

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

DATE: JULY 13, 2015

TO: DANA POINT PLANNING COMMISSION

FROM: COMMUNITY DEVELOPMENT DEPARTMENT
URSULA LUNA-REYNOSA, DIRECTOR
EVAN LANGAN, AICP, ASSOCIATE PLANNER

SUBJECT: COASTAL DEVELOPMENT PERMIT CDP12-0006 AND SITE DEVELOPMENT PERMIT SDP12-0007 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING ON LAND LOCATED WITHIN THE RESIDENTIAL BEACH ROAD 12 (RBR-12) ZONING DISTRICT AS WELL AS THE CITY'S FLOODPLAIN OVERLAY DISTRICT AT 35537 BEACH ROAD

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Coastal Development Permit CDP12-0006 and Site Development Permit SDP12-0007.

APPLICANT: Mark Singer Architects

PROPERTY OWNER: Blaine Curtis

REQUEST: Approval of Coastal and Site Development Permits to allow the demolition of a single-family dwelling and the construction of a new, 2,570 square foot, single-family dwelling and an attached, 496 square foot garage, on land located in the City's Floodplain and Coastal Overlay Districts as well as the Appeals Jurisdiction of the California Coastal Commission.

LOCATION: 35537 Beach Road
Assessor Parcel Number APN 691-161-09

NOTICE: Notices of the Public Hearing were mailed to property owners within a 500-foot radius and occupants within a 100-foot radius on July 1, 2015, published within a newspaper of general circulation on July 2, 2015, and posted on July 7, 2015 at Dana Point City Hall, the Dana Point and Capistrano Beach Branch Post Offices, as well as the Dana Point Library.

ENVIRONMENTAL: Pursuant to California Environmental Quality Act (CEQA) Guidelines, staff finds the project is Categorically Exempt per Section 15303 (a) (Class 3 – New Construction or Conversion of Small Structures) in that the project proposes the construction of one new single-family dwelling.

ISSUES:

- Project consistency with the Dana Point General Plan, Zoning Code (DPZC), and Local Coastal Plan (LCP)
- Project compliance with City Floodplain Regulations
- Project compatibility with and enhancement of the site and surrounding neighborhood
- Project satisfaction of all required findings pursuant to the DPZC and LCP for approval of a Coastal Development Permit (CDP) and Site Development Permit (SDP)

BACKGROUND: The subject property is an oceanfront lot located within the Capistrano Beach Community Association, an established and built-out subdivision of residential single-family and duplex structures. The subject lot is relatively small (approximately 29 feet in width by 97 feet in depth), minimally landscaped and presently developed with a two-story, single-family dwelling comprising 1,704 square feet constructed in 1948. The property is unique among Beach Road lots in that it fronts a community-owned “hammerhead” driveway/parking space (shared with its down-coast neighbor at 35535 Beach Road), resulting in a smaller overall lot size and ultimately reduced potential development area for the two properties when compared with others along Beach Road.

Adopted zoning for the property is Residential Beach Road 12 (RBR-12); the lot is located both within the City’s Floodplain and Coastal Overlay Districts (the latter also known as the California Coastal Zone) as well as the appeals jurisdiction of the California Coastal Commission. The “Floodplain Overlay” designation identifies the property as being subject to potential inundation by wave action and requires specific structure design and location requirements enumerated upon elsewhere in this report.

The proposed project, in near identical form, was reviewed and approved by the Planning Commission in 2008 via Coastal Development Permit CDP08-0003 and Site Development Permit SDP08-0010. That approval was never acted upon and subsequently expired in 2010.

Development Proximity to Pacific Coast Highway/Train Tracks and Potential Impacts from Ambient Noise

The subject property is located adjacent to both train tracks and Pacific Coast Highway (PCH) - designated noise generators pursuant to the Noise Element of the City's adopted General Plan. Moreover, the subject property is zoned for and presently contains a single-family dwelling - a designated "noise sensitive receptor" per the same Element. The City's Community Noise Measurement Survey (1991) established ambient or baseline noise levels in this and other parts of the community and utilized them to create projections for the area's community noise equivalent level (CNEL) - the average sound level (plus 5 - 10 decibels) in a given area during a 24 hour period. That survey identifies a PCH decibel rating of approximately 65 decibels (dB) within "Zone B" for single-family development and the receipt of a similar amount of sound for properties within close proximity.

That said, the Noise Element recognizes that conventional construction materials and techniques as contained within Chapter 12, Section 1207 of the California Building Code, will normally suffice in reducing interior noise for development within Zone B to acceptable levels (less than 45 decibels). Moreover, owing to the property's uniquely deep driveway (as compared to other properties along Beach Road), habitable portions of the dwelling - specifically upper-level bedrooms where sleeping would occur - would be located a minimum of 85 feet from train-tracks and PCH, providing additional sound buffering. The combination of these mitigations assures staff that the project complies with all City standards related to noise.

DISCUSSION: The subject application proposes the demolition of all existing development onsite and the construction of a new single-family dwelling comprising 2,570 (habitable) square feet with an attached, 496 square foot two-vehicle garage. In total, the dwelling would comprise three bedrooms in addition to several accessory and storage rooms. The structure's garage would provide compliant, covered parking for two vehicles. Overall building height would be 28 feet as measured from a point (baseline) 18 inches above the designated "base flood elevation" (BFE) of 16.00 feet to the highest point on the structure's roof. The roof itself would be of a barreled design made of corrugated metal, curving over the structure below at a pitch (ratio) equivalent to 6:12. The overall architectural style of the dwelling would be contemporary, with a façade comprised of smooth stucco, poured-in-place concrete trim and punctuated by large amounts of glass. Finally, proposed landscaping would cover approximately 14 percent of the area between the front property-line and the structure stringline - exceeding the minimum 10 percent coverage required per the DPZC - and would comprise a variety of native and drought tolerant plantings.

The lot's location fronting Beach Road further dictates that any new development be subject to the standards of Section 9.09.040 of the DPZC, identifying among other things, the seaward limit of development (structure and patio stringlines). The proposed single-family dwelling would be located roughly to the extent of the structure stringline

established for its eastern and western property lines (115 and 114 feet ocean-ward of the front property-line respectively). A rear-yard deck is also proposed and mounted atop caissons with a surface elevation of 17.5 feet (18 inches above the established BFE).

Coastal Development Permit CDP12-0006

Pursuant to standards of the DPZC, proposed demolition of a single-family dwelling and/or construction of a new single-family dwelling shall require approval of a CDP. Section 9.69.070 of the DPZC stipulates a minimum of seven findings to approve a CDP, requiring that the project:

1. *Be in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code. (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096).*
2. *(If located between the nearest public roadway and the sea or shoreline of any body of water), be in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 CA Code of Regulations/13096).*
3. *Conform with Public Resources Code Section 21000 and following and that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 CA Code of Regulations/13096).*
4. *Be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.*
5. *Minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards.*
6. *Be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas.*
7. *Conform to the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or any other applicable adopted plans and programs.*

Supportive findings to approve the CDP request can be made and are enumerated in the attached draft resolution.

Section 9.69.070 of the DPZC further stipulates that findings be made to require or exempt a project from dedicating one of five types of coastal public access (lateral, bluff top, vertical, trail or recreational). As applied to the subject property, only a lateral

access dedication would be applicable. However, a finding can be made pursuant to Section 9.27.030 (a)(3)(B)(b) that the project qualifies for an exception from the requirement to dedicate, as public access to the coast exists in close proximity to the north at Capistrano Beach and to the south at Poche Beach. (Attachment 1 - Draft Planning Commission Resolution).

access

Site Development Permit SDP12-0007

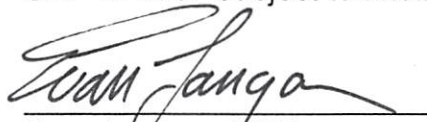
Pursuant to Section 9.31 of the DPZC, development proposed within the City's Floodplain Overlay District shall require approval of a SDP. Moreover, within so-called "coastal high hazard areas," a BFE must be established via a wave run-up report and provide a minimum safe height to which most structures must be elevated above mean sea level (MSL). A study prepared by a California licensed civil engineer has been provided for the subject property and recommends a BFE of 16.00 feet NAVD88 (vertical datum measurement) for the site and which has been corroborated by the City's engineering staff.


As aforementioned, both the main dwelling and seaward deck have been designed atop caissons with the lowest horizontal structural members (grade beams) of the dwelling elevated above the BFE and so habitable portions of the building will not absorb force or wave action during storm events. Positioning the horizontal structural elements at this elevation further allows the sand below the structures to erode under wave action during storm surges, permitting ocean water to flow under the dwelling and subsequently recede back to the beach. Compliant with Floodplain Overlay standards, the garage of the dwelling is proposed below the BFE to facilitate access from adjacent Beach Road. To allow protection from potential wave forces, breakaway panels have been incorporated that would allow flow-through of water from the ocean-side of the property to the street (again protecting habitable portions of the structure elevated above).

CORRESPONDENCE: To date, no correspondence has been received concerning the subject project.

The Beach Road Community Association is established as a District and does not have a homeowners association.

CONCLUSION: Staff finds that the subject project is consistent with the policies and provisions of the City of Dana Point General Plan, Zoning Ordinance and Local Coastal Program. As the project complies with all standards of development, staff recommends the Planning Commission adopt the attached resolution, approving CDP12-0006 and SDP12-0007 subject to findings and conditions of approval.


Evan Langan, AICP
Associate Planner


Ursula Luna-Reynosa
Director of Community Development

ATTACHMENTS:

Action Documents

1. Draft Planning Commission Resolution No. 15-07-13-xx

Supporting Documents

2. Vicinity Map
3. Site Photographs
4. Project Plans

RESOLUTION NO. 15-07-13-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, COASTAL DEVELOPMENT PERMIT CDP12-0006 AND SITE DEVELOPMENT PERMIT SDP12-0007 TO ALLOW THE DEMOLITION OF AN EXISTING SINGLE-FAMILY DWELLING AND THE CONSTRUCTION OF A NEW SINGLE-FAMILY DWELLING ON LAND LOCATED WITHIN THE RESIDENTIAL BEACH ROAD 12 (RBR-12) ZONING DISTRICT AS WELL AS THE CITY'S FLOODPLAIN OVERLAY DISTRICT AT 35537 BEACH ROAD

**Applicant: Mark Singer Architects
Property Owner: Blaine Curtis**

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for Coastal and Site Development Permits to allow demolition of an existing single-family dwelling and the construction of a new single-family dwelling at 35537 Beach Road (Assessor Parcel Number APN 691-161-09); and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is Categorically Exempt per Section 15303 (a) (Class 3 - New Construction or Conversion of Small Structures) in that the application proposes the construction of one, new single-family dwelling; and

WHEREAS, the Planning Commission did, on the 13th day of July, 2015, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Coastal Development Permit CDP12-0006 and Site Development Permit SDP12-0007.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows:

- A. That the above recitations are true and correct.
- B. Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves CDP12-0006 and SDP12-0007 subject to conditions:

Findings:

Coastal Development Permit (CDP12-0006)

Demolition of a single-family dwelling, construction of a new single-family dwelling

1. That the proposed project is *in conformity with the certified Local Coastal Program as defined in Chapter 9.75 of this Zoning Code (Coastal Act/30333, 30604(b); 14 CA Code of Regulations/13096)* in that the proposal will comply with the Dana Point General Plan Land Use Element's Residential 3.5 - 7 DU/AC Land Use Designation and; will be consistent with (Land Use) Policy 1.19, requiring assurance that public safety is provided for in all new seaward construction within the Capistrano Bay District private community and; the project has been found consistent with all standards of development in the Dana Point Zoning Code, which acts as the Local Coastal Program (LCP) for the site.
2. If located between the nearest public roadway and the sea or shoreline of any body of water, that the project is in conformity with the public access and public recreation policies of Chapter Three of the Coastal Act. (Coastal Act/30333, 30604(c); 14 Cal. Code of Regulations/13096) in that, while the subject property is located between the first public roadway and the sea, implementation of the subject project would not alter the intensity of surrounding uses, block or impede public access to Public Trust Lands, and so is in conformance with the public access requirements of Chapter Three of the California Coastal Act.
3. That the project conforms to Public Resources Code Section 21000 (the California Environmental Quality Act - CEQA) and following, that there are no feasible mitigation measures or feasible alternatives available which would substantially lessen any potentially significant adverse impact that the activity may have on the environment. (Coastal Act/30333; 14 Cal. Code of Regulations/13096) in that the project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 (a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines in that the application proposes the construction of one, new single-family dwelling.
4. That the proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources in that the subject property lies adjacent to the Pacific Ocean, a noted sensitive habitat area, park and recreation area. However, the subject scope-of-work proposes development permitted by the Dana Point Zoning Code and

Local Coastal Program, has been reviewed and found by City staff to conform to all development standards therein (including design criteria intended to minimize to the greatest extent feasible, potentially adverse impacts to shoreline processes) and so no such buffer areas from adjacent ESHA are required.

5. That the proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards in that the proposed dwelling (and all proposed improvements) are or would be elevated atop a caisson foundation to a base flood elevation (BFE) not less than 16 feet (NAVD88 datum) as recommended by a California licensed engineer pursuant to Wave Analysis documentation dated April 11, 2013 (on file with the city). The elevation of both foundation and structure negates the need for revetments, seawalls and/or general landform alteration via site grading, and serves to minimize risks from any potential geologic and/or erosional or flood forces.
6. That the proposed development will be visually compatible with the character of surrounding areas, and, where feasible, will restore and enhance visual quality in visually degraded areas in that the subject application proposes construction of a new single-family dwelling within an established community of identical uses. The surrounding neighborhood is comprised of widely varying architectural styles, a design aesthetic the proposed dwelling will wholly complement. The proposed structure has been found to conform to all standards of development prescribed by its respective zoning district. This conforming addition to the project site constitutes fulfillment of General Plan Land Use and Zoning Code intent for the site, and accordingly enhancement of the property.
7. That the proposed development will conform with the General Plan, Zoning Code, applicable Specific Plan, Local Coastal Program, or other applicable adopted plans and programs in that the subject project has been reviewed by Planning and Building/Safety Division staffs and the Public Works/Engineering Department and found to conform to all applicable standards of development.

Lateral Access (Exception)

That lateral public access across the subject property is not required

1. That adequate access exists nearby in that public access to Trust Lands (the beach and ocean) exist within close proximity to the north of the subject property at Capistrano Beach and to the south at Poche Beach.

Site Development Permit (SDP12-0007)

Development proposed in the Floodplain Overlay District

1. That the site design is in compliance with the development standards of the Dana Point Zoning Code in that the **subject project has been reviewed by City staff and found to conform to both the standards and intent of the Dana Point Zoning Code - specifically siting and design standards stipulated in Section 9.31 (Floodplain Overlay).**
2. That the site is suitable for the proposed development in that the **subject application proposes the construction of a new single-family dwelling on land zoned and subdivided for such a use, located within an established community of like uses.**
3. That the project is in compliance with all elements of the General Plan and all applicable provisions of the Urban Design Guidelines in that the **proposed scope-of-work does not conflict with any goal or policy; the proposed dwelling has been found to conform to the prescribed zoning envelope (including overall height, setbacks, etc.) for new structures in the Residential Beach Road 12 (RBR-12) Zoning District.**
4. That the site and structural design is appropriate for the site and function of the proposed use in that the **proposed dwelling would utilize materials, scale and site design that are compatible with its surrounding neighborhood and will be constructed in compliance with the requirements of the Floodplain Overlay District which, among other things, requires that the proposed dwelling be constructed atop caissons founded into the earth and elevated to a height recommended by a qualified engineer that would protect habitable portions of the dwelling from potential inundation by waves.**

Conditions:

A. General:

1. Approval of this application permits the demolition of an existing single-family dwelling and the construction of a new single-family dwelling with attached, two-vehicle garage at 35537 Beach Road. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan, Local Coastal Program and Zoning Code.

2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.
3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding.

The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions, or proceedings against the City, its officers, employees, or agents arising out of or resulting from the negligence of the applicant or the applicant's agents, employees, or contractors. Applicant's duty to defend, indemnify, and hold harmless the City shall include paying the CITY's attorney's fees, costs and expenses incurred concerning the claim, action, or proceeding. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.

The applicant and owner, and their successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.

6. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
7. The applicant shall obtain a grading permit and complete rough grading (establishment of building pads) in accordance with approved grading plans and reports.
8. Fire sprinklers shall be required for this project and be illustrated in submitted structural or other plans as required by the Building Official and/or the CA Building Code.
9. All improvements authorized under this approval shall comply with 2013 CA Code of Regulations, Parts 1 - 12 and any local amendments thereto as well as with 2013 T-24 Energy Conservation Regulations.
10. All onsite utilities shall be undergrounded.
11. The foundation system shall provide for expansive soils and soils containing sulfates unless a soils report can justify otherwise.
12. The project shall meet all water quality requirements including Low Impact Development (LID) implementation.
13. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
14. The owner shall execute and record a deed restriction to include the following restrictions which cannot be removed or changed without prior City amendment to this Coastal Development Permit. The deed restriction shall be recorded, free of prior liens to bind the owner(s) and any successors in interest or otherwise recorded to the satisfaction of the City Attorney and Community Development Department.
 - a. *The property owner(s) agrees on behalf of themselves and all other successors and assigns, that no shoreline protective device which would substantially alter natural land form along bluffs and cliffs, cause beach erosion or adversely impact the local shoreline sand supply shall ever be constructed to protect the development approved pursuant to the permits issued hereunder including, but*

not limited to, the dwelling, foundation, decks and any other future improvements in the event the development is threatened with damage or destruction from waves, erosion, storm conditions or other oceanographic hazards in the future.

- b. The property owner(s) shall be responsible for the removal of any and all pre-existing ocean protective devices directly fronting the subject property at the time they are determined to no longer be required to protect surrounding properties. The property owner shall assume all costs and responsibilities associated with the removal.*
- c. The property owner(s) agrees, on behalf of themselves and all other successors and assigns, that the landowner shall remove the development authorized by this permit, including the dwelling, foundation and decks, in any situation where a government agency with appropriate jurisdiction determines that the structures approved by this permit have been damaged to the point where future occupancy can no longer be permitted and repair cannot be accomplished without contributing significantly to erosion, geologic instability or having a significant adverse impact on local shoreline sand supply.*
- d. The property owner(s) understands that the project site is subject to coastal wave action and that the owner(s) assumes the liability from these hazards.*
- e. The property owner(s) unconditionally waive any claim of liability on the part of the City or any other public agency from any damage from such (coastal wave action) hazards.*
- f. The property owner(s) assume all liability for damages incurred as a result of any required off-site grading.*

B. Prior to Issuance of a Grading Permit:

- 15. The applicant shall submit a Grading Plan to the Public Works/Engineering Department for review and approval. The grading Plan shall comply with City standards and further include all documents as required by current Public Works Department plan check policies, the City of Dana Point Municipal Code and Grading Manual as well as the City's Municipal Separate Storm Sewer Systems (MS4s) Permit.
- 16. The applicant shall submit a geotechnical report in compliance with all City of Dana Point standards.

17. The applicant shall submit a drainage plan in accordance with all City of Dana Point standards for review and approval. The drainage plan shall be reviewed on a time and materials basis. All grading and drainage shall be in compliance with City of Dana Point Standards. All drainage shall be directed to Beach Road in accordance with City of Dana Point Codes and Requirements.

C. Prior to Building Plan Check Submittal and/or prior to issuance of a Building Permit or, prior to release on certain related inspections, the applicant shall meet the following conditions:

18. The applicant shall submit a rough grade certification from the Civil Engineer of Record for review and approval by the City Engineer. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan and shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
19. The applicant shall submit a rough grade certification from the Geotechnical Engineer of Record for review and approval by the City Engineer by separate submittal. The rough grade certification by the geotechnical engineer (along with the City's standard Geotechnical Engineer's Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the recommendation of the project geotechnical report approved grading plan from a geotechnical standpoint.
20. The applicant shall submit a final Landscape and Irrigation Plan for review and approval by both the Public Works/Engineering Department and the Planning Division. The plan shall include all proposed and existing plant materials (location, type, size, and quantity), an irrigation plan (if irrigation is proposed), site plan and a copy of the entitlement conditions of approval. The plan shall be in substantial compliance with applicable provisions of the Zoning Code, the preliminary plans approved by the Planning Commission and further, recognize the principles of drought tolerant landscaping. Any trees and shrubs proposed within the rear yard beyond the structural string-line shall be a maximum of 42-inches in height.

21. The applicant shall illustrate and identify by description and instrument number the location of all existing easements on the site, grading, and landscaping plans. Any proposed construction within an easement shall be reviewed and approved by said easement holder to the satisfaction of the Public Works and Community Development Departments.
22. Building plan-check submittal shall include four sets of the following construction documents:
 - *Building (structural) plans*
 - *Structural calculations*
 - *Energy calculations*
 - *Soils/geology report*
 - *Drainage plan*
23. All documents prepared by a professional shall be both wet-stamped and signed.
24. The project Coastal Engineer's recommendations, contained in coastal engineering reports and addendums submitted to the City shall be incorporated into and referenced on submitted project plans. The Project Coastal Engineer shall review, sign, and wet-stamp the final building plans and, provide a completed Floodplain Certification form to the City.
25. Review and approval of the subject project by the Orange County Fire Authority (OCFA) is required. The applicant shall submit three separate sets of building plans directly to the OCFA, and subsequently submit to the evidence to the Building/Safety Division of that review and approval.
26. The applicant shall submit payment for all supplemental fees, including school, park, water, sewer and other impact-related fees.
27. Prior to commencement of framing, the applicant shall submit a foundation certification, by survey, that the structure will be constructed in compliance with the dimensions shown on plans approved by the Planning Commission, including finish floor elevations and setbacks to property lines included as part of CDP12-0006 and SDP12-0007. The City's standard "Line & Grade Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed civil engineer/surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval. Certification shall verify that the location of the structure is in compliance with the structure and patio string-lines as indicated on the approved plans and the elevation of the grade beams are in compliance with the requirements of the approved Coastal Hazard & Wave Run-Up memorandum dated April 11, 2013.

