

**CITY OF DANA POINT  
PLANNING COMMISSION  
AGENDA REPORT**

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**DATE:** JULY 13, 2015

**TO:** DANA POINT PLANNING COMMISSION

**FROM:** COMMUNITY DEVELOPMENT DEPARTMENT

**SUBJECT:** COASTAL DEVELOPMENT PERMIT CDP14-0019 AND MINOR SITE DEVELOPMENT SDP14-0029(M) TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4) ZONING DISTRICT ON A COASTAL BLUFF AT 37 MONARCH BAY DRIVE

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**RECOMMENDATION:** That the Planning Commission adopt the attached Draft Resolution approving Coastal Development Permit CDP14-0019 and Minor Site Development Permit SDP14-0029(M).

**PROJECT APPLICANT:** Frank Stolz (Architect)

**PROPERTY OWNER:** Bernie Walsh

**REQUEST:** Approval of Coastal and Minor Site Development Permits to allow the demolition of a single-family dwelling and the construction of a new, single-story, 8,227 square foot, single-family dwelling (including a 2,599 square foot basement) and an attached, 931 square foot, three-vehicle garage, with retaining walls as tall as eight feet on land containing a coastal bluff within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

**LOCATION:** 37 Monarch Bay Drive  
Assessor Parcel Number (APN): APN 670-141-35

**NOTICE:** Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on July 1, 2015, published within a newspaper of general circulation on July 2, 2015, and posted on July 7, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

**ENVIRONMENTAL:**

Pursuant to the California Environmental Quality Act (CEQA), the project is found to be Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling.

**ISSUES:**

- Project consistency with the Dana Point Zoning Code (DPZC) and Local Coastal Program (LCP).
- Project satisfaction of all findings required pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP) and Minor Site Development Permit (SDP).
- Project compatibility with and enhancement of the site and surrounding neighborhood.

**BACKGROUND:** The subject property measures approximately 20,473 square feet (.47 acres) and is located within the Monarch Bay Homeowner's Association (HOA) on land containing a coastal bluff as defined in the Dana Point Zoning Code (DPZC). The lot is presently developed with a 7,473 square foot, single-story, single-family dwelling that would be demolished under the proposed scope of work. The property fronts Monarch Bay Drive to the north, is bordered to the east and west by other residential dwellings and with the aforementioned coastal bluff (and the Pacific Ocean beyond) to the south. Per adopted City maps, the lot is zoned as Residential Single-Family 4 (RSF-4) and located both within the City's Coastal Overlay District (the California Coastal Zone) and the Appeals Jurisdiction of the California Coastal Commission.

**DISCUSSION:** The subject application proposes the demolition of all onsite development and the construction of a new, single-story, 8,227 square foot, single-family dwelling (including a 2,599 square foot basement) and an attached, 931 square foot, three-vehicle garage. The dwelling would contain four bedrooms in addition to several accessory rooms, including an office, gym and basement. Pursuant to standards of the DPZC, height for the dwelling is measured from a point (baseline) 10 feet above the finished floor of the basement, and so for purposes of compliance, the overall height of the structure would be 22 feet six inches to the top of its "flat" roof. As measured from surrounding finished grade, the visible height of the structure would be a maximum of 15 feet.

Proposed architectural design is contemporary, with a horizontal façade utilizing a variety of natural materials, including stone, wood and metal. Habitable portions of the building surround a central courtyard containing outdoor living space (a covered patio and fireplace) and a swimming pool. Exterior improvements within side and front yards

include a mixture of paving materials (flagstone and decomposed granite), landscaping, as well as a single stretch of concrete (CMU) retaining wall to stand a maximum of three feet in height and topped by a five foot fence. The location and height of the proposed retaining wall/fence require approval of a Minor Site Development Permit, detailed elsewhere in this report.

All structures proposed on lots containing a coastal bluff must comply with specific setbacks and development standards as defined in Section 9.27.030 of the DPZC. Per City Zoning Maps, the "default" structure setback from the delineated edge of the coastal bluff is 40 feet, however, a "deviation" to as little as 25 feet is possible when corroborated by geotechnical analysis that illustrates the reduction is both safe and feasible. As applied to the subject property, the submitted analysis shows that foreseen erosion of the bluff over 50 future years, combined with the property's point of stability at a 1.5 factor of safety, dictate a total structure setback of 28 feet from the edge of coastal bluff. The proposed dwelling complies with this recommendation.

Finally, a preliminary landscaping and drainage plan has been submitted which shows a palette comprised of California native and drought tolerant plantings throughout the property. Within the area of the 28 foot structure setback from edge of bluff, all existing irrigation will be removed and a condition of approval has been included in the project's draft resolution that no new irrigation will be permitted. Pursuant to code, all runoff must be directed to the street (and not toward the ocean/edge of bluff). The subject project proposes to meet this requirement via drain inlets and subsequent gravity flow to the street. Compliance with the preliminary landscaping and drainage plans shall be enforced through submittal of final landscaping and grading plans during the property's building permit review process and, after installation of all plants and infrastructure, through written certification by a licensed landscape architect.

#### Coastal Development Permit CDP14-0019

The subject application proposes the demolition of an existing dwelling and the construction of a new single-family dwelling on land containing a coastal bluff within the City's Coastal Overlay District - a scope of work requiring application for a Coastal Development Permit (CDP) pursuant to Section 9.69.040 of the DPZC. Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*

2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Draft findings to approve the CDP request are enumerated in the attached draft resolution.

Minor Site Development Permit SDP14-0029(M)

Pursuant to Section 9.05.120 of the DPZC, where a proposed retaining wall within a side or rear-yard would exceed six feet in height and where the wall would be visible from a right-of-way and/or require grading and the addition of fill, a Minor Site Development Permit (SDP[M]) shall be required. The subject project proposes a new concrete (CMU) retaining wall in the property's northerly side-yard that would stand a maximum of three feet in height and be topped by a five foot tall fence, resulting in a total wall/fence height of eight feet. The CMU portion of the wall would be surfaced with stucco and colored to match the existing dwelling.

Section 9.71.050 stipulates a minimum of four findings for approval of a SDP, requiring:

1. *Compliance of the site design with development standards of this Code.*
2. *Suitability of the site for the proposed use and development.*

3. *Compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines.*
4. *Site and structural design which is appropriate for the site and function of the proposed use(s), without requiring a particular style or type of architecture.*

Draft findings to approve the SDP request are enumerated in the attached draft resolution.

**CORRESPONDENCE:** To date, correspondence has only been received from the Monarch Bay Homeowner's Association (HOA), notifying of that entity's approval of the project as proposed (Attachment 5 - Public Correspondence)

**CONCLUSION:** The subject project is consistent with the policies and provisions of the Dana Point Zoning Code and Local Coastal Program and so staff accordingly recommends the Planning Commission adopt the attached resolution, approving CDP14-0019 and SDP14-0029(M), subject to findings and conditions of approval.

  
Evan Langan, AICP  
Associate Planner  
Ursula Luna-Reynosa, Director  
Community Development Department

**ATTACHMENTS:**

**Action Documents**

1. Draft Planning Commission Resolution No. 15-07-13-xx

**Supporting Documents**

2. Vicinity Map
3. Site Photos
4. Project Plans (architectural only)
5. Public Correspondence

**RESOLUTION NO. 15-07-13-xx**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA APPROVING COASTAL DEVELOPMENT PERMIT CDP14-0019 AND MINOR SITE DEVELOPMENT SDP14-0029(M) TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING, WITHIN THE RESIDENTIAL SINGLE-FAMILY 4 (RSF-4) ZONING DISTRICT ON A COASTAL BLUFF AT 37 MONARCH BAY DRIVE**

**Applicant: Frank Stolz (Architect)  
Owner: Bernie Walsh**

The Planning Commission of the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for a Coastal Development Permit and Minor Site Development Permit to allow the demolition of an existing dwelling and the construction of a new single-family dwelling and accessory development at 37 Monarch Bay Drive (APN 670-141-35); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 13<sup>th</sup> day of July, 2015 hold a duly noticed public hearing as prescribed by law to consider said requests; and

WHEREAS, at said public hearing, upon considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP14-0019 and Minor Site Development Permit SDP14-0029(M).

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows.

- A. The above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP14-0019 and SDP14-0029(M) subject to conditions:

Findings:

Coastal Development Permit CDP14-0019

1. That the proposed project is consistent with the Dana Point General Plan and Local Coastal Program in that the site and architectural design of proposed improvements further Urban Design Element Goal No. 2 (*"Preserve the individual positive character and identity of the City's communities"*) by effecting new, aesthetically pleasing development of the subject property in a manner that is both compatible and complementary to surrounding structures. The proposed project would also further Conservation/Open Space Element Goal 2 Policy 2.11 which states that development shall *"Preserve Dana Point's bluffs as a natural and scenic resource and avoid risk to life and property through responsible and sensitive bluff top development, including, but not limited to, the provision of drainage which directs runoff away from the bluff edge and towards the street, where feasible, and restricting irrigation and use of water-intensive landscaping within the setback area to prevent bluff erosion,"* by incorporating the use of drought tolerant vegetation and drainage design that captures and diverts site runoff to the street and so minimizing bluff erosion. All development proposed is permissible in the City's Certified Local Coastal Program (LCP) and City review of the project finds the proposal to be compliant with standards of development.
2. That the proposed development is located within the Coastal Overlay District and is in conformity with the public access and recreation policies of Chapter Three of the Coastal Act in that the proposed development would not alter existing public access or public recreation areas in the vicinity.
3. That the proposed development conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) in that the subject project qualifies for a Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) as it proposes the construction of a single, new residential dwelling.
4. That the proposed development will not encroach upon any existing physical access-way legally utilized by the public or any proposed public access-way identified in an adopted Local Coastal Program Land Use Plan, nor will it obstruct any existing public views to and along the coast from any public road or from a recreational area in that the subject

**project proposes to construct a new single family dwelling located where no public access-way exists and so would not result in impacts to public access or public views of and along the coast.**

5. That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas and will provide adequate buffer areas to protect such resources **in that while the property's coastal bluff is cited as an environmentally sensitive area (ESA) by the City's General Plan, the project would be constructed on an already developed portion of the property not containing ESA. Moreover, the prescribed project setback from edge of bluff, recommended by a qualified geotechnical expert and corroborated by City engineers, coupled with Code requirements regarding landscaping and placement of irrigation, will serve as a protective buffer for existing ESA, namely, the property's coastal bluff.**
6. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards **in that the proposed, new dwelling will be constructed on an already developed portion of the lot, minimizing required grading and set back to a distance from the edge of the property's coastal bluff that incorporates foreseen bluff erosion over the next 50 years. This design and project location have been analyzed by both third-party and City geotechnical experts, found to be both safe and appropriate, and will not result in undue risks from geologic and erosional forces. Finally, the proposed development will be constructed in conformance with applicable regulations for flood and fire hazards, minimizing undue risks from flood, fire or other hazards.**
7. That the proposed development will be visually compatible with the character of surrounding areas and, where feasible, will restore and/or enhance visual quality **in that the architectural style and overall form of the new dwelling would be consistent with other residential structures in the surrounding neighborhood and throughout the City.**
8. That the proposed development will conform to the General Plan, Zoning Code, Local Coastal Program, applicable Specific Plan(s), or other, applicable adopted plans and programs **in that the proposed project has been reviewed by the Planning and Building/Safety Divisions, as well as the Public Works/Engineering Department for**



**conformance with applicable documents and, subject to conditions of approval, has been found consistent.**

**Minor Site Development Permit SDP14-0029(M)**

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code in that the **proposed retaining wall in the property's westerly side-yard will be located and designed to minimize potential visual impacts through the use of finish materials matching those of the proposed dwelling and; the wall would be positioned in a manner so as not to be visible from public views.**
2. That the site is suitable for the proposed use and development in that **the proposed retaining wall is permitted development subject to approval of this SDP(M). The wall is intended to provide site stability in the property's westerly side-yard, while simultaneously allowing through-access from the front of the lot to the rear and so will afford the owner safe development and use of the property in accordance with the City's General Plan and Zoning Code.**
3. That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines in that **the proposed retaining wall will incorporate finishes consistent with the proposed dwelling and will not be visible from surrounding properties or views from the coast below.**
4. That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, in that **the proposed retaining wall will facilitate site stability while retaining side-yard access to the interior of the property. Retaining walls are permitted development in the property's RSF-4 Zoning District subject to approval of a SDP(M) and the structure would be of a design, colors and materials that are compatible with existing, surrounding development.**

Conditions:

**A. General:**

1. Approval of this application permits the demolition of all existing onsite development and the construction of a new, single-story, 8,227 square foot, single-family dwelling (including a 2,599 square foot basement) and an attached, 931 square foot, three-vehicle garage at 37 Monarch Bay Drive. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point Specific Plan and Zoning Code.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal

boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

6. The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
7. The applicant and owner, and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
8. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
9. A grading permit shall be obtained prior to any work including demolition activities.
10. An Encroachment Permit shall be obtained prior to any work within the City Right-of-Way.
11. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation. The applicant shall provide erosion control measures of a type, size and location as approved by the Director of Public Works. The erosion control measures shall be shown and specified on the grading plan and shall be constructed to the satisfaction of the Director of Public Works prior to the start of any other grading operations. Prior to the removal of any erosion control devices so constructed, the area served shall be protected by additional drainage facilities and slope erosion control measures as required by the Director of Public Works. The applicant shall maintain erosion control devices until the Director of Public Works

approves of the removal of said facilities.

12. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
13. The applicant shall be responsible for coordination with water district, sewer district, SDG&E, AT&T California and Cox Communication Services for the provision of water, sewer, electric, telephone and cable television/internet services.
14. The applicant, property owner or successor in interest shall prepare a Waste Management Plan to the City's Construction and Demolition (C&D) Official per the Dana Point Municipal Code. A deposit will be required upon approval of the Waste Management Plan to ensure compliance. The Waste Management Plan shall indicate the estimated quantities of material to be recycled and the locations where the material is to be taken for recycling. Said plan shall be reviewed and approved by the City's C&D Compliance Official prior to issuance of any permits.
15. The applicant shall submit payment for any and all applicable development impact fees prior to issuance of a building permit.
16. All damaged curb, gutter, and sidewalk shall be removed and replaced along the entire frontage of the subject property per the City Engineer.

**B. Prior to Issuance of a Grading Permit**

17. The applicant shall execute the City's standard deed restriction or one prepared by the owner(s) and submitted for review and approval by both the Planning Division and the City Attorney. The deed restriction shall stipulate the following:
  - *That the applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards;*
  - *That the owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such hazards;*
  - *That the owner(s) assume all liability for damages incurred as a result of any required off-site grading.*

The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.

18. The applicant shall submit a grading plan that complies with City standards for review and approval by the Director of Public Works. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's Plan Check Policies, City of Dana Point Municipal Code and Grading Manual, as well as the City's Municipal Separate Storm Sewer Systems (MS4s) Permit.
19. The applicant shall submit for review and approval, a geotechnical report which complies with all City standards.

