OBSERVED BY THE LANDSCAPE CONTRACTOR:   |
| 2 | LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ALL PLANTER FILL NECESSARY TO BRING SOIL LEVEL TO 2" BELOW TOP OF PLANTER WALLS.  |   | NO TREES SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS.   |
| 3 | LANDSCAPE CONTRACTOR SHALL PURCHASE AND PROVIDE ENOUGH WALK-ON BARK MULCH TO PROVIDE A 2" COVERING OF ALL SHRUB PLANTING AREAS. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PURCHASING. |   | TREES OR PALMS SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.  |
| 4 | LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED PLANTING DATE.  |   | NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.   |
| 5 | CONTRACTOR TO COORDINATE APPROVALS. CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.  |   | TREES OR PALMS PLANTED IN LANDSCAPE AREAS OF LESS THAN 4' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.  |
| 6 | LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.  |   | ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL. |
| 7 | THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER "START OF MAINTENANCE" PERIOD.  |   |   |
| 8 | CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE/PALM MATERIAL FOR 12 MONTHS (1 YEAR).   |   |   |



-----	PROPOSED STORM DRAIN LINE	F.S. :	FINISHED GRADE
-----	PROPOSED PERFORATED FRENCH DRAIN	F.S. :	FINISHED SURFACE
■	PROPOSED SQUARE GRATE	T.F. :	TOP OF WOOD FENCE
○	PROPOSED PLANTER DRAIN	D.S. :	DOWNSPOUT
○	PROPOSED ROOF DOWN SPOUT	INV. :	INVERT ELEVATION
○	PROPOSED MAIN OUTLET CATCH BASIN	T.O.S. :	TOP OF SLAB
■		T.S. :	TOP OF GRATE (DRAIN INLET)
		F.L. :	FLOW LINE
		(E.L. :	EXISTING GRADE ELEVATIONS
		S&X% :	SURFACE FLOW SLOPE
=====	PROPOSED RETAINING WALL		
=====	PROPOSED SITE PLANTER WALL		
=====	PROPOSED SIDE PROPERTY WALL		

**SURVEY NOTES:**

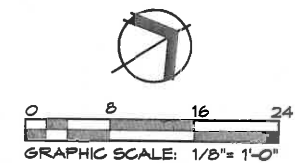
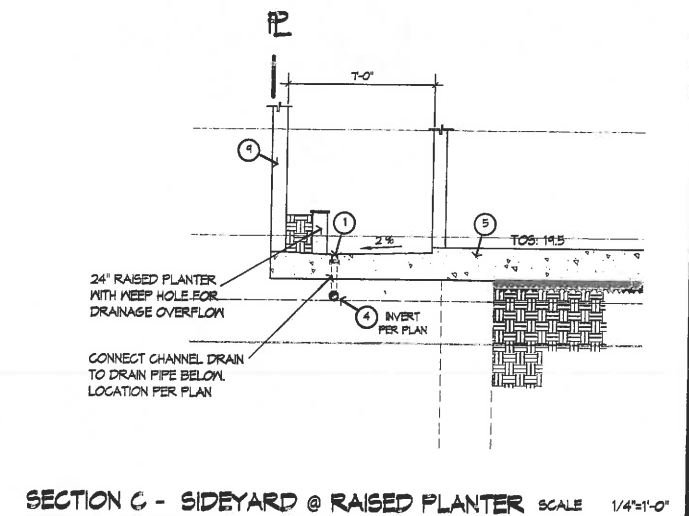
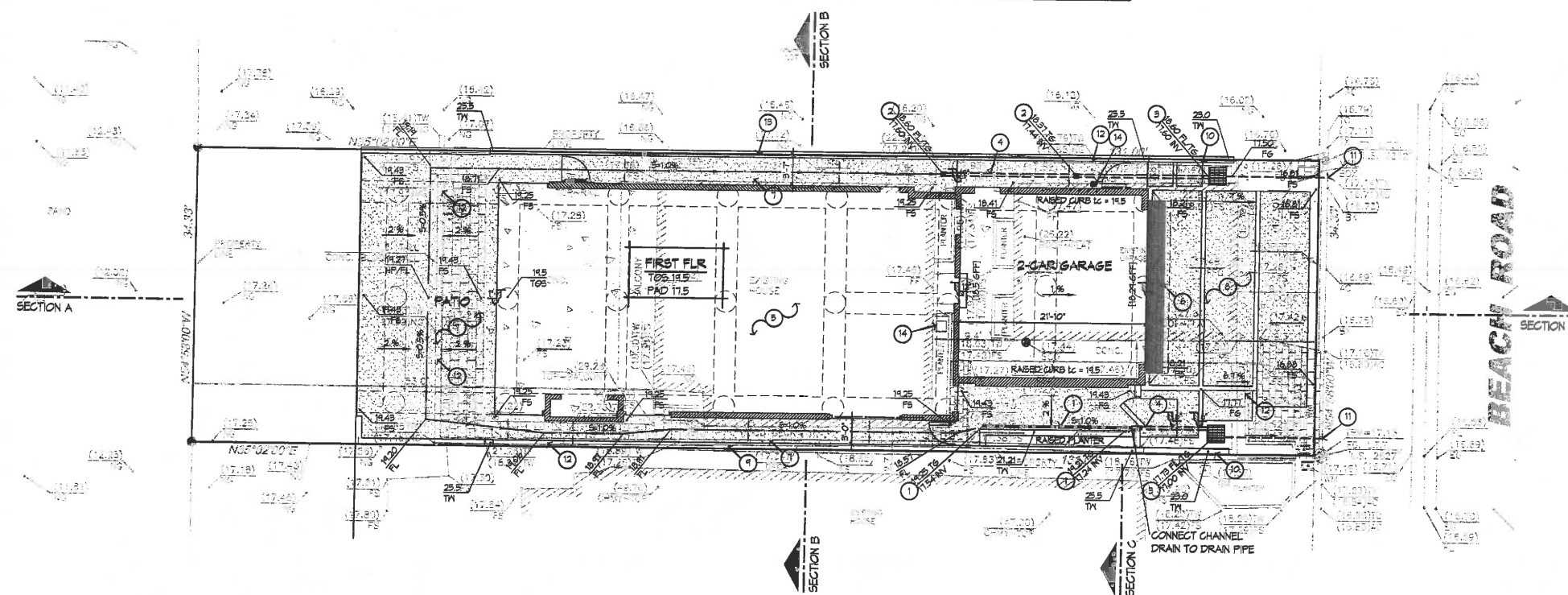
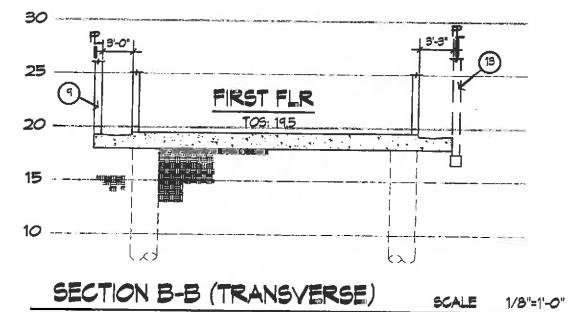
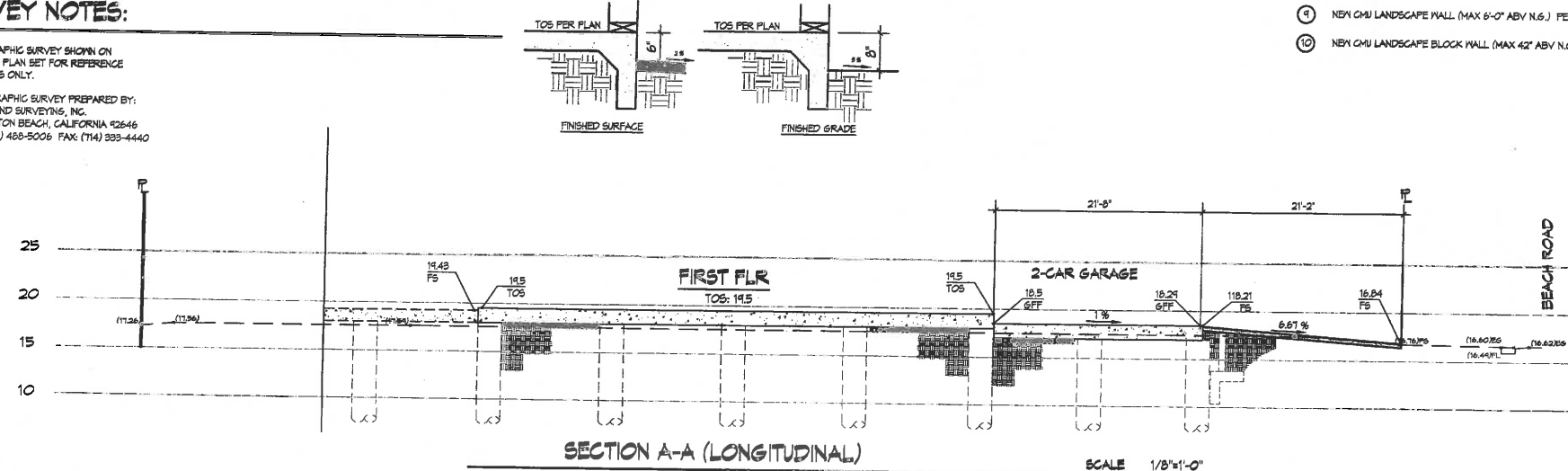
1. TOPOGRAPHIC SURVEY SHOWN ON GRADING PLAN SET FOR REFERENCE PURPOSES ONLY.
2. TOPOGRAPHIC SURVEY PREPARED BY:  
APEX LAND SURVEYING, INC.  
HUNTINGTON BEACH, CALIFORNIA 92646  
TEL: (714) 468-5006 FAX: (714) 333-4440


1. ALL EXISTING TOPOGRAPHY AND PROPOSED GRADES SHOULD BE FIELD VERIFIED.
2. NO UTILITY SEARCH WAS CONDUCTED. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT UTILITIES OR STRUCTURES FOUND ON THE SITE AND TO NOTIFY OWNER/ENGINEER IMMEDIATELY TO RESOLVE ANY CONFLICTS OR ISSUES WITH PROPOSED GRADING DESIGN.
3. GRADING AND/OR LANDSCAPE CONTRACTOR SHALL GRADE ALL AREAS TO POSITIVE DRAIN (2% MIN FOR HARDSCAPE AND 5% MIN FOR LANDSCAPE) AND SHALL EXERCISE CARE IN CONSTRUCTION OF MOUNDS AND SWALES SO FLOODING WILL NOT OCCUR.
4. UNLESS OTHERWISE NOTED, FINISHED FLOOR ELEVATION MUST BE ABOVE ADJACENT FINISHED GRADE OR SURFACE AS SHOWN BELOW.

5. PAD ELEVATION IS ASSUMED TO BE BASED ON ARCHITECTURAL FLOOR PLAN WITH AT LEAST 18" THICK CONCRETE MAT SLAB CONCRETE SLAB OVER 2" SAND OVER 15 MIL VAPOR BARRIER OVER 4" GRAVEL BASE PER SOILS REPORT AND STRUCTURAL FOUNDATION PLANS. CONTRACTOR TO VERIFY WITH LATEST APPROVED SOILS REPORT AND STRUCTURAL ENGINEER FOR EXACT SLAB RECOMMENDATIONS.

- ① INSTALL 3" CHANNEL DRAIN W/ GRATE, NDS TS 764 OR EQUAL
- ② INSTALL 6" SQUARE GRATE & ADAPTER, NDS 640 OR EQUAL
- ③ CONSTRUCT INFILTRATION PIT PER CITY OF DANA POINT STANDARD DRAWING S-14
- ④ INSTALL 4" DRAIN PIPE, SDR 35 PVC OR EQUAL
- ⑤ CONSTRUCT MAT SLAB FOUNDATION & GRADE BEAM/CASSONS PER STRUCTURAL PLANS
- ⑥ CONSTRUCT CONCRETE END WALL WITH 24" GRATE, TRAFFIC RATED FOR WAVE BREAKAWAY PANELS. SEE ARCHITECTURAL / STRUCTURAL PLANS FOR DETAILS
- ⑦ CONSTRUCT 5" CONC. FLATWORK ON GRADE PER SOILS REPORT RECOMMENDATIONS
- ⑧ CONSTRUCT 5" THICK DRIVEWAY PER SOILS REPORT RECOMMENDATIONS AND STRUCTURAL PLANS
- ⑨ NEW CMU LANDSCAPE WALL (MAX 6'-0" ABV N.G.) PER ARCHITECTURAL PLAN AND DETAILS.
- ⑩ NEW CMU LANDSCAPE BLOCK WALL (MAX 42" ABV N.G.) PER ARCHITECTURAL PLAN AND DETAILS.