D. Prior to Issuance of a Certificate of Occupancy

28. Prior to release of the roof sheathing inspection, the applicant shall certify by a survey or other appropriate method that the height of the structure is in compliance with plans approved by the Planning Commission and the structure heights included as part of CDP12-0006 and SDP12-0007. The City's standard "Height Certification" form shall be obtained from the Project Planner at time of building permit issuance, completed by a licensed surveyor and be delivered to the Building/Safety and Planning Divisions for review and approval before release of final roof sheathing is granted.
29. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
30. A written approval by the Geotechnical and Civil Engineers of Record shall be provided, approving all grading, drainage and new walls as having been constructed in conformance with approved grading and other construction plans.
31. All structural best management practices (BMPs) shall be constructed and installed in conformance with approved plans and specifications.
32. A Federal Emergency Management Agency (FEMA) Elevation Certificate shall be filed for development in the floodplain. The Elevation Certificate shall be prepared in accordance with all City of Dana Point requirements and all applicable FEMA guidelines.
33. The applicant shall contact the Project Planner for a final inspection of the project and property prior to contacting the Building/Safety Division and Public Works/Engineering Department for a final inspection and project sign-off. All landscaping within the front-yard of the subject property shall be installed (per plan) prior to final inspection by the Planning Division.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 13th day of July, 2015, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

April O'Connor, Chairperson
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department



City of Dana Point
CDP12-0006 and SDP12-0007
Evan Langan, AICP, Associate Planner
Community Development Department
33282 Golden Lantern
Dana Point, CA 92629-1805

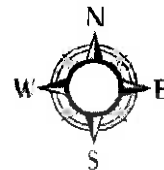
VICINITY MAP



Project : CDP12-0006 and SDP12-0007

Applicant: Mark Singer Architects

Location: 35537 Beach Road





PC Meeting 7-13-2015
Item #4
Supporting Document #3











SCALE: 1/8"=1'-0"

1

1. ALL UTILITIES TO BE INSTALLED UNDERGROUND TO THE NEAREST EXISTING UTILITY POLE.
2. CONTRACTOR TO "STAKE-OUT" AND VERIFY WITH ARCHITECT THE FOLLOWING SETBACKS, ELEVATIONS AND DRIVEWAY PRIOR TO START OF CONSTRUCTION.
3. ALL ELECTRICAL AND COMMUNICATION LINES TO BE LAID BELOW GRADE PER BUILDING CODE REQUIREMENTS TO NEAREST STREET UTILITY HOOKUPS.
4. ALL SITE ELEMENTS AND WORK TO BE COORDINATED WITH LANDSCAPE ARCHITECT AND THEIR DOCUMENTS.
5. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING.
6. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, ALL APPLICABLE PROVISIONS PERTAINING TO BRUSH CLEARANCE CONTAINED IN THE CALIFORNIA FIRE CODE SHALL BE FULLY COMPLIED WITH, TO THE SATISFACTION OF CITY FIRE DEPT.
7. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT IN CONNECTION WITH THE LOCATION OF THIS WORK.
8. CONTRACTOR TO MAKE NO CHANGES IN DESIGN MATERIALS OR DETAILS EXCEPT WITH PERMISSION OF THE ARCHITECT.
9. CONTRACTOR SHALL SIGN AND POST A NOTICE IN THE STRUCTURE CERTIFYING THAT INSULATION INSTALLATION COMPLIES TO THE STANDARDS OF THE STATE OF CALIFORNIA.
10. ALL CHIMNEYS, NOT IN THE "HAZARDOUS FIRE AREA", SHALL BE MAINTAINED WITH SPARK ARRESTORS WHICH WILL PERMIT THE PASSAGE OF OBJECTS NO GREATER IN SIZE THAN ONE-FOUR (1/4) INCH NOR OBSTRUCT THE PASSAGE OF OBJECTS SMALLER THAN THREE-EIGHTHS (3/8) INCH. LENG. = 150.0/40 (g).
11. CONTRACTOR TO FIELD VERIFY ALL EXISTING PAD ELEVATIONS, FINISH FLOOR ELEVATIONS, AND IF ANY DISCREPANCIES ARE ENCOUNTERED, NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
12. PRIOR TO ANY EXCAVATION A MEETING SHALL BE HELD AT THE SITE THAT WILL BE ATTENDED BY THE PROJECT ENGINEERING GEOLOGIST, PROJECT BUILDING INSPECTOR, GENERAL CONTRACTOR AND SHORING CONTRACTOR.
13. CONTRACTOR TO VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE ARCHITECT OF ANY OMISSIONS, ERRORS, OR DISCREPANCIES.
14. ALL WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.
15. PREPAIRE HOUSE FOR CABLE TELEVISION PER CITY POLICY.
16. DEPUTY INSPECTOR TO OBTAIN CITY OF DANA POINT, BUILDING DEPARTMENT CLEARANCE PRIOR TO ANY WORK COMMENCEMENT ON FIELD HOLDINGS OF STRUCTURAL STEEL.
17. ALL GRADING MUST COMPLY WITH THE CITY OF DANA POINT MUNICIPAL CODE AND APPENDIX CHAPTER 2 OF THE UNIFORM BUILDING CODE.
18. AT THE COMPLETION OF THE JOB, AN AS-BUILT GRADING PLAN MUST BE PROVIDED BY THE CIVIL ENGINEER. THE GEOLOGIST AND SOILS ENGINEER MUST CERTIFY THAT THE SITE IS SUITABLE FOR INTENDED USE AND THE COMPLETION OF GRADING AND BUILDING.
19. THE CIVIL ENGINEER MUST CERTIFY THAT THE BUILDING PAD OF THE FUTURE FINISH FLOOR ELEVATION DOES NOT VARY BY MORE THAN TWO-TENTHS OF A FOOT FROM THE APPROVED ELEVATIONS PRIOR TO START OF BUILDING CONSTRUCTION.
20. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE A CERTIFICATE OF CURRENT HOMEOWNERS COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT.
21. ALL EXPOSED NON-FINISHED HEATL IS TO BE PAINTED INCLUDING SHOP OR FACTORY PRIME SURFACES.
22. LICENSED CIVIL ENGINEER / ARCHITECT THAT PREPARED THE DRAINAGE PLAN SHALL CERTIFY AT THE COMPLETION OF THE PROJECT THAT THE SITE DRAINAGE IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.
23. CAL OSHA PERMIT SHALL BE OBTAINED FOR ALL EXCAVATIONS DEEPER THAN SIX FEET.
24. SHALL BE PROVIDED TO THE CITY PRIOR TO ISSUANCE OF PERMIT.
25. UNLESS OTHERWISE NOTED, TYPE V CEMENT IS TO BE USED IN ALL FOUNDTATOR ELEMENTS, AND ALL CONCRETE IN CONTACT WITH SOIL WHERE HIGH SULFATE SOILS ARE INDICATED BY THE SOILS REPORT, OR OTHER CONSULTANTS.
26. PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET. (MINIMUM 4" HIGH X 1" WIDE)
27. REQUIREMENT FOR GARAGE CONSTRUCTION:
 - a. SPECIFY MAKEUP OF 1-HR FIRE-RESISTIVE CONSTRUCTION ON THE GARAGE SIDE FOR WALLS, CEILING, POSTS AND BEAMS OF GARAGE ADJACENT TO OR SUPPORTING RESIDENCE. MINIMUM 5-1/2" TYPE X G.S. & 2X FRAMING OR 2 LAYERS OF 5/8" TYPE X G.S. MANUFACTURED TRUSSES. (CBC 502.4 AND TABLE 3-B)
 - b. ALL ELEMENTS INSIDE THE GARAGE SUPPORTING STORIES ABOVE SHALL HAVE 1-HR PROTECTION. (CBC 502.4)
 - c. SELF-CLOSING, TIGHT-FITTING, SOLID WOOD 1-5/8" THICK DOOR OR A 20 MIN. RATED DOOR TOP OPENINGS TO DWELLINGS. (BOCA 24)
 - d. NEW GROUP R DIVISION 8 OCCUPANCIES SHALL BE EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM. RESIDENTIAL OR GUEST-RESPONSE SMOKE PULLERS OR LEADS SHALL BE USED IN THE DWELLINGS UNIT AND GUEST ROOM PORTIONS OF THE BUILDING.
 - e. DEPUTY INSPECTOR TO OBTAIN CITY OF DANA POINT, BUILDING DEPARTMENT CLEARANCE PRIOR TO ANY WORK COMMENCEMENT ON EPOXY CONCRETE
 - f. TITLE 24 REQUIRES RADIANT BARRIER.
 - g. TITLE 24 REQUIRES "HERS" TESTS.
 - h. SPECIAL BEACH ROAD LINE AND GRADE CERTIFICATION REQUIRED PRIOR TO PLACEMENT OF CONCRETE.
28. SEANALLS, REVEITEMENTS AND SHORELINE PROTECTIVE DEVICES OR CONSTRUCTION THAT LATES THE NATURAL SHORELINE PROCESSES ARE PROHIBITED. NO PERMANENT STRUCTURAL BUILDING OR PIER, PILE, TOWER OR STRUCTURES SUCH AS RETAINING WALL, PONS, OR FOUNTAINS ARE PERMITTED. DPMG 4.51.0609(XII)

MEANS OF EGRESS:

ALL BEDROOMS OR ROOMS USED FOR SLEEPING SHALL HAVE EGRESS/RESCUE WINDOWS OR DOORS. (CBC 1026.2)

A. MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

B. MINIMUM NET CLEAR OPENING OF 3 SQUARE FEET FOR WINDOWS AT GRADE FLOOR LEVEL.

C. MINIMUM NET CLEAR OPENING WIDTH 30 INCHES.

F. MINIMUM NET CLEAR HEIGHT OF 24 INCHES.

I. WINDOW SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

WINDOWS ARE THE OPENINGS OF THE SILL PORTION OF THE OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE THE FINISHED GRADE OR SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE 20" ABOVE THE FINISHED FLOOR OR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE OPENINGS SUCH THAT A 4" DIAMETER SPHERE MAY NOT PASS. (CBC 1003.12.2)

B. STAIRWAYS AND LANDINGS:

A. MAXIMUM RISE OF 7-1/2" AND MINIMUM RUN (TREAD) OF 10" (CBC 1001.8.4)

B. MINIMUM WIDTH OF 56" (CBC 1001.10)

C. MINIMUM HEADROOM OF 80" (CBC 1001.2)

D. HANDRAILS SHALL BE 34"-58" ABOVE NOSING OF TREADS.(CBC1001.2)

1. WITH IN INDIVIDUAL GROUP R2 & R3 OCCUPANCIES, GUARDS ON THE SIDE OF STAIRS THAT SERVE AS HANDRAILS MAY HAVE EGRESS/RESCUE BALUSTERS OR GUARDS THAT A SPHERE 4-3/8" IN DIAMETER CANNOT PASS THROUGH. (CBC 1001.3)

2. GUARDS THAT ALSO SERVE AS HANDRAILS IN GROUP R2 & R3 OCCUPANCIES MAY HAVE A HEIGHT BETWEEN 34" AND 58" (CBC 1001.3)

1003.3.5.1. CROSS SECTION DIMENSIONS 1 1/4" MIN.-2" MAX. SEC. 1003.3.5.1.

A. PROVIDE DESIGN OF THE STAIRS STRINGERS TO SUPPORT A UNIFORM LIVE LOAD OF p.p.s.

7. PROVIDE A 42" HIGH PROTECTIVE GUARD (GUARDRAIL) FOR DECKS, PORCHES, BALCONIES AND RAISED FLOORS (MORE THAN 30" ABOVE FINISHED GRADE) ON ALL EXTERIOR OPEN SIDES OF FLOORS, LANDINGS, OPENINGS BETWEEN BALUSTERS/RAILS SHALL BE LESS THAN 4". GUARDS THAT ALSO SERVE AS HANDRAILS IN GROUP R2 & R3 OCCUPANCIES MAY HAVE A HEIGHT BETWEEN 34" AND 58". CBC 1001.2

HERS REQUIRED VERIFICATION

Items in this section require field testing and/or verification by a certified home energy rater under the supervision of a CBC-approved HERS provider using approved testing and/or verification methods and must be reported on the CHWAC Insulation certificate.

Its building incorporates HERS verified Insulation installation.

Its building incorporates a HERS verified Refrigerant Charge test

a HERS verified Thermostatic Expansion Valve (TXV), if a cooling system is not installed, then HERS verification is not necessary.

Its building incorporates HERS verified Duct Leakage. Target leakage is _____ per hour at 75°F. If the target, then corrective action must be taken to reduce the duct leakage or must be retested. Alternatively, the compliance calculations could be done without duct testing. If ducts are not installed, then HERS verification is not necessary.

REFERENCE COASTAL DEVELOPMENT PERMIT
CDFI2-0006 AND SITE DEVELOPMENT PERMIT
SDPI2-007*

DEMOLITION OF AN EXISTING SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW, TWO-STORY PLUS MEZZANINE SINGLE FAMILY RESIDENCE WITH 2 CAR GARAGE, NEW REAR PATIO AND LANDSCAPING.

1. A BACKWATER VALVE IN THE BUILDING DRAINAGE SYSTEM SHALL BE PROVIDED TO PROTECT PLUMBING FIXTURES THAT HAVE UPWARD VENTING BUT NOT DRAIN THROUGH THE BACKWATER VALVE.
2. LICENSED CIVIL ENGINEER / ARCHITECT THAT PREPARED THE DRAINAGE PLAN SHALL CERTIFY AT THE COMPLETION OF THE PROJECT THAT THE SITE DRAINAGE IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.
3. EAVES PROJECTIONS ARE TO BE 1-HOUR FIRE-RESISTIVE, HEAVY TIMBER, OR NONCOMBUSTIBLE MATERIALS. NO OPENINGS ARE ALLOWED IN THE EAVES.
4. FINISH GRADE AROUND THE NEW STRUCTURE/ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
5. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PAINTS, COATINGS, OR OTHER LIQUID MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
6. NO SWIMMING POOLS, SPAS, OR OTHER SIGNIFICANT STRUCTURAL SYSTEMS SUCH AS STRUCTURAL PONDS, FOUNTAINS, RETAINING WALLS OR INTEGRAL STRUCTURAL FEATURES THAT MAY CAUSE A REDUCTION OF THE MAJOR OR THAT IMPLY FORCE ON THE BUILDING ARE PERMITTED BELOW THE "BREAKING WAVE ELEVATION" (BW) OR THE "WAVE RUN UP ELEVATION" (WR). (DPM 9.51.006.01)(A)(I)(II).

PROJECT OWNER:	BLAINE CURTIS 95597 BEACH ROAD DANA POINT, CA 744.1.6401.6566	STRUCTURAL ENGINEER:	MICHAEL GABRIEL 408 E 20TH STREET COSTA MESA, CA 92627 949.648-6596
ARCHITECT:	MARK SINGER ARCHITECTS 1100 BALBOA AVE LAGUNA BEACH, CA 92651 949.448.1624 CONTACT: NEELA KASHYAP	CIVIL ENGINEER	JRY ENGINEERS 2021 E. 4TH ST. #204 SANTA ANA, CA 92705 714-784-0720 CONTACT: JUSTO VILLAR
LANDSCAPE ARCHITECT	PETER NEISEROD 1620 THURSTON LAGUNA BEACH, CA 92651 949.447.1750	PROJECT GEOTECHNICAL	GEOSOLS 274 PALMER WAY, CARLSBAD, CA 92010. 760-450-9155

<u>LEGAL DESCRIPTION:</u>	<u>BUILDING SQ. FT.</u>	
95507 BEACH ROAD,	FLOOR	SQ. FT.
DANA POINT, CA	LOWER LEVEL	797.0
	MEZZANINE LEVEL	616.9
	UPPER LEVEL	1,055.0
	TOTAL:	2,468.9
LOT SIZE: 2,500.0 SQ. FT.	GARAGE:	446.0
ALLOWABLE LOT COVERAGE =	DECKS:	51.0
BUILDING FOOTPRINT =		
<u>FIRE SPRINKERS</u>	<u>GRADING:</u>	
FIRE SPRINKLERS REQ'D	CUBIC YARDS CUT:	C.Y.
PER CITY OF DANA POINT CODE	CUBIC YARDS FILL:	C.Y.

SHEET DESCRIPTION	SHEET #
SITE PLAN / ROOF PLAN, GENERAL INFORMATION	A1
TOPO SURVEY	1
PRECISE GRADING PLAN	C1
PRECISE GRADING PLAN	C2
EROSION CONTROL PLAN	C3
LOWER FLOOR PLAN	A2
MEZZANINE FLOOR PLAN	A3
LOWER FLOOR PLAN	A4
ROOF LEVEL PLAN	A4.1
EAST, WEST & SOUTH ELEVATION	A5
NORTH ELEVATION	A6
SECTION - A, B & C	A7
SECTION - D & E	A8
AREA CALCULATIONS	AC1
GENERAL NOTES	S1
FOUNDATION PLAN	S2
MEZZANINE FLOOR FRAMING PLAN	S3
UPPER FLOOR FRAMING PLAN	S4
ROOF FRAMING PLAN	S5
STRUCTURAL DETAILS	S6
STRUCTURAL DETAILS	S7
STRUCTURAL DETAILS	S8
STRUCTURAL DETAILS	S9
STRUCTURAL DETAILS	S10
LANDSCAPE PLAN	L1
TOTAL SHEETS.	25

ALL CONSTRUCTION SHALL COMPLY TO THE FOLLOWING:

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CSBSC)
- 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)

THE CITY OF DANA POINT LOCAL ORDINANCES

REVISIONS		
1	PLANNING CORR. 1	12.03.12
2	PLANNING CORR. 2	12.02.13
3	PLANNING CORR. 3	04.25.14
4	PLANNING CORR. 4	11.15.14
5	PLANNING CORR. 5	05.19.15

MARK SINGER, AIA ARCHITECTS

449 | 499 | 6244 PHONE 449 | 499 | 6214 FAX MARKSINGER@COX.NET

CURTIS residence

35551 BEACH ROAD, DANA POINT, CA

THE UNIVERSITY OF CHICAGO

A1

PLANNING CORR 5

STANDARD GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF DANA POINT AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE WORK IS IN PROGRESS. WHEN REFERENCED ON THE PLANS, A COPY OF ORANGE COUNTY ROAD STANDARD PLANS SHALL ALSO BE RETAINED ON THE SITE.
2. GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY GRADING INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEERING GEOLOGIST, CITY GRADING INSPECTOR AND WHEN REQUIRED, THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLAINED AT THIS MEETING.
3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
5. RETAINING WALL/BLOCK WALLS REQUIRE SEPARATE PERMIT FROM BUILDING DEPARTMENT.
6. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
7. PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT, ARE CONSIDERED A PART OF THE APPROVED GRADING PLAN.
8. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
9. THE CIVIL ENGINEER SHALL BE AVAILABLE DURING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
10. FILLS SHALL BE BENCHMARKED INTO COMPETENT MATERIAL PER ORANGE COUNTY ROAD STANDARD PLAN NO. 1322.
11. THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYON, INSPECT EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF HIDDEN SUBDRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
12. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
13. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-BUILT PLANS.
14. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO PLACING FILL.
15. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
16. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE COMPACTION. AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. MAXIMUM DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-4 OR APPROVED EQUIVALENT AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2 OR APPROVED EQUIVALENT.
17. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED OTHERWISE.
18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEMS EXIST. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARD OF POTENTIAL GEOLOGICAL HAZARD, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
20. WHEN CUT PADIS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
21. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER PER THE GRADING CODE SECTION 601.020.
22. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND SOIL ENGINEER.
23. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY HEALTH CARE AGENCY (714-433-6267 OR 714-433-6268). A PERMIT IS REQUIRED.
24. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE UNIFORM PLUMBING CODE TO THE APPROVAL OF THE CITY BUILDING INSPECTOR.
25. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE PRIOR TO EXCAVATION.
26. EXPORT SOIL MUST BE TRANSPORTED TO A CERTIFIED RECYCLING FACILITY OR TO A PERMITTED SITE IN ACCORDANCE WITH THE CITY'S CONSTRUCTION AND DEMOLITION (C&D) ORDINANCE (MUNICIPAL CODE SECTION 6.12). A VALID C&D APPLICATION MUST BE APPROVED AND ON FILE WITH THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
27. THE PERMITTEE SHALL COMPLY WITH THE GRADING CODE REQUIREMENTS FOR HAUL ROUTES WHEN AN EXCESS OF 500 CUBIC YARDS OF EARTH IS TRANSPORTED TO OR FROM A PERMITTED SITE ON PUBLIC ROADWAYS (SECTION 6.01.200 OF THE GRADING CODE).
28. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
29. THE PERMITTEE SHALL GIVE RESPONSIBLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
30. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY DOUBLE SULPHATE-CONTENT TESTS CONDUCTED BY THE SOIL ENGINEER.
31. SLOPES EXCEEDING 6 FEET IN HEIGHT SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN HEIGHT SHALL BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.
32. ALL EXISTING DRAINAGE COURSES THROUGH THIS SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORMWATER ARE APPROVED AND FUNCTIONAL; HOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
33. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
34. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
35. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING.