**C. Prior to Building Plan Check Submittal and/or prior to Issuance of a Building Permit or release on certain related inspections:**

20. The applicant shall complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
21. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-foot to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
22. An as-graded geotechnical report shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and re-compaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the

recommendations of the preliminary geotechnical report.

23. All documents prepared by a professional shall be wet-stamped and signed.
24. Prior to issuance of a building permit for the project, the applicant shall submit for review and approval by the Planning and (if applicable) Building/Safety Divisions, a Final Landscaping Plan that complies with the standards of the Dana Point Zoning Code, the preliminary landscaping plan approved by the Planning Commission and illustrates compliance with the following:
  - ▶ *All plantings proposed and planted within 28 feet from the delineated edge of the property's coastal bluff shall be of a variety that is both native to California and drought tolerant to the satisfaction of the Planning Division.*
  - ▶ *All existing irrigation located within the property's 28 foot structure setback from edge of bluff shall be removed and, no new irrigation within this area shall be proposed or permitted.*
  - ▶ *No more than 50 percent of the area of the 28 foot structure setback from the property's edge of bluff shall be comprised of hardscape.*
25. Any proposed changes to landscaping within the property's setback from edge of bluff, either under this or a future discretionary request shall be subject to review/approval by the Planning Division.
26. Building plan check submittal shall include four sets of the following construction documents:
  - *Building Plans*
  - *Energy calculations*
  - *Structural Calculations*
  - *Soils/Geology Report*
  - *Drainage Plan*
27. Project approval from the Orange County Fire Authority (OCFA) is required. The applicant shall three sets of building plans directly to that agency for review and approval.
28. Fire sprinklers shall be required for this project and be illustrated in submitted structural or other plans as required by the Building Official and/or the CA Building Code.

29. All improvements authorized under this approval shall comply with 2013 CA Code of Regulations, Parts 1 - 12 and any local amendments thereto as well as with 2013 T-24 Energy Conservation Regulations.
30. All onsite utilities shall be undergrounded.
31. The foundation system shall provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise.
32. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP14-0019. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil engineer/surveyor and be delivered to the City of Dana Point Building and Planning Divisions for review and approval.
33. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP14-0019. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of permit issuance, prepared by a licensed civil surveyor and be delivered to the Building and Planning Divisions for approval before release of final roof sheathing is granted.

**D. Prior to issuance of a Certificate of Occupancy**

34. The applicant shall execute the City's standard deed restriction or, if prepared by the owner(s), shall be submitted for review and approval by both the Planning Division and the City Attorney. The deed restriction shall stipulate the following:
  - *That the applicant understands that the subject site is subject to bluff retreat and that the owner(s) assumes the liability from these hazards;*
  - *That the owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such hazards;*

- *That the owner(s) assume all liability for damages incurred as a result of any required off-site grading.*

The deed restriction shall be recorded, free of prior liens, to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney.

35. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
36. A written approval by the Geotechnical Engineer of Record shall be provided to both the Public Works/Engineering Department and to the Project Planner stipulating that all grading has been completed in conformance with the approved grading plan. Until this approval has been received and approved, no final inspections of the property/project will be conducted by either Public Works or Planning Division staffs.
37. A written approval by the Civil Engineer of Record approving grading, as well as line and grade for all engineered drainage devices and retaining walls, as being in conformance with the approved grading plan shall be provided to the Public Works/Engineering Department for approval.
38. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record and submitted to the Public Works/Engineering Department for review and approval.
39. The applicant shall submit to the Project Planner, a wet-stamped and signed certification from a licensed landscape architect stipulating that all landscaping was installed in conformance with the project's final landscaping plan. This certification shall be submitted and approved prior to final inspection of the project by the Project Planner (Planning Division).
40. All permanent Best Management Practice (BMP) features shall be installed and approved by either the project Landscape Architect or the Civil Engineer of Record.
41. All structural BMPs shall be constructed and installed in conformance with approved plans and specifications.



42. The applicant shall schedule a final inspection with the Project Planner (Planning Division) that shall include a review of final landscaping, finished architecture and materials as well as compliance with any outstanding project conditions of approval.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13<sup>th</sup> day of July, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
April O'Connor, Chairperson  
Planning Commission

ATTEST:

\_\_\_\_\_  
Ursula Luna-Reynosa, Director  
Community Development Department



City of Dana Point  
**CDP14-0019 and SDP14-0029(M)**  
Evan Langan, AICP, Associate Planner  
Community Development Department  
33282 Golden Lantern  
Dana Point, CA 92629-1805

## VICINITY MAP

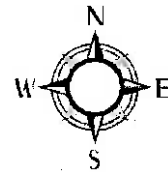
PACIFIC COAST HIGHWAY



**Project :** CDP14-0019 and SDP14-0029(M)

**Project Applicant:** Frank Stolz

**Location:** 37 Monarch Bay Drive

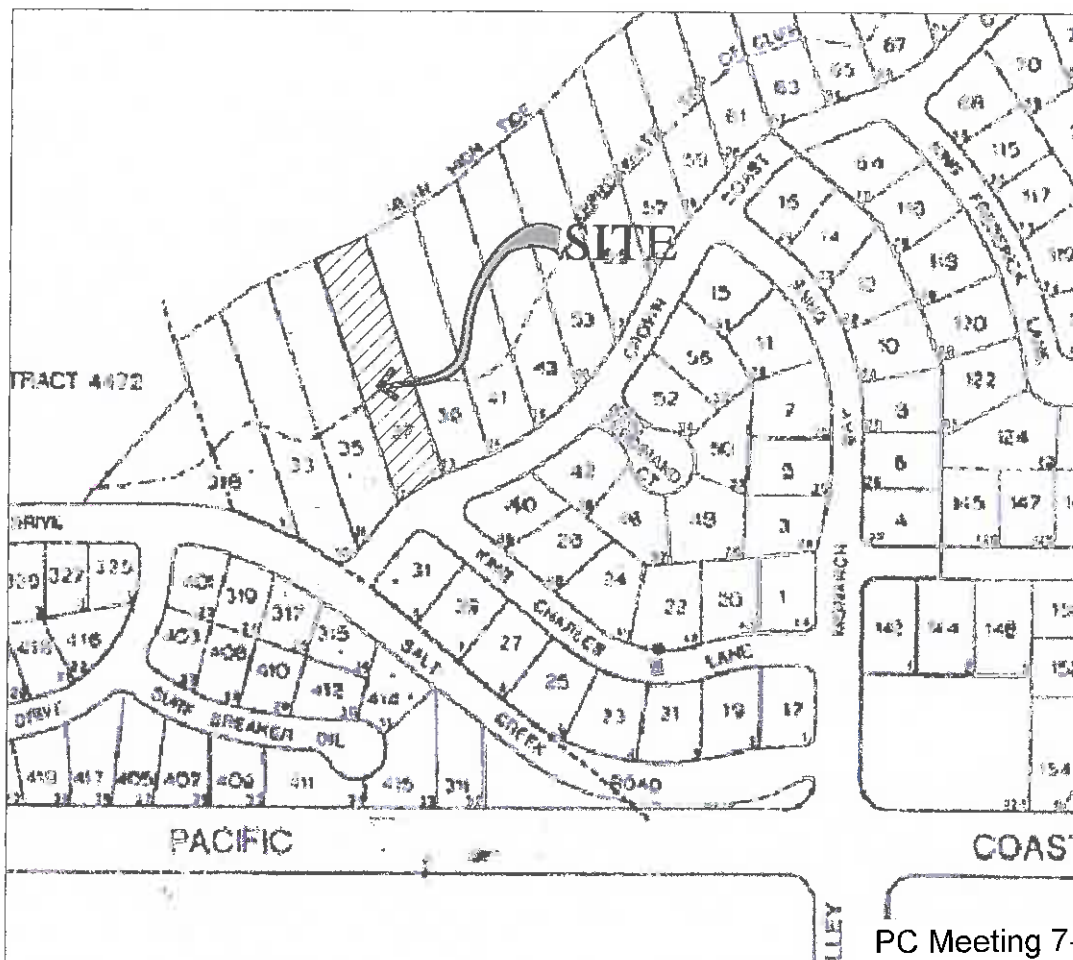


RECEIVED

AUG 21 2014

CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT

## PHOTOGRAPHIC LOG OF EXISTING CONDITIONS



PC Meeting 7-13-2015  
Item #3  
Supporting Document #3

# Walsh Residence

37 Monarch Bay Dr.- Dana Point CA

# EXISTING CONDITIONS

37 Monarch Bay Dr.



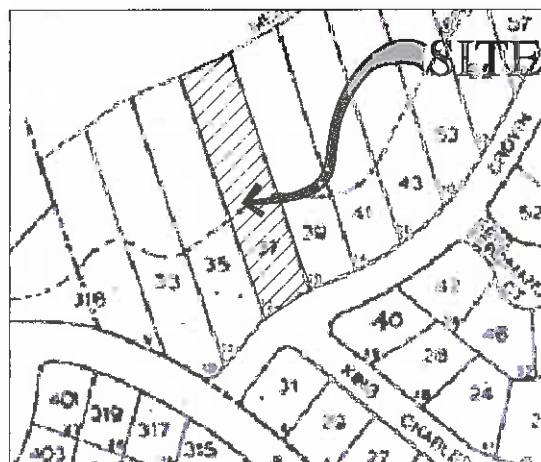
FRONT- STREET VIEW



FRONT- YARD VIEW



REAR- YARD VIEW



**W a l s h   R e s i d e n c e**

37 Monarch Bay Dr.- Dana Point CA

# EXISTING CONDITIONS

39 Monarch Bay Dr.



FRONT- STREET VIEW



SIDE- FRONT YARD VIEW



SIDE- REAR YARD VIEW



W a l s h R e s i d e n c e

37 Monarch Bay Dr.- Dana Point CA

# EXISTING CONDITIONS

35 Monarch Bay Dr.



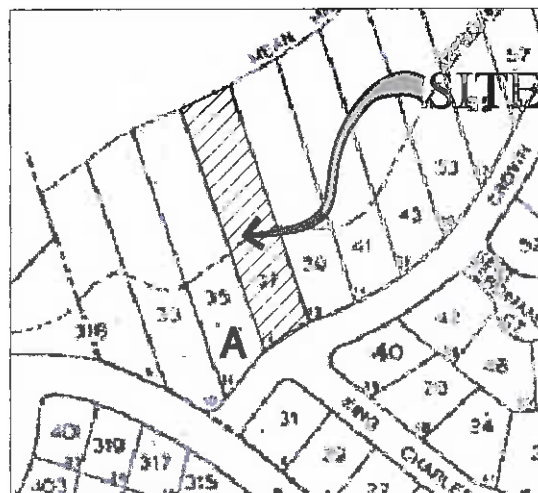
FRONT- STREET VIEW



SIDE- FRONT YARD VIEW



SIDE- REAR YARD VIEW



**W a l s h R e s i d e n c e**

37 Monarch Bay Dr.- Dana Point CA



# EXISTING CONDITIONS

FRONT- ACROSS THE STREET

A-31 Monarch Bay Dr.

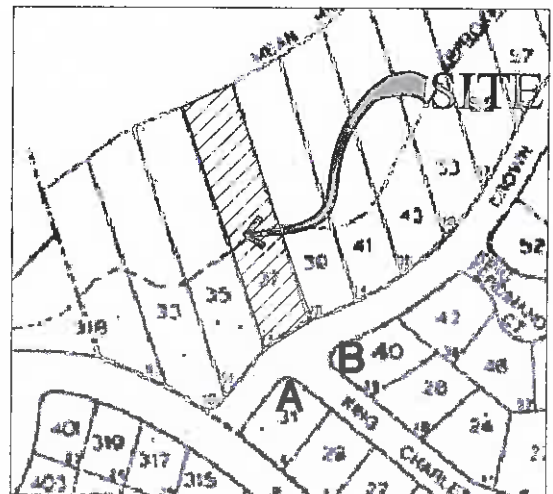


FRONT- STREET VIEW

B-40 Monarch Bay Dr.



FRONT- STREET VIEW



RECEIVED  
JUL 06 2015  
CITY OF DANA POINT  
COMMUNITY DEVELOPMENT  
DEPARTMENT

## CODE ANALYSIS

**PROJECT TYPE:** SINGLE FAMILY DETACHED RESIDENCE  
NEW CONSTRUCTION

**APPLICABLE CODES:** 2010 CALIFORNIA RESIDENTIAL CODE  
INEX) 2010 CALIFORNIA RESIDENTIAL CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE  
CITY OF DANA POINT MUNICIPAL CODE

**CONSTRUCTION TYPE:** TYPE V-B

**OCCUPANCY:** RESIDENCE: R3  
GARAGE: U1

**PROJECT DESCRIPTION:** NEW ONE STORY SINGLE FAMILY DETACHED RESIDENCE  
ALONG W/ A CENTRAL COURTYARD W/ POOL AND A  
BASEMENT W/ RECORDING STUDIO. SPA AT THE REAR  
YARD.  
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM  
THROUGHOUT THE BUILDING. WILL BE INSTALLED AS  
PER R310.2

## PROJECT DATA

**PROJECT ADDRESS:** 37 MONARCH BAY DRIVE  
DANA POINT, CA

**LEGAL DESCRIPTION:** LOT 12 OF TRACT MAP # 3859, BOOK 135  
PAGES 37-40 OF MISCELLANEOUS MAPS IN THE  
OFFICE OF COUNTY OF ORANGE, CALIFORNIA

**PARCEL:** A.P.N. 67D-141-35

**LOT COVERAGE:** % LOT

TOTAL LOT AREA : 20,473 S.F.

LOT OCCUPATION : 35%

**SQUARE FOOTAGE:**

BASEMENT :  
RECORDING STUDIO : 2,251 S.F.  
MECHANICAL : 646 S.F.  
TOTAL BASEMENT AREA : 2,897 S.F.

FIRST FLOOR : 5,928 S.F.  
GARAGE : 931 S.F.  
TOTAL FIRST FLOOR ENCLOSED AREA : 6,859 S.F.

COVERED FOYER : 185 S.F.  
OUTDOOR COVERED 1 : 222 S.F.  
OUTDOOR COVERED 2 : 630 S.F.  
1,037 S.F.

TOTAL ENCLOSED AREA : 7,896 S.F.

