

**CITY OF DANA POINT
PLANNING COMMISSION
AGENDA REPORT**

ITEM #4

DATE: OCTOBER 6, 2014

TO: DANA POINT PLANNING COMMISSION

FROM: URSULA LUNA-REYNOSA, DIRECTOR OF COMMUNITY DEVELOPMENT
ERICA H. DEMKOWICZ, AICP SENIOR PLANNER

SUBJECT: CONDITIONAL USE PERMIT CUP14-0007 AND SITE DEVELOPMENT PERMIT SDP14-0024 FOR THE CONSTRUCTION OF A GRADED PAD ON AN EXISTING UNDEVELOPED DIRT AND GRAVEL LOT THAT WILL BE UTILIZED FOR THE STORAGE OF BOATS AND RV'S.

RECOMMENDATION: That the Planning Commission adopt the attached Draft Resolution approving Conditional Use Permit CUP14-0007 and Site Development Permit SDP14-0024.

APPLICANT/

CONTACT PERSON: David Youngblood, Director of Engineering, South Coast Water District/ Joseph E. Dietz, Tetra Tech

REQUEST: A Conditional Use Permit and Site Development Permit for the construction of a graded pad for the storage of boats and RV's. Said storage will be located on a lot referred to as "Lot A" within South Coast Water District's property off of Stonehill Drive.

LOCATION: APN# 668-404-05

NOTICE: Notices were mailed to property owners within 500 feet of the site

ENVIRONMENTAL: Pursuant to the provisions of the California Environmental Quality Act (CEQA), an Environmental Impact Report (SCH#2001011081) was prepared and certified for the San Juan Creek Property Project in November 2002, which included the subject site (APN# 668-404-05). An Addendum to the certified EIR for the San Juan Creek Property project was prepared in August 2014 to determine whether the modified project (described above) would result in new or substantially more severe environmental impacts. The Addendum to the Certified EIR concluded that the modified project changes to the original project would not result in any new significant impacts, nor would they increase the severity of previously identified impacts.

ISSUES:

1. Project consistency with the Dana Point General Plan and Zoning Ordinance.
2. Project satisfaction of all findings required pursuant to the Zoning Ordinance for the approval of a Conditional Use Permit and Site Development Permit.
3. Project compatibility with and enhancement to the site and surrounding neighborhood.

BACKGROUND:

The subject site is an undeveloped dirt and gravel lot with scarce vegetation located immediately south of South Coast Water District's (SCWD) Groundwater Recovery Facility off of Stonehill Drive. The site is bordered the east by San Juan Creek and to the west by Orange County Transportation Authority (OCTA) rail right-of-way (formerly Atchison, Topeka and Santa Fe (AT&SF) railroad). Property to the south is also owned by SCWD and is leased to various small tenants for storage space. Access to the site is off of a private access road that connects to Stonehill Drive. The subject site is zoned Industrial/Business (I/B).

The total property owned by SCWD encompasses approximately 30.54 acres and the subject site is one lot ("Lot A") within this area that consists of approximately 5 acres. Currently, the site contains only a large existing stockpile of dirt in the southeast corner of the lot.

DISCUSSION:

The proposed project involves some grading of the site in preparation for boat & RV storage. The existing stockpile which consists of approximately 13,000 cubic yards of dirt will be redistributed across the site. Approximately 1,000 cubic yards is proposed to be removed and hauled off site. Following the grading, one (1) inch of decomposed granite will be laid over the entire lot. At the completion of the grading, stakes with flags will be installed to divide the individual boat and/or RV storage spaces. A total of 199 boat and/or RV spaces are proposed.

The applicant is also proposing to construct a chainlink fence with barbed wire around the perimeter of the lot. Two mechanical gates along with two new driveway approaches are also proposed to provide access to the site for storage users. Access to the site will be off of Stonehill Drive. No access will be allowed off of Pacific Coast Highway. For traffic safety, Staff has included a condition of approval in the attached draft Resolution that stipulates that only right turns will be allowed exiting from the private access road onto Stonehill Drive.

In accordance with Section 9.75.270 of the Zoning Code, screening of the lot is a requirement of "Storage Yard Uses", if the stored materials or equipment is not located within an enclosed building. Given that there is no enclosed building proposed, Staff is recommending two separate conditions of approval be incorporated into the attached draft Resolution that addresses both the screening and the provision of drought-tolerant landscaping for improving the look of the lot (Supporting Document 1).

No site lighting is proposed as part of the project, however, minimal lighting may be provided as required at entrances and exit gates subject to the submittal of a lighting plan for the site. Existing site lighting at the access road will remain.

General Operation:

The South Coast Water District will enter into a maintenance and operational contract with an experienced dry boat storage site manager to provide day-to-day operations at the boat and RV storage lot. The manager will be responsible for dry boat storage operation of the site, maintenance of the site, rental access, execution of rental agreements, and other general operational requirements of the site. The site manager will have an office within the adjacent SCWD Groundwater Recovery Facility building next door to the subject site.

Hours of Operation:

The site will be open for storage and retrieval of boats and RV's from 4:30 am to 8:00 pm, seven (7) days per week (May through September) and 5:00 am to 6:00 pm, seven (7) days per week (October through April). After-hours access to the site will not be permitted.

CONDITIONAL USE PERMIT:

Section 9.17.020(b) of the Dana Point Zoning Code allows "Storage Yard Uses" in the Industrial/Business (I/B) zone with a Conditional Use Permit. Storage Yard Uses are defined as establishments where construction materials and/or equipment are stored within an enclosed building or properly screened yard. Typical uses include, but are not limited to, automobile/RV storage, contractor storage yards, equipment sales and rentals, equipment storage, garden equipment sales and storage yards and truck storage among other similar storage yard uses. While the I/B zone does not specifically include boat storage within its list of permitted uses, the Zoning Code does allow for the Director to make an interpretation if a use is not listed. With respect to boat storage, the Director has made an interpretation that boats are similar to automobile and RV storage and therefore permitted. This interpretation has been noted in the Director's Interpretation Manual.

SITE DEVELOPMENT PERMIT:

The proposed project is located within the City's FP-2 Floodplain Overlay Zone which is defined as a special flood hazard area. Section 9.31.050 of the Zoning Code states that projects in the Floodplain Overlay Zone require approval of a Site Development Permit. The applicant has submitted a certified letter from a licensed engineer that states that no overtopping of the San Juan Creek levee occurs within the vicinity of the project site. This information is based upon two special flood studies of the San Juan Creek Watershed area that were completed in 2008 and 2010. The letter also states that Stonehill Drive prevents offsite flows from entering the project site from the north and that the site is raised above the adjacent land to the east and south. The letter concludes that the proposed development will

not increase the base flood elevation and that it will not pose hazards to people and property. As part of the City's review of this project, this letter was reviewed by the City's Public Works & Engineering Services Division and they concurred with conclusions contained within the applicant's letter.

As of the date of this report, staff has received no public comments.

CONCLUSION:

The proposed project is consistent with the City of Dana Point General Plan and Zoning Ordinance. Based on the above analysis, Staff recommends that the Planning Commission approve Conditional Use Permit CUP14-0007 and Site Development Permit SDP14-0024 for boat and RV storage.



Erica H. Demkowicz, AICP
Senior Planner



Ursula Luna-Reynosa,
Director of Community Development

ACTION DOCUMENTS:

1. Draft PC Resolution #14-10-06-XX

SUPPORTING DOCUMENTS:

2. Exhibit "A" – 11" x 17" Site Improvement Plans
3. Operational Summary Letter by Tetra Tech dated August 26, 2014
4. Flood Letter by Tetra Tech dated September 15, 2014
5. Aerial View of SCWD "Lot A" and surrounding properties
6. Site Photos

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DANA POINT, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CUP14-0007 AND SITE DEVELOPMENT PERMIT SDP14-0024 FOR THE CONSTRUCTION OF A GRADED PAD ON AN EXISTING UNDEVELOPED DIRT AND GRAVEL LOT THAT WILL BE UTILIZED FOR THE TEMPORARY STORAGE OF BOATS AND RV'S. THE LOT IS OWNED BY SOUTH COAST WATER DISTRICT (SCWD), IS REFERRED TO AS "LOT A" AND IS LOCATED SOUTH OF STONEHILL DRIVE ADJACENT TO SAN JUAN CREEK (APN # 668-404-05).

Applicant/Contact Person: David Youngblood/Joseph E. Dietz

The Planning Commission for the City of Dana Point does hereby resolve as follows:

WHEREAS, the applicant filed a verified application for a Conditional Use Permit (CUP) and Site Development Permit to allow for the construction of a graded pad on an existing, undeveloped lot that will be utilized for the temporary storage of boats and RV's within the Industrial/Business (I/B) zone at APN 668-404-05; and

WHEREAS, said verified application constitutes a request as provided by Title 9 of the Dana Point Municipal Code; and

WHEREAS, the Planning Commission did, on the 6th day of October, 2014, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to Conditional Use Permit CUP14-0007 and Site Development Permit SDP14-0024;

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Dana Point as follows;

- A) The above recitations are true and correct.

Findings:

- B) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Conditional Use Permit CUP14-0007, subject to conditions:

- 1) That the proposed conditional use is consistent with the General Plan in that the designation of the site as Industrial/Business (I/B) in the General Plan allows for storage yard uses and the proposed grading of the existing undeveloped lot and will not change the overall use of the site. As a result, the proposed project is

therefore consistent with both the zoning designation and the General Plan.

- 2) That the nature, condition, and development of adjacent uses, buildings, and structure have been considered, and the proposed conditional use will not adversely affect or be materially detrimental to the adjacent uses, buildings, or structures in that the conditional use is for the temporary storage of boats and RV's on an existing, undeveloped dirt lot. The lot is owned by South Coast Water District and the site is surrounded by other similar storage-related uses. As a result, the proposed storage of boats & RV's will not be materially detrimental to other nearby uses or development.
- 3) That the proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping, and other land use development features prescribed in the Zoning Code and required by the Commission or Council in order to integrate the use with existing and planned uses in the vicinity in that the conditional use is for the temporary storage of boats and RV's on an existing undeveloped lot. The lot is approximately 5 acres in size and is adequately sized to accommodate the storage. Said storage of boats & RV's would encompass the entire lot and would also include minimal landscaping, fencing and gates.
- C) Based on the evidence presented at the public hearing, the Planning Commission adopts the following findings and approves Site Development Permit SDP14-0024, subject to conditions:
 - 1) That the site design is in compliance with the development standards of the Dana Point Zoning Code in that no structures proposed to be constructed in conjunction with the proposed boat & RV storage use. Only the storage of boats and/or RVs will be on the lot. The lot will be surrounded by chainlink fencing with screening to improve the outward appearance of the lot. Two mechanical gates along with two new driveway approaches are also proposed to provide access to the site for users. As a result, the site design complies with the development standards set forth in the Zoning Code.

- 2) That the site is suitable for the proposed use and development in that the site is an existing undeveloped dirt and gravel lot. The proposed storage of boats and RV's will include some grading to the site coupled with the installation of one (1) inch of decomposed granite on top of the dirt. Once the grading is completed, stakes with flags will be installed to divide the individual boat storage spaces. No structures are proposed in conjunction with the boat storage and the site is suitable for the proposed use.
- 3) That the project is in compliance with all elements of the General Plan and all applicable provision of the Urban Design Guidelines in that the proposal is consistent with the Goal 5 of the Urban Design Element: *"Achieving design excellence in site planning, architecture, landscape architecture and signage in new development and modifications to existing development."*
- 4) That the site and structural design is appropriate for the site and function of the proposed use, without requiring a particular style or type of architecture, in that the proposed use has been designed with the incorporation of exterior screening along the perimeter fencing and drought-tolerant landscaping to enhance the overall site.

Conditions:

A. General:

1. Approval of this application permits the construction of a graded pad on an existing undeveloped dirt and gravel lot that will be utilized for the storage of boats and RV's. The proposed location is referred to as "Lot A" of South Coast Water District's property adjacent to San Juan Creek. Two mechanical gates along with two new driveway approaches are also proposed to provide access to the site for storage users. Subsequent submittals for this project shall be in substantial compliance with the plans presented to the Planning Commission, and in compliance with the applicable provisions of the Dana Point General Plan and Zoning Code, and subject to review and approval by the Planning and Building/Safety Divisions.
2. Approval of this application is valid for a period of 24 months (two years) from the noted date of determination. If the development

approved by this action is not established, or a building permit for the project is not issued within such period of time, the approval shall expire and shall thereafter be null and void.

3. The application is approved as a plan for the location and design of the uses, structures, features, and materials shown on the approved plans. Any demolition beyond that described in the approved plans or any relocation, alteration, or addition to any use, structure, feature, or material, not specifically approved by this application, will nullify this approving action. If any changes are proposed regarding the location or alteration to the appearance or use of any structure, an amendment to this permit shall be submitted for approval by the Director of Community Development. If the Director of Community Development determines that the proposed change complies with the provisions and the spirit and intent of this approval action, and that the action would have been the same for the amendment as for the approved plot plan, he may approve the amendment without requiring a new public hearing.
4. Failure to abide by and faithfully comply with any and all conditions attached to the granting of this permit shall constitute grounds for revocation of said permit. The CUP shall be subject to review and possible amendment if written complaint(s) are received by the City.
5. The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the City of Dana Point ("CITY"), its agents, officers, or employees from any claim, action, or proceeding against the CITY, its agents, officers, or employees to attack, set aside, void, or annul an approval or any other action of the CITY, its advisory agencies, appeal boards, or legislative body concerning the project. Applicant's duty to defend, indemnify and hold harmless the city shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action or proceeding.
 - a. The applicant or any successor-in-interest shall further protect, defend, indemnify and hold harmless the City, its officers, employees, and agents from any and all claims, actions or proceedings against the City, its officers, employees, or agents arising out of or resulting from negligence of the applicant or the applicant's agents, employees or contractors. Applicant's duty to defend, indemnify and hold harmless the City shall include paying the CITY's attorney fees, costs and expenses incurred concerning the claim, action, or proceeding.

- b. The applicant shall also reimburse the City for City Attorney fees and costs associated with the review of the proposed project and any other related documentation.
6. The applicant and applicant's successors in interest shall be fully responsible for knowing and complying with all conditions of approval, including making known the conditions to City staff for future governmental permits or actions on the project site.
7. The applicant and applicant's successors in interest shall be responsible for payment of all applicable fees along with reimbursement for all City expense in ensuring compliance with these conditions.
8. Screening shall be added to the proposed chainlink fencing that will surround the lot. Said screening shall be subject to the review and approval of the Director of Community Development.
9. Drought-tolerant landscaping shall be planted in front of the site adjacent to the private access road.
10. Any future lighting or specific lighting plan for the lot shall be subject to the review and approval of the Director of Community Development.
11. Access to the site will be off of Stonehill Drive. No access will be allowed off of Pacific Coast Highway. Upon exiting the storage yard via the private access road and then out onto Stonehill Drive, only right hand turns will be permitted for traffic safety.
12. The applicant shall be responsible for coordination with SDG&E, AT&T California, SCWD, Southern California Gas Company, and Cox Communication Services for the provision of all utility services.
13. All proposed utilities within the project shall be installed underground.
14. Building materials, unlicensed vehicles, construction equipment, portable toilets, and related items shall not be placed in the public right-of-way.
15. Any private improvements, including signage, within the public right-of-way shall require an encroachment permit and Removal and Maintenance Agreement from Public Works and Engineering Services.
16. Adequate signage shall be provided to direct residents, guests and

business patrons to the on-site facilities. The applicant shall obtain sign permits/approvals in accordance with Chapter 9.37 (Signs and Advertising Devices) of the Dana Point Zoning Code and any requisite building and/or encroachments permits associated with said signs.