36. GRADING OPERATIONS INCLUDING MAINTENANCE OF EQUIPMENT WITHIN ONE-HALF MILE OF A HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. DAILY, ON SUNDAY OR ON A FEDERAL HOLIDAY.

- a. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- b. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODED ORDINANCE DIVISION 8 (NOISE CONTROL).
- c. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF GRADING PERMIT.

GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS, ACCORDING TO AIR QUALITY MANAGEMENT DISTRICT (AQMD) MEASURE F-4. HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND CONDITIONS.

37. ASPHALT SECTIONS MUST BE PER CODE: PARSONS LOTS 3" AC OVER 10" (COMM) 12" (INDUSTRIAL), OR, PRIOR TO ROUGH GRADE RELEASE FOR BUILDING PERMITS BY THE CITY GRADING INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL PAVEMENT SECTION RECOMMENDATIONS BASED ON "T" VALUE ANALYSIS OF THE SUB-GRADE SOILS, AND EXPECTED TRAFFIC INDICES.

38. ASPHALT CONCRETE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY ROAD STANDARD PLAN NO. 1805.

39. AGGREGATE BASE SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF ORANGE COUNTY ROAD STANDARD NO. 1804.

40. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES. ROOF GUTTERS SHALL BE DIRECTED TOWARDS VEGETATED AREAS WHERE FEASIBLE.

41. THE CIVIL ENGINEER, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITNESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT THE DRAINAGE SCALE HIGH POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.

42. ROUGH GRADE CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR PRIOR TO ROUGH GRADE RELEASE. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

43. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER OR HIS DESIGNEE THE AMOUNT OF EARTH MOVED DURING THE GRADING OPERATION.

44. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTION AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING.

45. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.

46. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED. THE METHOD OF OBTAINING THE IN-PLACE DENSITY SHALL BE IDENTIFIED WHETHER SAND CONE, DRIVE PEG, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE FIELD TECHNICIAN.

47. PRIOR TO FINAL INSPECTION OR FINAL APPROVAL, FINAL GRADING CERTIFICATIONS FROM THE ENGINEER-OF-WORK AND THE GEOTECHNICAL ENGINEER-OF-WORK SHALL BE SUBMITTED TO THE GRADING INSPECTOR. THE CERTIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD CERTIFICATION TEMPLATES.

48. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND CITY GRADING.

49. SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8071 OF THE BUSINESS AND PROFESSIONAL CODE.

DECLARATION OF RESPONSIBLE CHARGE FOR THE ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 8703 OF THE BUSINESS AND PROFESSION CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF THE PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF DANA POINT DOES NOT RELIEVE ME, AS THE ENGINEER OF WORK, OR MY RESPONSIBILITIES FOR PROJECT DESIGN.

JRV ENGINEERING, INC.
2021 E. FOURTH STREET, SUITE 200
SANTA ANA, CA 92705
(714) 734-0728

BY: JUSTO R. VILLAR

R.C.E. 28801 EXPIRES: MARCH 31, 2011

DATE:

NOTICE TO CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE UTILITIES OR STRUCTURES.

DECLARATION OF RESPONSIBLE CHARGE FOR THE SOILS ENGINEER

I HEREBY DECLARE THAT I AM THE SOILS ENGINEER AND GEOLOGIST FOR THIS PROJECT THAT I HAVE REVIEWED THE GRADING PLANS AND FIND THEM IN CONFORMANCE WITH THE PRELIMINARY SOILS REPORT ENTITLED:

I UNDERSTAND THAT THE CHECK OF THE SOILS REPORT, PLANS AND SPECIFICATIONS BY THE CITY OF DANA POINT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME OF MY RESPONSIBILITY FOR PROJECT SOILS AND GEOTECHNICAL DESIGN.

GEOSOLS, INC.
5741 PALMER WAY
CARLSBAD, CA 92010
(760) 438-3155

BY:

G.E.S.

EXPIRES

DATE:

G.E.S.

EXPIRES

BY:

G.E.S.

EXPIRES

DATE:

G.E.S.

EXPIRES

OWNER'S STATEMENT:

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND NO EXISTING EASEMENTS IN CONFLICT WITH THE PROPOSED CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR CONFLICTS WITH EXISTING EASEMENTS AND THE PROPOSED CONSTRUCTION.

BY:

OWNER'S SIGNATURE

BLAINE CURTIS RESIDENCE
35537 BEACH ROAD

STORMWATER PROTECTION NOTES:

1. DURING THE RAINY SEASON, THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.

2. NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE CITY OF DANA POINT'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED. ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 15 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION, SILTATION AND SEDIMENT CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.

3. THE PROPERTY OWNER IS OBLIGATED TO ENSURE COMPLIANCE WITH ALL APPLICABLE STORMWATER REGULATIONS AT ALL TIMES. THE BMPs (BEST MANAGEMENT PRACTICES) THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS ON THIS PROJECT'S CONSTRUCTION ACTIVITIES ON THE SITE. THE INSTALLATION AND MAINTENANCE OF BMPs IS THE PERMITTEE'S RESPONSIBILITY AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMPs MAY RESULT IN ENFORCEMENT ACTION BY THE CITY OF DANA POINT OR OTHERS. IF INSTALLED BMPs FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.

4. NOT APPLICABLE

BONDED FIBER MATRIX (BFM)

THE USE OF BFM IS SUBJECT TO THE FOLLOWING LIMITATIONS AND RESTRICTIONS:

- a. APPLICATION RATES SHALL BE 3,000 POUNDS PER ACRE MINIMUM FOR 2:1 OR SHALLOWER SLOPES AND 4,000 POUNDS PER ACRE FOR SLOPES STEEPER THAN 2:1.
- b. BFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL.
- c. THE SITE MUST BE PROTECTED WITH BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE SLOPE.
- d. BFM SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E., APPLICATION FROM MULTIPLE ANGLES).
- e. FOR PERMANENT EROSION CONTROL PURPOSES, BFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDING EROSION CONTROL VEGETATION.
- f. A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THAT THE APPROVED APPLICATION RATES AND COVERAGE REQUIREMENTS SHALL BE SUBMITTED TO THE CITY INSPECTOR FOR APPROVAL.

STABILIZED FIBER MATRIX (SFM)

- a. SFM MAY BE USED FOR TEMPORARY EROSION CONTROL FOR DISTURBED AREAS WITH A SLOPE RATIO OF 1 VERTICAL TO 2 HORIZONTAL OR SHALLOWER, INCLUDING PAD AND SEPTIC FIELD AREAS.
- b. THE SFM SHALL BE APPLIED AT LEAST 24 HOURS BEFORE OR AFTER RAINFALL AND SHALL BE APPLIED TO PROVIDE 100% COVERAGE (I.E., APPLICATION FROM MULTIPLE DIRECTIONS AND ANGLES).
- c. THE APPLICATION AREA MUST BE PROTECTED BY BROW DITCHES AND/OR DIVERSION BERMS AT THE TOP OF SLOPES TO DIVERT FLOW FROM THE FACE OF THE PROTECTED SLOPE.
- d. FOR PERMANENT EROSION CONTROL PURPOSES, SFM MUST BE INSTALLED IN CONJUNCTION WITH SEEDING EROSION CONTROL VEGETATION OR HAND PLANTING AS WITH ALL OTHER APPLICATIONS, SFM WILL NOT BE CONSIDERED PERMANENT UNTIL 70% VEGETATION ESTABLISHMENT.
- e. COVERAGE AND CONCENTRATION: FOR EACH ACRE COVERED, THE MINIMUM APPLICATION VOLUME SHALL BE 10 GALLONS NON-TOXIC WATER-PERMEABLE SOIL-STABILIZING LIQUID EMULSION WITH 3,000 LBS. OF HYDRAULIC MULCH. THE EMULSION MUST BE DESIGNED TO PROTECT SOIL, PREVENT EROSION, AND FLOCCULATE CLUMPY SEDIMENT.
- f. A LETTER FROM THE HYDROSEED CONTRACTOR CERTIFYING THE SFM WAS INSTALLED IN ACCORDANCE WITH APPROVED APPLICATION RATES, COVERAGE AND MANUFACTURER'S DILUTION RATIO SHALL BE SUBMITTED TO THE CITY OF DANA POINT INSPECTOR FOR APPROVAL.

7. PROJECT NOT GREATER THAN 1 ACRE

8. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

9. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJACENT PROPERTY BY WIND, VEHICLE TRACKING OR RUNOFF.

10. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED ON CONSTRUCTION SITES UNLESS TREATED TO REMOVE SEDIMENT AND OTHER POLLUTANTS.

11. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL, MATERIAL SUPPLIERS, LESSOR AND THE PROPERTY OWNER ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

12. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.

13. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTE FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS; FRUIT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS. PERMITTEE SHALL MAINTAIN CONSTRUCTION SITE IN SUCH A CONDITION THAT POLLUTANTS ARE NOT CARRIED OFF THE SITE.

14. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE FROM POTENTIAL STORMWATER RUNOFF WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

15. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

16. CATCH BASINS SHALL BE MARKED WITH A STENCIL CONCRETE STAMP, OR CERAMIC TILE TO INDICATE THAT NO DUMPING IS ALLOWED IN THE STORM DRAINAGE FACILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE CITY STREET MANAGER, RICK RUDOMETON, AT (949) 245-3899 ON THE METHOD, TYPE OF MARKING, AND PLACEMENT OF THE STORM DRAIN MARKINGS. STENCILING OR LABELING MAY ALSO BE REQUIRED IN SPANISH.

SHEET INDEX

GENERAL NOTES AND QUANTITIES — SHEET 1

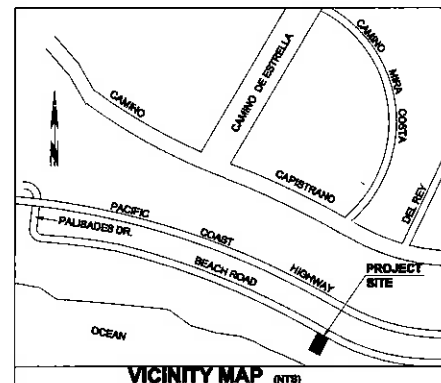
PRECISE GRADING PLAN — SHEET 2

EROSION CONTROL PLAN — SHEET 3

CONSTRUCTION NOTES & EARTHWORK QUANTITY ESTIMATES

NO.	ITEM	QUANTITY
1	CONST. CONCRETE PAVEMENT 8" THICK	834 S.F.
2	CONST. WALL PER SEPARATE PLAN CHECK & PERMIT	---
3	CONST. CONCRETE PAVEMENT 6" THICK	282 S.F.
4	CONST. FENCE PER LANDSCAPE ARCH. PLANS	---
5	CONST. FIRE PIT PER LANDSCAPE ARCH. PLANS	---
6	SAWCUT AND JOIN EXISTING PAVEMENT	30 L.F.
7	CONST. 4" PVC SCH. 40 OR APP'D. EQUAL	72 L.F.
8	CONST. 12"x12" C.B. PER NDS PART NOS. 1200 & 1214	1.5 L.F.
9	PROPOSED BBQ PER ARCH. PLANS	---
10	CONST. DECORATIVE WALL PER ARCH. PLANS	---
11	REMOVE EXIST. DECK	---
12	REMOVE EXIST. PAVEMENT	---
13	REMOVE EXIST. WALL	---
14	EXIST WALL, PROTECT IN PLACE	---
15	PROTECT IN PLACE	---
16	REMOVE EXIST. RESIDENCE	---
17	CONST. BOTTOMLESS TRENCH PER DETAIL SHT. 2	2 EA.
18	CONST. 6"x6" AREA DRAIN PER NDS PART NO. 9208 OR APP'D. EQUAL	1 EA.
19	DELETED	---

EARTHWORK QUANTITIES
CUT — 30 C.Y. (VOLUME ONLY)
FILL — 110 C.Y. (VOLUME ONLY)
EARTHWORK QUANTITIES ARE FOR CITY AND/OR COUNTY PLAN CHECK PURPOSES ONLY



OWNER:

BLAINE CURTIS
35537 BEACH ROAD
DANA POINT, CA 92624
(949) 488-6244

ARCHITECT:

MARK SINGER, ARCHITECTS
1100 BALBOA
LAGUNA BEACH, CA 92651
(949) 488-6244

SOILS ENGINEER & GEOLOGIST

GEOSOLS, INC.
5741 PALMER WAY
CARLSBAD, CA 92010
(760) 438-3155 Tel. (760) 931-0915

BENCH MARK

OCS DESIGNATION: 38-62-89 — SET IN THE TOP OF A CONC. HEADWALL FOR A 36 IN. CONC. PIPE CROSSING UNDER THE AT&SF RAILWAY. MONUMENT IS LOCATED ALONG THE SWLY SIDE OF EL CAMINO REAL, 1.85 MI. SWLY ALONG EL CAMINO & THE INT. OF STATE HWY. 1, 62 FT. SWLY OF THE CL. OF EL CAMINO, 354 FT. SWLY OF MILE POLE #202 & 6.5 FT. NELY OF THE NELY RAIL ALONG THE RAILWAY. MONUMENT IS SET LEVEL WITH THE HEIGHT OF THE ROAD. ELEV. 15.957 (NAVD 29)

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS PLAN ARE BASED ON THE SOUTHWESTERLY TRACT BOUNDARY FOR THAT PORTION OF BLOCK 2, BEARING N 51° 31' 50" W, AS SHOWN ON TRACT NO. 886, M.L.M. 27/17-21

LEGAL DESCRIPTION:

LOT 17, BLOCK 2, TRACT NO. 886 RECORDED IN BK. 27, PGS. 17-21, M.L.M.

JOB ADDRESS:

35537 BEACH ROAD

CITY OF DANA POINT

PRECISE GRADING PLAN
35537 BEACH ROAD

PLAN CHECK NO.

1 of 3 SHEETS

REVISION	DESCRIPTION	APPROVED	DATE	SCALE:	DESIGNED:	DRAWN:	CHECKED:	PLANS PREPARED BY:	BENCHMARK	APPROVED BY THE CITY OF DANA POINT PLANNING DEPARTMENT
				N/A	JRV	LK	JRV	JRV ENGINEERING, INC. 1131 EAST MAIN STREET, SUITE 101 TUSTIN, CA 92780 (714) 734-0728 Fax: (714) 282-4800	OCS DESIGNATION: 38-62-89 ELEV. 18.235 (NAVD 89)	THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:
				ACAD FILE NO.						
				PROJECT NO.						
					ENGINEER OF WORK					

PLANS REVIEWED BY:
CITY OF DANA POINT, PUBLIC WORKS & ENGINEERING SERVICES
33282 GOLDEN LANTERN
DANA POINT, CA 92629

MATTHEW V. SINACORI, CITY ENGINEER
RCE #58239 EXP. 06/30/15

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REQUIREMENTS, CITY CODES, AND OTHER GENERAL ENGINEERING AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN ASSUMPTIONS OR ACCURACY.



REVISION	DESCRIPTION	APPROVED	DATE
1	LOWER BUILDING F.T. AND P.C.D. REVIEW DRAWING ELEVATIONS		
2	REMOVE EXISTING ROAD, TAKE CITY CENTER INTERSECT. AND WOODS STREET AT NEAR OF PROPERTY BOUNDARY		
3	ADD CATCH BASIN, LOWER PORTION BACK PICT. AND STEPPEDLY SIDE (11-16)		
4	ELEVATE BRANCH AT HEAD OF PROPERTY (2-8-16)		
5	REMOVE EXISTING ROAD AND CATCH BASIN AND P.C.D. FORM 16-19		

SCALE:
1" = 6'

DESIGNED:
JRV

DRAWN:
LK

CHECKED:
JRV

ACAD FILE NO.

PROJECT NO.

ENGINEER OF WORK

PLANS PREPARED BY:
JRV ENGINEERING, INC.
1131 EAST MAIN STREET, SUITE 101
TUSTIN, CA. 92780
(714) 734-0728 FX. (714) 508-4800

BENCHMARK
OCS DESIGNATION: 3B-52-68

ELEV. = 18.235 (NAVD89)

APPROVED BY THE CITY OF DANA POINT
PLANNING DEPARTMENT
THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:

CITY PLANNING DEPARTMENT

33282 GOLDEN LANTERN
DANA POINT, CA 92629

PRECISE GRADING PLAN
35537 BEACH ROAD


PLAN CHECK NO. _____

2 OF 3 SHEETS

MATTHEW V. SINACORI, CITY ENGINEER
RCE #09239 EXP. 06/30/15

DATE _____

THIS PLAN IS SIGNED BY THE CITY ENGINEER FOR SCOPE AND ADHERENCE TO CITY STANDARDS AND REGULATORY REQUIREMENTS ONLY. THE CITY ENGINEER IS NOT RESPONSIBLE FOR DESIGN, ASSUMPTIONS, OR ACCURACY.

REVISION	DESCRIPTION	APPROVED	DATE	SCALE: 1" = 8'	DESIGNED: JRV	DRAWN: LK	CHECKED: JRV	PLANS PREPARED BY: JRV ENGINEERING, INC. 1131 EAST MAIN STREET, SUITE 101 TUSTIN, CA. 92780 (714) 734-0728 FX (714) 508-4800	BENCHMARK OCS DESIGNATION: 3B-62-08 ELEV. = 18.235 (NAVD88)	APPROVED BY THE CITY OF DANA POINT <u>PLANNING DEPARTMENT</u> THIS PLAN HAS BEEN REVIEWED FOR ZONING ONLY AND MEETS THE REQUIREMENT OF THE DANA POINT MUNICIPAL CODE:	33282 GOLDEN LANTERN DANA POINT, CA 92629		EROSION CONTROL PLAN 35537 BEACH ROAD	PLAN CHECK NO. _____	
				ACAD FILE NO.							MATTHEW V. SINACORI, CITY ENGINEER RCE #59239 EXP. 06/30/15	DATE _____			
				PROJECT NO.			DATE 29801								
A	RAISE REAR PATIO - (12-12-12)			R.C.E. NO.	ENGINEER'S WORK					CITY PLANNING DEPARTMENT					of 3 SHEETS

REVISIONS		
1	PLANNING CORR. 1	12.03.12
2	PLANNING CORR. 2	12.02.13
3	PLANNING CORR. 3	09.25.14
4	PLANNING CORR. 4	11.15.14
5	PLANNING CORR. 5	05.16.15