- 11 OVERFLOW PIPE TO STREET VIA CURB GORE PER CITY STANDARD
- 12 REMOVE ALL EXISTING LANDSCAPE ELEMENTS (WALL, BRICK STEPS ETC.)
- 13 NEW SHARED PROPERTY LINE WALL UNDER CONSTRUCTION / BUILT BY NEIGHBOR. COMMON ALL AGREEMENT SIGNED
- 14 REMOVE EXISTING GAS METER AND INSTALL NEW GAS METER (FIELD LOCATE NEW LOCATION)



REVISION	DESCRIPTION	APPROVED	DATE	SCALE	DESIGNED: CC	DRAWN: MS	CHECKED: RD	PLANS PREPARED BY:   THE MATRICE CIRCLE ALSO YIELD ON THE TITLE, UNLESS NOTED
				ACAD FILE NO.	DATE 6/24/07 R.C.F.N.			
				PROJECT NO.	RONIE L. DOMALALA, P.E.			d'n engineering



## BENCHMARK

APPROVED BY THE CITY OF DANA POINT  
PLANNING DEPARTMENT  
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE  
REQUIREMENT OF THE DANA POINT MUNICIPAL CODE

CITY PLANNING DEPARTMENT

PLANS REVIEWED BY:  
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES  
30252 GOLDEN LANTERN  
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER  
RCE #39289 EXP. 06/30/15

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

# CITY OF DANA POINT

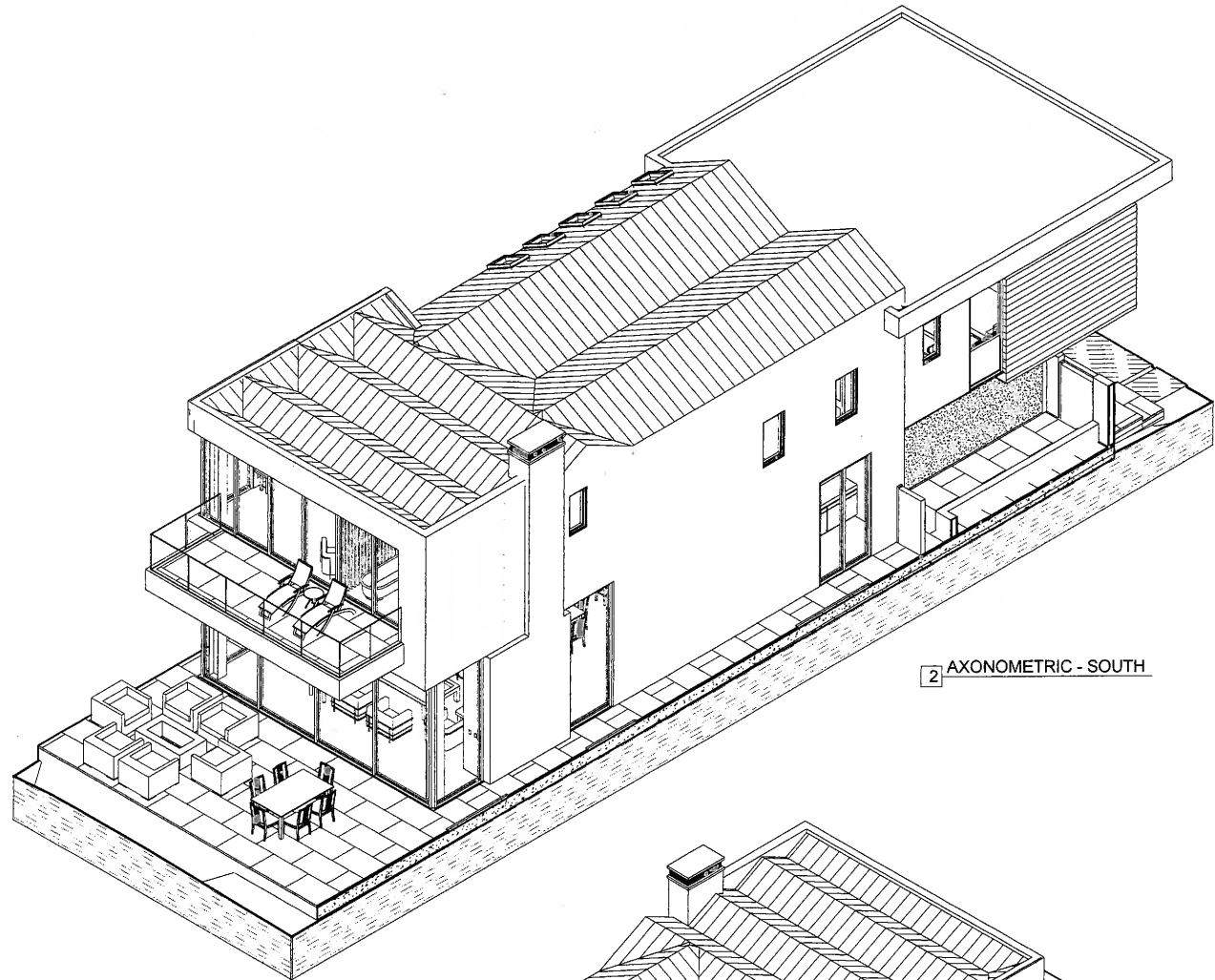
**PRELIMINARY GRADING PLAN FOR:**  
35415 BEACH ROAD  
**PRELIMINARY DRAINAGE PLAN**



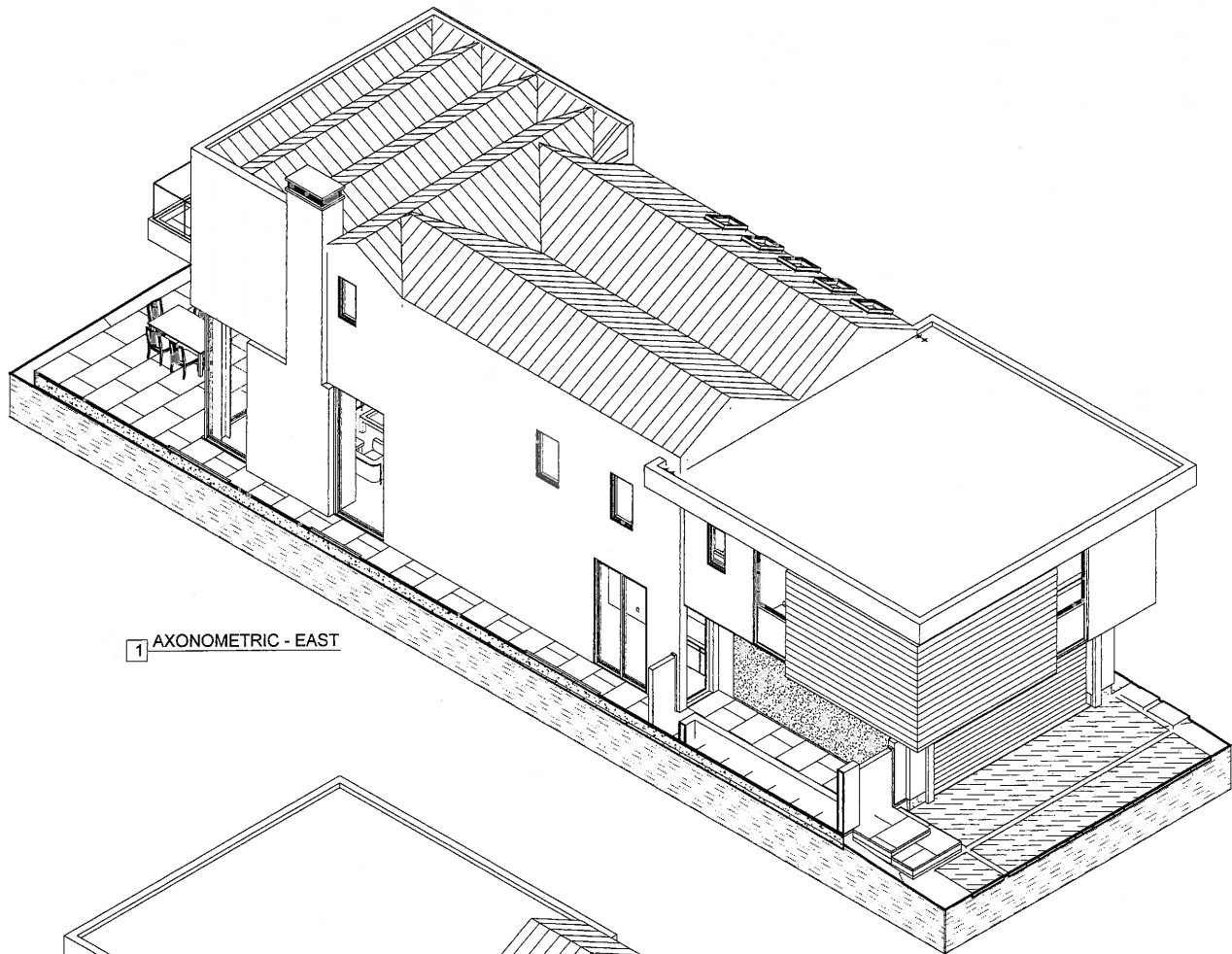
OF 1 SHEETS

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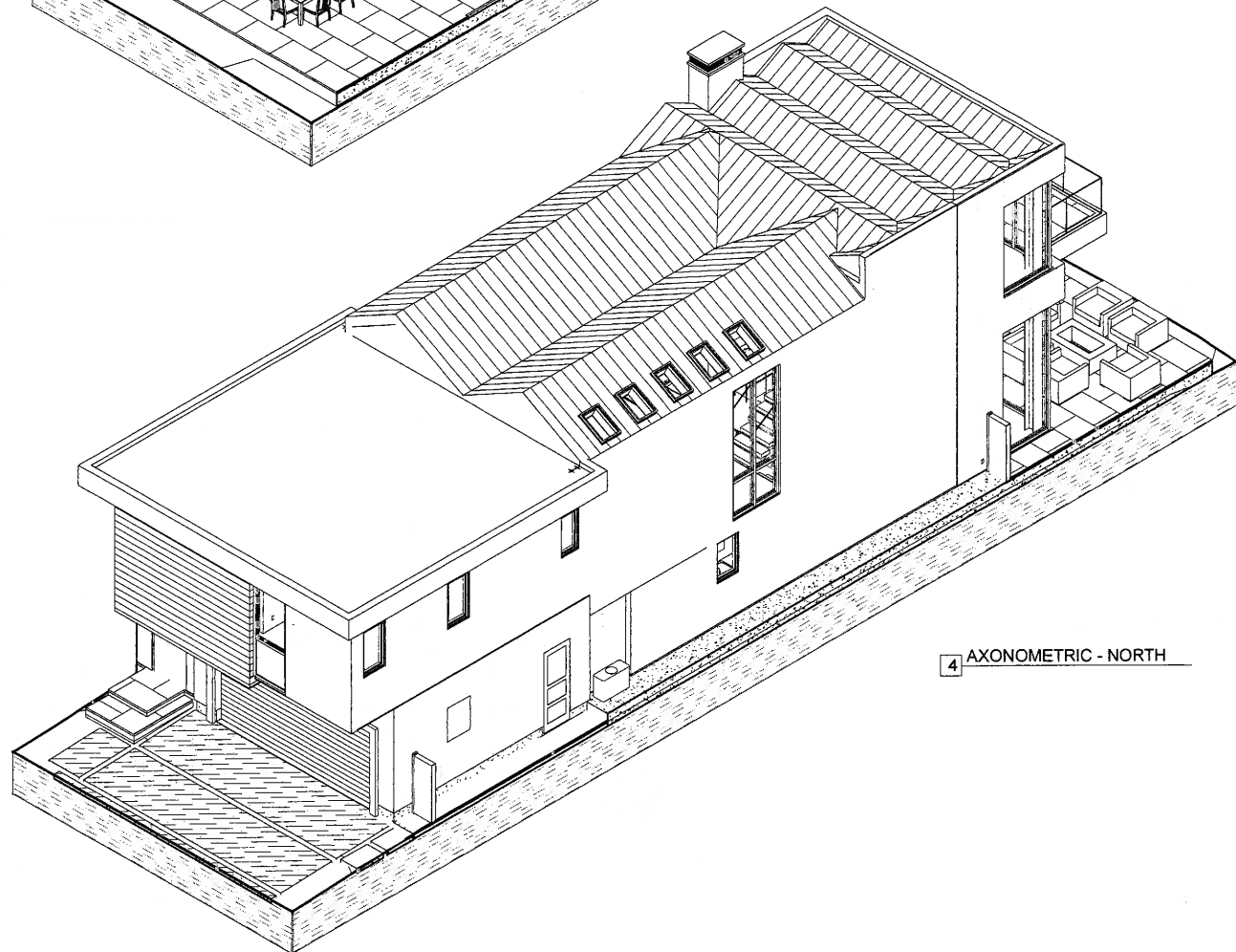