17. The applicant shall exercise special care during the construction phase of this project to prevent any off-site siltation or dust. The applicant shall provide erosion control measures and temporary desiltation/detention basins as required, and use water or other measures to control dust. The applicant shall maintain the temporary basins and erosion control devices until the Director of Public Works and/or City Engineer approves of the removal of said facilities. Failure to do so shall obligate the City to repair/replace as appropriate and charge the applicant.
18. A Water Quality Management Plan (WQMP) is required as a part of all phases of this project. Applicant shall meet all current NPDES Permit requirements.
19. The applicant shall submit a haul route plan for any proposed trucking in the City of Dana Point. The applicant shall secure City Engineer approval and a separate Encroachment permit before any trucking commences on the Project. The City Engineer may restrict the number of daily trucks allowed to avoid traffic impacts. Further, the applicant shall only truck during weekday, non-peak hour traffic periods, excluding weekends and holidays, in the City of Dana Point.
20. Any damage to existing public or adjacent private property facilities shall be repaired or replaced to the satisfaction of the City Engineer, and per City Standards.
21. The applicant shall limit all construction noise and construction traffic in accordance with the City of Dana Point Municipal Code. This shall include construction hours, grading activities, and weekend/holiday limits all directed by the Municipal Code.
22. The applicant shall submit a construction schedule to the City of Dana Point for review and approval. The hours of operation may be limited by the City Engineer to limit construction noise and construction traffic impacts on the City of Dana Point.
23. The applicant shall process an Address Assignment for the proposed development, prior to all applications. The Address Assignment shall establish the address for the development.

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24. Any required street name adoption or City action regarding the private street providing the entrance to the development may be processed concurrently with construction. Any required City Council adoption of a street name shall be done prior to issuance of Certificate of Occupancy and Use.

B. Prior to issuance of a grading permit, the applicant shall meet the following:

25. The applicant shall apply for a Precise Grading Permit. The application will include a grading plan and soils report, in compliance with City standards, for review and approval by the Director of Public Works and City Engineer. The applicant shall include all plans and documents in their submittal as required by the current Public Works Department's plan check policies. All grading work must be in compliance with the approved plan and completed to the satisfaction of the Director of Public Works.
26. The precise grading plan shall include a final utility plan as approved by all other utilities. The plan shall identify all improvements, including off-site improvements, required to provide adequate services to the proposed development.
27. An accessible route of travel shall be provided from public streets or sidewalks, accessible parking and bus stops to the accessible building entrances. An accessible route of travel shall also be provided between accessible buildings and elements on the same site. All entrances and exits shall be accessible.
28. The applicant shall submit a landscape and irrigation plan for review and approval by the Community Development and Engineering Department. The landscape and irrigation plans shall include work in the public right of way adjacent to the Project.
29. The applicant shall prepare all needed reports and implement all required actions, for each phase, to meet current water quality regulations including, but not limited to, a Water Quality Management Plan, a Storm Water Pollution Prevention Program, and all other required reports/actions for NPDES Permit compliance.
30. Applicant shall obtain written approval for any work proposed on adjoining properties.

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31. The final utility plan(s) shall include the final approved location of all hydrants, backflow prevention devices, vaults, and other associate equipment for all utilities and fire prevention. All fire prevention equipment, utility equipment, etc; servicing the development shall be within the proposed development and not in the public right-of-way.
32. Surety to guarantee the completion of the project precise grading and drainage improvements, including erosion control, up to 100% of the approved Engineer's cost estimate shall be posted to the satisfaction of the City Engineer and the City Attorney.

C. Prior to the submittal of plans for Building plan check, the applicant shall meet the following:

33. The second sheet of the construction documents shall contain the City's conditions of approval and it shall be attached to each set of plans submitted for City approval or shall be printed on the title sheet verbatim.
34. Building plan check submittal shall include 2 sets of the following construction documents, unless otherwise noted:
 - Building Plans (3 sets)
 - Soils/Geology Report
 - Drainage Plan

All documents prepared by a professional shall be wet-stamped and signed.

35. Fire Department review is required. Submit three (3) separate sets of building plans directly to the Orange County Fire Authority for review and approval.
36. Any future buildings shall conform to State amendments for disabled accessibility, CBC Chapter 11A or B. Show how path of travel, parking, restrooms and entrances will comply.

D. Prior to the issuance of a Building Permit, the applicant shall meet the following:

37. The applicant shall obtain a Precise Grading Permit. The applicant shall submit a rough grade certification for review and approval by the City Engineer by separate submittal. The rough grade certification by the civil engineer (along with the City's standard Civil Engineer's

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Certification Form for Rough Grading) shall approve the grading as being substantially completed in conformance with the approved grading plan.

38. A licensed land surveyor shall document all pad grades to the nearest 0.1-feet to the satisfaction of the City Engineer the Director of Community Development. The civil engineer and/or surveyor shall specifically certify that the elevation of the graded pad is in compliance with the vertical (grade) position approved for the project.
39. An as graded geotechnical report and certification shall be prepared by the project geotechnical consultant following grading of the subject site. The report should include the results of all field density testing, depth of reprocessing and recompaction, as well as a map depicting the limits of grading. Locations of all density testing, restricted use zones, settlement monuments, and geologic conditions exposed during grading. The report should include conclusions and recommendations regarding applicable setbacks, foundation recommendations, erosion control and any other relevant geotechnical aspects of the site. The report shall state that grading of the site, including associated appurtenances, as being completed in conformance with the recommendations of the preliminary geotechnical report.

C. Prior to a certificate of use and occupancy, the applicant shall meet the following:

40. The applicant shall contact the Planning Division for a final inspection prior to issuance of a Certificate of Use and Occupancy.
41. A Final Geotechnical Report shall be prepared by the project geotechnical consultant in accordance with the City of Dana Point Grading Manual.
42. A written certification per City standards and approval by the Geotechnical Engineer approving the precise grading as being substantially in conformance with the approved precise grading plan.
43. A written certification per City standards and approval by the Civil Engineer approving the precise grading as being substantially in conformance with the approved precise grading plan and which specifically approves construction of line and grade for all engineered drainage devices, utility work, retaining walls, and all other improvements.

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44. All work in the right-of-way shall be completed in conformance with the Encroachment Permit and the Encroachment Permit Conditions, to the satisfaction of the City Engineer.
45. An As-Built Grading Plan shall be prepared by the Civil Engineer of Record.
46. Any and all outstanding fees associated with any part of the entire project shall be paid.
47. The applicant shall complete all of the landscaping and irrigation work per the approved Landscape Plans, including work on public and private property.
48. The applicant shall provide a full WQMP which:
 - a. Demonstrate that all structural best management practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - c. Demonstrate that an adequate number of copies of the approved Project WQMP are available onsite.
 - d. Submit for review, and receive approval by the City for an Operations and Maintenance (O&M) Plan for all BMPs.
 - e. Certification from the project Civil Engineer or Landscape Architect of Record that all BMPs and WQMP elements have been constructed and installed as designed with the approved plans and WQMP.

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PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Dana Point, California, held on this 6th day of October, 2014, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

Liz Claus, Chairwoman
Planning Commission

ATTEST:

Ursula Luna-Reynosa, Director
Community Development Department

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SOUTH COAST WATER DISTRICT
CONSTRUCTION PLANS FOR
SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS
ROUGH GRADING FOR BOAT & RV PARKING LOT "A"

SEPTEMBER 2014
CONTRACT NO. 15-02-006

SOUTH COAST WATER DISTRICT
BOARD OF DIRECTORS:

WAYNE RAYFIELD - PRESIDENT
RICHARD DIETMEIER
RICK ERKENEFF
RICHARD RUNGE
ROBERT MOORE

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CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

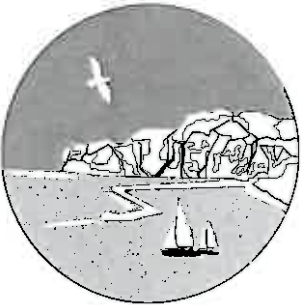
PREPARED BY:
TETRA TECH


JOSEPH E. DIETZ
PROJECT MANAGER



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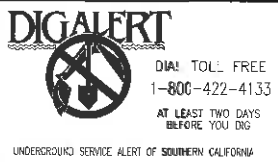


REVIEWED & APPROVED BY:
SOUTH COAST WATER DISTRICT

DAVID A. YOUNGBLOOD R.C.E. 59742
DIRECTOR OF ENGINEERING

DATE

FOR CONSTRUCTION



GENERAL NOTES

1. THE SCWD INSPECTION REPRESENTATIVE SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION AND OF ANY REQUIRED OBSERVATION. NO FACILITIES SHALL BE BACKFILLED UNTIL INSPECTED BY SCWD.
2. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (1-800-422-4133) TWO FULL WORKING DAYS (48 HOURS MINIMUM) IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES, AND OBTAIN AN IDENTIFICATION NUMBER PRIOR TO BEGINNING ANY WORK.
3. THE CONTRACTOR SHALL EXCAVATE INSPECTION HOLES ("POT HOLES") AND DETERMINE THE LOCATION AND DEPTH OF ALL UNDERGROUND STRUCTURES AND UTILITIES THAT ARE IN THE VICINITY OF AND/OR MAY BE AFFECTED BY THE PROPOSED IMPROVEMENT WORK PRIOR TO STARTING ANY TRENCHING. THE EXISTING UNDERGROUND UTILITIES ARE SHOWN PER AVAILABLE RECORDS. THE CONTRACTOR SHALL PROTECT IN PLACE ALL UTILITY CROSSINGS AND ALL POINT OF CONNECTIONS PRIOR TO BEGINNING THE CONSTRUCTION OF THE PIPELINE. A MINIMUM OF THREE WEEKS IN ADVANCE OF CROSSING THE UTILITY WITH THE NEW PIPELINE.
4. REPAIR OR REPLACE ANY EXISTING DAMAGED OR ALTERED EXISTING IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY AS DIRECTED BY THE JURISDICTIONAL AGENCY.
5. ALL SURVEY MONUMENTS SHALL BE PROTECTED AND PERPETUATED IN PLACE. ANY DISTURBED OR COVERED MONUMENTS SHALL BE RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR AT THE DIRECTION OF THE JURISDICTIONAL AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH RESETTING DISTURBED MONUMENTS OR MARKERS. MONUMENTATION IS NOT SHOWN ON THESE PLANS.
6. CONSTRUCTION WORK HOURS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS AND JURISDICTIONAL PERMITS.
7. ALL APPROACHES TO PRIVATE DRIVEWAYS, DRIVEWAYS AND INTERSECTING STREETS SHALL BE KEPT OPEN TO TRAFFIC AT ALL TIMES. CONTRACTOR SHALL INFORM ALL PROPERTY OWNERS OR BUSINESSES A MINIMUM OF 48 HOURS PRIOR TO PERFORMING ANY CONSTRUCTION OR TRAFFIC CONTROL WHICH WILL IMPEDE THE NORMAL ACCESS THROUGH THEIR DRIVEWAYS.
8. CONTRACTOR SHALL MAINTAIN THE WORK AREA IN A NEAT, SAFE, CLEAN AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE AGENCY HAVING JURISDICTION OVER THE AREA. STREETS SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCES BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY CLEAN-UP ON ADJACENT STREETS AFFECTED BY HIS CONSTRUCTION.
9. IN THE EVENT THAT EXISTING TRAFFIC STRIPING OR STENCILING IS OBLITERATED BY CONSTRUCTION, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THE SAID STRIPING OR STENCILING TO THE SATISFACTION OF THE AGENCY HAVING JURISDICTION OVER THE STREET. ALL RESTRIPIING WILL REQUIRE TWO COATS (TWO PASSES) AS A MINIMUM.
10. THESE DOCUMENTS HAVE BEEN PREPARED FOR A SPECIFIC PROJECT AND SHALL NEITHER BE ALTERED NOR REUSED FOR ANY OTHER PURPOSE. ALSO, THESE DOCUMENTS DO NOT REPRESENT AS-BUILT CONDITIONS. IF THESE DOCUMENTS ARE ALTERED INTENTIONALLY OR UNINTENTIONALLY, OR REUSED WITHOUT THE DESIGN ENGINEER'S WRITTEN APPROVAL, IT WILL BE AT THE SOLE RISK AND RESPONSIBILITY OF THE USER. THE ACT OF ALTERING OR REUSING IS CONSTRUED AS INDEMNIFYING AND HOLDING DESIGN ENGINEERING FIRM AND ITS EMPLOYEES HARMLESS FROM ALL CLAIMS, DAMAGES, AND EXPENSES, INCLUDING ATTORNEY FEES, ARISING OUT OF SUCH ACT.
11. PIPELINE LEAKAGE TESTS SHALL BE MADE IN THE PRESENCE OF THE DISTRICT INSPECTOR, ONLY AFTER BACKFILL HAS BEEN COMPLETED. COMPACTION TESTS ON BACKFILL HAVE BEEN MADE, AND THE BACKFILL HAS BEEN ACCEPTED BY THE DISTRICT INSPECTOR.
12. CONTRACTOR SHALL SCHEDULE A FINAL INSPECTION WITH THE FIRE DEPARTMENT. SCHEDULE ALL INSPECTIONS 72 HOURS IN ADVANCE BY CALLING (949) 362-4817.
13. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL GRAFFITI THE SAME DAY IT IS DISCOVERED. THIS DOES NOT INCLUDE DIG ALERT PAINT MARKINGS, WHICH SHALL BE REMOVED AT THE END OF THE PROJECT WITHIN THE LIMITS OF THE SITE.
14. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES WHETHER OR NOT SHOWN ON THESE PLANS, RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS.
15. IN CASE OF ANY ACCIDENTS INVOLVING SAFETY MATTERS COVERED BY SECTION 6409-1.6(b) OF THE CALIFORNIA LABOR CODE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE STATE DIVISION OF INDUSTRIAL SAFETY.
16. THE CONTRACTOR SHALL KEEP A SIGNED SET OF APPROVED PLANS AND SPECIFICATIONS AND A COPY OF ALL CONSTRUCTION PERMITS ON THE JOB SITE AT ALL TIMES DURING WORKING OPERATIONS.
17. ALL WORK SHALL BE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADOPTED EDITION, APWA STANDARD PLANS, THE COUNTY OF ORANGE EMA STANDARD PLANS AND SPECIFICATIONS AND THE CITY OF DANA POINT STANDARD SPECIFICATIONS. A COPY OF WHICH SHALL BE KEPT ON THE JOB SITE AT ALL TIMES.
18. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FOR ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
19. CONTRACTOR SHALL ACQUIRE ALL NECESSARY CONSTRUCTION PERMITS INCLUDING HAUL ROUTE PERMIT FOR OFF-SITE BORROW.