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MARK SINGER, AIA ARCHITECTS

1100 BALBOA AVENUE, LAGUNA BEACH, CA 92651
4041 4411 1234 FAX 949 1234 FAX MARKSINGER@AIA.COM

CURTIS residence

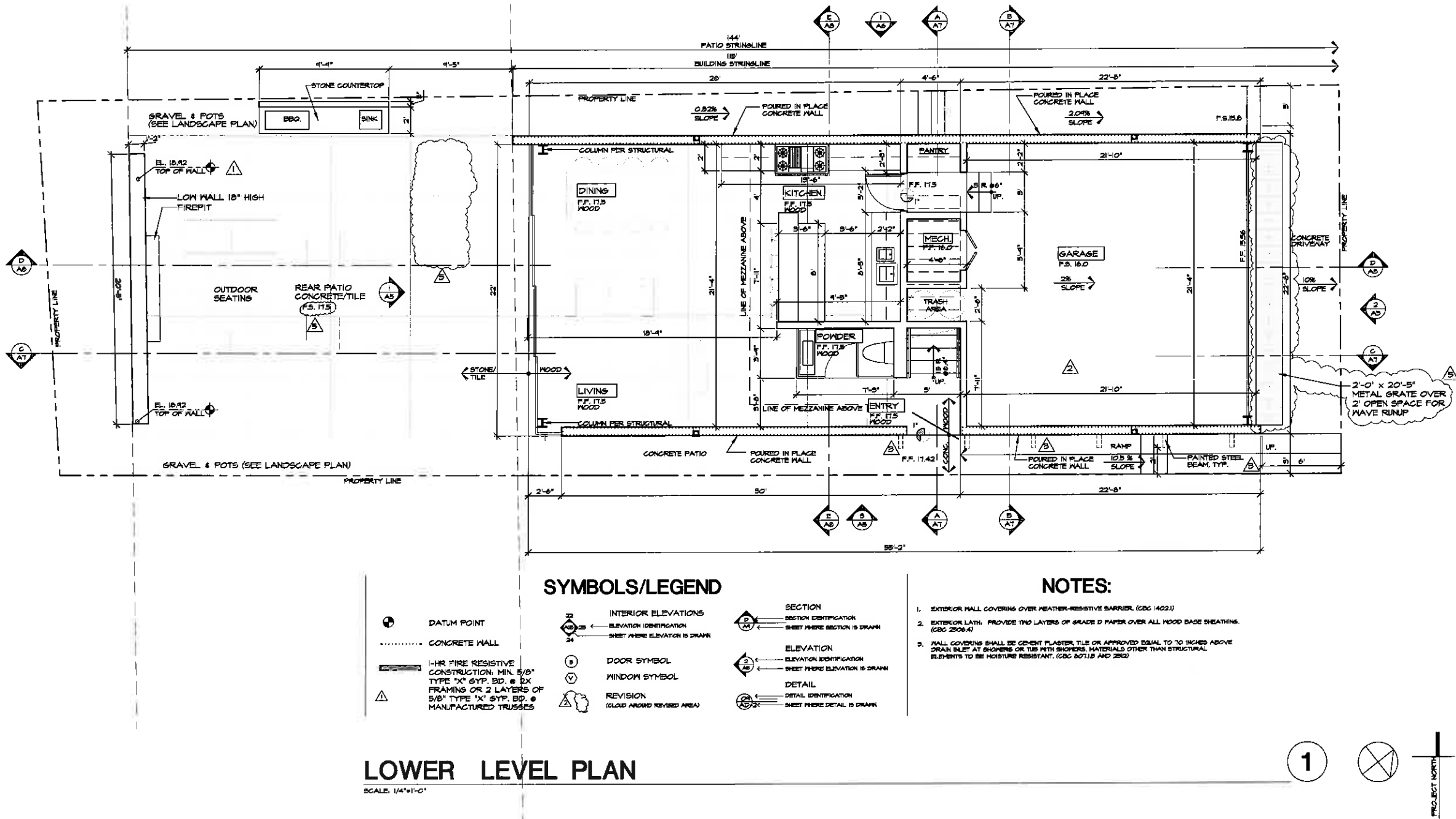
5555 BEACH ROAD, DANA POINT, CA

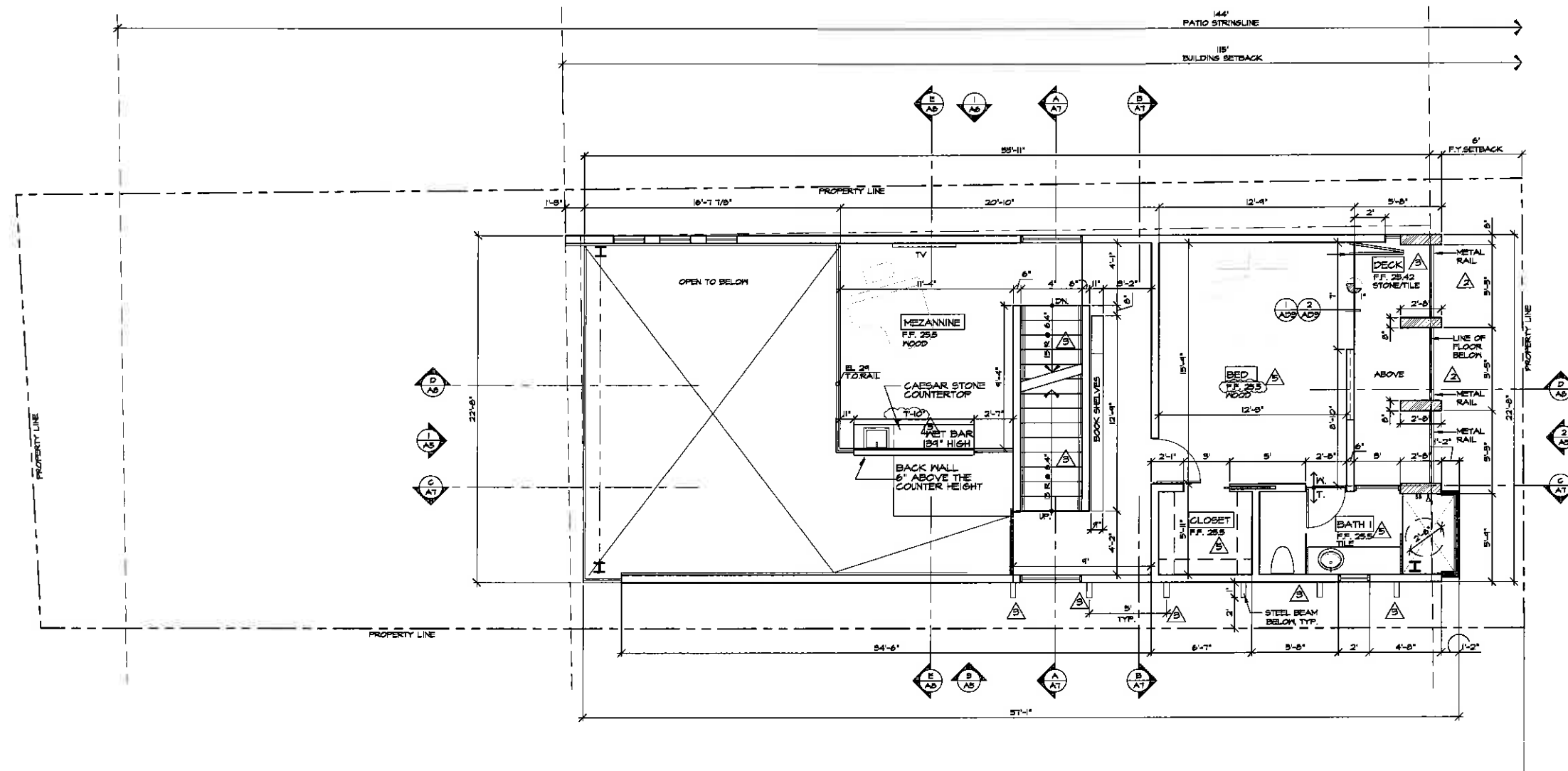
DATE ISSUED: 11-24-12

lower level floor plan

A2

PLANNING CORR 5





SYMBOLS/LEGEND		NOTES:	
	DATUM POINT	1. EXTERIOR WALL COVERING OVER WEATHER-RESISTIVE BARRIER (CBC 1402.1)	
	CONCRETE WALL	2. EXTERIOR LATH PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING. (CBC 2506.4)	
	1-HR FIRE RESISTIVE CONSTRUCTION, MIN. 5/8" TYPE "X" GYP. BD., 2X FRAMING OR 2 LAYERS OF 5/8" TYPE "X" GYP. BD., 2 MANUFACTURED TRUSSES	3. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 10 INCHES ABOVE DRAIN INLET AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. (CBC 607.1.5 AND 2802)	
	INTERIOR ELEVATIONS 23 ELEVATION IDENTIFICATION 24 SHEET WHERE ELEVATION IS DRAWN	SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN	
	DOOR SYMBOL	ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN	
	WINDOW SYMBOL	DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN	
	REVISION (CLOUD AROUND REVISED AREA)		

MEZZANINE LEVEL PLAN
SCALE: 1/4"=1'-0"

1



REVISIONS	
	PLANNING CORR. 1 12.03.12
	PLANNING CORR. 2 12.02.18
	PLANNING CORR. 3 04.25.14
	PLANNING CORR. 4 11.15.14
	PLANNING CORR. 5 03.19.15

100 BALBOA AVENUE, LAGUNA BEACH, CA 92651
949.1.491.1524 PHONE 949.1.491.1524 FAX MARKSINGERARCHITECT

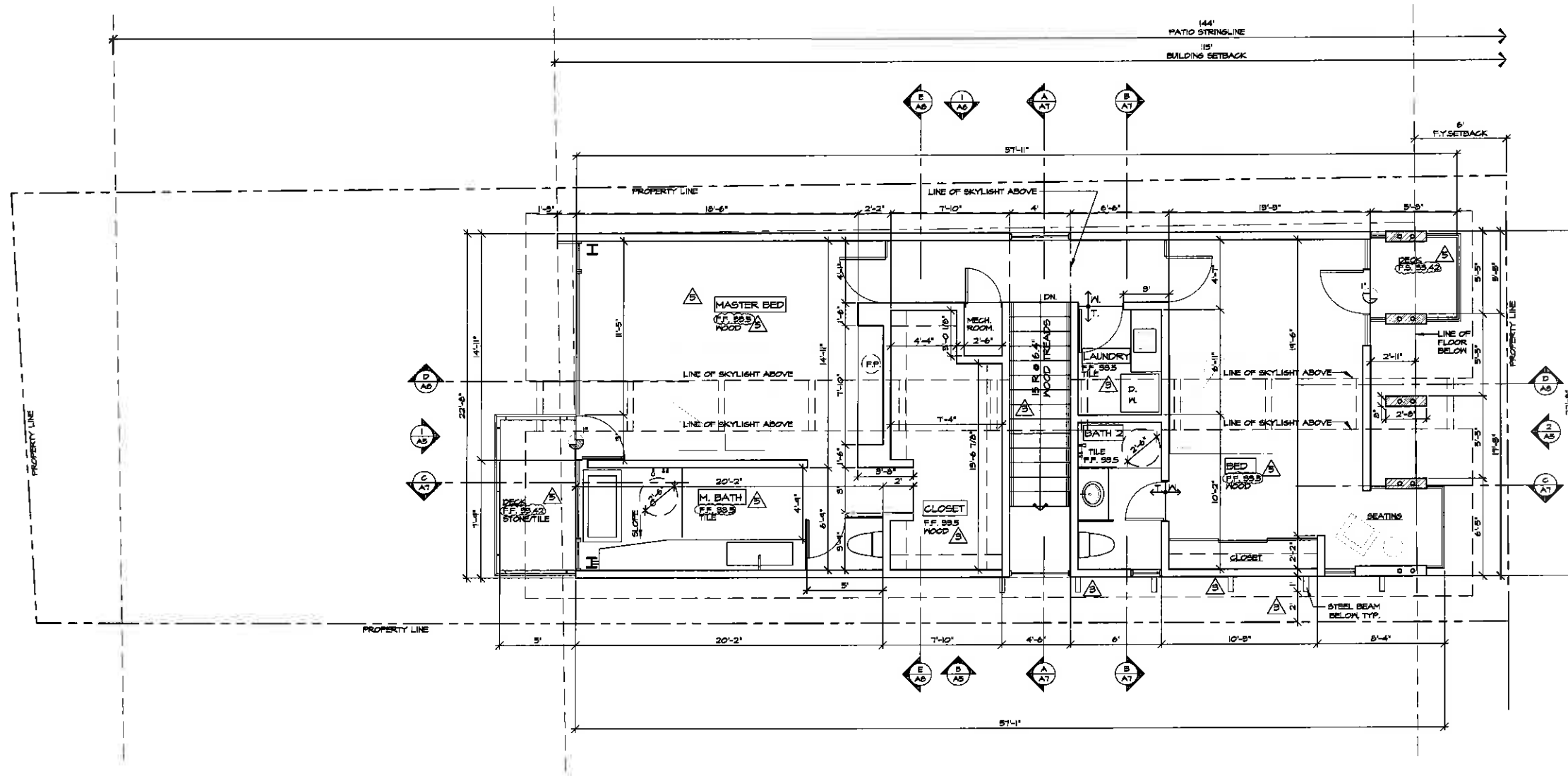
MARK SINGER, AIA ARCHITECTS

CURTIS residence

35531 BEACH ROAD, DANA POINT, CA

DATE ISSUED: 11-24-12

mezzanine level floor plan



SYMBOLS/LEGEND

	DATUM POINT		INTERIOR ELEVATIONS		SECTION
	CONCRETE WALL		ELEVATION IDENTIFICATION		ELEVATION
	1-HR FIRE RESISTIVE CONSTRUCTION: MIN. 5/8" TYPE "X" GYP. BD. @ 2X FRAMING OR 2 LAYERS OF 5/8" TYPE "X" GYP. BD. @ MANUFACTURED TRUSSES		DOOR SYMBOL		DETAIL
	REVISION		WINDOW SYMBOL		DETAIL IDENTIFICATION
	REVISION		REVISION		DETAIL IDENTIFICATION

NOTES:

- EXTERIOR WALL COVERING OVER WEATHER-RESISTIVE BARRIER. (CBC 1402.1)
- EXTERIOR LATH: PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING. (CBC 2508.4)
- WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 10 INCHES ABOVE DRAIN INLET AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. (CBC 907.2 AND 2512)

UPPER LEVEL PLAN
SCALE: 1/4"=1'-0"

1



REVISIONS	
PLANNING CORR. 1	12.09.12
PLANNING CORR. 2	12.02.13
PLANNING CORR. 3	04.25.14
PLANNING CORR. 4	11.18.14
PLANNING CORR. 5	05.19.15

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MARK SINGER, AIA ARCHITECTS

CURTIS residence

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4041 4411 6244 PHONE 4041 4411 6214 FAX MARKSINGER@AIA.COM

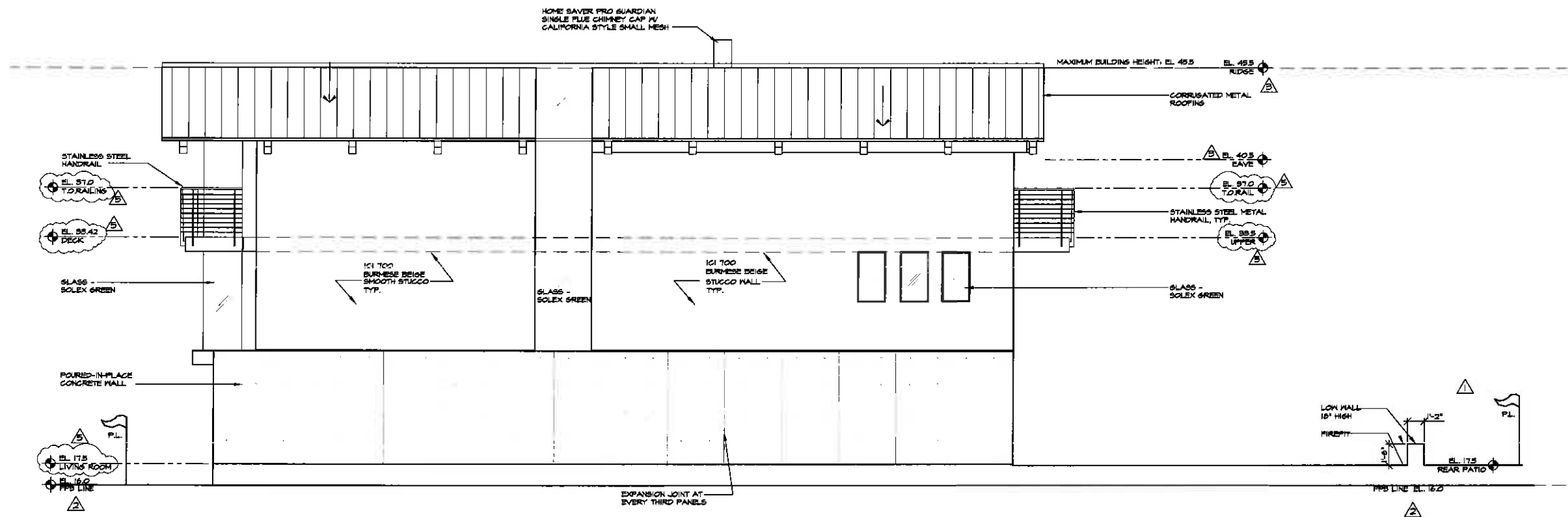
99551 BEACH ROAD, DANA POINT, CA

DATE ISSUED: 11-24-12

A4

PLANNING CORR 5

upper level floor plan



NORTH ELEVATION

SCALE: 1/4"=1'-0"

1

REVISIONS		
△	PLANNING CORR. 1	12.03.12
△	PLANNING CORR. 2	12.02.13
△	PLANNING CORR. 3	09.25.14
△	PLANNING CORR. 4	11.16.14
△	PLANNING CORR. 5	05.14.15

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MARK SINGER, AIA ARCHITECTS

1100 BALBOA AVENUE, LAGUNA BEACH, CA 92653
949.441.6344 PHONE 949.411.8911 FAX 949.441.6344

CURTIS residence

39551 BEACH ROAD, DANA POINT, CA

DATE ISSUED: 11-24-12

north elevation

A6

REVISIONS	
△ PLANNING CORR. 1	12.09.12
△ PLANNING CORR. 2	12.02.13
△ PLANNING CORR. 3	01.25.14
△ PLANNING CORR. 4	11.15.14
△ PLANNING CORR. 5	05.14.15

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MARK SINGER, AIA ARCHITECTS

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949.1.491.6244 PHONE 949.1.491.6214 FAX MARKSINGERARCHITECT.NET

CURTIS residence

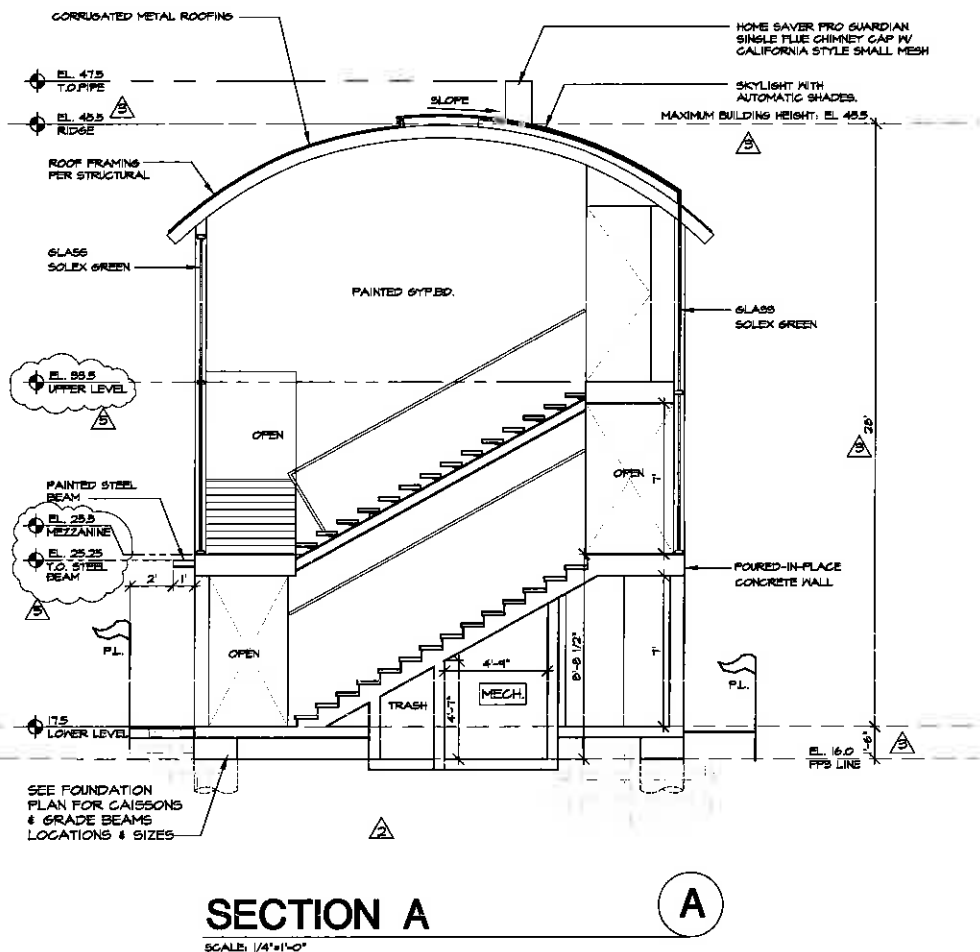
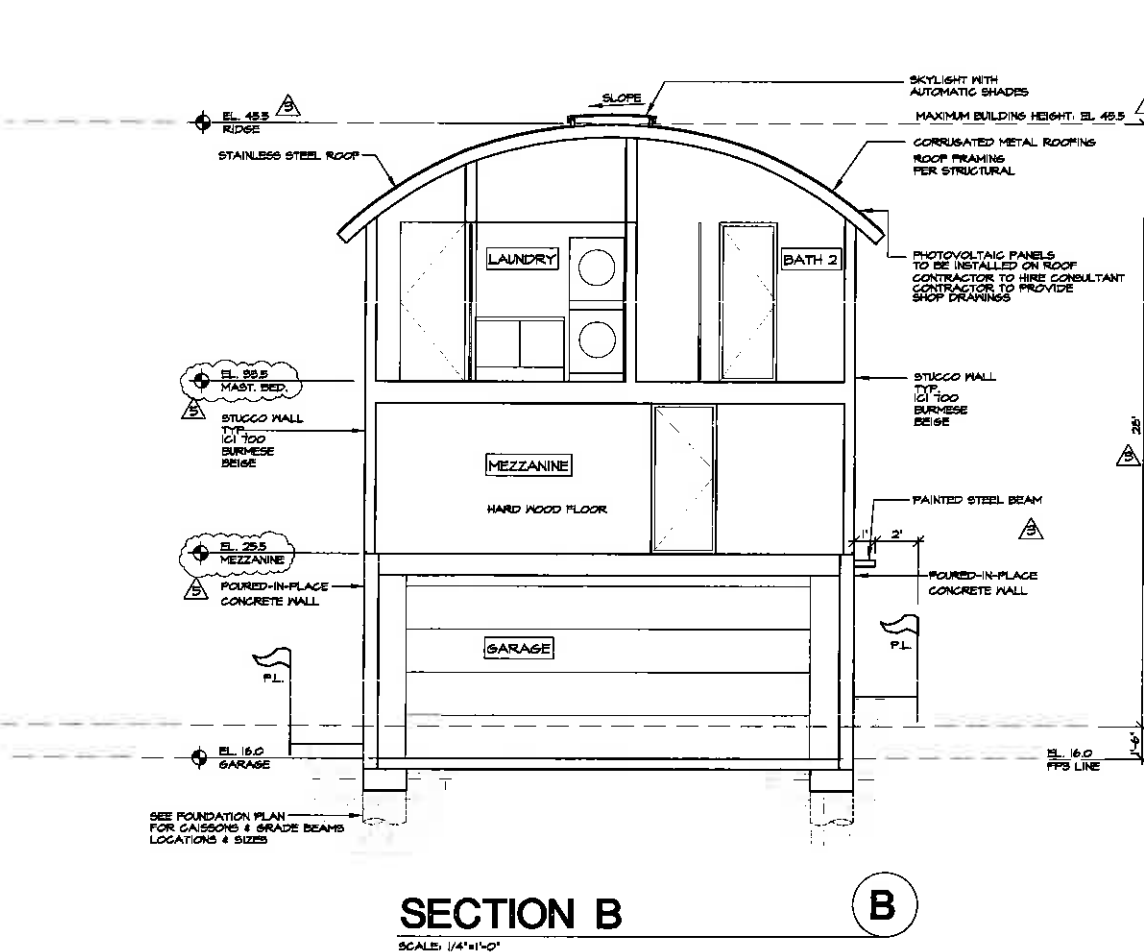
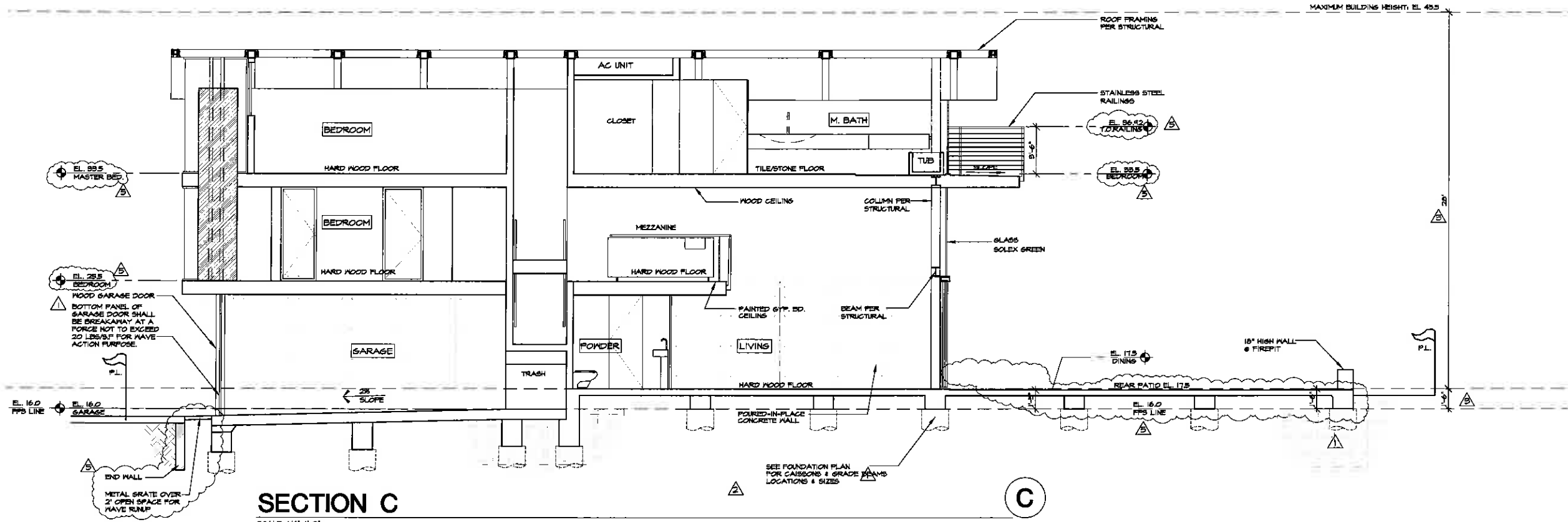
35557 BEACH ROAD, DANA POINT, CA