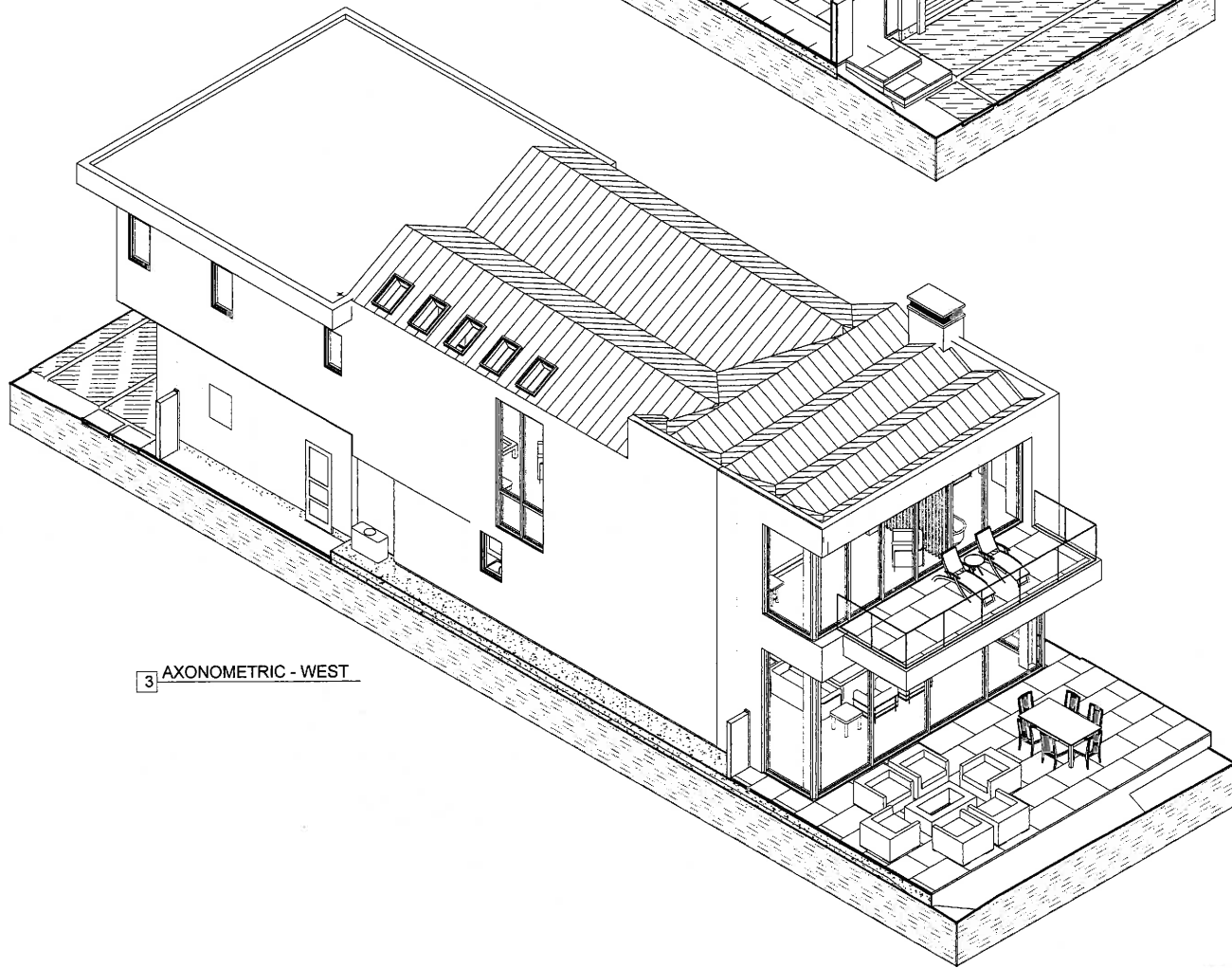
2 AXONOMETRIC - SOUTH



1 AXONOMETRIC - EAST



4 AXONOMETRIC - NORTH



3 AXONOMETRIC - WEST

PROJECT NAME  
BEACH ROAD RESIDENCE  
STATUS  
FIRST CHECK



BRANDON ARCHITECTS, INC.  
smart design - better living  
3001 Red Hill Ave. Bldg. 1 Ste. 102  
Costa Mesa, CA 92626  
P: 714.441.7544 F: 714.441.4004  
www.brandonarchitects.com

OWNER INFORMATION:  
V1 CAPITAL LLC  
3001 RED HILL AVE BLDG. 1  
STE. 102 COSTA MESA CA  
92626 P: 949.557.2812  
F: 949.557.2813  
www.v1capital.com

**BEACH ROAD RESIDENCE**  
35415 BEACH ROAD DANA POINT CA 92624

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

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REVISIONS

NO. | REVISION | DATE

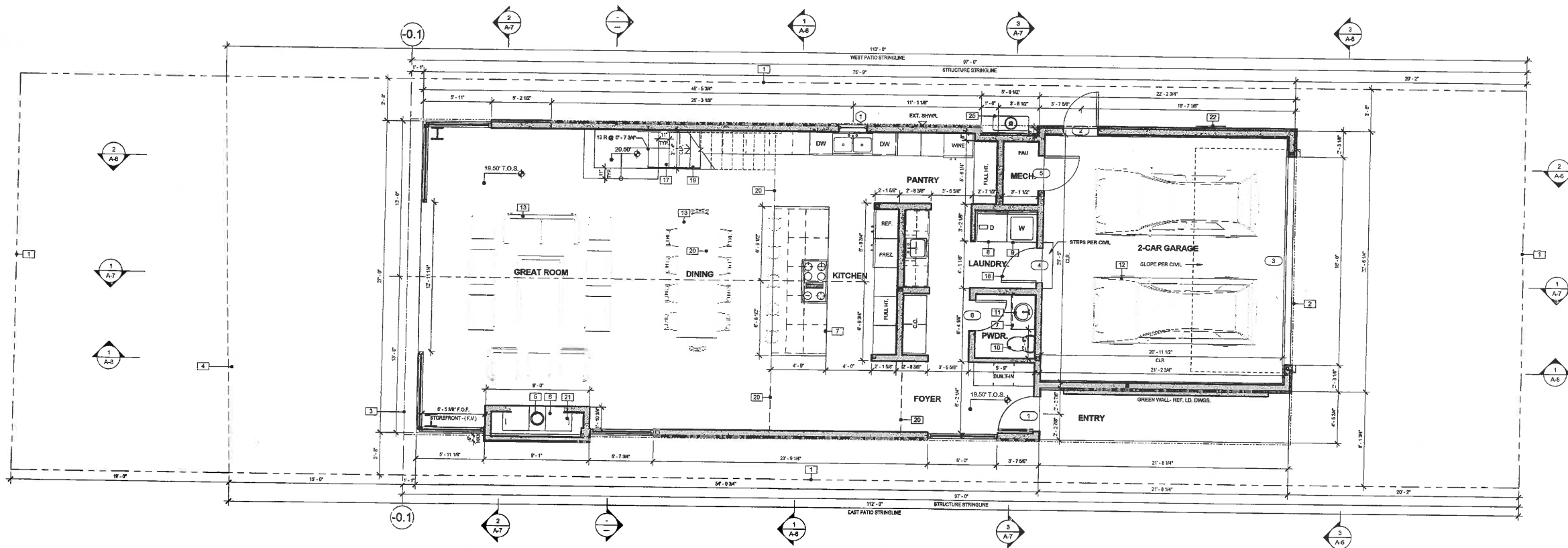
JOB NO. 35415-01

DATE 07/17/15

SHEET NO.

A-1





1 MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"

\*HERS VERIFICATION REQUIRED- REFERENCE T-24.1 FOR ADDITIONAL INFORMATION

**MEASUREMENT NOTE:**  
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP.  
U.N.O. ROUNDED TO THE NEAREST 1/8" - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION  
OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

**STAIRWAY NOTE:**  
ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT  
CANDLE PER IRC R303.5

**B.F.E. HEIGHT REQUIREMENTS:**  
THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST  
FLOOR EXCLUDING THE PLINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE  
BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.000(1)

KEYNOTE LEGEND

1. PROPERTY LINE
2. FRONT YARD SETBACK
3. STRUCTURE SETBACK
4. PATIO SETBACK
5. FIREPLACE - PREFABRICATED GAS ONLY (BURNING 100% BURN 3219 DTL. 2243-1) (FACTORY BUILT  
PREPARED CHIMNEY) AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE  
WITH THEIR LISTING AND MFG. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE  
PERMANENTLY ANCHORED TO THE STRUCTURE. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY  
STANDARDS MANDATORY MEASURES.
6. TEST REPORT COMBUSTION GAS ANALYSIS SHALL BE LISTED COMPONENTS OF THE FIREPLACE, AND INSTALLED  
ACCORDING TO THE F.P. MFG. INSTRUCTIONS. (CIRC 10100)
7. BASE CABINET - BUILT IN FINISH AS SEL.
8. COUNTER - BUILT IN FINISH AS SEL. (CIRC 564.3.2) PROVIDE GAS SHUT-OFF & POWER
9. WASHER - PROVIDE HOODS & POWER
10. TOILET - MIN. 36" CLR. IN FRONT, MIN. 30" CLR. WIDTH, REF. CAL. GREEN NOTES FOR FLOOR RATE INFO.
11. SINK - AS SELECTED (TYPICAL COUNTER OR WALL MOUNT FIXTURES W/ OWNERS)
12. VEHICLE - MINIMUM PARKING DIMENSIONS ON PLANS
13. FINISHES - AS SELECTED
14. BATHUB - AS SELECTED (VERIFY LOCAL CODES FOR FIXTURES W/ OWNERS)
15. BREEZE AND POOL - BUILT IN FINISH AS SEL.
16. FIREPLACE - PREFABRICATED GAS ONLY, MAINTAIN 2" CLEAR FROM COMBUSTIBLES, (MAINTAIN 48" MODEL  
HANGING FACTORY BUILT FIREPLACES, CHIMNEYS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND  
INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MFG. INSTRUCTIONS)
17. CUSTOM CANTILEVERED STAIR TREADS, REF. STYLUS DTL. - ANCHOR TO APPROX. SHOP DWGS.
18. 1-5/8" MIN. SOLID CORE DOOR, SELF CLOSING & SELF LATCHING (FORDS 1)
19. INTERIOR STAIR MOUNTED RAILING - 34" MIN. HGT. HOISMA, REF. DTL. 2, 3 & 10A-D-1
20. LINE OF OPEN LOFT ABOVE
21. DEPRESSURE PLUMB FOR FIREPLACE - DOOR WITH GENERAL CONTRACTOR, REF. STRUCT. DWGS.
22. (N) ELECTRICAL SERVICE AND MAIN SERVICE PANEL, 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF  
PANEL TO ANY OBSTRUCTION)
23. WINDOW TO MEET EGRESS REQUIREMENTS - REF. WINDOW NOTE #4 ON SCHEDULE
24. PROVIDE DROP CEILING FOR THROATLED TO ACCOMMODATE FINISH MATERIAL & COMMON DRAIN FOR  
SHOWER & TUB - COORD. W/ INT. DESIGNER & ARCHIT.
25. A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATTY.  
REQ'D. BY C.O.S.)