EROSION AND SEDIMENT CONTROL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL PLANS, THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AND THE RECOMMENDATIONS OF THE SOILS REPORTS.
2. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 40%.
3. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY EROSION CONTROL DEVICES AT ALL TIMES.
4. CONTROLS SHALL BE SET UP AND MAINTAINED AS CONSTRUCTION PROCEEDS. ADJUSTMENTS TO THE EROSION CONTROL PLANS ARE ALLOWABLE AS REQUIRED AND APPROVED BY THE CITY OF DANA POINT, REGIONAL WATER QUALITY CONTROL BOARD & SOUTH COAST WATER DISTRICT.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL IMPLEMENT STRUCTURAL AND NONSTRUCTURAL BEST MANAGEMENT PRACTICES (BMPs) IN CONFORMANCE WITH THE GUIDELINES OF THE CALIFORNIA STORM WATER BMP HANDBOOKS.
6. AFTER A RAINSTORM, ALL SEDIMENT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND DESLTING BASINS. ANY GRADED SLOPE SURFACE PROTECTION MEASURES DAMAGED DURING A RAINSTORM SHALL BE IMMEDIATELY REPAIRED.
7. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.

DRAWING INDEX

COVER SHEET
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VICINITY & LOCATION MAPS, PROJECT CONTACTS,
HORIZONTAL CONTROL & REPORTS

EROSION AND SEDIMENT CONTROL PLAN
EROSION AND SEDIMENT CONTROL DETAILS
ROUGH GRADING PLAN LOT A
SIGNING & STRIPING PLAN LOT A
DETAILS LOT A
DRY EXTENDED DETENTION BASIN DETAILS LOT A

SHEET NO.

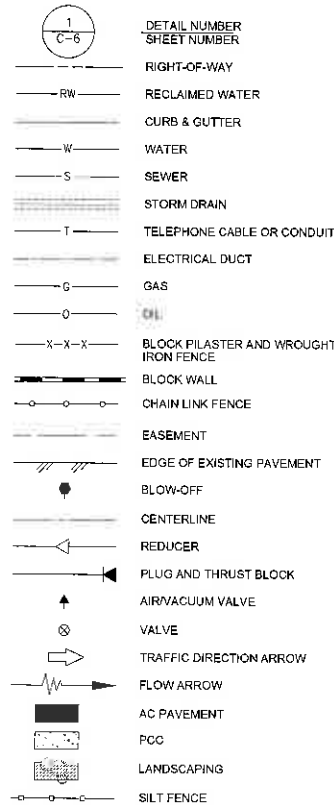
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ABBREVIATIONS

AA	AQUEOUS AMMONIA	ID	INSIDE DIAMETER
AC	ASPHALT CONCRETE	IN	INSIDE
ARV	AIR RELIEF VALVE	INT	INTERSECTION
ACP	ASBESTOS CEMENT PIPE	INV	INVERT
AE	ANALYSIS PRIMARY ELEMENT	KW	KILOWATT
AFD	ADJUSTABLE FREQUENCY DRIVE	LF	LINEAR FEET
AFF	ABOVE FINISHED FLOOR	LR	LONG RADII
ALIGN	ALIGNMENT	LB	POUND
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	LIT	LEVEL INDICATING TRANSMITTER
AVE	AVENUE	LOP	LOW PRESSURE FEED
AVG	AVERAGE	LSH	LEVEL SWITCH HIGH
AVRV	AIR AND VACUUM RELEASE VALVE	LSHH	LEVEL SWITCH HIGH HIGH
ARV	AIR RELEASE VALVE	LSL	LEVEL SWITCH LOW
BO	BLOW-OFF ASSY	LSLL	LEVEL SWITCH LOW LOW
BOP	BOTTOM OF PIPE	MAX	MAXIMUM
BC	BEGIN CURVE	MGL	MILLIGRAMS PER LITER
BFLG	BLIND FLANGE	MGD	MILLION GALLONS PER DAY
BFV	BUTTERFLY VALVE	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCK	MON	MONUMENT
BOE	BEVEL ONE END	MP	METERING PUMP
BRP	BACK PRESSURE	MPV	MULTI-PORT VALVE
BTM	BOTTOM	NTS	NOT TO SCALE
BV	BALL VALVE	NO	NUMBER
BW	BLEND WATER	NV	NEEDLE VALVE
C&G	CURB AND GUTTER	OC	ON CENTER
CA	COMPRESSED AIR	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OF	OVERFLOW
CF	CURB FACE	OP	OPERATING
CI	CAST IRON	P	PUMP
CF	CLEANING FEED	PS	PUMP STATION
CIP	CLEAN IN PLACE	PAV	PAVEMENT
CL	CENTERLINE/CLASS	PCC	PORTLAND CEMENT CONCRETE OR
CLR	CLEAR	PCP	POINT OF COMPOUND CURVES
CLW	CLEANING WASTE	PCR	PERMEATE CLEANING RETURN
CMLC	CEMENT MORTAR LINED COATED	PCV	PRESSURE CONTROL VALVE
CMP	CEMENT MORTAR LINED PAINTED	PDIT	PRESSURE DIFFERENTIAL INDICATING
CONC	CONCRETE	PLC	PROGRAMMABLE LOGIC CONTROLLER
CONST	CONSTRUCT	PROD	PRODUCT
COR	CORNER	PRV	PRESSURE RELIEF VALVE
CPLG	COUPLING	PS	POUNDS PER SQUARE INCH
CR	CLEANING RETURN	PT	POINT
CYL	CYLINDER	PVC	POLYVINYL CHLORIDE
CUP	CONDITIONAL USE PERMIT	PW	PRODUCT WATER
CWRP	CHICKITA WATER RECLAMATION PIPELINE	RW	RIGHT OF WAY
D	DRAIN	RCB	REINFORCED CONCRETE BOX
DCV	DIAPHRAGM CHECK VALVE	RCP	REINFORCED CONCRETE PIPE
DECARB	DECARBONATOR	RD	ROAD
DIA	DIAMETER	REC	RECTANGLE
DIAPH	DIAPHRAGM	RECT	REDUCER
DIP	DUCTILE IRON PIPE	RO	REVERSE OSMOSIS
DN	DOWN	ROC	RO CONCENTRATE
DPV	WEIR DIAPHRAGM VALVE	ROF	RO PERMEATE
CTV	PLUG VALVE	ROP	RO PERMEATE
DW	DOMESTIC WATER	RS	RESILIENT SEATED OR RECORD OF SURVEY
DWG.	DRAWING	RW	RAW WATER
E	EAST/CASTING	RWB	RAW WATER BYPASS
EA	EACH	S	SLOPE
EC	END CURVE	SA	SULFURIC ACID
ECC	ECCENTRIC	SCFM	STANDARD CUBIC FEET MINUTE
EL&C	EPOXY LINED AND COATED	SCH	SCHEDULE
EL/ELEV	ELEVATION	SCV	SWING CHECK VALVE
ELEC	ELECTRIC	SCWD	SOUTH COAST WATER DISTRICT
ELL	ELBOW	SD	STORM DRAIN
EQ	EQUAL	SHC	SODIUM HYPOCHLORITE
ESMT	EASEMENT	SHS	SODIUM HYPOCHLORITE SYSTEM
EVC	END VERTICAL CURVE	SLV	SLEEVE VALVE
EXIST	EXISTING	SMWD	SANTA MARGARITA WATER DISTRICT
FL	FLOW LINE	SOCWA	SOUTH ORANGE COUNTY WASTEWATER
FS	FINISHED SURFACE	SO	SQUARE
FCV	FLOW CONTROL VALVE	SST	STAINLESS STEEL
FD	FOUND	ST	STREET
FE/FT	FLOW ELEMENT/FLOW INDICATING	STA	STATION
FE/MG	IRON/MANGANESE	STL	STEEL
FG	FINISHED GRADE	SV	SAMPLE VALVE
FI	FLOW INDICATOR	SW	SUMP WASTE
FIT	FLOW INDICATING TRANSMITTER	T	TANK
FL	FLOW LINE	TB	THRUST BLOCK
FLG	FLANGED	TC	TOP OF CURB/TOP OF CONCRETE
FOT	FLAT ON TOP	TOP	TOP OF PIPE
FPW	FINAL PRODUCT WATER	TOW	TOP OF WALL
FRP	FIBERGLASS REINFORCED PLASTIC	TS	TOP OF ROOF SLAB
FS	FIRE SERVICE OR FINISHED SURFACE	TW	TOP OF WELL
FEET	FEET	TDH	TOTAL DYNAMIC HEAD
FV	FLOW VALVE	TDS	TOTAL DISSOLVED SOLIDS
FW	FILTERED WATER	TI	THRESHOLD INHIBITOR
GA	GAUGE	TYP	TYPICAL
GAL	GALLON	UP	UTILITY POLE
GB	GRADE BREAK	VBV	VACUUM BREAKER VALVE
GLV	GLOBE VALVE	VCP	VERTIFIED CLAY PIPE
GOE	GROOVE ONE END	VERT	VERTICAL
GPD	GALLONS PER DAY	WBW	WASTE BACKWASH
GPH	GALLONS PER HOUR	WW	WATER VALVE
GPM	GALLONS PER MINUTE	WTR	WATER
GV	GATE VALVE		
HORIZ	HORIZONTAL		
HP	HIGH PRESSURE		
HYD	HYDRAULICALLY		
IP	IRON PIPE		

LEGEND



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UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV.	DATE	BY	DESCRIPTION	APPROVED	DATE

PROJECT INFORMATION	
DATE SEPT 2014	DESIGN DJ
JOB NO. 135-09327-14002	DRAWN EM
DRAWING NO. XXXXXX	CHECKED JD



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PHONE 949-809-5197 FAX 949-809-5010



SOUTH COAST WATER DISTRICT

SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS LOT "A"

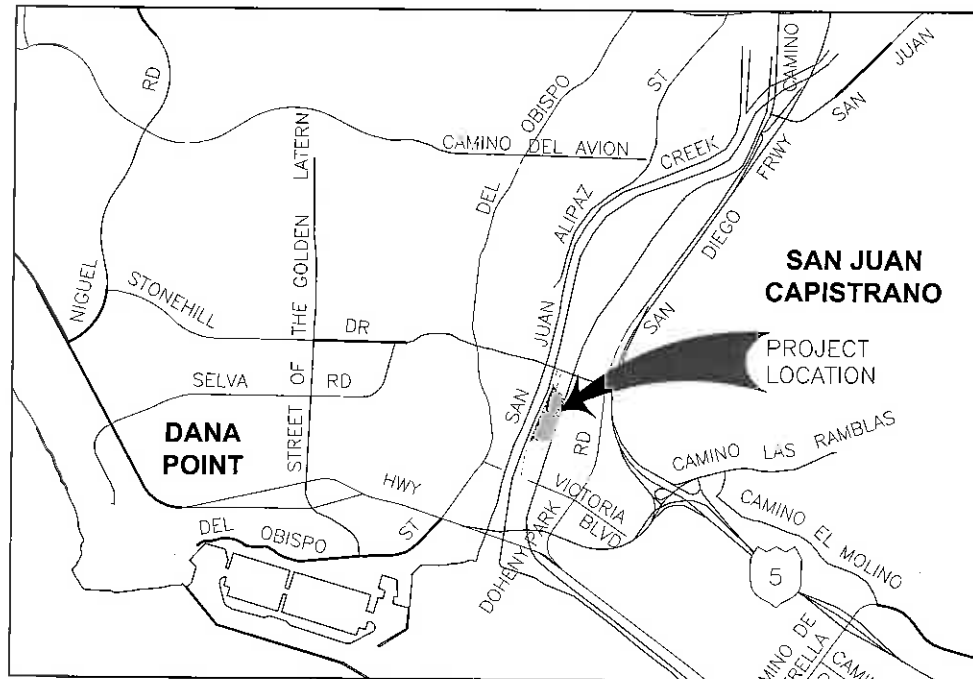
GENERAL NOTES, ABBREVIATIONS
LEGEND & INDEX

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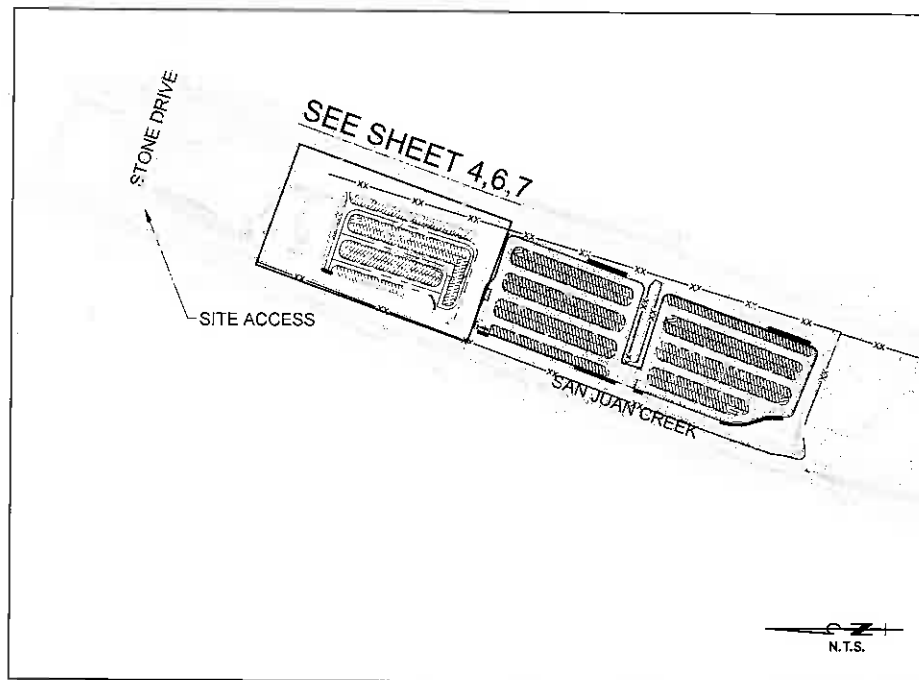
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LOCATION MAP



KEY MAP

PROJECT CONTACTS

AGENCY	CONTACT PERSON	TELEPHONE NO.
SOUTH COAST WATER DISTRICT 31502 WEST STREET LAGUNA BEACH, CA 92651	DAVID YOUNGBLOOD	949-499-4555
TETRA TECH, INC. 17885 VON KARMAN AVE, SUITE 500 IRVINE, CA 92614	JOE DIETZ	949-809-5000

HORIZONTAL CONTROL

BENCH MARKS

Z 784 ELEV. = 22.868

0.5 MILE NORTH ALONG THE OCTA (PREVIOUSLY ATCHISON, TOPEKA AND SANTA FE RAILWAY) FROM THE U.S. HIGHWAY 101 ALTERNATE UNDERPASS AT DOHENY PARK, AT DOUBLE 42-INCH CONCRETE PIPE CULVERT #200, IN TOP OF THE SOUTH END OF EAST CONCRETE HEADWALL, 23.8 FEET EAST OF THE EAST RAIL OF MAIN TRACK, AND 1 FOOT LOWER THAN THE TRACK.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON THE MOST NORTHEASTERLY LINE OF LANDS SHOWN ON RECORD OF SURVEY 89-1167, RECORDED IN BOOK 124, PAGES 20-23 OF RECORD OF SURVEYS, ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE, STATE OF CALIFORNIA, AND BEING SOUTH 45°24'44" EAST.