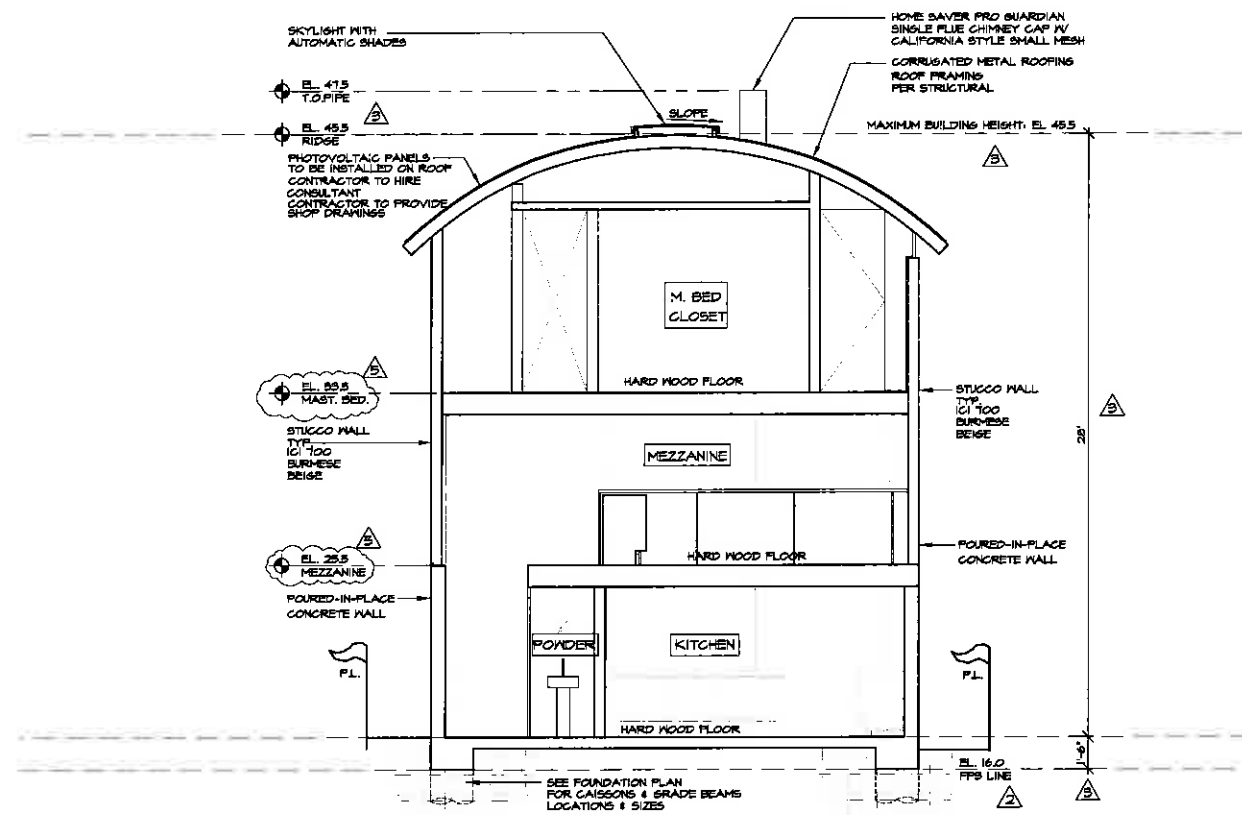
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sections A,B,C

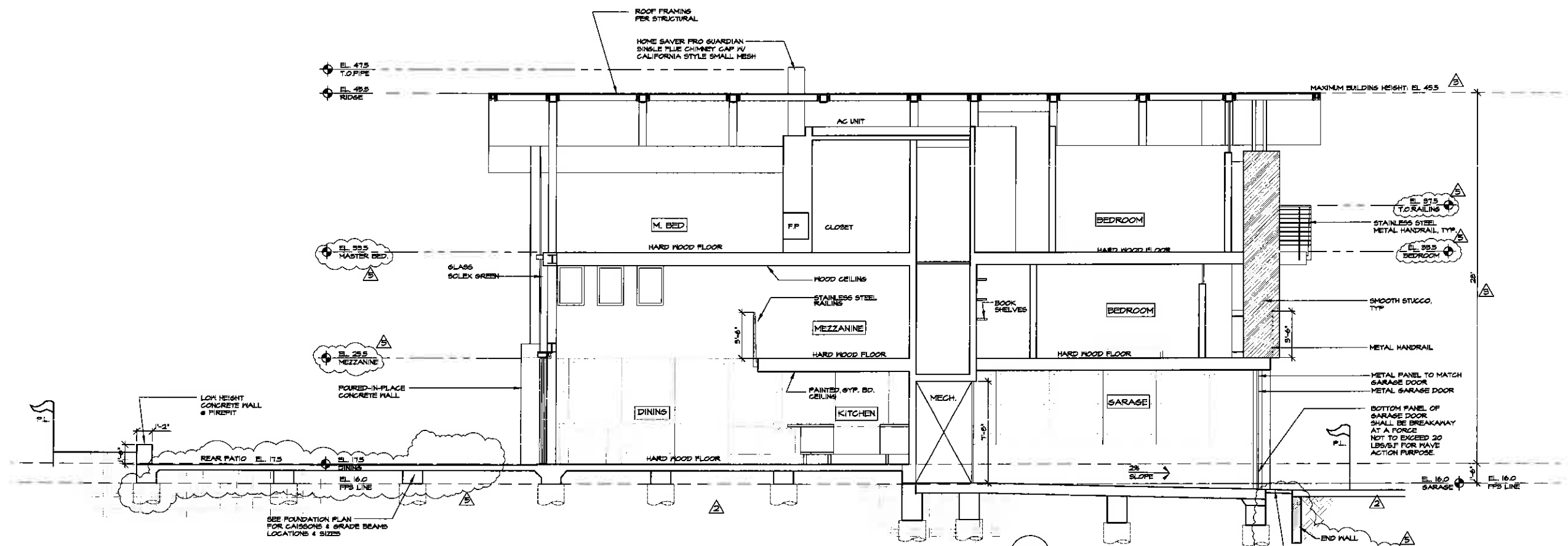
A7

PLANNING CORR 5





SECTION E
SCALE: 1/4"=1'-0"



SECTION D
SCALE: 1/4"=1'-0"

REVISIONS	
PLANNING CORR. 1	12.03.12
PLANNING CORR. 2	12.02.13
PLANNING CORR. 3	01.25.14
PLANNING CORR. 4	11.18.14
PLANNING CORR. 5	05.14.15

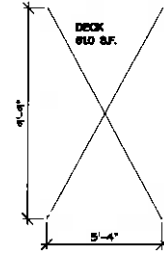
MARK SINGER, AIA ARCHITECTS
100 BALBOA AVENUE, LAGUNA BEACH, CA 92651
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CURTIS residence
95557 BEACH ROAD, DANA POINT, CA

DATE ISSUED: 11-24-12

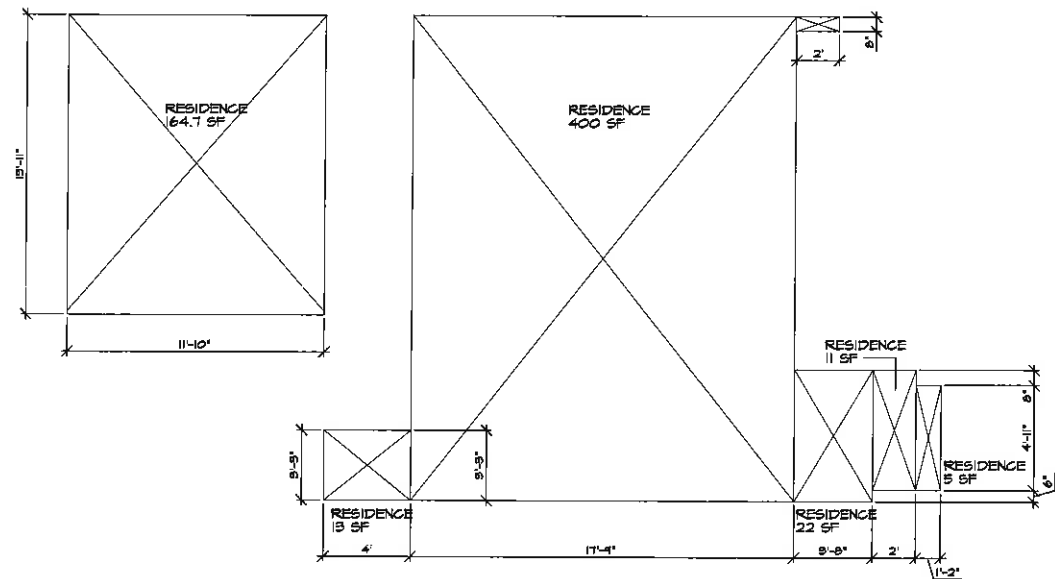
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PLANNING CORR 5

section d & e



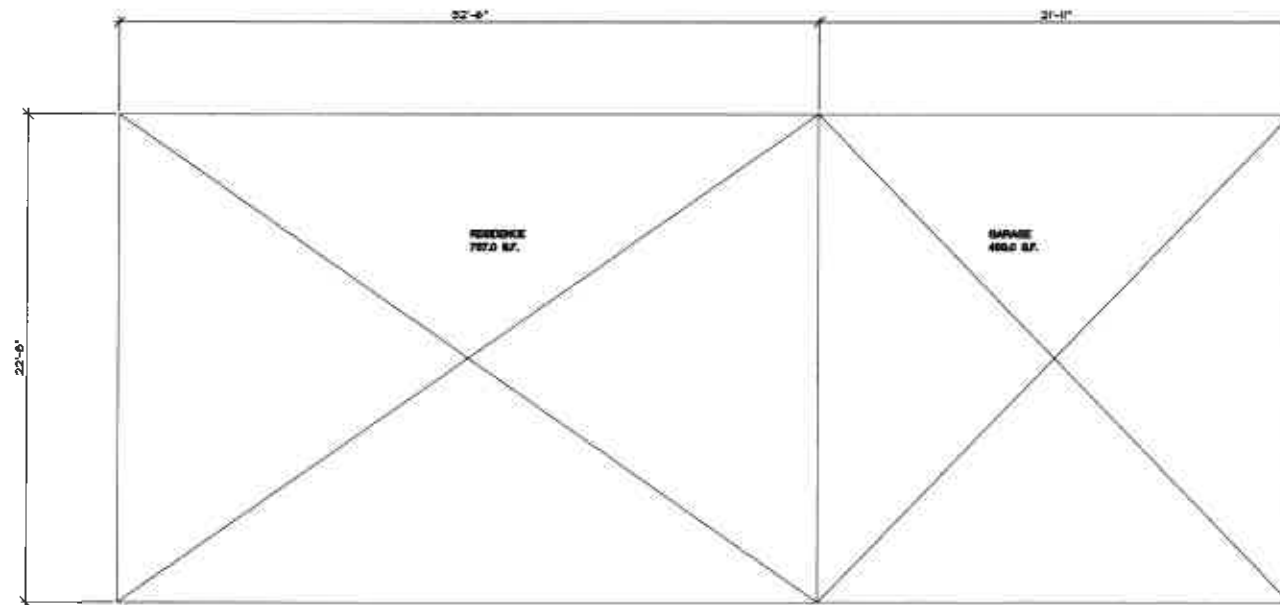
SCALE: 1/4"=1'-0"

AREA TOTALS FOR UPPER LEVEL	
RESIDENCE	1135.0 S.F.
DECKS	510 S.F.



MEZZANINE LEVEL AREA CALC.

TOTAL MEZZANINE AREA = 616.9 SF



LOWER FLOOR AREA CALCULATION PLAN

SCALE: 1/4"=1'-0"

RESIDENCE = 737 SF
GARAGE = 496 SF

REVISIONS		
1	PLANNING CORR. 1	12.03.12
2	PLANNING CORR. 2	12.02.13
3	PLANNING CORR. 3	09.25.14
4	PLANNING CORR. 4	11.18.14
5	PLANNING CORR. 5	05.14.15

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CURTIS residence

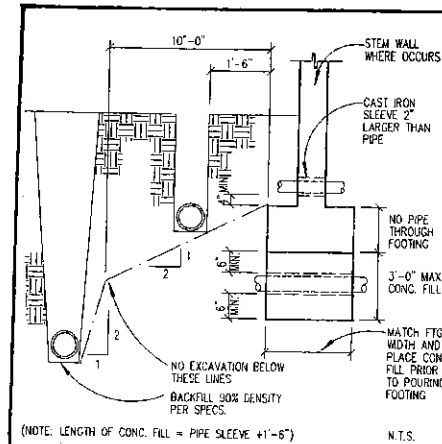
35537 BEACH ROAD, DANA POINT, CA

DATE ISSUED: 11-29-12

area calculations

AC1

PLANNING CORR 5

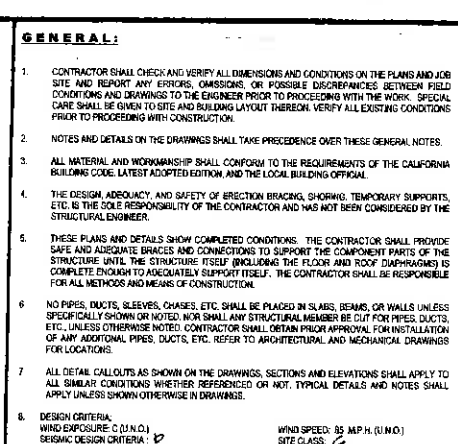
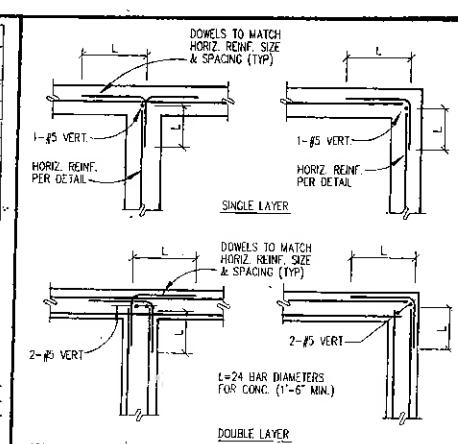


BEND SCHEDULE			
BAR SIZE	NO.	FROM	TO
#3	THRU #8	60	
#9	THRU #11	80	
#14	THRU #18	100	

MIN. LAP SCHED. (1)			
BAR SIZE	TOP (2)	OTHER BARS	BOWEL BARS (3)
#3	12"	12"	20"
#4	17"	12"	20"
#5	25"	18"	30"
#6	34"	24"	42"
#7	45"	32"	54"
#8	57"	48"	62"
#9	78"	56"	96"
#10	101"	72"	122"
#11	123"	88"	150"