2 SECOND LEVEL FLOOR PLAN  
1/4" = 1'-0"

- FIRE RATED CEILING ASSY. REF. DTL. 7/A-D-1
- FIRE RATED INT. PARTITION REF. DTL. 7/A-D-1
- FIRE RATED EXT. PARTITION REF. DTL. 15/A-D-1
- WALL - 2 x 4 STUDS @ 16" O.C.
- WALL - 2 x 6 STUDS @ 16" O.C.
- WALL W/ STONE VENEER - 2 x 6 STUDS @ 16" O.C.
- DOUBLE WALL CONSTRUCTION - 2 x 4 MIN. STAGGERED  
STUD @ 16" O.C.
- CONCRETE RETAINING WALL/ C.I.P. WALL
- WINDOW - REFERENCE SCHEDULE
- DOOR - REFERENCE SCHEDULE
- CABINET - BUILT IN CASEWORK
- COLUMN - WOOD, STEEL, REF. STRUCTURAL DWGS.
- FURNITURE - FOR PRESENTATION PURPOSES ONLY
- FIREPLACE - PREFAB GAS-ONLY APPLIANCE
- PLUMBING FIXTURE - SINK (AS SELECTED)
- PLUMBING FIXTURE - TOILET (AS SELECTED)
- LIGHTING FIXTURE - REFERENCE ELECTRICAL PLANS

PLAN LEGEND

PROJECT NAME  
BEACH ROAD RESIDENCE

STATUS  
FIRST CHECK

BRANDON ARCHITECTS, INC.  
BRANDON ARCHITECTS, INC.  
3001 Red Hill Ave. Bldg. 1 Ste. 102  
Costa Mesa, CA 92626  
P: 714.754.4000 F: 714.754.4004  
www.BrandonArchitects.com

OWNER INFORMATION  
VI CAPITAL LLC  
3001 RED HILL AVE BLDG. 1  
STE 102 COSTA MESA CA  
92626 P: 888.557.2672

BEACH ROAD RESIDENCE  
35415 BEACH ROAD DANA POINT CA 92624

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FIRST & SECOND LEVEL FLOOR PLAN

REVISIONS  
NO. | REVISION | DATE

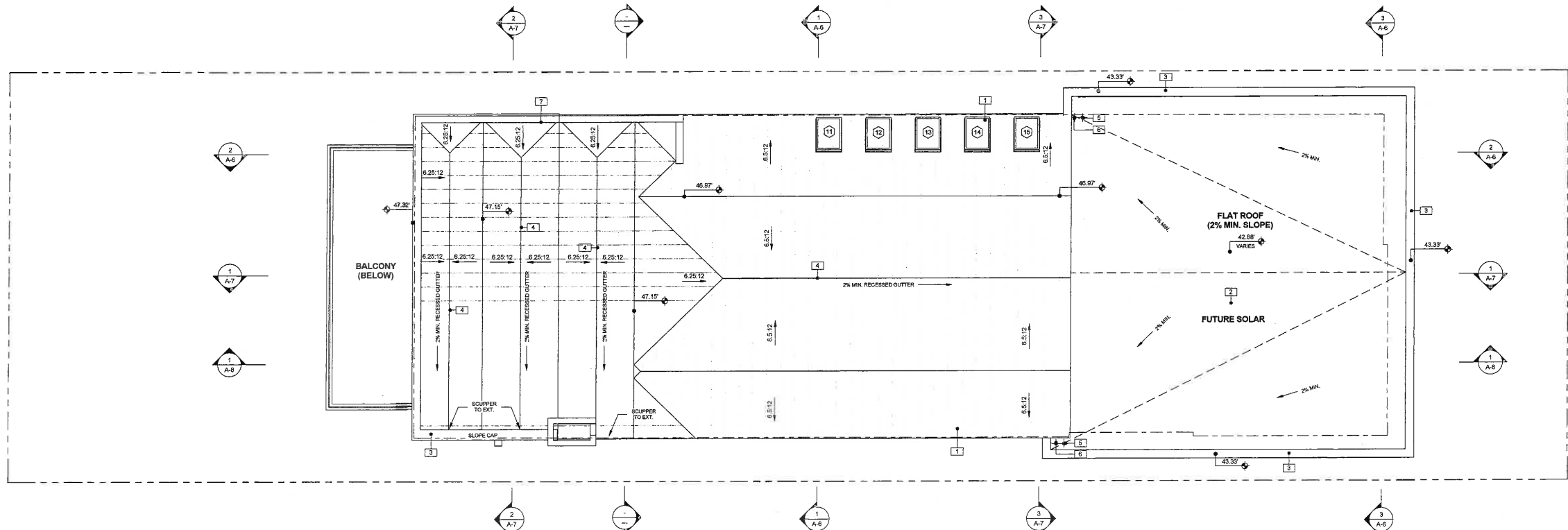
JOB NO. 35415-01

DATE 07/17/15

SHEET NO.

A-2





1 ROOF PLAN  
1/4" = 1'-0"

KEYNOTE LEGEND	
1	ROOF - STANDING SEAM METAL W/ KYNAR FINISH, COLOR AS SELECTED, REF. MAT. SCHED. A.4
2	COOL ROOF - BUILT-UP ROOFING SYSTEM, WATERPROOF MEMBRANE - LIGHT GREY COLOR, PER MFG. INSTRUCTIONS
3	PARAPET WALL CAP - STUCCO (ALT. METAL) REF. MAT. SCHED. A.4, SLOPE CAP 2% MIN. TOWARD ROOF
4	CUSTOM RECESSED GUTTER/SCUPPER - ROOFING CONTRACTOR COORD. W/ FLASHING INSTALLER - VERIFY SIZE, LOC. & APPLICATION OF DRAIN W/ ARCH PRIOR TO ORDERING
5	ROOF DRAIN - ROOFING CONTRACTOR TO VERIFY SIZE, LOC. & APPLICATION OF DRAIN W/ ARCH PRIOR TO ORDERING
6	ROOF DRAIN OVERFLOW - TO BE PIPED IN PARAPET WALL TO BELOW - TERMINATE ABOVE EXT. FLATWALL BELOW - ARCH. A.G.C. TO APPROVE LOC. ON SITE

MECHANICAL VENTILATION NOTE:

1. PROVIDE WHOLE BUILDING MECHANICAL VENTILATION PER ASHRAE STANDARD 62.2-2007 SECTION 4, WITH EXCEPTION THAT NATURAL VENTILATION SHALL BE PROVIDED FOR ALL ROOMS EXCEPT BATHS, KITCHENS, AND BEDROOMS. DOORS AND WINDOWS ARE NOT AN ACCEPTABLE ALTERNATIVE TO WHOLE BUILDING MECHANICAL VENTILATION. EXCEPT FOR SECTION 102.10, FOR CONTINUOUS WHOLE BUILDING MECHANICAL VENTILATION, REQUIRED RATE OF VENTILATION IS 1 CFM FOR EACH 100 S.F. OF CONDITIONED FLOOR AREA PLUS 1.5 CFM FOR EACH OCCUPANT (ONE OCCUPANT PER BEDROOM +1). VENTILATION TO BE PROVIDED BY EXHAUST, SUPPLY AIR OR COMBINED EXHAUST AND SUPPLY AIR.

2. PROVIDE IN KITCHEN LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM PART OF WHOLE-BUILDING VENTILATION REQUIREMENT.

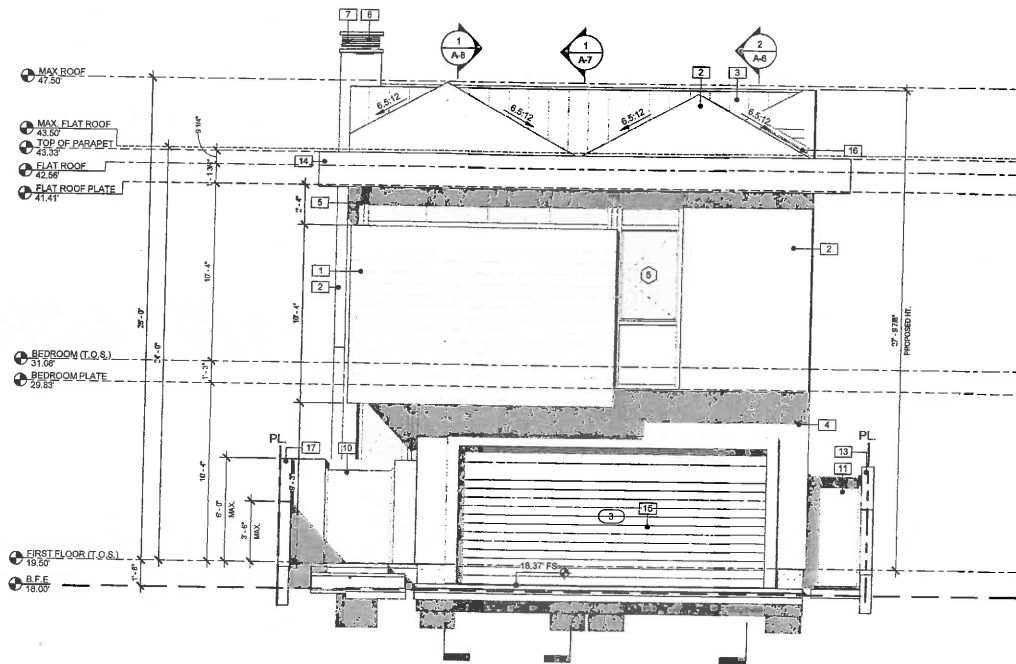
3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHINGLES AND AT THE LOCATION OF THE VENT.

4. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MFG.'S INSTALLATION INSTRUCTIONS. INSTALLATION OF VENTILATORS IN WALL SYSTEMS SHALL BE IN ACCORDANCE W/ THE RESULTS OF SECTION 710.1.

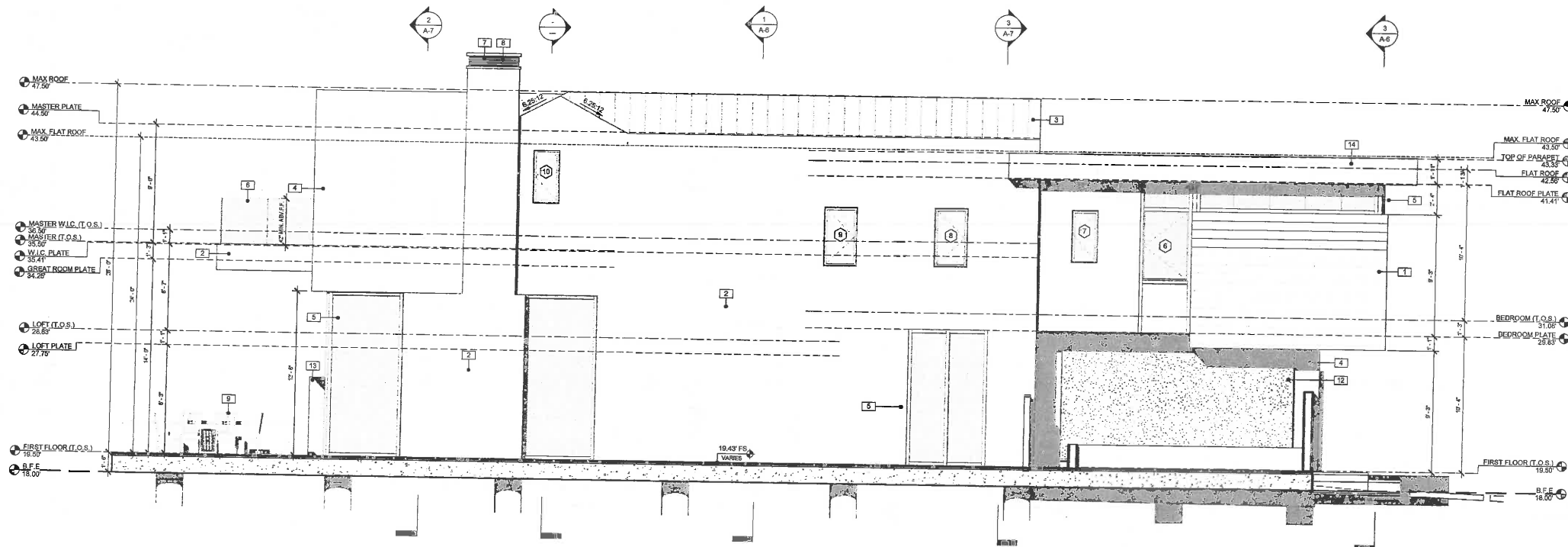
5. UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) AND UNVENTED ENCLOSED SPACES BETWEEN CEILING JOISTS THAT ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS (RAFTERS) AND THE STRUCTURAL ROOF SHINGLES, AT THE TOP OF THE ROOF FRAMING MEMBERS (RAFTERS) SHALL BE PERMITTED IF ALL OF THE FOLLOWING CONDITIONS ARE MET:

1. THE UNVENTED ATTIC SPACE IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE. 2. NO INTERIOR CLASS VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY, OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED RAFTER ASSEMBLY. 3. WHERE WOOD SHINGLES OR SHAKES ARE USED, A MIN. 1/4" VENTILATED SPACE SEPARATES THE SHINGLES OR SHAKES AND THE UNVENTED UNDERLAYMENT ABOVE THE STRUCTURAL SHINGLES. 4. IN CALIFORNIA CLIMATE ZONES 14 & 15, ANY AIR-IMPERMEABLE UNDERLAYMENT ABOVE THE STRUCTURAL SHINGLES SHALL HAVE A CLASS II VAPOR RETARDER. 5. THE INSULATION DIRECTLY UNDER THE STRUCTURAL ROOF SHINGLES (NO INSULATION SHALL BE USED WHEN ROOF TILES, WOOD SHINGLES OR WOOD SHAKES ARE USED) SHALL BE INSTALLED IN ACCORDANCE WITH THE MFG.'S INSTALLATION INSTRUCTIONS. 6. THE INSULATION SHALL BE APPLIED IN DIRECT CONTACT W/ THE UNDERSIDE OF THE INSULATION (SEE TITLE 24, PART 6, FIG. 100.1-4). 7. EITHER TYPE S, S-1, S-2, S-3, S-4, S-5, S-6, S-7, S-8, S-9, S-10, S-11, S-12, S-13, S-14, S-15, S-16, S-17, S-18, S-19, S-20, S-21, S-22, S-23, S-24, S-25, S-26, S-27, S-28, S-29, S-30, S-31, S-32, S-33, S-34, S-35, S-36, S-37, S-38, S-39, S-40, S-41, S-42, S-43, S-44, S-45, S-46, S-47, S-48, S-49, S-50, S-51, S-52, S-53, S-54, S-55, S-56, S-57, S-58, S-59, S-60, S-61, S-62, S-63, S-64, S-65, S-66, S-67, S-68, S-69, S-70, S-71, S-72, S-73, S-74, S-75, S-76, S-77, S-78, S-79, S-80, S-81, S-82, S-83, S-84, S-85, S-86, S-87, S-88, S-89, S-90, S-91, S-92, S-93, S-94, S-95, S-96, S-97, S-98, S-99, S-100, S-101, S-102, S-103, S-104, S-105, S-106, S-107, S-108, S-109, S-110, S-111, S-112, S-113, S-114, S-115, S-116, S-117, S-118, S-119, S-120, S-121, S-122, S-123, S-124, S-125, S-126, S-127, S-128, S-129, S-130, S-131, S-132, S-133, S-134, S-135, S-136, S-137, S-138, S-139, S-140, S-141, S-142, S-143, S-144, S-145, S-146, S-147, S-148, S-149, S-150, S-151, S-152, S-153, S-154, S-155, S-156, S-157, S-158, S-159, S-160, S-161, S-162, S-163, S-164, S-165, S-166, S-167, S-168, S-169, S-170, S-171, S-172, S-173, S-174, S-175, S-176, S-177, S-178, S-179, S-180, S-181, S-182, S-183, S-184, S-185, S-186, S-187, S-188, S-189, S-190, S-191, S-192, S-193, S-194, S-195, S-196, S-197, S-198, S-199, S-200, S-201, S-202, S-203, S-204, S-205, S-206, S-207, S-208, S-209, S-210, S-211, S-212, S-213, S-214, S-215, S-216, S-217, S-218, S-219, S-220, S-221, S-222, S-223, S-224, S-225, S-226, S-227, S-228, S-229, S-230, S-231, S-232, S-233, S-234, S-235, S-236, S-237, S-238, S-239, S-240, S-241, S-242, S-243, S-244, S-245, S-246, S-247, S-248, S-249, S-250, S-251, S-252, S-253, S-254, S-255, S-256, S-257, S-258, S-259, S-260, S-261, S-262, S-263, S-264, S-265, S-266, S-267, S-268, S-269, S-270, S-271, S-272, S-273, S-274, S-275, S-276, S-277, S-278, S-279, S-280, S-281, S-282, S-283, S-284, S-285, S-286, S-287, S-288, S-289, S-290, S-291, S-292, S-293, S-294, S-295, S-296, S-297, S-298, S-299, S-300, S-301, S-302, S-303, S-304, S-305, S-306, S-307, S-308, S-309, S-310, S-311, S-312, S-313, S-314, S-315, S-316, S-317, S-318, S-319, S-320, S-321, S-322, S-323, S-324, S-325, S-326, S-327, S-328, S-329, S-330, S-331, S-332, S-333, S-334, S-335, S-336, S-337, S-338, S-339, S-340, S-341, S-342, S-343, S-344, S-345, S-346, S-347, S-348, S-349, S-350, S-351, S-352, S-353, S-354, S-355, S-356, S-357, S-358, S-359, S-360, S-361, S-362, S-363, S-364, S-365, S-366, S-367, S-368, S-369, S-370, S-371, S-372, S-373, S-374, S-375, S-376, S-377, S-378, S-379, S-380, S-381, S-382, S-383, S-384, S-385, S-386, S-387, S-388, S-389, S-390, S-391, S-392, S-393, S-394, S-395, S-396, S-397, S-398, S-399, S-400, S-401, S-402, S-403, S-404, S-405, S-406, S-407, S-408, S-409, S-410, S-411, S-412, S-413, S-414, S-415, S-416, S-417, S-418, S-419, S-420, S-421, S-422, S-423, S-424, S-425, S-426, S-427, S-428, S-429, S-430, S-431, S-432, S-433, S-434, S-435, S-436, S-437, S-438, S-439, S-440, S-441, S-442, 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1 FRONT ELEVATION - EAST  
1/4" = 1'-0"



2 LEFT SIDE ELEVATION - SOUTH  
1/4" = 1'-0"

#### WINDOWS & DOORS:

SUPPLIER: ASSOCIATED BUILDING SUPPLY  
ADDRESS: 2915 RED HILL AVE, COSTA MESA, CA 92626  
CONTACT: JOE YOUNG  
PHONE: 714.543.180  
EMAIL: JOEYOUNG@ASSOCIATED.COM  
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS  
MANUFACTURER: JELD-WEN WINDOWS & DOORS  
PRODUCT: CUSTOM COLLECTION  
ADDRESS: 3250 LAKEPORT BLVD, P.O. BOX 1202, KAMATH FALLS, OREGON 97061  
PHONE: 847.865.4133 OR 800.335.9333  
FAX: 541.484.5331  
WEB: WWW.JELD-WEN.COM

ALUMINUM-WOOD POCKET SLIDING DOORS  
MANUFACTURER: WESTERN WINDOW SYSTEMS  
PRODUCT: ELITE & SEAL DOORS  
ADDRESS: 3821 S. 29TH ST., PHOENIX, AZ 85040  
PHONE: 1.877.288.1392  
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

#### STUCCO VENEER

MANUFACTURER: MENLEX STUCCO  
2811 GRANDE OLIVE RD.  
ORANGE, CA 92666  
P. 714.637.1700  
COLOR: WHITE - ARCH. TO APPROVE  
TEXTURE: SMOOTH WALL, TROWELED EDGES, NO BULLNOSE, VERTICAL FLOAT LEVEL TO 16" IN 10'  
APPLICATION: PROVIDE EXPANSION JOINTS (STUCCO REVEALS), WIDTH TO BE DETERMINED, LOCATIONS TO BE SPECIFIED AND FIELD VERIFIED BY ARCH.  
CODE: MIN. 7/8" THK. OF MIN. 3-LAYERS GRADE 'D' PAPER

#### EXTERIOR STONE VENEER

SUPPLIER: KRC ROCK, NATURAL STONE & BOULDER SUPPLY  
730 N. TWIN OAKS VALLEY RD.  
SAN MARCOS, CA 92069  
P. 761.941.9255  
STONE TYPE: RED MOUNTAIN (ARCH. TO VERIFY)

COLOR: TBD  
APPLICATION: RANDOM, MOUNTAIN FIELD LEDGE  
THICKNESS: 1" - 1 1/2" NOMINAL  
WEIGHT: TBD

#### ZINC HORIZONTAL PANELING

MANUFACTURER: RHEINZINK  
COLOR/MATERIAL: PREPARED GRAPHITE-GREY ZINC PANEL  
SIZE: HORIZONTAL PANEL SYSTEM - FACE HEIGHT BY REVEAL 1/2"  
APPLICATION: PER MANUF. SPECIFICATIONS

#### COOL ROOFING:

PRODUCT: BUILT-UP COOL ROOFING SYSTEM  
MFG: DURA-LEAF ROOFING, INC.  
550 MCQUEEN DRIVE  
SAGINAW, MI 48601

COLOR: LIGHT GREY  
APPLICATION: TBD  
CODE: CLASS 'A' MIN. REQ'D. (ICC ESR-1890)  
WEIGHT: NA

#### GUTTERS:

SUPPLIER: TBD  
MATERIAL: ALUMINUM - KYNAR FINISH  
SHAPE: SQUARE (VERIFY SIZE W. ARCH.)

#### GARAGE DOORS:

SUPPLIER: RANCH HOUSE DOORS  
WWW.RANCHHOUSEDOORS.COM  
STYLE: CONTEMPORARY MODERN  
MATERIAL: CUSTOM BUILT, METAL

#### WATERPROOF DECK MEMBRANE:

WESTCOAT  
770 GATEWAY CENTER DRIVE  
SAN CEBITO, CA 92582  
602.262.8719  
WWW.WESTCOAT.COM  
CODE: ICC ESR-2201

#### FLASHING & WEATHERSTRIPPING:

PROVIDE MIN. 24 GAUGE COPPER OR EQUIV. (15 OZ.) SHEETING FOR ALL EXTERIOR FLASHING & WEATHERSTRIPPING APPLICATIONS. VERIFY VUL. ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION.

#### INTERIOR DRYWALL:

LEVEL 5 FINISH DRYWALL WITH SQUARE CORNERS. MIN. 5/8" PAINT AS SEL.

### A MATERIAL SCHEDULE

B.F.E HEIGHT REQUIREMENTS:  
THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PLINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.000(1).

#### KEYNOTE LEGEND

1	T&G W.C. PANELING - AS BELL, ARCH. TO APPV.
2	STUCCO FINISH - MIN. 7/8" THK. 1/2" DIA. LATH, COLOR AS SEL.
3	ROOF - STANDING SEAM METAL W/ KYNAR FINISH - COLOR AS SELECTED - REF. MAT. SCHED. A-4
4	ZINC HORIZONTAL PANELING (RHEINZINK) - GRAPHITE GREY - ARCH. TO APPV. SIZE & REVEAL, INSTALL PER MANUF. SPECIFICATIONS
5	ALUM. CURTAIN WALL - CLAD AS SHOWN - REF. PLAN & ELEV., PROVIDE SHOP DWGS. TO ARCH. FOR APPROVAL PRIOR TO FAB. (TEMP. AS REQ'D)
6	EXTERIOR GLASS GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING, REF. DTL. 4.12 AND 4.13
7	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITH 12" BUT SHALL NOT BE LESS THAN 8' ABV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF
8	CHIMNEY CAP/PARK ARRESTOR - (DTL. 2104-1) (NOTE: DECORATIVE BRICKS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH BRICKS ARE ACCORDANCE W. MFG. INST. INSTRUCTIONS, ENCL. 802.4.2.5)
9	FURNISHINGS - AS SELECTED
10	CUSTOM ENTRY GATE - 10' W. GLASS, 8' C. TO PROVIDE SHOP DWGS. FOR ARCH. APPROVAL
11	(N) GATE - PER LANDSCAPE DESIGNER (MAX. 8' HIG. ABOVE NATURAL GRADE)
12	SCREEN WALL SYSTEM - POCKET PLANTER / AQUA FELT BY SEASONS NATURAL ENGINEERING REF. LANDSCAPE DWGS.
13	(N) SHARED PROPERTY LINE WALL UNDER CONSTRUCTION BUILT BY NEIGHBOR, COMMON WALL AGREEMENT SIGNED
14	METAL ROOF FASCIA (RHEINZINK OR EQUIV.) - LEAVE AS UNFINISHED (REF. DTL. 3.414.4 & MAT. SCHED. A-5)
15	GARAGE DOOR - CUSTOM BUILT, REF. SCHED. ARCH. TO APPV. SHOP DWGS. PRIOR TO FAB.
16	CUSTOM SHED/UTILITY PLANT - 10' WIDE CURB MOUNTED, SIZE PER VENDOR, SCHEDULE, ARCH. TO APPV. SHOP DWGS. - SCHAASIGHT (REF. DTL. 3142-1) ESR-2415
17	(N) PROPERTY LINE WALL - CMU WITH STUCCO FINISH - 6" MAX. ABV. MS.