REPORTS

GEOTECHNICAL

- GEOTECHNICAL REPORT TITLED "GEOTECHNICAL EVALUATION, BOAT AND RECREATIONAL VEHICLE STORAGE" COMPLETED BY: MINYO & MOORE GEOTECHNICAL AND ENVIRONMENTAL SCIENCES CONSULTANTS MAY 16, 2014, PROJECT No. 201029012.

WQMP

- WQMP TITLED "WATER QUALITY MANAGEMENT PLAN: SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS ROUGH GRADING FOR BOAT AND RV PARKING LOT A" CREATED BY: TETRA TECH, INC. SEPTEMBER 11, 2014

UTILITY AGENCY CONTACTS

AGENCY	CONTACT PERSON	TELEPHONE NO.
COX COMMUNICATIONS 29947 AVENIDA DE LAS BANDERAS RANCHO SANTA MARGARITA, CA 92688	GARY MCCLARAN	(949) 279-8147
PACIFIC BELL 3939 E. CORONADO, 2ND FLOOR ANAHEIM, CA 92807	LEE HERNANDEZ	(714) 666-5956
QWEST 700 W MINERAL AVE LITTLETON, CO 80120	SUE BEAM	(303) 707-6682
SOUTHERN CALIFORNIA GAS CO. 1919 STATE COLLEGE BLVD. ANAHEIM, CA 92807	STEVE ALCALA	(714) 634-3195
CITY OF DANA POINT 33282 GOLDEN LANTERN DANA POINT, CA 92682	WERNER ABRAJANO	(949) 246-3577
SAN JUAN BASIN AUTHORITY 27500 LA PAZ ROAD LAGUNA NIGUEL, CA 92658	DON MARTINSON	(949) 448-4055
SDG&E-ELECTRIC 8316 CENTURY PARK COURT SAN DIEGO, CA 92123	HUEY MITCHELL	(858) 854-8897
MCI WORLD.COM (VERIZON) 1701 RINGLING BLVD SARASOTA, FL 34240	CHUCK CZUMAK	(941) 906-6703
SANTA MARGARITA WATER DISTRICT PO BOX 2279 MISSION VIEJO, CA 92690	CLAY HUTTER	(949) 459-6403
ORANGE COUNTY FLOOD CONTROL DISTRICT (OCFCD) 300 NORTH FLOWER ST. ROOM 122 STATION 6 SANTA ANA, CA 92703-5001	VALERIE OXFORD	(714) 834-3474
CITY OF SAN JUAN CAPISTRANO 32450 PASEO ADELANTO SAN JUAN CAPISTRANO, CA 92675	BETSY DUBOIS	(949) 234-4400
AT&T INQUIRIES 22311 BROOKHURST STREET, SUITE 203 HUNTINGTON, CA 92646	JOSEPH FORKERT	(714) 963-7964

NOTICE TO CONTRACTOR

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- SECTION 4212/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO EXCAVATE WILL BE VALID. UNDERGROUND SERVICE ALERT TOLL FREE 1.800.422.4133 TWO WORKING DAYS BEFORE YOU DIG.
- "CAUTION": REMEMBER THAT THE USA CENTER NOTIFIES ONLY THOSE UTILITIES BELONGING TO THE CENTER. THERE COULD BE OTHER UTILITIES PRESENT AT THE WORK SITE. THE CENTER WILL INFORM YOU OF WHOM THEY WILL NOTIFY.



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AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV.	DATE	BY	DESCRIPTION	APPROVED	DATE

PROJECT INFORMATION	
DATE SEPT 2014	DESIGN DJ
JOB NO. 135-00327-14002	DRAWN EM
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TETRA TECH

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IRVINE, CA 92614-6213
PHONE 949-809-5107 FAX 949-809-5010



9-15-2014

SOUTH COAST WATER DISTRICT

SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS LOT "A"

VICINITY & LOCATION MAPS,
PROJECT CONTACTS

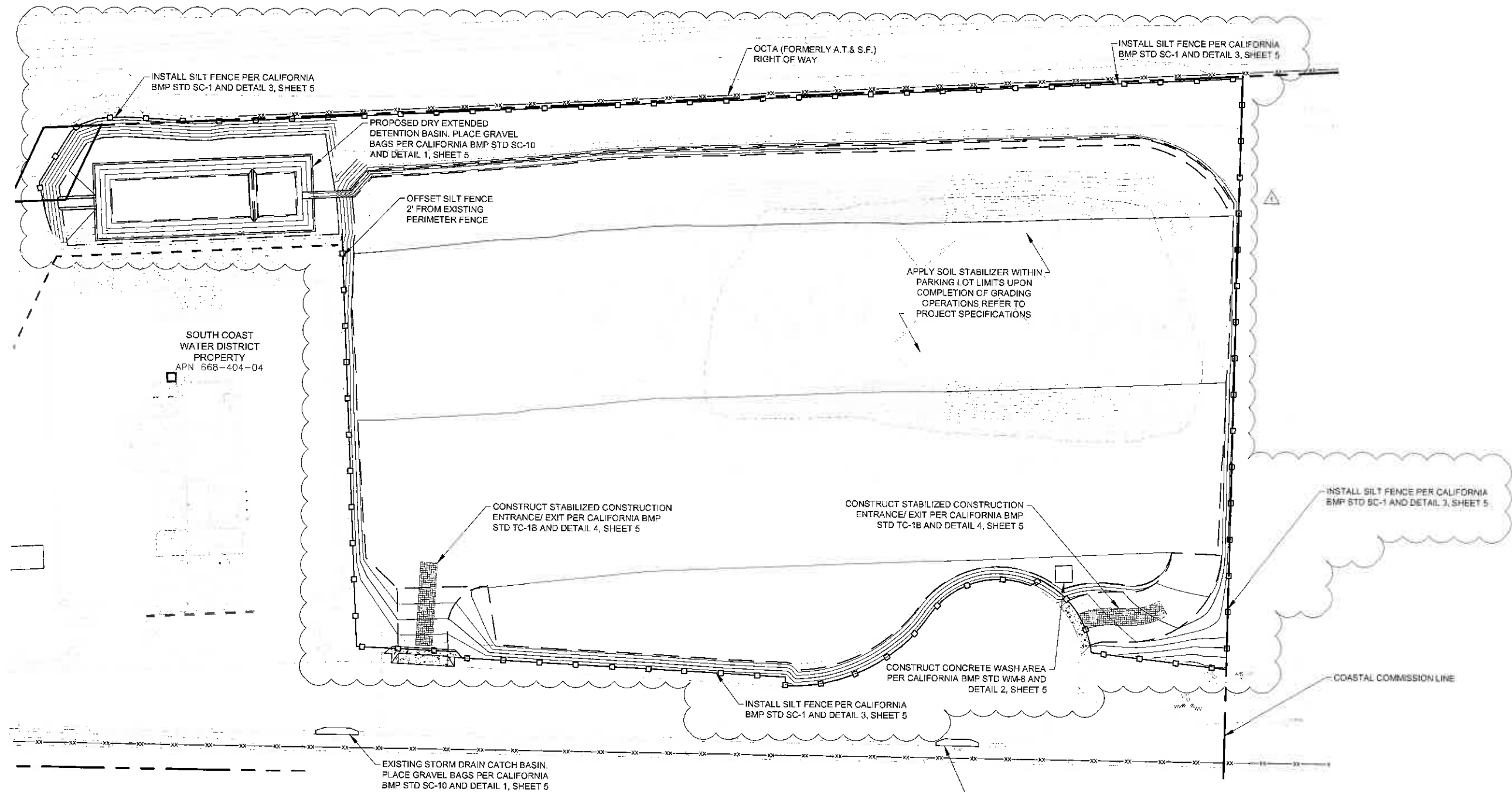
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9/16/2014 3:12:03 PM - P:\003271\35-09327-14002\CAD\DWG\EROSION CONTROL.DWG - HANRAHAN, MEGAN

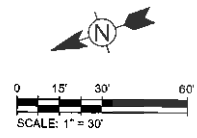


OWNER SHALL FILE A NOTICE OF INTENT (NOI) WITH THE STATE WATER QUALITY CONTROL BOARD AND SHALL FORWARD A COPY OF SAID NOTICE TO THE CITY PRIOR TO THE ISSUANCE OF ANY GRADING PERMIT.

OWNER SHALL ALSO PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND HAVE COPY AVAILABLE ON-SITE AT ALL TIMES.

NOI FILE STATE WATER QUALITY CONTROL BOARD ON _____

WDID NO. _____



DIGALERT

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AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

PROJECT INFORMATION				
DATE	SEPT 2014	DESIGN	DJ	
JOB NO.	135-09327-14002	DRAWN	EM	
DRAWING NO.	XXXXXX	CHECKED	JD	
REV.	DATE	BY	DESCRIPTION	APPROVED

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SOUTH COAST WATER DISTRICT

SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS LOT "A"

EROSION AND SEDIMENT CONTROL PLAN

SHEET

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OF 9 SHEETS

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CITY OF DANA POINT - GENERAL NOTES FOR
EROSION AND SEDIMENT CONTROL - BEST MANAGEMENT PRACTICES
PER NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)

IN CASE OF EMERGENCY, CALL:
DAVID YOUNGBLOOD (RESPONSIBLE PERSON)
AT 949-489-4555 (24-HOUR PHONE NUMBER).

THE UNDERSIGNED CIVIL ENGINEER WILL SUPERVISE EROSION CONTROL
WORK AND CERTIFY THAT THE SYSTEM FUNCTIONS PROPERLY AND IS IN
ACCORDANCE WITH THE APPROVED PLANS.

(SIGNATURE AND REGISTRATION NUMBER) (DATE)

- THE DIRECTOR OF ENGINEERING & BUILDING, OR DESIGNEE, RESERVES THE RIGHT TO MAKE CHANGES
OR MODIFICATIONS TO THIS PLAN AS DEEMED AS NECESSARY.
- A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY
SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT
LOCATIONS TO FACILITATE RAPID INSTALLATION OF TEMPORARY DEVICES OR TO REPAIR ANY
DAMAGED EROSION CONTROL MEASURES WHEN RAIN IS IMMINENT.
- DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY
ENGINEER/BUILDING OFFICIAL OR, IN AN EMERGENCY, BY THE DESIGN CIVIL ENGINEER OR DESIGNEE.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY
WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS 40 PERCENT. FORECASTS SHALL BE
RECEIVED FROM BROADCASTS PROVIDED BY THE UNITED STATES WEATHER SERVICE.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING
BASINS AND THE BASINS PUMPED DRY. ANY GRADED SLOPE SURFACE PROTECTION MEASURES
DAMAGED DURING A RAINSTORM SHALL ALSO BE IMMEDIATELY REPAIRED. FAILURE TO PROVIDE
EFFECTIVE MAINTENANCE MAY RESULT IN PENALTIES.
- GRADED AREAS AROUND THE TRACT PERIMETER, IF APPLICABLE, MUST DRAIN AWAY FROM THE FACE
OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT
PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- AREAS SHALL BE MAINTAINED IN SUCH STATE THAT FIRE ACCESS SHALL BE MAINTAINED AT ALL TIMES
(INCLUDING ACCESS TO NEIGHBORING PROPERTIES).
- FAILURE TO HAVE EROSION CONTROL MEASURES INSTALLED AT THE REQUIRED TIMES WILL RESULT IN
FORFEITURE OF THE CLEAN-UP AND COMPLETION DEPOSIT. WORK SHALL NOT CONTINUE UNTIL THE
DEPOSIT IS REPLENISHED.
- PLANTING FOR SLOPE PROTECTION SHALL BE ACCOMPLISHED PRIOR TO ROUGH GRADE RELEASE
UNLESS A WAIVER OF THIS REQUIREMENT HAS BEEN OBTAINED FROM THE CITY ENGINEER/BUILDING
OFFICIAL.
- ALL LOT PADS SHALL BE DESIGNED TO DRAIN TO AN ACCEPTABLE LOCATION AT A MINIMUM OF 1
PERCENT.
- DEVICES SHALL BE PROPERLY MAINTAINED IN PLACE UNTIL PROJECT COMPLETION; TORN GRAVEL
BAGS SHALL BE REPLACED.
- BUILD-UP OF SILT AROUND ANY DESILTERS SHALL BE PERIODICALLY REMOVED TO THE SATISFACTION
OF THE CITY INSPECTOR AND THE FIELD SUPERINTENDENT. THE CONTRACTOR SHALL ALSO BE
RESPONSIBLE FOR TEMPORARY STORAGE OF EXISTING MANHOLE COVERS, IF APPLICABLE, UNTIL
DESILTER USE OF MANHOLE IS COMPLETE.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS
18 INCHES.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM PUBLIC DRAINS OR PIPES, FROM
DRAINS OR PIPES OF ADJACENT PROPERTIES, AND FROM ALL PUBLIC AND PRIVATE STREETS.
- SUBSEQUENT RAINY SEASONS, FOR PROJECTS EXTENDING INTO SUBSEQUENT RAINY SEASONS, NEW
TEMPORARY DRAINAGE AND EROSION CONTROL PLANS SHALL BE SUBMITTED. THESE PLANS SHALL
COMPLY WITH ALL THE ABOVE MENTIONED REQUIREMENTS.
- EROSION AND SEDIMENT CONTROL SHALL BE IN PLACE AND MAINTAINED DURING THE ENTIRE
CONSTRUCTION PERIOD.
- PROVIDE AT DOWNSTREAM CATCH BASINS A WAY TO CATCH DEBRIS FROM ENTERING CATCH BASIN
AND PROVIDE PROTECTION AROUND IT DURING THE ENTIRE CONSTRUCTION PHASE (GRAVEL BAGS OR
OTHER CITY APPROVED METHOD). PROTECTION MUST BE IN PLACE AND MAINTAINED DURING THE
ENTIRE CONSTRUCTION PROCESS.
- PROVIDE PROTECTION DURING ENTIRE CONSTRUCTION PHASE AROUND ALL INLETS WHERE SOIL IS
NOT STABILIZED YET WITH VEGETATION (GRAVEL BAGS OR OTHER CITY APPROVED METHOD.)
- PROVIDE SEDIMENT TRAP AT OUTLET OF ALL PIPES, PRIOR TO ENTERING V-GUTTERS DURING ENTIRE
CONSTRUCTION PHASE. RUP RAP MAY BE USED IF APPROPRIATE.
- IF DEEMED NECESSARY BY CITY INSPECTOR, PROVIDE ADDITIONAL GRAVEL BAGS OR STRAW BALES
ON-SITE, ESPECIALLY IN AREAS WITH STEEP SLOPES, TO SLOW WATER AND PROVIDE ADDITIONAL
SEDIMENT CONTROL DURING ENTIRE CONSTRUCTION PHASE.
- IF DEEMED NECESSARY BY CITY INSPECTOR, PROVIDE TWO ROW HIGH GRAVEL BAGS OR STRAW BALES
ON THE SLOPE DOWNSIDE NEXT TO ANY PROPOSED SILT FENCES.
- ALL DISTURBED SLOPES SHOULD BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION (SUCH AS HYDRO
SEEDING, OR OTHER APPROVED MEASURES). ALL INLETS SHOULD BE PROTECTED UNTIL VEGETATION IS
AT LEAST 80% ESTABLISHED.
- STABILIZED CONSTRUCTION ENTRANCES MUST BE SET UP PRIOR TO ANY GRADING OR EARTHWORK
OPERATION. CONTRACTOR TO MAINTAIN ENTRANCE DURING CONSTRUCTION.
- SAW CUTTING WATER RUNOFF: SAW CUTTING WATER RUNOFF CONTAINS POLLUTANTS THAT MUST
BE CONTAINED AND DISPOSED OF PROPERLY. THE CONTRACTOR SHALL:
REVENT SAW CUT WATER RUNOFF FROM ENTERING CATCH BASINS, MANHOLES, AND STORM
DRAINS.
DIRECT WATER INTO A TEMPORARY PIT, AND DISPOSE OF THE WATER BY VACUUMING THE WATER
INTO A TRUCK AND REMOVING THE WATER FROM THE SITE.
PLACE DRIP PANS OR ABSORBENT MATERIALS UNDER SAW CUTTING EQUIPMENT WHEN NOT IN
USE. CLEAN UP SPILLS WITH ABSORBENT MATERIALS RATHER THAN BURYING. DISPOSE OF
ABSORBENT MATERIAL PROPERLY.