## PROJECT TEAM

**WALSH RESIDENCE**

**OWNER**  
BERNIE & CANDAS WALSH  
WALBERN INVESTMENTS USA, LLC  
SIGNATURE AUTHORITY: BERNIE J. WALSH  
28 MONARCH BAY PLAZA SUITE 101  
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**BUILDER**  
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(949) 363-1113 fax  
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**ARCHITECT**  
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19 CORPORATE PLAZA, SUITE 210  
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**STRUCTURAL ENGINEERING**  
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**LANDSCAPE ARCHITECT**  
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**CIVIL ENGINEERING**  
ROBIN B. HAMERS & ASSOCIATES, INC.  
234 E. 17TH ST. SUITE 205  
COSTA MESA, CA 92627  
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**GEOTECHNICAL ENGINEER**  
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carl@scgeo.com

**TOPOGRAPHIC ENGINEERING**  
TOAL ENGINEERING, INC.  
139 AVENIDA NAVARRO  
SAN CLEMENTE, CA 92672  
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(949) 548-5516 fax  
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**MECHANICAL / PLUMBING / ELECTRICAL**  
PRO ENGINEERING  
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VISTA, CA 92081  
(858) 240-4336 phone  
ramin@proengineeringconsulting.com  
ray@proengineeringconsulting.com

**ENERGY / T-24**

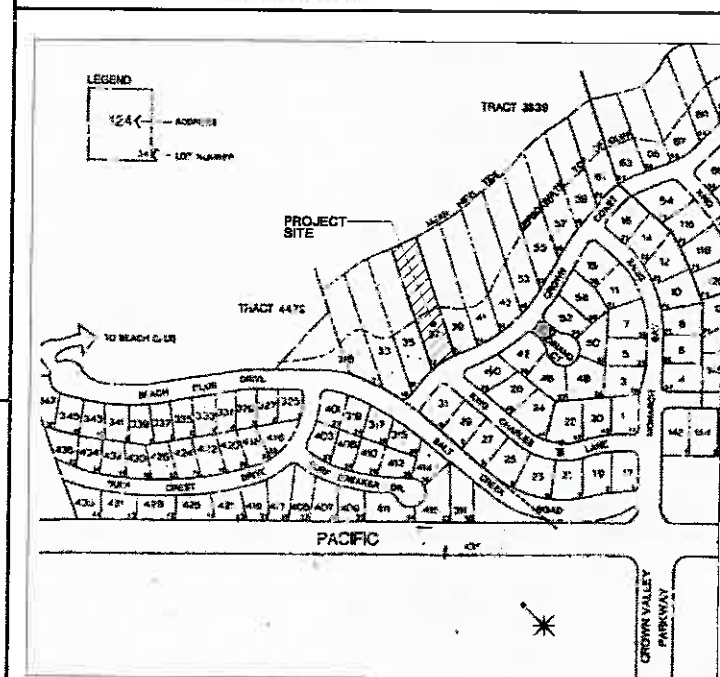
**SOUND ENGINEERING**  
KAUFMAN & ASSOCIATES  
5832 BURNET AVE.  
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SHERMAN OAKS, CA 91411  
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jay@kaufmandassociates.net

**INTERIOR DESIGNER**  
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SCOTTSDALE, AZ 85260  
(480) 478-8652 phone  
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elysias@charlesgloverinteriors.com

## SHEET INDEX

SHEET #	DESCRIPTION
T-1	SHEET INDEX- GENERAL NOTES
ASP	SITE PLANS
01	ARCHITECTURAL SITE
02	PRELIMINARY GRADING / DRAINAGE PLAN
102	PRELIMINARY GRADING / DRAINAGE PLAN
102	TOPOGRAPHIC SURVEY
A11	DEVELOPMENT PLANS
A12	FIRST FLOOR DIMENSION PLAN
A13	BASEMENT FLOOR DIMENSION PLAN
A14	ROOF PLAN
A20	EXTERIOR ELEVATIONS
A21	EXTERIOR ELEVATIONS/SECTIONS
A22	SECTIONS
1	SCHEMATIC LANDSCAPE PLAN
2	LANDSCAPE DEVELOPMENT PLAN

## LOCATION MAP



**REVISIONS**

12.17.14 - PLANNING  
CORRECTION

02.16.15 - PLANNING  
CORRECTION

05.05.15 - PLANNING  
CORRECTION

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**Walsh Residence**  
37 Monarch Bay Dr.  
Dana Point, CA  
JOB #14001

**SCA**  
**SOUTH COAST**  
**ARCHITECTS, INC.**  
13 Corporate Plaza, Suite 100  
Newport Beach, California 92660  
(949) 720-7022

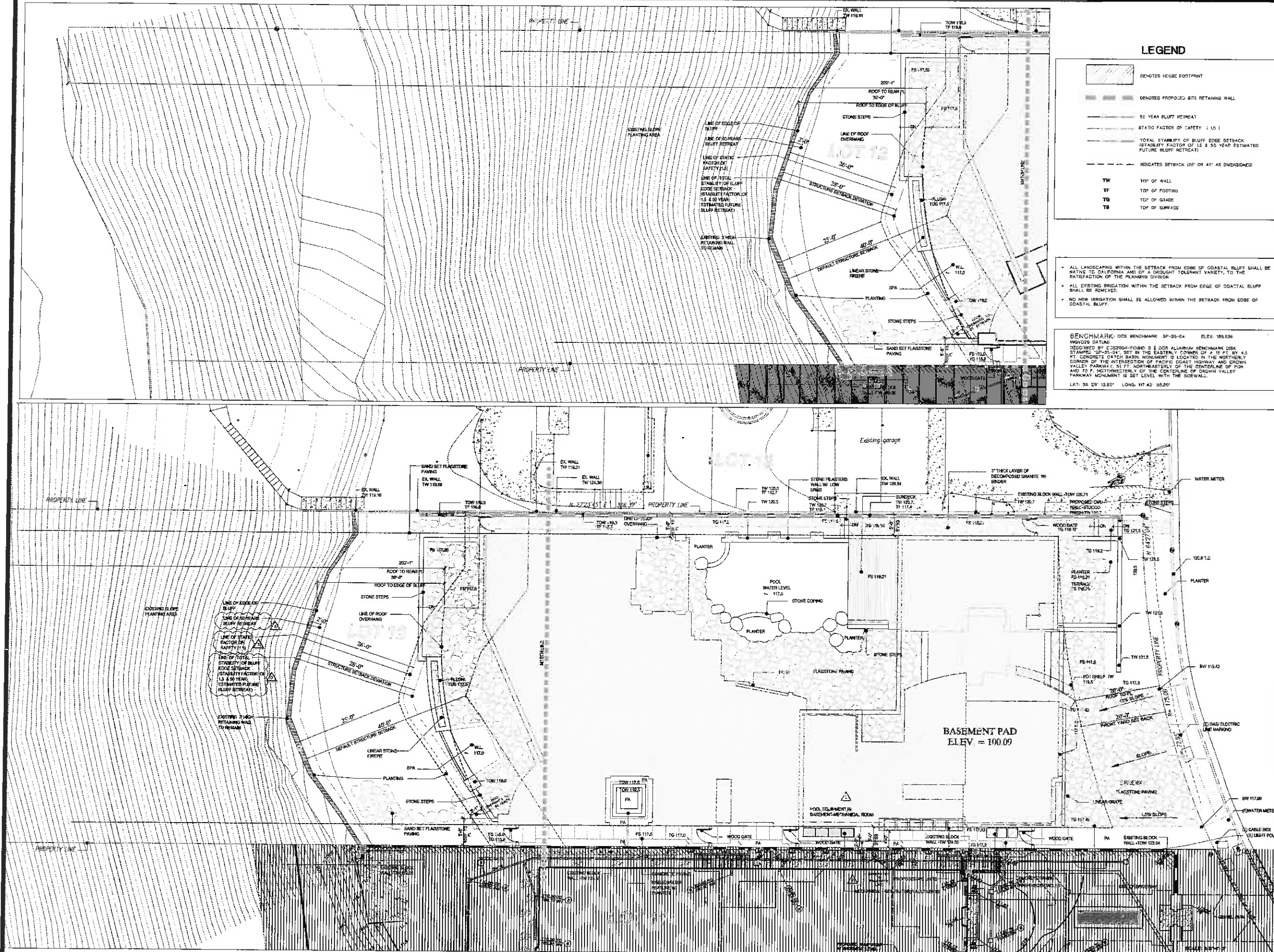
**INDEX SHEET**

0-24409  
7/31/15  
SOUTH COAST ARCHITECTS, INC.

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WALSH RESIDENCE  
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14001  
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T1





**Walsh Residence**  
37 Monarch Bay Dr.  
Dana Point, CA  
JOB. #14001

ARCHITECTURAL  
SITE PLAN

Drawn By: SCA  
Date: 11.04.14  
Scale: 1/8"=1'-0"  
Job: WALSH RESIDENCE  
Job No.: 14001

ASP

PRELIMINARY GRADING PLAN FOR THE WALSH RESIDENCE 37 MONARCH BAY DRIVE, DANA POINT, CA

1. GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE OBTAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERRED TO ON PLANS, A COPY OF ORANGE COUNTY ROAD STANDARD PLANS SHALL ALSO BE OBTAINED ON THE SITE.

2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE COMPLETED AT THIS MEETING.

3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.

4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.

5. RETAINING WALLS AND/OR EROSION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED BY THE GRADING PERMITTEE. A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.

6. THE GRADING PERMITTEE AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.

7. PRELIMINARY SOIL AND GEOTECHNICAL REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.

8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.

9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.

10. FILLS SHALL BE BLENDED INTO COMPACTED MATERIAL PER ORANGE COUNTY ROAD STANDARD PLAN NO. 1302.

11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER LEAKING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND, TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SURFING FLOW. IF NEEDED, SUBDRAINAGE WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.

12. SUBDRAINAGE OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAINAGE CONSTRUCTION.

13. THE EXACT LOCATION OF THE SUBDRAINAGE SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-BUILT PLANS.

14. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER ON HIS DESIGNEE PRIOR TO PLACING FILL.

15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.

16. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 703 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 703 OR APPROVED EQUIVALENT.

17. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.

18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH BEFORE AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY GEOLOGICAL PROBLEMS EXIST, SUCH AS EXCAVATION DISLOSURE, POTENTIAL GEOTECHNICAL HAZARDS, OR POTENTIAL GEOTECHNICAL HAZARDS. THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.

19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CORRECT THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.

20. WHEN CUT AREAS ARE INSTANTLY REVEALED, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE REVEALS ARE EXTENSIVELY FRACTURED OR CRACKED AND WILL READILY TRANSMIT WATER. IF NECESSARY, THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.

21. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 8.0.0.0.

22. ANY EXISTING DRAINAGE LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.

23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6287 OR 714-433-6288). A PERMIT IS REQUIRED.

24. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.

25. STOPPING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO DEPOSITION.

26. EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (CDD) ORDINANCE (MUNICIPAL CODE SECTION 4.02). A VALID CDD APPLICATION MUST APPROVE AND BE FILED WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.

27. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAIL BOXES WHEN AN EXCESS OF 5000 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC HIGHWAYS (SECTION 8.0.0.0 OF THE GRADING CODE).

28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.

29. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJACENT LOTS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJACENT PROPERTY. THE NOTICE SHALL STATE THE EXTENT OF THE EXCAVATION WHEN THE EXCAVATION WHEN THE COMMENCE. THE ADJACENT OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.

30. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED NECESSARY BY SOLUBLE SULFATE-CONTAINING TESTS CONDUCTED BY THE SOIL ENGINEER.

31. SLOPES EXCEEDING 5 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED EROSION CONTROL SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.

32. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL. HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGES DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.

33. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

34. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJACENT PROPERTIES DURING GRADING.

36. GRADING AND EQUIPMENT OPERATIONS WITHIN ONE-HALF MILE OF A STRUCTURE FOR HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 8:00 P.M. AND 7:00 A.M. NOR ON SATURDAYS, SUNDAYS AND CITY OF DANA POINT RECOGNIZED HOLIDAYS.

37. A. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, EXCEPT FOR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED BURNERS.

38. B. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODED ORDINANCE DIVISION 6 (NOISE CONTROL).

39. C. STOPPING LINE AND/OR VEHICLE STANDING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.

40. GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS. ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE 7-4, HIGH WINDS ARE DEFINED AS 10 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

41. ASPHALT SECTIONS MUST BE PER CODE: PARKING LOTS + 3 A/C OVER 10' (COMM.) 12' (INDUSTRIAL) OR: PRIOR TO ROAD GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PRELIMINARY SECTION RECOMMENDATIONS BASED ON 1/2" VERTICAL ANALYSIS OF THE SUB-GRADING SOILS AND EXPECTED TRAFFIC INDICES.

42. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY ROAD STANDARD PLAN NO. 1302.

43. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY ROAD STANDARD PLAN NO. 1304.

44. ROOF BUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF BUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.

45. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STATE, SET AT THE CENTER OF EACH OF THE PAVED AREAS FOR PRELIMINARY PERMITS AND A BLUE TOP WITH WITNESS STATE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE POINT ELEVATION FOR RETAINMENT PERMITS.

46. ROUGH GRADE CERTIFICATION FROM THE ENGINEER OF WORK AND THE GEOTECHNICAL ENGINEER OF WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

47. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.

48. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.

49. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.

50. THE COMPLETION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE INITIAL DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRYING OVEN, OR NUCLEAR AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.

51. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER OF WORK AND THE GEOTECHNICAL ENGINEER OF WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

52. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING FILL, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND ACTION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.

53. SURVEY MEASUREMENTS SHALL BE PRESERVED AND REPRESENTED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8.0.0.0 OF THE BUSINESS AND PROFESSIONAL CODE.

2. EROSION CONTROL

1. BASED ON THESE SHEETS FOR EROSION CONTROL, ARE GENERAL NOTES, STANDARDS AND GUIDELINES FOR THE IMPLEMENTATION OF EROSION, SILTATION AND SEDIMENT CONTROL AND OTHER BEST MANAGEMENT PRACTICES (BMPs) PROPOSED FOR THIS PROJECT. HOWEVER, THE OVERALL GOAL IS THAT ANY WATER THAT LEAVES THE SITE BE FREE AND CLEAR OF POLLUTANTS AT A RATE THAT DOESN'T CAUSE DOWN STREAM EROSION. THE CITY MAY REQUIRE ADDITIONAL BMPs AT ANY TIME TO ACHIEVE THAT GOAL.

2. EROSION CONTROL NOTES

1. IN THE CASE EMERGENCY WORKS REQUIRED, CONTACT BUREAU OF PUBLIC WORKS AT PHONE NUMBER 949-440-2827.

2. ALL BUILDING PADS TO BE DRAINED AND THE DRAINAGE MAINTAINED TO PREVENT WATER FROM FLOWING FROM THE PAD UNTIL THE STREETS AND DRIVEWAYS ARE PAVED AND WATER CAN FLOW FROM THE PADS WITHOUT CAUSING EROSION OR CONSTRUCT DRAINAGE FACILITIES TO THE SATISFACTION OF THE CITY OF DANA POINT THAT WILL ALLOW WATER TO DRAIN FROM THE PAD WITHOUT CAUSING EROSION.

3. TOPS OF ALL SLOPES TO BE ADDED OR TRENCHED TO PREVENT WATER FROM FLOWING OVER THE CREST OF SLOPES.

4. MANUFACTURED SLOPES AND PADS SHALL BE BOUNDARIED VERTICALLY AND HORIZONTALLY AS APPROPRIATE TO BLEND WITH THE SUBSURROUNDING TOPOGRAPHY.