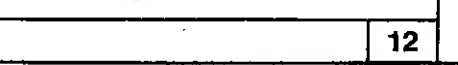
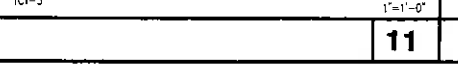
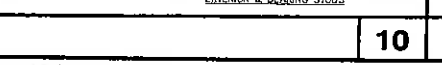
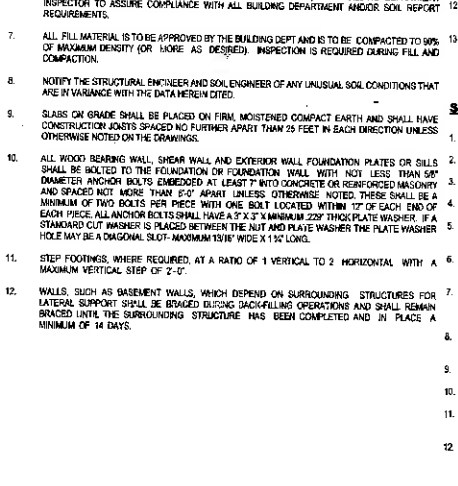
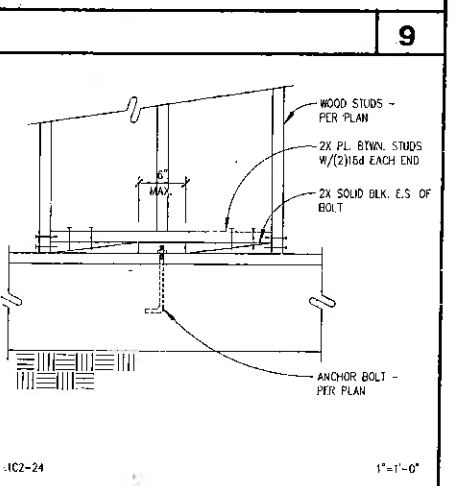
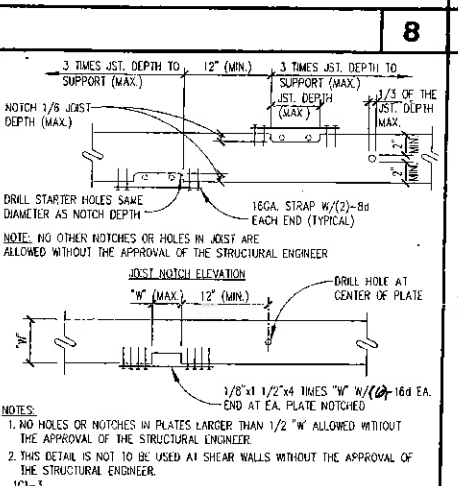
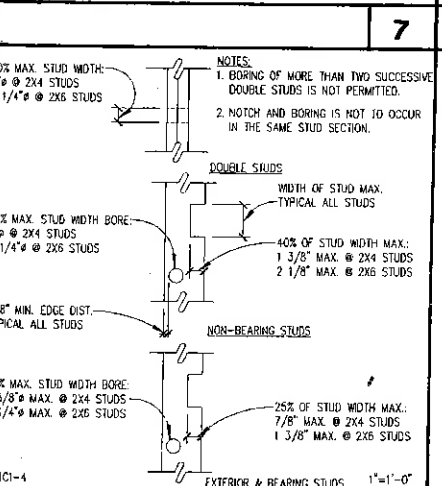
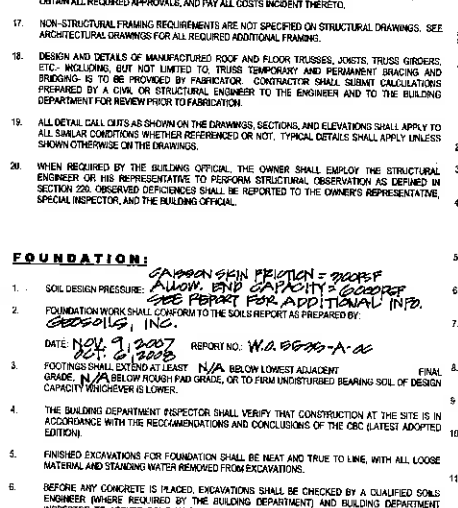
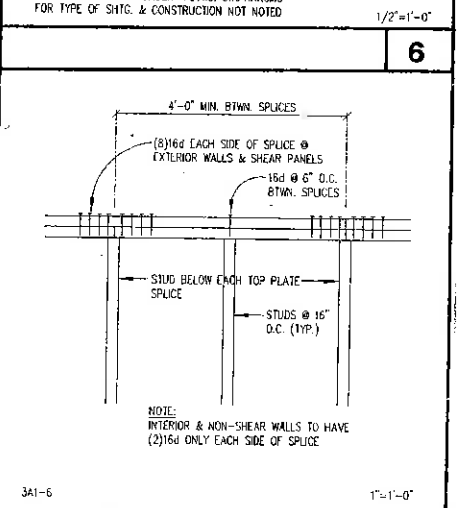
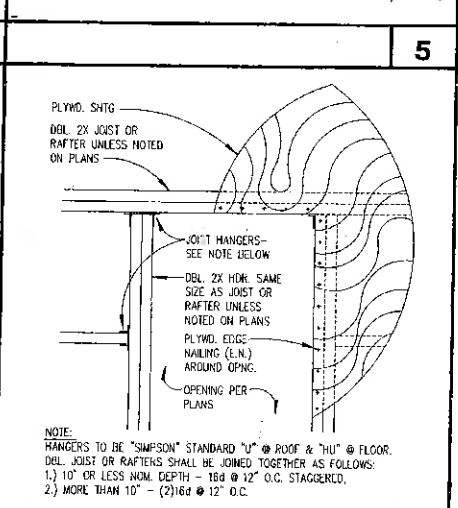
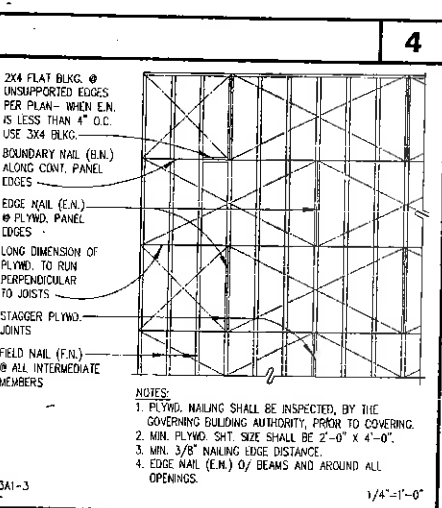
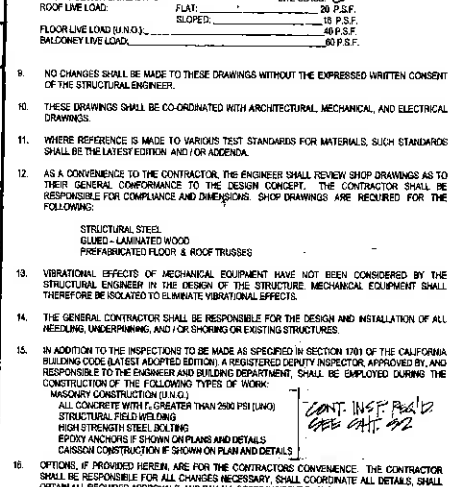
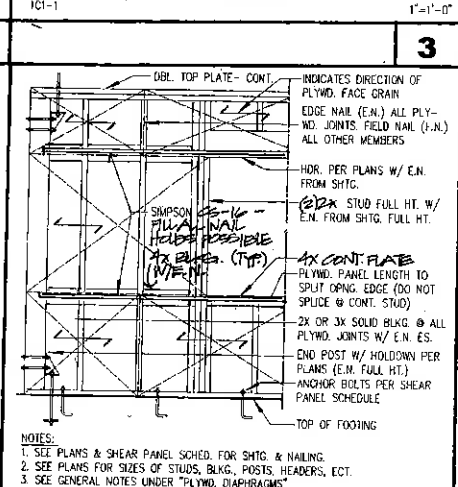
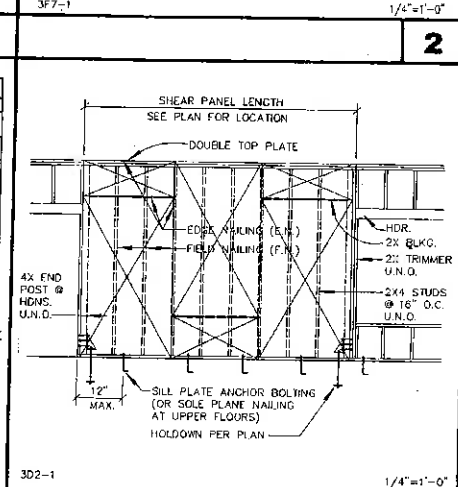
1. LAPS TO BE STAGGERED 48" MIN. (N.O.D.)
 2. TOP BARS ARE HORIZ. BARS W/ MORE THAN 12" CONC. CAST B.W. DOWELS TO BE THE SAME GRADE, SIZE, & 50% AS SMALLER VERT. REINF.
 3. LAP PER SCHED. ABV. UNLESS NOTED OTHERWISE

1' OR 1-1/2' OR 1-1/4' MAX. AGGREGATE C.L.R. DIM.



SHEAR PANEL SCHEDULE			
MARK	MATERIAL	NO. SIDES	EDGES
A	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
B	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
C	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
D	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
E	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
F	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
G	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
H	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
I	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
J	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
K	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
L	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
M	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
N	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
O	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
P	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
Q	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
R	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
S	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
T	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
U	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
V	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
W	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
X	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
Y	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.
Z	2x4 STUDS I.P.L.	2	2x4 STUDS I.P.L.

NOTES:
 -PLYWOOD SHALL CONFORM TO PRODUCT STANDARD PS-95 & SHALL BE BONDED W/ EXTERIOR GLUE.
 -PROVIDE 3X STUDS & BULK, @ ALL WALLS WHERE NAILING IS < 3" O.C. & WHERE 10' WALLS ARE SPACED @ 3" O.C. OR LESS.
 -NAILS FOR PLYWOOD PANELS & SILL PL. SHALL BE COMMON ONLY.
 -PLYWOOD PANELS MAY BE APPLIED EITHER VERTICALLY OR HORIZONTALLY, BUT ALL PANEL EDGES SHALL BE NAILED TO STUDS, PLATES, OR BULK.
 -ANCHOR BOLTS SHALL BE EQUALLY SPACED & LOCATED WITHIN 12" OF ANY END OF SILL PLATE.
 -HOLES IN PANELS ARE NOT PERMITTED UNLESS DETAILED BY THE ENGINEER.
 -MINIMUM WIDTH OF PLYWOOD SHALL BE 2'-0" ALTHOUGH 4'-0" X 8'-0" SHEETS SHOULD BE USED WHERE POSSIBLE.
 -WHERE PLYWOOD IS APPLIED TO BOTH FACES, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.



GENERAL:

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PLANS AND JOB SITE AND REPORT ANY ERRORS, OMISSIONS, OR POSSIBLE DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. SPECIAL CARE SHALL BE GIVEN TO SITE AND BUILDING LAYOUT THEREON, VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, LATEST ADOPTED EDITION AND THE LOCAL BUILDING OFFICIAL.
- THE DESIGN, ADOPTION, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.
- THESE PLANS AND DETAILS SHOW COMPLETED CONDITIONS. THE CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE BRACINGS AND CONNECTIONS TO SUPPORT THE COMPONENT PARTS OF THE STRUCTURE UNTIL THE STRUCTURE ITSELF (INCLUDING THE FLOOR AND ROOF DIAPHRAGMS) IS COMPLETE ENOUGH TO ADEQUATELY SUPPORT ITSELF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEMBERS AND CONNECTIONS AFTER COMPLETION.
- NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIALLY SHOWN OR NOTED. NO SMALL STRUCTURAL MEMBERS BE CUT FOR PIPES, DUCTS, ETC. UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS.
- ALL DETAIL CALLOUTS AS SHOWN ON THE DRAWINGS, SECTIONS AND ELEVATIONS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER REFERENCED OR NOT. TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SHOWN OTHERWISE IN DRAWINGS.
- DESIGN CRITERIA:
 WIND EXPOSURE: C (U.N.D.)
 SEISMIC DESIGN CATEGORY: 2
 FLOOR LINE LOAD (U.N.D.): 20 P.S.F.
 ROOF LINE LOAD: 10 P.S.F.
 BALCONY LINE LOAD: 10 P.S.F.
- NO CHANGES SHALL BE MADE TO THESE DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE STRUCTURAL ENGINEER.
- THESE DRAWINGS SHALL BE CO-ORDINATED WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
- WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.
- AS A CONVENIENCE TO THE CONTRACTOR, THE ENGINEER SHALL REVIEW SHOP DRAWINGS AS TO THEIR GENERAL CONFORMANCE TO THE DESIGN CONCEPT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE AND DIMENSIONS. SHOP DRAWINGS ARE REQUIRED FOR THE FOLLOWING:
 STRUCTURAL STEEL
 GLUED-LAMINATED WOOD
 PREFABRICATED FLOOR & ROOF TRUSSES
- VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER IN THE DESIGN OF THE STRUCTURE. MECHANICAL EQUIPMENT SHALL THEREFORE BE ISOLATED TO ELIMINATE VIBRATIONAL EFFECTS.
- IN ADDITION TO THE INSPECTIONS TO BE MADE AS SPECIFIED IN SECTION 1001 OF THE CALIFORNIA BUILDING CODE, LATEST ADOPTED EDITION, A REGISTERED PROFESSIONAL INSPECTOR APPROVED BY AND RESPONSIBLE TO THE ENGINEER AND BUILDING DEPARTMENT, SHALL BE EMPLOYED DURING THE CONSTRUCTION OF THE FOLLOWING TYPES OF WORK:
 MASONRY CONSTRUCTION (U.N.D.)
 ALL CONCRETE WITH 2800 PSI (U.N.D.)
 STRUCTURAL FIELD WELDING
 HIGH-STRENGTH STEEL BRACING
 REINFORCING STEEL SHOWN ON PLANS AND DETAILS
 CASSION CONSTRUCTION SHOWN ON PLANS AND DETAILS
- OPTIONAL: IF PROVIDED HEREIN, ARE FOR THE CONTRACTOR'S CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY. SHALL CO-ORDINATE ALL DETAILS, SHALL OBTAIN ALL REQUIRED APPROVALS, AND PAY ALL COSTS INCIDENT THEREON.
- NON-STRUCTURAL FRAMING REQUIREMENTS ARE NOT SPECIFIED ON STRUCTURAL DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR ALL REQUIRED ADDITIONAL FRAMING.
- DESIGN AND DETAILS OF MANUFACTURED ROOF AND FLOOR TRUSSES, JOISTS, TRUSS GIRDERS, ETC., INCLUDING, BUT NOT LIMITED TO, TRUSS TEMPORARY AND PERMANENT BRACING AND BRACKING, IS TO BE PROVIDED BY FABRICATOR. CONTRACTOR SHALL SUBMIT CALCULATIONS REQUIRED BY A CIVIL OR STRUCTURAL ENGINEER TO THE ENGINEER AND TO THE BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATION.
- ALL DETAIL CALL OUTS AS SHOWN ON THE DRAWINGS, SECTIONS, AND ELEVATIONS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER REFERENCED OR NOT. TYPICAL DETAILS SHALL APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- WHEN REQUIRED BY THE BUILDING OFFICIAL, THE OWNER SHALL EMPLOY THE STRUCTURAL ENGINEER OR HIS REPRESENTATIVE TO PERFORM STRUCTURAL OBSERVATION AS DEFINED IN SECTION 202, OBSERVED DEFICIENCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, AND THE BUILDING OFFICIAL.

REINFORCED CONCRETE:

- CEMENT FOR CONCRETE OR GROUT SHALL CONFORM TO A.S.T.M. C-150 TYPE I/II FOR CONCRETE IN GROUND (U.N.D.). **WATER: 2.5% MAX.**
- AGGREGATES SHALL CONFORM TO A.S.T.M. C-33 FOR NORMAL WEIGHT CONCRETE AND A.S.T.M. C-330 FOR LIGHTWEIGHT CONCRETE.
- READY MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH A.S.T.M. C-94.
- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST A.C.I. CODE (A.C.I. 318) AND DETAILING MANUAL (A.C.I. 318), UNLESS OTHERWISE DETAILED OR NOTED IN DRAWINGS.
- CONCRETE SHALL HAVE A MINIMUM ULTIMATE STRENGTH AT 28 DAYS TALLIATED HEREON. EXCEPTIONS SHALL BE NOTED HEREON OR ON DRAWINGS. SUBMIT CONCRETE MIX DESIGNS TO AN AUTHORIZED TESTING AND INSPECTION COMPANY FOR APPROVAL FOR CONCRETE OVER 2500 PSI.
- LOCATION:
 SLABS ON GRADE AND FOOTINGS: 5000 PSI
 WALLS: 5000 PSI
- ADMITTANCE MAY BE USED WITH APPROVAL OF THE ENGINEER. ADMITTANCE USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT.
- REFER TO ARCHITECTURAL DRAWINGS FOR MOULDS, GROOVES, ORNAMENTS, CLIPS OR TEXTURE TO BE CAST INTO CONCRETE AND FOR EXTENT OF DEPRESSIONS, CURBS, AND DAMPS.
- CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY THE AMERICAN CONCRETE INSTITUTE.
- ALL REINFORCING STEEL, ANCHOR BOLTS, HOLDOWN BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO POURING OF CONCRETE.
- LOCATION OF CONSTRUCTION JOISTS NOT SPECIFICALLY INDICATED ON DRAWINGS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACING REINFORCING STEEL.
- CONCRETE SLABS AND WALLS VARIATION FROM LEVEL SHALL BE 1/8" IN TEN FEET MAXIMUM, UNLESS OTHERWISE NOTED ON DRAWINGS.
- DETERMINE SIZE AND LOCATION OF ANCHOR BOLTS, PADS, SLEEVES, ETC. FOR MECHANICAL EQUIPMENT FROM MANUFACTURER IDENTIFIED DRAWINGS.
- PROVIDE NO OPENINGS IN FRAMED SLABS, WALLS, OR BEAMS UNLESS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS OR APPROVED IN WRITING BY THE STRUCTURAL ENGINEER.
- PIPS MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN.
- FINE GROUT SHALL BE COMPOSED OF ONE PART PORTLAND CEMENT TO WHICH MAY BE ADDED NO MORE THAN 1/10 PART OF HYDRATED LIME OR LIME PUTTY, AND 2 1/2 PARTS OF SAND. MINIMUM COMPRESSIVE STRENGTH SHALL BE 2500 PSI AT 28 DAYS.
- COARSE GROUT SHALL CONSIST OF ONE PART PORTLAND CEMENT, 4 PARTS SAND AND DRY LOOSE VULCANITE AND NOT LESS THAN 1/4 PART LIME PUTTY OR DRY HYDRATED LIME. DRY PACKED GROUT SHALL OBTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- DRY PACK SHALL CONSIST OF ONE PART PORTLAND CEMENT, 4 PARTS SAND AND DRY LOOSE VULCANITE AND NOT LESS THAN 1/4 PART LIME PUTTY OR DRY HYDRATED LIME. DRY PACKED GROUT SHALL OBTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- PROPER CURING OF ALL CONCRETE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE DONE IN A MANNER RECOMMENDED BY THE LATEST EDITION OF THE A.C.I. CODE.
- MINIMUM CONSTRUCTION OF ANCHOR BOLTS (A.B.) UNLESS OTHERWISE NOTED ON THE PLANS, SHALL BE 7" IN FOOTINGS OR TOP OF CONCRETE OR GROUTED MASONRY WALLS, 5/8" IN THE VERTICAL FACE OF MASONRY WALLS AND 4" IN TOP VERTICAL CONCRETE SURFACES. ALL BOLTS SHALL HAVE A STANDARD BOLT HEAD OR A 1/4" X 10" DECOR BOLT AT BASED END. ANCHOR BOLTS SHALL BE SPACED A MINIMUM OF 12" DIMENSIONS. IN LIEU OF BOLTS OR DOWELS IN CONCRETE, APPROVED CABLES OR PLACED THROUGH INSERTS MAY BE USED.
- PROVIDE 2x4 BARS IN TOP OF ALL CONCRETE BEAMS THAT HAVE STIRRUPS AND DO NOT HAVE OTHER TOP STEEL AVAILABLE TO HOLD STIRRUPS.

REINFORCING STEEL:

- ALL REINFORCING STEEL UNLESS OTHERWISE NOTED IN DRAWINGS SHALL CONFORM TO A.S.T.M. A-615 WITH THE FOLLOWING GRADES (MINIMUM):
 STRUCTURAL CONCRETE, #4 AND SMALLER: 60
 STRUCTURAL CONCRETE, #5 AND LARGER: 60
 STRUCTURAL MASONRY, ALL BARS: 40
- WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A-186.
- REINFORCING, DETAILING, BENDING AND PLACING SHALL BE IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE", LATEST EDITION.
- ALL WELDING OF REINFORCING BARS SHALL BE DONE BY THE SHIELDED METAL ARC WELDING PROCESS, IN ACCORDANCE WITH AWS D1.1 LATEST EDITION, AND BE PERFORMED BY CERTIFIED WELDERS AND CONTINUOUSLY INSPECTED BY A LICENSED INSPECTOR APPROVED BY THE LOCAL GOVERNING AUTHORITY. USE GRADE 70W FOR ALL WELDED REINFORCING.
- REINFORCING SHALL BE SPICED ONLY AS SHOWN OR NOTED. SPICES AT OTHER LOCATIONS MAY BE ALLOWED ONLY IF APPROVED BY THE STRUCTURAL ENGINEER.
- STANDARD LAP SPICES FOR WELDED WIRE FABRIC SHALL BE 12" OR TWO WIRE SPACES, WHICHEVER IS GREATER.
- VERTICAL BARS IN WALLS SHALL BE ACCURATELY POSITIONED AT THE CENTER OF WALL UNLESS OTHER WISE NOTED ON DETAILS AND SHALL BE TIED IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 92 BAR DIAMETERS.
- BARS NOTED "CONT." AND "TYPICAL WALL REINFORCING" SHALL HAVE A MINIMUM SPICE EQUAL TO THE STANDARD LAP SPICES UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
- SPICES W/ ADJACENT HORIZONTAL WALL REINFORCING BARS SHALL BE STAGGERED 4'-0" MINIMUM UNLESS OTHERWISE NOTED.
- PROVIDE DOWELS IN FOOTINGS AND / OR GRADE BEAMS THE SAME GRADE, SIZE AND NUMBER AS VERTICAL WALL OR COLUMN REINFORCING. DOWELS SHALL HAVE A MINIMUM PROJECTION EQUAL TO THE STANDARD LAP SPICES UNLESS OTHERWISE NOTED.
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS, AND INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE OR GROUT.
- UNLESS OTHERWISE NOTED IN DETAILS, FURNISH 3 SPACER TIES AT APPROXIMATELY 2'-6" ON CENTER IN ALL BEAMS AND EXTENDING TO REINFORCING IN PLACE.
- PROVIDE THE FOLLOWING MINIMUM PROTECTIVE COVERING OF CONCRETE (UNLESS OTHERWISE NOTED):
 BELOW GRADE OR EXPOSED TO WEATHER: 3" CLEAR
 FORMED CAST IN PLACE: 2" CLEAR
- STRUCTURAL STEEL:
 STRUCTURAL STEEL SHALL CONFORM TO A.S.T.M. A-36, UNLESS OTHERWISE NOTED.
 (MIN. 44K20 MEMBERS SHALL BE 50K20 OR 60K20)
 STEEL PIPE SHALL CONFORM TO A.S.T.M. A-53, GRADE "B", (F_y = 36 KSI).
 STEEL TUBE SHALL CONFORM TO A.S.T.M. A500, (F_y = 46 KSI).
 ALL MAIN MEMBERS SHALL HAVE BOLTS CONFORMING TO A.S.T.M. A325 (U.N.D.) UNLESS OTHERWISE NOTED.
- ALL WELDING SHALL BE BY THE ELECTRIC SHIELDED ARC PROCESS AND SHALL COMPLY WITH AWS SPECIFICATION FOR WELDING AND FABRICATION, USE EXTERIOR ELECTRODES (U.N.D.).
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- NO WELDING SHALL BE DONE UNTIL AS MUCH OF THE STRUCTURE THAT WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
- SEQUENCE OF PLACING WELDS SHALL BE SUCH AS TO AVOID DISTORTION OF MEMBERS.
- ALL BUTT WELDS SHALL BE FULL PENETRATION UNLESS OTHERWISE DETAILED ON THE PLAN.
- ALL SHOP WELDING SHALL BE PERFORMED BY CERTIFIED OPERATORS IN A SHOP LICENSED BY THE LOCAL BUILDING AUTHORITY.
- A CERTIFICATE OF FABRICATION FROM THE SHOP PERFORMING THE WELDING OR A REPORT FROM THE SPECIAL INSPECTOR MUST BE FURNISHING TO THE JOB INSPECTOR AND/OR BUILDING DEPARTMENT PRIOR TO FRAMING APPROVAL.
- ALL FIELD WELDING SHALL BE DONE BY A CERTIFIED WELDER AND CONTINUOUSLY INSPECTED BY A LICENSED INSPECTOR APPROVED BY THE LOCAL BUILDING AUTHORITY.