26. CONCRETE AND MORTAR PRODUCTS: THE CONTRACTOR SHALL PREVENT OR REDUCE THE DISCHARGE
OF POLLUTANTS INTO STORM WATER OR STORM WATER SYSTEMS FROM CONCRETE WASTE BY
CONDUCTING WASHOUTS AT APPROPRIATE OFF-SITE LOCATIONS, PERFORMING ON-SITE WASHOUTS IN
A DESIGNATED AREA, AND PROVIDING APPROPRIATE TRAINING FOR EMPLOYEES AND
SUBCONTRACTORS.

THE CONTRACTOR SHALL STORE AND MIX DRY AND WET MATERIALS EITHER OFF-SITE OR UNDER
COVER, AWAY FROM DRAINAGE AREAS.

FOR WASHOUT OF CONCRETE TRUCKS, THE CONTRACTOR SHALL PROVIDE APPROPRIATE OFF-SITE
LOCATIONS OR DESIGNATED CONTAINED AREAS AT LEAST 50 FEET AWAY FROM STORM DRAINS, OPEN
DITCHES, STREETS, OR STREAMS.

THE CONTRACTOR SHALL PREVENT RUN-OFF FROM DESIGNATED WASHOUT AREAS BY CONSTRUCTING
A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO HANDLE ALL PRODUCED LIQUID AND SOLID
WASTE. WHEN CONCRETE SETS, BREAK UP AND DISPOSE OF CONCRETE IN CONSTRUCTION FILLS PER
DIRECTION OF THE SOILS ENGINEER OR DISPOSE OF IT AS SOLID WASTE AND/OR RECYCLE.

THE CONTRACTOR SHALL INFORM CONCRETE SUPPLIERS AND SUBCONTRACTORS OF THE DESIGNATED
WASHOUT LOCATIONS AND DISPOSAL SITES FOR CONCRETE AND MORTAR PRODUCTS AND SHALL BE
RESPONSIBLE FOR ENSURING THAT ALL WORKERS USE IT APPROPRIATELY.

27. DURING CONSTRUCTION, CONTRACTOR MUST PROVIDE DAILY STREET SWEEPING. (SWEEP AT END OF
EVERY DAY TO PICK-UP DIRT AND/OR DEBRIS.)

28. CONSTRUCTION WATER: THE CONTRACTOR SHALL REDUCE OR ELIMINATE EXCESSIVE CONSTRUCTION
WATER THAT MAY CAUSE EROSION AND CARRY POLLUTANTS FROM THE SITE. IN ADDITION, THE
CONTRACTOR SHALL:

STORE CONSTRUCTION WATER IN LEAK-PROOF TANKS LOCATED AWAY FROM DRAINAGE SYSTEMS.

USE CONSTRUCTION WATER CONSERVATIVELY.

WHENEVER POSSIBLE, DISPOSE OF EXCESS WATER ON-SITE, BY ALLOWING IT TO SOAK INTO THE
GROUND.

29. ASPHALT AND BITUMINOUS PRODUCTS: THE CONTRACTOR SHALL PREVENT OR REDUCE THE
DISCHARGE OF POLLUTANTS FROM ASPHALT AND BITUMINOUS OPERATIONS BY PREVENTING RUN-ON
AND RUN-OFF OF WATER DURING PAVING OPERATIONS AND PROVIDING APPROPRIATE TRAINING FOR
EMPLOYEES AND SUBCONTRACTORS. IN ADDITION, THE CONTRACTOR SHALL:

AVOID PRIME OR TACK COATING DURING WET WEATHER.

STORE MATERIALS AWAY FROM DRAINAGE COURSES.

COVER CATCH BASINS AND MANHOLES WHEN APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, FOG
SEAL, ETC.

MAKE SURE SAND OR GRAVEL PLACED OVER NEW ASPHALT DOES NOT WASH INTO STORM DRAINS,
STREETS, OR CREEKS.

DISPOSE OF OLD ASPHALT PROPERLY AND COLLECT, AND REMOVE ALL BROKEN ASPHALT FROM THE
SITE, AND RECYCLE WHENEVER POSSIBLE.

DO NOT DISPOSE OF ASPHALT PRODUCTS INTO WATERWAYS.

FOLLOW THE STORM WATER PERMITTING REQUIREMENTS FOR INDUSTRIAL ACTIVITIES IF PAVING
INVOLVES AN ON-SITE MIXING PLANT.

30. HOUSEKEEPING/CLEANUP: THE CONTRACTOR SHALL PREVENT POLLUTION OF STORM WATER FROM
CLEAN-UP AND DISPOSAL OPERATIONS BY USING GOOD HOUSEKEEPING METHODS. WHEN FLUIDS OR
DRY MATERIALS SPILL, CLEAN-UP SHOULD BE IMMEDIATE, THOROUGH, AND ROUTINE. THE
CONTRACTOR SHALL NEVER ATTEMPT TO "WASH THEM AWAY" WITH WATER OR BURY THEM. THE
CONTRACTOR SHALL REPORT SIGNIFICANT SPILLS TO THE APPROPRIATE SPILL RESPONSE AGENCIES
IMMEDIATELY. THE CONTRACTOR SHALL DIFFERENTIATE THAT DIFFERENT TYPES OF MATERIALS HAVE
DIFFERENT DISPOSAL REQUIREMENTS AND FOLLOW APPROPRIATE PRACTICES. THE CONTRACTOR
SHALL CONFINED NON-HAZARDOUS DEBRIS TO DUMPSTERS, COVERED AT NIGHT OR DURING WET
WEATHER, AND TAKE THE DEBRIS TO A LANDFILL FOR RECYCLING OR DISPOSAL. THE CONTRACTOR
SHALL HANDLE IN ACCORDANCE WITH SPECIFIC LAWS AND REGULATIONS AND DISPOSE OF THEM
PROPERLY. A SEPARATE PERMIT MAY BE REQUIRED. COMMON HAZARDOUS DEBRIS
FOUND ON CONSTRUCTION HOUSEKEEPING/CLEANUP, CONTINUED:

SITES ARE: LIQUID RESIDUES FROM PAINTS, THINNERS, SOLVENTS, GLUES, AND CLEANING FLUIDS;
LEACHING AGENTS FROM LUMBER SUCH AS FORMALDEHYDE, ARSENIC, COPPER, CREOSOTE AND
CHROMIUM; MOTOR OIL; GEAR OIL; ANTIFREEZE FLUIDS; BRAKE FLUIDS; ETC.; AND UNUSED PESTICIDES.

31. NPDES AND CLEAN WATER ACT OF 1990 COMPLIANCE (ALL DEVELOPMENTS) THE APPLICANT SHALL
SUBMIT TO THE CITY ENGINEER FOR REVIEW AND OBTAIN APPROVAL FOR A WATER QUALITY
MANAGEMENT PLAN (WQMP) EROSION CONTROL PLAN SPECIFICALLY IDENTIFYING STRUCTURAL AND
NON-STRUCTURAL BEST MANAGEMENT PRACTICES (BMPs) THAT WILL BE USED ON-SITE TO CONTROL
PREDICTABLE POLLUTANT RUNOFF.

32. NPDES INDUSTRIAL PERMIT FOR GRADING IN EXCESS OF 5 ACRES. THE APPLICANT SHALL SUBMIT A
NOTICE OF INTENT (NOI) TO THE CALIFORNIA STATE WATER RESOURCE CONTROL BOARD FOR
COVERAGE UNDER THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PROGRAM
(NPDES) GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH
DEVELOPMENT/CONSTRUCTION ACTIVITY IN EXCESS OF 5 ACRES OF LAND. EVIDENCE THAT THIS
REQUIREMENT HAS BEEN MET SHALL BE SUBMITTED TO THE CITY ENGINEER.

33. THE CITY OF DANA POINT, IN CONFORMANCE WITH THE CITY'S NATIONAL POLLUTANT DISCHARGE
ELIMINATION SYSTEM (NPDES) PERMIT, IS DEDICATED TO THE ELIMINATION/REDUCTION OF WATER
POLLUTION AS A RESULT OF CONSTRUCTION PROJECTS. THE CONTRACTOR SHALL COMPLY WITH THE
ITEMS DESCRIBED IN THIS SECTION IN ORDER TO ELIMINATE/REDUCE WATER POLLUTION. SAID
ITEMS ARE INTENDED TO PROVIDE PREVENTION, CONTROL, AND ABATEMENT OF WATER POLLUTION
INTO STORM DRAIN SYSTEMS, STREAMS, AND ANY OTHER BODIES OF WATER AS A RESULT OF THE
CONTRACTOR'S OPERATIONS. THESE ITEMS ARE SUPPLEMENTAL TO THOSE REQUIRED OF THE
CONTRACTOR IN SECTION 7-8 "WORK SITE MAINTENANCE" OF THE "GREENBOOK".

ACCORDANCE WITH THE CITY'S APPROVED STANDARDS REGARDING EROSION CONTROL AND THE CITY
OF DANA POINT GRADING ORDINANCE, AND TO THE SATISFACTION OF THE BUILDING AND ENGINEERING
DIRECTOR AND/OR DESIGNATED STAFF.

PERMITTEE SHALL BE RESPONSIBLE FOR PROVIDING THE FREE FLOW OF STORM RUNOFF AND FLOOD
CONTROL CHANNELS, STORM DRAINS, AND TRIBUTARIES DURING THE CONSTRUCTION PERIOD; AND
PERMITTEE AGREES TO ASSUME ALL LIABILITY FOR ANY AND ALL DAMAGES THAT MAY RESULT FROM
SUCH. PERMITTEE SHALL DESIGN AND IMPLEMENT SEDIMENT BASINS OR USE ANY OTHER APPROVED
METHOD TO MINIMIZE DOWNSTREAM SEDIMENT TRANSPORTATION DURING STREAM FLOW.

ALL SURPLUS EXCAVATED MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE CITY'S
GRADING ORDINANCE AND WATER QUALITY ORDINANCE. DISPOSAL AREAS WILL BE UTILIZED IN A
MANNER THAT ENSURES ADEQUATE EROSION CONTROL PROTECTION AND THE PREVENTION OF
PONDING, AS APPROVED BY THE CITY BUILDING AND ENGINEERING DIRECTOR AND/OR DESIGNATED
STAFF. ALL DISPOSAL (STOCKPILING) SITES WITHIN THE CITY MUST BE PERMITTED WITH A GRADING
PERMIT.

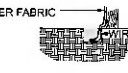
1. SET 2"x2" POSTS AND SPACE AT 6' - 8' ON CENTER.
EXCAVATE A 6"x8" TRENCH UPSLOPE
FROM AND ALONG THE LINE OF POSTS.



2. ATTACH THE FILTER FABRIC
AND EXTEND IT INTO THE TRENCH.



3. BACKFILL AND COMPACT THE
NATIVE SOIL.

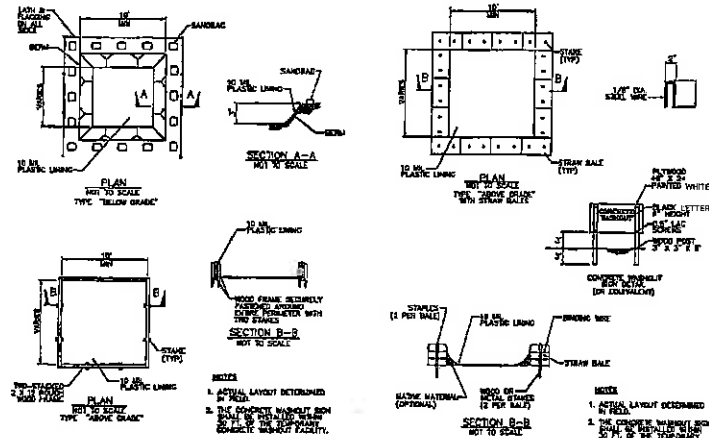


NOTE:
1. HEIGHT OF FABRIC SHALL BE
36" MIN.
2. MINIMUM TENSILE STRENGTH
OF FABRIC: 160 LBS
ASTM D4632
ASTM D491

SILT FENCE DETAIL

N.T.S.

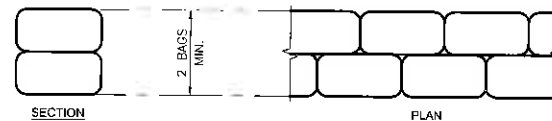
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CONCRETE WASHOUT DETAIL

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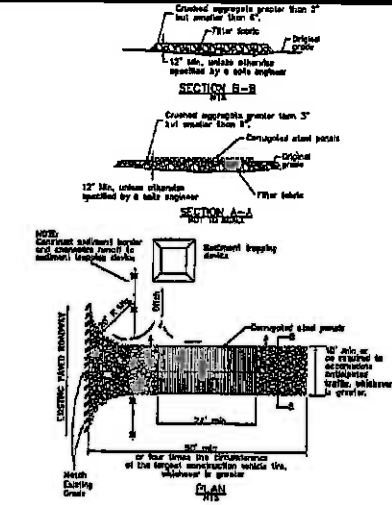
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GRAVELBAG DETAIL

N.T.S.

1



STABILIZED CONSTRUCTION
ENTRANCE

N.T.S.