5. AS SOON AS CUTS OR EMBANKMENTS ARE COMPLETED, BUT NOT LATER THAN OCTOBER 1, ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITH A HYDROMULCH MIXTURE OR AN EQUAL TREATMENT APPROVED BY THE CITY OF DANA POINT BETWEEN OCTOBER 1 AND APRIL 30. APPROVED SLOPE PROTECTION MEASURES SHALL PROCEED IMMEDIATELY BEHIND THE EXPOSURE OF CUT SLOPES AND/OR THE CREATION OF EMBANKMENT SLOPES.

6. CATCH BASINS, DESILTING BASINS, STORM DRAIN SYSTEMS AND ANY OTHER REQUIRED BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY OF DANA POINT.

7. SAND OR GRAVEL BAG CHECK DAMS TO BE PLACED IN A MANNER APPROVED BY THE CITY OF DANA POINT IN UNPAVED STREETS WITH GRADIENTS IN EXCESS OF 2% AND ON OR IN OTHER GRADES OR EXCAVATED AREAS AS REQUIRED BY THE CITY OF DANA POINT.

8. THE DEVELOPER TO MAINTAIN THE PLANTING AND EROSION AND SEDIMENTATION CONTROL MEASURES DESCRIBED ABOVE UNTIL RELIEVED OF THE SAME BY THE CITY OF DANA POINT. THE DEVELOPER TO REMOVE ALL SOIL INTERFERED BY THE SANDWASHES, BAGS, CATCH BASINS AND THE DESILTING BASINS AND OTHER MAPS, AND KEEP THESE FACILITIES CLEAN AND FREE OF SILT AND SAND AS DIRECTED BY THE CITY OF DANA POINT. THE DEVELOPER SHALL REPAIR ANY ERODED SLOPES AS DIRECTED BY THE CITY OF DANA POINT.

9. BMPs SHOWN ON PLANS SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PUBLIC WORKS INSPECTOR.

10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRAFFIC ON/TO AREAS WHERE EROSION CONTROL MEASURES ARE IN PLACE.

11. ALL DRAINAGE BASINS SHALL BE BUILT UP WITH 1/2" INCH AGGREGATE, CLEAN AND FREE OF CLAY, ORGANIC MATTER AND OTHER DESTRUCTIVE MATERIAL.

12. SLOPES OF EMBANKMENTS OF HYDROMULCH SLOPES MUST BE STABILIZED PRIOR TO PLACING FILL. THE SLOPES SHALL BE STABILIZED BY PUNCH STAMP.

3. SILTATION AND SEDIMENT CONTROL MEASURES:

1. THE SEDIMENT BASINS SHALL BE PROVIDED AT THE LOWER END OF EVERY DRAINAGE AREA PRODUCING SEDIMENT RUNOFF. THE BASINS SHALL BE MAINTAINED AND CLEARED TO DESTROY CONTAMINANTS AFTER EVERY RUNOFF PRODUCING STORM. THE BASINS SHALL BE SECURE PERMANENT STRUCTURES THAT WORK REMAIN UNTIL SOIL STABILIZING VEGETATION HAS BECOME WELL-ESTABLISHED ON ALL ERODIBLE SLOPES. SEDIMENT BASINS MUST BE DESIGNED IN ACCORDANCE WITH SECTION 4 OF THE STATE OF CALIFORNIA RULES, GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES (GENERAL PERMIT), WHEN APPLICABLE. FOR PROJECTS NOT SUBJECT TO THE GENERAL PERMIT, DESIGN SHALL BE IN ACCORDANCE WITH THE CITY'S GRADING AND EROSION CONTROL ORDINANCE.

2. SEDIMENTATION BASINS MAY NOT BE REMOVED OR MADE INOPERATIVE WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.

3. SLOPES OR STORM DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHOULD BE PLUNGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE.

4. ALL UTILITY TRENCHES SHALL BE BARRICADED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS WITH A TOP ELEVATION TWO SANDBAGS BELOW THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH LAPPED JOINTS. THE INTERVALS PRESCRIBED BETWEEN SANDBAGS BARRICADES SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE BUT NOT TO EXCEED THE FOLLOWING:

GRADE OF THE STREET: LESS THAN 2% AS REQUIRED: 25 TO 40% 10 FEET 45 TO 60% 20 FEET OVER 60% 25 FEET

5. AFTER SEED UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE PLUNGED SAFELY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREAS BEHIND THE BACKFILL. PROVIDE FLOW DIRECTION FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.

6. ALL BUILDING PADS SHOULD BE SLOPED TOWARDS THE DRIVEWAYS AND VELOCITY CHECK DAMS PROVIDED AT THE BASE OF ALL DRIVEWAYS DRAINING INTO THE STREET.

7. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL: LESS THAN 2% 10 FEET 25 TO 40% 20 FEET OVER 40% 25 FEET

8. PROVIDE VELOCITY CHECK DAMS IN ALL PAVED STREET AREAS ACCORDING TO RECOMMENDED CRITERIA INDICATED ON THE ENCLOSED GRAPH. INSTALLED SANDBAG BARRICADES FOR EROSION CONTROL, CROWNED STREETS VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, GRAVEL BAGS, TIMBER OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE CITY ENGINEER, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE VELOCITY CHECK DAMS. ALSO PROVIDE VELOCITY CHECK DAMS TO PREVENT FLOW INTO THE CENTERLINE VELOCITY CHECK DAMS.

9. PROVIDE EFFECTIVE DIRT PROTECTION BY EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING DRAINAGE SYSTEM.

10. SANDWASHES AND FILL MATERIAL, AND OTHER BMP MATERIALS SHALL BE STOCKPILED AT INTERVALS, READY FOR USE WHEN REQUIRED.

11. ALL EROSION AND SEDIMENTATION CONTROL DEVICES WITHIN THE DEVELOPMENT SHOULD BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND AFTER CONSTRUCTION TO PREVENT EROSION. IF MAINTENANCE DEVICES WOULD BE REQUIRED TO HAVE ACCESS TO ALL AREAS.

12. PROVIDE ROCK RIPRAP OR CURBS AND STEEP SLOPES IN ALL EROSION PRONE DRAINAGE CHANNELS DOWNSTREAM FROM THE DEVELOPMENT. THIS PROTECTION WOULD REDUCE EROSION CAUSED BY THE INCREASED FLOW THAT MAY BE ANTICIPATED FROM DENuded SLOPES, OR FROM IMPROVED SURFACES.

13. ANY PROPOSED ALTERNATE CONTROL MEASURES MUST BE APPROVED IN ADVANCE BY ALL RESPONSIBLE CITY AGENCIES.

14. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED AS NECESSARY TO ENSURE THAT ON-SITE SEDIMENT IS NOT TRANSPORTED OFF SITE.

4. STORMWATER PROTECTION NOTES:

1. DURING THE CONSTRUCTION PERIOD OF EXPOSED SOIL, ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 10% OF ALL SURFACES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEVELOPMENT AND COMPLETE INSTALLATION IN AN ADEQUATE PERIOD OF TIME.

2. NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE CITY OF DANA POINT'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY AREAS DESIGNATED AS NOT BEING ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE DECLEARED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION, SILTATION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE DISTURBED AREA IS FULLY PROTECTED FROM EROSION.

3. THE PROPERTY OWNER IS OBLIGATED TO ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs BEST MANAGEMENT PRACTICES THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE MAINTAINED AND MAINTAINED TO EFFECTIVELY PROTECT THE POTENTIALLY NEGATIVE IMPACTS ON THE PROJECT'S CONSTRUCTION ACTIVITIES ON STORMWATER QUALITY. THE INSTALLATION AND MAINTENANCE OF THE BMPs IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE CITY OF DANA POINT OR OTHERWISE. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.

4. ON PROJECTS OF GREATER THAN 50 ACRES, AND THE FOLLOWING NOTE: A NOTICE OF INTENT (NOI) HAS BEEN OR WILL BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN OR WILL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES (GENERAL PERMIT), FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. THE WASTE DISCHARGE IDENTIFICATION (WDID) NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS [WDID#014216700] [ALTERNATIVE: NOT YET ASSIGNED, BUT WILL BE PROVIDED BEFORE 1 P.M. PRIOR TO THE PERMITTEE SHALL KEEP A COPY OF AN UP-TO-DATE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY CITY.

5. BROWN FIBER MATRICES (BFW)

THE USE OF BFW IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

A. APPLICATION RATES SHALL BE 3,500 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4,000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.

B. BFW SHALL BE APPLIED AT LEAST 14 DAYS BEFORE OR AFTER RAINFALL.

C. THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO CONTROL FLOW FROM THE FACE OF THE SLOPE.

D. BFW SHALL BE APPLIED TO PROTECT STEEP CONTOURS (I.E. APPLICATION FROM MULTIPLE ANGLES).

E. FOR PERMANENT EROSION CONTROL PURPOSES, BFW MUST BE INSTALLED IN CONJUNCTION WITH SEEDED PROTECTIVE VEGETATION.

F. A LETTER FROM THE UNDERSIGNED CONTRACTOR CERTIFYING THAT THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE CITY INSPECTOR FOR APPROVAL.

6. STABILIZED FIBER MATRICES (SFM)

A. SFM MAY BE USED FOR TEMPORARY EROSION CONTROL FOR DISTURBED AREAS WITH A SLOPE RATIO OF 1 VERTICAL TO 2 HORIZONTAL OR SHALLOWER, INCLUDING PAVES AND SEPTIC PILE AREAS.

B. THE SFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL AND SHALL BE APPLIED TO PROVIDE BARE COVERAGE (I.E. APPLIED FROM MULTIPLE DIRECTIONS AND ANGLES).

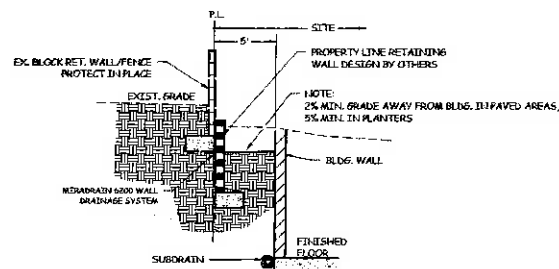
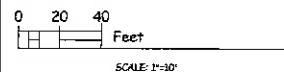
C. THE APPLICATION AREA MUST BE PROTECTED BY BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO AVOID FLOW FROM THE FACE OF THE PROTECTED SLOPE.

D. FOR PERMANENT EROSION CONTROL PURPOSES, SFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDED PROTECTIVE VEGETATION OR HAND PLANTING. AS WITH ALL OTHER APPLICATIONS, SFM WILL NOT BE CONSIDERED PERMANENT UNTIL VEGETATION ESTABLISHMENT.

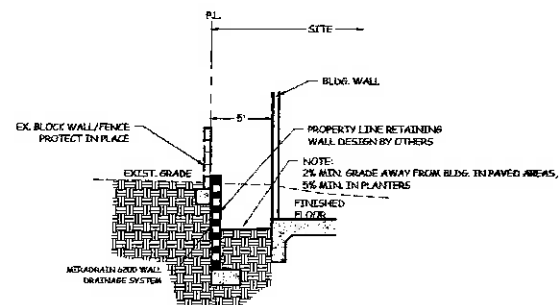
E. COVERAGE AND CONCENTRATION: FOR EACH AREA COVERED, THE MINIMUM APPLICATION VOLUME SHALL BE 30 GALLONS NON-TOXIC WATER-POURABLE SOIL-STABILIZING LIQUID EMULSION WITH 3,000 LBS. OF HYDRAULIC MULCH. THE EMULSION MUST BE DESIGNED TO PROTECT SOIL, PREVENT EROSION, AND FLOODGATE (CLUMP) SEDIMENT.

F. A LETTER FROM THE UNDERSIGNED CONTRACTOR CERTIFYING THE SFM WAS INSTALLED IN ACCORDANCE WITH THE APPROVED APPLICATION RATES, COVERAGE, AND MAINTENANCE OF THE SFM SHALL BE SUBMITTED TO THE CITY OF DANA POINT INSPECTOR FOR APPROVAL.

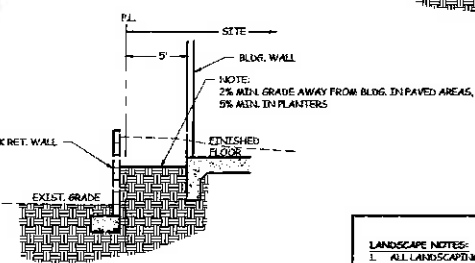
7. IF DISTURBED AREA IS GREATER THAN 1 ACRE, AND THE FOLLOWING NOTE: PLANT AREAS OF LESS THAN 1/2 ACRE (BUILDING PADS, PARKING AREAS, LEACH FIELDS) SHALL HAVE EROSION PROTECTION USING GEOTEXTILES MATS (G-1 OR E-200), OR OTHER MATERIAL APPROVED BY THE CITY OF DANA POINT FOR STABILIZING SLOPES, OR USING TRACINGS AND SOIL STABILIZERS/SEEDERS (G-3), TEMPORARY SEEDS (G-4), MULCH/WOOD CHIPS (G-5), (G-6), (G-7), (G-8), (G-9), (G-10), (G-11), (G-12), (G-13), (G-14), (G-15), (G-16), (G-17), (G-18), (G-19), (G-20), (G-21), (G-22), (G-23), (G-24), (G-25), (G-26), (G-27), (G-28), (G-29), (G-30), (G-31), (G-32), (G-33), (G-34), (G-35), (G-36), (G-37), (G-38), (G-39), (G-40), (G-41), (G-42), (G-43), (G-44), (G-45), (G-46), (G-47), (G-48), (G-49), (G-50), (G-51), (G-52), (G-53), (G-54), (G-55), (G-56), (G-57), (G-58), (G-59), (G-60), (G-61), (G-62), (G-63), (G-64), (G-65), (G-66), (G-67), (G-68), (G-69), (G-70), (G-71), (G-72), (G-73), (G-74), (G-75), (G-76), (G-77), (G-78), (G-79), (G-80), (G-81), 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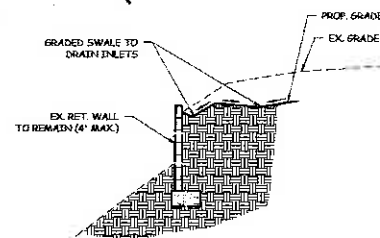
**SECTION A**  
**NOT TO SCALE**



**SECTION 6**  
**NOT TO SCALE**



**SECTION D**  
**NOT TO SCALE**



**SECTION E**  
**NOT TO SCALE**

**LANDSCAPE NOTES:**

1. ALL LANDSCAPING WITHIN THE SETBACK FROM THE EDGE OF COASTAL BLUFF SHALL BE NATIVE TO CANADA OF A DROUGHT TOLERANT VARIETY TO THE SATISFACTION OF THE PLANNING DIVISION.
2. ALL EXISTING IRRIGATION WITHIN THE SETBACK FROM EDGE OF COASTAL BLUFF SHALL BE REMOVED AND; NO NEW IRRIGATION SHALL BE ALLOWED WITHIN THE SETBACK FROM EDGE OF COASTAL BLUFF.