PROJECT NAME: BEACH ROAD RESIDENCE  
STATUS: FIRST CHECK



BRANDON ARCHITECTS, INC.  
smart design = better living

3001 Red Hill Ave. Bldg. 1 Ste. 102  
Costa Mesa, CA 92626  
P. 714.754.4040 F. 714.754.4004  
www.BrandonArchitects.com

OWNER INFORMATION:  
VI CAPITAL LLC  
3001 RED HILL AVE BLDG. 1  
STE 102 COSTA MESA CA  
92626 P. 888.557.2872

BEACH ROAD RESIDENCE  
35415 BEACH ROAD DANA POINT CA 92624

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

FRONT & LEFT ELEVATIONS & MATERIAL SCHEDULE

REVISIONS  
NO. | REVISION | DATE

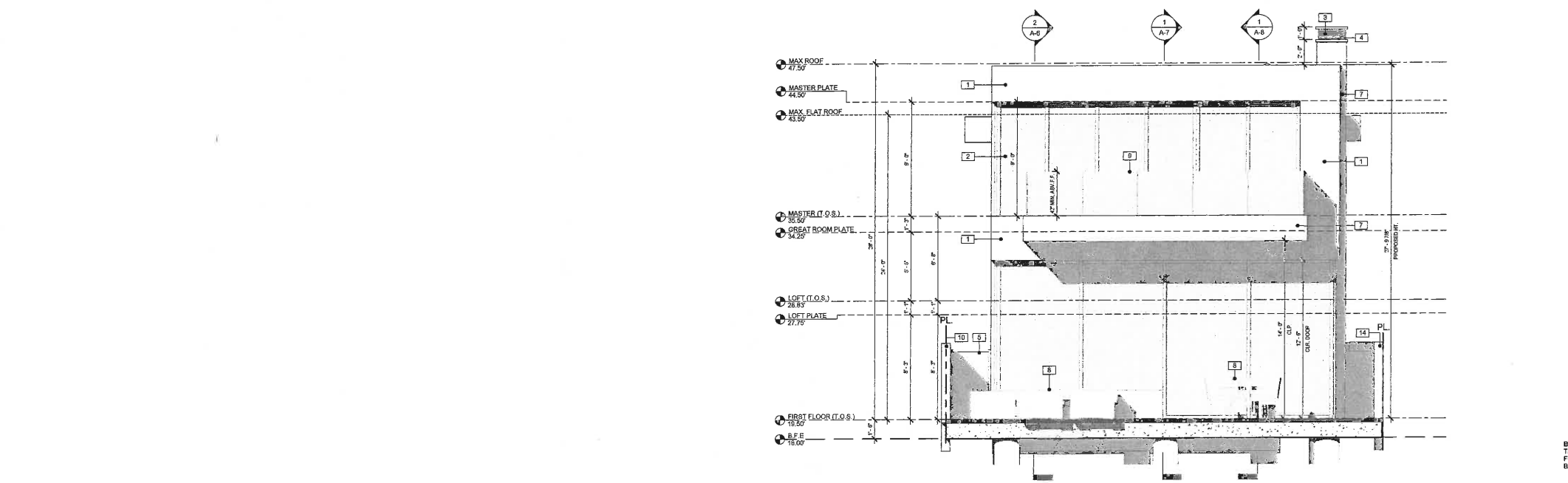
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DATE 07/17/15

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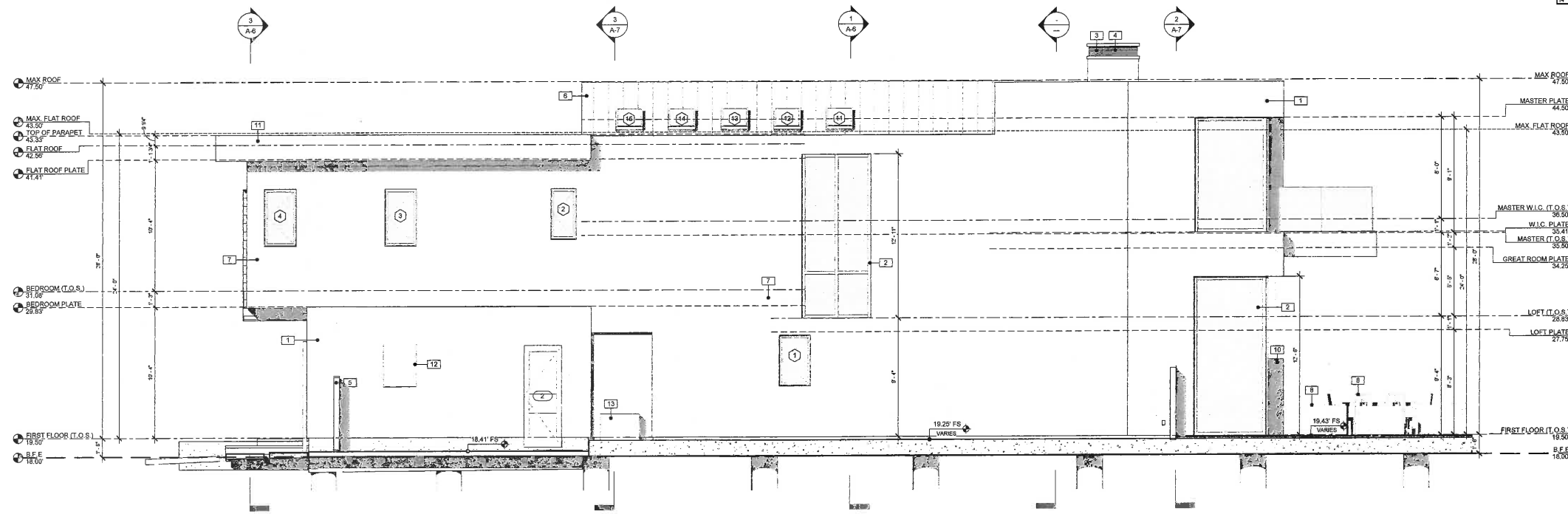
A-4





B.F.E HEIGHT REQUIREMENTS:  
THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PILINGS OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.060(1).

KEYNOTE LEGEND	
1	2" HORIZONTAL PANELING (RHENZINK GRAPHITE GREY, ARCH TO APPV. SIZE & REVEAL. INSTALL PER MANUF. SPECIFICATIONS)
2	2" HORIZONTAL PANELING (RHENZINK GRAPHITE GREY, ARCH TO APPV. SIZE & REVEAL. INSTALL PER MANUF. SPECIFICATIONS)
3	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' BUT SHALL NOT BE LESS THAN 2' ABV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF
4	CHIMNEY CRACKS/PAINT/WEAR - EST. AT 2" (1) WHITE DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. B.T. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFG. INST. INSTRUCTIONS. CMG 902.4.2.4)
5	(N) GATE - PER LANDSCAPE DESIGNER (MAX. 8' H. ABOVE NATURAL GRADE)
6	ROOF - STANDING SEAM METAL W/ TYPED FINISH - COLOR AS SELECTED - REF. MAT. SCHED. A.4
7	STUCCO FINISH - MIN. 7/8" THK. W/ DIA. LATH. COLOR AS SEL.
8	FURNISHES - AS SELECTED
9	EXTERIOR GLASS GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING. REF. DTL. 4.10A-D.1
10	(N) SHARED PROPERTY LINE WALL UNDER CONSTRUCTION BUILT BY NEIGHBOR. COMMON WALL. INDEPENDENT BUILT.
11	METAL ROOF FASCIA (RHENZINK OR EQUIV.) - EAVE AS DIMENSIONED (REF. DTL. 1.40-A & MAT. SCHED. 10-S)
12	(N) ELECTRICAL SERVICE AND MAIN SERVICE PANEL. 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION)
13	A/C CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQD. (ROUND ATT. REQD. BY C.M.E.)
14	(N) PROPERTY LINE WALL - CMU WITH STUCCO FINISH - 8" MAX. ABV. NG.



PROJECT NAME

BEACH ROAD RESIDENCE

STATUS

FIRST CHECK

BRANDON ARCHITECTS, INC.

3001 Red Hill Ave. Bldg. 1, Ste. 102  
Costa Mesa, CA 92626  
P: 714.754.4040 F: 714.754.4004  
www.BrandonArchitects.com

OWNER INFORMATION:

V1 CAPITAL LLC

35415 BEACH ROAD BLDG 1

STE 102 COSTA MESA CA

92626 P: 688.657.2872

35415 BEACH ROAD DANA POINT CA 92624

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

REAR & RIGHT ELEVATIONS

REVISIONS

NO. REVISION DATE

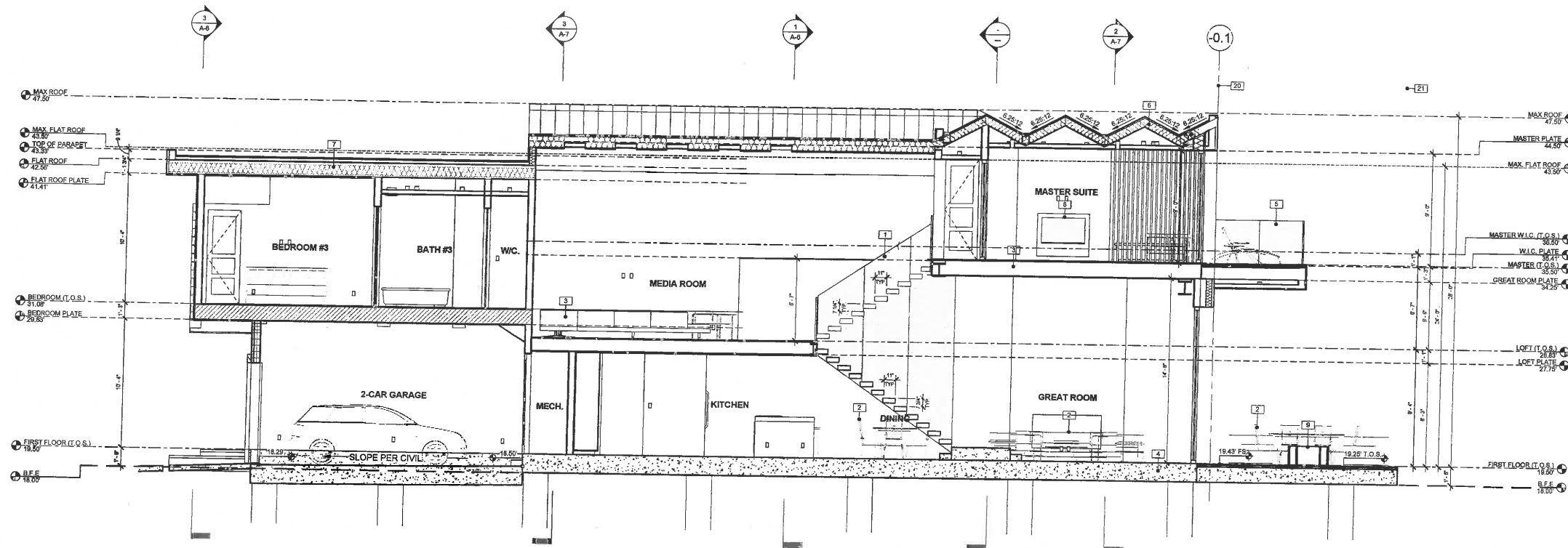
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DATE 07/17/15

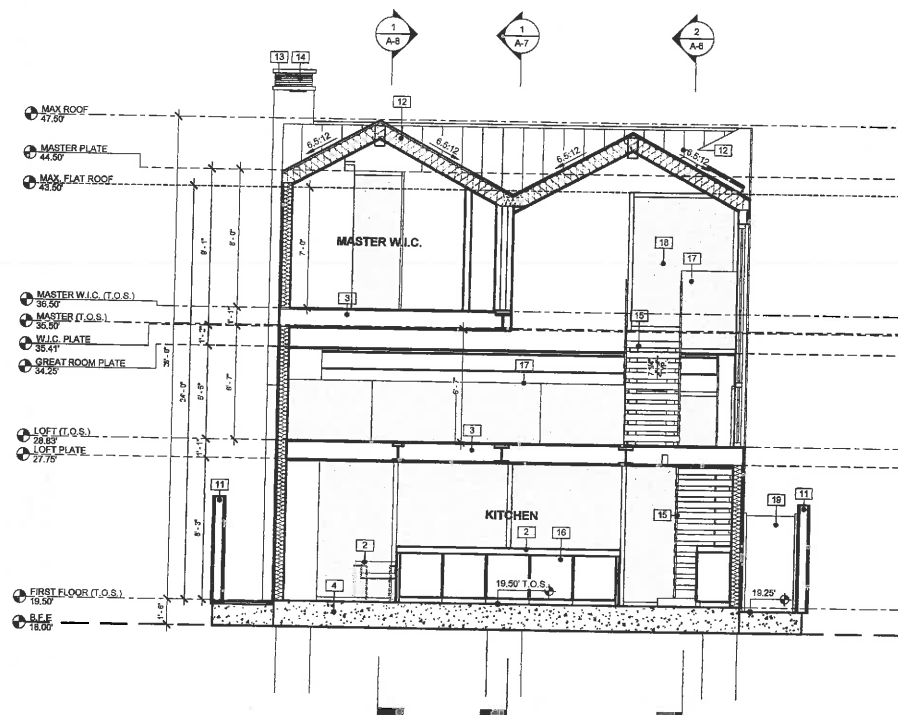
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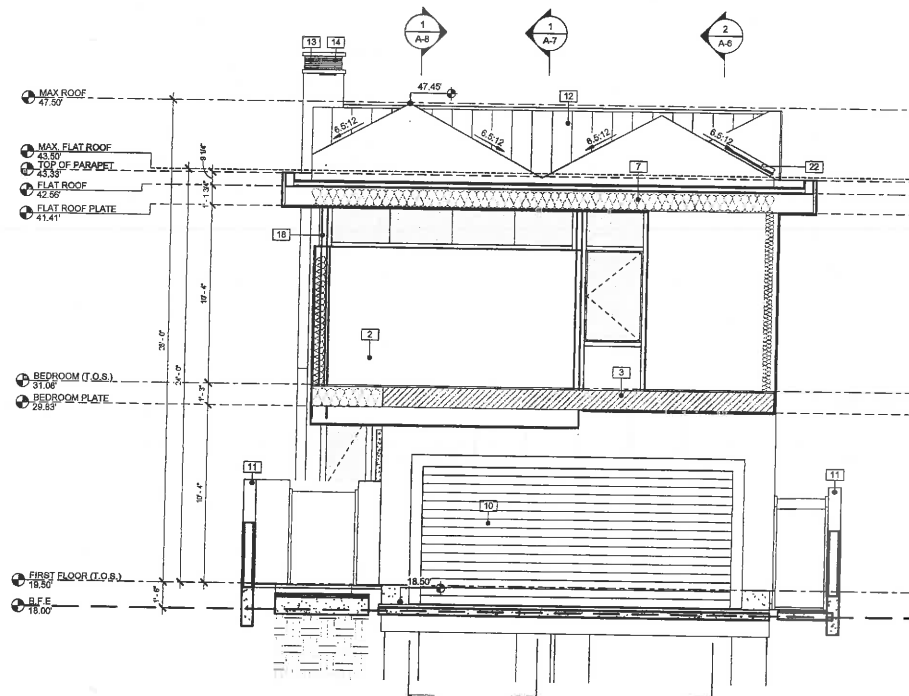