4

COUNTY OF ORANGE RDMD SPECIAL NOTES:

- ANY SPILLAGE OF FUEL, OIL OR HAZARDOUS MATERIALS FROM CONSTRUCTION EQUIPMENT OR VEHICLES
OR SIGNIFICANT RELEASES OF SEDIMENT DUE TO CONSTRUCTION ACTIVITIES OR BMP FAILURES
IMPACTING DOWNSTREAM CHANNEL AREAS MUST BE IMMEDIATELY AND PROPERLY CLEANED UP AND
REMOVED FROM THE COUNTY PROPERTY. FOR SPILLS OF SIGNIFICANT VOLUME, NOTIFICATIONS MUST BE
IMMEDIATELY MADE TO REMEDIATION RESOURCES FOR ASSESSMENT OF BEST CORRECTIVE
ACTION. CONTAMINATED WATER, SOIL, SAND OR MATERIAL AND HAZARDOUS WASTES GENERATED FROM
THE CLEANUP MUST BE DISPOSED BY APPROVED METHODS. PERMITTEE ASSUMES FULL RESPONSIBILITY
FOR COSTS TO INVESTIGATE EXTENT OF CONTAMINATION, CLEANUP, WASTE REMOVAL AND
IMPLEMENTATION OF AN APPROVED REMEDIAL ACTION PLAN FOR THE RELEASE OF ANY WASTES OR
HAZARDOUS MATERIALS THAT RESULT IN SOIL AND GROUNDWATER CONTAMINATION. NOTIFICATIONS OF
SPILLS AND SIGNIFICANT RELEASES OF SEDIMENT DUE TO CONSTRUCTION ACTIVITIES OR BMP FAILURES
IMPACTING DOWNSTREAM AREAS MUST BE IMMEDIATELY MADE TO RDMD/ENVIRONMENTAL RESOURCES.

NOTIFICATIONS SHOULD BE MADE TO 1750 S. DOUGLASS RD, ANAHEIM, CA 92806, ATTENTION: DUC NGUYEN
(714)973-8890. AFTER-HOURS SPILL NOTIFICATION SHOULD BE MADE THROUGH ORANGE COUNTY SHERIFF'S
COMMUNICATIONS CONTROL 1 BY DIALING 911.

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL
CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE
TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE
IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING
PROPERTIES BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES
UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE
REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE
PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE
MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES
NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN
STORMWATER ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF
CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY
WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR NUISANCE;
OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40
CFR PARTS 117 AND 320.
POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES
FROM PAINTS, STAINS, SEALANTS, GLUES, LIME, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND
SOLVENTS, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND
HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES
FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED
POTABLE WATER LINE FLUSHINGS.

DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND
CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER
RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.

- DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOILS VIA SURFACE
EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL
POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL
WATER QUALITY CONTROL BOARD.



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TETRA TECH

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IRVINE, CA 92614-6213
PHONE 949-809-5197 FAX 949-809-5010



SOUTH COAST WATER DISTRICT

SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS LOT "A"

EROSION AND SEDIMENT
CONTROL DETAILS

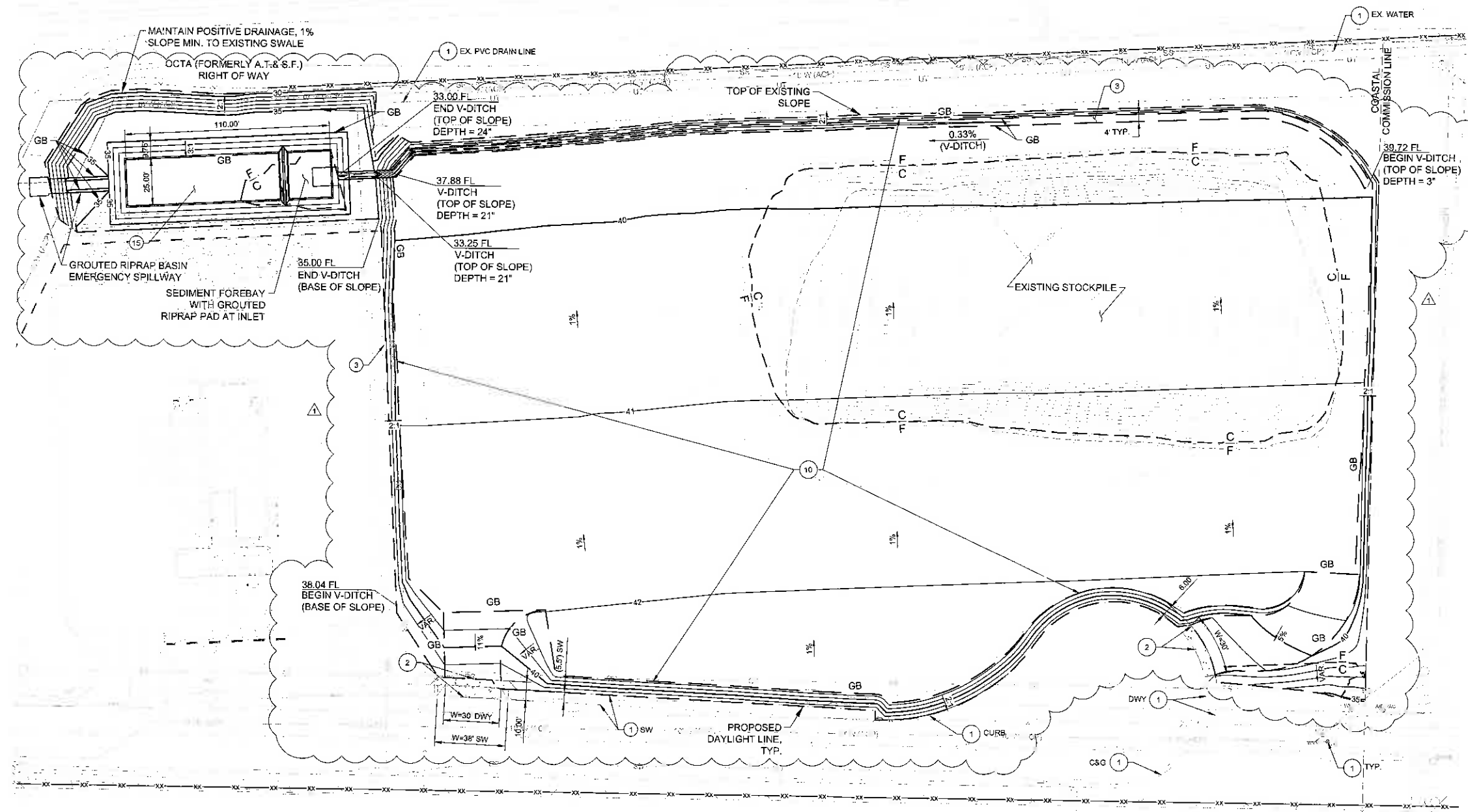
SHEET

5

OF 6 SHEETS

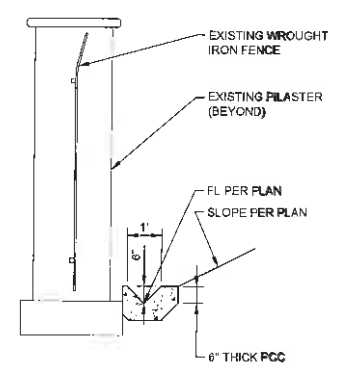
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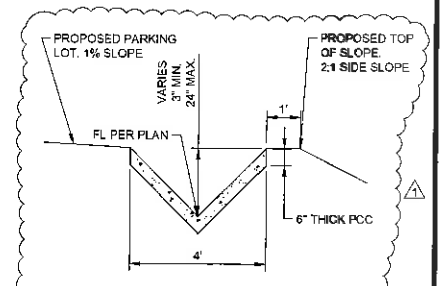


- NOTES**
1. PROTECT IN PLACE
 2. CONSTRUCT COMMERCIAL DRIVEWAY APPROACH PER SPPWC STD. 110-2
 3. CONSTRUCT V-DITCH PER DETAILS BELOW
 10. PROVIDE AND INSTALL 1" DECOMPOSED GRANITE OVER WHOLE PARKING LOT SITE THEN COMPRESS WITH ROLLER TO A RELATIVE COMPACTION OF NOT LESS THAN 95 PERCENT SEE DETAIL 3, SHEET 8
 15. CONSTRUCT DRY EXTENDED DETENTION BASIN, SEE SHEET 9 FOR DETAILS

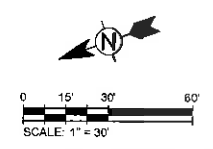
GRADING QUANTITIES
11620 CU YDS (CUT) UNADJUSTED
10609 CU YDS (FILL) UNADJUSTED
1011 CU YDS (NET EXPORT) UNADJUSTED
- 514 CY (FILL) 1" DECOMPOSED GRANITE, PCC, RIPRAP
485 CY (FILL) SUBSIDENCE - 0.1'
1010 CY (FILL) SHRINKAGE - 10%
50 CU YDS (NET EXPORT) ADJUSTED



CONCRETE V-DITCH BASE OF SLOPE DETAIL
SCALE: NTS



CONCRETE V-DITCH TOP OF SLOPE DETAIL
SCALE: NTS



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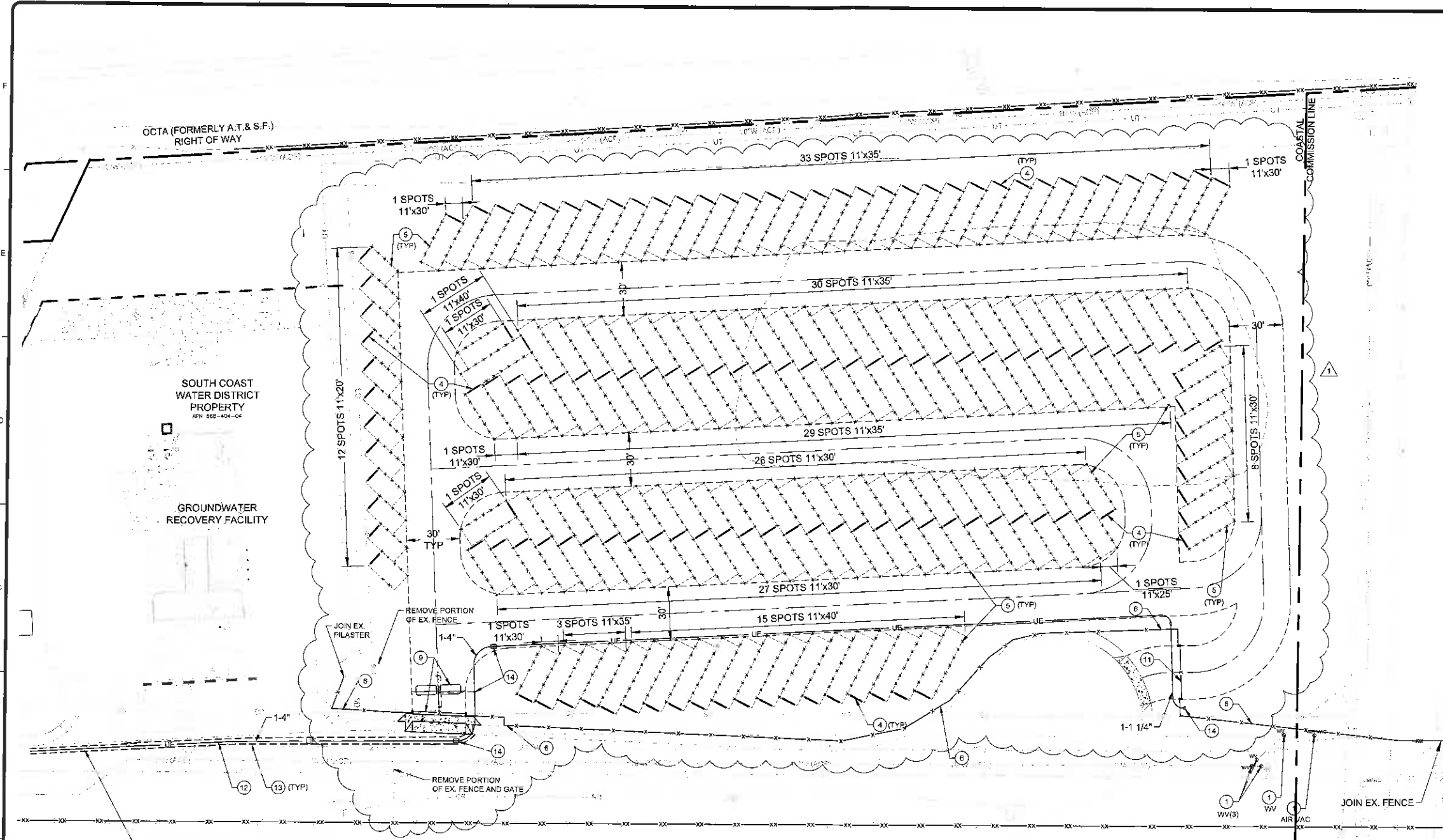


SOUTH COAST WATER DISTRICT
SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS LOT "A"
GRADING PLAN
LOT "A"

SHEET
6
OF 6 SHEETS

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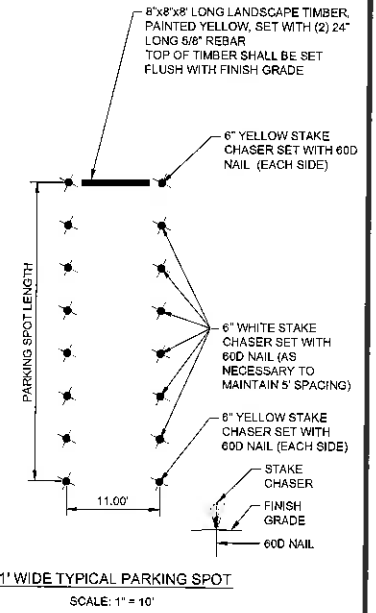


ROUTE NEW CONDUIT TO EXISTING 'PANEL A' AT GROUNDWATER RECOVERY FACILITY. SAWCUT AND REPAIR PAVEMENT, CURB AND OTHER FACILITIES IN KIND. INSTALL NEW 15 AMP, 120 V CIRCUIT FOR EACH NEW LIFT GATE OPERATOR.