#	DESCRIPTION	APPROVED	DATE
REVISIONS			


**CITY OF DANA POINT**  
**PRELIMINARY GRADING PLAN**  
**THE WALSH RESIDENCE**  
37 MONARCH BAY DRIVE, DANA POINT, CA  
PRECISE GRADING PLAN  
CONCEPTUAL GRADING AND DRAINAGE PLAN

**C2**  
OF 4 SHEET



SCALE	DESIGNED	DRAWN	CHECKED
ACAD FILE NO.	ENGINEER OF WORK		6/30/15
PROJECT NO.	31720		DATE
	R.O.E. NO.		

PLANS PREPARED BY:

 **ROBIN B. HAMERS & ASSOC., INC.**  
CIVIL ENGINEERS  
234 E. 17TH STREET, SUITE 205  
COSTA MESA, CA. 92627  
TEL: (949) 548-1192  
FAX: (949) 548-8516

**BENCHMARK**

THE ELEVATIONS SHOWN HEREON ARE BASED  
ON QUINCE COUNTY SURVEY VERTICAL  
CONTROL NUMBER 15455-04.

SEE 11100.005 FILE (06/01/23)

APPROVED BY THE CITY OF DANA POINT  
PLANNING DEPARTMENT  
THE PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS  
REQUIREMENT OF THE DANA POINT MUNICIPAL CODE  
  
CITY PLANNING DEPARTMENT

PLANS REVIEWED BY:  
CITY OF DIANA POINT, PUBLIC WORKS & ENGINEERING SERVICES  
DESAI GOLDEN LANTERN  
CAMEL ROAD, TILLOT  
TILLOT

DATE \_\_\_\_\_

THE \_\_\_\_\_

DATE \_\_\_\_\_

MATTHEW V. SINACORE, CITY ENGINEER

ROE #55058 - EXP. 6/30/15

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS  
REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS.

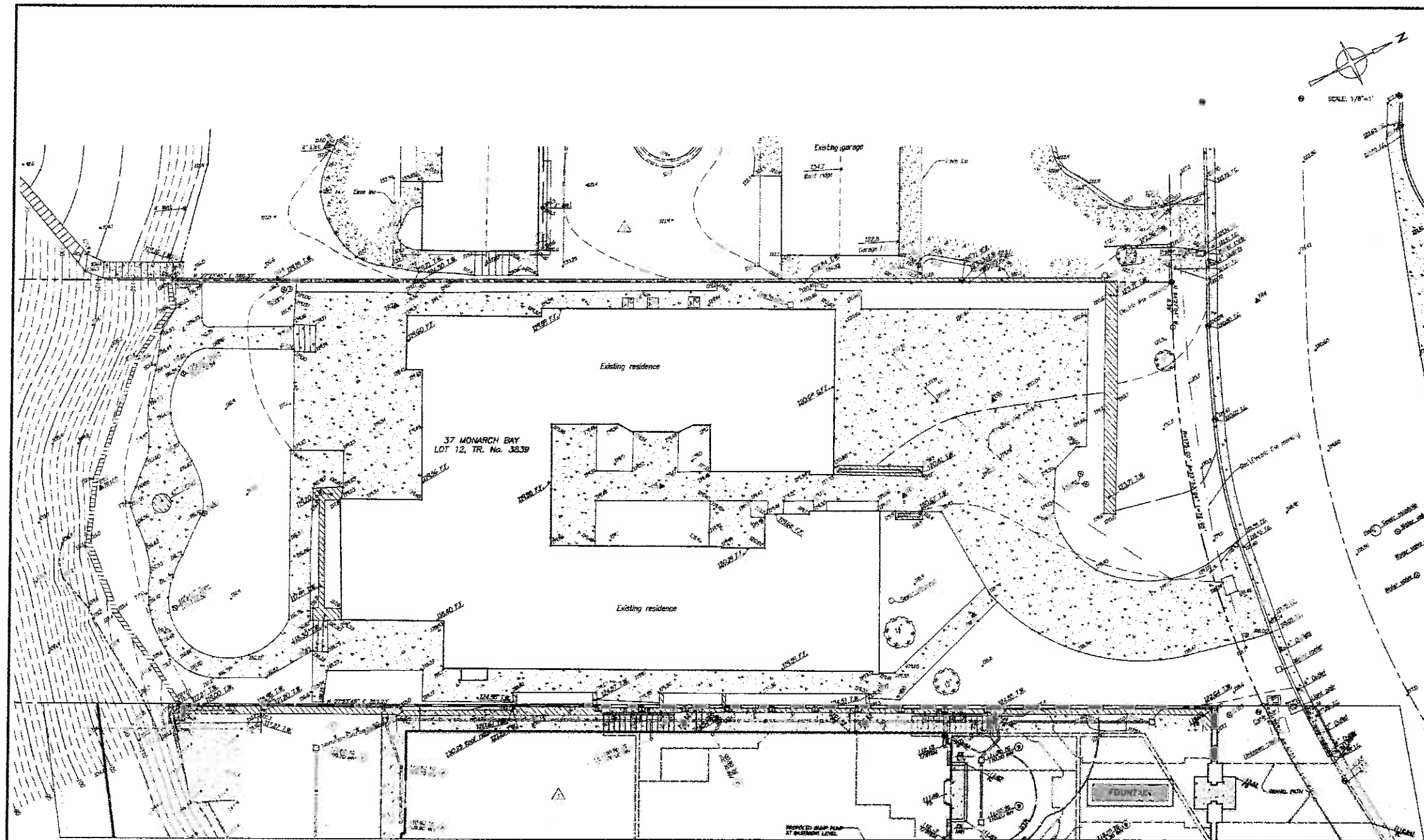
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[illegible]

5 ORIGINAL SCALING





BENCHMARK NOTE:  
CCSRM 3P-35-04  
ELEV=155.636'  
NAD83 DATUM

EASEMENT NOTE:  
THE PLAN FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT.  
UNLITIGATED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

BOUNDARY NOTE:  
THE PLAN SHOWN HEREON REPRESENTS A BEST FIT OF THE RECORD BOUNDARY  
TO THE FOUND MONUMENTS AND LINES OF OCCUPATION. IT SHALL NOT BE  
CONSIDERED THE FINAL BOUNDARY AND A BOUNDARY SURVEY IS RECOMMENDED  
PRIOR TO DESIGN OR CONSTRUCTION OF IMPROVEMENTS.

LEGEND		
	PROPERTY LINE	TO
	FENCE	NY
	CONCRETE SURFACE	TC
	MASONRY WALL	EP
	WOOD WALL	TW
	ROCK WALL	G
	FINISHED FLOOR	A
	FINISHED SURFACE	
		TOP OF CURB
		INVERT OF PIPE
		TOP OF CURB
		EDGE OF PAVEMENT
		TOP OF WALL
		FOUND MONUMENT
		SURVEY CONTROL POINT

Olav S. Meum LS 4384

TOPOGRAPHIC SURVEY  
37 MONARCH BAY  
DANA POINT, CALIFORNIA  
PREPARED FOR: MARCUS SKENDERIAN

DATE	BY	CHKD.	APPD.
11-28-13	MS	MS	MS
12-10-14	MS	MS	MS
11-13-15	MS	MS	MS

**TOTAL ENGINEERING, INC.**  
Civil Engineers and Land Surveyors  
139 Avenida Novato, San Clemente, Calif. 92672  
Ph: 949-492-8588 Fax: 949-492-8585

SHEET 1 OF 2  
JOB NO. 15186



DATE	DESIGNED	DRAWN	CHECKED
6/30/15	MS	MS	MS

ROBIN B. HAMERS & ASSOC., INC.  
CIVIL ENGINEERS  
204 E. 17TH STREET, SUITE 205  
COSTA MESA, CA 92627  
TEL: (949) 548-1152  
FAX: (949) 548-5516

BENCHMARK  
THIS ELEVATION SHOWN HEREON IS BASED  
ON ORANGE COUNTY SURVEY SECTION  
CONTROL NUMBER 7A-36-87.

APPROVED BY THE CITY OF DANA POINT  
PLANNING DEPARTMENT  
THIS PLAN HAS BEEN REVIEWED FOR CORRECTNESS AND MEETS THE  
REQUIREMENTS OF THE DANA POINT MUNICIPAL CODE.

PLANS PROVIDED BY:  
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES  
3000 ROLLER LANTERN  
DANA POINT, CA 92629  
MATTHEW V. SNACORE, CITY ENGINEER  
DATE: 6/30/15



CITY OF DANA POINT  
PRELIMINARY GRADING PLAN  
THE WALSH RESIDENCE  
37 MONARCH BAY DRIVE, DANA POINT, CA  
TOPOGRAPHIC SURVEY SHY 1  
TOPOGRAPHIC SURVEY BY TOTAL ENGINEERING

PLAN CHECK NO. C3  
OF 4 SHEETS

ORIGINAL SCALE: 1/8"=1'



REVISIONS	
12.17.14	PLANNING CORRECTION
02.18.15	PLANNING CORRECTION
05.05.15	PLANNING CORRECTION

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**Walsh Residence**  
37 Monarch Bay Dr.  
Dana Point, CA  
JOB #14001

**SCA**  
**SOUTH COAST**  
ARCHITECTS, INC.  
13 Corporate Plaza, Suite 210  
Newport Beach, California 92660  
(949) 722-7022

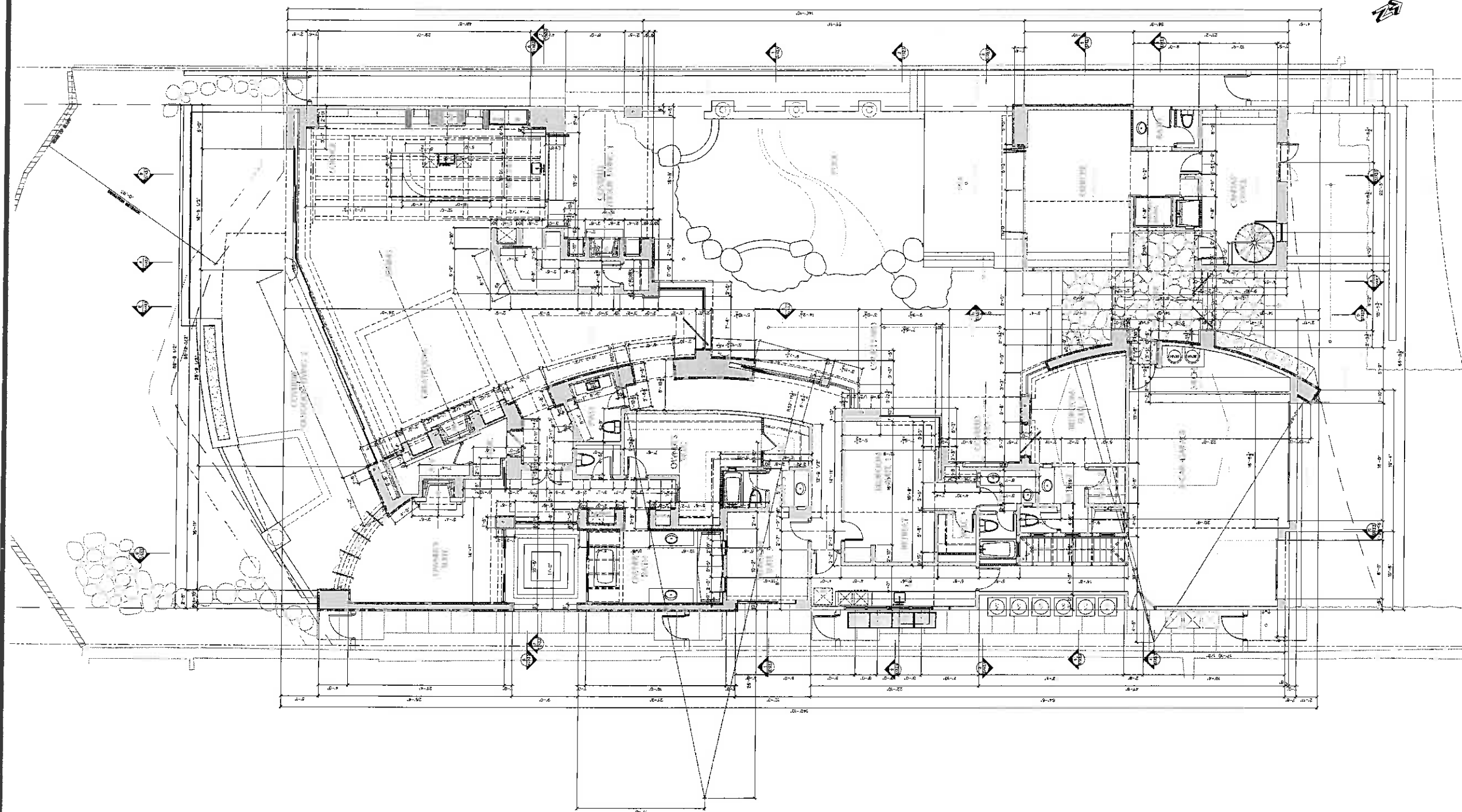
**FLOOR PLAN**



Drawn By:  
SCA  
Date:  
11.04.14  
Scale:  
3/16" = 1'-0"  
Job No.:  
WALSH RESIDENCE  
Job No.:  
14001  
Sheet:

**A1.1**

FIRST FLOOR PLAN



REVISIONS	
Δ 12.17.14	PLANING CORRECTION
Δ 02.14.15	PLANING CORRECTION
Δ 05.03.15	PLANING CORRECTION

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10 Camarillo Plaza, Suite 210  
Newport Beach, California 92660  
(949) 722-7222