2 LONGITUDINAL SECTION  
1/4" = 1'-0"



1 TRANSVERSE SECTION  
1/4" = 1'-0"



3 TRANSVERSE SECTION  
1/4" = 1'-0"

INSULATION SCHEDULE:

EXTERIOR WALL:	R-13 MIN.
2 x 4 CONST. =	R-10
RAISED FLOOR:	R-30 MIN.
ROOF:	R-30
(REF. T-24 REPORT FOR MORE INFORMATION)	
NOTE: PROVIDE BID FOR INSULATION OF ENTIRE HOME	

B.F.E. HEIGHT REQUIREMENTS:  
THE LOWEST HORIZONTAL PORTION OF THE STRUCTURAL MEMBERS OF THE LOWEST FLOOR EXCLUDING THE PILING OR COLUMNS SHALL BE ELEVATED TO OR ABOVE THE BASE FLOOD ELEVATION PER DANA POINT MUNICIPAL CODE 9.31.060(X)(1)

KEYNOTE LEGEND

1	INTERIOR GLASS STAIR MOUNTED GUARDRAIL - 34" SH" ADV. HOISING, REF. DTL. 2.3.4, 10AD-1
2	FURNISHINGS - AS SELECTED
3	FLOOR JOISTS - REF. STRUCT.
4	STUCCO TRIM - CHAMFER EDGES APPL. 30" PAINT AS SEL.
5	EXTERIOR GLASS GUARDRAIL - MIN. 42" HEIGHT - 4" MAX. SPHERE OPENING, REF. DTL. 4, 10AD-1
6	ROOF JOISTS - REF. STRUCT.
7	DECK FRAMING - REF. STRUCT.
8	FIREPLACE - PREFABRICATED, GAS ONLY, MAINTAIN 1" CLEAR FROM COMBUSTIBLES. MAINTAIN 4" MODEL #4000 (FACTORY BUILT FIREPLACES, CHIMNEYS, AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MFGOR INSTRUCTIONS)
9	PROVIDE GAS SHUT-OFF FOR EXTERIOR FIRE-PIST PER OWNER
10	VEHICLE - MINIMUM PARKING OVERHEADS ON PLANE
11	UNGRADED PROPERTY LINE WALL UNDER CONSTRUCTION BUILT BY NEIGHBOR, COMMON WALL AGREEMENT SIGNED
12	ROOF - STANDING SEAM METAL W/ KYWAY FINISH - COLOR AS SELECTED - REF. MAT. SCHED. 4.4
13	CHIMNEY SHALL EXTEND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WIND. OR, BUT SHALL NOT BE LESS THAN 3' ADV. THE HIGHEST POINT WHERE THE CHIMNEY PASSES THRU THE ROOF
14	CHIMNEY CAP/PARK ARRESTOR - DTL. 2.3.4.10 (NOTE: DECORATIVE BRICKWORK SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE EACH BRICKWORK IS LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BILT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFGOR INST. INSTRUCTIONS (MFGOR 4.2.4)
15	CUSTOM CANTILEVERED STAIR TREADS, REF. STRUCT. DTL. ARCHIT. TO APPROP. SHIP DWG. 10AD-1
16	BASE CABINET - BUILT-IN, FINISH AS SEL.
17	INTERIOR GLASS GUARDRAIL - MIN. 42" HIGH - 4" MAX. SPHERE OPENING, REF. DTL. 4, 10AD-1
18	ALUM. CURTAIN WALL - CLAD AS SHOWN - REF. PLAN & ELEV. PROVIDE SHOP DWGS. TO ARCH. FOR APPROVAL PRIOR TO FAB. TEMP. AS RECD.
19	(N) GATE - PER LANDSCAPE DESIGNER (MAX. 6' HT. ABOVE NATURAL GRADE)
20	STRUCTURE STRING LINE SETBACK
21	RATIO STRING LINE
22	CUSTOM SKYLIGHT - FLAT, FIXED CURB-MOUNTED, SIZE PER WOVN. SCHEDULE, ARCHIT. TO APPROP. SHIP DWGS. - 20% LIGHT - REF. DTL. 10AD-1 10AD-10

# FIRE-BLOCKING & DRAFT-STOP NOTE

FIRE-BLOCKING AND DRAFT-STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL THROUGH WALLS, PARTITIONS, FLOORS, ROOFS, AND ATTIC SPACES. CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEMBLIES. THE INTEGRITY OF ALL FIRE BLOCKS AND DRAFT STOPS SHALL BE MAINTAINED.

## FIRE BLOCKS

FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING PURGED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.

FIRE BLOCK CONSTRUCTION: FIREBLOCKING SHALL CONSIST OF 2 INCHES NOMINAL LUMBER, FIRE GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED.

WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED FLEXIBLE MATERIALS.

## DRAFT STOPS

DRAFTSTOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

## FLOOR-CEILING ASSEMBLIES

DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING. SUCH DRAFT STOPS SHALL BE IN LINE WITH WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

## ATTICS

DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MAINFLOORS, OVERHANDS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF THIS BUILDING. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS FROM EACH OTHER AND FROM OTHER AREAS.

## DRAFT STOP CONSTRUCTION

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH TYPE 2-4 PARTICLEBOARD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

	1 HR. FLOOR SYSTEM REF. DTL. 7/AD-1
	1 HR. FIRE RATED PARTITION REF. DTL. 7/AD-1
	EXTERIOR FIRE RATED PARTITION REF. DTL. 5/AD-1
	INSULATED SYS. REF. INSULATION SCHEDULE THIS SHT.
	NEW WALL - 2 x 6 STUDS @ 16" O.C. U.N.O.
	NEW WALL - 2 x 4 STUDS @ 16" O.C. U.N.O.
	WALL W/ STONE VENEER - 2x STUDS @ 16" O.C. U.N.O.
	CONCRETE RETAINING WALL - REF. STRUCTURAL

# A SEPARATION LEGEND

PROJECT NAME  
BEACH ROAD RESIDENCE

STATUS  
FIRST CHECK

BRANDON ARCHITECTS, INC.  
3001 Red Hill Ave. Bldg. 1 Ste. 102  
Costa Mesa, CA 92626  
P: 714.754.4040 F: 714.754.4004  
www.BrandonArchitects.com

OWNER INFORMATION:  
V.I. CAPITAL LLC  
3001 RED HILL AVE BLDG. 1  
STE. 102 COSTA MESA CA  
92626 P: 888.667.2872

# BEACH ROAD RESIDENCE

35415 BEACH ROAD DANA POINT CA 92624

DOCUMENT VALID UPON

ORIGINAL SIGNATURE

# BUILDING SECTIONS

REVISIONS

NO. 1 REVISION DATE

JOB NO. 35415-01

DATE 07/17/15

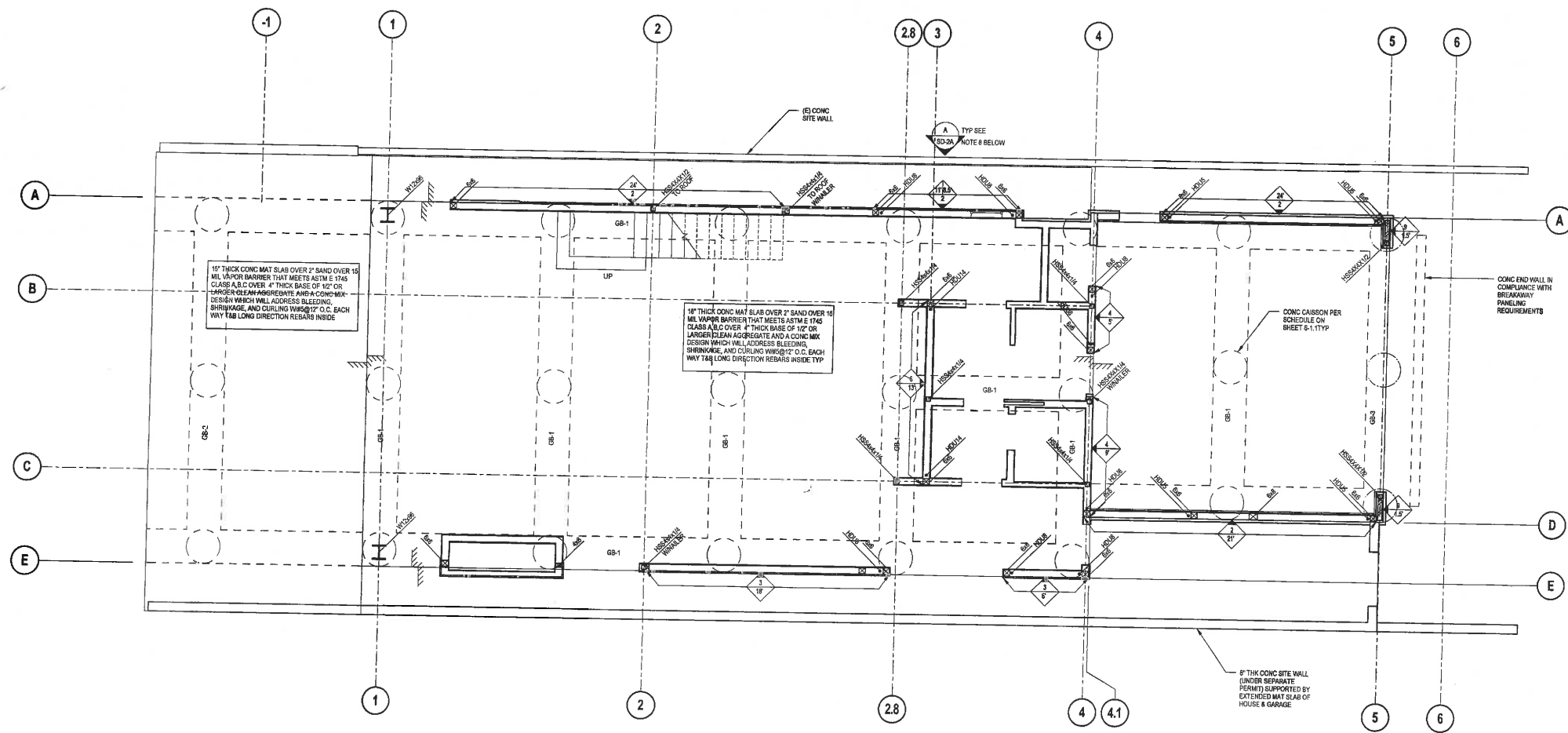
SHEET NO.