GENERAL NOTES
161 PARKING SPOTS, THIS SHEET

CONSTRUCTION NOTES

- 1 PROTECT IN PLACE
- 4 PROVIDE AND INSTALL LANDSCAPE TIMBERS PER TYPICAL PARKING SPOT DETAIL ON SHEET 7.
- 5 PROVIDE AND INSTALL STAKE CHASERS PER TYPICAL PARKING SPOT DETAIL ON SHEET 7.
- 6 INSTALL CHAINLINK FENCE AND PER SPPWG STD. 600-3.
- 9 INSTALL SLIDING GATE PER DETAIL 1 ON SHEET 8 AND LIFT GATE OPERATOR PER DETAIL 2 ON SHEET 8
- 11 INSTALL SWINGING GATE PER DETAIL 7 ON SHEET 8
- 12 INSTALL NEW CONDUIT, SIZE AS SHOWN ON PLAN. INSTALL 10S AWG CONDUCTORS FOR EACH LIFT GATE OPERATOR ROUTED FROM 'PANEL A'
- 13 SAWCUT EXISTING PAVEMENT CURB & GUTTER AS REQUIRED TO INSTALL NEW CONDUIT REPAIR PER DETAIL 6, SHEET 8
- 14 INSTALL PRECAST ELECTRICAL PULL BOX PER DETAIL 4, SHEET 8



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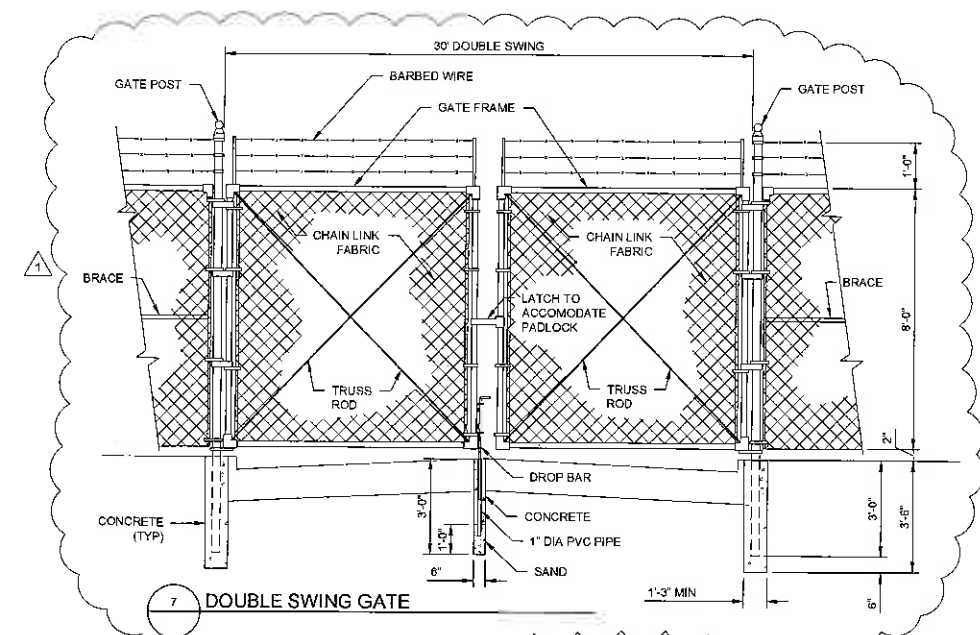
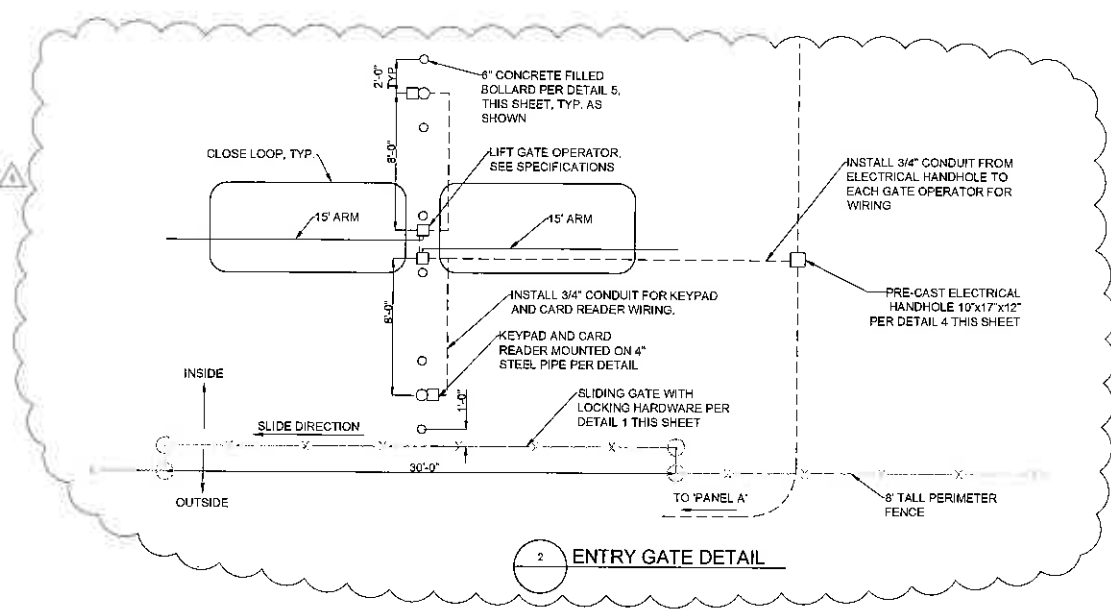
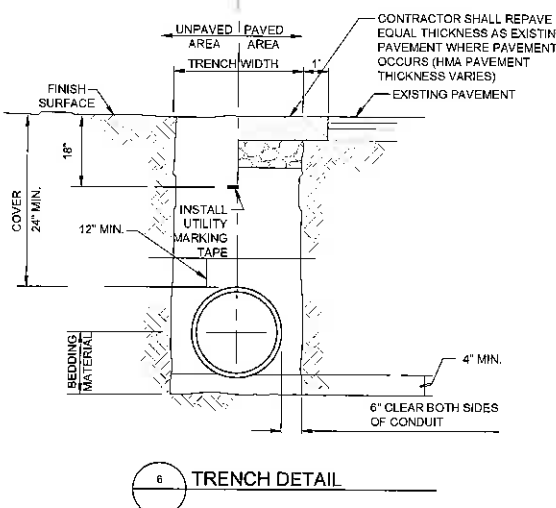
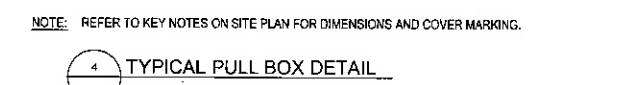
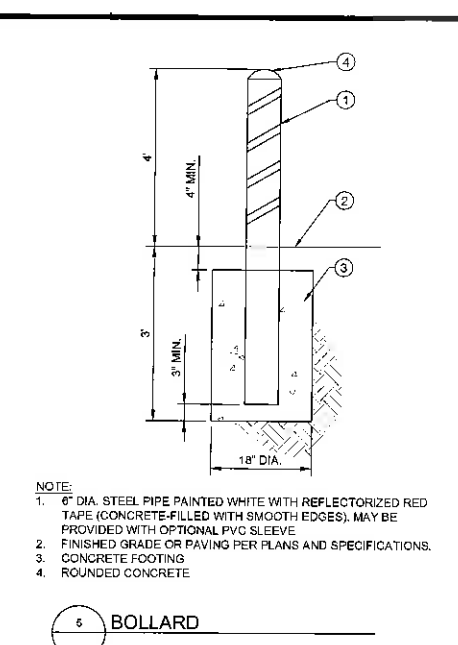
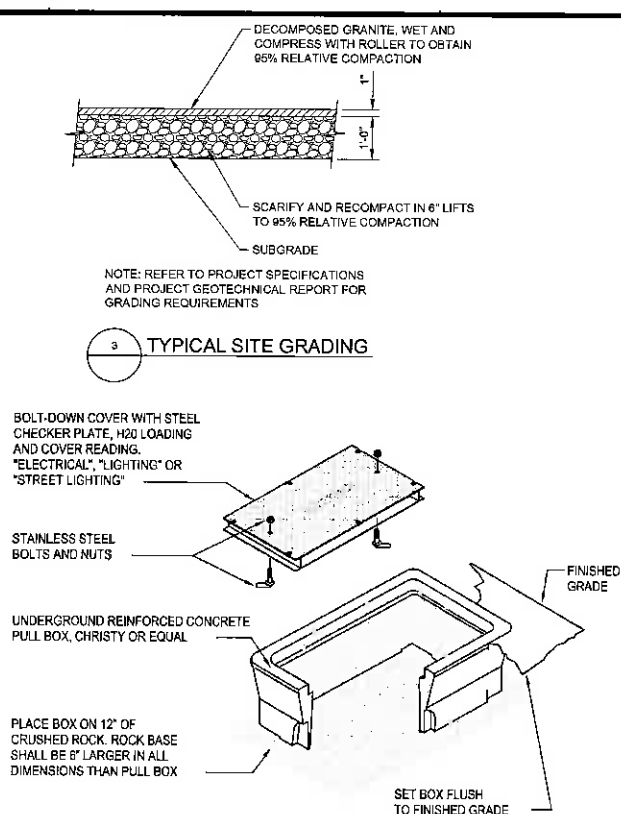
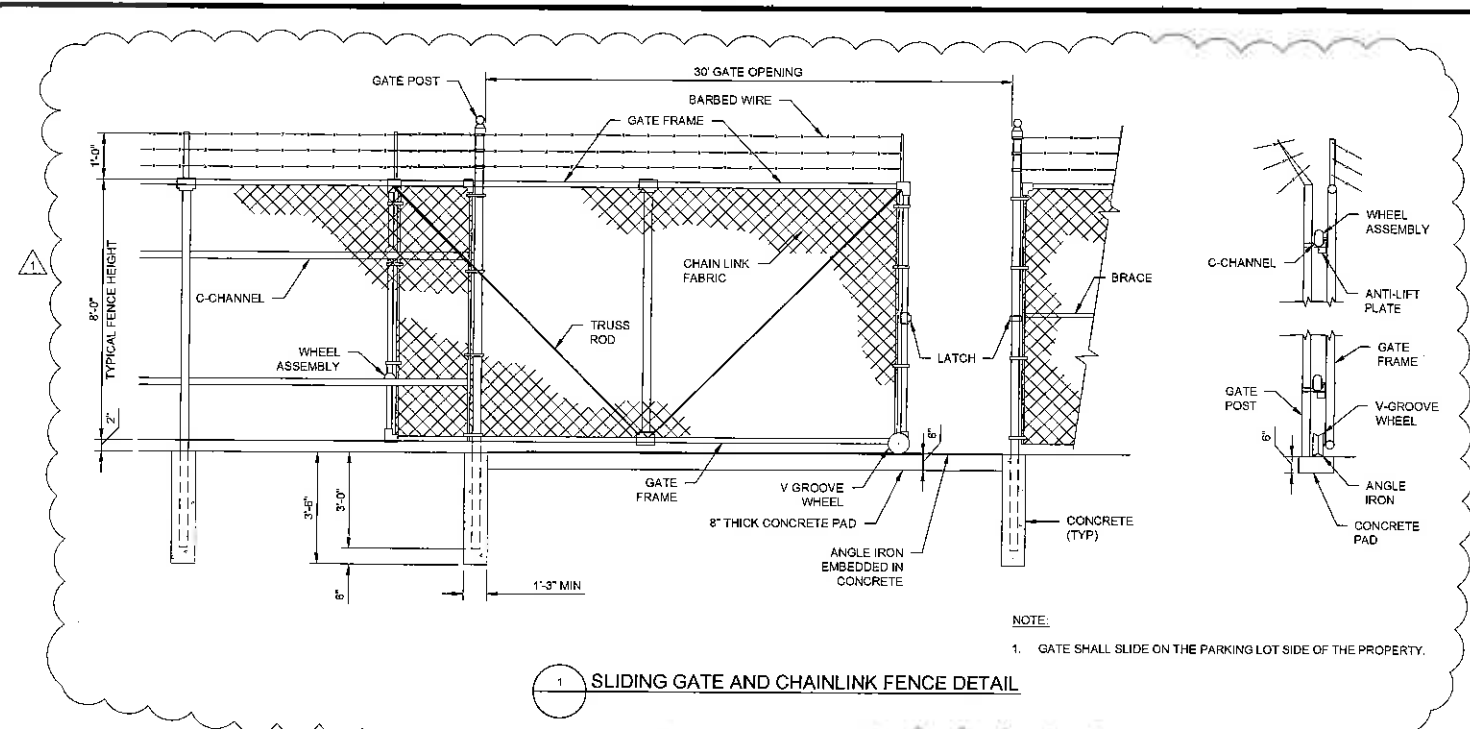
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SOUTH COAST WATER DISTRICT
SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS LOT "A"
STRIPING PLAN
LOT "A"

SHEET
7
OF 6 SHEETS

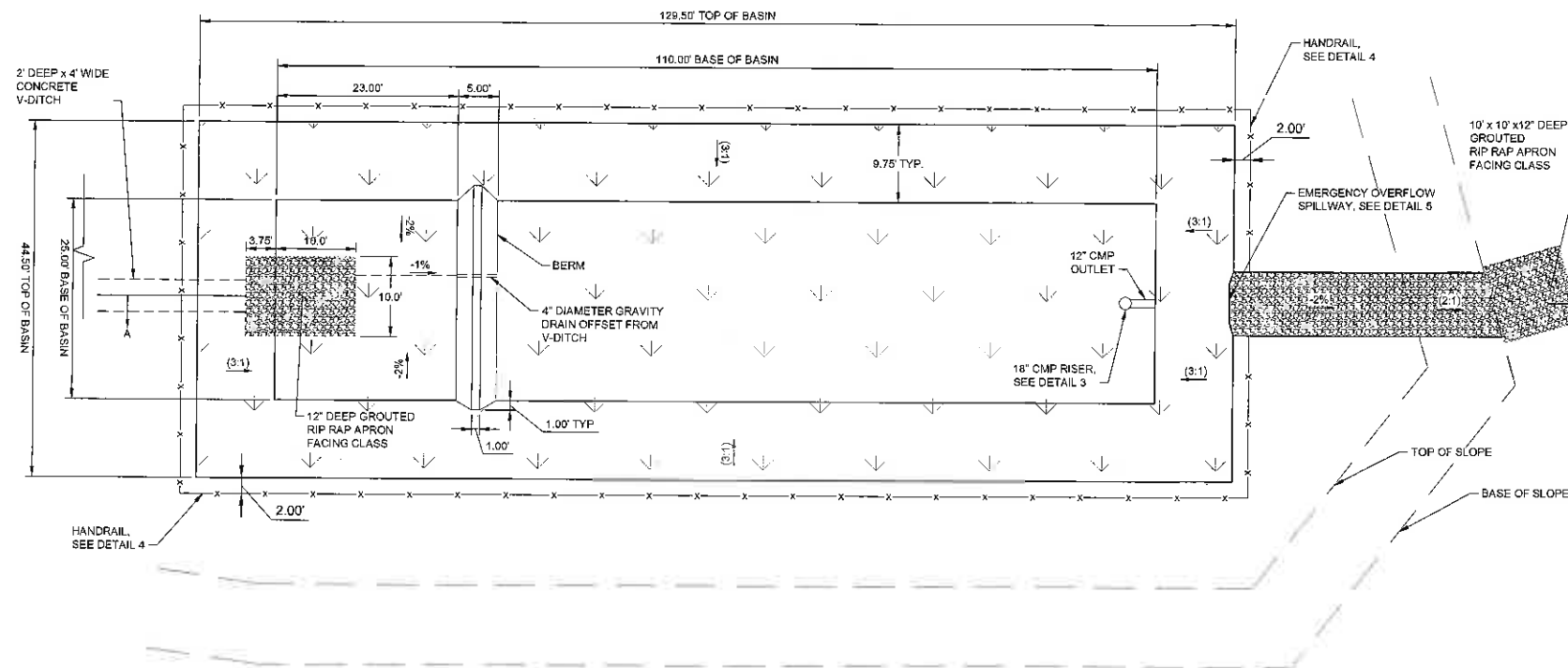
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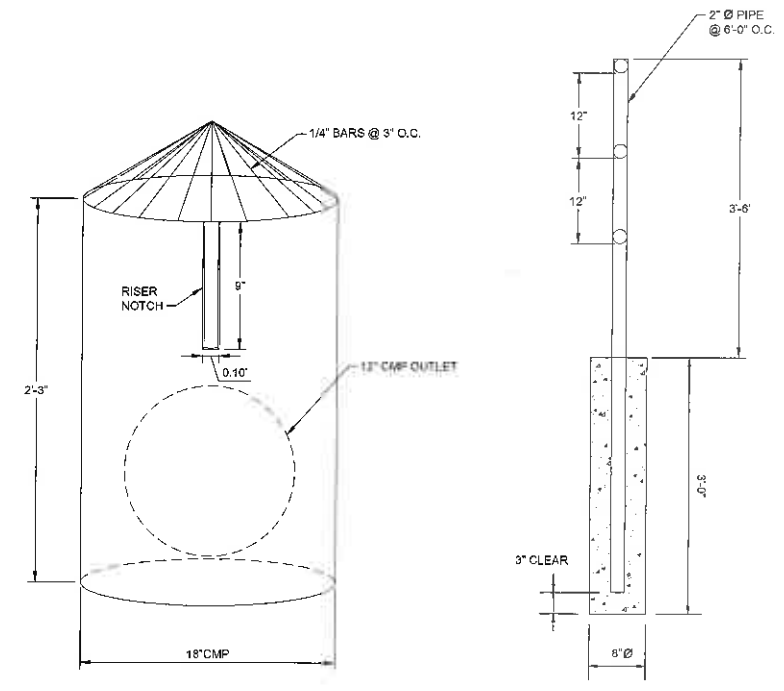
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				JOB NO. 135-08327-14002		DRAWN EM		DETAILS LOT "A"		OF 8 SHEETS	
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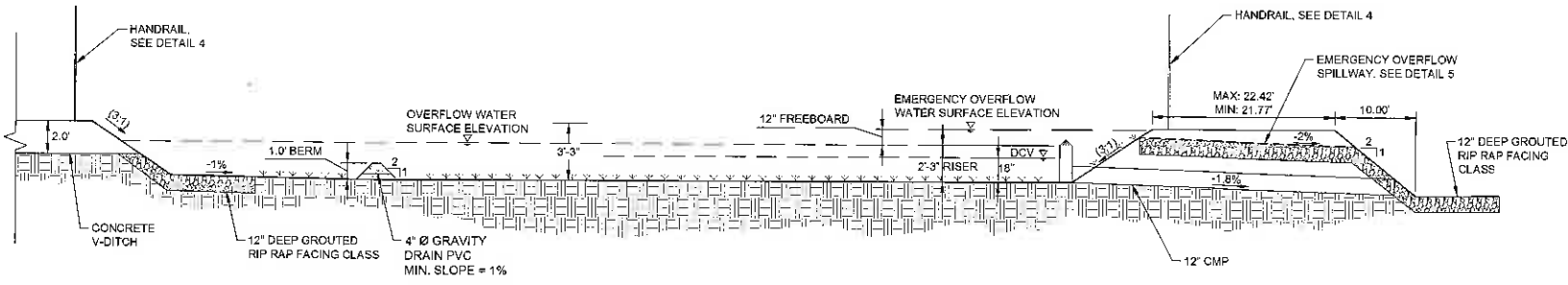