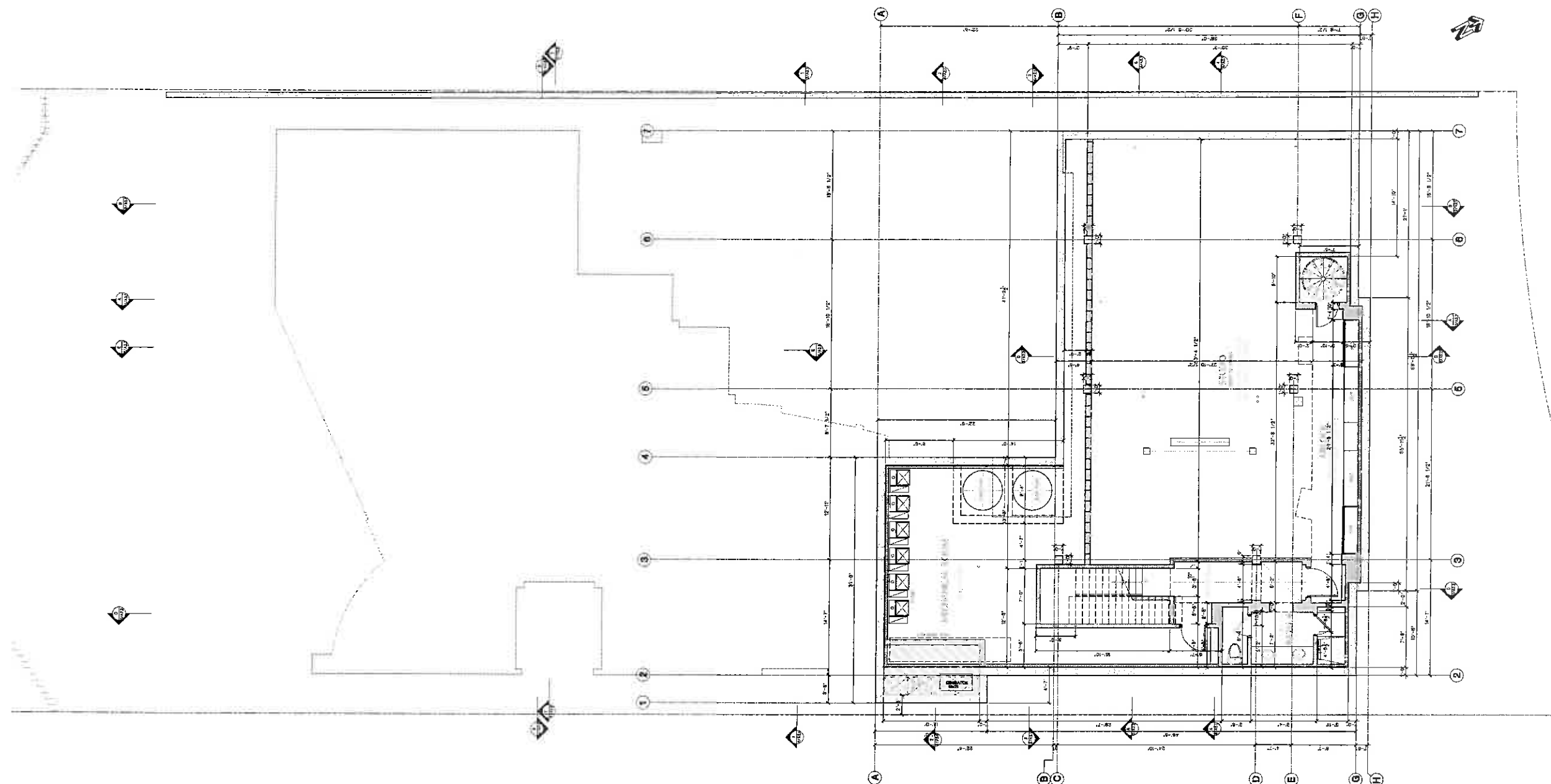
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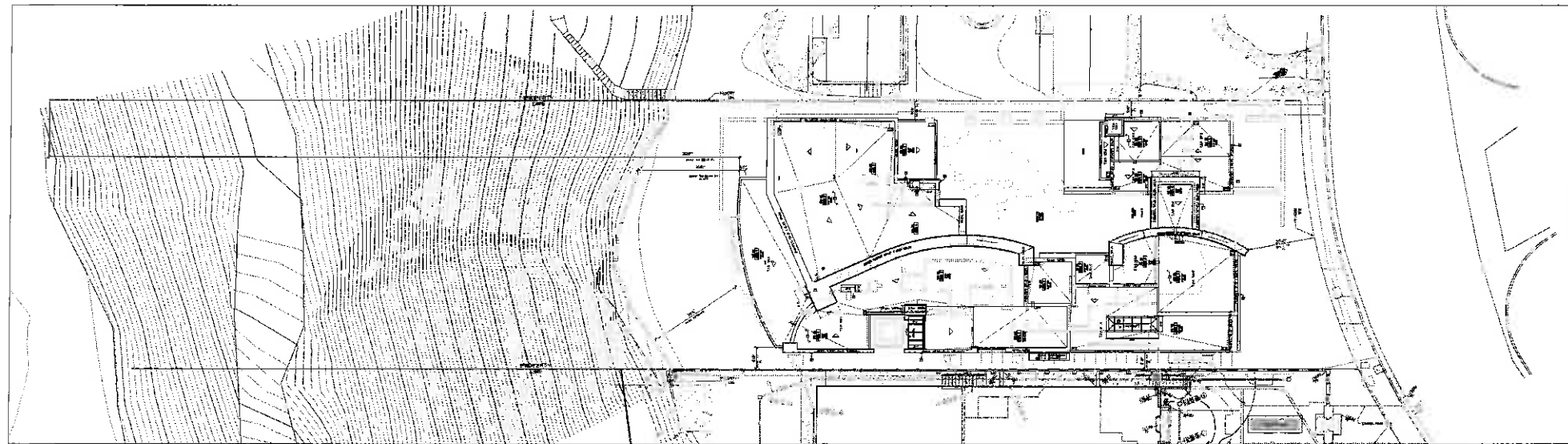


DESIGNED BY  
SCA  
DATE  
11/14/14  
SCALE  
3/16" = 1'-0"  
PROJECT  
WALSH RESIDENCE  
JOB NO.  
14001  
SHEET

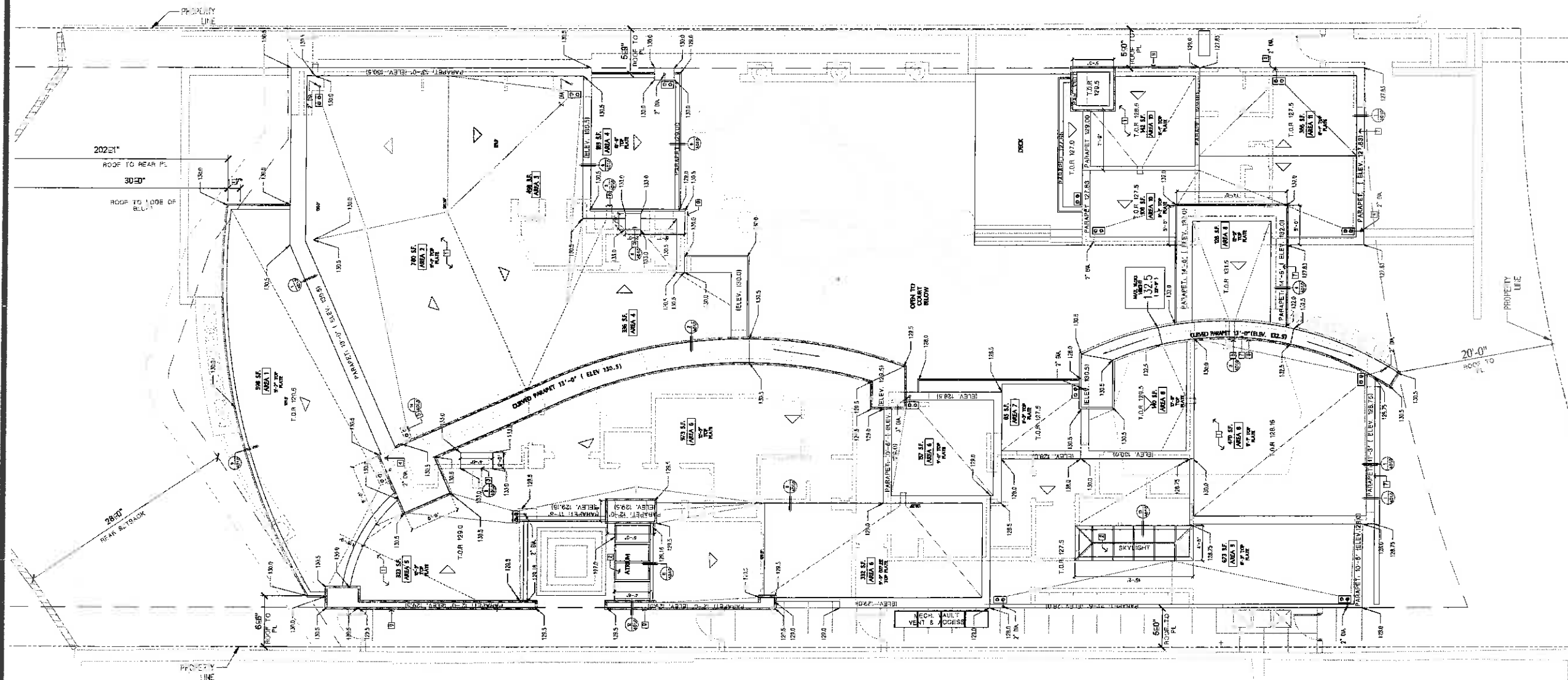
**A1.2**

**BASEMENT PLAN**





ROOF PLAN 1/16"=1'-0"



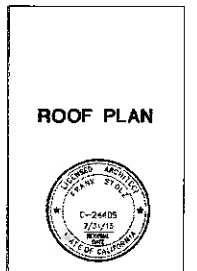
ROOF PLAN

REVISIONS	
12.17.14	PLANNING CORRECTION
02.10.15	PLANNING CORRECTION
03.03.15	PLANNING CORRECTION

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JOB #14001

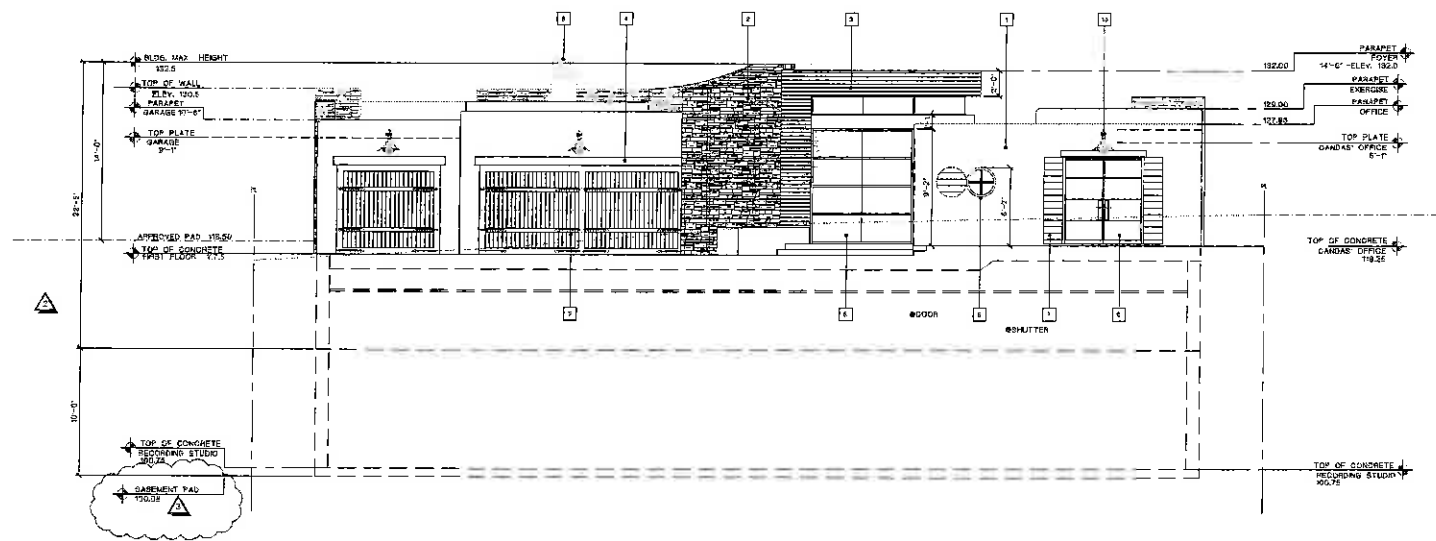
**SCA**  
**SOUTH COAST**  
**ARCHITECTS, INC.**  
33 Corporate Plaza, Suite 210  
Newport Beach, California 92660  
(949) 720-7222



DATE	11/14/14
SCALE	3/16" = 1'-0"
PROJECT	WALSH RESIDENCE
SHEET	141/21

**A1.3**



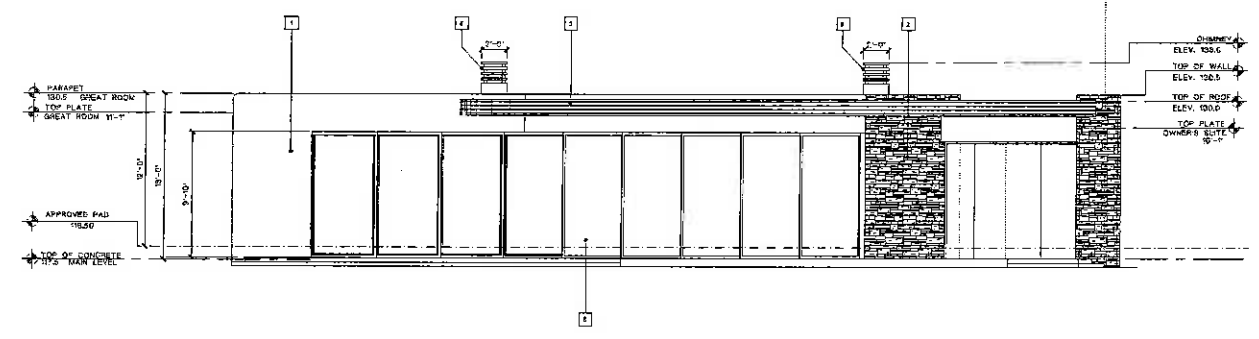


FRONT ELEVATION 1

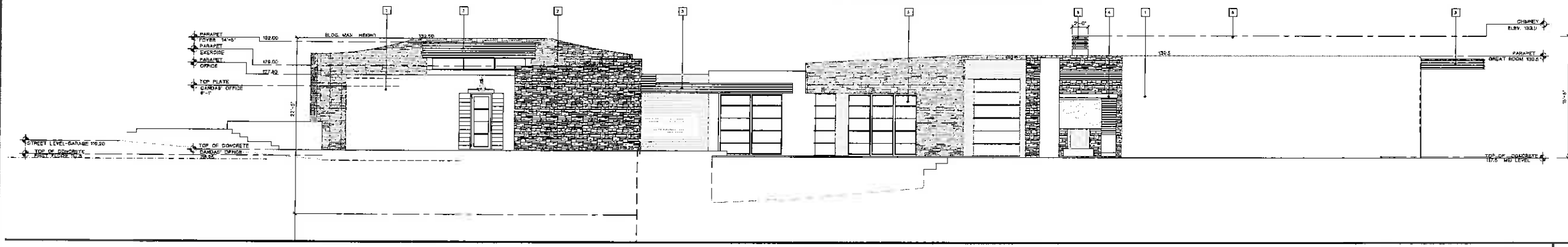
- ### ELEVATION NOTES
- REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION, METHODS AND COMMENTS.
  - REFER TO OPENING FLASHING DETAILS 17, 21 AND 22 FOR MINIMUM FLASHING REQUIREMENTS FOR MANUFACTURED WINDOWS. REFER TO OPENING FLASHING DETAILS 17 AND 22 FOR MINIMUM FLASHING REQUIREMENTS FOR MANUFACTURED DOORS.
  - ALL GLAZING SHALL COMPLY WITH THE CALIF. BUILDING CODE AND LOCAL ORDINANCES. REFER TO THE TITLE-24 CALCULATIONS FOR THE REQUIRED U-VALUE OF GLAZING.
  - ALL EXTERIOR DOORS OF CONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.
  - REFER TO THE BUILDING SECTIONS AND ROOF PLAN FOR ADDITIONAL INFORMATION ON THE ELEVATIONS.
  - FINISH GRADE VARIES. REFER TO THE CIVIL DRAWINGS FOR FINAL GRADE AND SITE DRAINAGE.
  - ALL EXTERIOR DOOR AND WINDOW HEADS ARE AT 8'-0" UNLESS OTHERWISE NOTED ON THE ELEVATIONS OR PLANS.
  - REFER TO THE COLOR AND MATERIAL SAMPLES FOR EXTERIOR FINISH COLORS AND SAMPLES.
  - FINISH GRADE VARIES. REFER TO GRADING PLANS.
  - EXTERIOR PLASTER TO BE SMOOTH COAT TEXTURE NO. FACTORY MIXED COLORED TO BE PAINTED AT THE FIELD COLOR: ALABASTER - SHERWIN WILLIAMS (SW7005).
  - ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH.
  - FRAMER SHALL BE RESPONSIBLE FOR COORDINATION WITH TRUSS MANUFACTURER TO ACCOMMODATE ALL ATTIC VENTS.
  - ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATERPROOF AND WALL MOUNTED DOWNERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATION.
  - ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
  - SPARK ARRESTORS SHALL ULL APPROVED AND SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS.
  - WINDOW SEE SHEET A4.1.
  - DOOR SEE SHEET A4.1.