STRUCTURAL LUMBER:

- STRUCTURAL LUMBER SHALL BE GRADE MARKED DOUGLAS FIR (D.F.) LARCH PER STANDARD GRADING AND DRESSING RULES #16 OF WEST COAST LUMBER INSPECTION BUREAU.
- WOOD GRADES UNLESS OTHERWISE NOTED IN PLANS:
 JOISTS (2" WIDE, 8' & DEEPER): GRADE #2
 BEAMS, PURLINS (4" WIDE AND OVER): GRADE #1
 SUB-PURLINS (2" TO 4" WIDE, 4' DEEP): GRADE #2
 LEVELLERS: GRADE #2
 STUDS (2x4 OR 3x4): CONSTRUCTION GRADE
 STUDS (2x6 AND LARGER): GRADE #2
 POSTS (ALL SIZES): GRADE #1
 SILL, PLATES AND BLOCKING: CONSTRUCTION GRADE
- CUTTING, NOTCHING OR DRILLING OF BEAMS OR JOISTS TO BE PERMITTED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
- UNLESS OTHERWISE SPECIFIED, ALL NAILING SHALL CONFORM TO TABLE 2204.1 (BRC CODE LATEST ADOPTED EDITION). USE COMMON WIRE NAILS THREE-OUT FOR ALL NAILING (BOLTS, NAILS TO T.O.F. LUMBER TO BE HOT-DIPPED ZINC COATED GALVANIZED).
- SILLS OR PLATES BEARING ON CONCRETE OR MASONRY WHICH IS WITHIN 48" OF EARTH SHALL BE PRESSURE TREATED WOOD MARKED OR BRANDED BY AN APPROVED AGENCY.
- ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE STANDARD CUT WASHERS (EXCEPT AS NOTED FOR ANCHOR BOLTS). ALL BOLT HOLES IN WOOD SHALL BE DRILLED 1/32" DIA. LARGER THAN THE NOMINAL BOLT DIAMETER.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS (PANNAHU). PROVIDE MINIMUM 2x6 SOLID BLOCKING BELOW WALLS PERPENDICULAR TO JOISTS.
- PROVIDE BLOCKING OR BRIDGING PER SECTION 4.4.10 OF THE NATIONAL DESIGN SPECIFICATION (NDS).
- TOP PLATES OF ALL WOOD STUD WALLS TO BE DOUBLE 2x4 (SAME WIDTH AS STUDS), UNLESS OTHERWISE NOTED. LAP 48" MIN. WITH NOT LESS THAN 6-16D NAILS AT EACH LAP AND NOT MORE THAN 12" BETWEEN NAILS.
- FIRE-LOOKING 2" THICK SHALL BE PLACED IN STUD WALLS AT CEILING AND FLOOR LEVELS AT EACH 10 FEET HEIGHT OF STUDS AND BETWEEN STAIR STRINGERS AT SUPPORTS.
- LAS BOLTS AND SCREWS SHALL BE PRIORITIZED TO SHANK DIAMETER AND FULL DEPTH AND SCREWED (NOT DRIVEN) INTO PLACE.
- PROVIDE 1x6 DIAGONAL LET-IN BRACING (AT APPROX. 45 DEGREES) EVERY 20'-0" IN ALL STUD WALLS NOT SHEATHED. BRACE SHALL RUN CONTINUOUS FROM TOP PLATE TO SILL PLATE.
- FRAMING HARDWARE SPECIFIED TO BE MANUFACTURED BY "SIMPSON STRONG TIE CO." OF BREA, CALIFORNIA, WITH NAIL SIZE AND NUMBER AS SPECIFIED IN THE SIMPSON CATALOG LATEST EDITION, UNLESS OTHERWISE NOTED IN THE DRAWINGS. PROVIDE "ZMAX" COATING FOR CONNECTIONS IN CONTACT WITH PRESSURE TREATED LUMBER.
- PERMANENT AND TEMPORARY BRACING OF PREFABRICATED OPEN & PLYWOOD WEB JOISTS IS THE SOLE RESPONSIBILITY OF THE JOIST MANUFACTURER AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. PERMANENT BRACING OF FLOOR JOISTS SHALL BE ADEQUATE TO MINIMIZE FLOOR VIBRATIONS CAUSED BY FOOT TRAFFIC.
- NOTCHING OF EXTERIOR AND BEARING WALLS SHALL NOT EXCEED 25% AND 40% OF THE STUD DEPTH, RESPECTIVELY. BORER HOLES IN BEARING AND NON-BEARING WALLS SHALL NOT EXCEED 40% AND 60% OF THE STUD DEPTH, RESPECTIVELY. BORER HOLES SHALL NOT BE LOCATED CLOSER THAN 58" TO THE EDGE OF STUDS.

PLYWOOD DIAPHRAGMS:

- ALL STRUCTURAL PLYWOOD SHALL BE GRADE CDX WITH EXTERIOR GLUE, P.S. 186, UNLESS OTHER NOTED.
- PLYWOOD NAILING SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON THE PLANS:
 BOUNDARY AND FIELD NAILING:
 THICKNESS: 5/8" @ 8" O.C.
 1/2" @ 12" O.C.
 3/4" @ 16" O.C.
 1" @ 24" O.C.
 1 1/4" @ 36" O.C.
 1 1/2" @ 48" O.C.
- THE EDGE DISTANCE FOR 2" NOMINAL (2-1/2" NET) WID MEMBERS ON WHICH SHEETS ARE SPICED SHALL BE 3" MINIMUM.
- THE NAIL EDGE DISTANCE FOR PLYWOOD SHEETS SHALL BE NOT LESS THAN 3".
- NAILS MAY BE BLANT DRIVEN TO MAINTAIN MINIMUM EDGE DISTANCE IN FRAMES MEMBERS.

MANUF. WOOD MEMBERS:

- PLYWOOD WEB JOISTS NOTED "1" ARE TO BE MANUFACTURED BY TRUS-JOIST MACMILLAN DIER-200 & SPAN PER THESE STRUCTURAL DRAWINGS AND ALL MANUFACTURERS RECOMMENDATIONS. TOP AND BOTTOM FLANGES OF JOISTS ARE NEVER TO BE CUT AND ALL HOLES THROUGH THE JOIST WEB ARE NEVER TO BE CUT. PROVIDE ALL REQUIRED ERECTION BRACING. THE JOIST MANUFACTURER SHALL PROVIDE DESIGN CALCULATIONS AND SHOP DRAWINGS SIGNED BY A LICENSED CALIFORNIA CIVIL OR STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE DESIGN SHALL ACCOUNT FOR ALL UNIFORM LOADS AND EQUIPMENT LOADS.
- OPEN WEB JOISTS ARE TO BE THE TYPE NOTED ON THE PLANS AND MANUFACTURED BY TRUS-JOIST MACMILLAN DIER-200. PROVIDE BLOCKING AND BRACING OVER THE SPAN PER THESE STRUCTURAL DRAWINGS AND ALL MANUFACTURERS RECOMMENDATIONS. TOP AND BOTTOM FLANGES OF JOISTS ARE NEVER TO BE CUT. PROVIDE ALL REQUIRED ERECTION BRACING. THE JOIST MANUFACTURER SHALL PROVIDE DESIGN CALCULATIONS AND SHOP DRAWINGS SIGNED BY A LICENSED CALIFORNIA CIVIL OR STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE DESIGN SHALL ACCOUNT FOR ALL UNIFORM LOADS AND EQUIPMENT LOADS.
- WHERE PARALLEL "PSL" MEMBERS ARE INDICATED ON THE PLANS AND SCHEDULES THEY SHALL BE MANUFACTURED BY TRUS-JOIST MACMILLAN DIER 481 & ESR-1387, OR BE AN APPROVED EQUAL PRODUCT. MEMBERS SHOWN ON THE PLANS AND SCHEDULES ARE DETERMINED FROM MANUFACTURER SUPPLIED INFORMATION AND SHOULD BE REVIEWED FOR COMPLIANCE BY THE ENGINEER. NOTCHES, HOLES, OR CUTS SHOWN IN THE TYPICAL DETAILS ARE ALLOWED WITHOUT ADDITIONAL APPROVAL. ALL OTHER MEMBER MODIFICATIONS ARE TO BE APPROVED BY THE STRUCTURAL ENGINEER.
- WHERE MICRO-LAM "VL" MEMBERS ARE INDICATED ON THE PLANS AND SCHEDULES THEY SHALL BE MANUFACTURED BY TRUS-JOIST MACMILLAN DIER 481 & ESR-1387, OR AN APPROVED EQUAL PRODUCT. MEMBERS SHOWN ON THE PLANS AND SCHEDULES ARE DETERMINED FROM MANUFACTURER SUPPLIED INFORMATION AND SHOULD BE REVIEWED FOR COMPLIANCE BY THE ENGINEER. NOTCHES, HOLES, OR CUTS SHOWN IN THE TYPICAL DETAILS ARE ALLOWED WITHOUT ADDITIONAL APPROVAL. ALL OTHER MEMBER MODIFICATIONS ARE TO BE APPROVED BY THE STRUCTURAL ENGINEER.
- WHERE TRUSS-TRAND "TSL" MEMBERS ARE INDICATED ON THE PLANS AND SCHEDULES THEY SHALL BE MANUFACTURED BY TRUS-JOIST MACMILLAN DIER 481 & ESR-1387, OR AN APPROVED EQUAL PRODUCT. MEMBERS SHOWN ON THE PLANS AND SCHEDULES ARE DETERMINED FROM MANUFACTURER SUPPLIED INFORMATION AND SHOULD BE REVIEWED FOR COMPLIANCE BY THE ENGINEER. NOTCHES, HOLES, OR CUTS SHOWN IN THE TYPICAL DETAILS ARE ALLOWED WITHOUT ADDITIONAL APPROVAL. ALL OTHER MEMBER MODIFICATIONS ARE TO BE APPROVED BY THE STRUCTURAL ENGINEER.
- "GANG-NAI" TYPE ROOF AND FLOOR TRUSSES ARE TO BE CONSTRUCTED WITH METAL PLATE CONNECTORS AND DESIGNED AND MANUFACTURED BY THE ENGINEER. DESIGN, CONSTRUCTION, AND INSTALLATION SHALL MEET ALL APPLICABLE REQUIREMENTS OF IBC SECTION 2321, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AND THE TRUSS PLATE INSTITUTE. PROVIDE ALL REQUIRED BLOCKING AND BRACING REQUIRED BY THE MANUFACTURER FOR CONSTRUCTION FROM ERECTION IN ADDITION TO BLOCKING SHOWN ON THE STRUCTURAL DETAILS. MEMBERS OF A DESIGN CALCULATIONS AND SHOP DRAWINGS SIGNED BY A LICENSED CALIFORNIA CIVIL OR STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE DESIGN SHALL ACCOUNT FOR ALL UNIFORM LOADS AND EQUIPMENT LOADS. CONTACT THE STRUCTURAL ENGINEER FOR UNIFORM LOADING REQUIREMENTS.

STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL CONFORM TO A.S.T.M. A-36, UNLESS OTHERWISE NOTED.
 (MIN. 44K20 MEMBERS SHALL BE 50K20 OR 60K20)
 STEEL PIPE SHALL CONFORM TO A.S.T.M. A-53, GRADE "B", (F_y = 36 KSI).
 STEEL TUBE SHALL CONFORM TO A.S.T.M. A500, (F_y = 46 KSI).
 ALL MAIN MEMBERS SHALL HAVE BOLTS CONFORMING TO A.S.T.M. A325 (U.N.D.) UNLESS OTHERWISE NOTED.
- ALL WELDING SHALL BE BY THE ELECTRIC SHIELDED ARC PROCESS AND SHALL COMPLY WITH AWS SPECIFICATION FOR WELDING AND FABRICATION, USE EXTERIOR ELECTRODES (U.N.D.).
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- NO WELDING SHALL BE DONE UNTIL AS MUCH OF THE STRUCTURE THAT WILL BE STIFFENED THEREBY HAS BEEN PROPERLY ALIGNED.
- SEQUENCE OF PLACING WELDS SHALL BE SUCH AS TO AVOID DISTORTION OF MEMBERS.
- ALL BUTT WELDS SHALL BE FULL PENETRATION UNLESS OTHERWISE DETAILED ON THE PLAN.
- ALL SHOP WELDING SHALL BE PERFORMED BY CERTIFIED OPERATORS IN A SHOP LICENSED BY THE LOCAL BUILDING AUTHORITY.
- A CERTIFICATE OF FABRICATION FROM THE SHOP PERFORMING THE WELDING OR A REPORT FROM THE SPECIAL INSPECTOR MUST BE FURNISHING TO THE JOB INSPECTOR AND/OR BUILDING DEPARTMENT PRIOR TO FRAMING APPROVAL.
- ALL FIELD WELDING SHALL BE DONE BY A CERTIFIED WELDER AND CONTINUOUSLY INSPECTED BY A LICENSED INSPECTOR APPROVED BY THE LOCAL BUILDING AUTHORITY.

REVISIONS

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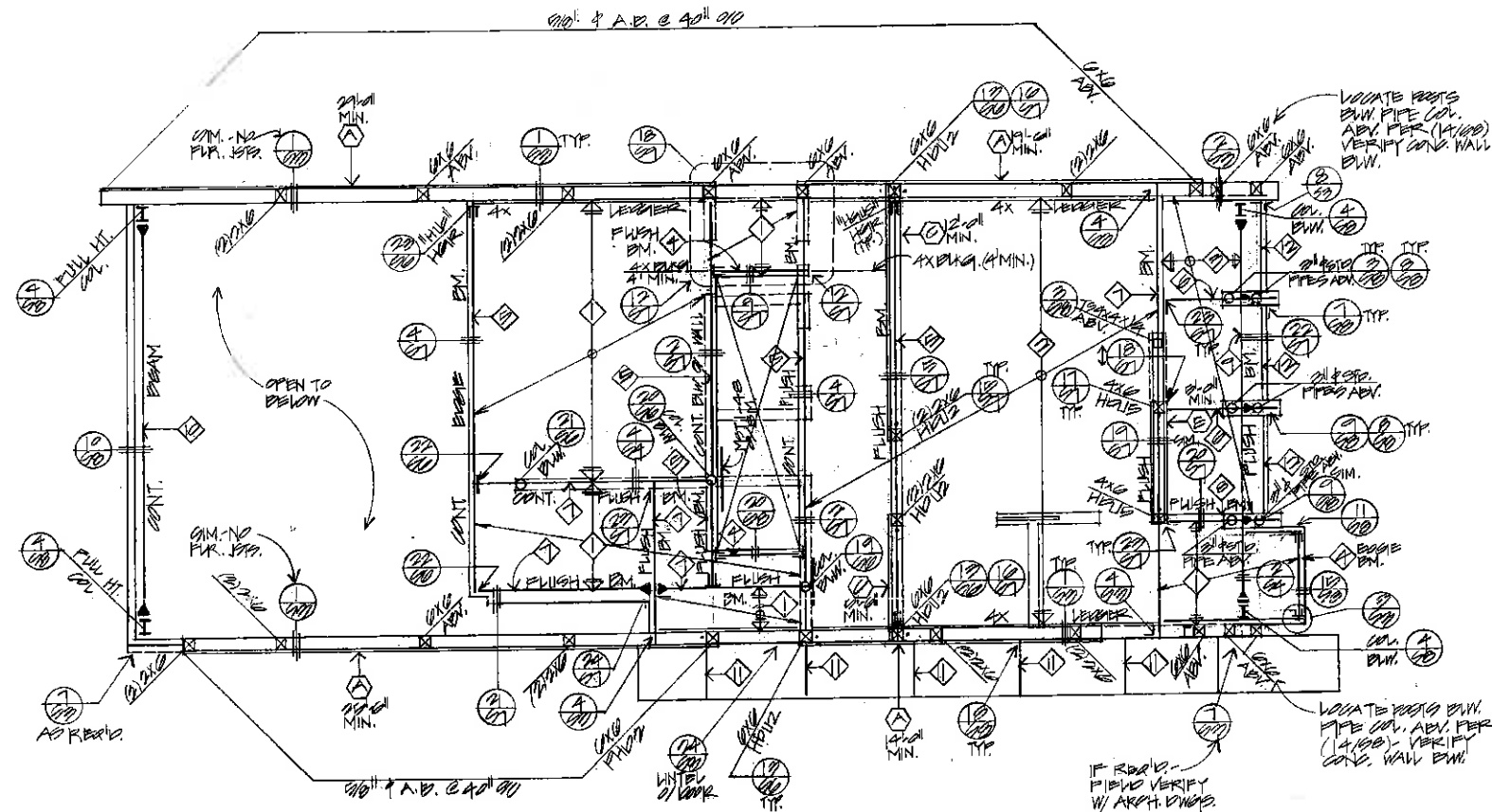
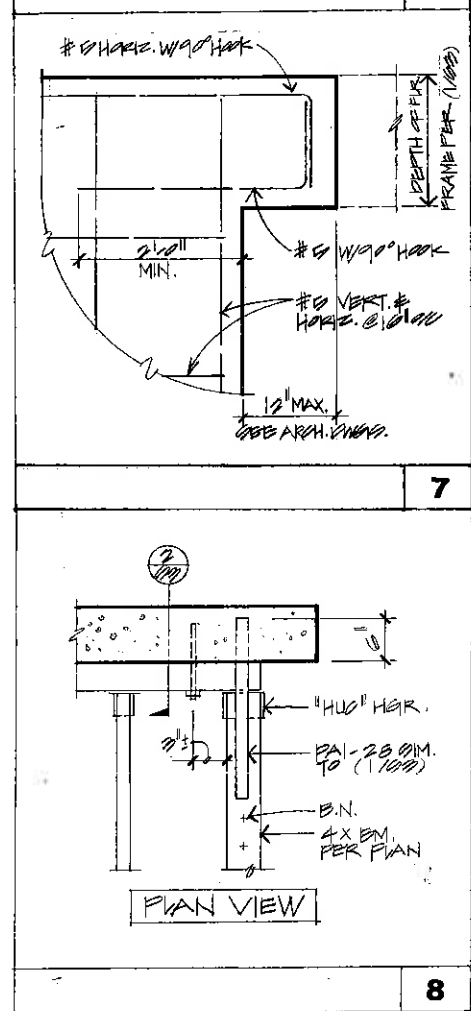
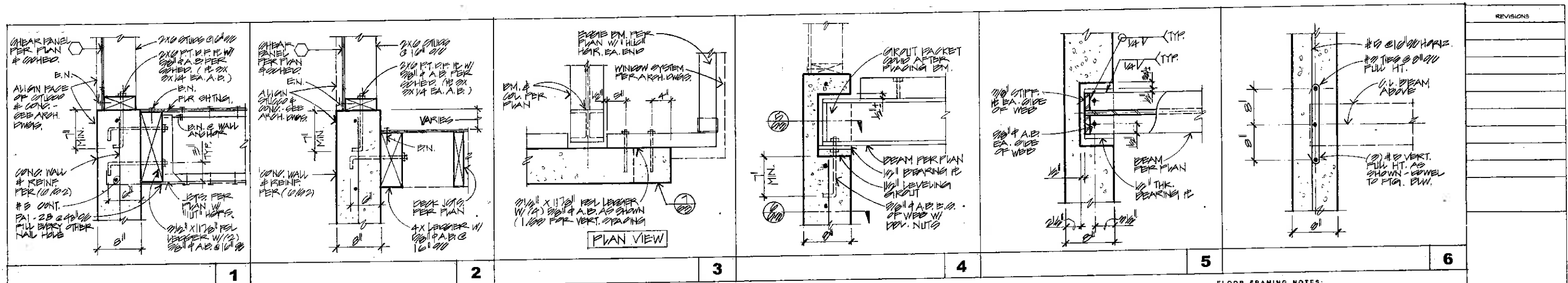
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CURTIS residence

55551 BEACH ROAD, DANA POINT, CA

DATE ISSUED:

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FLOOR FRAMING NOTES:

1. TYPICAL FLOOR SHEATHING TO BE MINIMUM 3/4" THICK STRUCTURAL I PLYWOOD WITH A SPAN INDEX OF (48/24). EXTERIOR GLUE, ALL EDGES FULLY BLOCKED.

NAILING (U.N.O.): 10d @ 4" O.C. (BOUNDARIES, B.N., AND DRAG STRUTS)
10d @ 6" O.C. (OTHER PANEL EDGES, E.N.)
10d @ 12" O.C. (INTERMEDIATE MEMBERS, F.N.)
SEE (7/51) FOR NAILING PLAN.

2. SEE (8/51) FOR TYPICAL OPENING FRAMING.

3. SEE (9/51) FOR TYPICAL TOP PLATE SPLICE.

4. PROVIDE BOUNDARY NAILING (B.N.) AT THE PERIMETER OF THE DIAPHRAGM, CONTINUOUS PANEL EDGES, DRAG STRUTS, AND AROUND ALL OPENINGS. PROVIDE EDGE NAILING (E.N.) OVER ALL WALLS, BEAMS, AND LEDGERS (U.N.O.).

5. PROVIDE FULL BEARING ON ALL JOISTS IN SPECIFIED HANGERS. IF EXCESSIVE SHRINKAGE OCCURS, PROVIDE HARDWOOD SHIMS ATTACHED TO JOISTS.

6. WHERE PARALLAM PSL MEMBERS ARE INDICATED ON THE PLANS AND SCHEDULES (NOTED AS "PSL") THEY SHALL BE MANUFACTURED BY TRUS-JOIST MACMILLAN (NER-481 & ESR-1387), OR BE AN APPROVED EQUAL PRODUCT. MEMBERS SHOWN ON THE PLANS, DETAILS, AND SCHEDULES ARE DETERMINED FROM MANUFACTURER'S SUPPLIED INFORMATION AND SHOULD BE REVIEWED FOR COMPLIANCE BY THE MANUFACTURER'S CIVIL OR STRUCTURAL ENGINEER. LOADING INFORMATION MAY BE PROVIDED UPON REQUEST.