1 PLAN VIEW
SCALE: 1" = 10'

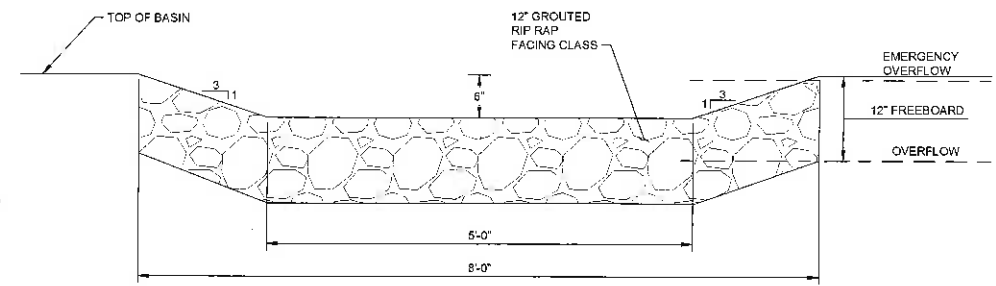


3 RISER DETAILS
SCALE: 1" = 1/2'

4 HANDRAIL DETAILS
SCALE: 1" = 1'



2 SECTION A - A
H SCALE: 1" = 10'
VERT EXAG: 1" = 2'



5 EMERGENCY OVERFLOW SPILLWAY
SCALE: 1" = 1'

NOTE:

- PERMANENT STEEL POST DEPTH MARKERS SHALL BE PLACED IN THE FOREBAY TO DEFINE SETTLED SEDIMENT REMOVAL LIMITS AT 50% AND 100% OF THE FOREBAY SEDIMENT STORAGE DEPTH
- THE BOTTOM AND SLOPES OF THE EXTENDED DETENTION BASIN SHALL BE VEGETATED. A MIX OF EROSION-RESISTANT PLANT SPECIES THAT EFFECTIVELY BIND THE SOIL SHOULD BE USED ON THE SLOPES AND A DIVERSE SELECTION OF PLANTS THAT THRIVE UNDER THE SPECIFIC SITE, CLIMATIC, AND IRRIGATION CONDITIONS SHOULD BE SPECIFIED FOR THE BASIN BOTTOM. THE BASIN BOTTOM SHOULD NOT BE PLANTED WITH TREES, SHRUBS, OR OTHER LARGE WOODY PLANTS THAT MAY INTERFERE WITH MAINTENANCE ACTIVITIES. ONLY NATIVE PERENNIAL GRASSES, FORBS, OR SIMILAR VEGETATION THAT CAN BE REPLACED VIA SEEDING SHOULD BE USED ON THE BASIN BOTTOM.

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SOUTH COAST WATER DISTRICT
SAN JUAN CREEK PROPERTY SITE IMPROVEMENTS LOT "A"
DRY EXTENDED DETENTION BASIN DETAILS
LOT "A"

SHEET
9
OF 9 SHEETS

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CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

August 26, 2014

Erica Demkowicz, AICP
Senior Planner
City of Dana Point, CA

Reference: Operational Summary for South Coast Water District Boat and RV Parking Lot "A" Project

Dear Ms. Demkowicz:

Per your request, the following information provides a general operational summary of the South Coast Water District Boat and RV Parking Lot "A" project:

General Operation: The South Coast Water District will enter into a maintenance and operational contract with an experienced dry boat storage site manager to provide day to day operations at the Boat and RV Storage Lot. The manager will be responsible for dry boat storage operation of the site, maintenance of the site, rental access, execution of rental agreements, and other general operational requirements of the site.

Access to the Site for Users: The site will be accessed from Stonehill Drive by the existing access road that runs adjacent to San Juan Creek. Access gates will be provided to the Storage Lot from this access road. Users will not be permitted to use the existing access point at Pacific Coast Highway.

Site Lighting: Site Lighting will not be provided for this phase of the parking lot. Minimal site lighting may be provided as required at entrances and exit gates. Existing site lighting at the access road will remain.

Hours of Operation: The site will be open for storage and retrieval of boats and RVs during the normal hours of operation which are 4:30am to 8pm, 7 days a week during the summer (May through September) and 5am to 6pm, 7 days a week during the Winter (October through April). During this time, the manager will be on-site. After-hours access to the site will not be permitted.

If you have any additional questions regarding the operational characteristics of the site, please contact me at 949.809.5198 or you may contact Dave Youngblood at South Coast Water District at 949.342.1152

Sincerely,

Joe Dietz, PE
Project Manager

/jd

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ATTACHMENT #3



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SEP 17 2014

CITY OF DANA POINT
COMMUNITY DEVELOPMENT
DEPARTMENT

September 15, 2014

Brad Fowler, P.E.
Director of Public Works and Engineering Services
City of Dana Point, CA

Reference: Flood Letter for South Coast Water District Boat & RV Storage Project, Lot A

Dear Mr. Fowler:

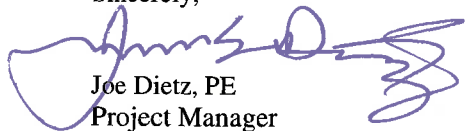
Per FEMA Flood Insurance Rate Map 06059C0506J, the proposed project is located in Zone AO – Depth 1, which is defined as a special flood hazard area subject to flood depths of 1 foot on average for the 1% annual chance flood. This zone is defined as a FP-2 district per Section 9.31.010 of the Dana Point Zoning Code and subject to requirements set forth within Chapter 9.31. Compliance with the code is summarized below:

Section 9.31.040 prohibits construction which would cause any diversion or increase in base flood elevations, erosion potential, or hazards to people and property. Per the San Juan Creek Watershed Hydrology Study dated March 2008 by PACE, the expected flow rate for San Juan Creek within the vicinity of the project site is 45,900 cfs. Another study performed by PACE, the Baseline Floodplain Hydraulics for San Juan Creek dated April 2010, indicates that no overtopping of the San Juan Creek levee occurs within the vicinity of the project site. Additionally, Stonehill Drive prevents offsite flows from entering the project site from the north. Furthermore, the site is raised above the adjacent land to the east and south. Based on these factors, flooding within the project site is not anticipated for the pre-development condition despite being categorized as Zone AO – Depth 1 per the Flood Insurance Rate Map. Therefore, the proposed development will not increase base flood elevations within the vicinity of the project site as there will be no existing base flood to increase. In order to prevent an increase in the erosion potential of on-site flows, proposed grading will maintain the existing flat topography and the site will remain unpaved. Per these considerations, the proposed development will pose no hazards to people and property.

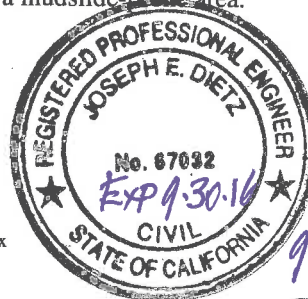
Per Section 9.31.050, the proposed project will obtain a Site Development Permit subject to requirements of the City of Dana Point and Section 9.31.050.

Per Section 9.31.06, all proposed site features will be properly anchored to prevent floating during a flood event, and all materials and utility equipment will be designed to be resistant to flood damage. During construction, methods and practices will be utilized to minimize flood damage. All requirements listed under Section 9.31.060 related to the flood protection of proposed structures do not apply to the proposed project as no permanent structures are proposed. Additionally, the proposed project does not include any utilities subject to requirements set forth in Section 9.31.060. Per Section 9.31.060(e), the proposed project is classified as a floodway. Requirements of this section are met as base flood elevations will not be increased by the proposed project as discussed above. Lastly, the proposed project is not classified as a mudslide-prone area.

Sincerely,



Joe Dietz, PE
Project Manager



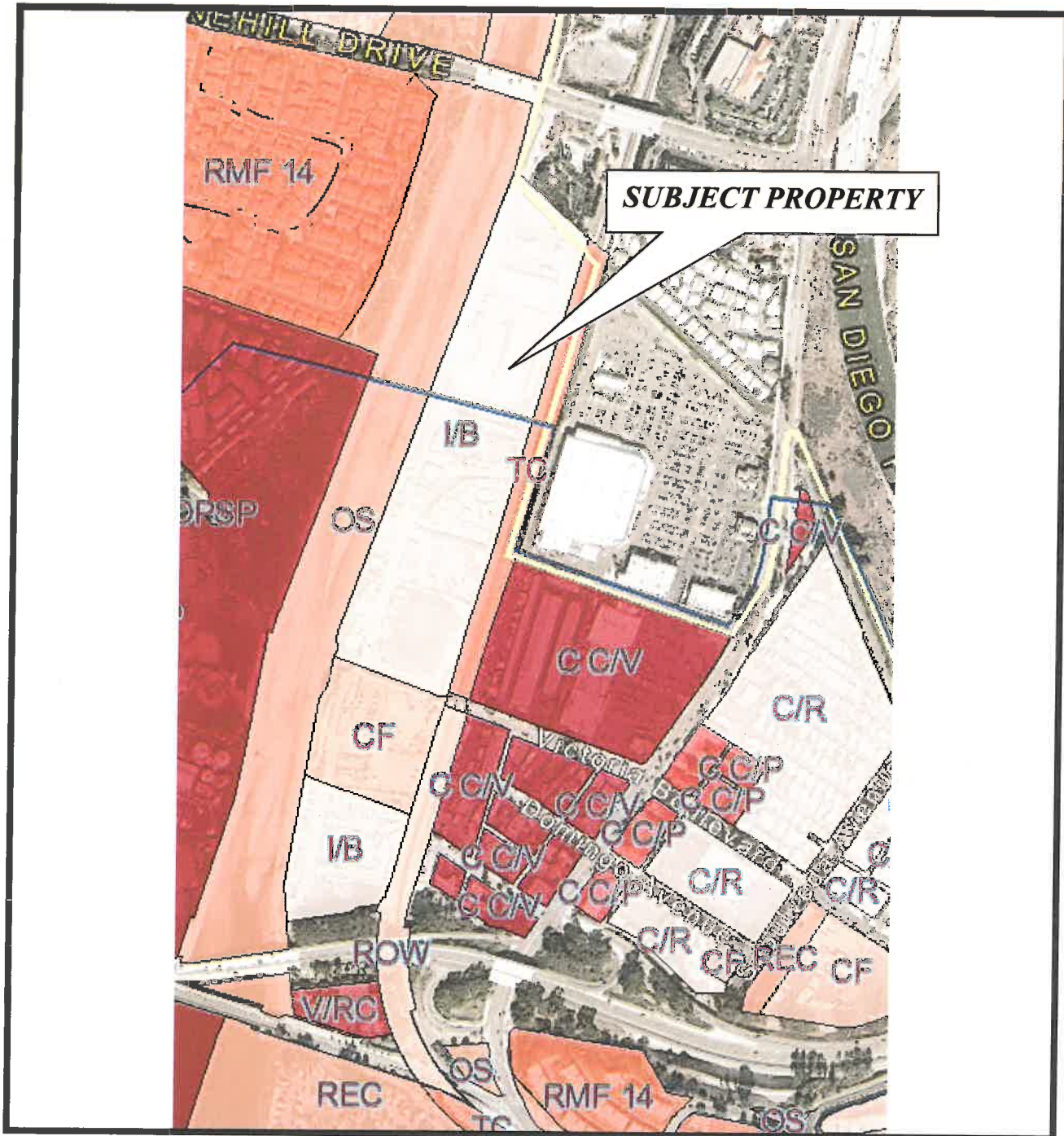
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17885 Von Karman A
Tel 949.809.5000

Tetra Tech, Inc.

ATTACHMENT #4

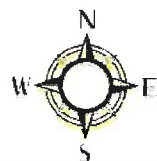
AERIAL MAP



CUP14-0007/SDP14-0024

David Youngblood/Joseph E. Dietz

APN#668-404-05



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DEPARTMENT

Site Photos



Figure 1 Existing Tenant Storage on Project Site



Figure 2 Existing Stockpile

ATTACHMENT #6



Figure 3 Project Site Raised Above Surrounding Grade



Figure 4 Aerial View of Project Site



Figure 5 Northern Property Boundary Adjacent to Groundwater Recovery Facility



Figure 6 Eastern Property Boundary Adjacent to San Juan Creek



Figure 7 Eastern Property Boundary Adjacent to OCTA Right of Way Railroad Tracks



Figure 8 Southern Property Boundary Adjacent Miscellaneous Tenant Storage