KEYNOTES

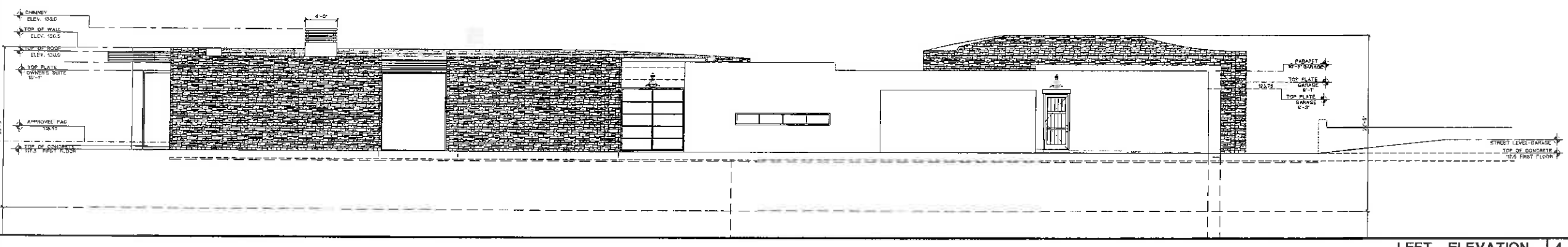
- 7/8" PORTLAND CEMENT PLASTER, SMOOTH FINISH. COLOR: PRIZE PAINT 285W, FILTERED.
- 4" x 6" x 8" RANDOM LENGTHS LIMESTONE. MODEL: TEXAS SIERRA CAVE. CONTACT: WREX CHAZEL & MODERN BUILDERS SUPPLY, INC. (415) 345-3471-3557.
- WOOD CLADDING BY "REXYSTA" - HOLLOW PROFILE. RESISTANT. INSTALL PER MANUFACTURERS SPECS. CUT TO SIZE FROM MAX. 12" STAIN. T.B.D.
- WOOD HEADER. PAINT T.B.D.
- ALUMINUM WINDOWS BY "FLEETWOOD" OR EQUAL. APPROVED. COLOR TO BE STANDARD DARK BRONZE.
- ALUMINUM DOORS BY FLEETWOOD OR EQUAL. APPROVED. COLOR TO BE STANDARD DARK BRONZE.
- WOOD SHUTTER. PAINT T.B.D.
- WOOD FRAMED CHIMNEY. STUCCO FINISH W/ METAL CAP.
- WOOD GARAGE DOOR.
- DECORATIVE LIGHTING.



REAR ELEVATION 2



RIGHT ELEVATION 3



LEFT ELEVATION 4

### REVISIONS

NO.	DATE	REVISION
1	12.17.14	PLANNING CORRECTION
2	02.18.15	PLANNING CORRECTION
3	05.05.16	PLANNING CORRECTION

**Walsh Residence**  
37 Monarch Bay Dr.  
Dana Point, CA  
JOB #14001

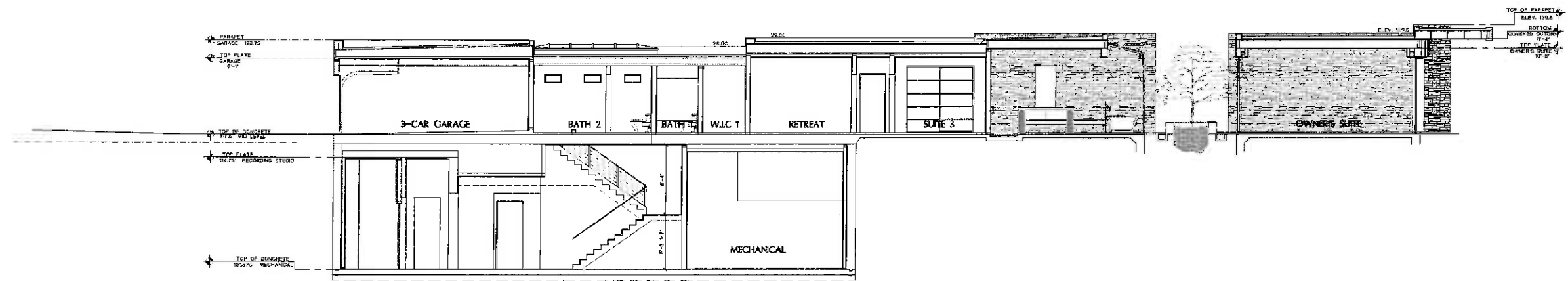
**SCA**  
**SOUTH COAST**  
**ARCHITECTS, INC.**  
18 Corporate Plaza, Suite 210  
Newport Beach, California 92660  
(949) 720-1022

**EXTERIOR ELEVATIONS**

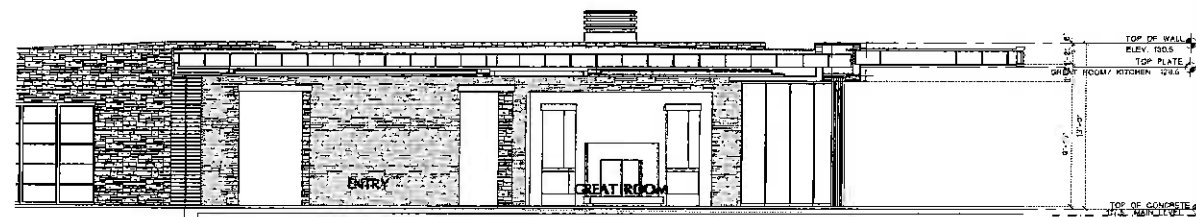
DESIGNED BY  
SCA  
DATE  
11/04/14  
3/16" x 1'-0"  
WALSH RESIDENCE  
JOB #14001  
SHEET

**A2.0**

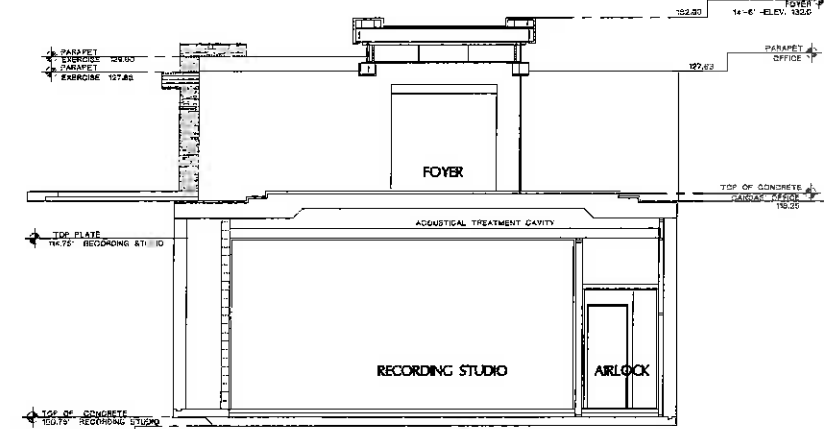




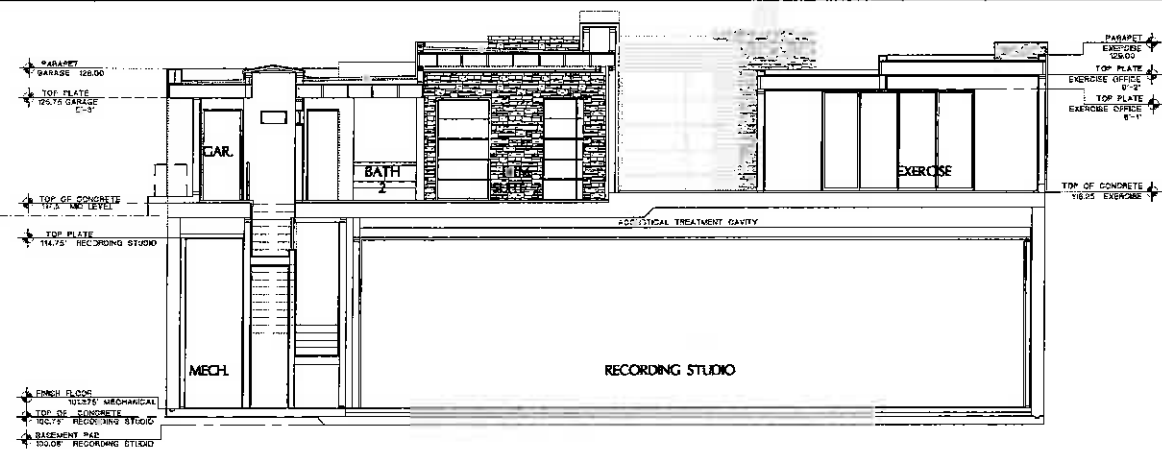
SECTION C 1



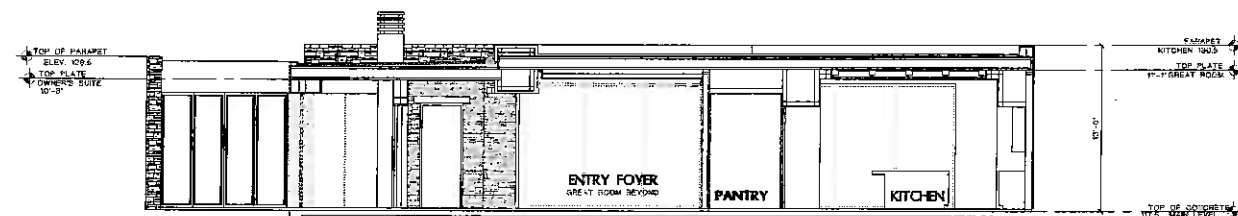
SECTION E/ ENTRY-GREAT ROOM 5



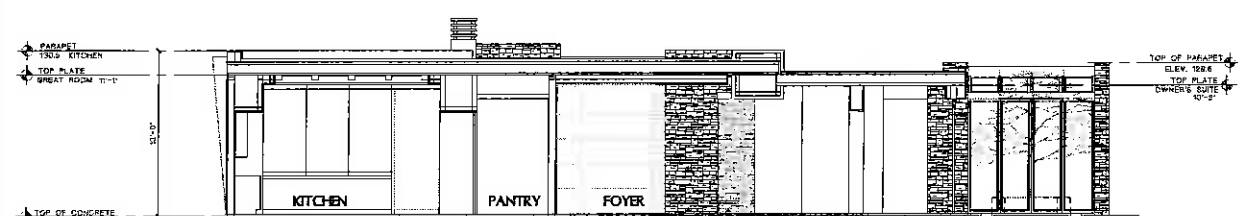
SECTION D/ FOYER 2



SECTION 5/ EXERCISE 3



SECTION 7/ OWNER'S COURT 7



SECTION 6/ OWNER'S COURT 4

REVISIONS	
A	12.17.14 - PLANNING CORRECTION
B	02.18.15 - PLANNING CORRECTION
C	05.13.15 - PLANNING CORRECTION

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**ARCHITECTS, INC.**  
10 Corporate Plaza, Suite 200  
Newport Beach, California 92660  
(949) 725-7222

**EXTERIOR**  
**ELEVATIONS**  
**& SECTIONS**



Drawn by  
SCA  
Date  
11.04.14  
Scale  
3/16" = 1'-0"  
Job  
WALSH RESIDENCE  
Title  
1:001  
Sheet