7. SEE (4/51) FOR SHEAR PANEL SCHEDULE (S/51) DESIGNATION. (S/51) FOR TYPICAL SHEAR PANEL ELEVATION. (S/51) FOR SIMILAR OPENING IN SHEAR PANELS. PROVIDE 3X STUDS AND BLOCKING AT PLYWOOD JOINTS AT "C", "D", AND "E" WALLS AND OTHERS NOTED. 3X SILL PLATES ARE NOT REQUIRED AT FRAMED FLOOR SILLS. NAIL SPACING SHALL BE STAGGERED AT PLYWOOD JOINTS THAT OCCUR AT 3X MEMBERS AND WHERE NAIL SPACING IS 2" O.C.

8. SEE (10 & 11/51) FOR NOTCHES AND HOLES IN JOISTS AND STUDS.

9. ALL POSTS SHOWN TO HAVE FULL BEARING TO THE FOUNDATION LEVEL. PROVIDE THE SAME SIZE POST OR MULTIPLE STUDS (U.N.O.) FROM TO BEAMS TO FOUNDATION LEVEL. MINIMUM ATTACHMENT TO WOOD SILL PLATES TO BE 3/4" FRAMING CLIPS TWO SIDES.

10. SOLID WEB JOISTS NOTED "TJI" ARE TO BE MANUFACTURED BY TRUS-JOIST MACMILLAN (NER-200 & ESR-1153), OR APPROVED EQUAL. PROVIDE BLOCKING, WEB STIFFENERS, AND BRACING OVER THE SPAN PER THESE STRUCTURAL DRAWINGS AND ALL MANUFACTURER'S RECOMMENDATIONS. TOP AND BOTTOM FLANGES OF JOISTS ARE NEVER TO BE CUT AND ALL HOLES THROUGH THE SOLID WEB ARE TO BE SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. PROVIDE ALL REQUIRED ERECTION BRACING. THE JOIST MANUFACTURER SHALL PROVIDE DESIGN CALCULATIONS AND SHOP DRAWINGS SIGNED BY A LICENSED CALIFORNIA CIVIL OR STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE DESIGN SHALL ACCOUNT FOR ALL UNIFORM, CONCENTRATED, AND EQUIPMENT LOADS.

DESIGN DEAD LOAD: 10 PSF
DESIGN LIVE LOAD: 40 PSF

11. ALL FLOOR ROOF AND DECK AREAS TO HAVE MINIMUM 1/4" PER 12" SLOPE TO DRAINS. WHERE FRAMING MEMBERS ARE NOT SPECIFIED TO BE TAPERED OR SLOPED PROVIDE RIP STRIPS AND ANOTHER LAYER OF PLYWOOD SHEATHING OVER THE STRUCTURAL SHEATHING TO OBTAIN THE REQUIRED SLOPE AND DIRECTION. SEE ARCHITECTURAL DRAWINGS FOR SLOPE, DIRECTION AND DRAIN LOCATIONS.

FRAMING SCHEDULE (U.N.O.)

ID	MINIMUM MEMBER SIZE
1	11 7/8" TJI - 210 @ 16" O.C.
2	11 7/8" TJI - 560 @ 16" O.C.
3	2 X 12 DECK JOISTS @ 19" O.C. TAPER 1/4" PER 12"
4	3 1/2" X 11 7/8" PARALLAM PSL
5	5 1/4" X 11 7/8" PARALLAM PSL
6	W 8 X 21 BEAM
7	W 8 X 24 BEAM
8	W 8 X 26 BEAM
9	W 8 X 31 BEAM
10	W 8 X 35 BEAM
11	W 6 X 20 BEAM
12	4 X #1 D.F. BEAM - RIP TO HT. REQ'D. PER (22/57)

MEZZANINE FLOOR FRAMING PLAN

SCALE: 1/4" = 1' - 0"

REVISIONS

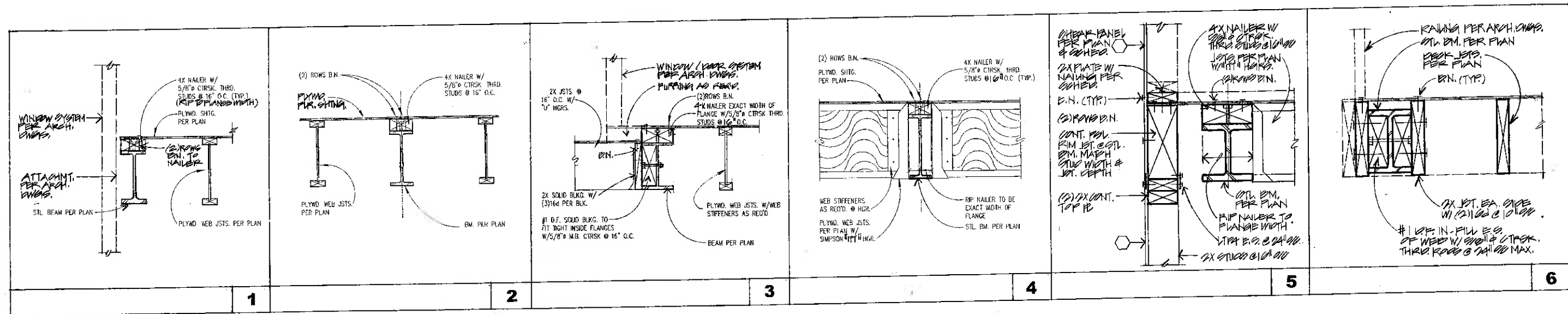
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CURTIS residence

95537 BEACH ROAD, DANA POINT, CA

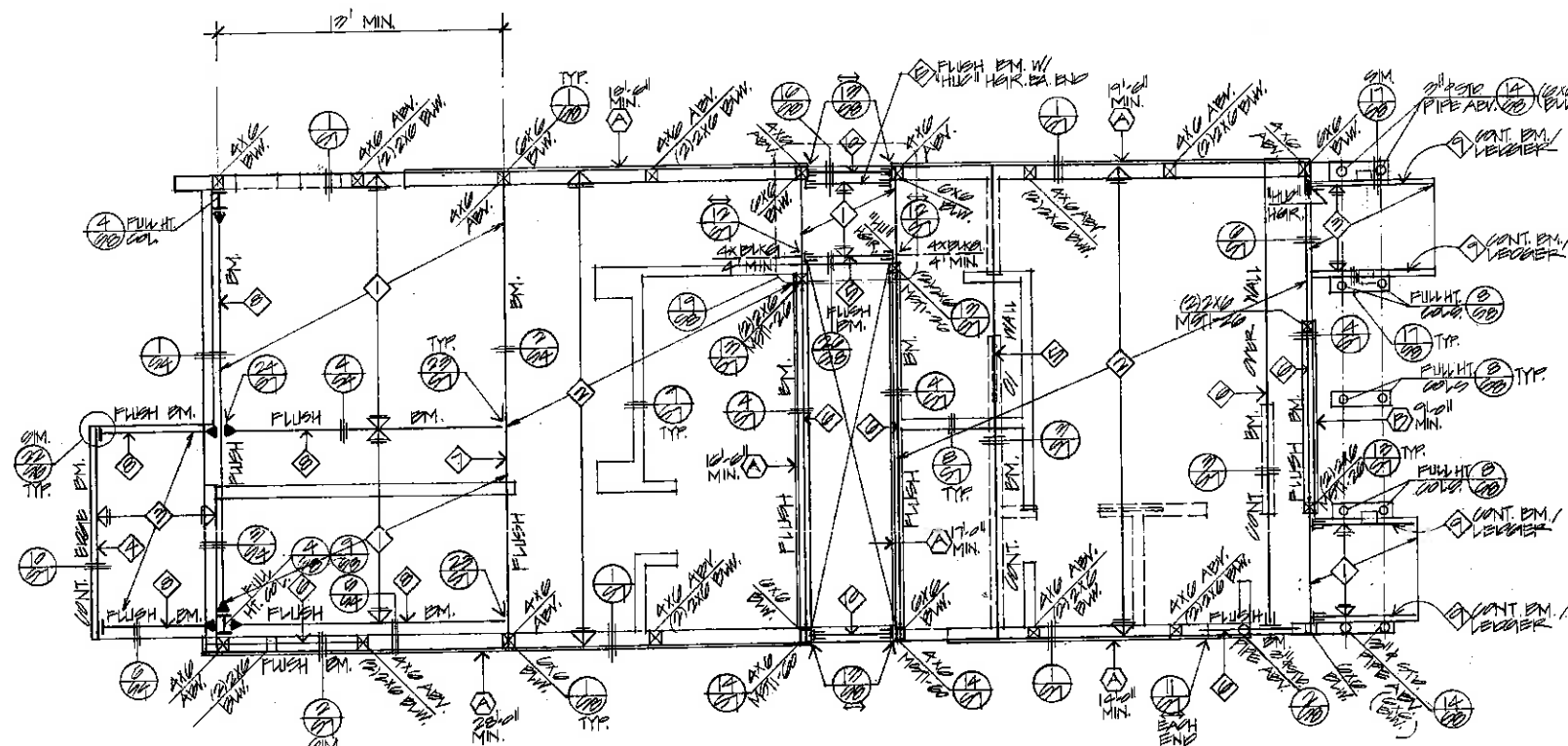
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FRAMING SCHEDULE (U.N.O.)

ID	MINIMUM MEMBER SIZE
1	11 7/8" TJI - 210 @ 16" O.C.
2	11 7/8" TJI - 560 @ 16" O.C.
3	2 X 10 JOISTS @ 16" O.C.
4	4 X 10 #1 D.F. BEAM
5	3 1/2" X 11 7/8" PARALLAM PSL
6	5 1/2" X 11 7/8" PARALLAM PSL
7	W 8 X 28 BEAM
8	W 8 X 35 BEAM
9	TS 4 X 4 X 1/4
10	TS 5 X 3 X 1/4



UPPER FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

FLOOR FRAMING NOTES:

1. TYPICAL FLOOR SHEATHING TO BE MINIMUM 3/4" THICK STRUCTURAL II TONGUE & GROOVE PLYWOOD WITH A SPAN INDEX OF (48/24), EXTERIOR GLUE, EDGES UNBLOCKED (U.N.O.).

NAILING (U.N.O.):
10d @ 6" O.C. (BOUNDARIES B.N., AND DRAG STRUTS)
10d @ 6" O.C. (OTHER PANEL EDGES, E.N.)
10d @ 12" O.C. (INTERMEDIATE MEMBERS, F.N.)
SEE (7/51) FOR NAILING PLAN.

2. SEE (8/51) FOR TYPICAL OPENING FRAMING.

3. SEE (9/51) FOR TYPICAL TOP PLATE SPLICE.

4. PROVIDE BOUNDARY NAILING (B.N.) AT THE PERIMETER OF THE DIAPHRAGM, CONTINUOUS PANEL EDGES, DRAG STRUTS, AND AROUND ALL OPENINGS. PROVIDE EDGE NAILING (E.N.) OVER ALL WALLS, BEAMS, AND LEDGERS (U.N.O.).

5. PROVIDE FULL BEARING ON ALL JOISTS IN SPECIFIED HANGERS. IF EXCESSIVE SHRINKAGE OCCURS, PROVIDE HARDWOOD SHIMS ATTACHED TO JOISTS.

6. WHERE PARALLAM PSL MEMBERS ARE INDICATED ON THE PLANS AND SCHEDULES (NOTED AS "PSL") THEY SHALL BE MANUFACTURED BY TRUS-JOIST MACMILLAN (NER-451 & ESR-1587), OR BE AN APPROVED EQUAL PRODUCT. MEMBERS SHOWN ON THE PLANS, DETAILS, AND SCHEDULES ARE DETERMINED FROM MANUFACTURER'S SUPPLIED INFORMATION AND SHOULD BE REVIEWED FOR COMPLIANCE BY THE MANUFACTURER'S CIVIL OR STRUCTURAL ENGINEER. LOADS INFORMATION MAY BE PROVIDED UPON REQUEST.

7. SEE (4/51) FOR SHEAR PANEL SCHEDULE (S/51) FOR SIMILAR OPENING IN SHEAR PANELS. PROVIDE 3X STUDS AND BLOCKING AT PLYWOOD JOINTS AT "C" AND "D" WALLS AND OTHERS NOTED. 3X SILL PLATES ARE NOT REQUIRED AT FRAMED FLOOR SILLS. NAIL SPACING SHALL BE STAGGERED AT PLYWOOD JOINTS THAT OCCUR AT 3X MEMBERS AND WHERE NAIL SPACING IS 2" O.C.

8. SEE (10 & 11/51) FOR NOTCHES AND HOLES IN JOISTS AND STUDS.

9. ALL POSTS SHOWN TO HAVE FULL BEARING TO THE FOUNDATION LEVEL. PROVIDE THE SAME SIZE POST OR MULTIPLE STUDS (U.N.O.) FROM TO BEAMS TO FOUNDATION LEVEL. MINIMUM ATTACHMENT TO WOOD SILL PLATES TO BE A34 FRAMING CLIPS TWO SIDES.

10. SOLID WEB JOISTS NOTED "TJI" ARE TO BE MANUFACTURED BY TRUS-JOIST MACMILLAN (NER-200 & ESR-1153), OR APPROVED EQUAL. PROVIDE BLOCKING, WEB STIFFENERS, AND BRACING OVER THE SPAN PER THESE STRUCTURAL DRAWINGS AND ALL MANUFACTURER'S RECOMMENDATIONS. TOP AND BOTTOM FLANGES OF JOISTS ARE NEVER TO BE CUT AND ALL HOLES THROUGH THE SOLID WEB ARE TO BE SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. PROVIDE ALL REQUIRED ERECTION BRACING. THE JOIST MANUFACTURER SHALL PROVIDE DESIGN CALCULATIONS AND SHOP DRAWINGS SIGNED BY A LICENSED CALIFORNIA CIVIL OR STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE DESIGN SHALL ACCOUNT FOR ALL UNIFORM, CONCENTRATED, AND EQUIPMENT LOADS.

DESIGN DEAD LOAD: 10 PSF
DESIGN LIVE LOAD: 40 PSF

11. ALL FLAT ROOF AND DECK AREAS TO HAVE MINIMUM 1/2" PER 12' SLOPE TO DRAINS. WHERE FRAMING MEMBERS ARE NOT SPECIFIED TO BE TAPERED OR SLOPED PROVIDE RIP STRIPS AND ANOTHER LAYER OF PLYWOOD SHEATHING OVER THE STRUCTURAL SHEATHING TO OBTAIN THE REQUIRED SLOPE AND DIRECTION. SEE ARCHITECTURAL DRAWINGS FOR SLOPE, DIRECTION AND DRAIN LOCATIONS.

REVISIONS

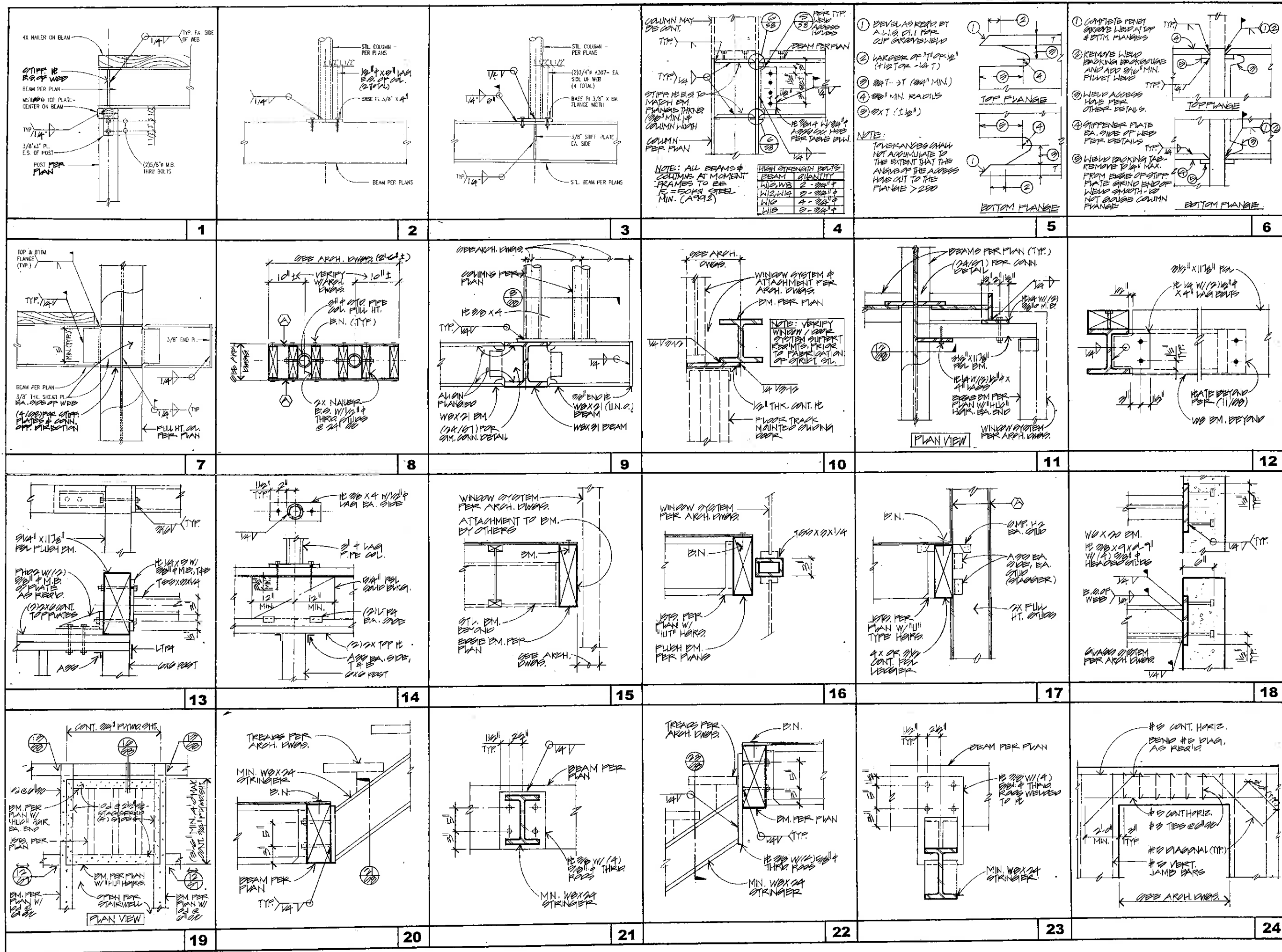
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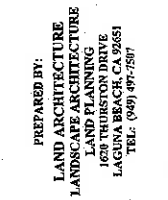
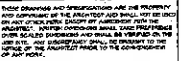
CURTIS residence

95551 BEACH ROAD, DANA POINT, CA

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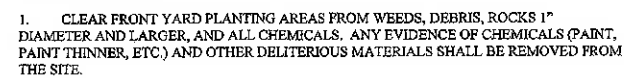
S8

1. Use Toro pressure compensating flow bubblers FB-25-PC, 0.25 GPM (O), on 4" pop-up body. Install one bubbler per plant next to root ball. Use double swing joints to connect riser to lateral pipe. Use Teflon tape for all threaded joints. Install heads flush with top of gravel
2. Lateral pipe shall be PVC Schedule 40, with minimum 12" cover.
3. Install battery operated control valve (). Connect control valve to nearest water source with PVC Schedule 40 pipe with minimum 18" cover.
4. Rear yard pots shall be hand-watered as necessary.



PLANTING PLAN
CURTIS residence

35537 BEACH ROAD, DANA POINT, CA



2. DIG PLANTER HOLES IN FRONT YARD FOR ALL SHRUBS PER DETAILS. BACKFILL MIX SHALL CONSIST OF THE FOLLOWING:
80% EXCAVATED SOIL
20% NITROHUMUS
GRO-POWER PLANTER TABLETS, 7 GRAMS EACH, SLOW RELEASE OR EQUAL

1 GAL PLANT	2 TABLETS
2 GAL PLANT	3 TABLETS
5 GAL PLANT	6 TABLETS
15 GAL PLANT	12 TABLETS
3. COVER FRONT PLANTING AREA WITH 2" OF BARK MULCH. TOP OF MULCH SHALL BE 1" BELOW TOP OF PAVING, CURB OR HEADER.
4. POTS SHALL BE 2 1/2-3" AND 1 1/2-2" DIAMETER, OWNER'S CHOICE.
5. SOIL MIX FOR POTS SHALL BE:
70% POTTING SOIL
30% CLEAN MEDIUM COURSE SAND
PLANTER TABLETS AS ABOVE.

<u>PLANT LEGEND</u>		<u>MATURE HEIGHT</u>	<u>MATURE SPREAD</u>
AL	ALOE STRIATA Coral Aloe	5 gal	2' 3'
CR	CRASSULA ARGENTEA Jade Plant	5 gal	4'+ 5'+
C	CRASSULA FALCATA Sickle Plant	2 gal	2'+ 2'+
E	ECHEVERIA HYBRID Echeveria	2 gal	1½" 2'+
L	LANTANA "SPREADING SUNSHINE" Lantana	1 gal	15-18" 2'
LE	LEPTOSPERMUM "COMPACTUM" Australian Tea Tree	15 gal	5'+ keep narrow
P	PHORMIUM "MAORI QUEEN" New Zealand Flax	5 gal	3' 3'
S	SEDUM RUBROTINCTUM Pork and Beans	1 gal	6-8" 2'
SE	SENECIO CINERARIA Dusty Miller	2 gal	2' 2'
N	NANDINA DOMESTICA Nandina	5 gal	4-6' 2'

Lot Size	2,808 sq ft	
Landscape Area req'd	281 sq ft	= 10%
Landscape Area provided	407 sq ft	= 14.49% PROVIDED