A-6









FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES		LEGEND	
1. FOR DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS. 2. FOR NOTES & INFORMATION NOT SHOWN ON THIS SHEET, SEE SHEET SD-0. 3. FOR GENERAL NOTES, SCHEDULES & LEGENDS SEE SD-1 & SD-1A. 4. FOR CAISSONS PER SEE S-1.1. 5. FOR SECOND FLOOR FRAMING PLAN SEE S-2. 6. FOR ROOF FRAMING, SEE SHEET S-3. 7. FOR SHEARWALL ANCHOR BOLTS, SEE SCHEDULE B BOLD. 8. FOR WOOD STUD WALL ASSEMBLY, SEE WALL ELEVATION CS02A. 9. INSTALL STRAPS AT ALL WINDOWS AND DOOR CORNERS AT SHEARWALLS IN ACCORDANCE WITH DETAIL ASD-2A, UNLESS LONGER STRAPS HAVE BEEN SPECIFIED ON PLAN.		INDICATES TYPE OF SHEARWALL WITH OPENINGS WITH MIN 4:POST & 1 OR 2 HOLD-DOWNS AT EACH END & REQUIRED MINIMUM TOTAL LENGTH (L) & EFFECTIVE LENGTH (L <sub>E</sub> ) PER SCHEDULE.	
		INDICATES TYPE OF SHEARWALL WITH MIN 4:POST & 1 OR 2 HOLD-DOWNS AT EACH END AND REQUIRED MINIMUM LENGTH (L) PER SCHEDULE.	
		INDICATES SEISMIC STRAP TYPE AND LENGTH PER SCHEDULE.	
		INDICATES STEP DOWN/SLAB DEPRESSION.	

OWNER INFORMATION:  
V1 CAPITAL LLC  
3001 RED HILL AVE BLDG. 1 STE 211  
COSTA MESA CA 92626  
P: 949.557.2872

BEACH ROAD RESIDENCE  
35415 BEACH ROAD  
DANA POINT CA 92624  
FOUNDATION PLAN

WILLIAM SIMPSON  
& ASSOCIATES, INC.  
CONSULTING STRUCTURAL ENGINEERS  
241 ORANGE, 2ND FL. #240  
LAKE FOREST, CA 92650  
www.williamsimpson.com



DATE: 06/01/15  
BY: P. PETROV  
CHECKED: W. LAWICZAK  
IN CHARGE: M. JAFARI  
DATE: 06/01/15

S-1.2



LEGEND			
	BASKETBALL HOOP	ELEC. — ELECTRICAL	SMH — SEWER MANHOLE
	FIRE HYDRANT	EPB — ELECTRICAL PULL BOX	TC — TOP OF CURB
	EDGE PAVEMENT	EC — END OF CURVE	TE — TRASH ENCLOSURE
	WATER VALVE	FC — FINISHED CONCRETE	TF — TOP OF FENCE
	*METER, PULL BOX	FD — FRENCH DRAIN	TG — TOP OF GRATE
	SIGN	FF — FINISHED FLOOR	TPB — TELEPHONE PULL BOX
	GAS METER	FFG — FINISHED FLOOR GARAGE	TS — TOP OF STEPS
	BLOCK WALL	FH — FIRE HYDRANT	TW — TOP OF WALL
	STREET LIGHT	FL — FLOWLINE	TX — TOP OF DRIVEWAY "X"
	WROUGHT IRON FENCE (WIF)	FS — FINISHED SURFACE	UGT — UNDERGROUND TRANSFORMER
	CHAINLINK FENCE (CLF)	GB — GRADE BREAK	VG — VALLEY GUTTER
	SEWER CLEANOUT	GM — GAS METER	VPB — VERIZON PULL BOX
	WATER METER	HCR — HANDICAP RAMP	W/ — WITH
	ASPHALT PAVEMENT	HP — HIGH POINT	WIF — WROUGHT IRON FENCE
	AREA DRAIN	INV. — INVERT	WM — WATER METER
	BACK FLOW PREVENTER	NG — NATURAL GROUND	WV — WATER VALVE
	BOTTOM OF STEPS	PA — PLANTER AREA	( ) — EXISTING ELEVATION
	BOTTOM OF DRIVEWAY "X"	R — PROPERTY LINE	● — FOUND MONUMENT
	CABLE TELEVISION BOX	PP — POWER POLE	○ — SEARCHED, FOUND NOTHING; TO BE MONUMENTED PRIOR TO GRADING
	CURB FACE	RD — ROOF DRAIN (CURB OUTLET)	⊕ T.B.M. — TEMPORARY BENCHMARK SET ON FD, LTT ELEV= 17.13 FEET
	CHIMNEY	RIM — MANHOLE RIM	
	CENTERLINE	R/W — RIGHT OF WAY	
	DRAIN OUTLET	SCO — SEWER CLEAN-OUT	

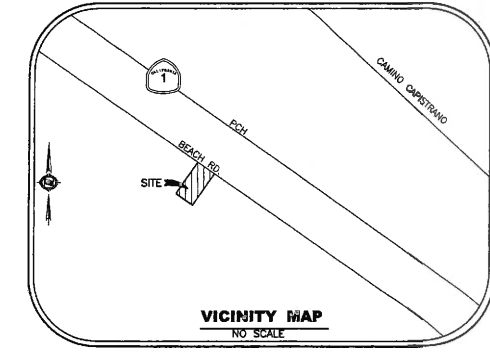
**LEGAL DESCRIPTION**  
REAL PROPERTY SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA DESCRIBED AS FOLLOWS:  
LOT 43 IN BLOCK 2 OF TRACT NO. 889, CAPISTRANO BEACH, AS SHOWN ON A MAP RECORDED IN BOOK 27, PAGE(S) 17-21 INCLUSIVE, OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

**BENCHMARK INFORMATION**  
BENCHMARK NO. 38-52-68  
DESCRIBED BY OCS 2003 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "38-52-68", SET IN THE TOP OF A CONCRETE HEADWALL FOR A 36 IN. CONCRETE PIPE CROSSING UNDER THE ATCHINSON TOPEKA AND SANTA FE RAILWAY. MONUMENT IS LOCATED ALONG THE SOUTHWESTERLY SIDE OF EL CAMINO REAL, 1.85 MILES SOUTHERLY ALONG EL CAMINO FROM THE INTERSECTION OF STATE HIGHWAY 1, 82 FT. SOUTHWESTERLY OF THE CENTERLINE OF EL CAMINO, 354 FT. SOUTHWESTERLY OF MILE POST 8202 AND 9.6 FT. NORTHEASTERLY OF THE NORTHEASTERLY RAIL ALONG THE RAILWAY. MONUMENT IS SET LEVEL WITH THE HEIGHT OF THE  
ROAD ELEVATION: 16.235 FEET (NAVD83), YEAR LEVELED 1989

**TITLE REPORT/EASEMENT NOTES**  
ALL INFORMATION LISTED ON THIS MAP AND/OR PLOTTED HEREON ARE PER A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NUMBER OSA-4823468, DATED JANUARY 22, 2015.

ITEM 3: ANY EASEMENT INTEREST OR ASSERTION OF AN EASEMENT INTEREST WHICH WOULD HAVE BEEN RETAINED BY OWNERS OF LAND LYING WITHIN TRACT 889 WHICH WERE NOT AFFECTED BY TERMINATION OF THE EASEMENT CONTAINED IN THE GRANT DEED RECORDED DECEMBER 31, 1998 IN BOOK 267 PAGE 256 OF OFFICIAL RECORDS BY DOCUMENTS RECORDED FEBRUARY 1, 2001 AS INSTRUMENT NO. 20010059368 AND RECORDED SEPTEMBER 4, 2001 AS INSTRUMENT NO. 20010619020 BOTH OF OFFICIAL RECORDS. QUITCLAIMED PER SAID DOCUMENT.

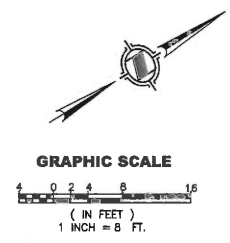
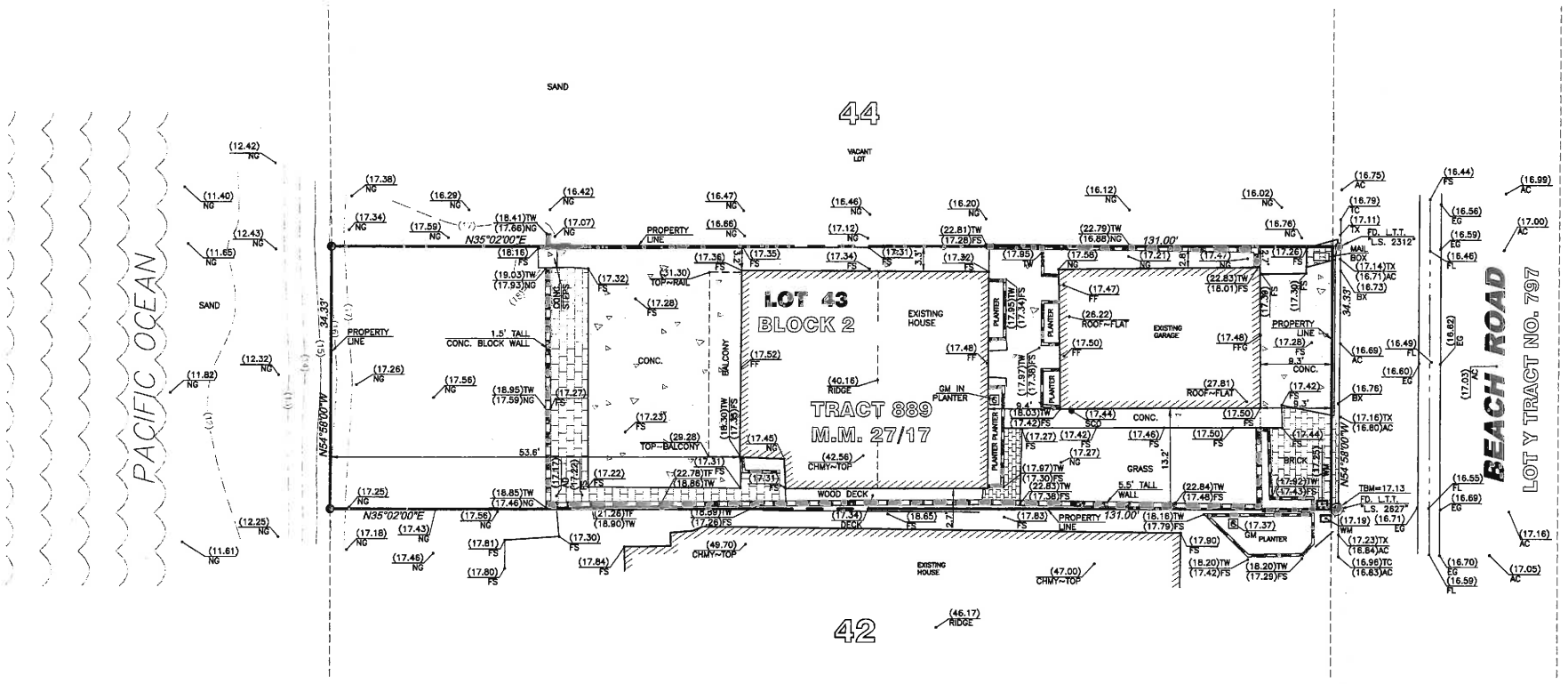
ITEM 4: AN EASEMENT FOR POLE LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JULY 02, 1947 AS BOOK 1530, PAGE 348 OF OFFICIAL RECORDS. BLANKET IN NATURE.



**VICINITY MAP**  
NO SCALE

**SURVEYOR'S NOTES**  
1. THE DISTINCTIVE BOUNDARY SHOWN HEREON WAS PLOTTED PER ON-SITE FIELD OBSERVATIONS. ALL BEARINGS AND DISTANCES ARE MEASURED, UNLESS NOTED OTHERWISE.  
2. SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSETS BEFORE STARTING GRADING.  
PLEASE CALL PAUL CRAFT @ 714-488-5006 TO SCHEDULE.  
3. SURVEYOR TO SUBMIT A "RECORD OF SURVEY" OR "CORNER RECORD" TO THE COUNTY SURVEYOR. EVIDENCE OF SUBMITTAL TO BE SUBMITTED TO THE BUILDING INSPECTOR AT OR PRIOR TO PRE-GRADE MEETING.

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON TRACT NO. 889, M.M. 27/17-21.



PAUL D. CRAFT, P.L.S., 8516  
LICENSE RENEWAL DATE 12/31/16  
DATE 7/17/2015  
NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE WORD CERTIFY OR CERTIFICATION BY A LICENSED LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

PROJECT SURVEYOR		DATE	3/12/2015
SCALE		SCALE	8" = 1'
DRAWN		DRAWN	D. L. N.
CHECKED		CHECKED	P. D. C.
PROJECT		TOPOGRAPHIC MAP	
SHEET NO.		35415 BEACH ROAD	
1 OF 1		CAPISTRANO BEACH, CA 92624	
		(APN: 691-152-06)	