**A2.2**



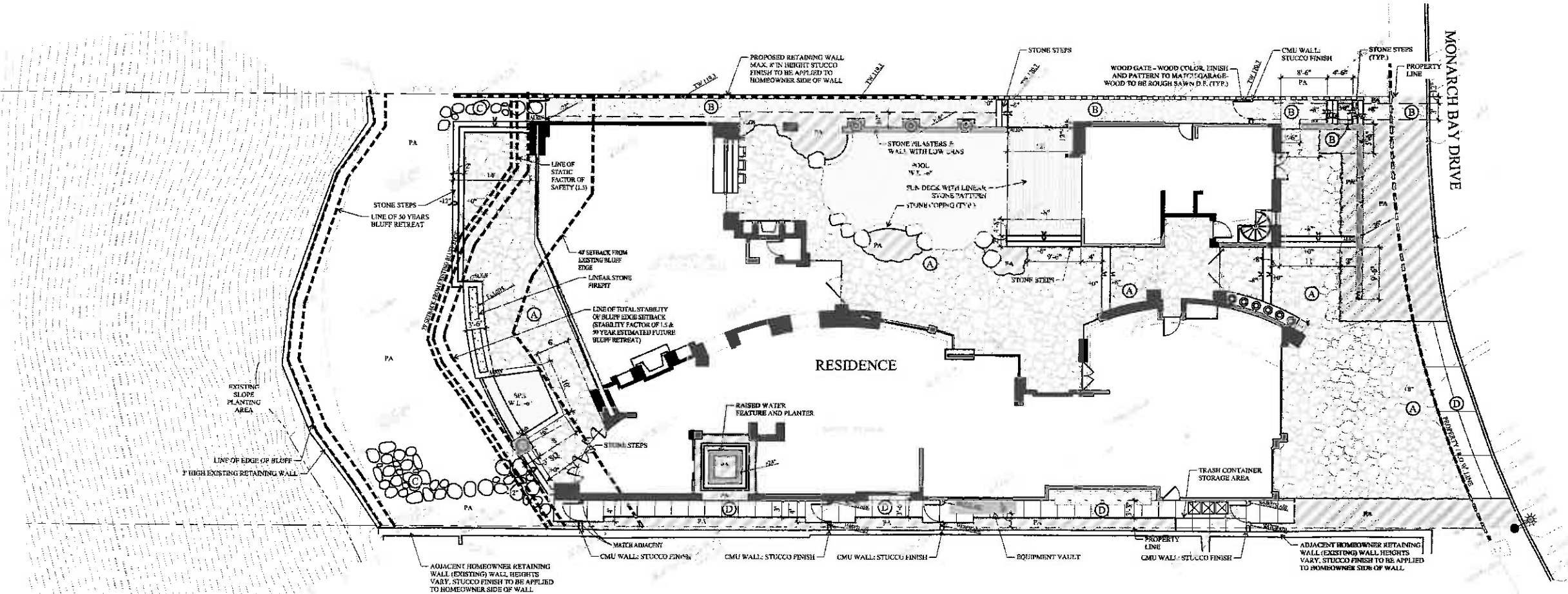
VICINITY MAP



SITE MAP

- SYMBOL LEGEND**
- EQ. EQUAL
  - PL PROPERTY LINE
  - AC AIR CONDITIONING UNIT
  - PA PLANTER AREA
  - CL CENTERLINE
  - SQ. SQUARE
  - TYP. TYPICAL
  - SIM. SIMILAR
  - IRRIGATED AREAS
  - POT LOCATION
  - STAIR RISER
  - AREA DRAINS - SHOWN SCHEMATICALLY. FINAL LOCATIONS PER GRADING PLAN. ALL SURFACE DRAINAGE IS REQUIRED TO BE DIRECTED TO MONARCH BAY DRIVE
  - ALIGN W/ ADJACENT SURFACE
- PAVING LEGEND**
- A. RANDOM SHAPE FLAGSTONE PAVING- TO BE SIERRA SANDSTONE, LARGE SQUARES AND RECTANGLES. TO BE PLACED OVER CONCRETE BASE. AVAILABLE THROUGH MODERN BUILDERS SUPPLY.\*
  - B. 3" THICK LAYER OF DECOMPOSED GRANITE WITH BINDER. TO BE PLACED OVER FILTER FABRIC - COLOR TO BE CHAMOIS BEIGE\*
  - C. SAND SET 24-36" DIA. RANDOM SHAPE & TUMBLED FLAGSTONE PAVING. TO BE SIERRA SANDSTONE\* WITH 1" TO 1-1/2" WIDE JOINTS - JOINTS TO BE PLANTED
  - D. CONCRETE PAVING - THICKNESS PER SOILS REPORT. DRIVEWAY THICKNESS PER CIVIL. WASH FINISH NO COLOR. SCORE JOINTS PER PLAN.

\* ALL MATERIAL & PAVING SELECTIONS SPECIFIED THRU MODERN BUILDERS SUPPLY ARE HAND-TAGGED BY MODERN BUILDERS SUPPLY ONLY. CONTACT GREG DRAZIL @ 949-254-4692



- CITY OF DANA POINT NOTES:**
- A. ALL LANDSCAPING WITHIN THE SETBACK FROM EDGE OF COASTAL BLUFF SHALL BE NATIVE TO CA. AND OF A DROUGHT TOLERANT VARIETY TO THE SATISFACTION OF THE PLANNING DIVISION
  - B. ALL EXISTING IRRIGATION WITHIN THE SETBACK FROM EDGE OF COASTAL BLUFF SHALL BE REMOVED
  - C. NO NEW IRRIGATION SHALL BE ALLOWED WITHIN THE SETBACK FROM EDGE OF COASTAL BLUFF

THIS PROJECT SHALL CONFORM TO THE 2013 CALIFORNIA RESIDENTIAL CODE (CRC), 2013 CALIFORNIA BUILDING CODE (CBC), 2013 CALIFORNIA PLUMBING CODE (CPC), 2013 CALIFORNIA MECHANICAL CODE (CMC), 2013 CALIFORNIA ELECTRICAL CODE (CEC), 2013 CALIFORNIA FIRE CODE (CFC), AND COUNTY CODES & ORDINANCES.

landscape architecture  
land planning

31736 RANCHO VIEJO ROAD | SUITE 201  
SAN JUAN CAPISTRANO, CA 92675  
TEL 949 276 6500 | FAX 949 276 6506  
www.sja.com

**WALSH  
RESIDENCE**  
37 MONARCH BAY DRIVE  
DANA POINT, CA

**WALBERN INVESTMENTS USA, LLC**  
29222 RANCHO VIEJO ROAD, SUITE 207  
SAN JUAN CAPISTRANO, CA 92675

REVISIONS	
REVISION	DATE

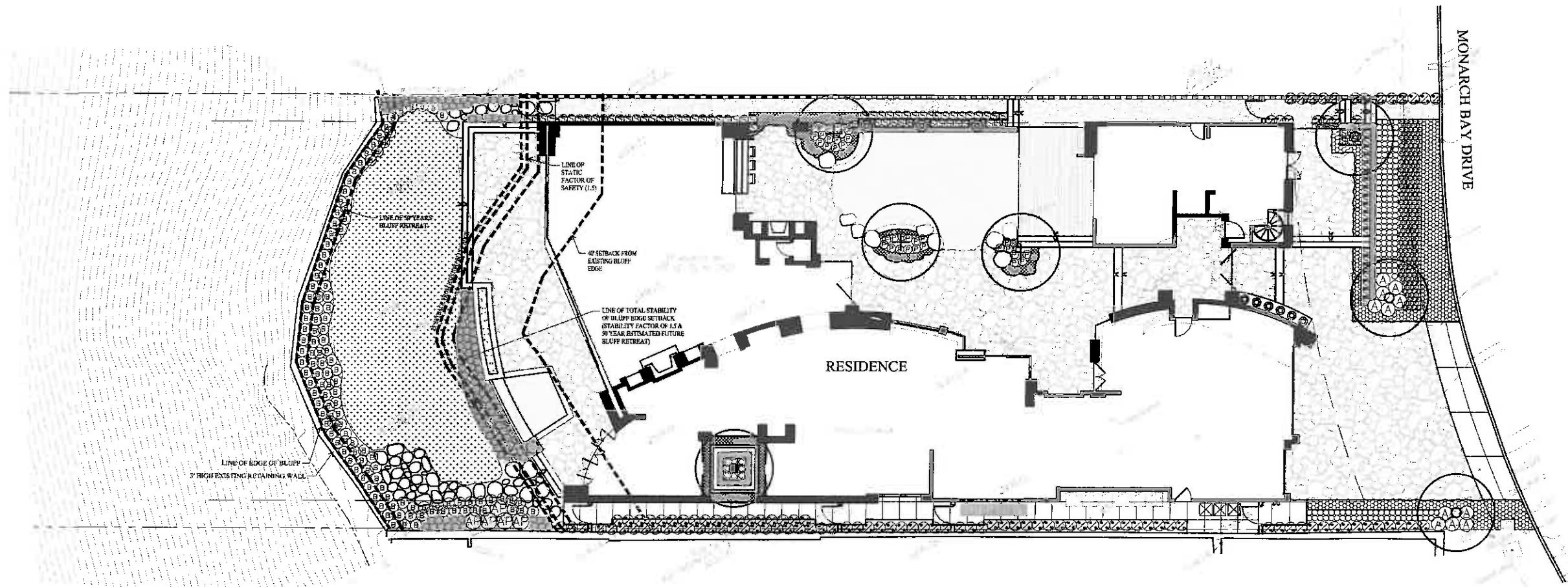
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DESIGNED	DS
CHECKED	
DATE	04/03/15
GENO	
JOB TYPE	RESIDENCE

**SHEET TITLE**  
**SITE PLAN**

**SHEET**  
**1**

**OF**  
**2**

May 05, 2015 WALSH\_RES\_SIT



### PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
<b>TREES</b>			
CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	EXISTING*	3
OLEA EUROPAEA	EUROPEAN OLIVE	10 X 10 FIELD GROWN	1
OLEA EUROPAEA	EUROPEAN OLIVE	12 X 12 FIELD GROWN	3
<b>SHRUBS</b>			
AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	15 GALLON	11
AGAVE PARRYI	PARRYS AGAVE	15 GALLON	5
ALOE 'BLUE ELF'	BLUE ELF ALOE	1 GALLON	160
BACCHARIS 'TWIN PEAKS II'	TWIN PEAKS II COYOTE BRUSH	1 GALLON	125
CRASSULA O. 'MINIMA'	DWARF JADE PLANT	1 GALLON	8
CEANOTHUS GRISSEUS HORIZONTALIS	CARMEL CREEPER	3 GALLON @ 4" O.C.	69
DIANELLA T. 'SILVER STREAK'	SILVER STREAK FLAX LILY	5 GALLON	109
FESTUCA O. 'GLAUCA'	BLUE FESCUE	1 GALLON	204
JUNCUS PATENS 'ELK BLUE'	ELK BLUE GRAY RUSH	1 GALLON	133
OPHIPOGON J. 'NANUS'	DWARF MONDO GRASS	6" POTS - PLANT SOLID	1836
PHILODENDRON 'XANADU'	XANADU PHILODENDRON	1 GALLON	38
SENECIO SERPENS	BLUE CHALKSTICKS	6" POTS - PLANT SOLID	3672
STRELITZIA REGINAE	BIRDS OF PARADISE	5 GALLON	82

\* EXISTING TREES TO BE RELOCATED ON-SITE, REFER TO PLAN FOR NEW LOCATIONS

### PLANTING NOTES

- ALL SHRUB PLANTING AREAS SHALL BE TOP DRESSED WITH A 2" LAYER OF MEDIUM GRIND BARK MULCH.
- ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. THE CONTRACTOR SHALL SUBMIT PHOTOS OF ALL PLANT MATERIAL FOR APPROVAL.
- CONTRACTOR SHALL COORDINATE TREE AND SHRUB PLANTINGS WITH IRRIGATION AND DRAINAGE LINES. PLANT LOCATIONS SHALL TAKE PRECEDENCE. FOR MAJOR DISCREPANCIES NOTIFY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL DELETIONS OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- ANY TREES PLANTED WITHIN 4'-5' OF ANY PAVED AREA, OR ANY BUILDING SHALL RECEIVE A ROOT BARRIER.

### WATER USE CALCULATIONS

$MAWA^* = (Eto \times 0.7 \times LA \times 0.62) + (Eto \times 1.0 \times SLA \times 0.62)$	MAWA* = 26,836
$EAWU^* = (Eto \times KI \times LA \times 0.62) / IE$	EAWU* = 24,232

Eto	42.7
CONVERSION	0.62
ET ADJ.	0.7
LA (LANDSCAPE AREA)	SUM OF AREA ALLOWED TO BE IRRIGATED
SLA	SPECIAL LANDSCAPE AREA
SPEC. LANDSCAPE ADJ.	0.3

MAWA	ET	LA OR SLA	CONV	MAWA
LA	42.7	0.7	1,538	0.62
SLA	42.7	1	0	0.62
TOTAL		ACRES = 0.04		26,836

EAWU	PLANT TYPE	ET	KI	LA	CONV	IE	EAWU
IRRIGATED AREAS	SHRUB (MAWA)	42.7	0.5	1,538	0.62	0.85	24,231.6
TOTALS				1,538			24,232

### CITY OF DANA POINT NOTES:

- ALL LANDSCAPING WITHIN THE SETBACK FROM EDGE OF COASTAL BLUFF SHALL BE NATIVE TO CA. AND OF A DROUGHT TOLERANT VARIETY TO THE SATISFACTION OF THE PLANNING DIVISION
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- NO NEW IRRIGATION SHALL BE ALLOWED WITHIN THE SETBACK FROM EDGE OF COASTAL BLUFF

### LANDSCAPE SUMMARY

A. TOTAL AREA OF PROPERTY IN SQUARE FEET:	20,473 SQ. FT.
B. TOTAL AREA IN SQUARE FEET OF ALL LANDSCAPING WITHIN THE PROPERTY BOUNDARIES:	9160 SQ. FT.
C. PERCENTAGE OF TOTAL PROPERTY TO BE COVERED BY LANDSCAPING:	44 %
D. TOTAL AREA OF 25' SETBACK FROM EDGE OF COASTAL BLUFF (AS DELINEATED AND ILLUSTRATED IN REVISED GEOTECHNICAL REPORT) IN SQUARE FEET:	2216 SQ. FT.
-TOTAL SQUARE FOOTAGE OF SETBACK HARDSCAPE:	303 SQ. FT.
-TOTAL SQUARE FOOTAGE OF SETBACK LANDSCAPE:	1913 SQ. FT.
E. PERCENTAGE OF SETBACK AREA COVERED BY HARDSCAPE:	13 %



31726 RANCHO VIEJO ROAD | SUITE 201  
SAN JUAN CAPISTRANO CA 92675  
TEL 949 276 6500 | FAX 949 276 6506  
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**WALSH**  
**RESIDENCE**  
37 MONARCH BAY DRIVE  
DANA POINT, CA  
**WALBERN INVESTMENTS USA, LLC**  
29222 RANCHO VIEJO ROAD, SUITE 207  
SAN JUAN CAPISTRANO, CA 92675

### REVISIONS

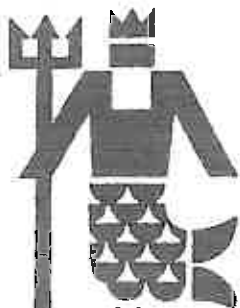
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DESIGNED	DS
CHECKED	
DATE	05/05/15
DESIGN	
JOB TYPE	RESIDENCE



**SHEET TITLE**  
**LANDSCAPE**  
**DEVELOPMENT PLAN**

SHEET	2
OF	2



## Monarch Bay Association

May 23, 2014

Walbern Investments USA, LLC  
c/o Bernie Walsh  
28 Monarch Bay Plaza, Ste Q  
Dana Point, CA 92629

via e-mail

RE: 37 MONARCH BAY DRIVE  
NEW HOME CONSTRUCTION PLANS- BY SOUTH COAST ARCHITECTS  
DATED 5/5/14

Dear Mr. Walsh,

Thank you for submitting your revised new home construction plans dated May 5, 2014 to the Monarch Bay Association Architectural Control Committee. The Committee reviewed and approved these design plans for the structures. Additional details such as elevations, construction drawings, landscape plans, materials/colors, etc... will need to be submitted once they are available.

We thank you for your on-going cooperation. We wish you luck with your project and look forward to receiving these additional details.

Respectfully,

THE MONARCH BAY ASSOCIATION  
ARCHITECTURAL CONTROL COMMITTEE

CC: Board  
Architectural Control Committee  
MB/037/arch/new home plan approval/05.23.14

PC Meeting 7-13-2015  
Item #3  
Supporting Document #5